## CC43.19 - Confidential Appendix "A" to Confidential Attachment 2 - made public on July 9, 2018 Revised Architectural Plans

# Quadrangle

Quadrangle Architects Limited
901 King Street West, Suite 701 Toronto, ON M5V 3H5
t 416 598 1240 www.quadrangle.ca

#### 859-861 & 875 Eglinton Avenue West

Toronto, Ontario for Upper Village Investments Limited & Bateg Investments Limited

Project No. 06182

Date 5 June 2018

Issued for Settlement Offer

#### **ARCHITECTURAL DRAWINGS**

A209 9TH FLOOR COVER SHEET A100 PROJECT STATISTICS 10TH-14TH FLOOR A101 SITE PLAN A215 MECHANICAL PENTHOUSE A216 ROOF P3 PARKING LEVEL A152 P2 PARKING LEVEL NORTH ELEVATION A153 P1 PARKING LEVEL **EAST ELEVATION** WEST ELEVATION A201a LOWER GROUND FLOOR A201b UPPER GROUND FLOOR A451 BUILDING SECTION A SECOND FLOOR THIRD AND FOURTH FLOOR A205 FIFTH FLOOR SIXTH FLOOR

#### LANDSCAPE ARCHITECT

SEVENTH FLOOR

A208 EIGHTH FLOOR

NAK Design Group
355 Adelaide Street West, Studio 400
Toronto ON M5V 1S2
T 416 340 8100

#### **TRANSPORTATION**

BA Consulting Group Ltd.
45 St. Clair Avenue West, Suite 300
Toronto ON M4V 1K9

T 416 961 7110

#### SITE SERVICING

Cole Engineering Group Ltd.
70 Valleywood Dr.
Markham ON L3R 4T5
T 905-940-6161

WITHOUT
PREJUDICE

	Floor	07.45		GBA Gross Building Area (no exclusions)		1-83 GFA Exempt** (sm)	City of York By-Law 1-83				
		GBA/Typ. Floor (sm)					RGFA		NRGFA		Total
		1 1001 (5111)	1 10015	sm	sf	Exempt (siii)	sm	sf	sm	sf	Suites
	Mech Penthouse		1								
	14	1,183	1	1,183.0	12,733.7	10.7	1,195.7	12,870.5			14
	13	1,183	1	1,183.0	12,733.7	10.7	1,195.7	12,870.5			14
	12	1,183	1	1,183.0	12,733.7	10.7	1,195.7	12,870.5			14
	11	1,183	1	1,183.0	12,733.7	10.7	1,195.7	12,870.5			14
	10	1,183	1	1,183.0	12,733.7	10.7	1,195.7	12,870.5			14
	9	1,180	1	1,180.0	12,701.4	10.7	1,192.7	12,837.6			16
	8	1,738	1	1,738.0	18,707.7	10.7	1,761.8	18,964.0			23
	7	1,848	1	1,848.0	19,891.7	10.7	1,874.0	20,171.7			25
	6	1,976	1	1,976.0	21,269.5	10.7	2,004.6	21,577.0			27
	5	1,976	1	1,976.0	21,269.5	10.7	2,004.6	21,577.0			27
	4	2,197	1	2,197.0	23,648.3	10.7	2,230.0	24,003.4			30
	3	2,197	1	2,197.0	23,648.3	10.7	2,230.0	24,003.4			30
	2	2,076	1	2,076.0	22,345.9	10.7	2,106.6	22,674.9			19
	Upper Ground Floor	1,871	1	1,871.4	20,143.2	72.8	814.5	8,767.3	1,000.0	10,763.9	
	Lower Ground Floor	380	1	380.0	4,090.3	0.0	387.6	4,172.1			
							22,584.8	243,101.1			
OTALS						Indoor Amenity Deduction	577.1	6,211.3			
			14	23,354.4	251,384.2		22,007.8	236,889.8	1,000.0	İ	267
GFA USE Breakdown	Total RETAIL         1,000.00 sm         10,763.91 sf           Total RESIDENTIAL         22,007.78 sm         236,889.80 sf										
Area Totals & FSI	Combined RES & NON-RES Gross Floor Area Totals Res and Non-Res Floor Space Index Floor Space Index (FSI)  T  7.36  23,007.8 by-law 1-83 C 0.32										

s Non	1 Bdrm	1 Bdrm +Den	2 Bdrm	2 Bdrm +Den	3 Bdrm	Total Suites
Suites Breakdw	81	105	27	26	28	267
ı —	30.3%	39.3%	10.1%	9.7%	10.5%	100.0%

	Parking Space L	ocation					Residential	Required	Provided
OCATION	Level	R	ESIDENTIAL	NON-RESI	DENTIAL	TOTAL	TOTAL Res Amenity = 4.0sm/dwelling unit	1,068.00 sm	1,068.00 sm
Į		Occupant	Commercial/ Visitor	Retail	Office				
SC C	GF A	1	27	10	0	38	Interior Amenity min. 2.0sm/dwelling unit	534.00 sm	534.00 sm
2	P1	65	0	0	0	65			
	P2	67	0	0	0	67 B	Outdoor Amenity min. 2.0sm/dwelling unit	534.00 sm	534.00 sm
<u>و</u>	P3	72	0	0	0	72			
ARKING	TOTAL	205	27	10	0	WENIT 242			
AR P						AN			
IICNT'									

Toronto, ON 3,125.23 Lot Area (sm) 172.82m Zoning Grade: Building Height (Storeys): (excl. Mech Penthouse) Building Height above Average Grade (m): 48.35 (excl. Mech Penthouse) (sm) 22,007.78 GFA - Residential Uses GFA - Non-Residential Uses 1,000.00 By-Law 1-83, Total GFA 23,007.78 7.36 Floor Space Index (FSI) 267 Number of Residential Suites (sm) Min. Residential Interior Amenity Space Required 534.00 534.00 Total Residential Interior Amenity Space Provided Vehicular Parking Total Required 242 242 Vehicular Parking Total Provided Bicycle Parking Total Required 276 Bicycle Parking Total Provided 276

859-861 and 875 Eglinton Avenue West

WITHOUT PREJUDICE

REVISION RECORD

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06182 NTS PROJECT SCALE DRAWN REVIEWED

Project Statistics

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By-law 1-83, RGFA and NRGFA Deductions:

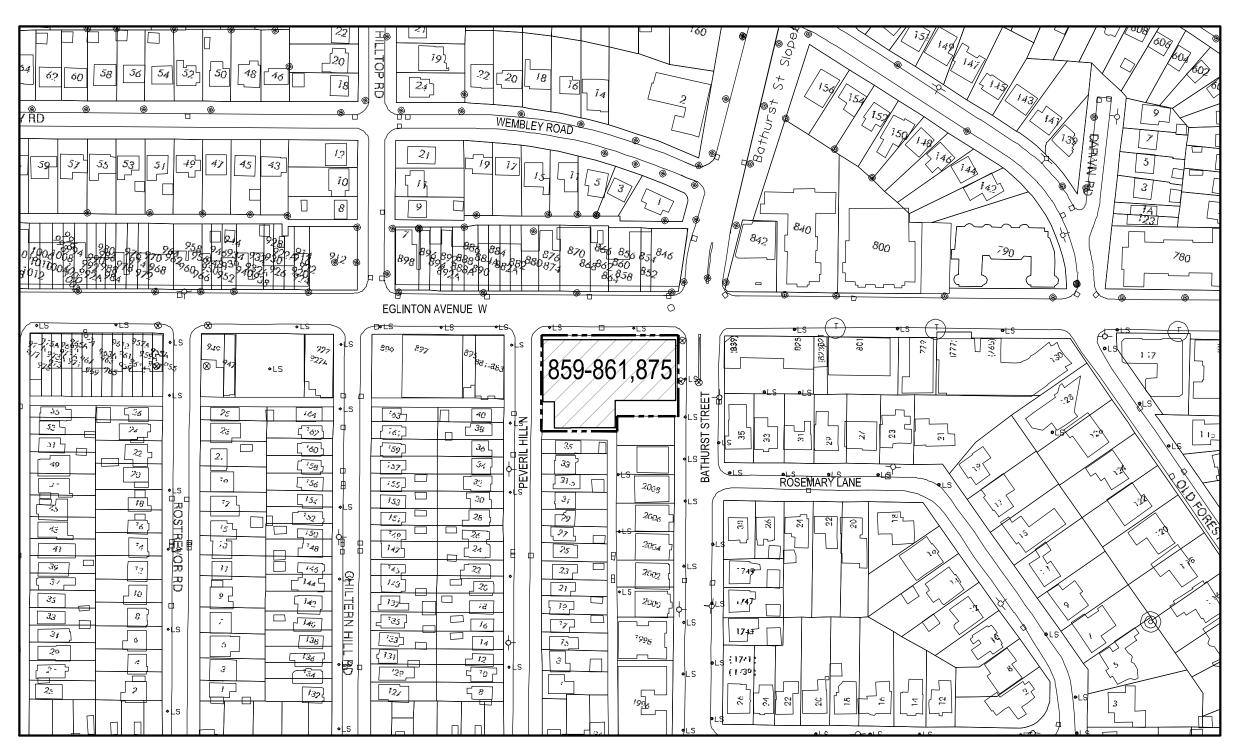
PROJECT STATISTICS SUMMARY

Municipal Address:

(56) "GROSS FLOOR AREA" means the sum of the gross horizontal areas of the several floors of a building measured from the exterior faces of the exterior walls at each floor or from the centre lines of walls separating two or more self-contained parts of a building (e.g., in the case of a semidetached house or townhouse); and

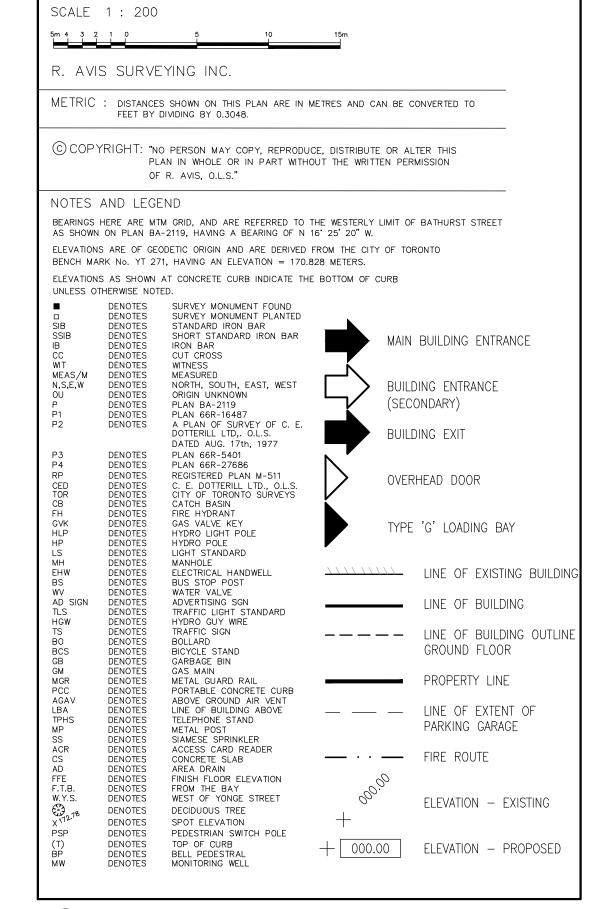
(b) in the case of an apartment house shall include any part of the building or structure used for locker storage and laundry facilities above grade only, but shall exclude any part of the building or structure used for retail-commercial purposes open to the public and any areas used for recreational or mechanical purposes or for the storage or parking of motor vehicles; and

(c) in the case of non-residential buildings or the non-residential portion of mixed use buildings shall include any part of the building or structure used for retail, commercial, office and industrial purposes but pedestrian or vehicular access between buildings; any floor area occupied by mechanical equipment, elevators, stairs, washrooms and custodial rooms; any floor area designed as an enclosed pedestrian mall providing public access to establishments in a multiple occupancy or mixed use building or complex; and combined area of free-standing kiosks totalling less than 10 square metres; and



4 Context Plan A101 SCALE: 1:2000

TORONTO GREEN STANDARD STA	ITISTICS - VERSION 2.0			
PROPOSED NEW ZONING BYLAW		PROPOSED		
TOTAL GROSS FLOOR AREA	CITY OF Y	ORK BYLAW 1-83	5 = 23,008 sm	
BREAKDOWN OF PROJECT COMPONENTS (m²)				
RESIDENTIAL	CITY OF Y	ORK BYLAW 1-83	5 = 22,008 sm	
RETAIL	CITY OF Y	ORK BYLAW 1-8	3 = 1,000 sm	
COMMERCIAL		N/A		
INDUSTRIAL		N/A		
INSTITUTIONAL/OTHER		N/A		
TOTAL NUMBER OF RESIDENTIAL UNITS (RESIDENTIAL ONLY)		267		
SECTION 1: FOR STAND ALONE ZONING BYLAW AMENDMENT A	APPLICATIONS AND SITE PLAN	I CONTROL APPLI	CATIONS	
AUTOMOBILE INFRASTRUCTURE		REQUIRED	PROPOSED	PROPOSED 5
NUMBER OF PARKING SPACES		232	166	_
NUMBER OF PARKING SPACES WITH PHYSICAL PROVISION FOR FUTURE E.V. CHARGING (RE	SIDENTIAL)	0	0	_
NUMBER OF PARKING SPACES DEDICATED FOR PRIORITY PARKING: LEV, CAR POOLING, CAI	,	*		
(INSTITUTIONAL/COMMERCIAL)	N SINKING	0	0	-
CYCLING INFRASTRUCTURE		REQUIRED	PROPOSED	PROPOSED :
NUMBER OF LONG-TERM BICYCLE PARKING SPACES (RESIDENTIAL)		241	241	-
NUMBER OF LONG-TERM BICYCLE PARKING SPACES (ALL OTHER USES)		2	2	-
NUMBER OF LONG-TERM BICYCLE PARKING SPACES (RESIDENTIAL AND ALL OTHER USES)	LOCATED ON:	_	-	_
A) FIRST STOREY OF BUILDING (LOWER GROUND FLOOR)		_	26	_
(UPPER GROUND FLOOR)		_	161	_
B) SECOND STOREY OF BUILDING			0	
<u>'</u>	BY BIOACI E BYBINING/		_	
C) FIRST LEVEL BELOW-GROUND (ALSO INDICATE % OF NET AREA OF LEVEL OCCUPIED	· · · · · · · · · · · · · · · · · · ·	_	44	-
D) SECOND LEVEL BELOW-GROUND (ALSO INDICATE % OF NET AREA OF LEVEL OCCUP		-	10	-
E) OTHER LEVELS BELOW-GROUND (ALSO INDICATE % OF NET AREA OF LEVEL OCCUPI	ED BY BICYCLE PARKING)	-	0	0
NUMBER OF SHORT-TERM BICYCLE PARKING SPACES (RESIDENTIAL ONLY)		27	27	-
NUMBER OF SHORT-TERM BICYCLE PARKING SPACES (ALL OTHER USES)		6	6	-
NUMBER OF MALE SHOWER AND CHANGE FACILITIES (NON-RESIDENTIAL ONLY)		0	0	-
NUMBER OF FEMALE SHOWER AND CHANGE FACILITIES (NON-RESIDENTIAL ONLY)		0	0	-
STORAGE AND COLLECTION OF RECYCLING AND ORGANIC WASTE		REQUIRED	PROPOSED	PROPOSED 5
WASTE STORAGE ROOM AREA (RESIDENTIAL ONLY) (m²)		82 m²	82 m²	100.00%
SECTION 2: FOR SITE PLAN C	ONTROL APPLICATIONS		I.	
CYCLING INFRASTRUCTURE		REQUIRED	PROPOSED	PROPOSED 5
NUMBER OF SHORT-TERM BICYCLE PARKING SPACES (RESIDENTIAL AND ALL OTHER USES)	) AT-GRADE OR ON FIRST	77	77	
LEVEL BELOW GRADE	,	33	33	_
URBAN HEAT ISLAND REDUCTION: AT GRADE		REQUIRED	PROPOSED	PROPOSED 2
TOTAL NON-ROOF HARDSCAPE AREA (m²)				
TOTAL NON-ROOF HARDSCAPE AREA TREATED FOR URBAN HEAT ISLAND (MINIMUM 50%) (	(m² AND %)			
AREA OF NON-ROOF HARDSCAPE TREATED WITH: (INDICATE m² AND %)		-	-	-
A) HIGH—ALBEDO SURFACE MATERIAL				
B) OPEN GRID PAVEMENT		-		
C) SHADE FROM TREE CANOPY		-		
D) SHADE FROM STRUCTURES COVERED BY SOLAR PANELS		_		
PERCENTAGE OF REQUIRED CAR PARKING SPACES UNDER COVER (MINIMUM 50%) (NON-R	ESIDENTIAL ONLY)	_	_	100%
URBAN HEAT ISLAND REDUCTION: ROOF	,	REQUIRED	PROPOSED	PROPOSED 2
AVAILABLE ROOF SPACE (m²)		ILLEGOTIVED	T NOT OOLD	T NOT OSED A
				-
AVAILABLE ROOF SPACE PROVIDED AS GREEN ROOF (m2 AND %)				
AVAILABLE ROOF SPACE PROVIDED AS COOL ROOF (m2 AND %)				
WATER EFFICIENCY		REQUIRED	PROPOSED	PROPOSED 9
TOTAL LANDSCAPED SITE AREA (m²)				-
LANDSCAPED SITE AREA PLANTED WITH DROUGHT-TOLERANT PLANTS (MINIMUM 50%) (m2	AND %)			
Urban Forest: Increase tree canopy		REQUIRED	PROPOSED	PROPOSED 5
TOTAL SITE AREA (m²)		-		-
TOTAL NUMBER OF TREES PLANTED (SITE AREA x 40% ÷ 66)				_
NUMBER OF SURFACE PARKING SPACES (IF APPLICABLE)		_		-
NUMBER OF SHADE TREES LOCATED IN SURFACE PARKING AREA INTERIOR (MIN 1 TREE F	OR 5 PARKING SPACES)			_
		REQUIRED	PROPOSED	PROPOSED 2
NATURAL HERITAGE: SITE				. INGI GOLD
		_		1 -
TOTAL NUMBER OF SPECIES PLANTED	IN EOW)	-		
TOTAL NUMBER OF SPECIES PLANTED TOTAL NUMBER OF NATIVE SPECIES PLANTED AND % OF TOTAL SPECIES PLANTED (MINIMU	JM 50%)	-	BB4545	BP 487
Total Number of Species Planted  Total Number of Native Species Planted and % of Total Species Planted (Minimu  BIRD FRIENDLY GLAZING	,	REQUIRED	PROPOSED	PROPOSED :
TOTAL NUMBER OF SPECIES PLANTED  TOTAL NUMBER OF NATIVE SPECIES PLANTED AND % OF TOTAL SPECIES PLANTED (MINIMU BIRD FRIENDLY GLAZING  TOTAL AREA OF GLAZING OF ALL ELEVATIONS WITHIN 12m ABOVE GRADE (INCL. GLASS BA	ALCONY RAILINGS) (m²)	REQUIRED	PROPOSED	PROPOSED :
TOTAL NUMBER OF SPECIES PLANTED  TOTAL NUMBER OF NATIVE SPECIES PLANTED AND % OF TOTAL SPECIES PLANTED (MINIMU BIRD FRIENDLY GLAZING  TOTAL AREA OF GLAZING OF ALL ELEVATIONS WITHIN 12m ABOVE GRADE (INCL. GLASS BA	ALCONY RAILINGS) (m²)	REQUIRED _	PROPOSED	
TOTAL NUMBER OF SPECIES PLANTED TOTAL NUMBER OF NATIVE SPECIES PLANTED AND % OF TOTAL SPECIES PLANTED (MINIMUL BIRD FRIENDLY GLAZING TOTAL AREA OF GLAZING OF ALL ELEVATIONS WITHIN 12m ABOVE GRADE (INCL. GLASS BY TOTAL AREA OF TREATED GLAZING (MIN 85% OF TOTAL AREA OF GLAZING WITHIN 12m ABOVE  TOTAL AREA OF TREATED GLAZING (MIN 85% OF TOTAL AREA OF GLAZING WITHIN 12m ABOVE  TOTAL AREA OF TREATED GLAZING (MIN 85% OF TOTAL AREA OF GLAZING WITHIN 12m ABOVE  TOTAL AREA OF TREATED GLAZING (MIN 85% OF TOTAL AREA OF GLAZING WITHIN 12m ABOVE  TOTAL AREA OF TREATED GLAZING (MIN 85% OF TOTAL AREA OF GLAZING WITHIN 12m ABOVE  TOTAL AREA OF TREATED GLAZING (MIN 85% OF TOTAL AREA OF GLAZING WITHIN 12m ABOVE  TOTAL AREA OF TREATED GLAZING (MIN 85% OF TOTAL AREA OF GLAZING WITHIN 12m ABOVE  TOTAL AREA OF TREATED GLAZING (MIN 85% OF TOTAL AREA OF GLAZING WITHIN 12m ABOVE  TOTAL AREA OF TREATED GLAZING (MIN 85% OF TOTAL AREA OF GLAZING WITHIN 12m ABOVE  TOTAL AREA OF TREATED GLAZING (MIN 85% OF TOTAL AREA OF GLAZING WITHIN 12m ABOVE  TOTAL AREA OF TREATED GLAZING (MIN 85% OF TOTAL AREA OF GLAZING WITHIN 12m ABOVE  TOTAL AREA OF TREATED GLAZING (MIN 85% OF TOTAL AREA OF GLAZING WITHIN 12m ABOVE  TOTAL AREA OF TREATED GLAZING (MIN 85% OF TOTAL AREA OF GLAZING WITHIN 12m ABOVE  TOTAL AREA OF TREATED GLAZING (MIN 85% OF TOTAL AREA OF GLAZING WITHIN 12m ABOVE	ALCONY RAILINGS) (m²)	REQUIRED _	PROPOSED	
TOTAL NUMBER OF SPECIES PLANTED TOTAL NUMBER OF NATIVE SPECIES PLANTED AND % OF TOTAL SPECIES PLANTED (MINIMUL BIRD FRIENDLY GLAZING TOTAL AREA OF GLAZING OF ALL ELEVATIONS WITHIN 12m ABOVE GRADE (INCL. GLASS BY TOTAL AREA OF TREATED GLAZING (MIN 85% OF TOTAL AREA OF GLAZING WITHIN 12m ABOVE	ALCONY RAILINGS) (m²)	REQUIRED -	PROPOSED -	
TOTAL NUMBER OF SPECIES PLANTED  TOTAL NUMBER OF NATIVE SPECIES PLANTED AND % OF TOTAL SPECIES PLANTED (MINIMUL  BIRD FRIENDLY GLAZING  TOTAL AREA OF GLAZING OF ALL ELEVATIONS WITHIN 12m ABOVE GRADE (INCL. GLASS BA  TOTAL AREA OF TREATED GLAZING (MIN 85% OF TOTAL AREA OF GLAZING WITHIN 12m AB  PERCENTAGE OF GLAZING WITHIN 12m ABOVE GRADE TREATED WITH:	ALCONY RAILINGS) (m²)	REQUIRED -	PROPOSED	PROPOSED 9
TOTAL NUMBER OF SPECIES PLANTED  TOTAL NUMBER OF NATIVE SPECIES PLANTED AND % OF TOTAL SPECIES PLANTED (MINIMUL  BIRD FRIENDLY GLAZING  TOTAL AREA OF GLAZING OF ALL ELEVATIONS WITHIN 12m ABOVE GRADE (INCL. GLASS BA  TOTAL AREA OF TREATED GLAZING (MIN 85% OF TOTAL AREA OF GLAZING WITHIN 12m AB  PERCENTAGE OF GLAZING WITHIN 12m ABOVE GRADE TREATED WITH:  A) LOW REFLECTANCE OPAQUE MATERIALS	ALCONY RAILINGS) (m²)	REQUIRED	PROPOSED	
TOTAL NUMBER OF NATIVE SPECIES PLANTED AND % OF TOTAL SPECIES PLANTED (MINIMUL BIRD FRIENDLY GLAZING  TOTAL AREA OF GLAZING OF ALL ELEVATIONS WITHIN 12m ABOVE GRADE (INCL. GLASS BATTOTAL AREA OF TREATED GLAZING (MIN 85% OF TOTAL AREA OF GLAZING WITHIN 12m ABOVE GRADE TREATED WITH:  A) LOW REFLECTANCE OPAQUE MATERIALS  B) VISUAL MARKERS	ALCONY RAILINGS) (m²)	REQUIRED REQUIRED	PROPOSED  PROPOSED	



BOUNDARY AND TOPOGRAPHICAL SURVEY OF

REGISTERED PLAN M-378

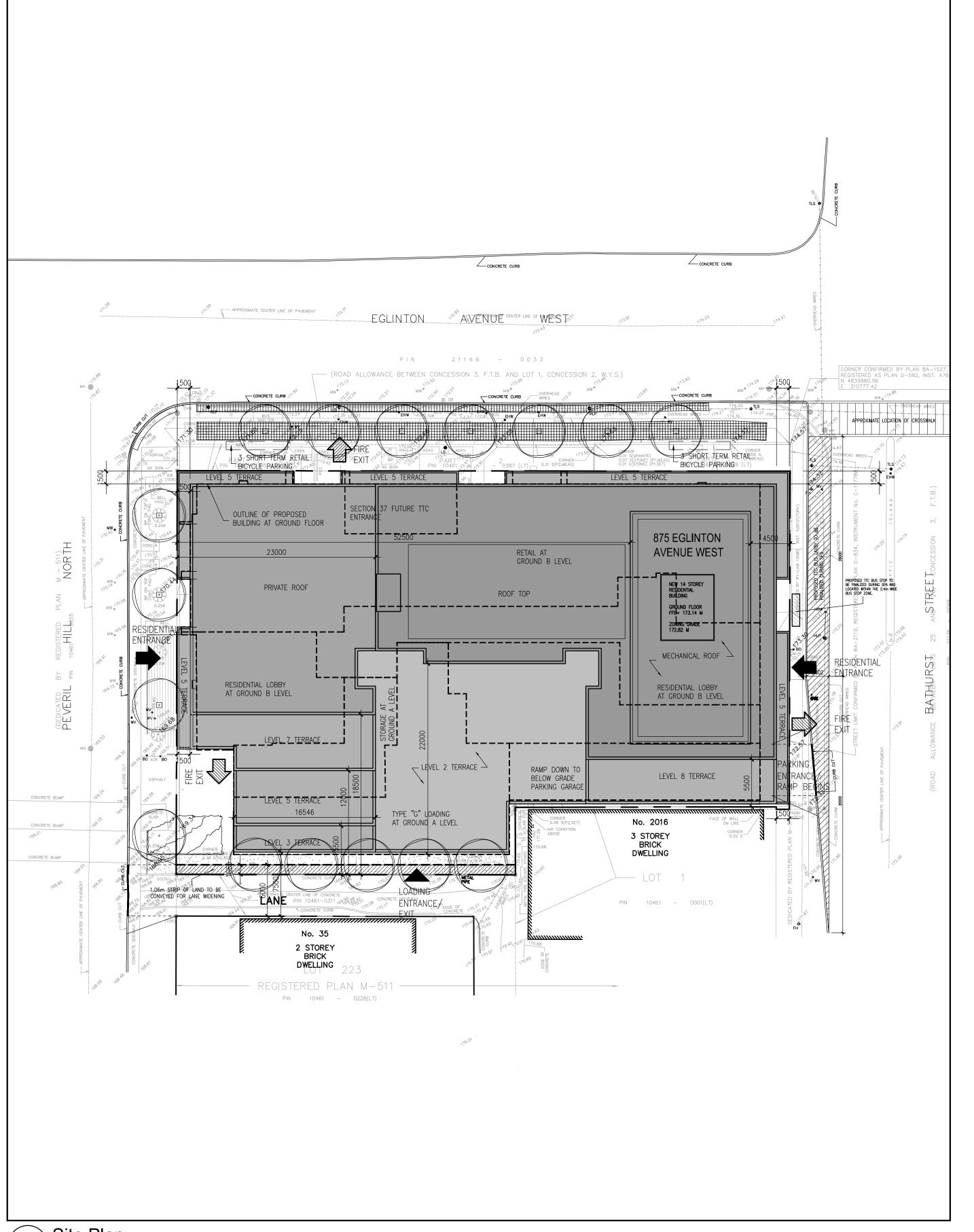
REGISTERED PLAN M-511

PART OF BLOCK A

(FORMERLY CITY OF YORK)

CITY OF TORONTO

PART OF LOTS 498, 499 & 500



WITHOUT PREJUDICE

REVISION RECORD

2018-06-05 Issued for Settlement Offer

2016-05-27 Issued for Rezoning Resubmission

ISSUE RECORD



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859-861 & 875 Eglinton Avenue West

Upper Village Investments Limited & Bateg Investments Limited

06182 1:300 PROJECT SCALE

AB DRAWN REVIEWED

Site Plan

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→ Toronto Green Standard

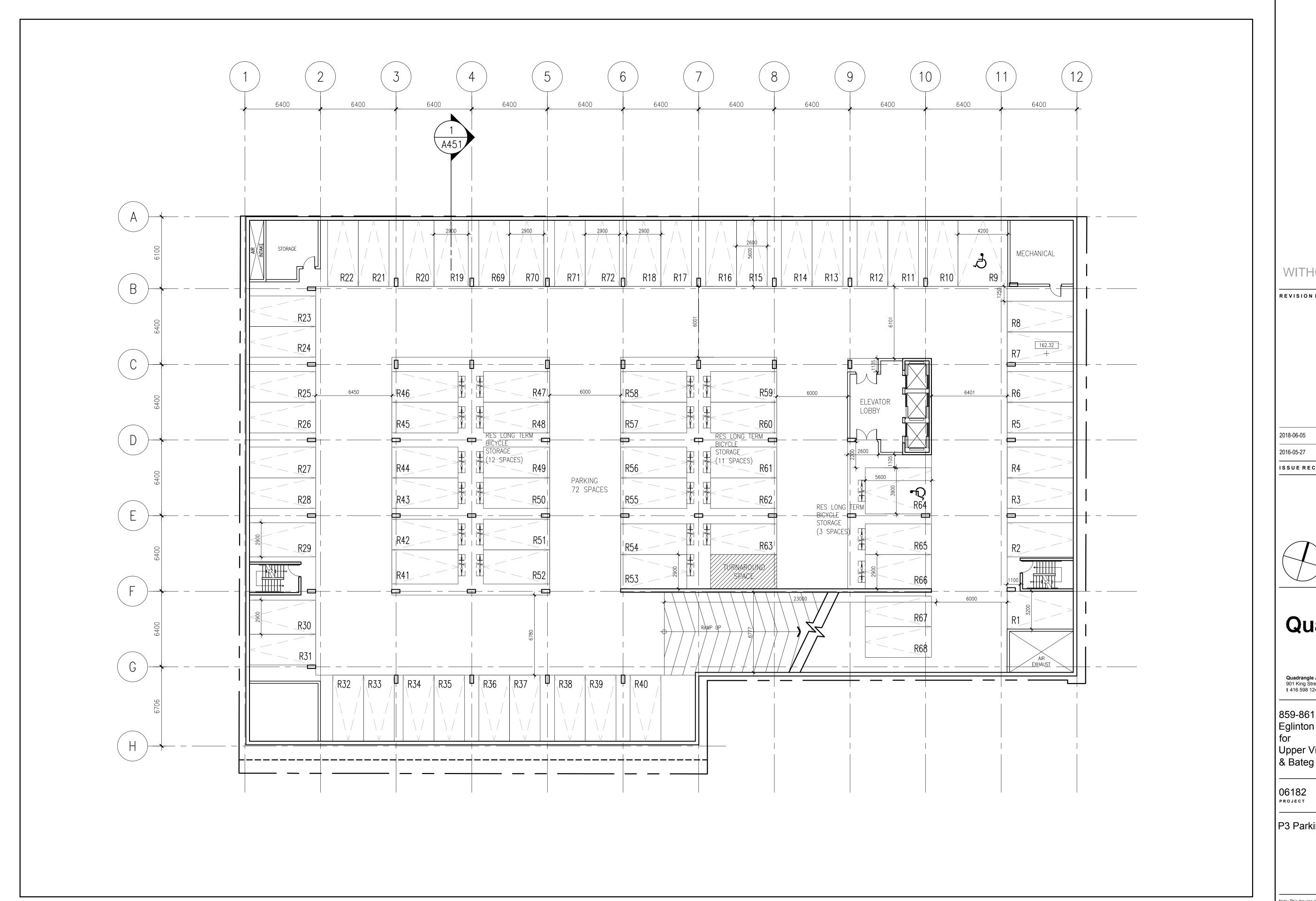
→ Toronto Gre A101 SCALE: NTS

WASTE STORAGE AREA FOR BULKY ITEMS AND OTHER (MINIMUM 10m²) (RESIDENTIAL ONLY)

10 m² 10 m² –

2 Survey Notes and Legend A101 SCALE: NTS

Site Plan A101 SCALE: 1:300



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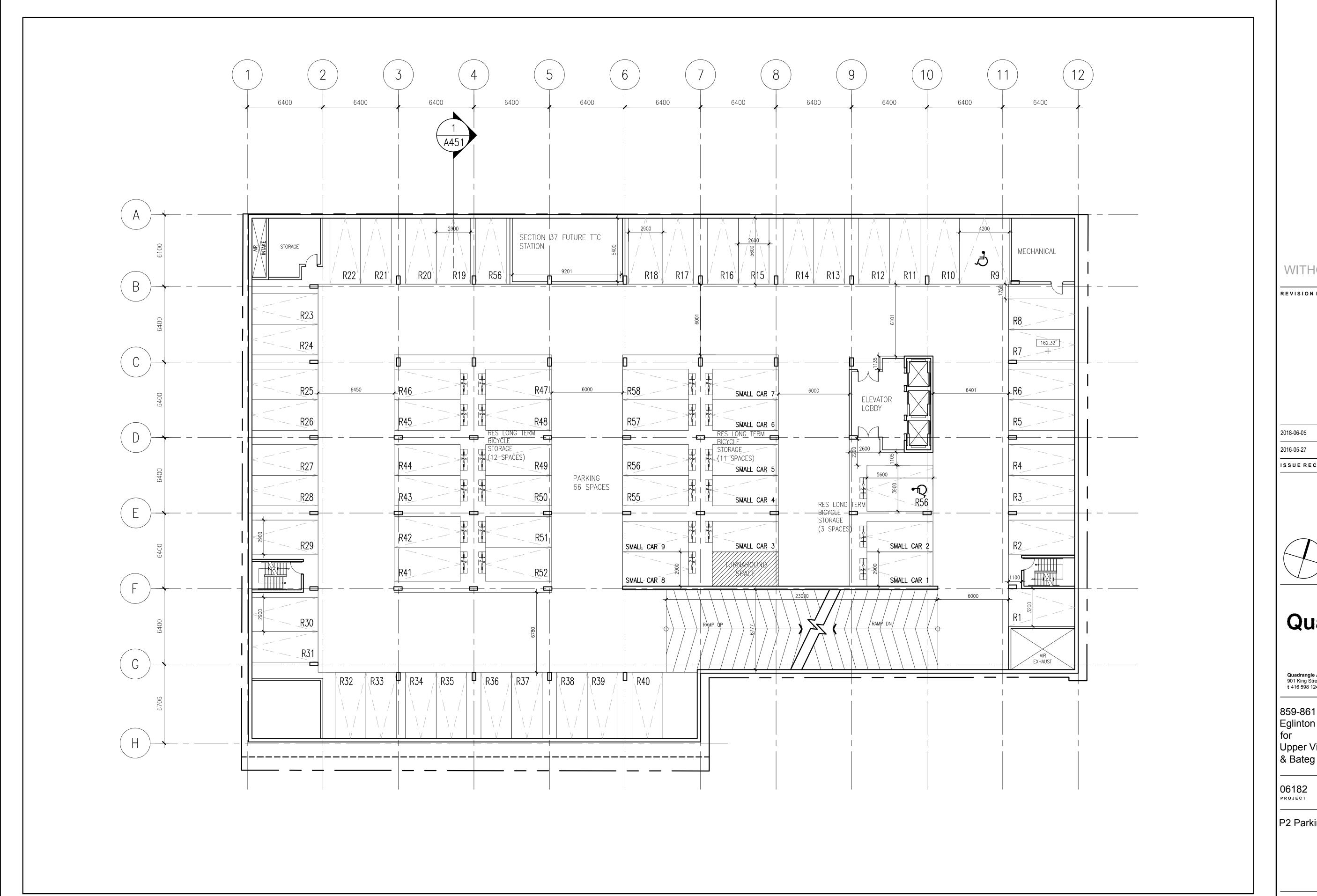
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06182 1:150 PROJECT SCALE

AB DRAWN REVIEWED

P3 Parking Level



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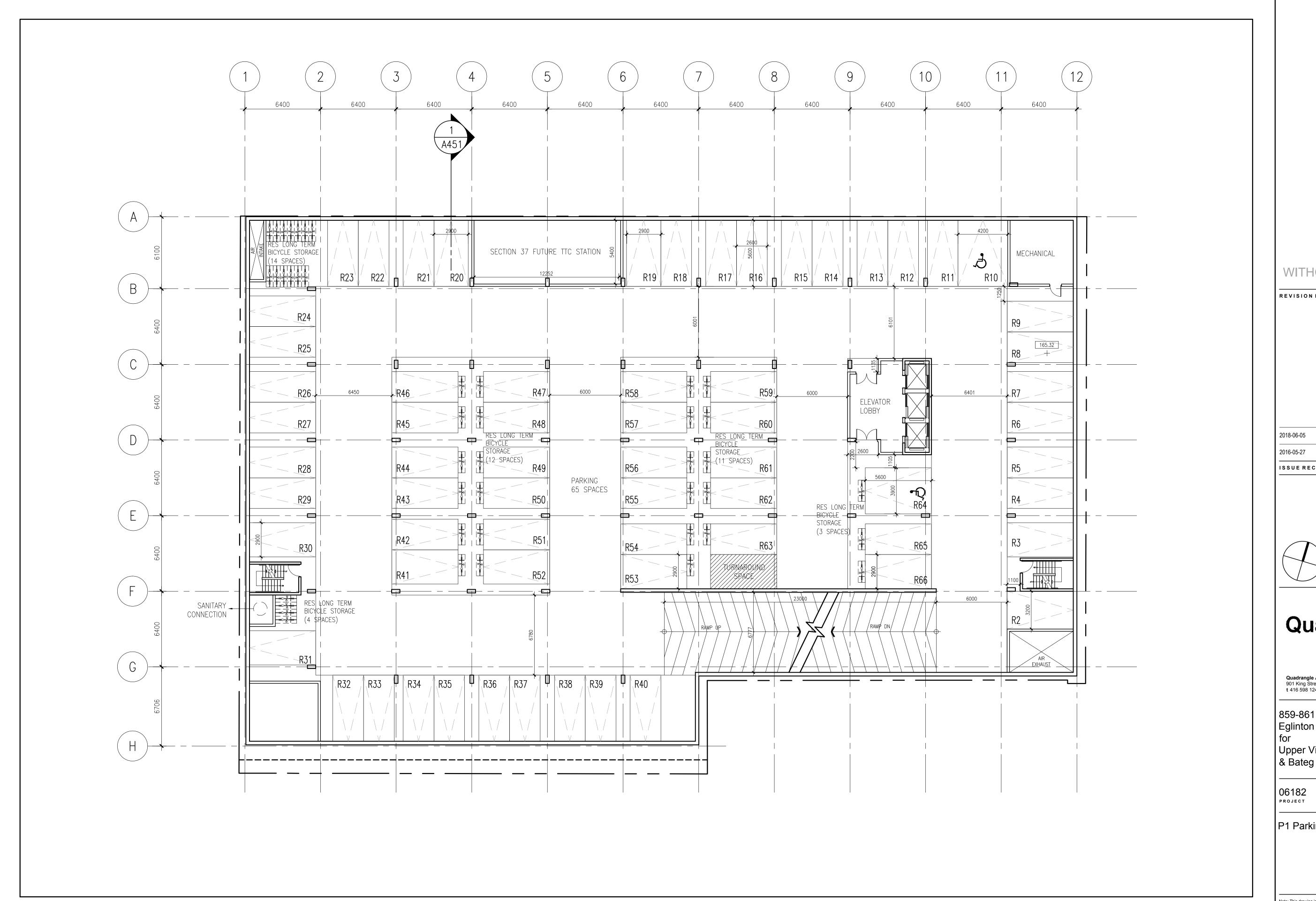
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Upper Village Investments Limited & Bateg Investments Limited

06182 1:150 PROJECT SCALE

AB DRAWN REVIEWED

P2 Parking Level



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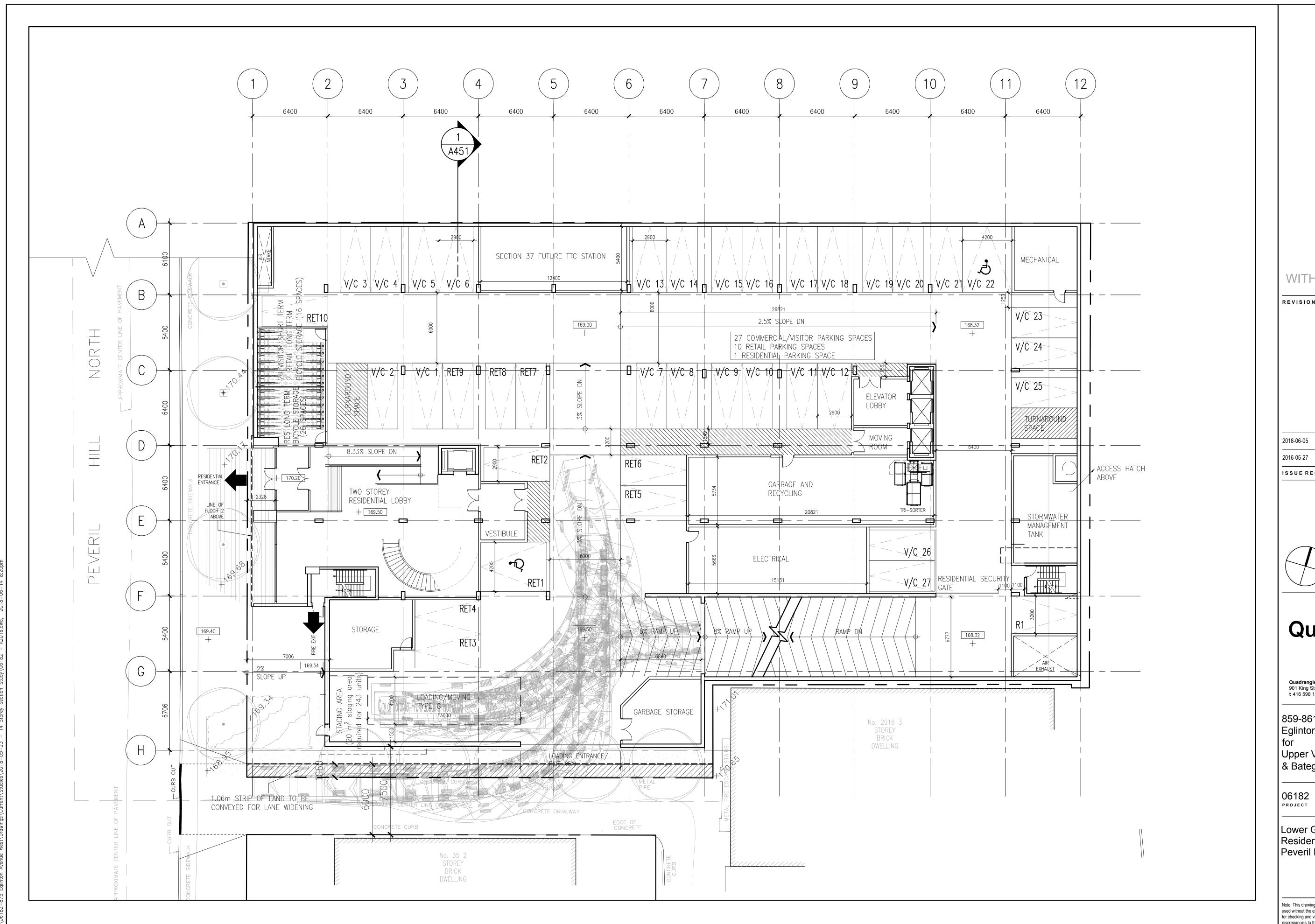
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06182 1:150 PROJECT SCALE

AB DRAWN REVIEWED

P1 Parking Level



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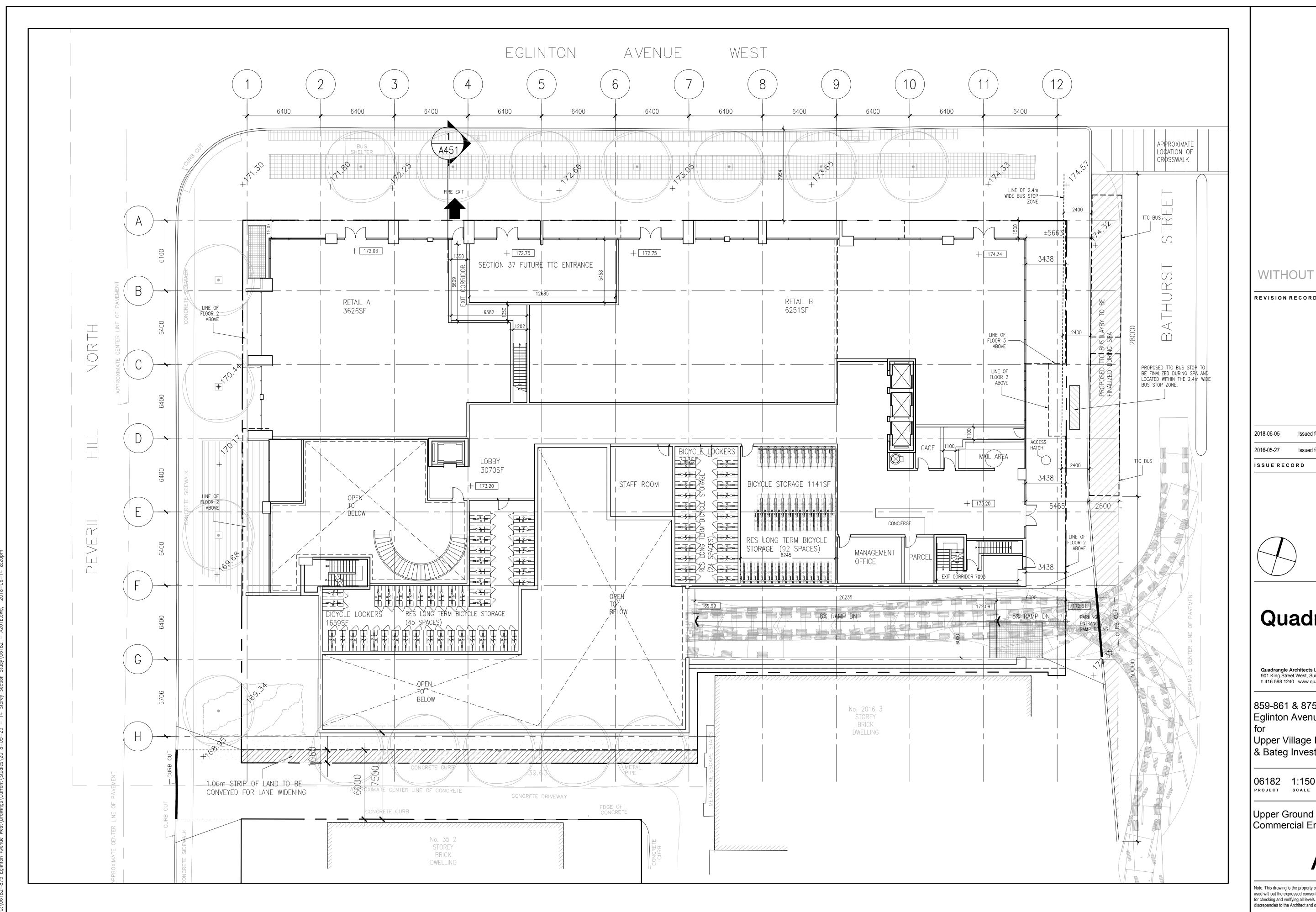
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06182 1:150 PROJECT SCALE

AB DM DRAWN REVIEWED

Lower Ground Floor Residential Entrance at Peveril Hill

A201a



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06182 1:150

DRAWN REVIEWED

Upper Ground Floor Commercial Entrances

A201b



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06182 1:150 PROJECT SCALE

AB DM DRAWN REVIEWED

Second Floor



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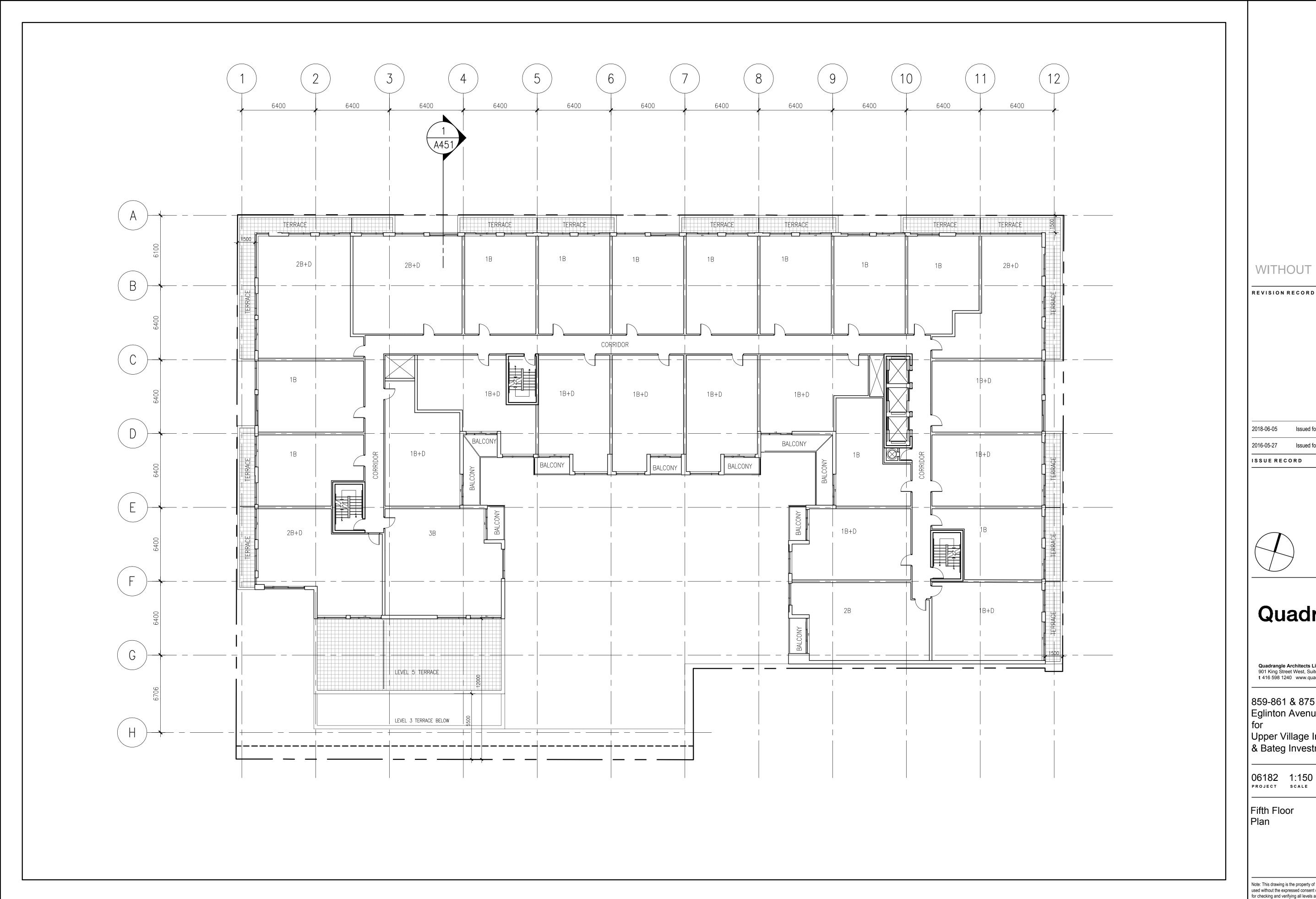
859-861 & 875
Eglinton Avenue West

Upper Village Investments Limited & Bateg Investments Limited

06182 1:150 PROJECT SCALE AB DM REVIEWED

Third and Fourth Floor Plan

A203



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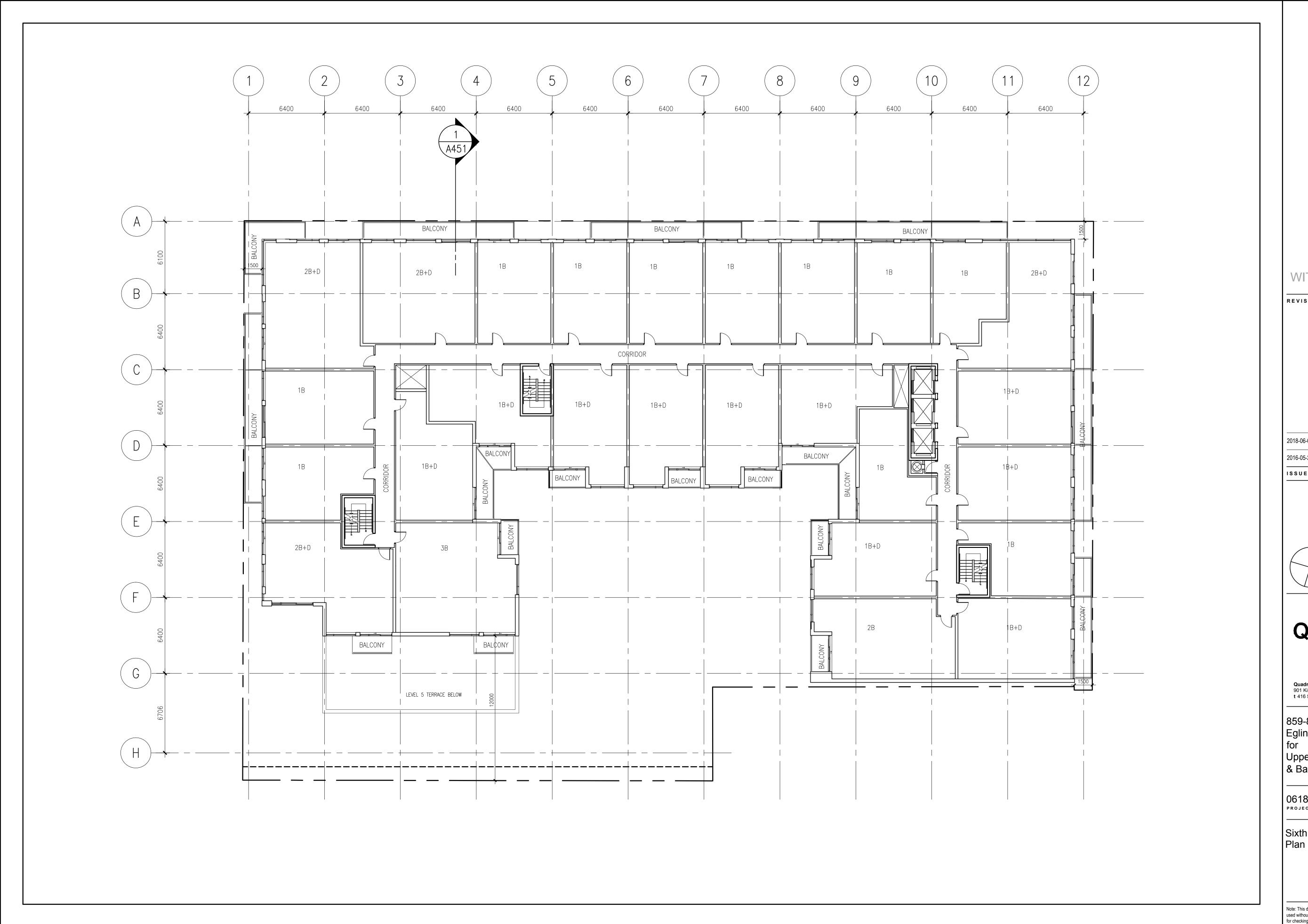
859-861 & 875 Eglinton Avenue West

Upper Village Investments Limited & Bateg Investments Limited

PROJECT SCALE

AB DM DRAWN REVIEWED

Fifth Floor



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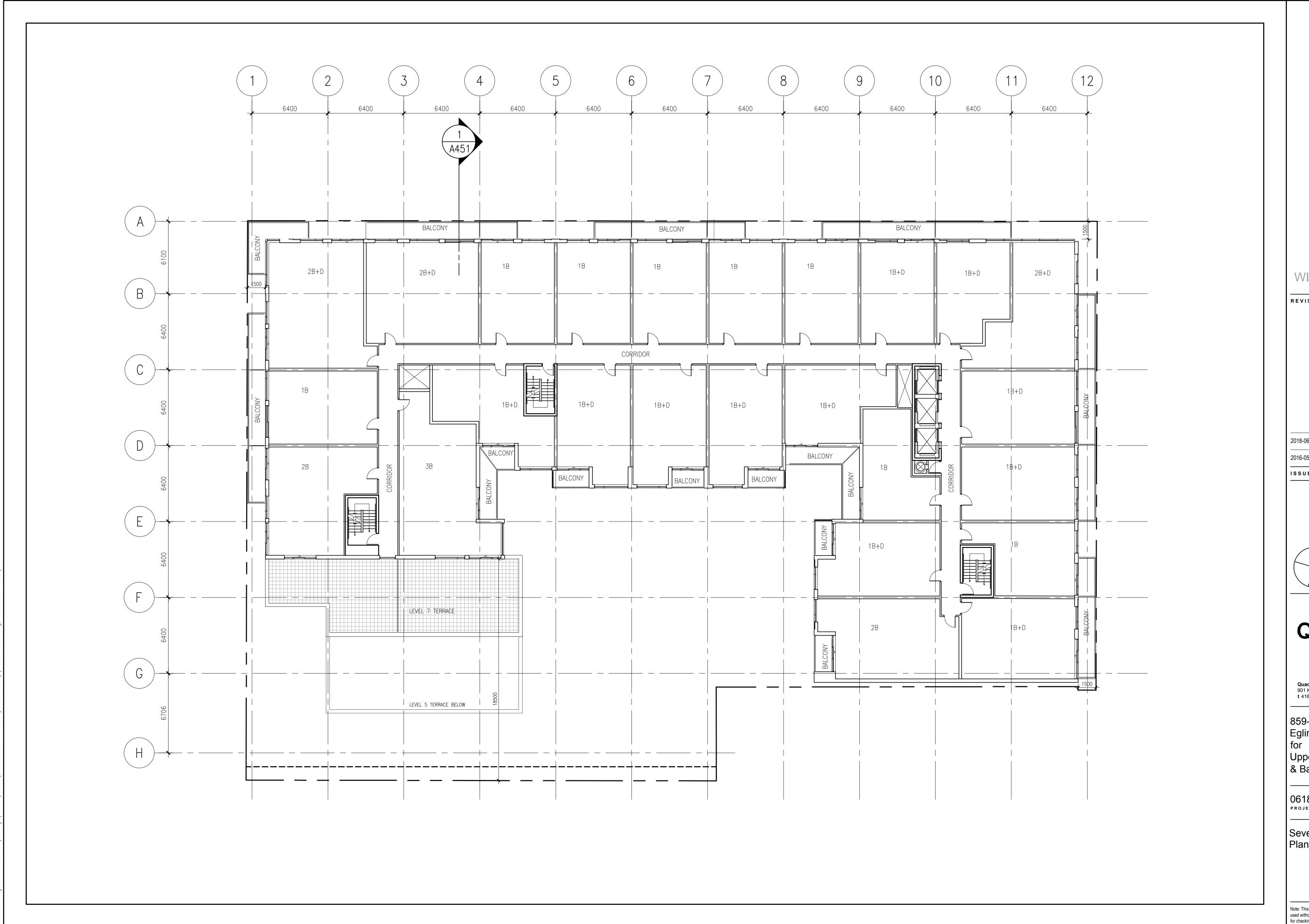
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Upper Village Investments Limited & Bateg Investments Limited

06182 1:150 PROJECT SCALE

AB DM DRAWN REVIEWED

Sixth Floor



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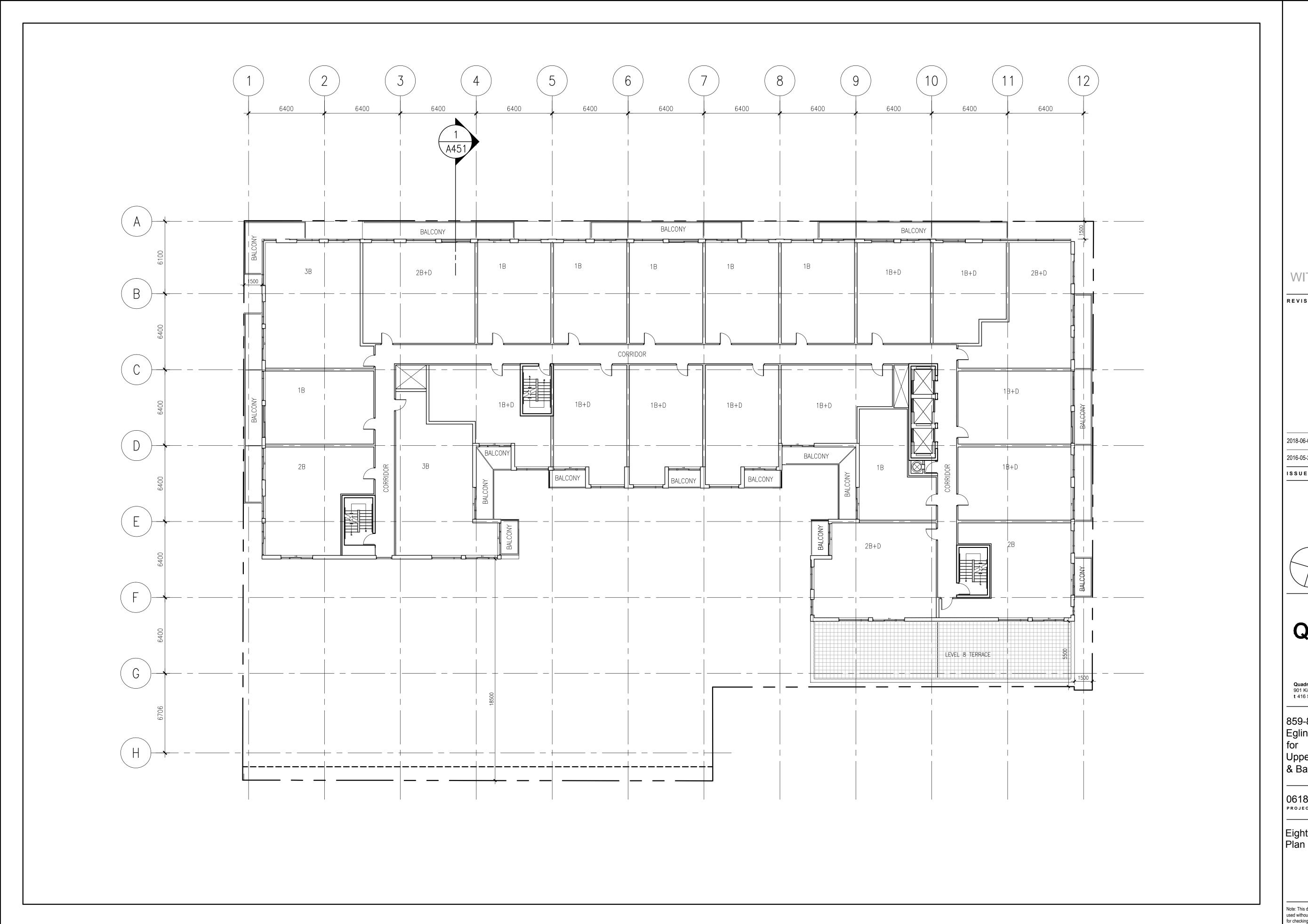
859-861 & 875
Eglinton Avenue West

Upper Village Investments Limited & Bateg Investments Limited

06182 1:150 PROJECT SCALE AB DM REVIEWED

Seventh Floor Plan

A207



REVISION RECORD

2018-06-05 Issued for Settlement Offer

2016-05-27 Issued for Rezoning Resubmission

ISSUE RECORD



## Quadrangle

Quadrangle Architects Limited
901 King Street West, Suite 701 Toronto, ON M5V 3H5
t 416 598 1240 www.quadrangle.ca

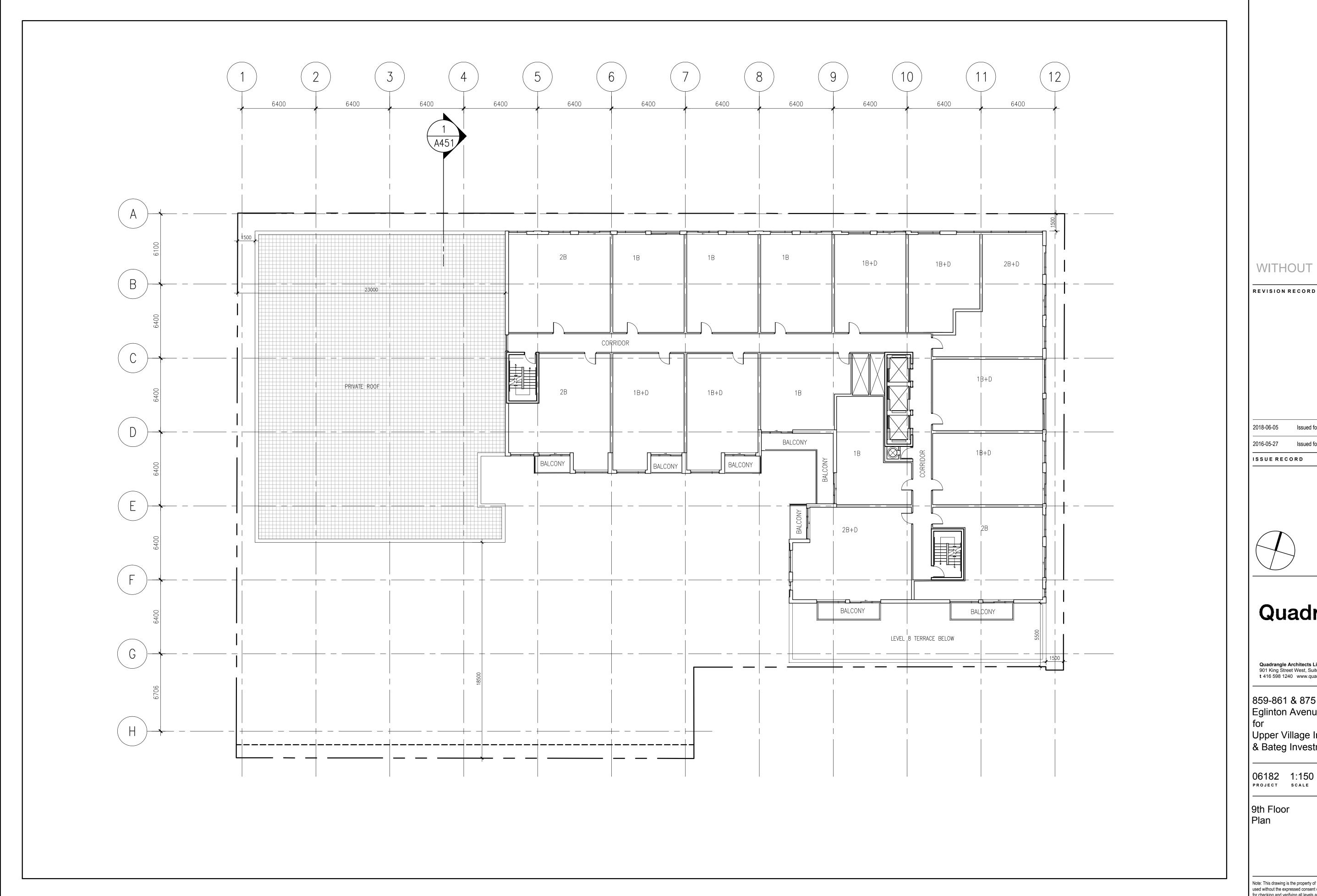
859-861 & 875
Eglinton Avenue West

Upper Village Investments Limited & Bateg Investments Limited

06182 1:150 PROJECT SCALE AB DM
DRAWN REVIEWED

Eighth Floor

A208



REVISION RECORD

2018-06-05 Issued for Settlement Offer

2016-05-27 Issued for Rezoning Resubmission

ISSUERECORD



## Quadrangle

Quadrangle Architects Limited 901 King Street West, Suite 701 Toronto, ON M5V 3H5 t 416 598 1240 www.quadrangle.ca

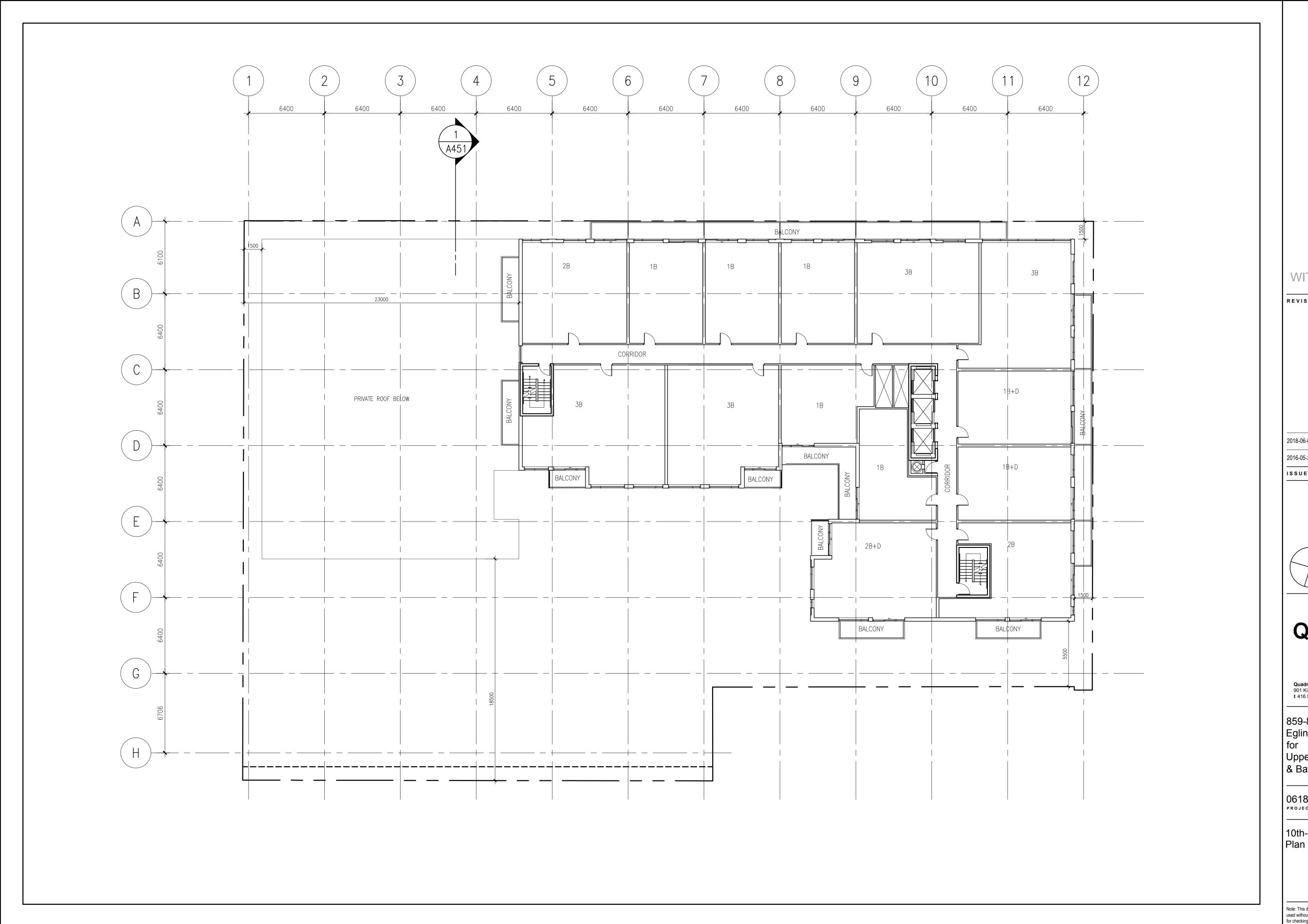
859-861 & 875 Eglinton Avenue West

Upper Village Investments Limited & Bateg Investments Limited

PROJECT SCALE

AB DM DRAWN REVIEWED

9th Floor



REVISION RECORD

2018-06-05 Issued for Settlement Offer

2016-05-27 Issued for Rezoning Resubmission

ISSUE RECORD



## Quadrangle

Quadrangle Architects Limited
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t 416 598 1240 www.quadrangle.ca

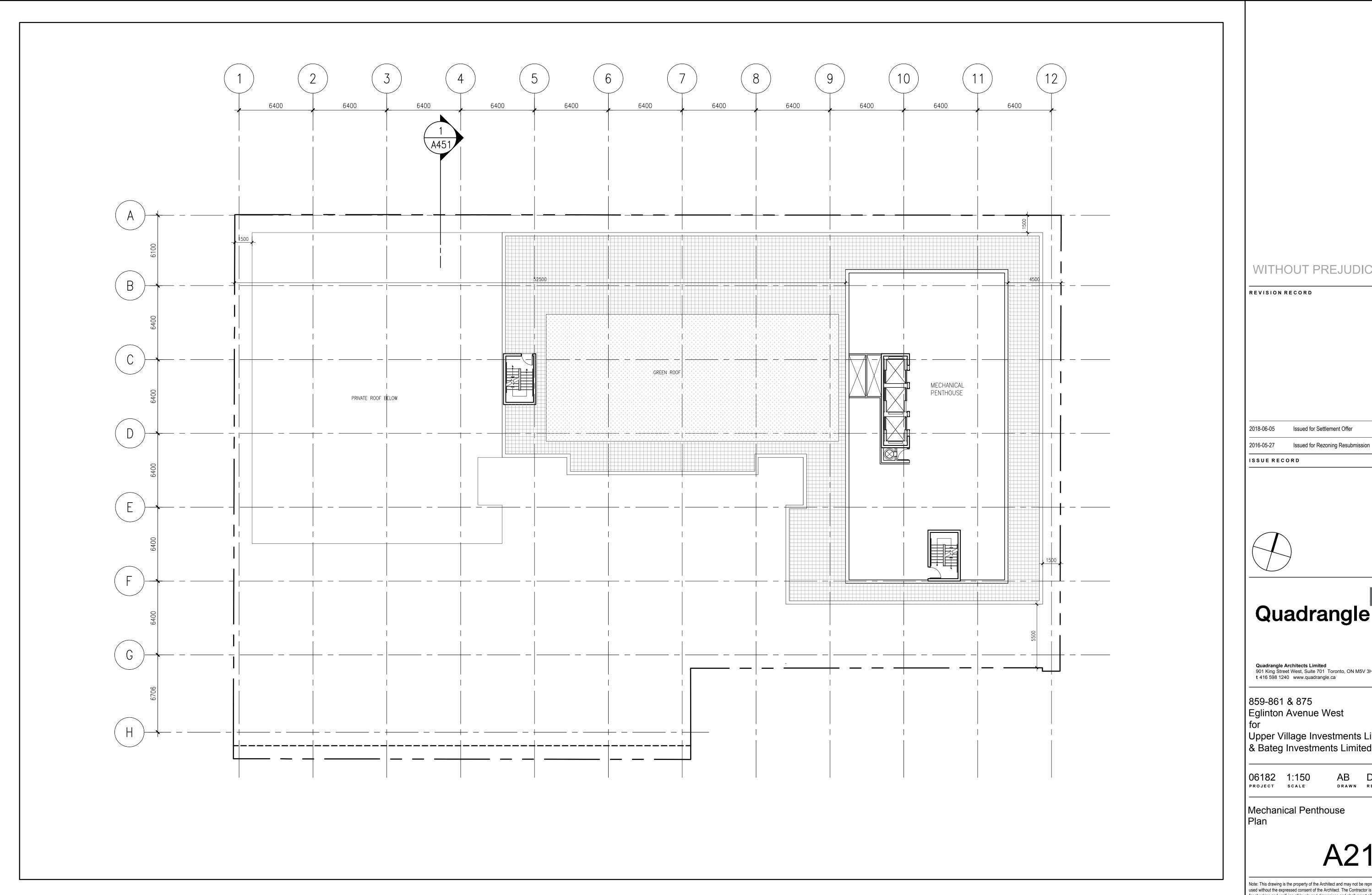
859-861 & 875
Eglinton Avenue West

Upper Village Investments Limited & Bateg Investments Limited

06182 1:150 PROJECT SCALE AB DM REVIEWED

10th-14th Floor

A210



REVISION RECORD

2018-06-05 Issued for Settlement Offer

ISSUE RECORD



## Quadrangle

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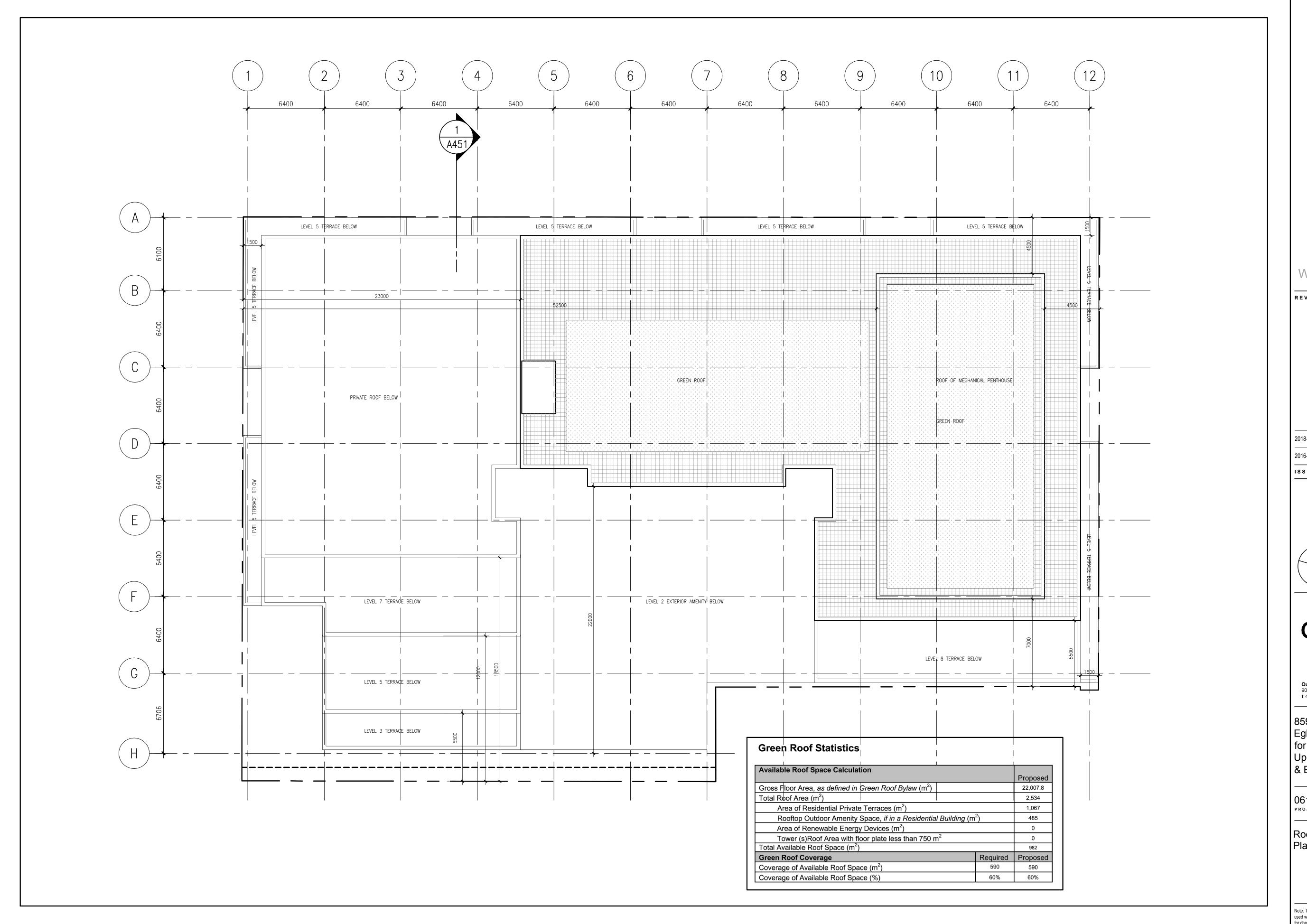
859-861 & 875 Eglinton Avenue West

Upper Village Investments Limited & Bateg Investments Limited

06182 1:150 PROJECT SCALE

AB DM DRAWN REVIEWED

Mechanical Penthouse



REVISION RECORD

2018-06-05 Issued for Settlement Offer

2016-05-27 Issued for Rezoning Resubmission

ISSUERECORD



#### Quadrangle

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859-861 & 875 Eglinton Avenue West

Upper Village Investments Limited & Bateg Investments Limited

06182 1:150 PROJECT SCALE

DRAWN REVIEWED

Roof

