



# STAFF REPORT ACTION REQUIRED

## 175-191 Dundas Street East and 235 Jarvis Street – Site Plan Control Application – Final Report

<b>Date:</b>	September 16, 2016
<b>To:</b>	Toronto and East York Community Council
<b>From:</b>	Director, Community Planning, Toronto and East York District
<b>Wards:</b>	Ward 27 – Toronto Centre-Rosedale
<b>Reference Number:</b>	15-123315 STE 27 SA

### SUMMARY

This Site Plan application proposes a 50-storey mixed use building containing retail uses on the ground floor and residential uses above at 175-191 Dundas Street East and 235 Jarvis Street. The proposed development includes a 3-storey base building with a 47-storey tower above, containing 563 dwelling units and 200 m<sup>2</sup> of retail space. There are 534 bicycle parking spaces and 45 car parking spaces proposed.

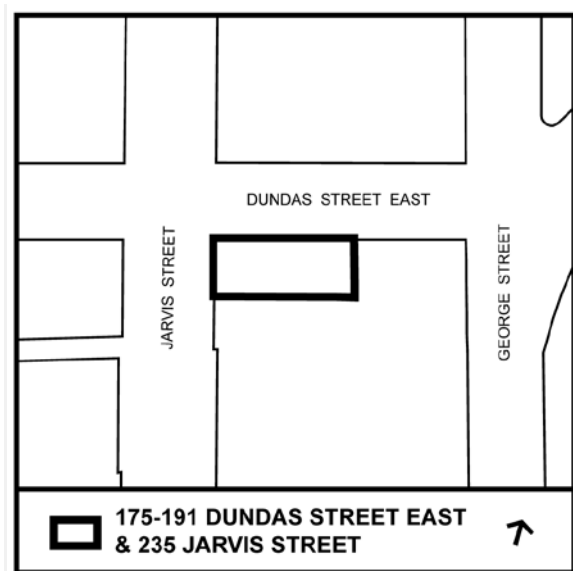
An associated rezoning application for the proposed development was approved by the Ontario Municipal Board (OMB) in February 2016, Case Numbers PL141461 and PL150845.

The proposed development is consistent with the Zoning Amendment application approved by the Ontario Municipal Board and has satisfactorily addressed all comments provided by City Divisions and other agencies.

This report reviews and recommends approval in principle of the Site Plan Control application.

### RECOMMENDATIONS

**The City Planning Division recommends that:**



1. City Council approve the conditions set out in Attachment No. 4 to the report dated September 19, 2016, for the lands at 175-191 Dundas Street East and 235 Jarvis Street.
2. City Council delegate back to the Chief Planner or her designate the authority to issue final Site Plan Approval.

## **DECISION HISTORY**

On January 13, 2015, Toronto and East York Community Council adopted the recommendations of Staff contained in the preliminary report for 175-191 Dundas Street East and 235 Jarvis Street.

<http://app.toronto.ca/tmmis/viewAgendaItemHistory.do?item=2015.TE3.34>

On May 5, 2015, City Council adopted the recommendations of Staff to attend the Ontario Municipal Board in support of the proposed development at 175-191 Dundas Street East and 235 Jarvis Street.

<http://www.toronto.ca/legdocs/mmis/2015/te/bgrd/backgroundfile-78892.pdf>

On July 21, 2015, the Ontario Municipal Board approved the proposed development but ruled that the building must be setback 12.5 metres from the south property line. The decision can be accessed from:

<https://www.omb.gov.on.ca/english/eStatus/eStatus.html>

On December 9 and 10, 2015, City Council adopted the recommendations of Staff to attend the Ontario Municipal Board hearing in support of a comprehensive settlement on the lands comprising 175-191 Dundas Street East and 235 Jarvis Street (File Numbers 14 208177 STE 27 OZ) and 225 Jarvis Street (15 134245 STE 27 OZ ); as substantially outlined in the report from the Chief Planner and Executive Director, City Planning Division, dated December 8, 2015 and titled: "175-191 Dundas Street East and 235 Jarvis Street Zoning Amendment Application-Request for Direction Report"

<http://www.toronto.ca/legdocs/mmis/2015/mm/bgrd/backgroundfile-86617.pdf>

On February 16, 2016, the Ontario Municipal Board approved the proposed development at 175-191 Dundas Street East and 235 Jarvis Street.

<https://www.omb.gov.on.ca/english/eStatus/eStatus.html>

On August 31, 2016, Councillor Wong-Tam referred the Site Plan application for 175-191 Dundas Street East and 235 Jarvis Street for a decision in accordance with By-law No. 483-2000.

## **ISSUE BACKGROUND**

### **Proposal**

The applicant is proposing a 50-storey mixed use building containing retail uses on the ground floor and residential uses above. The development includes a 3-storey base with a 47-storey tower above. The total building height would be 157 metres, excluding mechanical. The gross floor area for the development is 33,000 m<sup>2</sup>. The project is comprised of 563 residential units with a proposed residential gross floor area of 32,800 m<sup>2</sup>, and a proposed retail component at grade with a non-residential gross floor area of 200 square metres.

Vehicular access to the building is proposed off of Jarvis Street. One type G and one type C loading space would be located on the ground floor. Two levels of underground parking are proposed for 45 vehicular parking spaces, comprised of 42 spaces, 2 car share spaces and 1 accessible space.

A total of 534 bicycle parking spaces are proposed, of which; 475 spaces are for residents, 53 spaces for visitors and 6 spaces for the retail component.

A total of 1,950 m<sup>2</sup> of indoor and outdoor amenity space is proposed of which 1,250 m<sup>2</sup> would be indoor amenity space and 700 m<sup>2</sup> outdoor amenity space.

Refer to Attachment No. 5 for project data.

### **Site and Surrounding Area**

The subject site is located at the south-east corner of Jarvis Street and Dundas Street East. The site is rectangular with 38.4 metres frontage along Dundas Street East and a depth of 31 metres along Jarvis Street. The lot area is 1,191 m<sup>2</sup>.

The site is relatively flat and currently consists of three separate parcels: 175-189 Dundas Street East, 191 Dundas Street East, and 235 Jarvis Street. Demolition of all structures on the property has commenced. Prior to demolition, the site was occupied by 2-storey commercial buildings with ground floor retail/restaurant uses and a licensed rooming house. None of the buildings were heritage listed or designated.

The following uses surround the site:

- North: On the north side of Dundas Street a 50-storey mixed-use tower is under development.
- South: A 14-storey hotel, The Grand Hotel and Suites. This site has been approved for a 45-storey mixed use hotel and residential.
- East: 3-storey commercial/residential building which include restaurant uses on the ground floor and residential above. Further east is the École Gabrielle Roy elementary school at 14 Pembroke Street.

West: A 42-storey residential building with commercial uses at grade (Pace Condominium).

## **Official Plan**

This application was reviewed within the context of the policies in the Official Plan. The Official Plan places the site within the Downtown and Central Waterfront urban structure area. The site is designated “*Mixed Use Areas*” on Map 18 – Land Use Plan in the Official Plan. This designation permits a range of residential, commercial and institutional uses. The proposed mixed use tower, being a residential tower with commercial uses at grade is a permitted use in the Official Plan. The Official Plan also includes criteria that direct the form and quality of development. Key policies that are applicable to this development proposal are the Built Form policies 3.1.2; Built Form – Tall Buildings Policy 3.1.3; Housing Policy 3.2.1 and Policy 4.8.4 which states that new buildings will be sited and massed to protect hospital helicopter flight paths.

## **Zoning**

The associated rezoning application that was approved by the Ontario Municipal Board (OMB) resulted in two site-specific zoning by-laws, 382-2016 (OMB) and 383-2016 (OMB), that serve to amend the former City of Toronto Zoning By-law 438-86 and the new City-wide Zoning By-law 569-2013. The site-specific by-laws were approved by the OMB on February 16, 2016. The By-laws are now in effect.

The site-specific Zoning By-laws provide specific standards that the proposed development described in this report conforms to. Key standards include:

- Maximum tower height of 158 metres.
- Maximum base building height of 14.2 metres.
- Maximum 37,200 m<sup>2</sup> of residential gross floor area.
- Maximum 2,000 m<sup>2</sup> of non-residential gross floor area.
- Minimum 1,200 m<sup>2</sup> of indoor amenity space.
- Minimum 600 m<sup>2</sup> of outdoor amenity space.
- Minimum of 45 parking spaces.
- Minimum of 1 Type "G" and 1 Type "C" loading space.
- Minimum 475 long-term bicycle parking spaces for residential uses.
- Minimum 53 short-term long-term bicycle parking for visitors of residents.
- Minimum 5 short-term bicycle parking spaces for non-residential visitors.
- Minimum 1 long-term bicycle parking space for commercial uses.

## **Agency Circulation**

The application was circulated to all appropriate agencies and City divisions. Responses received have been used to assist in evaluating the application and for drafting the recommended conditions set out in Attachment No. 4 to this report.

## **COMMENTS AND PLANNING RATIONALE**

This section provides information on the design details of the development proposal with particular regard to streetscape, landscaping and addressing on-site issues. The proposed density, height, massing, shadow impact, wind conditions, and heritage considerations were analyzed through the Zoning amendment process and were addressed in the site specific By-laws that are in full force and effect.

### **Streetscape and Public Realm**

The pedestrian realm along Jarvis Street and Dundas Street will have a width of 6.1 and 4.1 metres respectively and will include landscaping and bicycle parking in addition to a pedestrian clearway. A portion of the public realm located on the subject property will have weather protection in the form of a building overhang. Upgraded pavers will be provided along both Dundas and Jarvis Streets on the subject property.

### **Street and Private Trees**

Two street trees are proposed along the Jarvis frontage of the property in a continuous soil trench and in conformance with Parks, Forestry & Recreation standards. Additional trees were not proposed along the Dundas frontage as the building setback to the curb combined with the existing utilities was deemed insufficient to provide for city street trees. A subsequent cash-in-lieu application will be required to cover the required private tree planting that the applicant is unable to provide. This condition has been incorporated into the recommended conditions itemized in Attachment 4.

### **Pedestrian Level Wind Protection**

A Pedestrian Level Wind Study was completed as part of this application. Modifications to the outdoor amenity area were made to address issues raised in the study, additional mitigation measures were not required.

### **Podium Facade**

The podium façade along the Dundas and Jarvis frontages is comprised of a curtain wall with retail glazing at grade. Stone or metal or precast cladding is located on the upper levels of the podium along with windows associated with the amenity space. Along both frontages, perforated panels and glazed doors are utilized.

The cladding from the Dundas façade is carried around to the east side of the podium. Along the south side of the podium, a blank wall is proposed to eventually integrate with the podium from the adjacent approved, but not built, 225 Jarvis Street development project (Grand Hotel). The plans propose lighting and building artwork on the south facade to make the south face of the building more appealing until the adjacent building is constructed.

### **Bicycle Parking**

A total of 534 bicycle parking spaces are proposed predominantly on the second floor (mezzanine level) with additional visitor parking spaces located on the ground floor and adjacent to the retail area. Access to the mezzanine parking level would be through an

extra wide bike stair with bike ramp using a dedicated stairway accessed from Dundas Street. A secondary access would be provided using the shuttle elevator located in the building core. Power operated doors with push buttons would be used to facilitate access. A bike repair stand and bike repair area are also provided.

### **Pet Servicing Area**

In response to a growing concern over providing for dogs, two separate dog service areas have been provided. An outdoor refuse, dog wash and off-leash play area is proposed on the northeast corner of the outdoor amenity area. The area would be finished with a turf ground covering and hose connection. A second at-grade pet space is located along the western side of the ground floor.

### **Parking, Loading and Access**

Parking is proposed as per the approved site specific Zoning By-law; 45 parking spaces of which 2 are car share spaces and 1 an accessible space. Loading is also proposed as per the zoning and has been reviewed and accepted by Transportation Services.

Vehicular access to the site will be from Jarvis Street with a new curb cut which roughly aligns with a laneway on the west side of Jarvis Street. Driveway access and site circulation were reviewed by Transportation Services and relevant conditions incorporated into the Site Plan conditions in Attachment 4.

### **Site Servicing**

Servicing connections for the building have been reviewed by Engineering and Construction Services. A 150 mm storm connection is provided along the north of the site and connects to the combined storm and sewer line on Dundas Street. Two 200 mm fire water connections would service the building, one from Dundas Street and one from Jarvis. A 150 mm water, 300 mm sanitary connection as well as gas and hydro are also located along Jarvis Street. Conditions related to servicing have been incorporated into the recommended conditions of Site Plan approval which are itemized in Attachment 4.

### **Helicopter Flight Paths**

St Michael's Hospital and the Hospital for Sick Children have emergency helicopter flight paths that pass near to the proposed building. Issues related to the protection of the flight paths were addressed and incorporated into the OMB decision. More specifically, the OMB decision included required conditions that would be required in any subsequent Site Plan approval.

The flight paths were modified by the Minister's Zoning Order dated May 3, 2016. The Zoning Order identifies an obstacle limitation surface which structures or naturally growing objects shall not penetrate, including construction cranes.

The proposed plans were reviewed by both hospitals in the context of the Minister's Zoning Order and the OMB decision related to the flight paths. Both hospitals commented that they do not object to the proposed development contingent on the Site

Plan conditions that were imposed by the OMB be incorporated into a Site Plan Agreement. These conditions are included as Site Plan conditions which are itemized in Attachment 4 to this report.

### **Rental Housing Demolition and Conversion By-law**

The Rental Housing Demolition and Conversion By-law (885-2007) implements the City's Official Plan policies protecting rental housing. The By-law established Chapter 667 of the Municipal Code and was approved by City Council on July 19, 2007. The By-law prohibits demolition or conversion of residential rental units without a permit issued by the City under Section 111 of the City of Toronto Act. Proposals involving six or more rental housing units or where there is a related application for a Zoning By-law amendment require a decision by City Council under Section 111 of the City of Toronto Act. Staff determined through a site visit that a Section 111 permit is not required as there are fewer than six residential units. The site contains 5 rental units and 1 rooming house. Therefore, a Section 111 Permit is not required.

### **CONCLUSION**

Planning staff recommend approval of the proposed Site Plan Control application, subject to the conditions provided in Attachment 4.

### **CONTACT**

Derek Waltho, Planner  
Tel. No. 416-392-0412  
Fax No. 416-394-6063  
E-mail: dwaltho@toronto.ca

### **SIGNATURE**

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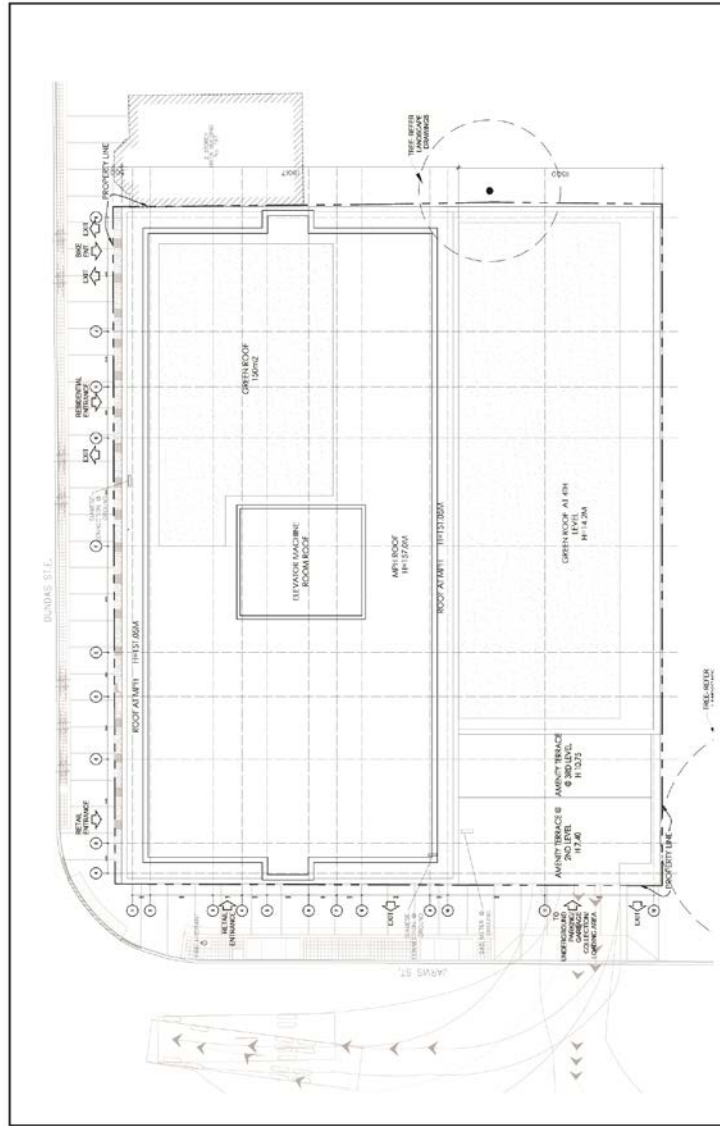
Gregg Lintern, MCIP, RPP  
Director, Community Planning  
Toronto and East York District

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### **ATTACHMENTS**

Attachment 1: Site Plan  
Attachment 2: Elevations  
Attachment 3: Landscape Plan  
Attachment 4: Conditions of Site Plan Approval  
Attachment 5: Application Data Sheet

# Attachment 1: Site Plan



175-191 Dundas St E

File # 15 123315 STE SA

Site Plan

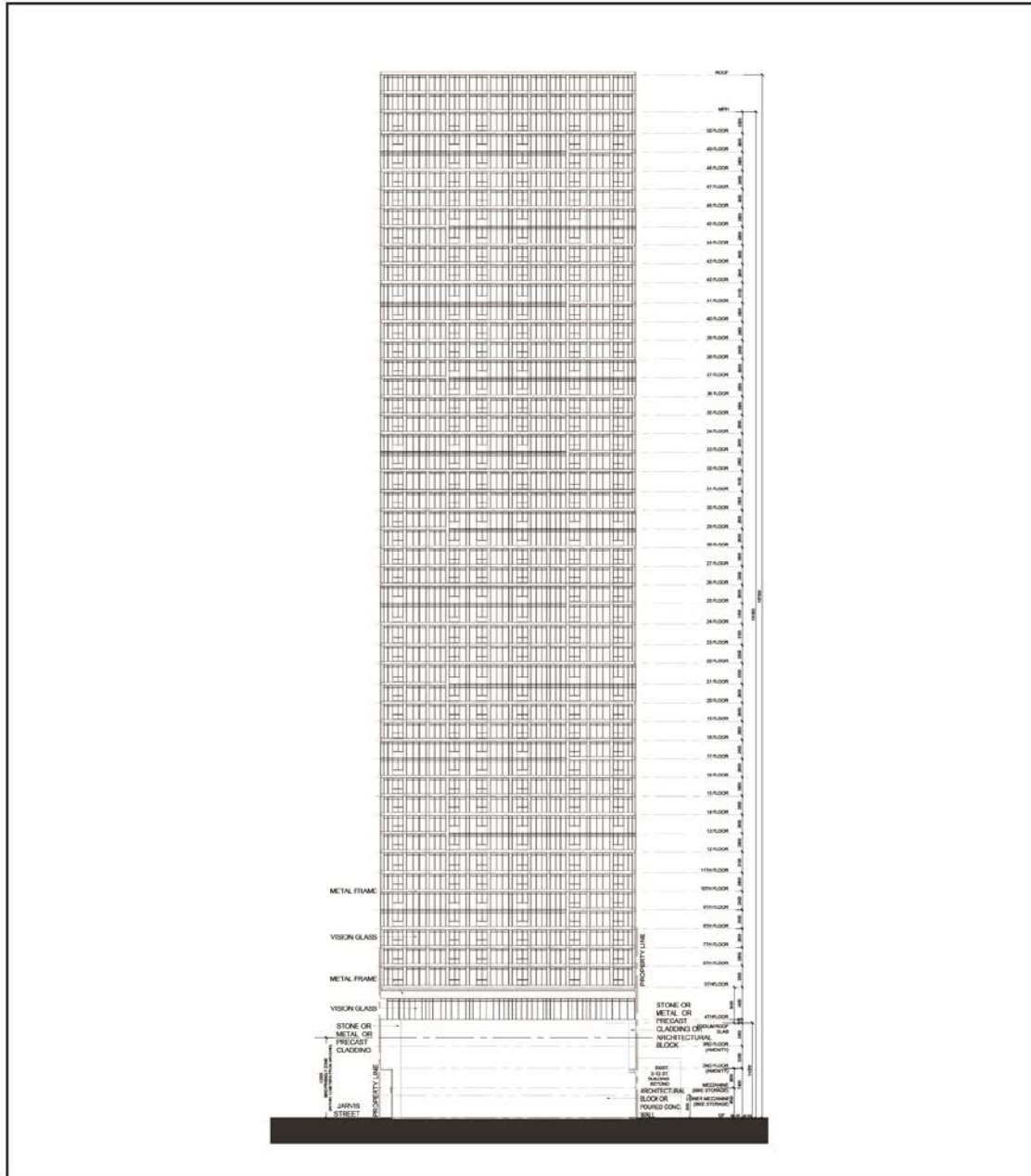
Applicant's Submitted Drawing

Not to Scale  
08/05/2016





## Attachment 2: Elevations



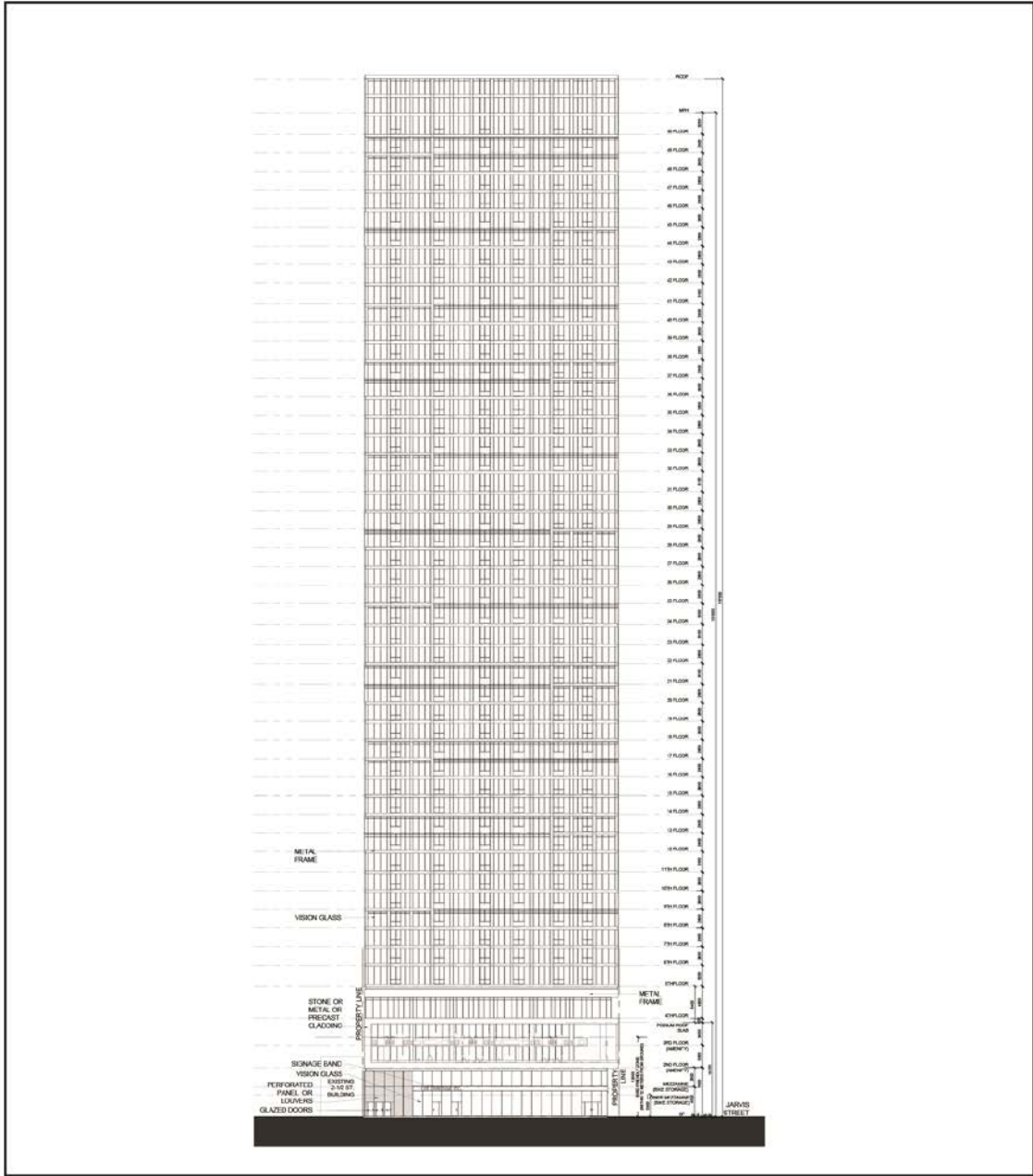
**South Elevation**

Applicant's Submitted Drawing

Not to Scale  
09/09/2016

**175-191 Dundas St E**

File # 15 123315 STE 27 SA



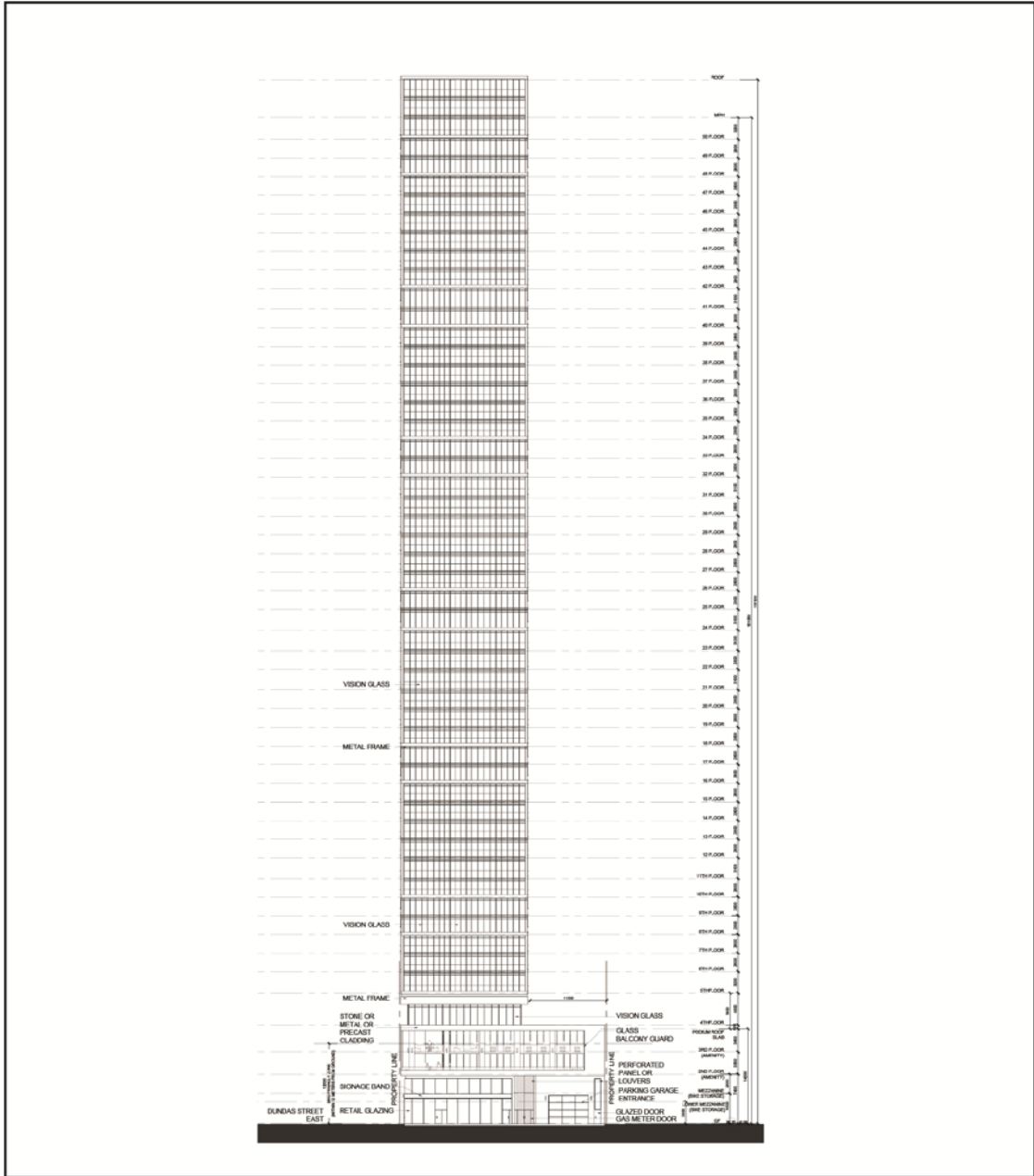
**North Elevation**

**175-191 Dundas St E**

Applicant's Submitted Drawing

Not to Scale  
09/09/2016

File # 15 123315 STE 27 SA



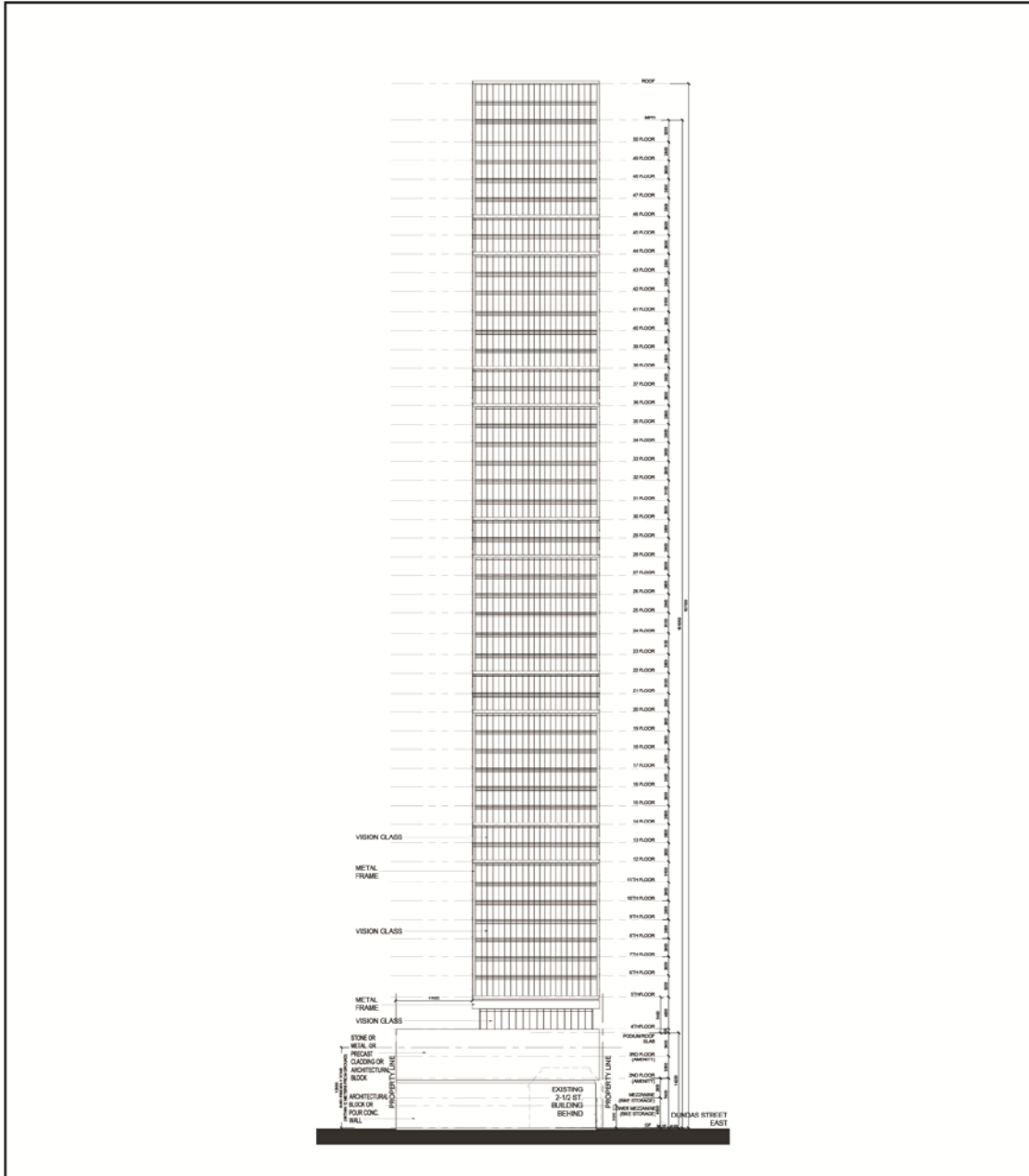
**West Elevation**

Applicant's Submitted Drawing

Not to Scale  
09/09/2016

**175-191 Dundas St E**

File # 15 123315 STE 27 SA



## East Elevation

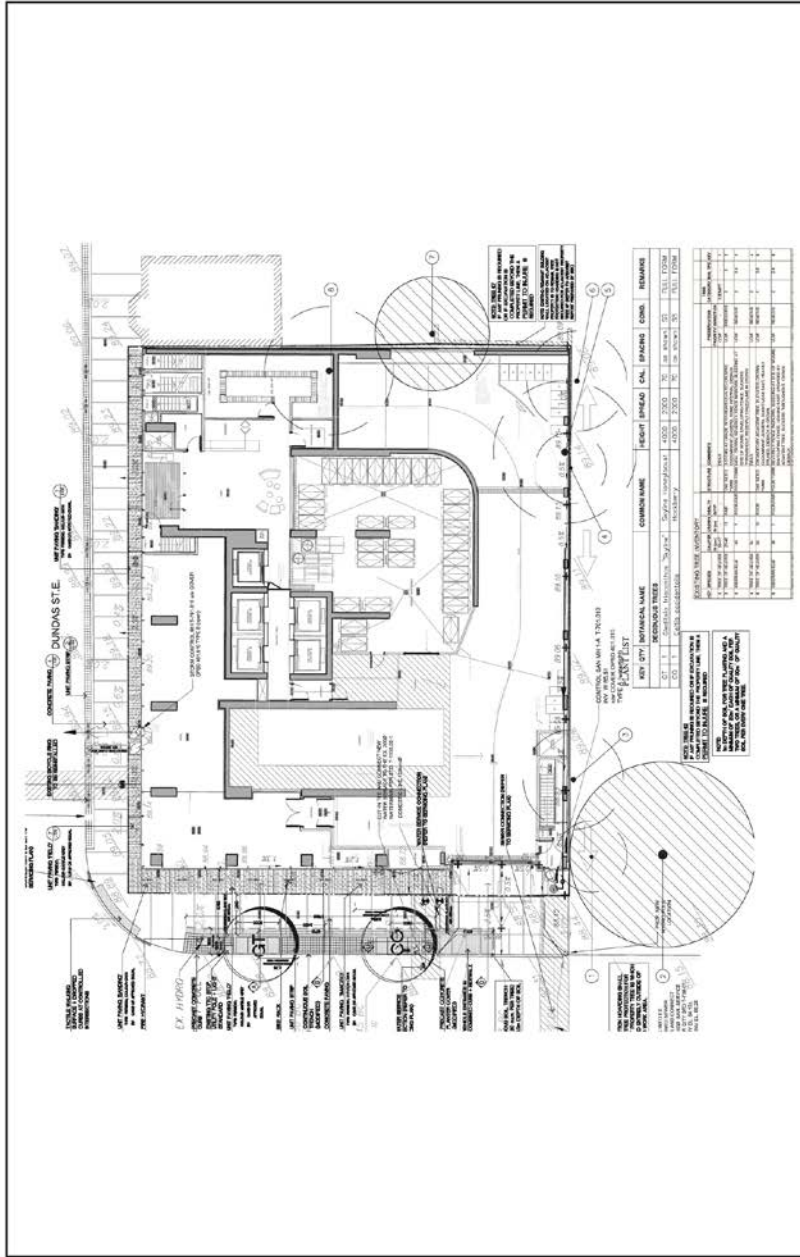
Applicant's Submitted Drawing

Not to Scale  
09/09/2016

## 175-191 Dundas St E

File # 15 123315 STE 27 SA

Attachment 3: Landscape Plans



175-191 Dundas St E

Landscape Plan  
 Applicant's Submitted Drawing  
 Not to Scale  
 09/09/2016

File # 15 123315 STE SA

## **Attachment 4: Conditions of Site Plan Approval**

### List of Approved Drawings

- Context Map & Statistics A1, prepared by IBI Group, dated Jul 27, 2016
- Site Plan A3, prepared by IBI Group, dated Jul 27, 2016
- Ground Floor Plan A4, prepared by IBI Group, dated August 19, 2016
- Mezzanine Floor Plan A5, prepared by IBI Group, dated Jul 27, 2016
- Second Floor Plan A6, prepared by IBI Group, dated Jul 27, 2016
- Third Floor Plan A7, prepared by IBI Group, dated Jul 27, 2016
- Fourth Floor Plan, A8, prepared by IBI Group, dated Jul 27, 2016
- Roof Plan A11a, prepared by IBI Group, dated Jul 27, 2016
- Parking P1 Floor Plan A12, prepared by IBI Group, dated Jul 27, 2016
- Parking P2 Floor Plan A13, prepared by IBI Group, dated Jul 27, 2016
- West Elevation A14, prepared by IBI Group, dated Jul 27, 2016
- North Elevation A15, prepared by IBI Group, dated Jul 27, 2016
- East Elevation A16, prepared by IBI Group, dated Jul 27, 2016
- South Elevation A17, prepared by IBI Group, dated Jul 27, 2016
- Building Section A18, prepared by IBI Group, dated Jul 27, 2016
- Building Section A19, prepared by IBI Group, dated Jul 27, 2016
- 1:50 Detail Elevation Along Jarvis A20, prepared by IBI Group, dated Jul 27, 2016
- 1:50 Detail Elevation Along Dundas A21, prepared by IBI Group, dated Jul 27, 2016
- 1:50 Detail East Elevation A22, prepared by IBI Group, dated Jul 27, 2016
- 1:50 Detail South Elevation A23, prepared by IBI Group, dated August 19, 2016
- Landscape Plan Ground Level L100, prepared by Strybos Barron King, revision 9 dated July 22, 2016
- Landscape Plan 2<sup>nd</sup>, 3<sup>rd</sup>, 5<sup>th</sup> Floor & Roof Plan L101, prepared by Strybos Barron King, revision 9 dated July 22, 2016
- Construction Details L200, prepared by Strybos Barron King, revision 9 dated July 22, 2016
- Streetscape Details L201, prepared by Strybos Barron King, revision 9 dated July 22, 2016
- General Notes NT, prepared by MMM Group, revision 4 dated July 25, 2016
- Grading Plan & Erosion and Sedimentation Control Plan SG1, prepared by MMM Group, revision 5 dated August 2, 2016
- Site Servicing Plan and Cross Sections SS1, prepared by MMM Group, revision 5 dated August 2, 2016
- Site Servicing Plan and Cross Sections SS2, prepared by MMM Group, revision 4 dated July 25, 2016

## **A. PRE-APPROVAL CONDITIONS**

### **LEGAL SERVICES – Stephanie Morrow 416-397-5379**

1. Enter into the City's standard site plan agreement to and including registration of the site plan agreement on title to the subject lands by the City at the owner's expense.

### **TECHNICAL SERVICES – Congming Ren 416-392-9252**

2. Obtain a discharge agreement/ permit from City of Toronto, Toronto Water, Environmental Monitoring and Protection Section for discharging groundwater to the City's sewers.

### **CITY PLANNING Derek Waltho 416-392-0412**

3. Submit financial security in the amount of \$81,300 to the Director, Community Planning Toronto and East York District in the form of a Letter of Credit or certified cheque to guarantee the provision of landscape development works as detailed on the approved Landscape Plans.

### **ST. MICHAEL'S HOSPITAL Cynthia MacDougall 416-601-7966**

4. Prior to construction, an obstruction lighting assessment will be undertaken and obstruction lighting incorporated as required.
5. All construction equipment, including cranes, will be located to ensure that there is no impact on the identified flight paths of SickKids and St. Michael's Hospital.
6. Prior to any construction a Land Use Proposal Submission Form will be submitted to NAV CANADA for approval, with a copy to SickKids and St. Michael's Hospital.
7. Prior to any construction an Aeronautical Assessment Form for Obstruction Marking and Lighting will be submitted to NAV CANADA for approval, with a copy to SickKids and St. Michael's Hospital.
8. Prior to construction a Crane/Construction Equipment Study will be undertaken and a Plan of Construction Operations (PCO) will be implemented to coordinate construction activities if required.

### **SICK KIDS HOSPITAL Catherine Lyons 416-597-4183**

9. Prior to construction, an obstruction lighting assessment will be undertaken and obstruction lighting incorporated as required.

10. All construction equipment, including cranes, will be located to ensure that there is no impact on the identified flight paths of SickKids and St. Michael's Hospital.
11. Prior to any construction a Land Use Proposal Submission Form will be submitted to NAV CANADA for approval, with a copy to SickKids and St. Michael's Hospital.
12. Prior to any construction an Aeronautical Assessment Form for Obstruction Marking and Lighting will be submitted to NAV CANADA for approval, with a copy to SickKids and St. Michael's Hospital.
13. Prior to construction a Crane/Construction Equipment Study will be undertaken and a Plan of Construction Operations (PCO) will be implemented to coordinate construction activities if required.

**PARKS, FORESTRY & RECREATION – Urban Forestry, Tree Protection & Plan Review – Gary LeBlanc 416-392-0494**

14. The owner shall provide a cash in lieu payment in the form of a certified cheque or money order payable to *Treasurer, City of Toronto*, in the amount \$6,996.00 (\$583/tree) to cover the required private tree replanting that they are unable to satisfy. This payment must be submitted to the attention of the Supervisor of Urban Forestry, Tree Protection & Plan Review.
15. The owner shall provide a tree planting security deposit in the form of an irrevocable Letter of Credit or certified cheque payable to the *Treasurer, City of Toronto*, in an amount \$1,166.00 (\$583.00 per tree subject to change) for new tree planting within the City road allowance. The tree planting security deposit must be submitted to the attention of the Supervisor of Urban Forestry, Tree Protection & Plan Review. The deposit will be drawn upon to cover all costs incurred by the City of Toronto in enforcing and ensuring that the trees are planted and kept in a healthy and vigorous state during the two-year guarantee period. **Payment must be in person at Urban Forestry, 50 Booth Ave, 2<sup>nd</sup> Floor.**

It is the owner's responsibility to maintain all new tree plantings within the City road allowance in good condition for the guarantee period. Trees will be inspected during and prior to the end of the renewable guarantee period. The owner must notify Urban Forestry in writing after the trees have been planted to start the guarantee period. If the trees are in good condition at the end of the renewable guarantee period, the City will assume maintenance and ownership of the trees.

16. The owner must submit to the Urban Forestry supervisor TPPR South ([tpprsouth@toronto.ca](mailto:tpprsouth@toronto.ca)) a letter/email and photos, from a certified arborist that documents the installed tree protection (hoarding). **The letter should be submitted prior to construction beginning.**



## **B. POST APPROVAL CONDITIONS**

In addition to the above pre-approval conditions, the following post approval conditions are to be fulfilled by the owner following site plan approval and will be incorporated into a site plan agreement:

The proposed development shall be carried out and maintained in accordance with the plans and drawings referred to herein, to the satisfaction of the City of Toronto.

### **TECHNICAL SERVICES – Congming Ren 416-392-9252**

1. Facilities to Provide Access to and from the Land
  - 1.1 Remove all existing accesses, curb cuts, traffic control signs, etc. along the development site frontages that are no longer required and reinstate the boulevard within the City's right-of-way, in accordance with City standards and to the satisfaction of the Executive Director of Engineering and Construction Services.
  - 1.2 Make satisfactory arrangement with Toronto Hydro for the relocation of the existing pole fronting Jarvis Street.
2. Off-street Vehicular Loading and Parking Facilities and Access/Driveways
  - 2.1 Provide and maintain convex mirrors at the bottom of the parking garage ramps and at all right-angled turns within the underground parking garage and position them in such a manner as to give all motorists clear views of oncoming traffic;
  - 2.2 Designate a maintenance person to act as a flag person to assist refuse collection vehicles and other large trucks with the back-up manoeuvre to and from the loading space;
  - 2.3 Provide and maintain an warning system to caution motorists leaving the parking garage when loading operations are occurring; and
  - 2.4 Provide and maintain clearly visible “No Parking” signs adjacent to the proposed Type G loading space.
3. Facilities for the Storage of Garbage and Other Waste Material
  - 3.1 Retain a private refuse collection firm to collect the refuse and recyclable materials generated by the non-residential component of the development, with such being done on alternate days from that of City solid waste refuse collection.

- 3.2 Provide and designate a fully trained on-site maintenance person to manoeuvre bins for the collection driver, and be present at all times during City refuse collection days to manoeuvre the containers in front of the waste collection vehicle and act as flag persons when the vehicle is reversing.
  - 3.3 Provide a letter certified by a professional engineer that in all cases where a collection vehicle is required to drive onto or over a supported structure (such as an underground parking garage) the structure can safely support a fully loaded collection vehicle (35,000 kilograms) and conforms to the following:
    - (a) Design Code - Ontario Building Code;
    - (b) Design Load - City bulk lift vehicle in addition Building Code requirements;
    - (c) Impact Factor - 5% for maximum vehicular speeds to 15 km/h and 30% for higher speeds.
  - 3.4 Provide certification to the Executive Director of Engineering and Construction Services from the Architect who designed and supervised the construction that all solid waste management facilities and the horizontal and vertical clearances required for a City collection vehicle have been constructed in accordance with the accepted site plan drawings.
4. Stormwater Management, Grading and Site Servicing
- 4.1 Construct and maintain stormwater management measures/facilities and site grading as recommended in the accepted stormwater management report, entitled "Stormwater Management Report" (revised May 2016), and site grading plan, entitled "Grading Plan" (Drawing No.: SG1, revision 5 and revision date August 2, 2016), all prepared by MMM Group;
  - 4.2 Construct and maintain site servicing as indicated on the accepted site servicing plan, entitled " Site Servicing Plan and Cross Sections" (Drawing No.: SS1, revision 5 and revision date August 2, 2016), and prepared by MMM Group;
  - 4.3 Provide certification to the Executive Director, Engineering and Construction Services by the Professional Engineer who designed and supervised the construction that the stormwater management facilities and site grading have been constructed in accordance with the stormwater management report and site grading plan as accepted by the Executive Director, Engineering and Construction Services;
  - 4.4 Provide certification to the Executive Director, Engineering and Construction Services by the Engineer who designed and supervised the construction, that the site servicing facilities have been constructed in accordance with the

drawings accepted by the Executive Director, Engineering and Construction Services.

**PARKS, FORESTRY & RECREATION – Urban Forestry, Tree Protection & Plan Review – Gary LeBlanc 416-392-0494**

5. The owner shall maintain all new tree plantings within the City road allowance in good condition. The tree planting security deposit will be drawn upon to cover all costs incurred by the City of Toronto in enforcing and ensuring that the trees are planted and kept in a healthy and vigorous state during the two-year guarantee period. Trees will be inspected during and prior to the end of the renewable guarantee period. If the trees are in good condition at the end of the renewable guarantee period, the City will assume maintenance and ownership of the trees. **The owner must notify Urban Forestry in writing immediately after the trees have been planted to start the guarantee period ([tpprsouth@toronto.ca](mailto:tpprsouth@toronto.ca)).**
6. The owner shall be responsible for the maintenance or replacement of all new tree plantings within the City road allowance if during or at the end of the renewable guarantee period the trees are not in good condition, require maintenance or require replacement. The owner will be responsible for rectifying the problem as determined by and to the satisfaction of the General Manager of Parks, Forestry & Recreation.
7. After the tree guarantee period has concluded, the owner must provide Urban Forestry a Certificate of Completion from the qualified tree care or landscape company documenting all maintenance work done to the trees during the guarantee period (*e.g.* watering, pruning, *etc.*). Additionally, the owner must provide Urban Forestry an inventory and photographs (digital and hard copy) of the new road allowance trees.
8. The owner must submit to the Urban Forestry supervisor TPPR South, notice and documentation of the construction of the Continuous Tree Pits or Soil Cell Pits in the form of a report. Notice must be submitted one week prior to the start of construction of the pits. Documentation of each step of the construction of the pits should include photographs and other records of the various stages. The stages can include (but not limited to) base preparation, framing, pouring of concrete, addition of soil and tree planting. Upon conclusion, the documentation must be submitted to Urban Forestry ([tpprsouth@toronto.ca](mailto:tpprsouth@toronto.ca)).
9. The owner must submit to the Urban Forestry supervisor TPPR South, documentation of the soil for the soft landscaping sodded area, the tree pits, tree trench or Soil Cell pits in the form of a report. Documentation should include records of the soil provided. Upon conclusion, the documentation must be submitted to Urban Forestry ([tpprsouth@toronto.ca](mailto:tpprsouth@toronto.ca)).

10. The owner must submit to the Urban Forestry supervisor TPPR South ([tpprsouth@toronto.ca](mailto:tpprsouth@toronto.ca)) a letter/email and photos, from a certified arborist, that documents site conditions (such as condition of the tree protection or any tree issues). The letter should be submitted once construction has begun and then every six month thereafter.
11. The site shall be developed and maintained in accordance with the approved plans and conditions of approval associated with the Site Plan, Grading Plan, Site Servicing Plan, Landscape Plan, Building Permit and Tree Permit(s)/Approvals. Any proposed revisions/alterations to the approved plans or permits that affect trees must be approved by Urban Forestry in writing, on behalf of the General Manager of Parks, Forestry & Recreation.

**ENVIRONMENT & ENERGY – Energy Efficiency Office – Shahzad Khan 416-392-6818**

12. Construct and maintain the development substantially in accordance with the accepted Energy Report dated February 20, 2016 and prepared by MCW Consultants Ltd. to ensure that the energy savings identified continue to be achieved, to the satisfaction of the Executive Director, Environment and Energy Division.

**BELL CANADA – Lina Raffoul 416-296-6291**

13. The Owner shall agree in the Agreement, in words satisfactory to Bell Canada, to grant to Bell Canada any easements that may be required for telecommunication services. Easements may be required subject to final servicing decisions. In the event of any conflict with existing Bell Canada facilities or easements, the owner/developer shall be responsible for the relocation of such facilities or easements.
14. Bell Canada requires one or more conduit or conduits of sufficient size from each unit to the room(s) in which the telecommunications facilities are situated and one or more conduits from the room(s) in which the telecommunication facilities are located to the street line.

## **SITE PLAN ADVISORY COMMENTS**

1. The owner is advised that the Green Roof By-law (By-law No. 583-2009) (Chapter 492 of the City of Toronto Municipal Code) including Article IV the Toronto Green Roof Construction Standard, may be applicable to the proposed development. For further information, please contact Ray Tamondong, Toronto Building at 416-338-5733.

## **TECHNICAL SERVICES**

2. Transportation

The owner will be financially responsible for all proposed work within the municipal boulevard, as identified on the approved drawings, including but not limited to the reconstruction of the entire sidewalks along the Dundas Street East and Jarvis Street building frontages, to the satisfaction of the Executive Director of Engineering and Construction Services.

That approval for all work that will be carried out within the abutting public rights-of-way, which may include but not be limited to financial responsibility for removal or relocation of existing street furniture (transit shelters, loss of advertising revenue, benches, litter bins, bike rings, etc.), must be received from the Transportation Services Division. The City will not undertake any work associated with removing, reinstalling or relocating existing street furniture until it receives payment. If clarification is required on how the above standards will apply to this site, the owner can contact the Right-of-Way Management Section, Toronto and East York District, Construction Activities, at 392-7877 or the Street Furniture Management section at 416-392-1799.

3. Site Servicing Connections and Stormwater Management

The owner must make an application to Toronto Water Division for the installation of any proposed services within the right-of-way after acceptance of the stormwater management report and site servicing plan. For further information, please contact Dan Christensen, District Operations, Toronto Water at 416-395-6297.

4. Utilities

The owner is financially responsible for all costs associated with the excavation, improvement, removal and/or relocation of any above or below-grade public or private utility resulting from the development of this property.

5. Engineering & Construction Services

Prior to the issuance of a construction permit for work within the public rights-of-way (as part of a separate Streetscaping Application), the Owner must submit an

Irrevocable Letter of Credit in the amount of \$51,095 to guarantee the work to be undertaken and a certified cheque in the amount of \$2,624, made payable to Treasurer, City of Toronto, to cover the cost of engineering and inspection fees related to same.

The following Tier 1 Performance Measures have been met where appropriate.

- WQ 1.1 Erosion & sediment control
- WQ 2.1 Stormwater balance
- WQ 2.2 Stormwater retention & reuse
- WQ 3.1 Total suspended solids (TSS)
- WQ 3.2 E. Coli reduction

6. Municipal Numbering

The site comprises multiple properties which should be amalgamated for assessment and Official Record municipal numbering purposes. The owner is required to apply for revised municipal numbering prior to filing an application for a building permit.

7. Toronto Hydro Approval

The owner must obtain approval from Toronto Hydro Street Lighting Incorporated, THSLI, for removing and/or relocating any utility with attached municipal street lighting and for any upgrades. The owner is advised to contact THSLI (416-542-3195) or [www.torontohydro.com/streetlighting](http://www.torontohydro.com/streetlighting) for comment and cost estimates for required fieldwork.

8. Fire Services

As established by Toronto By-law, Chapter 880, it is required that an approved fire access route be provided. (Application shall be submitted to Toronto Fire Services prior to occupancy).

**PARKS, FORESTRY & RECREATION**

9. Tree planting must be completed according to the approved Tree Planting Plan and to the satisfaction of Urban Forestry within a reasonable time frame. Any proposed revisions to the planting plan must first be approved by Urban Forestry.
10. For the Continuous Tree Pits/Trench or Soil Cell Pits on the City road allowance, the owner is to provide notice and documentation of the construction of the pits/trench to Urban Forestry and Transportation Right Of Way Management prior to any clearances. Notice must be submitted one week prior to the start of construction of the pits. Documentation of each step of the construction of the pits

should include photographs and other records of the various stages of construction as indicated in post approval conditions.

11. The owner agrees to ensure that all tree protection barriers are maintained in good condition until all construction activities have been completed. Barriers are not to be moved, altered or removed until authorized by Urban Forestry. The owner must also notify all builders, contractors and agents of all tree protection requirements where any part of the development will be carried out by them on behalf of the owner.
12. The amount of proposed trees shown on the Landscape Plan does not meet the Toronto Green Standard required number of trees. The applicant should add more trees to the plan or consult with the Planning Department for further instruction.
13. The applicant should be advised that the determination of ownership of any subject tree(s) is the responsibility of the applicant and any civil or common-law issues which may exist between property owners with respect to trees, must be resolved by the applicant.

#### **TORONTO DISTRICT SCHOOL BOARD**

14. Despite the best efforts of the Toronto District School Board, sufficient accommodation may not be locally available for all students and anticipated from the development area and that students may be accommodated in facilities outside the area, and further, that students may later be transferred.
15. Purchasers agree for the purpose of transportation to school, if bussing is provided by the Toronto District School Board in accordance with the Board's policy, that students will not be bussed home to school, but will meet the bus at designated location on or outside of the area.

### Attachment 5: Application Data Sheet

Application Type Details	Site Plan Approval	Application Number:	15 123315 STE 27 SA
		Application Date:	March 3, 2015
Municipal Address:	175 DUNDAS ST E		
Location Description:	PLAN 10A PT LOTS 17 & 18 **GRID S2714		
Project Description:	To allow for the re-zoning of the subeject lands for the constructing of a 50-storey mixed use building containing retail uses on the ground floor and residential uses above.		

<b>Applicant:</b>	<b>Agent:</b>	<b>Architect:</b>	<b>Owner:</b>
Aird & Berlis LLP			Dundas Residences Inc.

#### PLANNING CONTROLS

Official Plan Designation:	Mixed Use Areas	Site Specific Provision:	383-2016 (OMB)
Zoning:		Historical Status:	
Height Limit (m):	158	Site Plan Control Area:	Y

#### PROJECT INFORMATION

Site Area (sq. m):	1191	Height:	Storeys:	50
Frontage (m):	29		Metres:	157
Depth (m):	30.8			
Total Ground Floor Area (sq. m):				<b>Total</b>
Total Residential GFA (sq. m):	32,800		Parking Spaces:	45
Total Non-Residential GFA (sq. m):	200		Loading Docks	2
Total GFA (sq. m):	33,000			
Lot Coverage Ratio (%):				
Floor Space Index:	27.8			

#### DWELLING UNITS

#### FLOOR AREA BREAKDOWN (upon project completion)

Tenure Type:	Condo		<b>Above</b>	<b>Below</b>
			<b>Grade</b>	<b>Grade</b>
Rooms:	0	Residential GFA (sq. m):	32,800	0
Bachelor:	2	Retail GFA (sq. m):	200	0
1 Bedroom:	379	Office GFA (sq. m):	0	0
2 Bedroom:	182	Industrial GFA (sq. m):	0	0
3 + Bedroom:	0	Institutional/Other GFA (sq. m):	0	0
Total Units:	563			

**CONTACT: PLANNER NAME: Derek Waltho, Planner**  
**TELEPHONE: 416-392-0412**