

CC26.5 CONFIDENTIAL ATTACHMENT 3

- made public on March 10, 2017

1. Concept plan showing which will be included in the drawing and if approved, the drawing will be submitted to the City of Seattle for review. The drawing and the information provided herein may not be approved or changed in any way without the prior written permission of the City of Seattle.
2. These General Conditions are the property of the architect. The architect does not accept responsibility for the interpretation of these conditions by the Contractor. These conditions are intended to provide a minimum standard of performance and are not intended to constitute a contract. Any interpretation of these conditions shall be made by the architect. The architect will accept any changes requested by the Contractor for change orders only.
3. Drawings are not to be used for construction. The Contractor shall verify all dimensions and dimensions indicated on the drawings and report any discrepancies to the architect immediately. The Contractor shall not proceed with construction until the architect has approved any changes to the drawings.
4. Features of adjacent buildings, structures or other structures, including but not limited to, are shown on the drawings for informational purposes only. The architect does not warrant the accuracy of these features.
5. These drawings are not to be used for construction unless they are approved in "As Shown" or "As Noted" format.
6. All work to be done shall be in accordance with the Code and Rules of the jurisdiction having jurisdiction.
7. The architect is not responsible for the construction of the building. The architect is responsible for the design and construction of the building. The architect is not responsible for the construction of the building. The architect is not responsible for the construction of the building.

| Level | Total Levels | HS # | Truck # | Floor Area | | | | | | Parking | | | | | | Residential Units | | | | | | | | |
|----------------------|--------------|------|---------|------------|-----------|-------------------------------|---------|-----------------|-----------|--------------|------------|--------------------------|----------------------------|--------------------------|-----------------------|---------------------------------|----------------------------------|-------------|--------------|--------------|--------------|--------------|--------------|-------------|
| | | | | OCAs/Level | Total OCA | Interior Residential Assembly | Loading | OCs/Condominium | Res./Bike | Non-Res./OCA | Total/Bike | Resident Vehicle Parking | Commercial Vehicle Parking | Car/Bike Vehicle Parking | Resident Bike Parking | Commercial Vehicle Bike Parking | Commercial Occupant Bike Parking | 8 per level | 10 per level | 15 per level | 20 per level | 25 per level | 30 per level | Total Units |
| P3-R3 | 7 | | | 8,218 | 24,864 | | | | 24,864 | | | | | | | | | | | | | | | |
| P1 | 1 | | | 8,218 | 8,218 | | | | 8,218 | | | | | | | | | | | | | | | |
| Subtotal Above Grade | 4 | | | | 31,082 | | | | 31,082 | | | | | | | | | | | | | | | |
| Ground | 1 | 9 00 | 0 00 | 1,824 | 1,824 | | 240 | 75 | 260 | 1,002 | | | | | | | | | | | | | | |
| Level 2 | 1 | 4 00 | 4 00 | 1,824 | 1,824 | 285 | | 82 | 0 | 1,562 | | | | | | | | | | | | | | |
| Level 3 | 1 | 4 00 | 4 00 | 1,316 | 1,316 | 1 25 | | 88 | 0 | 918 | | | | | | | | | | | | | | |
| Levels 4-9 | 6 | 3 00 | 1 00 | 1,316 | 6,376 | | | 220 | 1,844 | 4,802 | | | | | | | | | | | | | | |
| Level 8 | 1 | 3 00 | 3 00 | 347 | 347 | | | 17 | 330 | 0 | | | | | | | | | | | | | | |
| Level 8 | 1 | 4 00 | 4 00 | 347 | 347 | | | 17 | 330 | 0 | | | | | | | | | | | | | | |
| Levels 10-20 | 11 | 3 00 | 0 00 | 437 | 6,306 | | | 220 | 6,227 | 0 | | | | | | | | | | | | | | |
| Levels 20-21 | 1 | 3 00 | 0 00 | 437 | 1,429 | | | 220 | 1,209 | 0 | | | | | | | | | | | | | | |
| Levels 22-29 | 8 | 3 00 | 0 00 | 437 | 3,496 | | | 220 | 3,221 | 0 | | | | | | | | | | | | | | |
| Level 31 | 1 | 3 00 | 0 00 | 437 | 1,429 | | | 220 | 1,209 | 0 | | | | | | | | | | | | | | |
| Mezz | | | | | | | | | | | | | | | | | | | | | | | | |
| Subtotal Above Grade | 31 | | | 110 00 | 510 80 | | 264 | 289 | 264 | 0 | | | | | | | | | | | | | | |
| Project Totals | 31 | | | 175 00 | 33 200 | | 310 | 349 | 36 216 | 19 704 | 0 071 | 27 779 | | | | | | | | | | | | |

| | |
|-------------------------------|--------|
| Site Area | 1,341 |
| Total Residential Units | 240 |
| Res./OCA Above Grade | 19,704 |
| Res./OCA Above Grade | 6,095 |
| Res./OCA Above Grade | 27,779 |
| Interior Residential Assembly | 9 0 |
| Interior Residential Assembly | 131 |
| Total | 19 90 |

| | |
|--------------------|-----|
| Proposed | Res |
| Vehicle Parking | 0 |
| Resident Parking | 0 |
| Car Share | 0 |
| Commercial Parking | 0 |
| Totals | 0 |

| | |
|---------------------|-----|
| Proposed | Res |
| Resident Parking | 216 |
| Vehicle Parking | 25 |
| Commercial Occupant | 0 |
| Commercial Visitor | 0 |
| Totals | 241 |

| | | |
|-----------------------------|-------|----------|
| Res | units | total sq |
| 7 level Units | | 28 |
| 1 level additional 50 units | | 52 |
| Unimproved Waste | | 10 |
| Total Garbage Removal Area | | 90 |

| | |
|-----------------|--------|
| Max Roof Height | 90 00 |
| Max 11 H Height | 170 00 |

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205 S 5 7 Avenue, Suite 1000
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1 206 338 8800
1 206 338 8811
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Photo by: [unreadable]



Photo by: [unreadable]

- 1. Copyright of this drawing is held by the Architect. The drawing and all contents hereon are the intellectual property of the Architect. The Architect and the Architect's authorized agents may not be held responsible in whole or in part for any other party's actions or omissions.
- 2. This Contract Document is the property of the Architect. The Architect bears no responsibility for the interpretation of these documents by the Contractor. When written agreements for the Architect are made, subsequent additions or amendments to the Contract Documents shall be made in writing and shall be subject to the Architect's approval. The Architect will issue the drawings related to the Contract Documents for the Contractor's use only.
- 3. Drawings are to be used for construction. The Contractor is to verify all existing conditions and dimensions required to perform the work and report any differences to the Architect immediately. The Architect's drawings are not to be used for any other purpose.
- 4. Portions of original material contained in structural drawings, sheets, and forms are retained as indicated drawings. The Contractor shall be responsible for the accuracy of drawings and the structural and material drawings. The Contractor shall be held liable for any errors or omissions in drawings by the Architect.
- 5. These drawings shall be used for construction unless otherwise specified by the Architect.
- 6. All work shall be completed in accordance with the schedule of values of the contract documents.
- 7. The Architect of these plans shall not be held responsible for any errors or omissions in the work unless the contractor of the building is notified for them. The contractor or subcontractor shall verify dimensions and existing conditions of all work items. The Architect shall not be responsible for any errors or omissions in the work.

| NO | REVISION/DATE | DATE |
|----|---------------|------------|
| 1 | ISSUANCE | 02/29/2016 |
| 2 | REVISIONS | 03/01/2016 |
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200-20-8-7 Adelaide St. West
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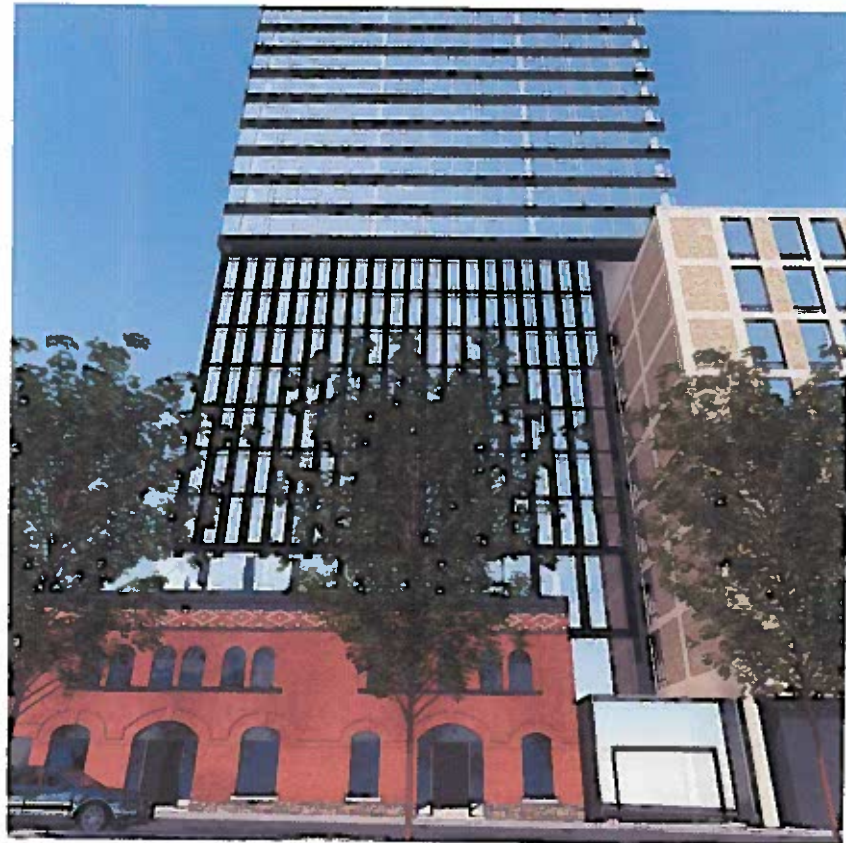
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Renderings

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1. Contractor of the drawings is responsible for the Architect. The drawings and all documents prepared hereon shall be the property of the Architect. The drawings and all documents prepared hereon shall be the property of the Architect. The drawings and all documents prepared hereon shall be the property of the Architect.

2. These Contract Documents are the property of the Architect. The Architect bears no responsibility for the consequences of their drawings for the Contractor. The Contractor shall be responsible for the consequences of their drawings for the Contractor. The Contractor shall be responsible for the consequences of their drawings for the Contractor.

3. Drawings are not to be used for construction. The Contractor is to verify all existing conditions and dimensions required to perform the work and report the same to the Architect before commencing any work.

4. Matters of record shall be maintained in accordance with the Contract Documents and the Architect's instructions. The Contractor shall be responsible for the consequences of their drawings for the Contractor. The Contractor shall be responsible for the consequences of their drawings for the Contractor.

5. These drawings are not to be used for construction unless stated herein as "Approved for Construction".

6. All work shall be done in accordance with the Code and Rules of the applicable governing authority.

7. The Architect shall provide and coordinate services necessary for the Contractor to verify the accuracy of the information provided to them. It is the Contractor's responsibility to verify the accuracy of the information provided to them. It is the Contractor's responsibility to verify the accuracy of the information provided to them.

| NO. | ISSUANCE | DATE |
|-----|----------|------------|
| 1 | ISSUANCE | 12/29/2014 |
| 2 | ISSUANCE | 12/29/2014 |
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1000 10th Avenue SE, Suite 1000
 Tallahassee, Florida 32309-1170
 Phone: (904) 224-2200
 Fax: (904) 224-2201
 Email: [unreadable]



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Renderings

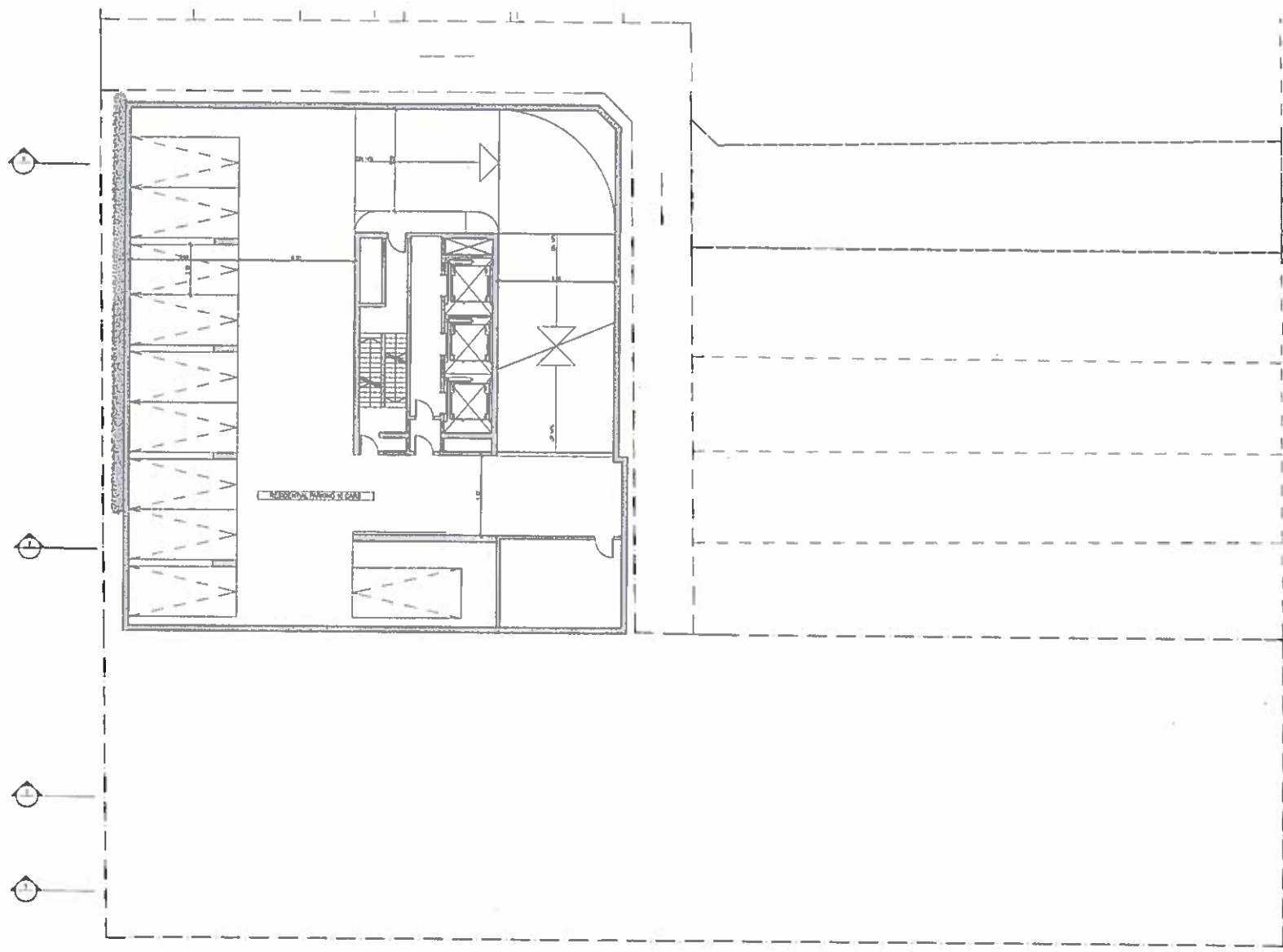
4" = 1'-0"

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Project: St. Nicholas, St. Mary & St. John

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1. Copyright of the drawings is retained by the Architect. The Owner will be deemed to have accepted the drawings as shown. No drawings or other information furnished herein may not be reproduced in whole or in part without prior written permission of the Architect.
2. These Contract Documents are the property of the Architect. The Architect retains the responsibility for the design. It is the responsibility of the Contractor to verify and confirm the accuracy of the drawings and specifications. The Contractor shall be responsible for any errors or omissions in the drawings and specifications. The Contractor shall be responsible for any errors or omissions in the drawings and specifications.
3. Drawings are not to be used for construction. The Contractor is to verify all existing conditions and dimensions on-site before the work and report any discrepancies to the Architect. The Contractor shall be responsible for any errors or omissions in the drawings and specifications.
4. Portions of original drawings reproduced in electronic format, digital, and printed are subject to the same terms and conditions as the original drawings. The Contractor shall be responsible for any errors or omissions in the drawings and specifications. The Contractor shall be responsible for any errors or omissions in the drawings and specifications.
5. These drawings are not to be used for construction without the written consent of the Architect.
6. All work to be done shall be in accordance with the laws and orders of the applicable governing authority.
7. The Architect of these plans and specifications shall not be responsible for any errors or omissions in the drawings and specifications. The Contractor shall be responsible for any errors or omissions in the drawings and specifications. The Contractor shall be responsible for any errors or omissions in the drawings and specifications.

| NO. | ISSUANCE | DATE |
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| 1 | SUBMITTAL | 10 10 2016 |
| 2 | REVISIONS | 08 01 2017 |
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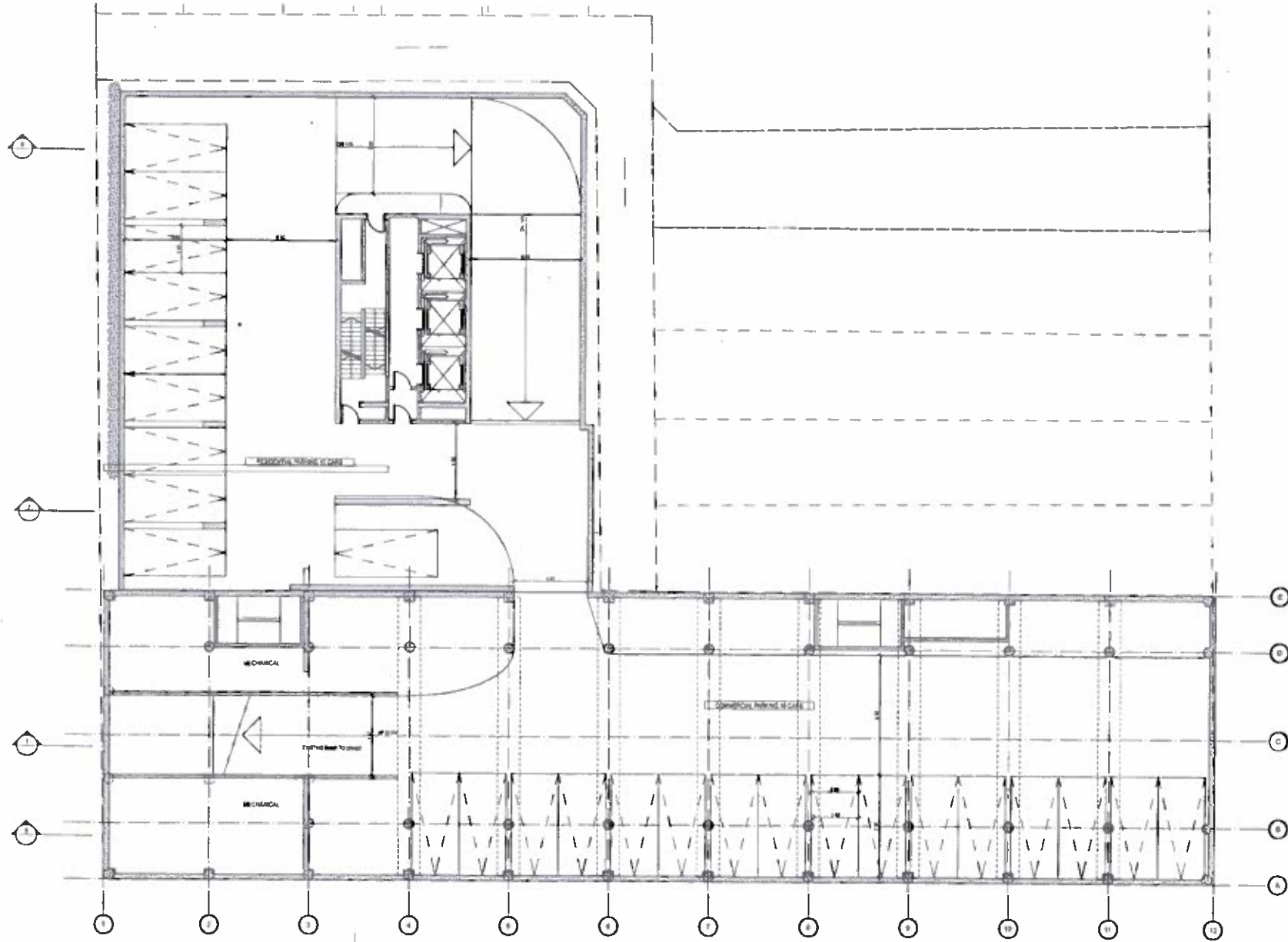


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1. Copyright © this drawing is reserved by the Architect. No drawing may be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the Architect.

2. These Contract Documents are the property of the Architect. The Architect retains the responsibility for the interpretation of these documents by the Contractor. No other equipment, the inclusion of which would constitute a modification or alteration of the Contract Documents, shall be included in the Contract Documents. The inclusion of any other equipment shall be subject to the Architect's approval.

3. Drawings are not to be used for construction. The Contractor is to refer to the contract documents and drawings prepared to perform the work and report any discrepancies to the Contract Documents to the Architect before commencing any work.

4. Portions of equipment installed in structural members, beams and columns are indicated on architectural drawings. The location, size and quantity of such equipment shall be as shown or directed by the Architect.

5. Shop drawings shall be used for construction unless noted otherwise on drawings. The Contractor is to refer to the contract documents and drawings prepared to perform the work and report any discrepancies to the Contract Documents to the Architect before commencing any work.

6. All work is to be completed in accordance with the contract documents and drawings prepared to perform the work and report any discrepancies to the Contract Documents to the Architect before commencing any work.

7. The inclusion of shop drawings and specifications provides a means of communication to the contractor about the responsibility of the contractor to provide the work. All contractors or subcontractors are to provide shop drawings, which shall be checked and approved by the Architect before construction of the work is begun.

| NO. | ISSUANCE | DATE |
|-----|--------------------|------------|
| 1 | ISSUANCE | 08/10/2016 |
| 2 | MECHANICAL NETWORK | 08/10/2017 |
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Architect: BermanBreenArchitecture
 1000 15th Street, NW
 Washington, DC 20004
 Phone: 202.462.1100
 Fax: 202.462.1101
 www.bermanbreen.com



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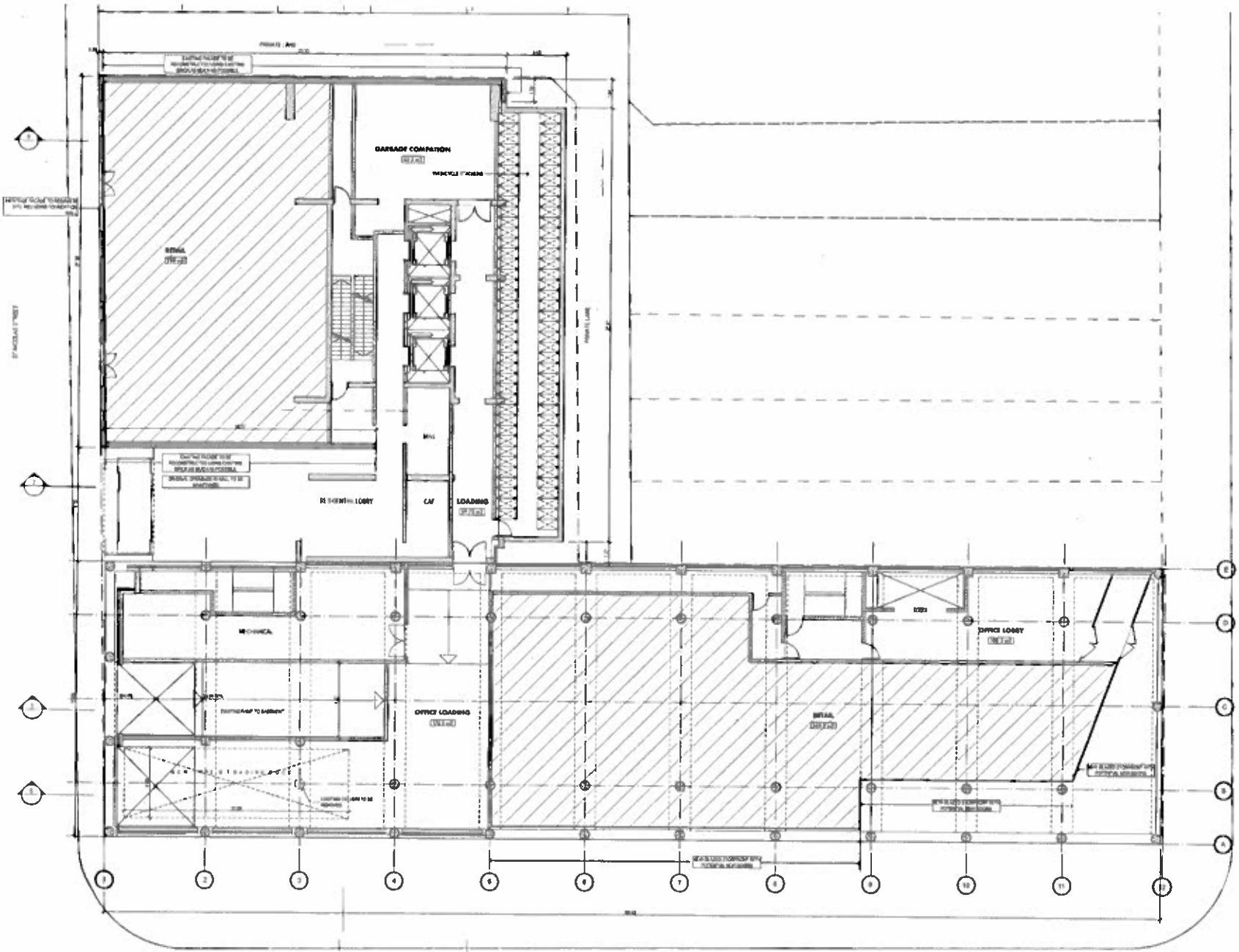
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2017.02.08

A.5

Project: St. Nicholas | St. Mary Castlepoint

Architect: [Faint text]



1. Copyright of the drawing is retained by the architect. No drawing and/or associated information may be reproduced or used in any manner without the prior written consent of the architect.
2. Plans issued throughout the project are the property of the architect. The architect does not accept responsibility for the interpretation of these drawings for any construction other than that specifically indicated. All structural and mechanical modifications or engineering information regarding the nature of the building structure, the building and/or the building structure, shall be provided to the contractor by design and construction.
3. Changes are not to be made to the drawings. The contractor is to verify all existing conditions and dimensions on the building. The contractor shall report any discrepancies to the architect immediately. The architect shall not be responsible for any discrepancies.
4. The contractor shall provide all necessary permits, fees, and approvals for the construction of the building. The contractor shall be responsible for the construction of the building.
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| NO. | ISSUANCE | DATE |
|-----|--------------------|------------|
| 1 | SCHEMATIC | 02 08 2016 |
| 2 | MECHANICAL REVISED | 02 01 2017 |
| 3 | MECHANICAL REVISED | 07 27 2017 |
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Architect: [Faint text]
 1000 St. Nicholas St. West
 Vancouver, British Columbia V6C 1K1
 TEL: 604 681 1111
 FAX: 604 681 1112
 WWW: www.stnicholas.ca



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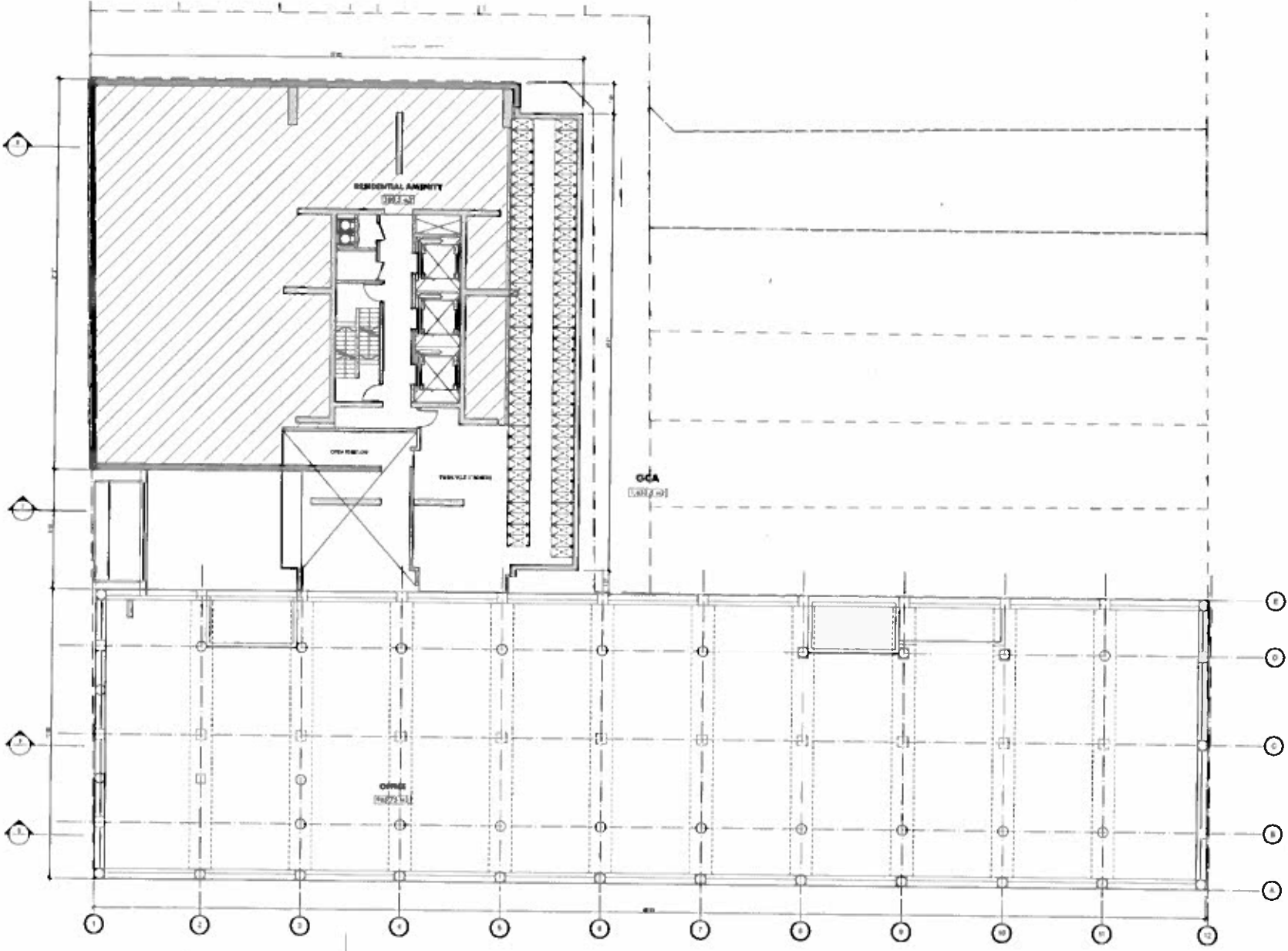
GROUND

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2017.05.31

A.6

Project: St. Nicholas, Toronto 2017

Architect: Architectural Group, Toronto 2017



1. Change of Use: The Applicant is responsible for the design and all necessary approvals for the proposed use of the building. The Applicant shall provide all necessary information to the City of Toronto for the proposed use of the building.
2. These Limited Requirements are the property of the Applicant. The Applicant shall be responsible for the maintenance of the building. The Applicant shall provide all necessary information to the City of Toronto for the proposed use of the building.
3. The Applicant shall be responsible for the design and all necessary approvals for the proposed use of the building. The Applicant shall provide all necessary information to the City of Toronto for the proposed use of the building.
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10. The Applicant shall be responsible for the design and all necessary approvals for the proposed use of the building. The Applicant shall provide all necessary information to the City of Toronto for the proposed use of the building.

| NO. | REVISIONS | DATE |
|-----|-----------------------|------------|
| 1 | ISSUED FOR PERMITTING | 12.28.2016 |
| 2 | ISSUED FOR PERMITTING | 01.07.2017 |

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 1000 7th Avenue W. West
 Toronto, Ontario M6H 1Y6
 416 593 2222
 www.architecturalgroup.com



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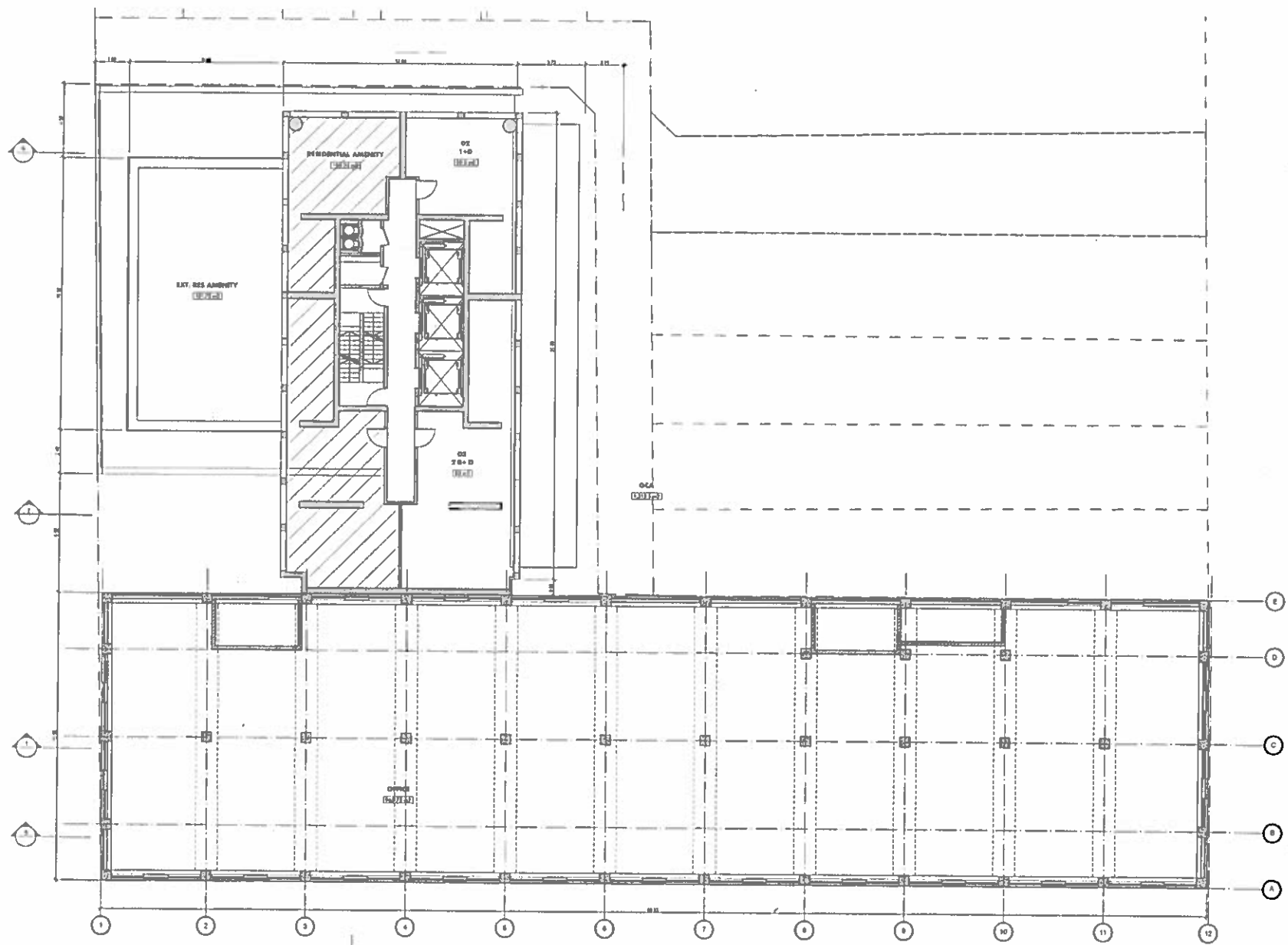
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Level 2
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 2017-02-08

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2. These General Requirements are the property of the Architect. The Architect bears no responsibility for the interpretation of these documents by the Contractor. Some contract documents the Architect will provide additional clarification or supplementary information regarding the intent of the General Requirements. The Architect will review the drawings submitted by the Contractor for design coordination only.
3. Drawings are not to be used for construction. The Contractor is to verify all existing conditions and dimensions required to prepare the work and report any discrepancies with the General Requirements to the Architect immediately upon discovery.
4. Problems of required further explanation or clarification, change, and deletion are indicated on additional drawings. The Architect does not on the architectural drawings provide any the final and final drawings. These drawings shall be final and shall be used as such by the Contractor.
5. Every drawing is not to be used for construction unless noted in the "Notes" for the Contractor.
6. All work is to be done in accordance with the City and State of California Building Code.
7. The Contractor shall provide and maintain access to all existing and new utility lines and shall be responsible for the relocation of any existing utility lines. All utility lines shall be relocated and shall be protected. When making use of all such plans and files are properly approved for work is represented by these plans.

Revisions

| NO. | ISSUANCE | DATE |
|-----|--------------------|------------|
| 1 | ISSUANCE | 02 26 2017 |
| 2 | ADD CHANGE REQUEST | 02 27 2017 |
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 Vancouver, British Columbia V6B 1P6
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 WWW: WWW.STNICOLASANDMARY.COM

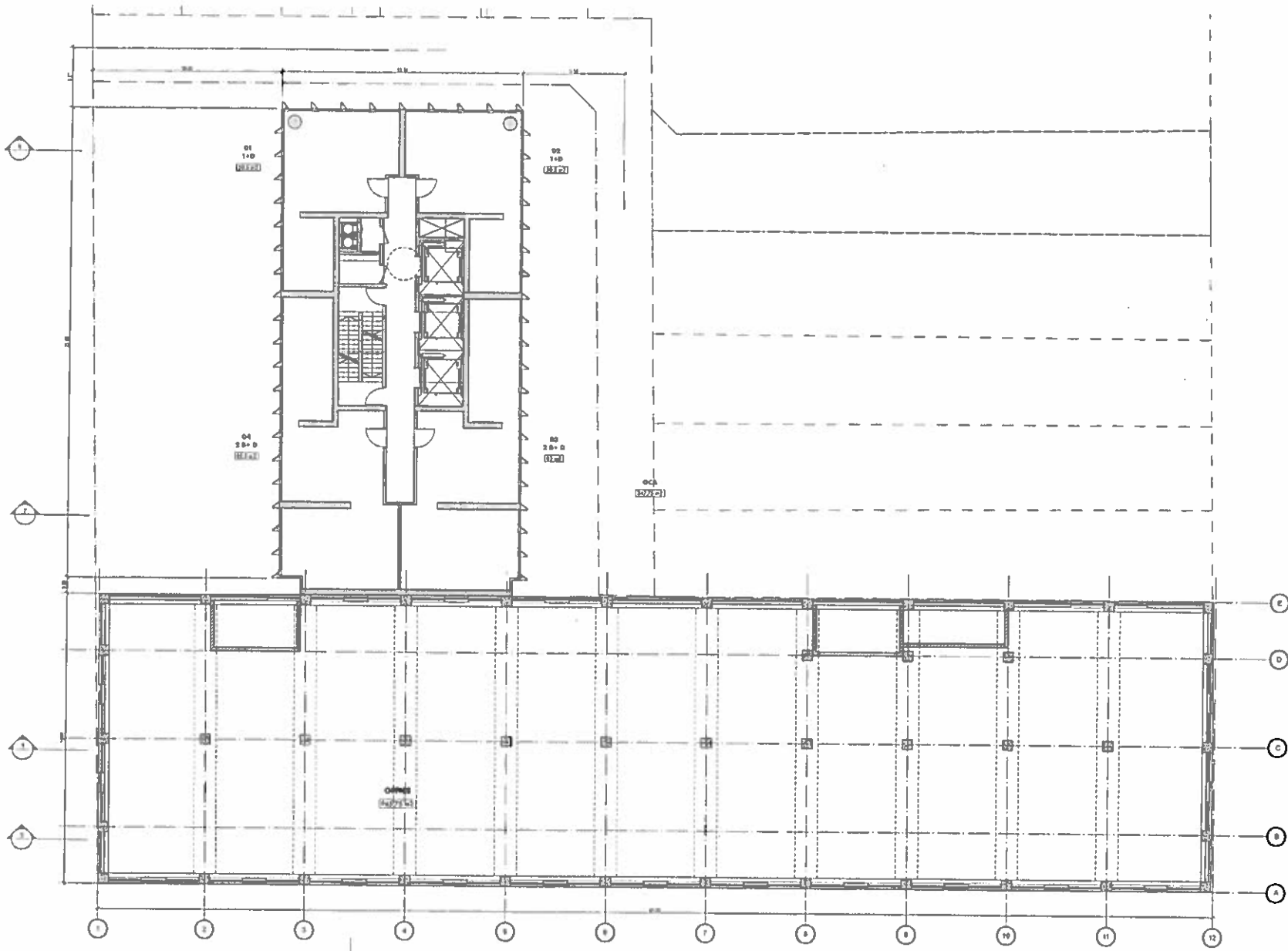


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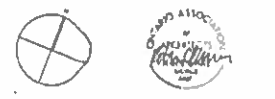


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2. These Contract Documents are the property of the Architect. The Architect retains the responsibility for the interpretation of these documents by the Contractor. These contract documents, the Architect will provide comprehensive clarification by representative observations regarding the intent of the Contract Documents. The Architect will ensure that drawings submitted by the Contractor for change orders are:
3. Drawings are to be used for construction unless noted otherwise by the Architect or the Contractor.
4. All work is to be carried out in accordance with the Code and Rules of the governing authority.
5. The Architect is not responsible for the accuracy of the information provided by the Contractor. The Contractor shall verify the accuracy of the information provided by the Contractor. The Contractor shall be responsible for the accuracy of the information provided by the Contractor.

| NO | ISSUANCE | DATE |
|----|---------------------------|------------|
| 1 | SCHEMATIC | 17.10.2016 |
| 2 | ARCHITECTURAL DEVELOPMENT | 08.01.2017 |
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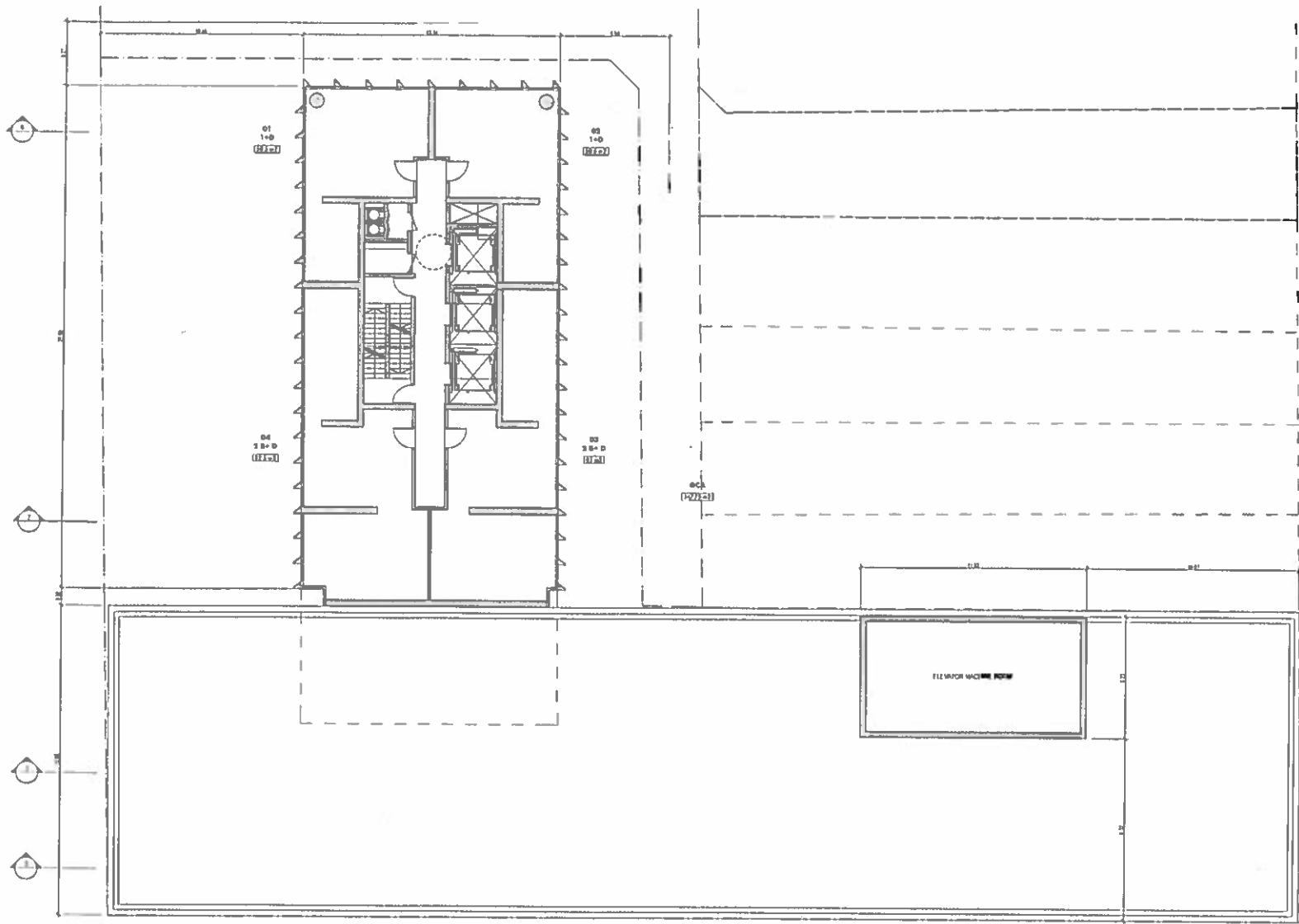
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 2017/02/04

A.9

Project No. 2018-000000 - Rev. 03/2017

Project Name: St. Nicholas | St. Mary Castlepoint



1. Careful of the drawing is required by the Architect. The drawing and all associated documents are the property of the Architect. The drawing and all associated documents shall not be reproduced or used in any way without prior written permission of the Architect.
2. These Contract Documents are the property of the Architect. The Architect shall not be responsible for the interpretation of these documents by the Contractor. The Contractor shall obtain clarification regarding the intent of the Contract Documents. The Architect will provide the necessary clarification to the Contractor for projects only.
3. Drawings are not to be used for construction until they are approved in writing by the Architect. The Contractor shall not be held responsible for any construction with the Contract Documents in the field before receiving such approval.
4. Portions of original finished work or other work, things, and fixtures are indicated on architectural drawings. The Contractor shall not be held responsible for any work done on the Architectural and Electrical Drawings. These items are hereby intended to be located in double by the Architect.
5. These drawings are not to be used for construction unless they are approved in writing by the Architect.
6. All work shall be carried out in accordance with the Code and Rules of the building's governing authority.
7. The Architect of these plans and specifications does not warrant or represent to any party other than the responsibility of the individual responsible for them. All questions of interpretation shall only be resolved after having signed off on these plans and they are properly intended to work as intended by these plans.

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| NO | ISSUANCE | DATE |
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| 1 | SCHEMATIC | 12/20/2016 |
| 2 | MECHANICAL REVISED | 08/11/2017 |
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208-3-1 - Addressed to: Project
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 (416) 593-1011
 www.aacpa.com



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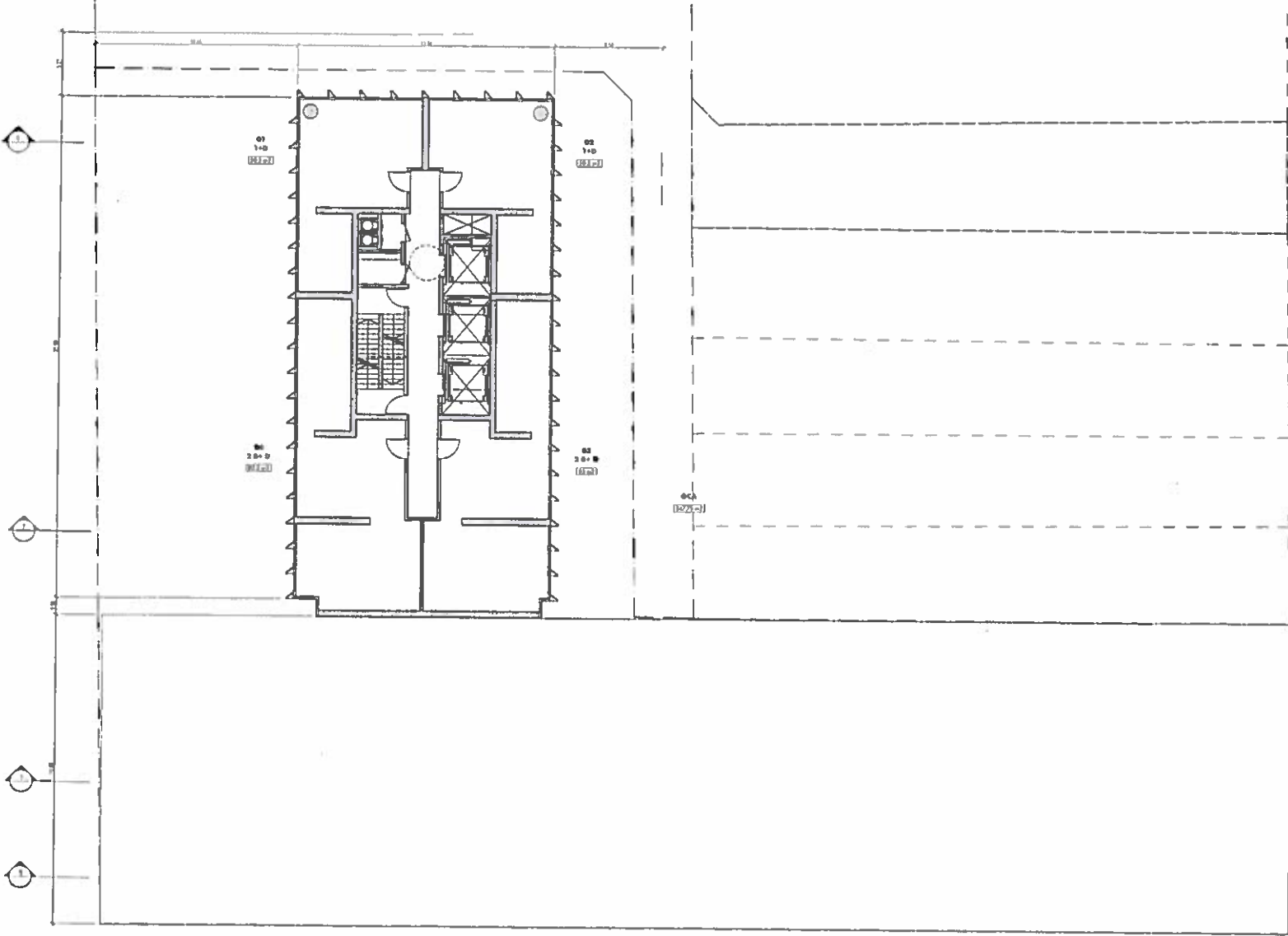
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 1/100
 2017.02.06

A.10

Project: Research Building 2017

Architect: Research Building 2017



1. Contractor shall ensure that the structure is built in accordance with the approved drawings and all necessary approvals are in place for the building. The building shall be constructed in accordance with the approved drawings and all necessary approvals are in place for the building.
2. The Contractor shall ensure that the structure is built in accordance with the approved drawings and all necessary approvals are in place for the building. The building shall be constructed in accordance with the approved drawings and all necessary approvals are in place for the building.
3. The Contractor shall ensure that the structure is built in accordance with the approved drawings and all necessary approvals are in place for the building. The building shall be constructed in accordance with the approved drawings and all necessary approvals are in place for the building.
4. The Contractor shall ensure that the structure is built in accordance with the approved drawings and all necessary approvals are in place for the building. The building shall be constructed in accordance with the approved drawings and all necessary approvals are in place for the building.

| NO | REVISION | DATE |
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200-317 Adelaide St. West
 Toronto, Ontario M5H 1P9
 Tel: (416) 593-8300
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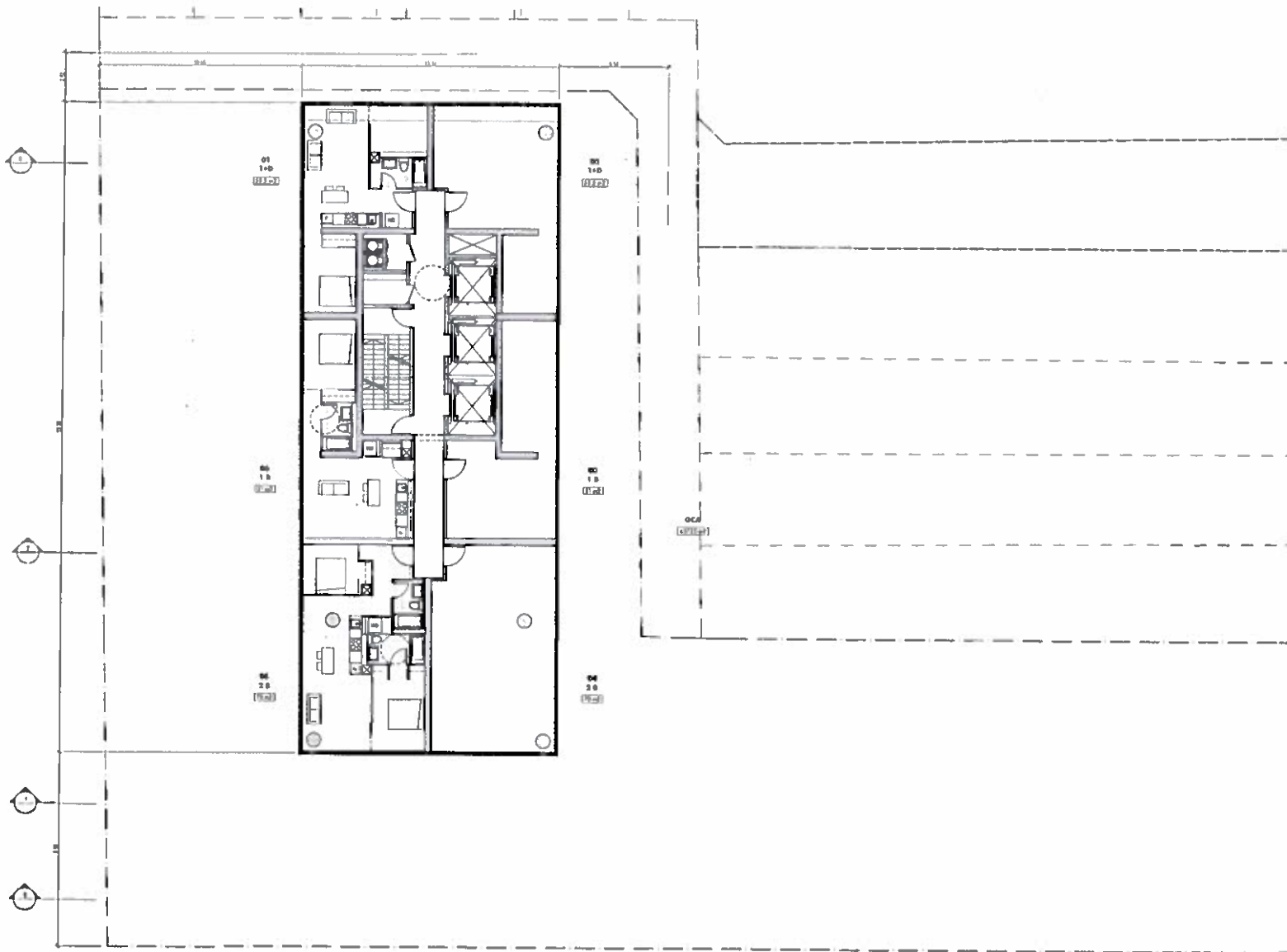


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2. Plans, Contract Documents and the property of the Architect. The Architect shall be responsible for the maintenance of these documents by the Contractor. The Contractor shall be responsible for the maintenance of these documents by the Contractor. The Architect shall retain the right to use any information contained in these documents for any purpose other than that for which they were prepared.

3. Drawings are not to be used for construction. No Contractor is to be held liable for any construction or other work done in reliance on these drawings without the prior written consent of the Architect.

4. Portions of original contract documents or drawings shown, revised, and based on subsequent or amended drawings, the Architect, shows on the architectural drawings as the latest and most current. Plans shown are those based on the latest drawings shown by the Architect.

5. Plans, drawings and/or specifications are to be used for construction of the project as shown on the drawings and specifications.

6. All work is to be done in accordance with the Code and rules of the authority having jurisdiction.

7. The Architect is not responsible for any errors or omissions in these drawings or specifications or for any consequences arising therefrom, whether or not such errors or omissions are caused in whole or in part by the negligence of the Architect.

| NO. | ISSUANCE | DATE |
|-----|------------------|------------|
| 1 | FOR BIDDING | 12 28 2017 |
| 2 | FOR CONSTRUCTION | 02 01 2018 |
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Architect's Seal




250-7511 Ardmore St. West
Scarborough, Ontario M1B 1Y9
Tel: (416) 291-8200
Fax: (416) 291-8211
http://www.foxhollow.com



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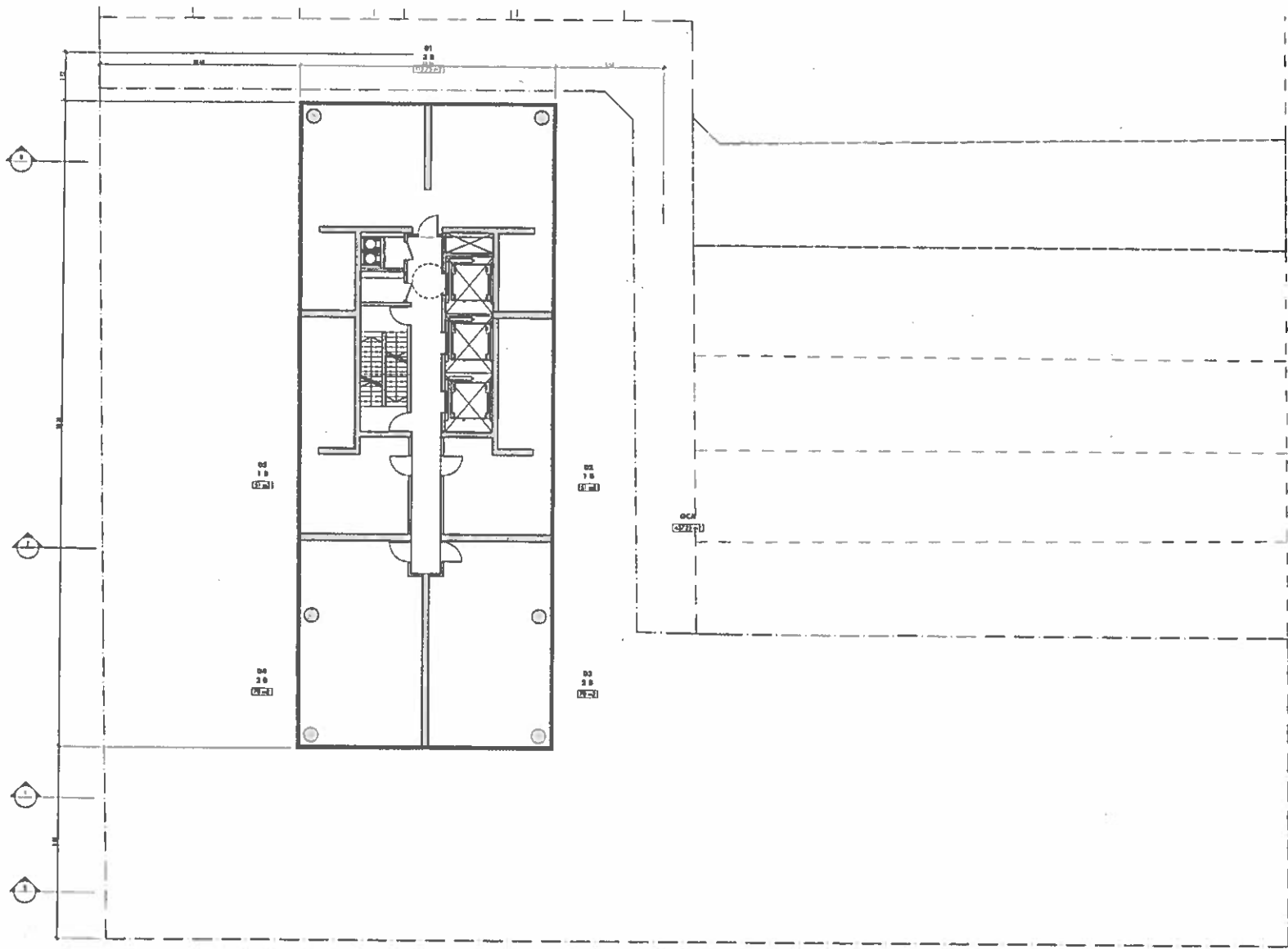
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2017-03-04

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Project: St. Nicholas, Phase 1, 2017

Phase 1: St. Nicholas, Phase 1, 2017



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2. These Architectural Drawings are the property of the Architect. The Architect bears no responsibility for the consequences of their use by the Contractor. These drawings are intended for the use of the Contractor only. The Contractor shall not be held responsible for any errors or omissions in the drawings or for any consequences of their use by the Contractor.
3. Drawings are not to be used for construction. The Contractor is to verify all measurements and dimensions indicated in the drawings and report any discrepancies to the Architect immediately in the field before commencing any work.
4. Portions of original building materials or structural details, fittings, and fixtures are indicated on architectural drawings. The building owner or the Architect's design team are the authorized and approved sources for these materials and fixtures. The building owner or the Architect is to be consulted for any questions.
5. These drawings are not to be used for construction unless approved by the Architect. No construction is to be undertaken without the Architect's written consent.
6. All work is to be carried out in accordance with the Code and Rules of the governing authority.
7. The Architect is not responsible for any errors or omissions in the drawings or for any consequences of their use by the Contractor. The Contractor shall be responsible for any errors or omissions in the drawings or for any consequences of their use by the Contractor.

Architect's Name, Date

| NO. | REVISIONS | DATE |
|-----|----------------------|------------|
| 1 | ISSUANCE | 22 09 2017 |
| 2 | ALDIARDHON REVISIONS | 22 09 2017 |
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205-5 5 7 Address: St. Mary
 Toronto, Ontario M5S 1P6
 416 593 8800
 1118 5043 0111
 info@stnicholas.com



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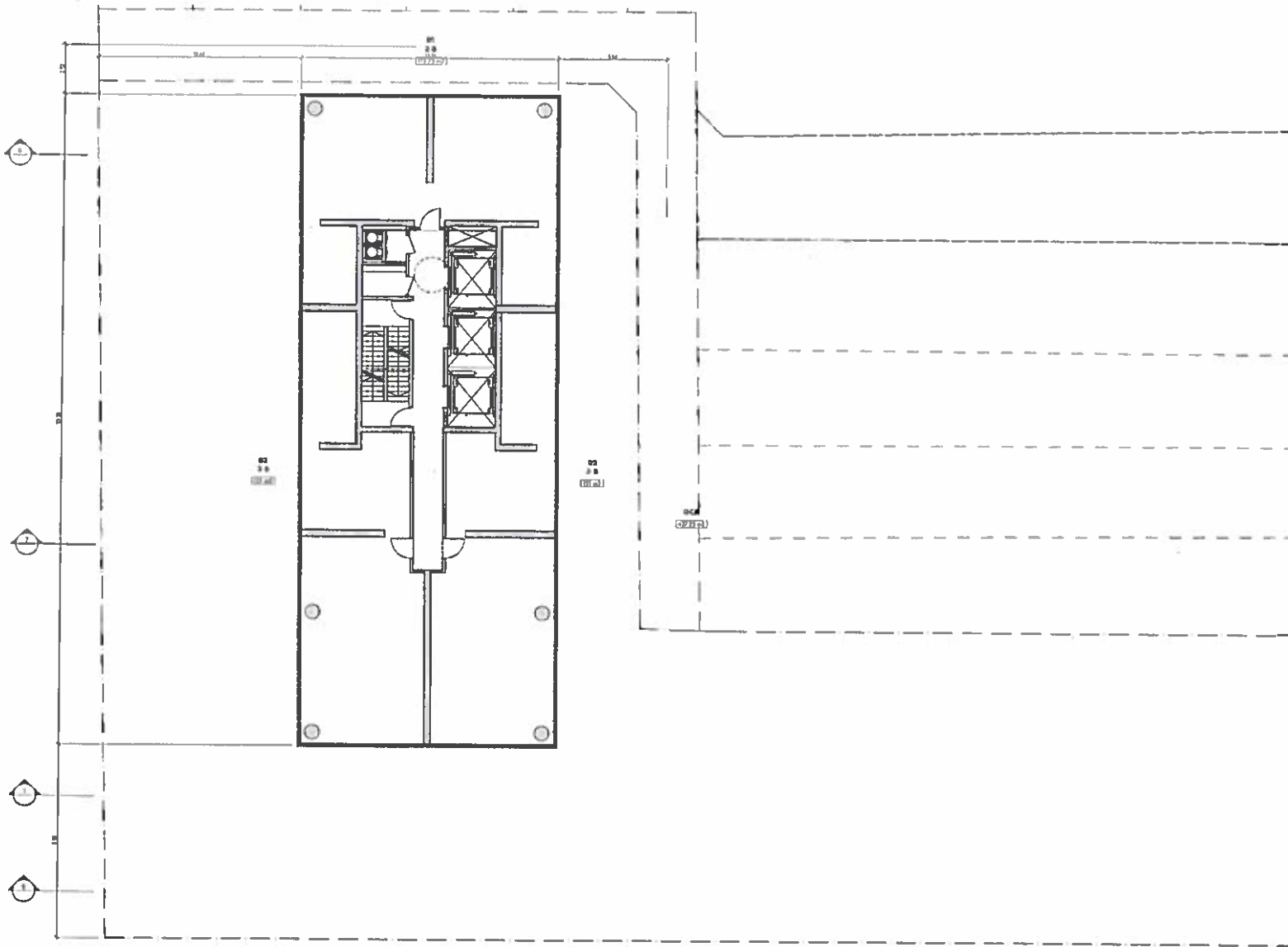
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Level: 26-42

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2017/02/08

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1. Copyright of this drawing is retained by the Architect. No copying or other use of any part of this drawing is permitted without the written permission of the Architect.
2. These Contract Documents are the property of the Architect. The Architect retains all responsibility for the preparation of these documents by the Architect. When contract documents are prepared by the Architect, the Architect will provide preliminary design or engineering information regarding the project to the Client. The Architect will accept any design changes identified by the Client for design development only.
3. Drawings are not to be used for construction. The Contractor is to work off existing conditions and dimensions required to perform the work and report any discrepancies to the Architect. The Contractor is to maintain the original files containing any work.
4. Notices of proposed further construction or design changes, Design and Section are indicated on subsequent drawings. The building system or the structural drawings govern over the Mechanical and Electrical drawings. These files are not to be modified or changed by the Architect.
5. These drawings are not to be used for construction unless approved by the Architect or Contractor.
6. All work shall be completed in accordance with the 2018 International Building Code.
7. The contractor shall provide and maintain good access to all existing or construction work until the completion of the building. The contractor shall be responsible for the maintenance and safety of the building until the building is completed. The contractor shall be responsible for the maintenance and safety of the building until the building is completed.

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| NO | ISSUANCE | DATE |
|----|---------------------|------------|
| 1 | SCHEMATIC | 03 20 2018 |
| 2 | MECHANICAL APPROVAL | 03 01 2018 |
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208-714-1111 | 1410 1st Street
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Level: 43.51

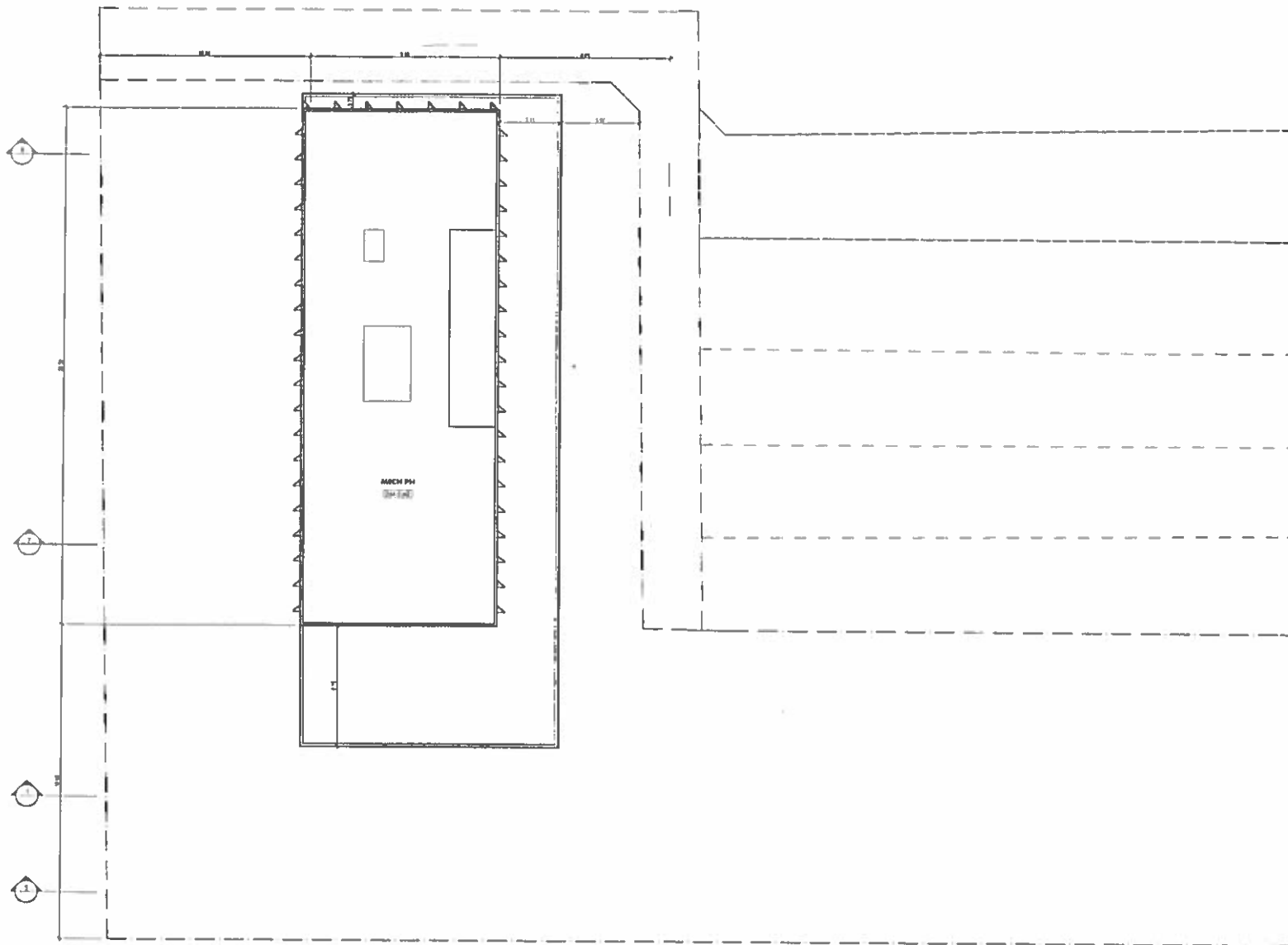
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Project: St Nicolas, Toronto, ON

Architect: Architecture 304



1. Except as otherwise noted, the Architect shall be responsible for the coordination of all mechanical equipment and systems shown on these drawings. The Architect shall be responsible for the coordination of all mechanical equipment and systems shown on these drawings. The Architect shall be responsible for the coordination of all mechanical equipment and systems shown on these drawings.

2. These drawings are prepared for the purpose of the Architect. The Architect shall be responsible for the coordination of all mechanical equipment and systems shown on these drawings. The Architect shall be responsible for the coordination of all mechanical equipment and systems shown on these drawings.

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| NO. | ISSUANCE | DATE |
|-----|----------------------|------------|
| 1 | PRELIMINARY | 07/28/2017 |
| 2 | MECHANICAL EQUIPMENT | 08/01/2017 |
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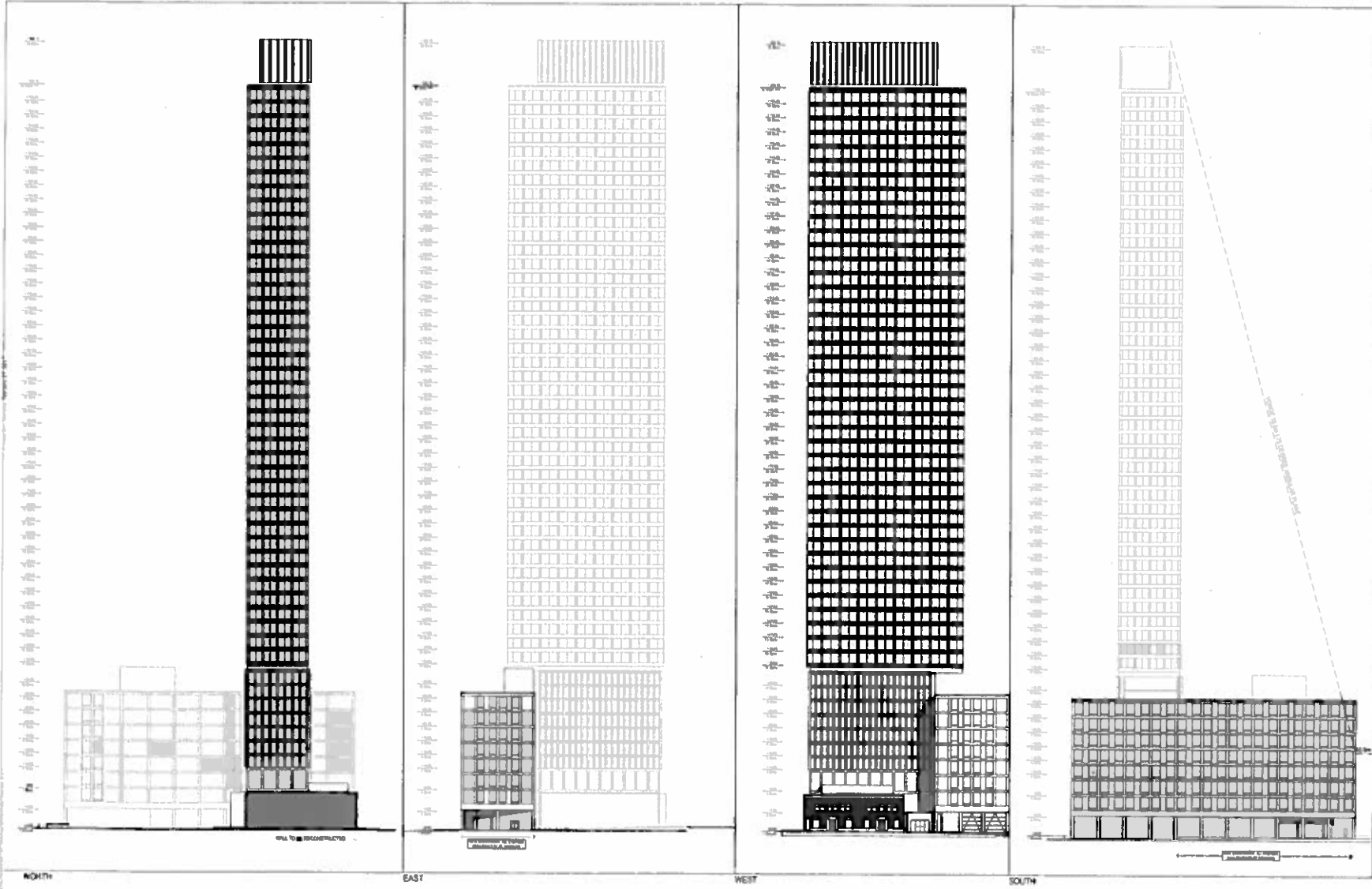


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Mechanical PH
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 2017.02.08

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2. These Contract Documents are the property of the Architect. The Architect retains all responsibility for the interpretation of these documents by the Consultant. The Consultant shall not be held responsible for the Architect's design, construction or performance. Information regarding the status of the Contract Documents. The Architect will retain the design rights reserved by the Consultant for design and construction only.
3. Drawings are not to be used for construction unless noted below as "Approved for Construction".
4. All work is to be approved and in accordance with the Code and Rules of the building Department.
5. The Architect of these plans and specifications gives no warranty or representation to any party other than the responsibility of the Architect's professional fee. All contractors, subcontractors and vendors shall be held liable and all work shall be 100% bonded off to the Architect or directed by the Architect. Plans may be 100% bonded off to the Architect or directed by the Architect.

PROJECT/DATE: 2017

| NO. | REVISION | DATE |
|-----|----------------------|------------|
| 1 | SCHEMATIC | 02 20 2016 |
| 2 | MECHANICAL REVISIONS | 02 27 2017 |
| 3 | MECHANICAL REVISIONS | 02 27 2017 |
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ARCHITECTS

200, 75.3.7 Adelaide St. West
 Toronto, Ontario M5H 2P2
 416.593.8888
 www.aarchitects.com



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Building Elevations

1:400
 2017-03-27

A.16