

Revised Architectural Plans



**Quadrangle Architects Limited**  
901 King Street West, Suite 701 Toronto, ON M5V 3H5  
t 416 598 1240 www.quadrangle.ca

**859-861 & 875 Eglinton Avenue West**

Toronto, Ontario  
for  
Upper Village Investments Limited & Bateg Investments Limited

Project No. 06182  
Date 5 June 2018  
Issued for Settlement Offer

**ARCHITECTURAL DRAWINGS**

- A000 COVER SHEET
- A100 PROJECT STATISTICS
- A101 SITE PLAN
- A151 P3 PARKING LEVEL
- A152 P2 PARKING LEVEL
- A153 P1 PARKING LEVEL
- A201a LOWER GROUND FLOOR
- A201b UPPER GROUND FLOOR
- A202 SECOND FLOOR
- A203 THIRD AND FOURTH FLOOR
- A205 FIFTH FLOOR
- A206 SIXTH FLOOR
- A207 SEVENTH FLOOR
- A208 EIGHTH FLOOR
- A209 9TH FLOOR
- A210 10TH-14TH FLOOR
- A215 MECHANICAL PENTHOUSE
- A216 ROOF
- A400 NORTH ELEVATION
- A401 EAST ELEVATION
- A402 WEST ELEVATION
- A451 BUILDING SECTION A

**LANDSCAPE ARCHITECT**

NAK Design Group  
355 Adelaide Street West, Studio 400  
Toronto ON M5V 1S2  
T 416 340 8100

**TRANSPORTATION**

BA Consulting Group Ltd.  
45 St. Clair Avenue West, Suite 300  
Toronto ON M4V 1K9  
T 416 961 7110

**SITE SERVICING**

Cole Engineering Group Ltd.  
70 Valleywood Dr.  
Markham ON L3R 4T5  
T 905-940-6161

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Floor	GBA/Typ. Floor (sm)	No. Typ. Floors	GBA Gross Building Area (no exclusions)		1-83 GFA Exempt** (sm)	City of York By-Law 1-83				Total Suites
						RGFA		NRGFA		
			sm	sf		sm	sf	sm	sf	
Mech Penthouse		1								
14	1,183	1	1,183.0	12,733.7	10.7	1,195.7	12,870.5			14
13	1,183	1	1,183.0	12,733.7	10.7	1,195.7	12,870.5			14
12	1,183	1	1,183.0	12,733.7	10.7	1,195.7	12,870.5			14
11	1,183	1	1,183.0	12,733.7	10.7	1,195.7	12,870.5			14
10	1,183	1	1,183.0	12,733.7	10.7	1,195.7	12,870.5			14
9	1,180	1	1,180.0	12,701.4	10.7	1,192.7	12,837.6			16
8	1,738	1	1,738.0	18,707.7	10.7	1,761.8	18,964.0			23
7	1,848	1	1,848.0	19,891.7	10.7	1,874.0	20,171.7			25
6	1,976	1	1,976.0	21,269.5	10.7	2,004.6	21,577.0			27
5	1,976	1	1,976.0	21,269.5	10.7	2,004.6	21,577.0			27
4	2,197	1	2,197.0	23,648.3	10.7	2,230.0	24,003.4			30
3	2,197	1	2,197.0	23,648.3	10.7	2,230.0	24,003.4			30
2	2,076	1	2,076.0	22,345.9	10.7	2,106.6	22,674.9			19
Upper Ground Floor	1,871	1	1,871.4	20,143.2	72.8	814.5	8,767.3	1,000.0	10,763.9	
Lower Ground Floor	380	1	380.0	4,090.3	0.0	387.6	4,172.1			
<b>TOTALS</b>						22,584.8	243,101.1			
					Indoor Amenity Deduction	577.1	6,211.3			
		14	23,354.4	251,384.2		22,007.8	236,889.8	1,000.0		267
<b>GFA USE Breakdown</b>	<b>Total RETAIL</b>		1,000.00 sm		<b>10,763.91 sf</b>					
	<b>Total RESIDENTIAL</b>		22,007.78 sm		<b>236,889.80 sf</b>					
<b>Area Totals &amp; FSI</b>	Combined RES & NON-RES Gross Floor Area Totals					23,007.8 by-law 1-83				
	Res and Non-Res Floor Space Index					R 7.04		C 0.32		
	Floor Space Index (FSI)					T 7.36				

Suites Breakdown	1 Bdrm	1 Bdrm +Den	2 Bdrm	2 Bdrm +Den	3 Bdrm	Total Suites
	81	105	27	26	28	267
	30.3%	39.3%	10.1%	9.7%	10.5%	100.0%

VEHICULAR PARKING LOCATION	Parking Space Location					TOTAL	AMENITY SPACE	Residential		Required	Provided	NOTES
	Level	Occupant	Commercial/ Visitor	Retail	Office			TOTAL Res Amenity = 4.0sm/dwelling unit	Interior Amenity min. 2.0sm/dwelling unit			
GF A	1		27	10	0	38			1,068.00	1,068.00		By-law 1-83, RGFA and NRGFA Deductions:  (56) "GROSS FLOOR AREA" means the sum of the gross horizontal areas of the several floors of a building measured from the exterior faces of the exterior walls at each floor or from the centre lines of walls separating two or more self-contained parts of a building (e.g., in the case of a semidetached house or townhouse); and  (b) in the case of an apartment house shall include any part of the building or structure used for locker storage and laundry facilities above grade only, but shall exclude any part of the building or structure used for retail-commercial purposes open to the public and any areas used for recreational or mechanical purposes or for the storage or parking of motor vehicles; and  (c) in the case of non-residential buildings or the non-residential portion of mixed use buildings shall include any part of the building or structure used for retail, commercial, office and industrial purposes but pedestrian or vehicular access between buildings; any floor area occupied by mechanical equipment, elevators, stairs, washrooms and custodial rooms; any floor area designed as an enclosed pedestrian mall providing public access to establishments in a multiple occupancy or mixed use building or complex; and combined area of free-standing kiosks totalling less than 10 square metres; and
P1	65		0	0	0	65		534.00	534.00			
P2	67		0	0	0	67		534.00	534.00			
P3	72		0	0	0	72		534.00	534.00			
<b>TOTAL</b>		205	27	10	0	242						

PROJECT STATISTICS SUMMARY	
Municipal Address:	859-861 and 875 Eglinton Avenue West Toronto, ON
Lot Area (sm)	3,125.23
Zoning Grade:	172.82m
Building Height (Storeys): (excl. Mech Penthouse)	14
Building Height above Average Grade (m): (excl. Mech Penthouse)	48.35
GFA - Residential Uses	22,007.78
GFA - Non-Residential Uses	1,000.00
By-Law 1-83, Total GFA	23,007.78
Floor Space Index (FSI)	7.36
Number of Residential Suites	267
Min. Residential Interior Amenity Space Required	534.00
Total Residential Interior Amenity Space Provided	534.00
Vehicular Parking Total Required	242
Vehicular Parking Total Provided	242
Bicycle Parking Total Required	276
Bicycle Parking Total Provided	276

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06182 NTS AB DM  
PROJECT SCALE DRAWN REVIEWED

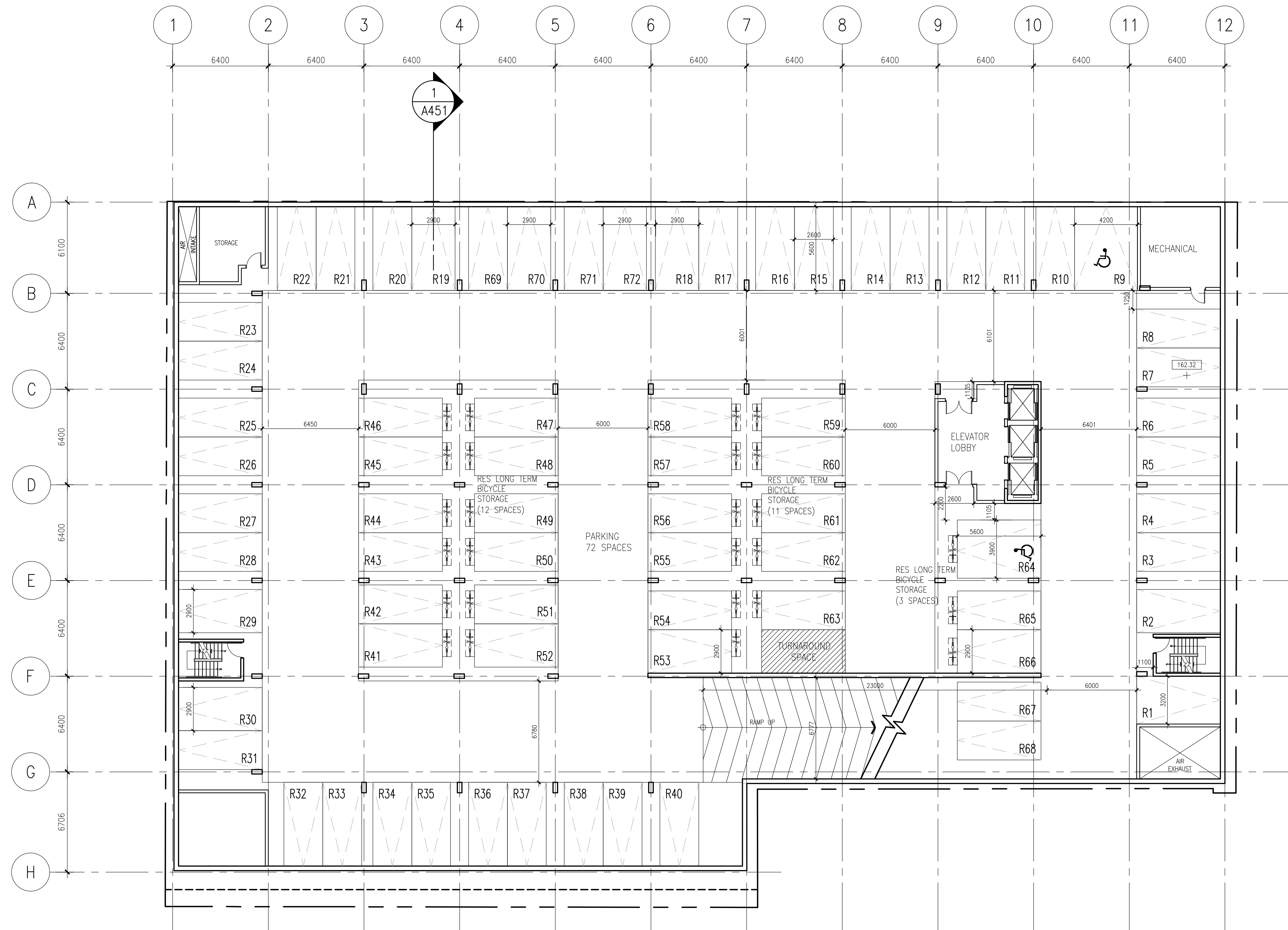
Project Statistics

A100

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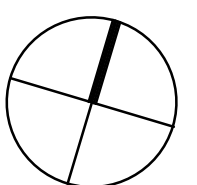


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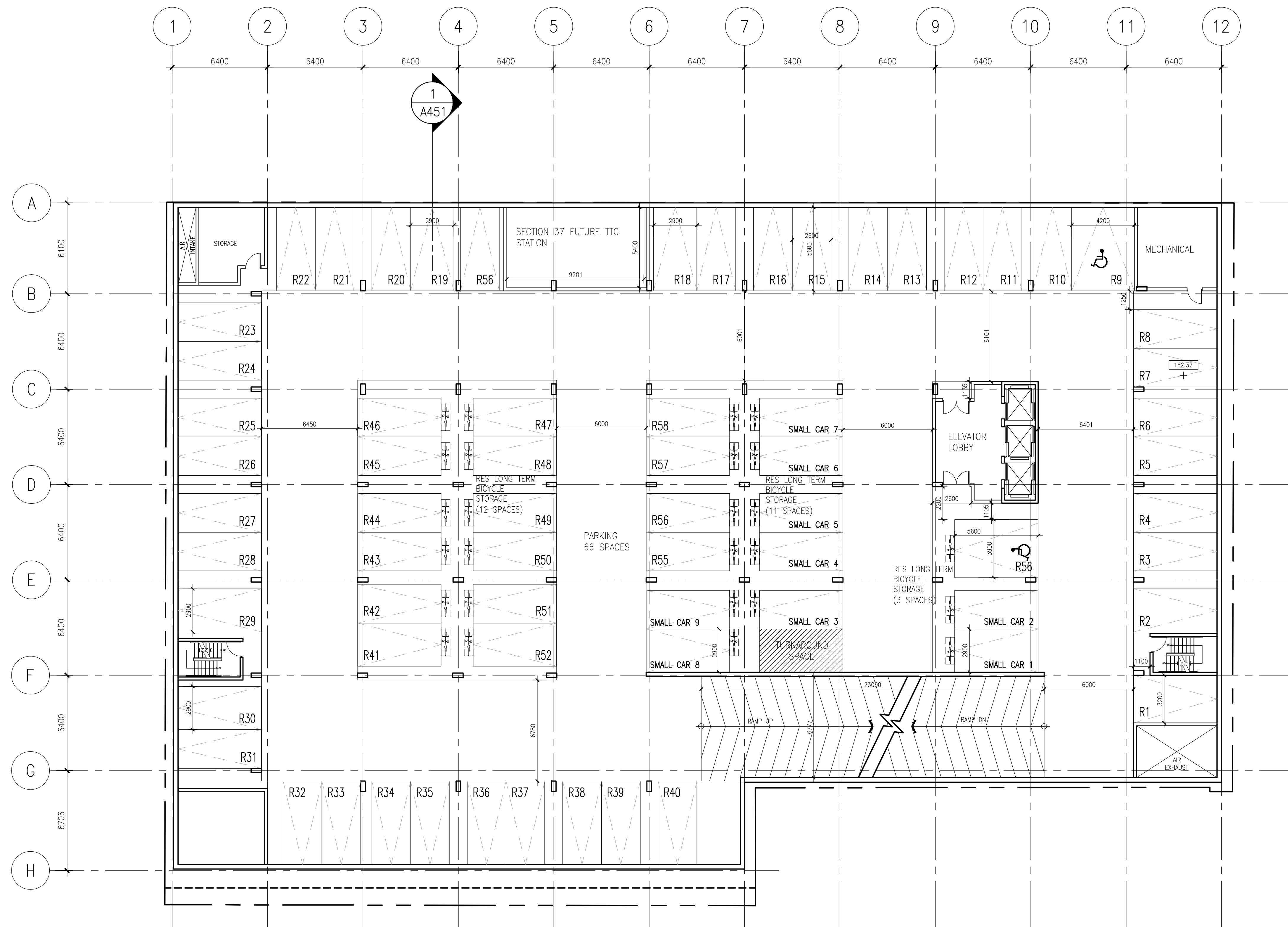
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 PROJECT SCALE DRAWN REVIEWED

P3 Parking Level

**A151**

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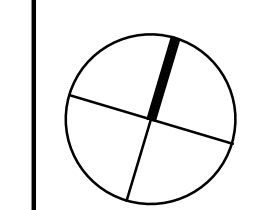


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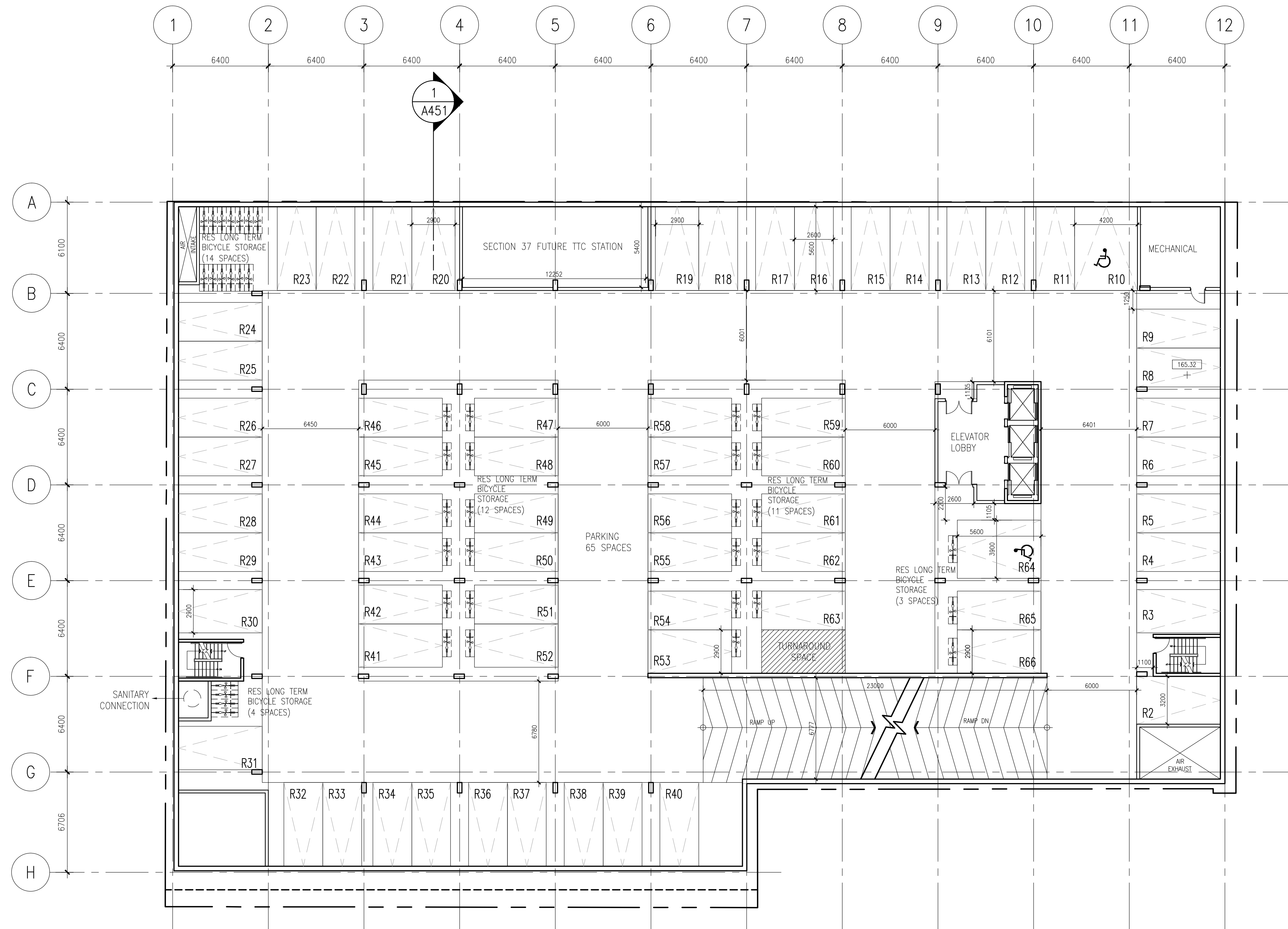
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 PROJECT SCALE DRAWN REVIEWED

P2 Parking Level

**A152**

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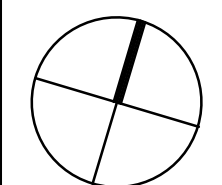


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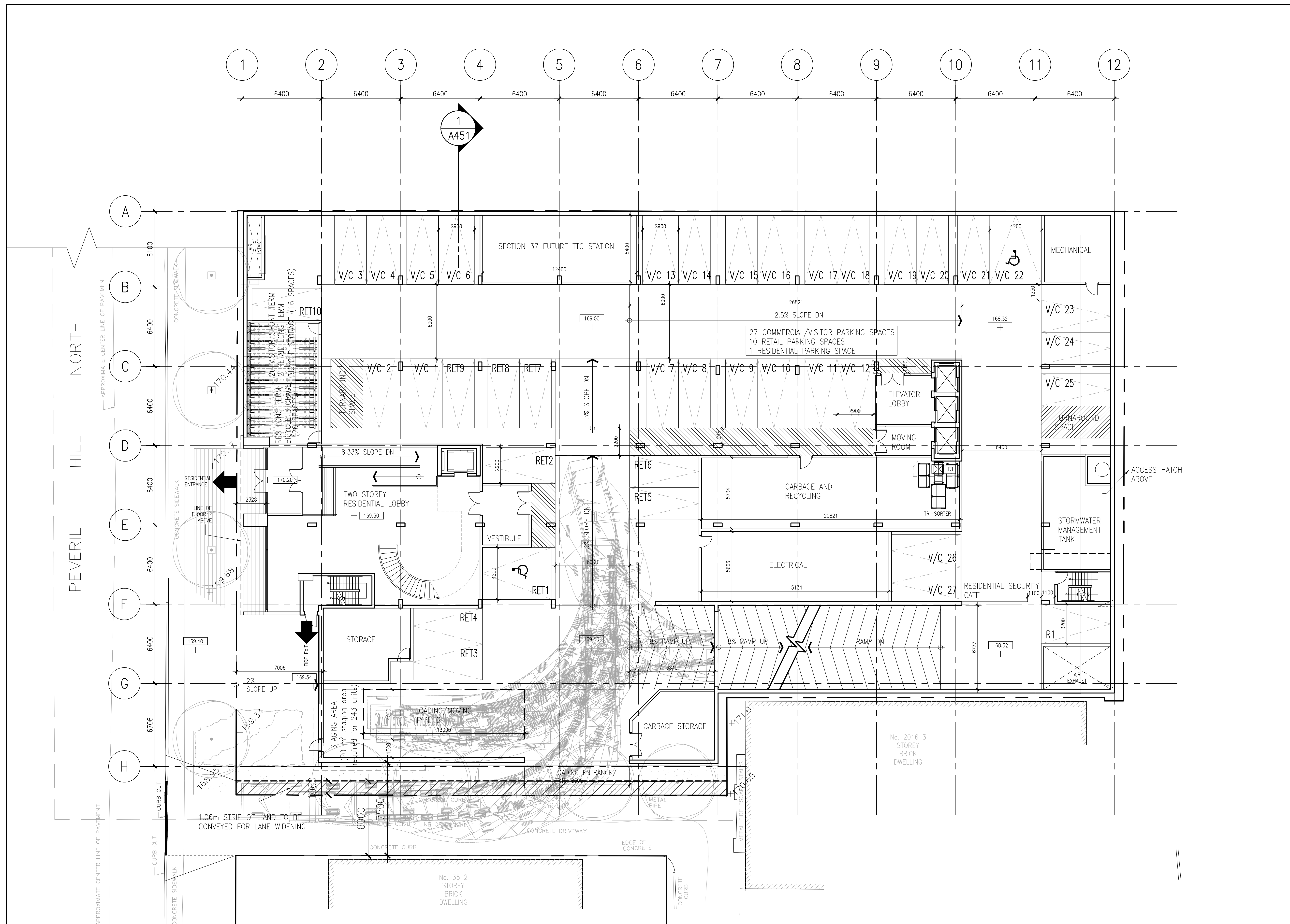
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P1 Parking Level

**A153**

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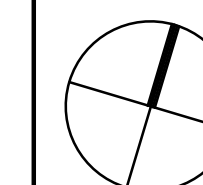


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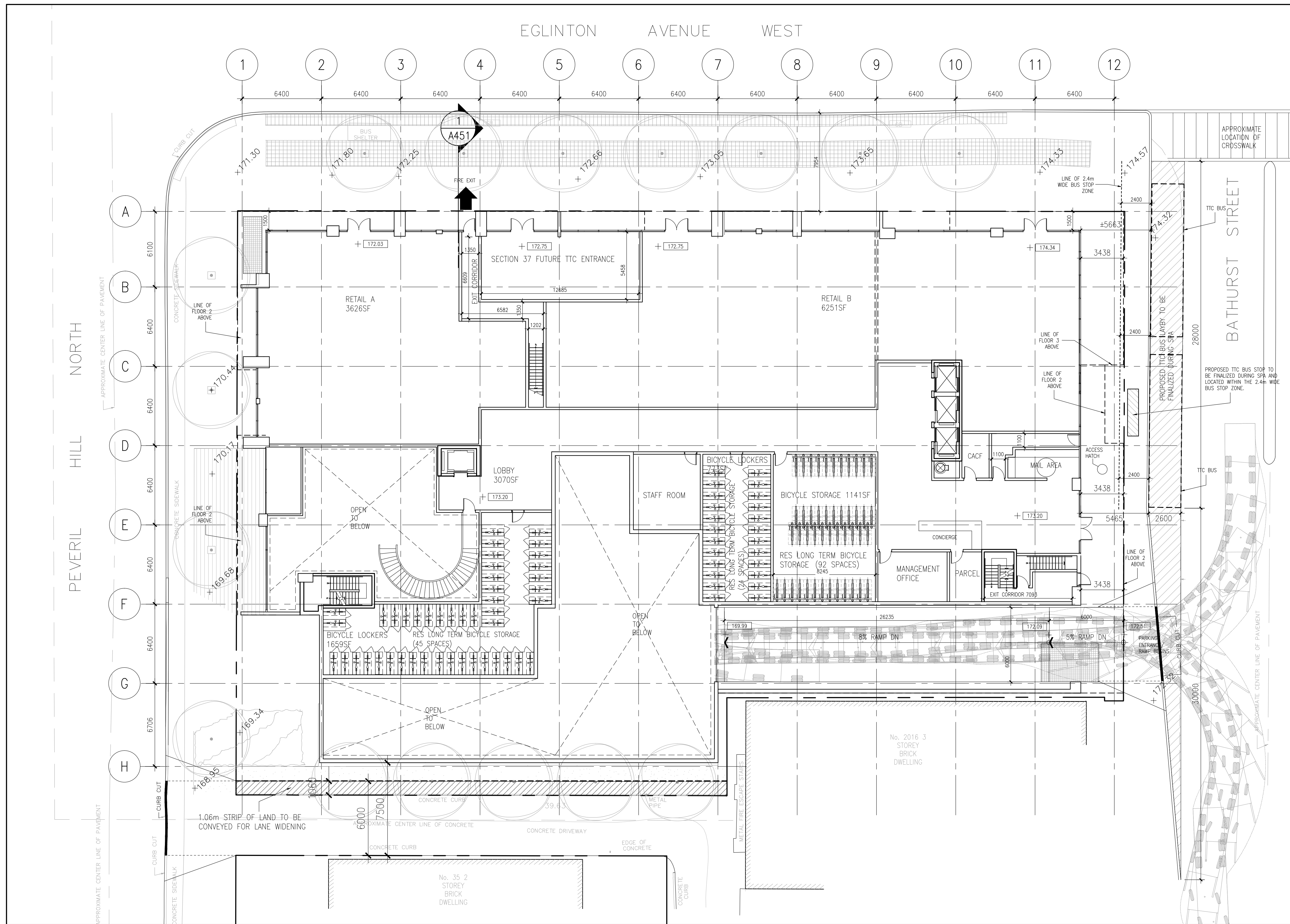
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 PROJECT SCALE DRAWN REVIEWED

Lower Ground Floor  
 Residential Entrance at  
 Peveril Hill

**A201a**

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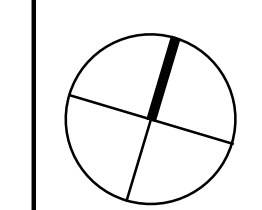


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Upper Ground Floor  
 Commercial Entrances

**A201b**

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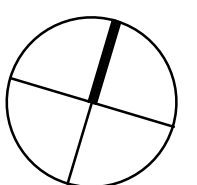


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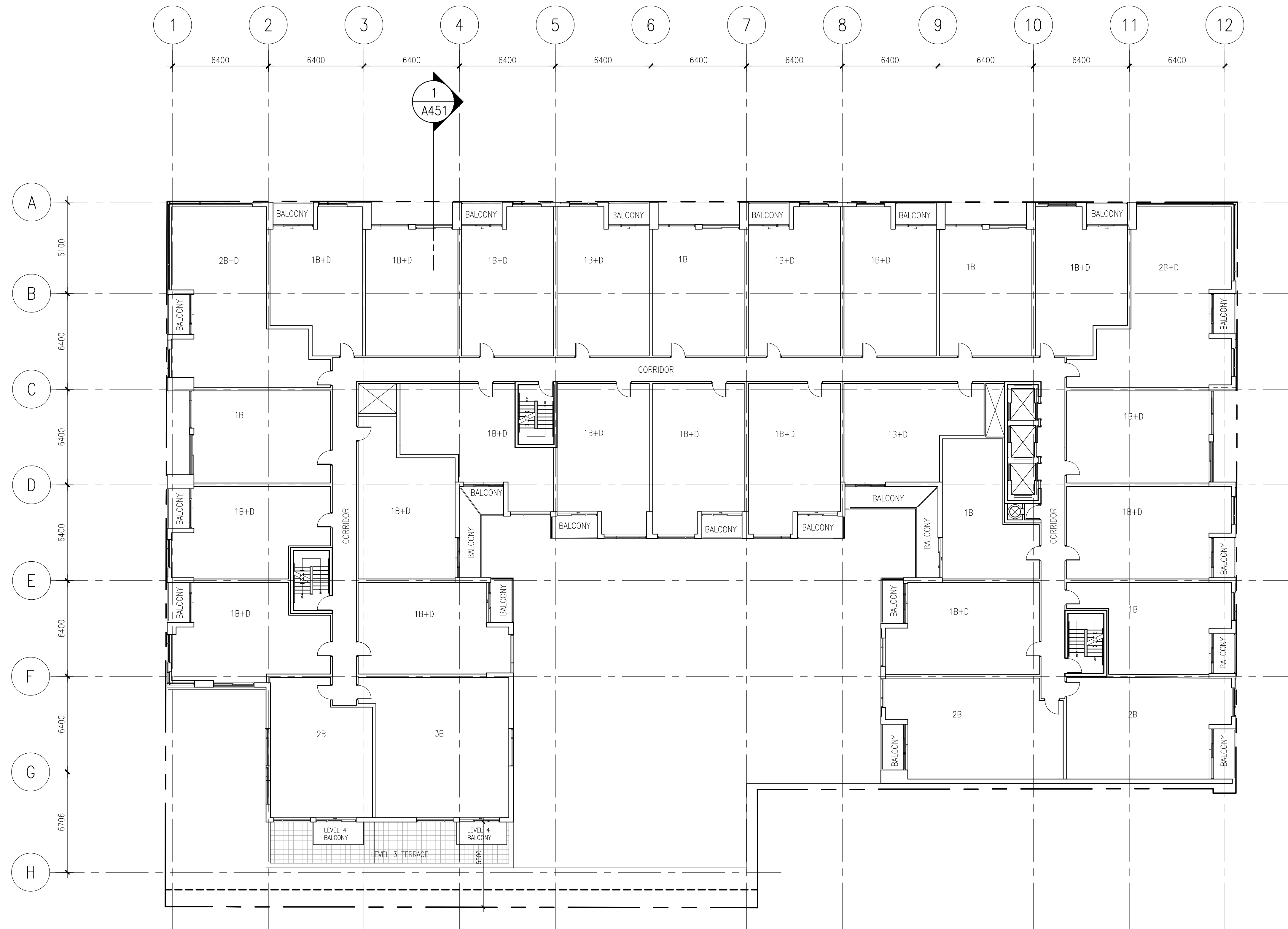
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 PROJECT SCALE DRAWN REVIEWED

Second Floor  
 Plan

**A202**

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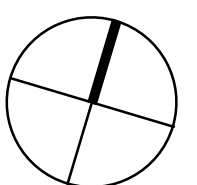


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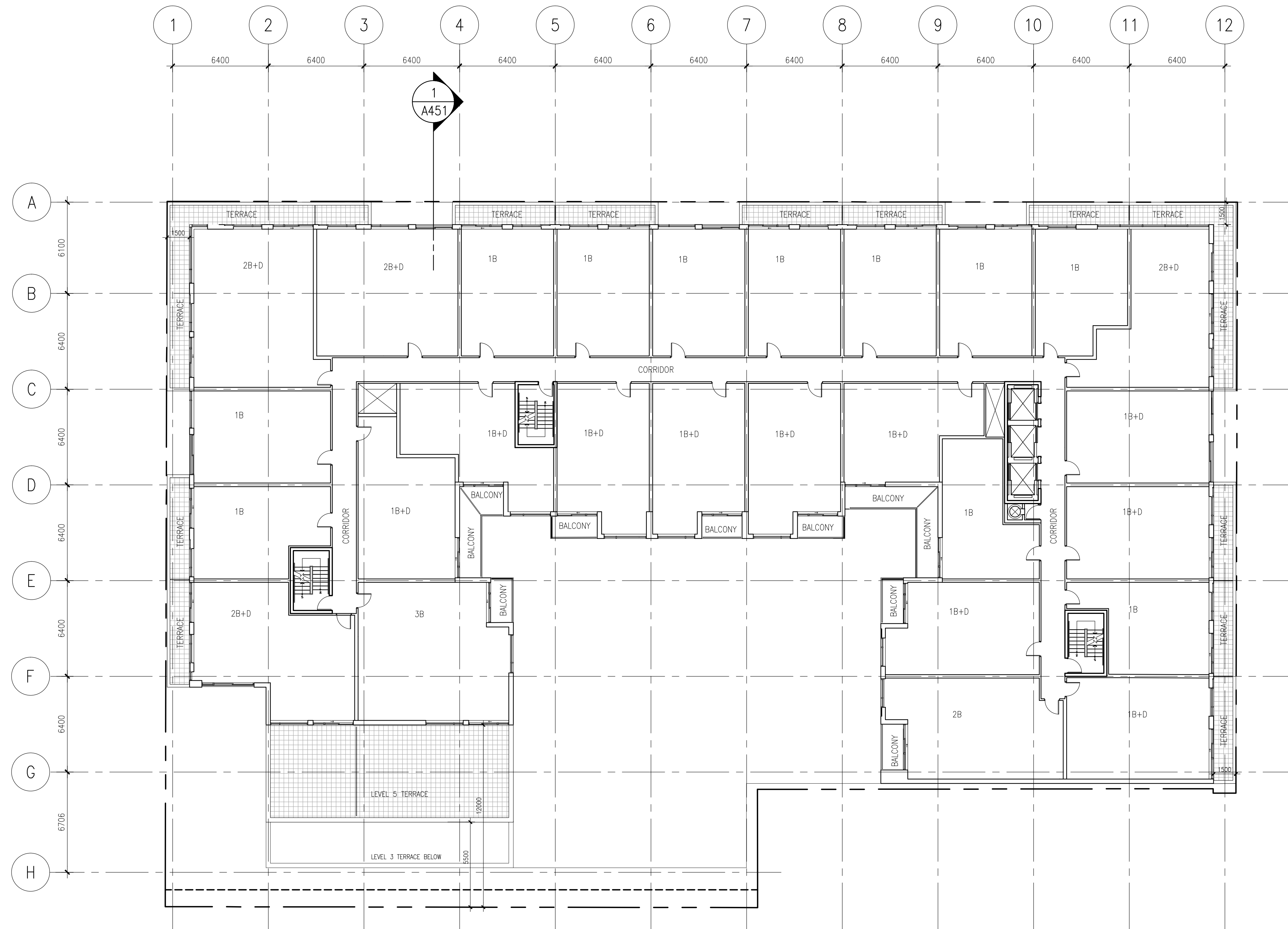
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 PROJECT SCALE DRAWN REVIEWED

Third and Fourth Floor  
 Plan

**A203**

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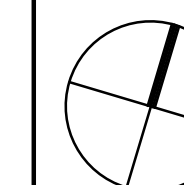


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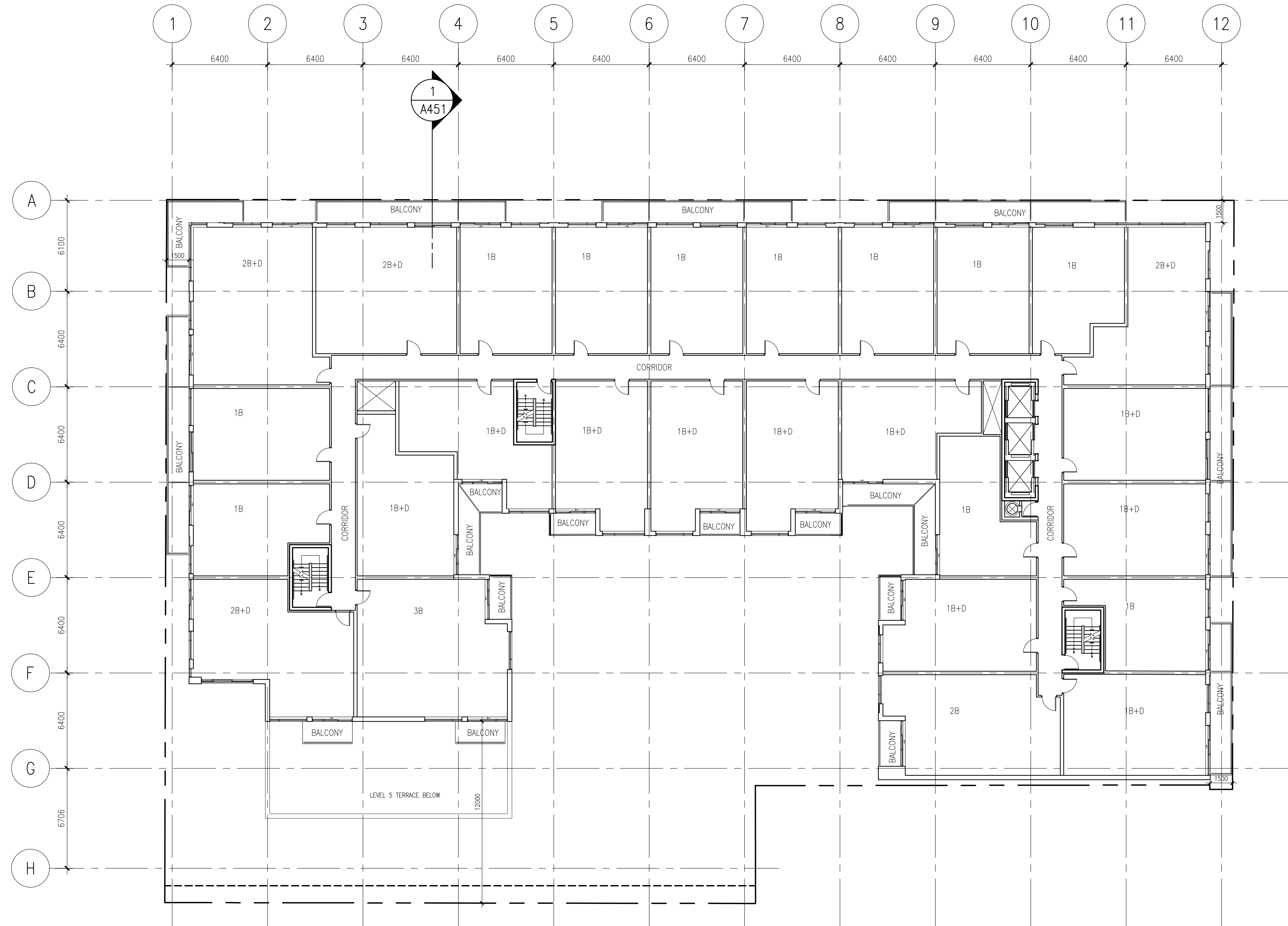
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Fifth Floor  
 Plan

**A205**

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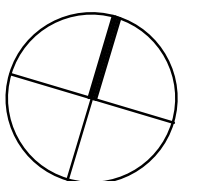


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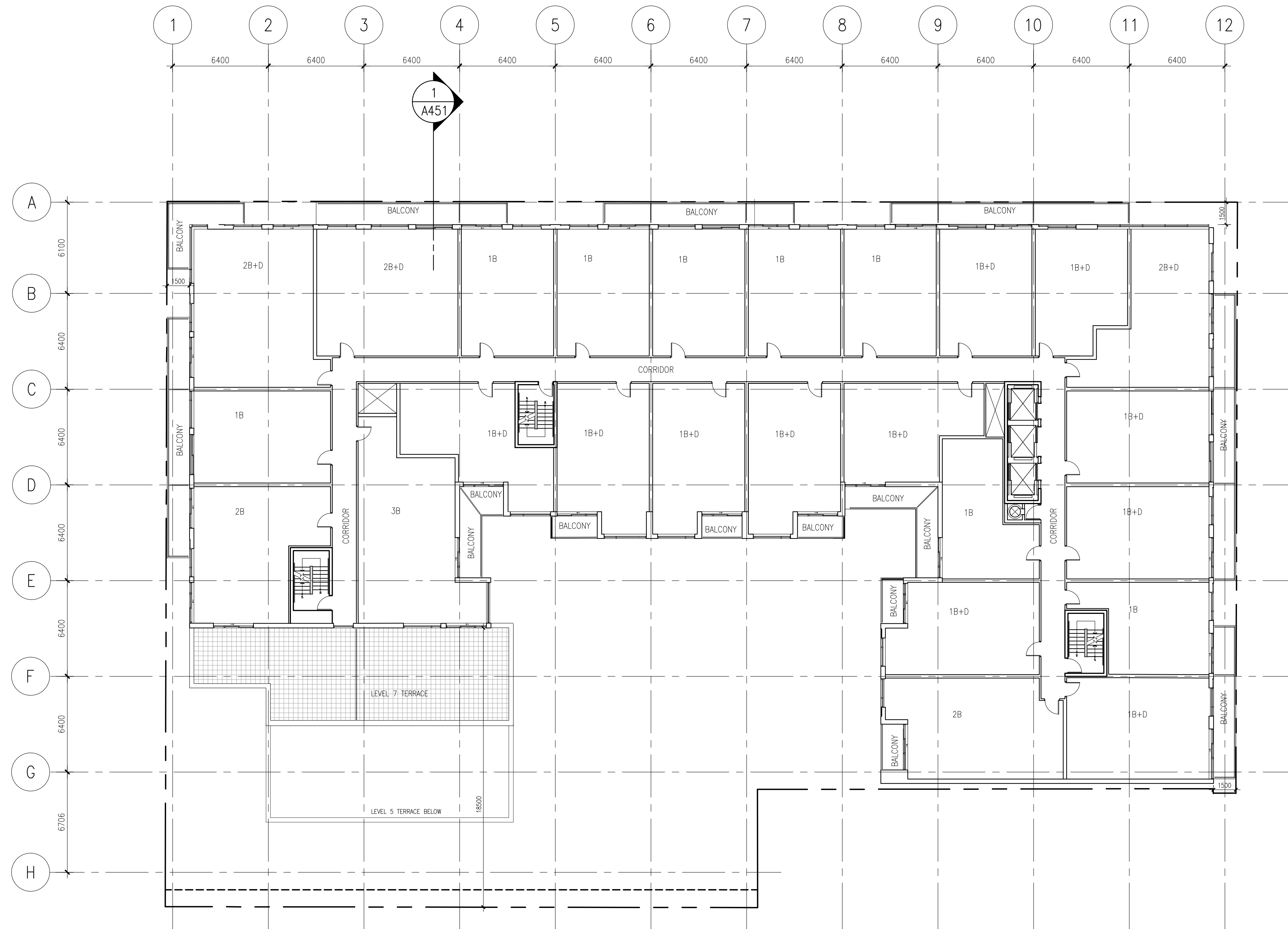
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Sixth Floor  
 Plan

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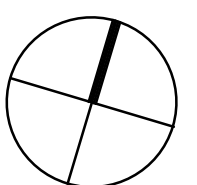


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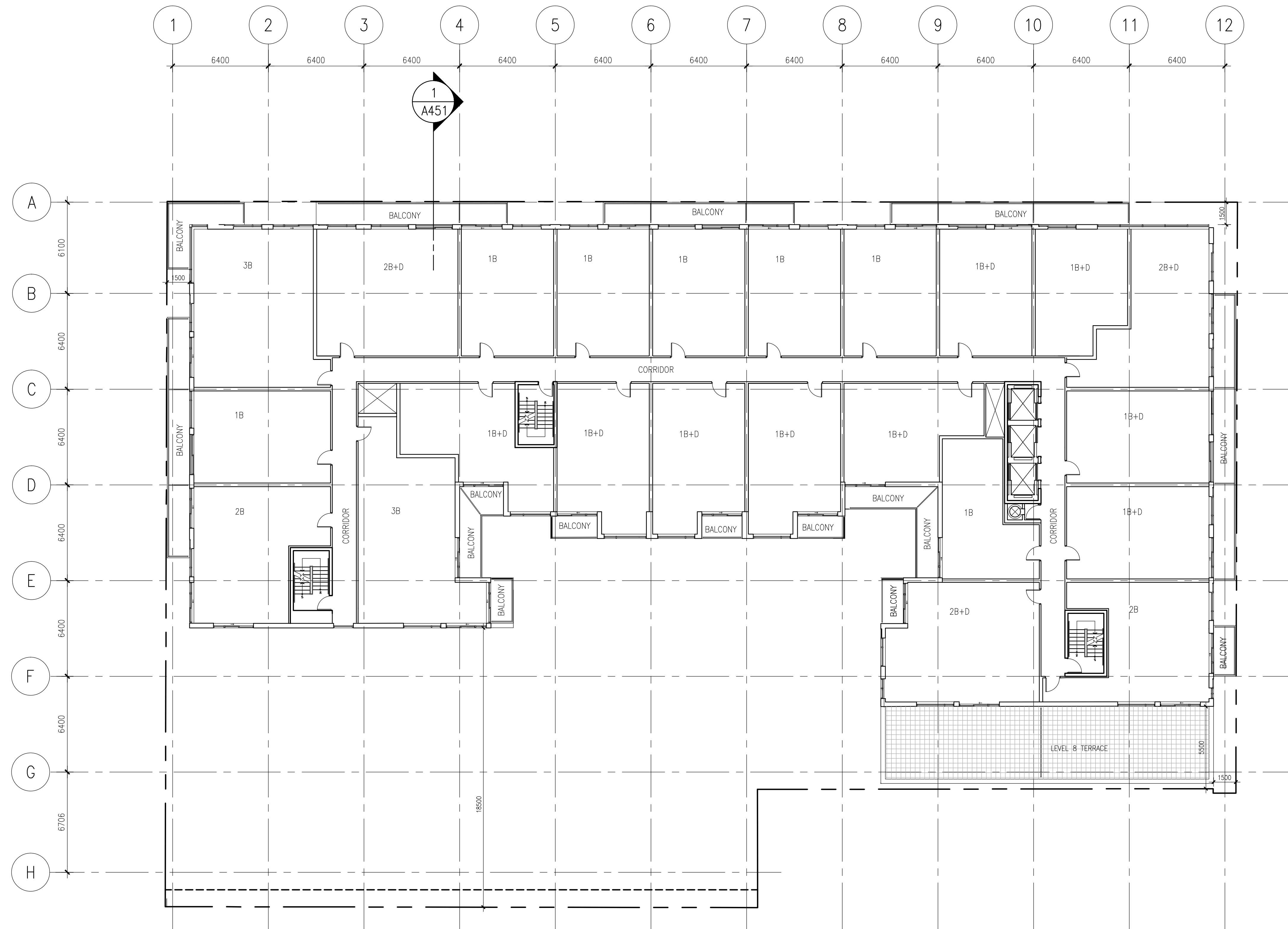
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PROJECT	SCALE	DRAWN	REVIEWED

Seventh Floor  
 Plan

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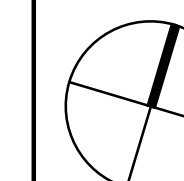


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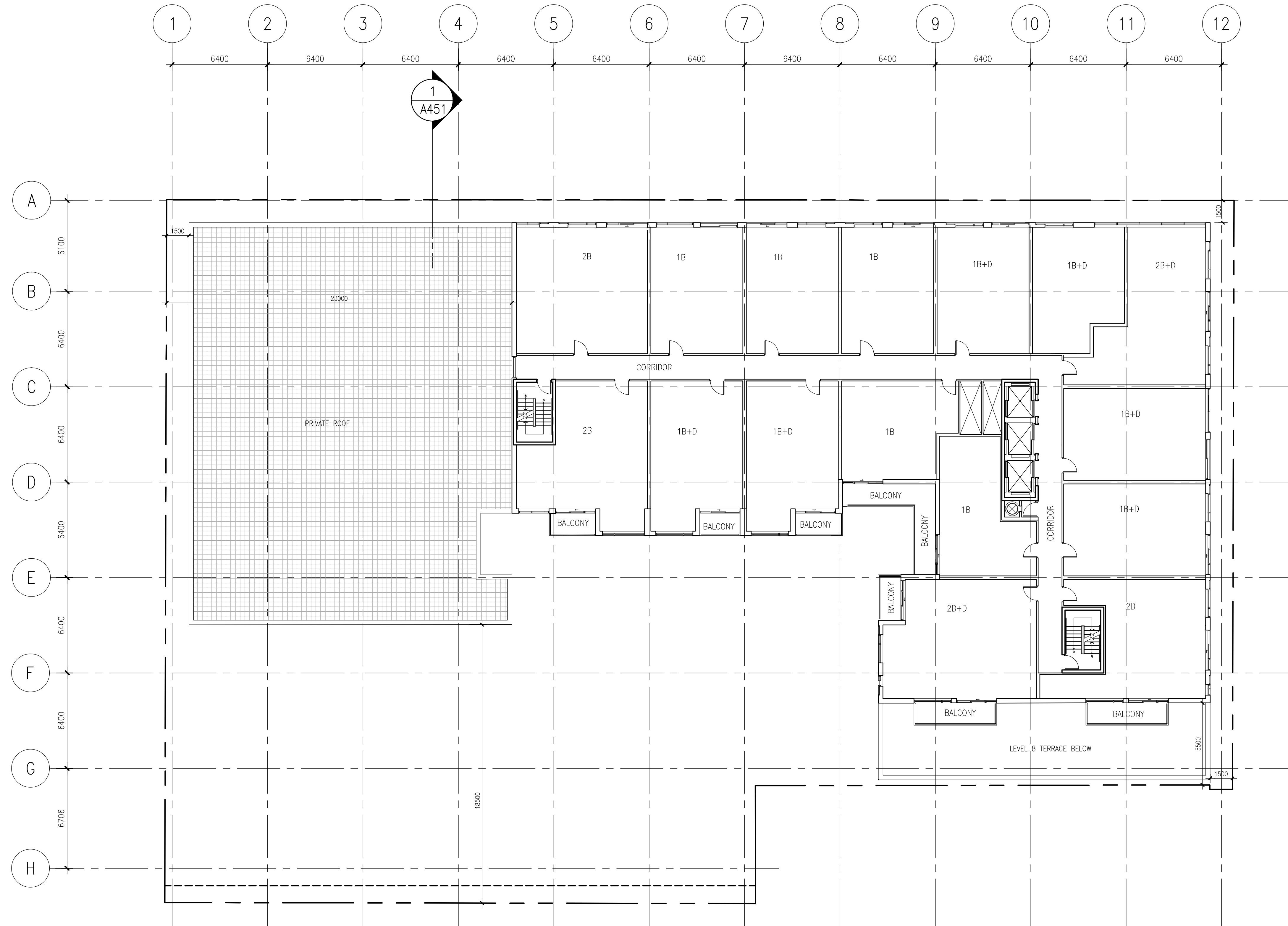
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 PROJECT SCALE DRAWN REVIEWED

Eighth Floor  
 Plan

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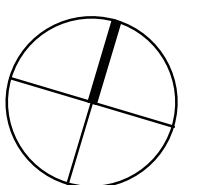


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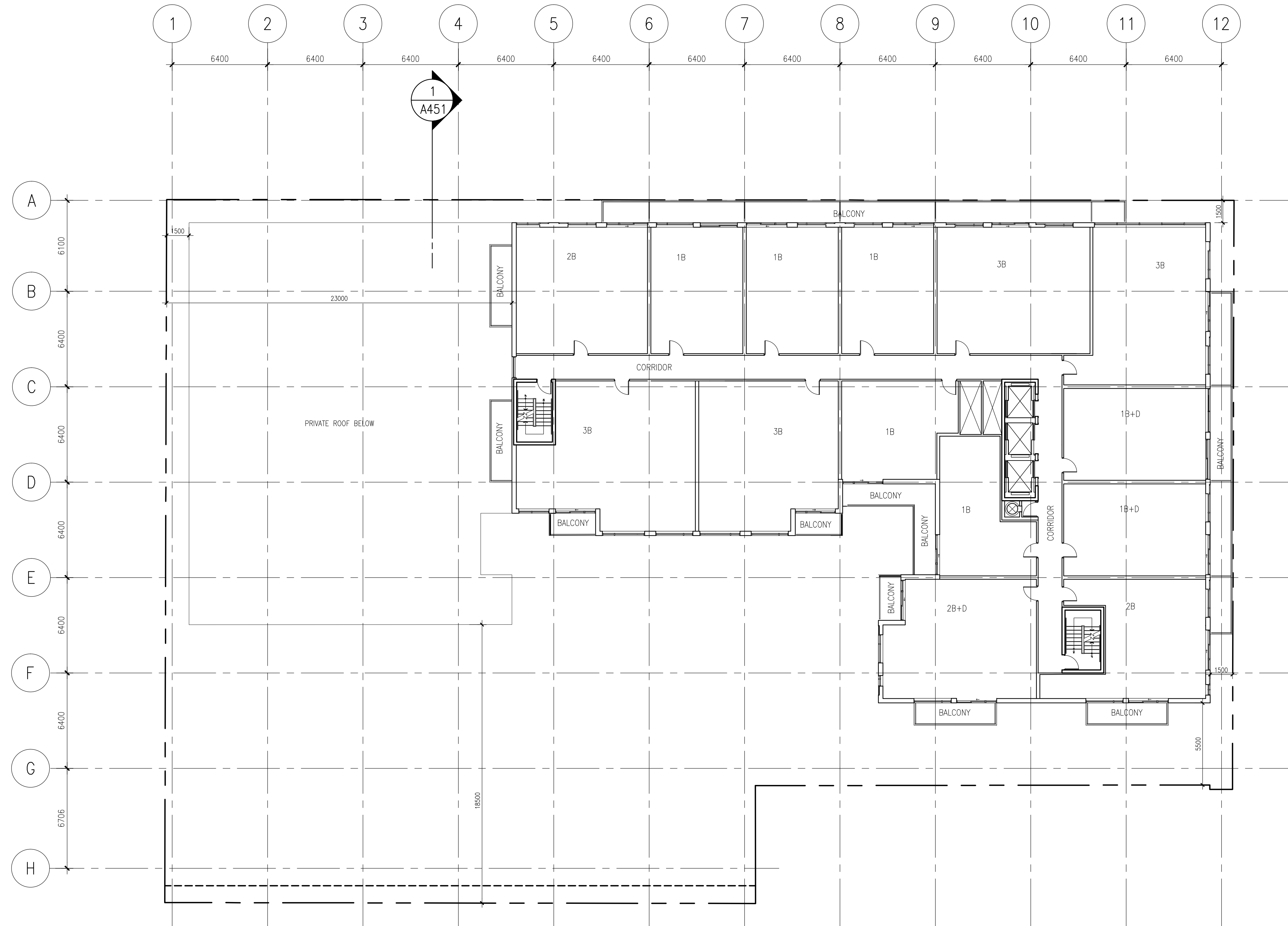
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9th Floor  
 Plan

**A209**

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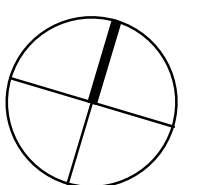


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06182 1:150 AB DM  
 PROJECT SCALE DRAWN REVIEWED

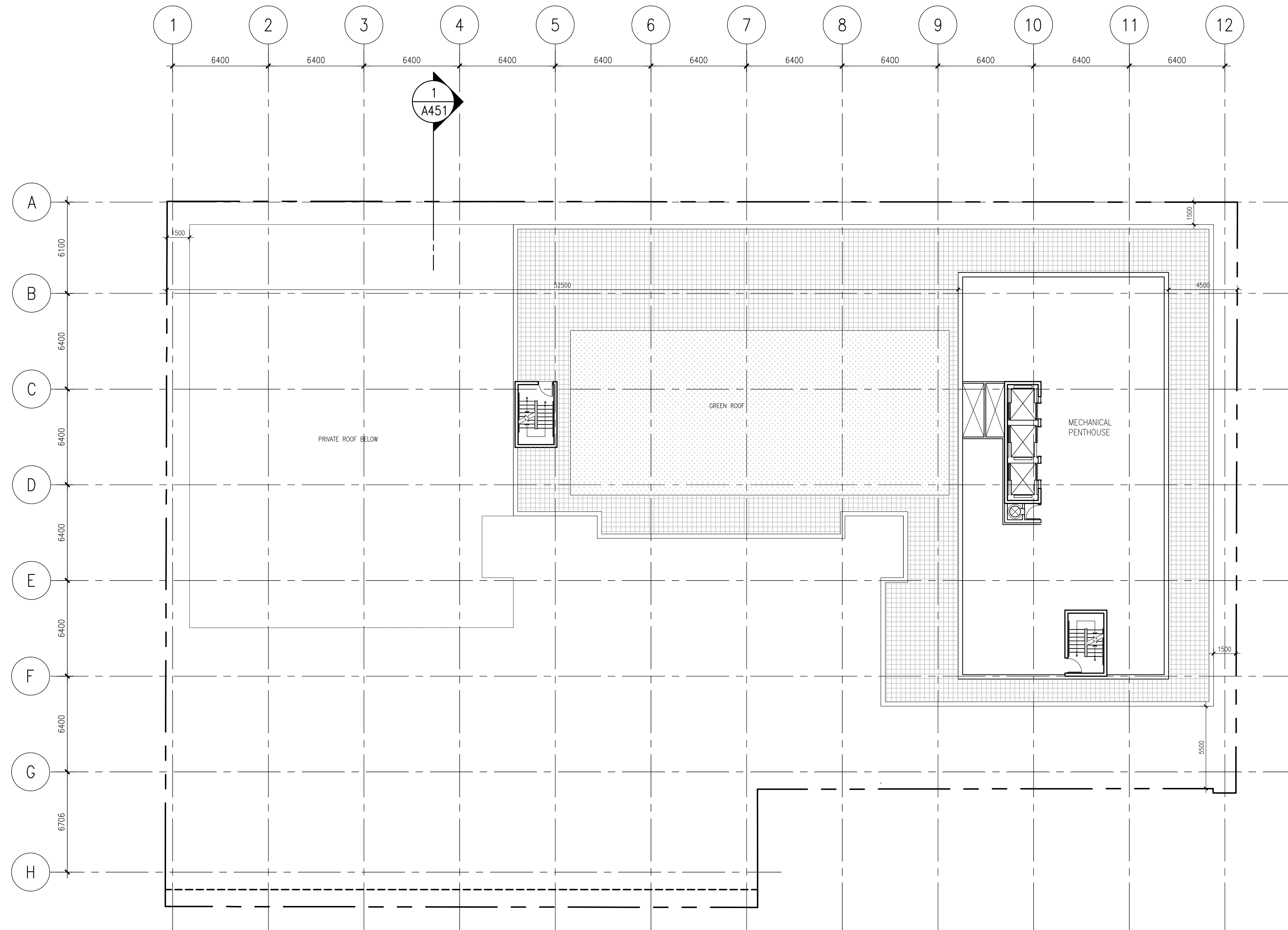
10th-14th Floor  
 Plan

**A210**

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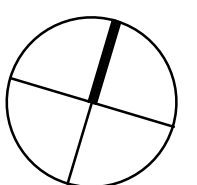


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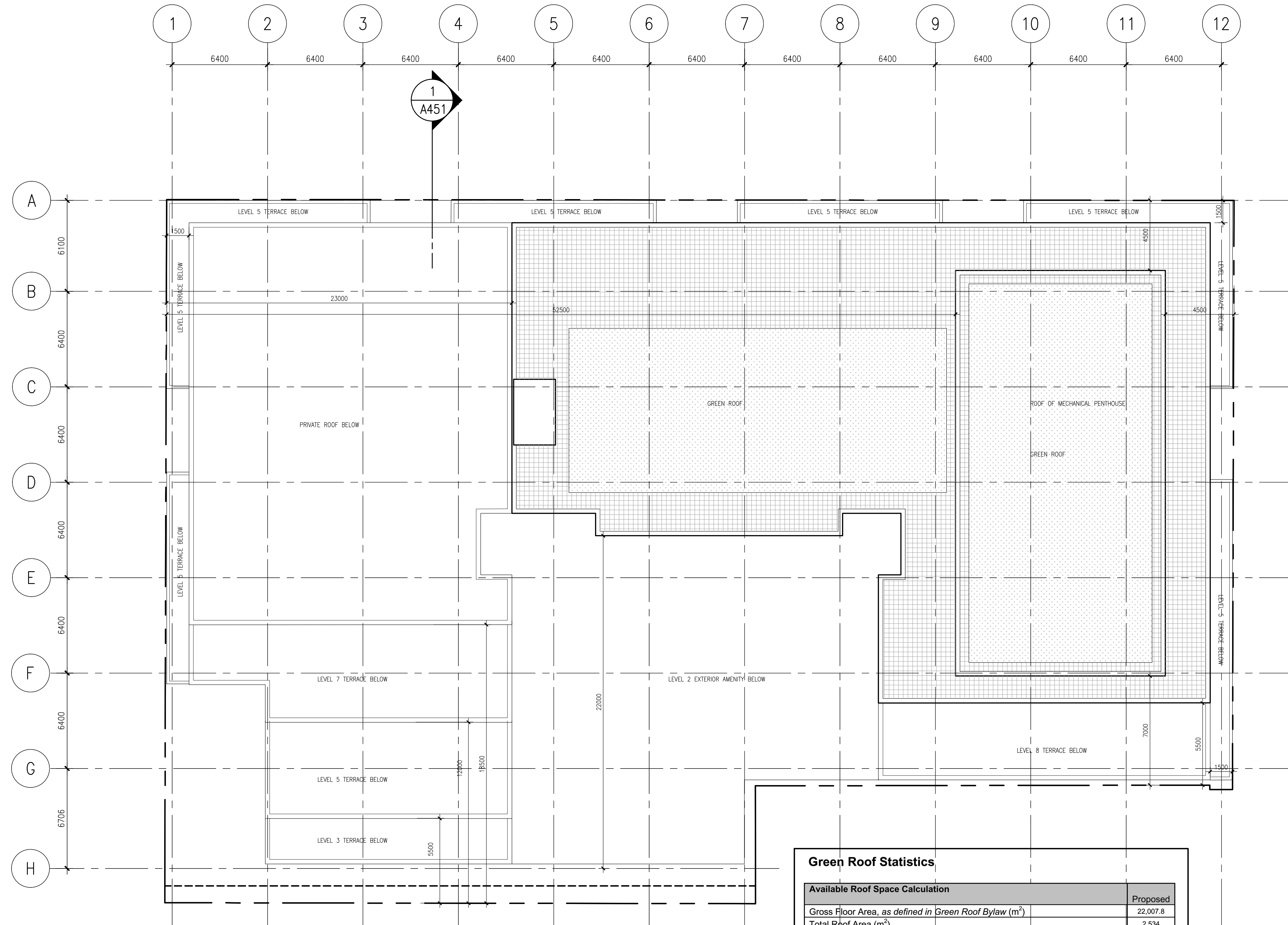
06182 1:150 AB DM  
PROJECT SCALE DRAWN REVIEWED

Mechanical Penthouse  
Plan

**A215**

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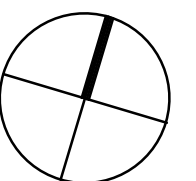
Green Roof Statistics		
<b>Available Roof Space Calculation</b>		<b>Proposed</b>
Gross Floor Area, as defined in Green Roof Bylaw (m <sup>2</sup> )		22,007.8
Total Roof Area (m <sup>2</sup> )		2,534
Area of Residential Private Terraces (m <sup>2</sup> )		1,067
Rooftop Outdoor Amenity Space, if in a Residential Building (m <sup>2</sup> )		485
Area of Renewable Energy Devices (m <sup>2</sup> )		0
Tower (s) Roof Area with floor plate less than 750 m <sup>2</sup>		0
Total Available Roof Space (m <sup>2</sup> )		982
<b>Green Roof Coverage</b>		<b>Required Proposed</b>
Coverage of Available Roof Space (m <sup>2</sup> )		590 590
Coverage of Available Roof Space (%)		60% 60%

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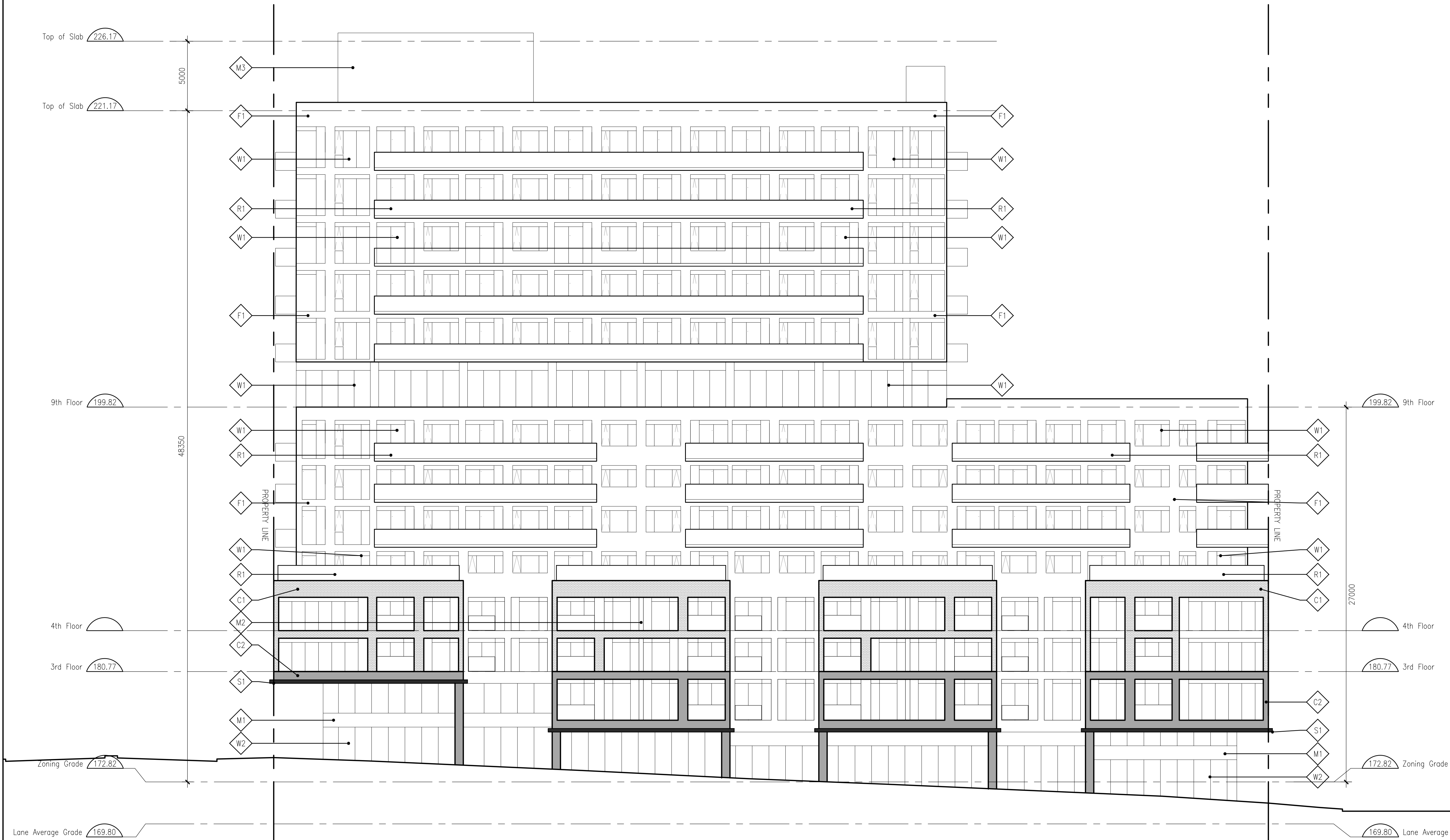
06182 1:150 AB DM  
 PROJECT SCALE DRAWN REVIEWED

Roof  
 Plan

**A216**

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LEGEND

- C1 LIGHT GREY PRECAST CONCRETE BRICK FACED PATTERN
- C2 DARK GREY PRECAST CONCRETE BRICK FACED PATTERN
- C3 WHITE PRECAST CONCRETE
- F1 WHITE FIBRE CEMENT
- S1 COR-TEN STEEL
- W1 RESIDENTIAL WINDOW SYSTEM
- W2 STORE-FRONT WINDOW SYSTEM
- M1 BLACK METAL PANELS
- M2 GREY METAL PANELS
- M3 WHITE METAL PANELS
- R1 GLASS AND METAL RAILING

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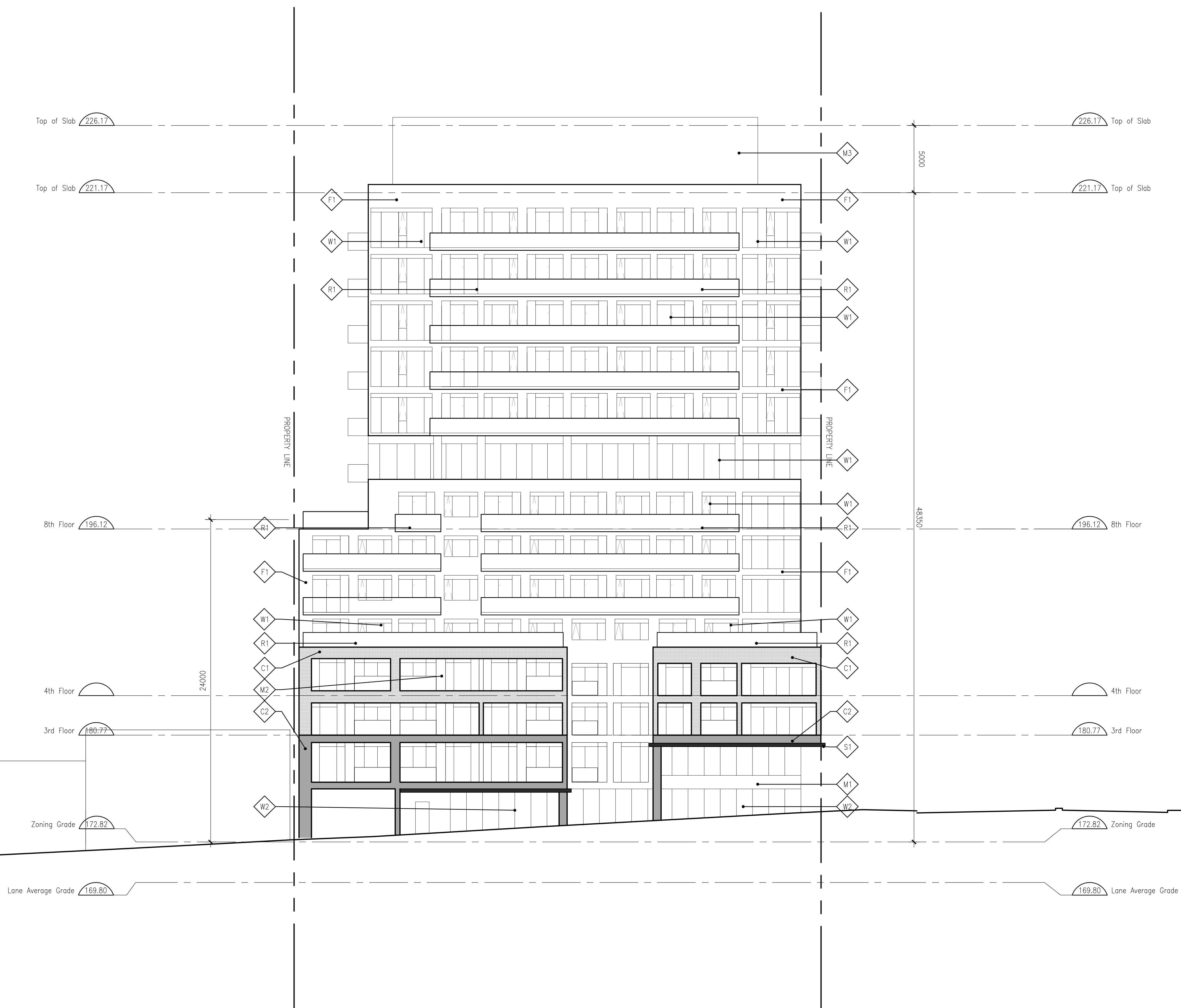
06182 PROJECT 1:150 SCALE AB DRAWN DM REVIEWED

North Elevation

**A400**

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LEGEND

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- C2 DARK GREY PRECAST CONCRETE BRICK FACED PATTERN
- C3 WHITE PRECAST CONCRETE
- F1 WHITE FIBRE CEMENT
- S1 COR-TEN STEEL
- W1 RESIDENTIAL WINDOW SYSTEM
- W2 STORE-FRONT WINDOW SYSTEM
- M1 BLACK METAL PANELS
- M2 GREY METAL PANELS
- M3 WHITE METAL PANELS
- R1 GLASS AND METAL RAILING

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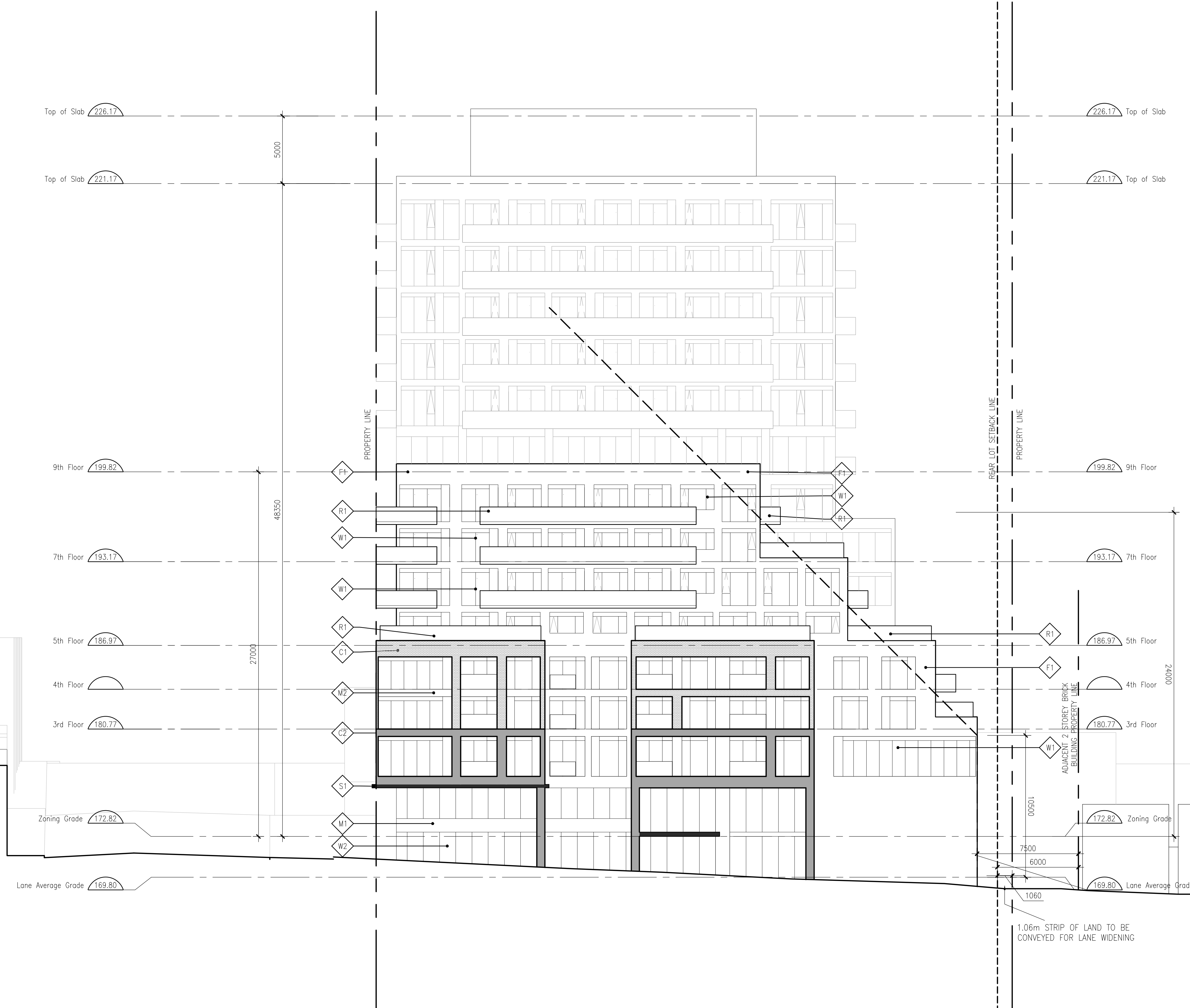
06182 1:150 AB DM  
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East Elevation

**A401**

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LEGEND

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C2	DARK GREY PRECAST CONCRETE BRICK FACED PATTERN
C3	WHITE PRECAST CONCRETE
F1	WHITE FIBRE CEMENT
S1	COR-TEN STEEL
W1	RESIDENTIAL WINDOW SYSTEM
W2	STORE-FRONT WINDOW SYSTEM
M1	BLACK METAL PANELS
M2	GREY METAL PANELS
M3	WHITE METAL PANELS
R1	GLASS AND METAL RAILING

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NO.	DATE	DESCRIPTION
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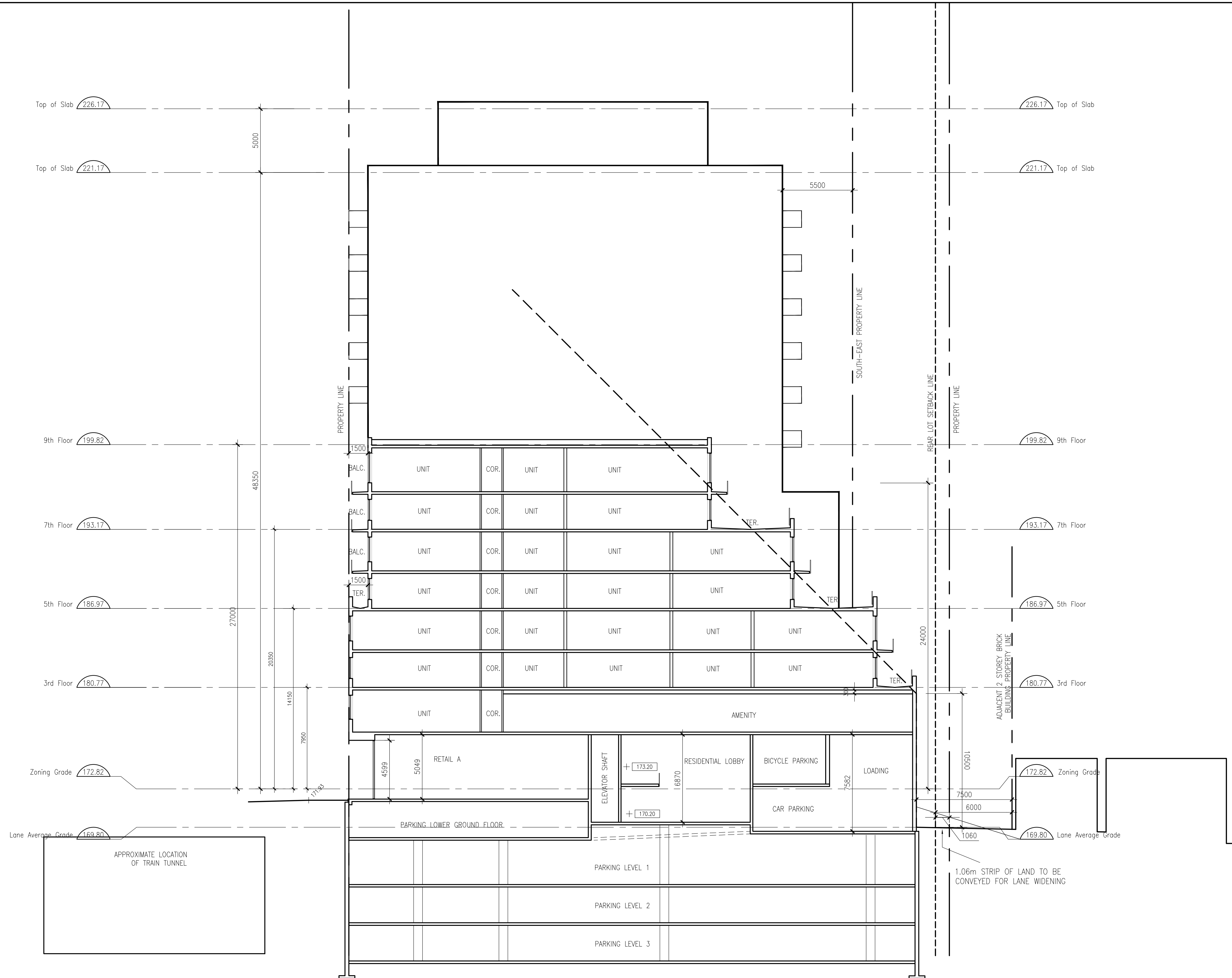
06182 PROJECT 1:150 SCALE AB DRAWN DM REVIEWED

West Elevation

**A402**

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Building Section A

A451

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