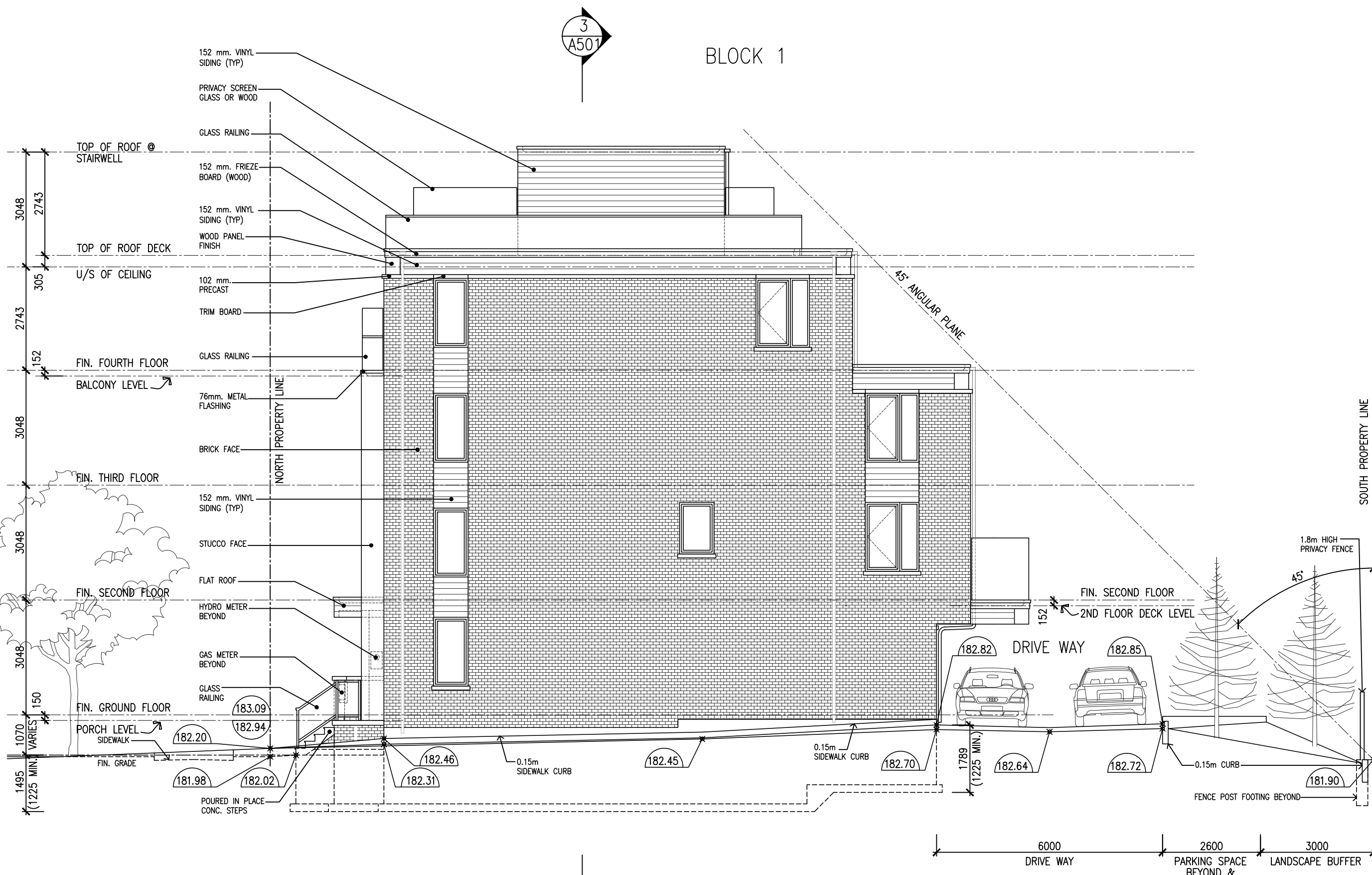
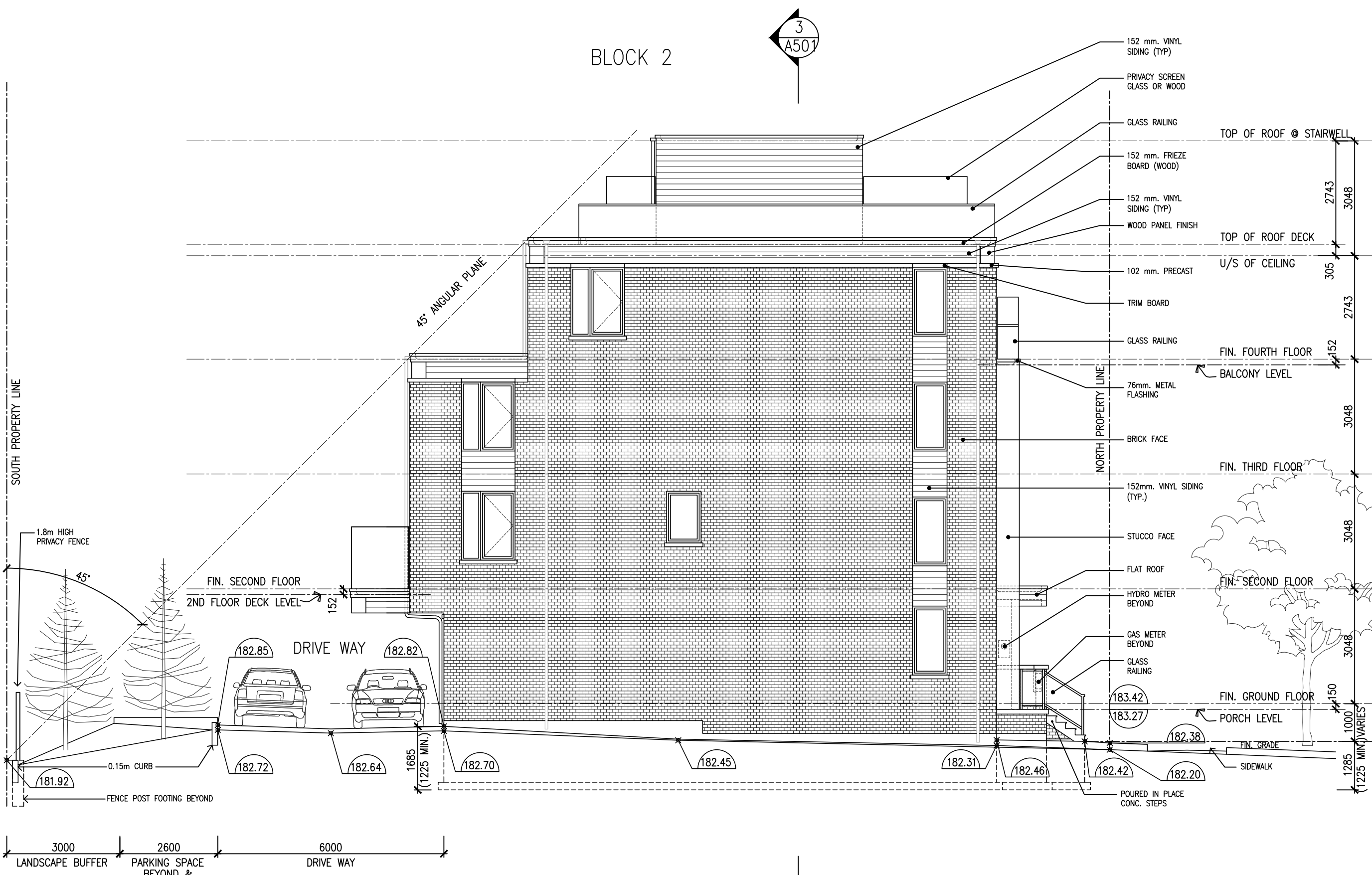


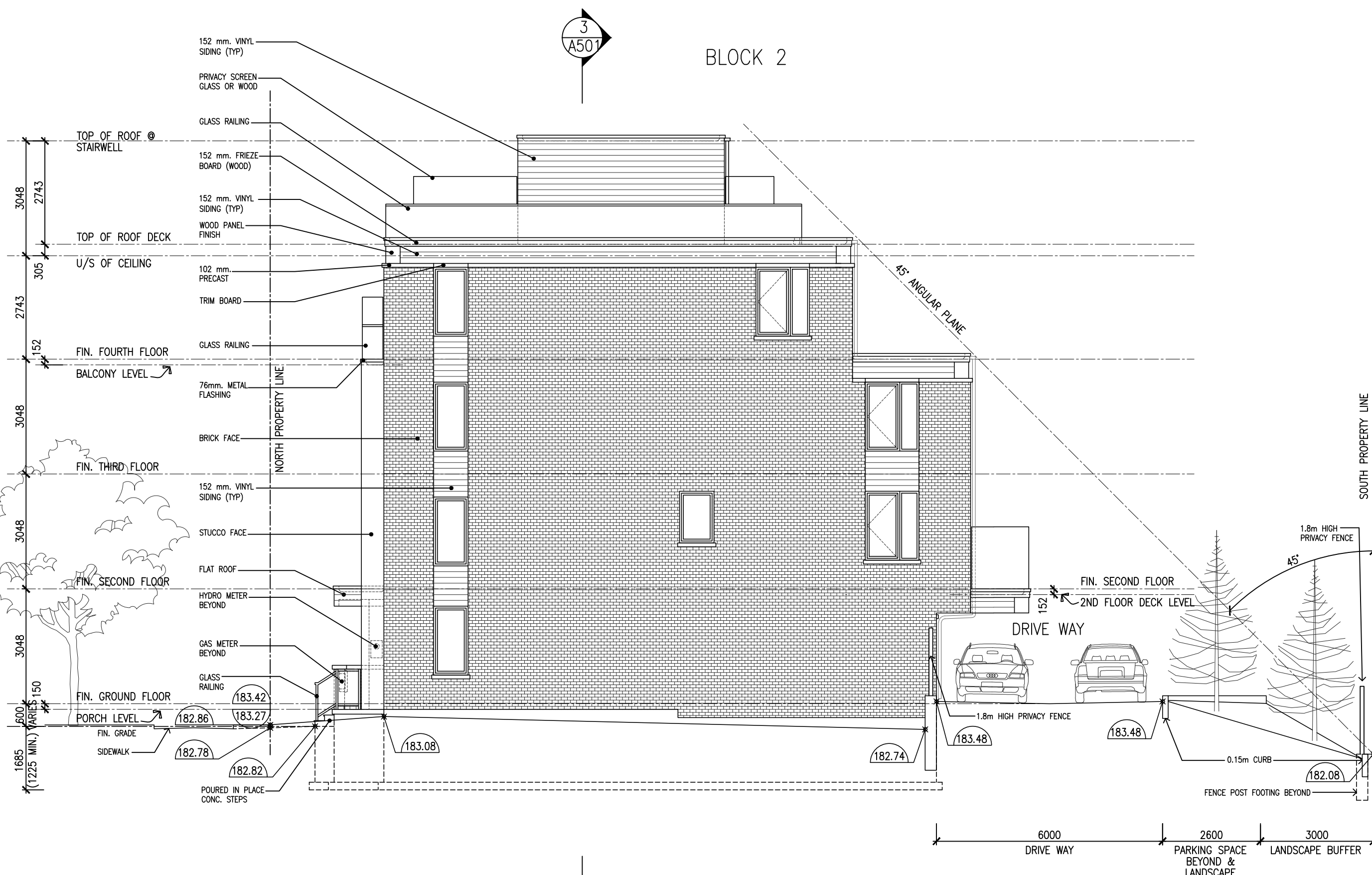
1 EAST ELEVATION
A402 SCALE 1:100 (BLOCK 1)



2 WEST ELEVATION
A402 SCALE 1:100 (BLOCK 1)



3 EAST ELEVATION
A402 SCALE 1:100 (BLOCK 2)



4 WEST ELEVATION
A402 SCALE 1:100 (BLOCK 2)

03	June 26, 2019	Re-issued for Zoning
02	June 3, 2019	Re-issued for Zoning
01	Aug. 16, 2017	Zoning
No	Date	Issued for

Building Permit #	
Drain Permit #	
Foundation Permit #	
Shoring & Excavation #	
Hoarding Permit #	
Demolition Permit #	
S.P.A. Application #	
Zoning Application #	17 222637 NNY 15 OZ

Proposed Residential Development

OASIS TOWNHOUSES Toronto
579, 581, 583, 585
Lawrence Avenue West

Drawing
WEST ELEVATION,
EAST ELEVATION





Scale: 1:50
Plot date: JUNE 26, 2019

Building Permit #	
Drain Permit #	
Foundation Permit #	
Shoring & Excavation #	
Hoarding Permit #	
Demolition Permit #	
S.P.A. Application #	
Zoning Application #	17 222637 NNY 15 OZ

Sheet
405

1 END UNIT EAST ELEVATION (BLOCK 1)
A405 SCALE 1:50



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Architect
R. Varacalli
OAA, RAIC

Project Manager:
J. Seto

Signature



03	June 26, 2019	Re-issued for Zoning
02	June 3, 2019	Re-issued for Zoning
01	Aug. 16, 2017	Zoning
No	Date	Issued for

Building Permit #	
Drain Permit #	
Foundation Permit #	
Shoring & Excavation #	
Hoarding Permit #	
Demolition Permit #	
S.P.A. Application #	
Zoning Application #	17 222637 NNY 15 OZ

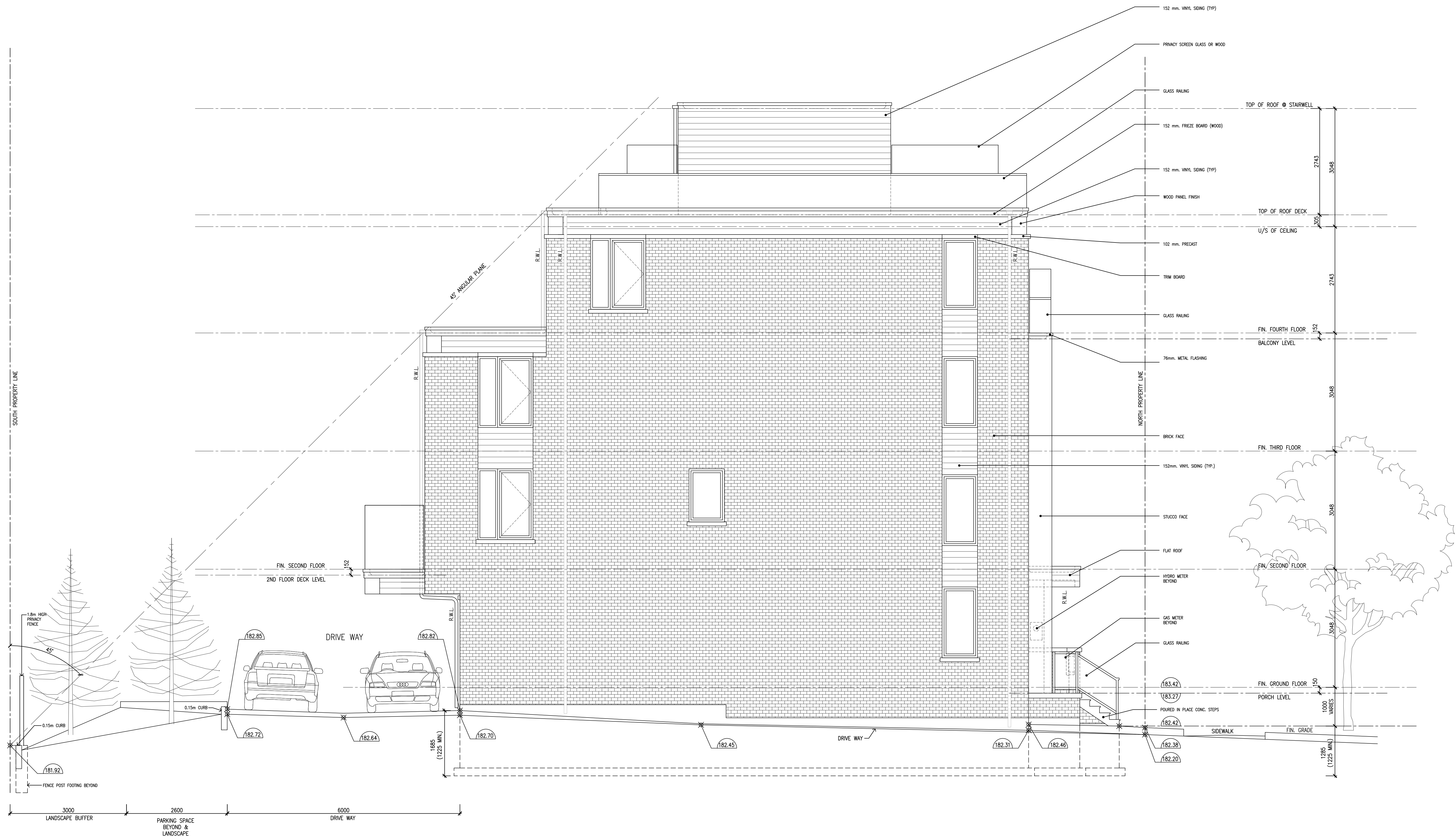
OASIS TOWNHOUSES Toronto
579, 581, 583, 585
Lawrence Avenue West

Drawing
EAST ELEVATION
BLOCK 2

Sheet

A407

Scale: 1:50
Plot date: JUNE 26, 2019



1 END UNIT EAST ELEVATION (BLOCK 2)
A407 SCALE 1:50

Architect
R. Varacalli
OAA, RAIC

ONTARIO ASSOCIATION
OF ARCHITECTS
ROSARIO VARGAS

SCIENCE 4870

Proposed Residential Development

Drawing
WEST ELEVATION
BLOCK 2

Sheet
408

Architect
R. Varacall
OAA, RAIC

Project Manager
J. Seto

Signature



03	June 26, 2019	Re-issued for Zoning
02	June 3, 2019	Re-issued for Zoning
01	Aug. 16, 2017	Zoning
No	Date	Issued for

Building Permit #	
Drain Permit #	
Foundation Permit #	
Shoring & Excavation #	
Hoarding Permit #	
Demolition Permit #	
S.P.A. Application #	
Zoning Application #	17 222637 NNY 15 02

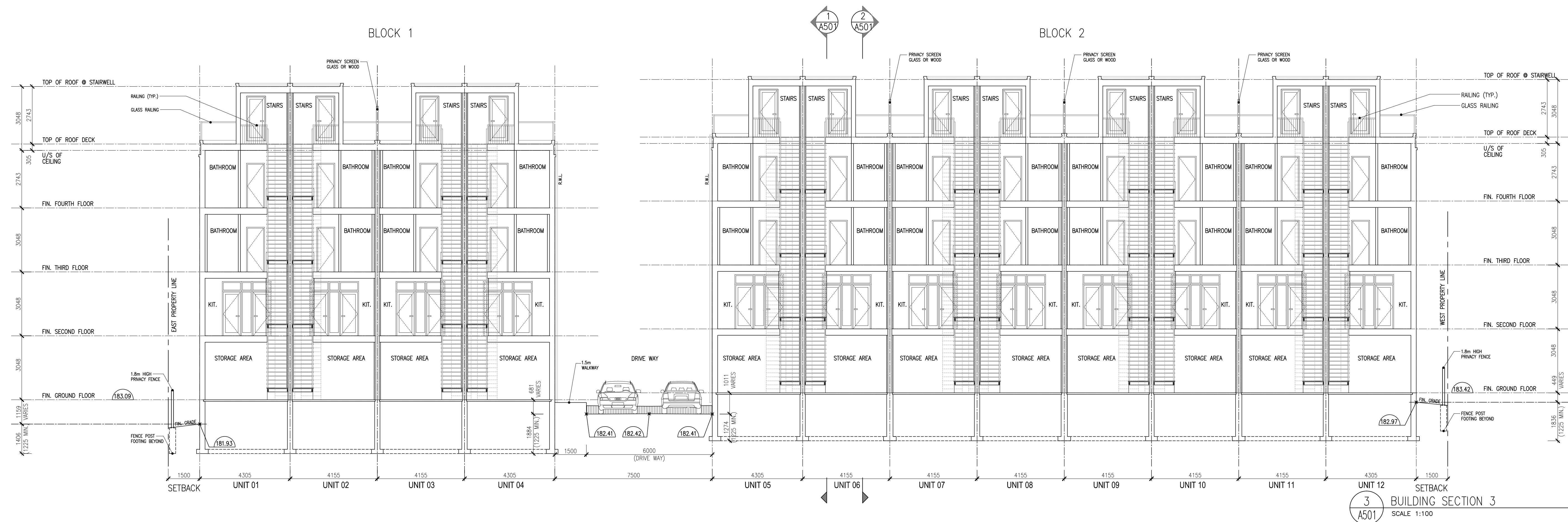
OASIS TOWNHOUSES Toronto
579, 581, 583, 585
Lawrence Avenue West

Drawing

BUILDING SECTIONS

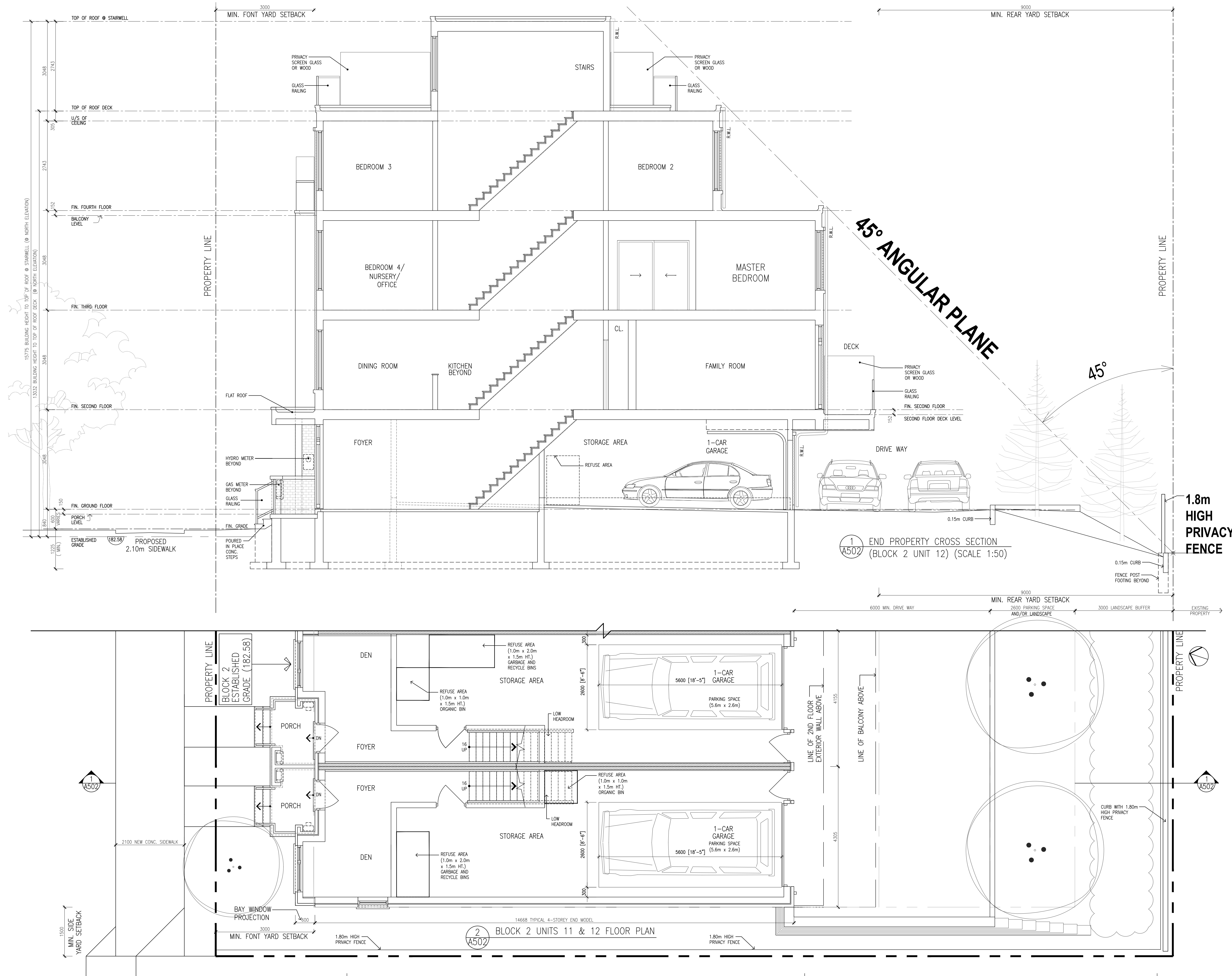
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Plot date: JUNE 26, 2019

Sheet
A501



3 BUILDING SECTION 3
A501 SCALE 1:100

Drawing END UNIT BUILDING SECTION





ARBORIST REPORT: TREE INVENTORY AND TREE PROTECTION LIST ARE REFERENCED FROM THE ARBORIST REPORT REVISED MAY 27th, 2019 PRODUCED BY BRUCE TREE EXPERT COMPANY LTD. BTEC FILE #:7047-0003



All construction related activities, including grade alteration, excavation, soil compaction, any materials or equipment storage, disposal of liquid and vehicular traffic are NOT permitted within this TPZ.

This tree protection barrier must remain in good condition and must not be removed or altered without authorization of City of Toronto, Urban Forestry.

Concerns or inquiries regarding this TPZ can be directed to:
311 or 311@toronto.ca



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PRELIMINARY DRAWINGS
NOT FOR CONSTRUCTION

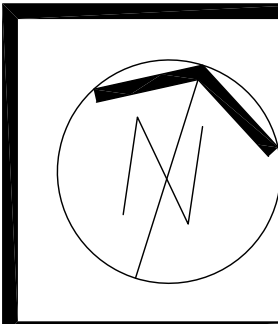
3.	REVISED FOR REZONING	JUN 06/20
2.	ISSUED FOR REZONING	JUN 05/19
1.	ISSUED FOR REZONING	AUG 11/17
No.	Issued For	Date

Drawing Title

Tree Inventory & Removals Plan

Project
RESIDENTIAL TOWNHOUSE
DEVELOPMENT
579/581/583/585
LAWRENCE AVENUE WEST
TORONTO - ONTARIO

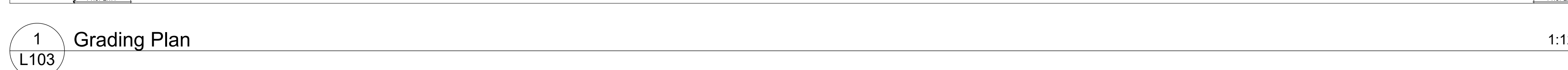
Q U I N N
QUINN DESIGN ASSOCIATES INC.
LANDSCAPE ARCHITECTURE AND URBAN DESIGN



Scale:	1:1250
Drawn by:	AM
Checked by:	JG
File No.	17-522
Plotted:	JUNE 26/19

Drawing No.

L100



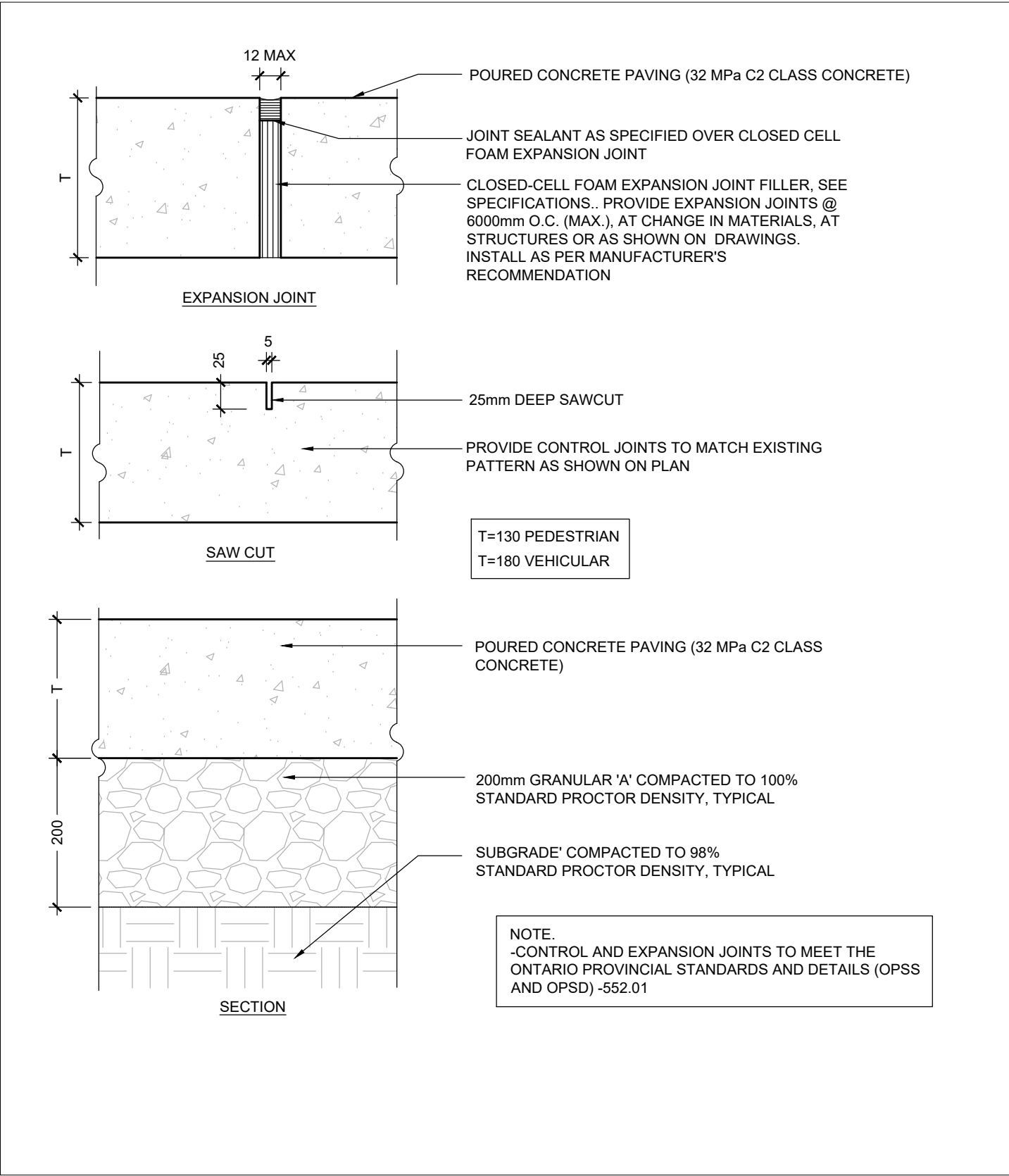
KEY PLAN
N.T.S.

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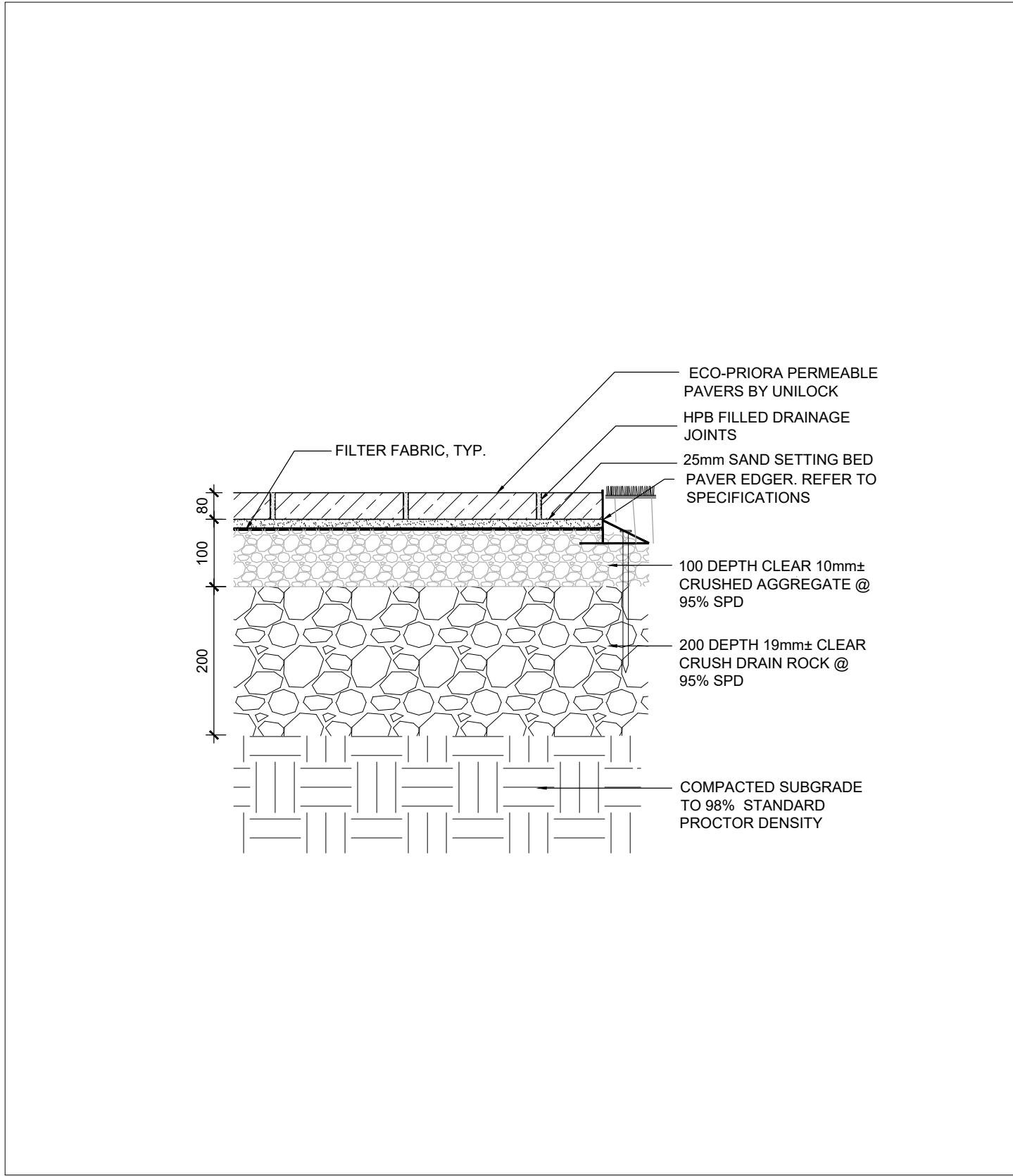
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Project
RESIDENTIAL TOWNHOUSE
DEVELOPMENT
579/581/583/585
LAWRENCE AVENUE WEST
TORONTO - ONTARIO

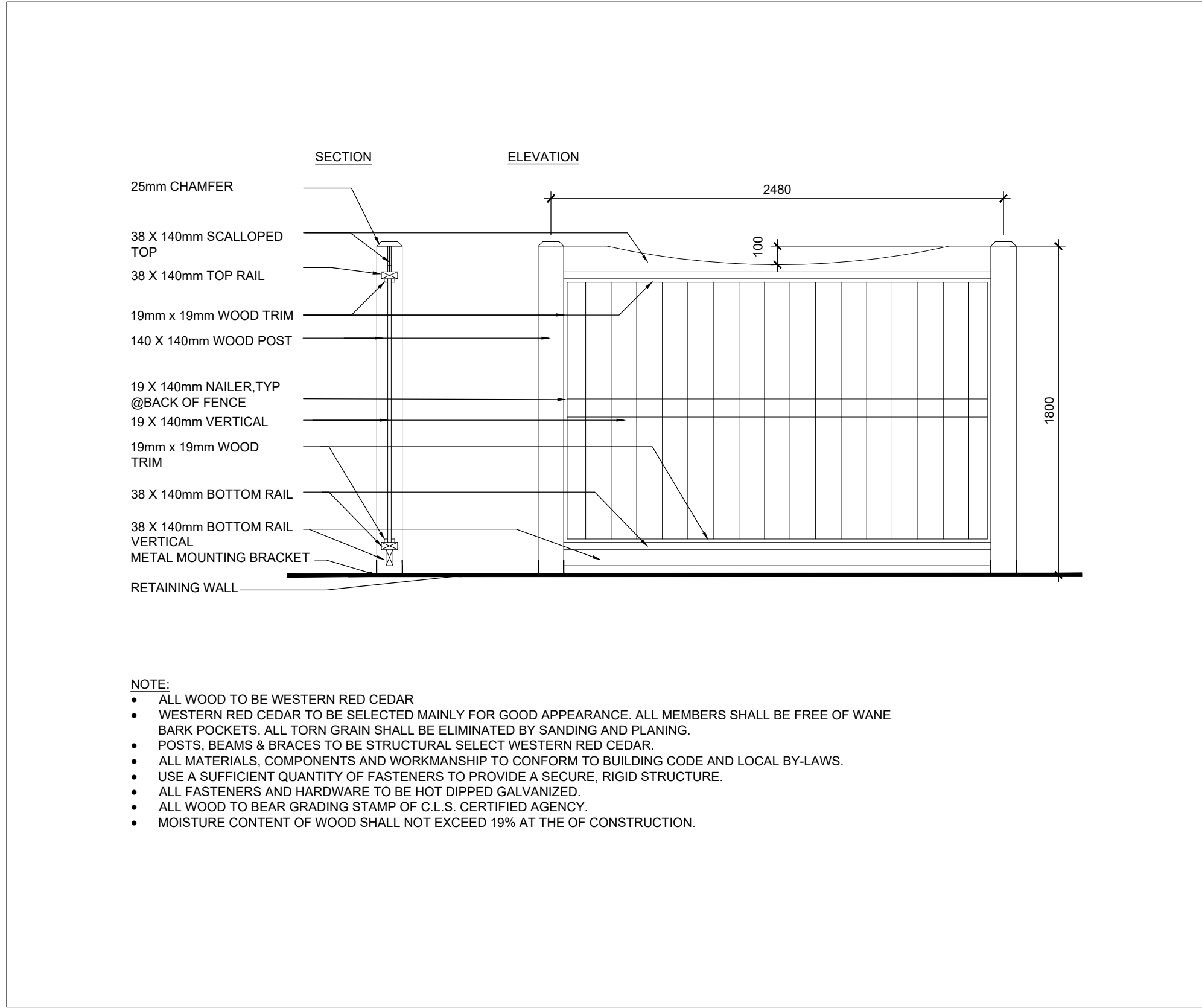
- GENERAL NOTES**
1. REMOVE ALL EXISTING ACCESS, CURB CUTS, TRAFFIC CONTROL SIGNS, ETC. ALONG THE DEVELOPMENT SITE FRONTS/AGES THAT ARE NO LONGER REQUIRED AND REINSTATE THE BOULEVARD WITHIN THE PUBLIC RIGHT-OF-WAY, IN ACCORDANCE WITH THE CITY STANDARDS AND TO THE SATISFACTION OF THE EXECUTIVE DIRECTOR OF ENGINEERING AND CONSTRUCTION SERVICES.
2. INSTALL AND MAINTAIN SIGNAGE INDICATING THAT THE SURFACE PARKING SPACES ADJACENT TO THE DRIVEWAY ARE FOR THE EXCLUSIVE USE OF THE RESIDENTIAL VISITORS TO THE DEVELOPMENT.
- 3. WASTE MANAGEMENT SERVICES**
- 3.1. REFUSE COLLECTION LESS THAN 30 UNITS TO BE CURB PICK UP BY THE CITY OF TORONTO.
- 3.2. PROVIDE WASTE STORAGE AREAS FOR EACH SINGLE FAMILY TOWNHOUSE. EACH OF THESE STORAGE UNITS MUST BE AT LEAST 3m. BY 1m. WITH A HEIGHT OF AT LEAST 1.5m. IN A CONFIGURATION SATISFACTORY TO SOLID WASTE MANAGEMENT SERVICES.
- 4. FIRE SERVICES**
- 4.1. PRINCIPAL BUILDING ENTRANCES ARE LOCATED ON PLAN BY ARROW.
- 5. UTILITY SERVICES**
- 5.1. SEPARATE SERVICES FOR EACH FREEHOLD TOWNHOUSE UNIT.
- 6. ENGINEERING AND CONSTRUCTION SERVICES**
- 6.1. THE PROPOSED ENTRANCE IS TO BE CONSTRUCTED AS PER CITY STANDARD NO. T 350.01. THE ENTRANCE RETURN CURBS ARE TO BE CONSTRUCTED UP TO THE EDGES OF THE PROPOSED SIDEWALK.
- 6.2. ASPHALT OR CONCRETE THICKNESS ON PROPOSED PRIVATE DRIVEWAY ENTRANCES WILL BE CONSTRUCTED AS PER CITY STANDARD T-310.050-8.
- 6.3. THE PROPOSED NEW ACCESS MUST BE AT LEAST 1m. FROM EXISTING UTILITIES. IF REQUIRED, THE RELOCATION OF ANY PUBLIC UTILITIES (UTILITY POLES, ETC.) WOULD BE AT THE COST OF THE DEVELOPER AND SHALL BE SUBJECT TO THE APPROVAL OF THE APPLICABLE GOVERNING AGENCIES.
- 6.4. EXISTING CURB AT THE PROPOSED DRIVEWAY ENTRANCE TO BE REMOVED AND REPLACED WITH A CONCRETE CURB AND GUTTER AS PER CITY STANDARD T-600.05-1 THE ENTRANCE WILL BE CONSTRUCTED AS PER CITY STANDARD T-350.01 WHERE MOUNTABLE CURBS ARE CONSTRUCTED ACROSS THE DRIVEWAY ENTRANCES, MUNICIPAL SIDEWALKS ARE EXTENDED ACROSS THE ENTRANCES AND THE ENTRANCE RETURN BARRIER CURBS ARE STOPPED AT THE EDGE OF PROPOSED MUNICIPAL SIDEWALKS.
- 6.5. PER THE INFORMATION PROVIDED TO STAFF BY THE APPLICANT, STAFF HAVE REVIEWED THIS APPLICATION ON THE UNDERSTANDING IT WILL COMPRISE OF 12 FREEHOLD TOWNHOUSE UNITS, A COMMON CONDOMINIUM ELEMENT UPON COMPLETION. IF ANY PARTY, INCLUDING THE APPLICANT OR ANY SUBSEQUENT OWNER, SUBMITS AN APPLICATION FOR ANY FORM OF LAND DIVISION FOR THIS DEVELOPMENT NOT IN ACCORDANCE WITH THIS INFORMATION, DIFFERENT SERVING CONNECTIONS, INCLUDING ALL ASSOCIATED STORMWATER MANAGEMENT FACILITIES AND ANY NECESSARY REVISION PLANS AND STUDIES, MAY BE REQUIRED BY THE CITY AT THE SOLE COST TO THE APPLICANT.
- 6.6. TOPSOIL TO BE 300mm MINIMUM
- 7. PRELIMINARY SITE PLAN AGREEMENT CONDITIONS**
- 7.1. REMOVE ALL EXISTING ACCESSSES, CURB CUTS, TRAFFIC CONTROL SIGN, ETC. ALONG THE DEVELOPMENT SITE FRONTS/AGES THAT ARE NO LONGER REQUIRED AND REINSTATE THE BOULEVARD WITHIN THE RIGHT-OF-WAY, IN ACCORDANCE WITH THE CITY STANDARDS AND TO THE SATISFACTION OF THE EXECUTIVE DIRECTOR OF ENGINEERING AND CONSTRUCTION SERVICES.
- 7.2. ALL UTILITY POLES, FIRE HYDRANTS, AND OTHER STREET FURNITURE MUST BE SHOWN ON THE PLAN. THE PROPOSED NEW ACCESS MUST BE AT LEAST 1 METRE FROM EXISTING UTILITIES. IF REQUIRED, THE RELOCATION OF ANY PUBLIC UTILITIES (UTILITY POLES, ETC.) WOULD BE AT THE COST OF THE DEVELOPER AND SHALL BE SUBJECT TO THE APPROVAL OF THE APPLICABLE GOVERNING AGENCIES.
- 7.3. THE OWNER MUST INSTALL AND MAINTAIN APPROPRIATE SIGNAGE AND PAVEMENT MARKINGS ON-SITE DIRECTING SUCH AS BUT NOT LIMITED TO VEHICLE STOPPING AND CIRCULATION, DESIGNATED DISABLED PARKING, LOADING, AND PEDESTRIAN WALKWAYS, TO THE SATISFACTION OF THE EXECUTIVE DIRECTOR, ENGINEERING AND CONSTRUCTION SERVICES.
- 7.4. DRIVEWAY CURBS MUST BE FLUSH ON EITHER SIDE OF THE SIDEWALK FOR A MINIMUM OF 0.45 METRES.
- 7.5. CONSTRUCT AND MAINTAIN ALL FACILITIES NECESSARY TO PERMIT CITY TO COLLECT SOLID WASTE AND RECYCLABLE MATERIALS.
- 7.6. CONSTRUCT AND MAINTAIN STORMWATER MANAGEMENT MEASURES/FACILITIES AND SITE GRADING AS RECOMMENDED IN THE ACCEPTED STORMWATER MANAGEMENT REPORT AND GRADING PLAN.
- 7.7. CONSTRUCT AND MAINTAIN SITE SERVICING INDICATED ON THE ACCEPTED SITE SERVICING DRAWINGS.
- 7.8. PROVIDE CERTIFICATION TO THE EXECUTIVE DIRECTOR OF ENGINEERING AND CONSTRUCTION SERVICES BY THE PROFESSIONAL ENGINEER WHO DESIGNED AND SUPERVISED THE CONSTRUCTION OF THE STORMWATER MANAGEMENT FACILITIES AND SITE GRADING HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE ACCEPTED STORMWATER MANAGEMENT REPORT AND THE ACCEPTED GRADING PLANS.
- 7.9. PROVIDE CERTIFICATION TO THE EXECUTIVE DIRECTOR OF ENGINEERING AND CONSTRUCTION SERVICES BY THE PROFESSIONAL ENGINEER WHO DESIGNED AND SUPERVISED THE CONSTRUCTION, THAT THE SITE SERVICING FACILITIES HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE ACCEPTED DRAWINGS.
- 7.10. EXISTING DRAINAGE PATTERNS ON ADJACENT PROPERTIES SHALL NOT BE ALTERED AND STORMWATER RUNOFF FROM THE SUBJECT DEVELOPMENT SHALL NOT BE DIRECTED TO DRAIN ONTO ADJACENT PROPERTIES.
- 7.11. THIS APPLICATION HAS BEEN COMMENTED UNDER THE CONSIDERATION THAT THE PROPOSED DEVELOPMENT IS A FREEHOLD TYPE (FREEHOLD SUBJECT TO COMMON ELEMENTS CONDOMINIUM ACT). THE OWNER IS REQUIRED TO CERTIFY THAT THE UNIT OWNERS AND THEIR SUCCESSORS IN TITLE WILL BE RESPONSIBLE FOR THE PROVISION, CONSTRUCTION, MAINTENANCE AND REPAIR OF THE COMMON ELEMENTS THROUGH THE PROVISIONS OF THE COMMON ELEMENTS CONDOMINIUM ACT, SUCH AS THE DRIVEWAY AND UNDERGROUND PARKING STRUCTURE, SANITARY AND STORM SYSTEMS, SWALES, CATCHBASINS, CATCHBASIN LEADS, DRAINAGE SYSTEM FOR THE AREA DRAINS, CISTERN(S) AND IRRIGATION LINES, REAR YARD/ UNDERGROUND STORAGE CHAMBERS, DOUBLE CHECK DETECTOR ASSEMBLY IN CHAMBER AND FIRE LINE LIFT THAT WILL BE REQUIRED FOR SPRINKLERS IN THE UNDERGROUND PARKING LEVEL, AND ANY REQUIRED PUMP(S), ETC.



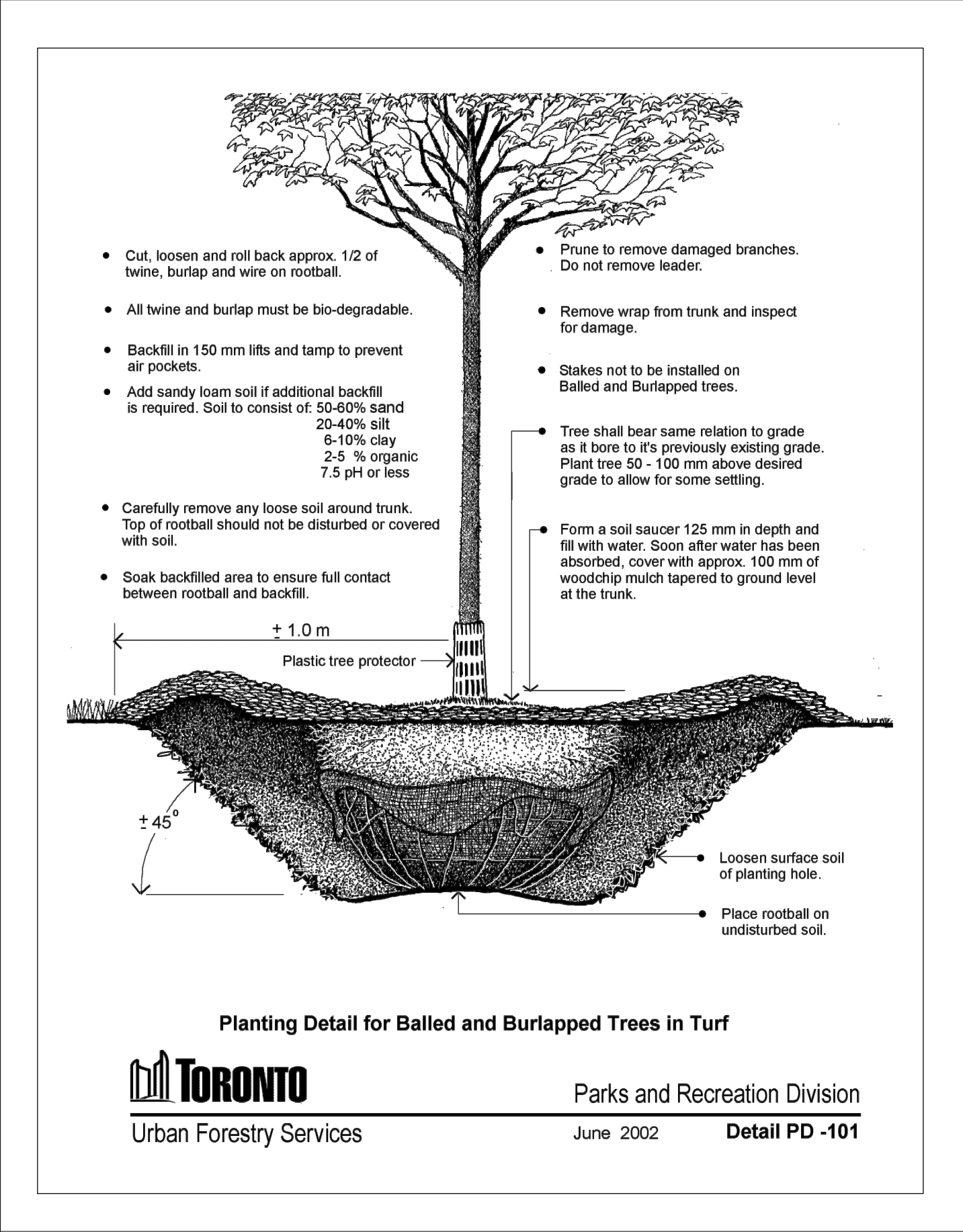
1 CIP Concrete Paving 1:5



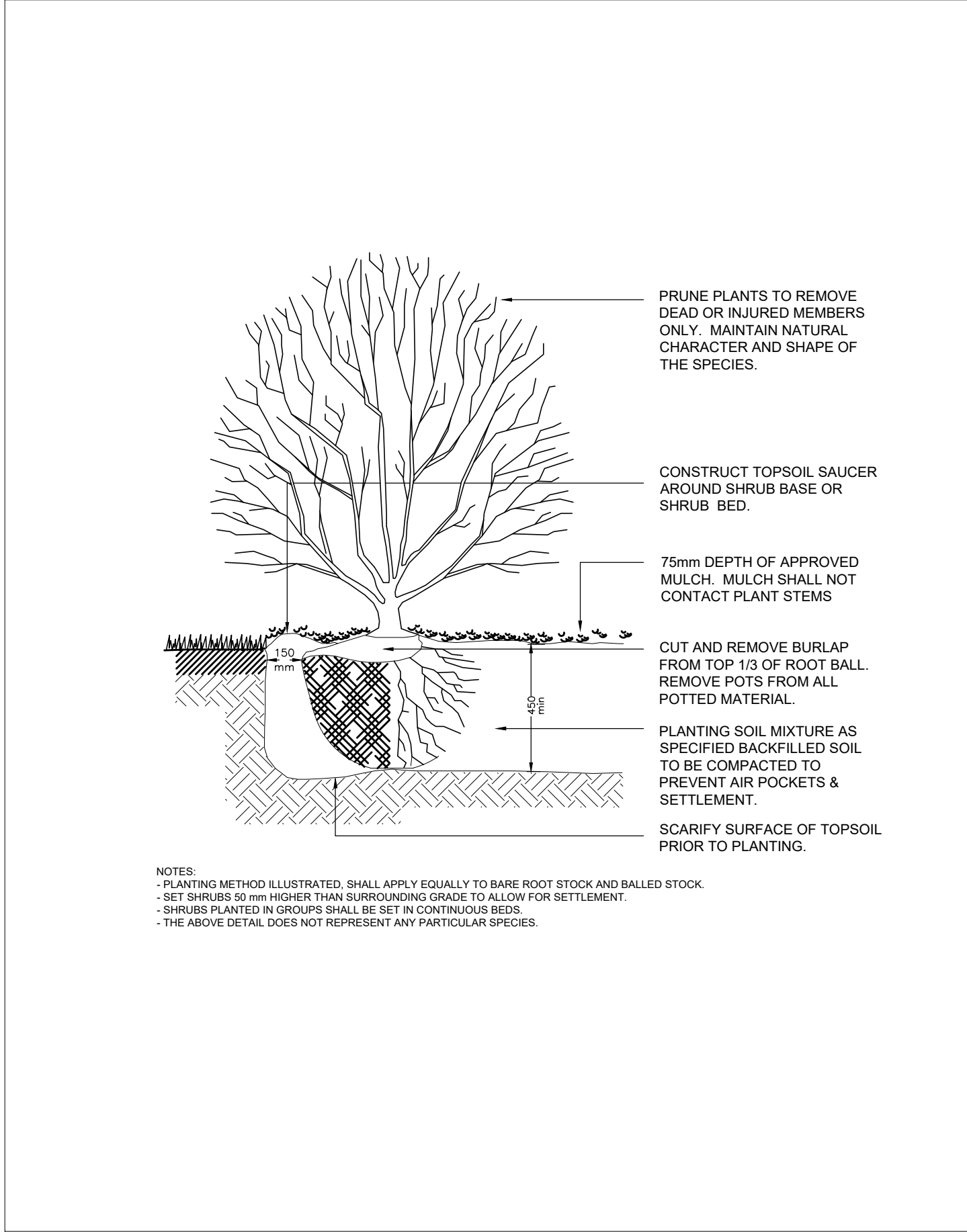
2 Permeable Unit Paving 1:10



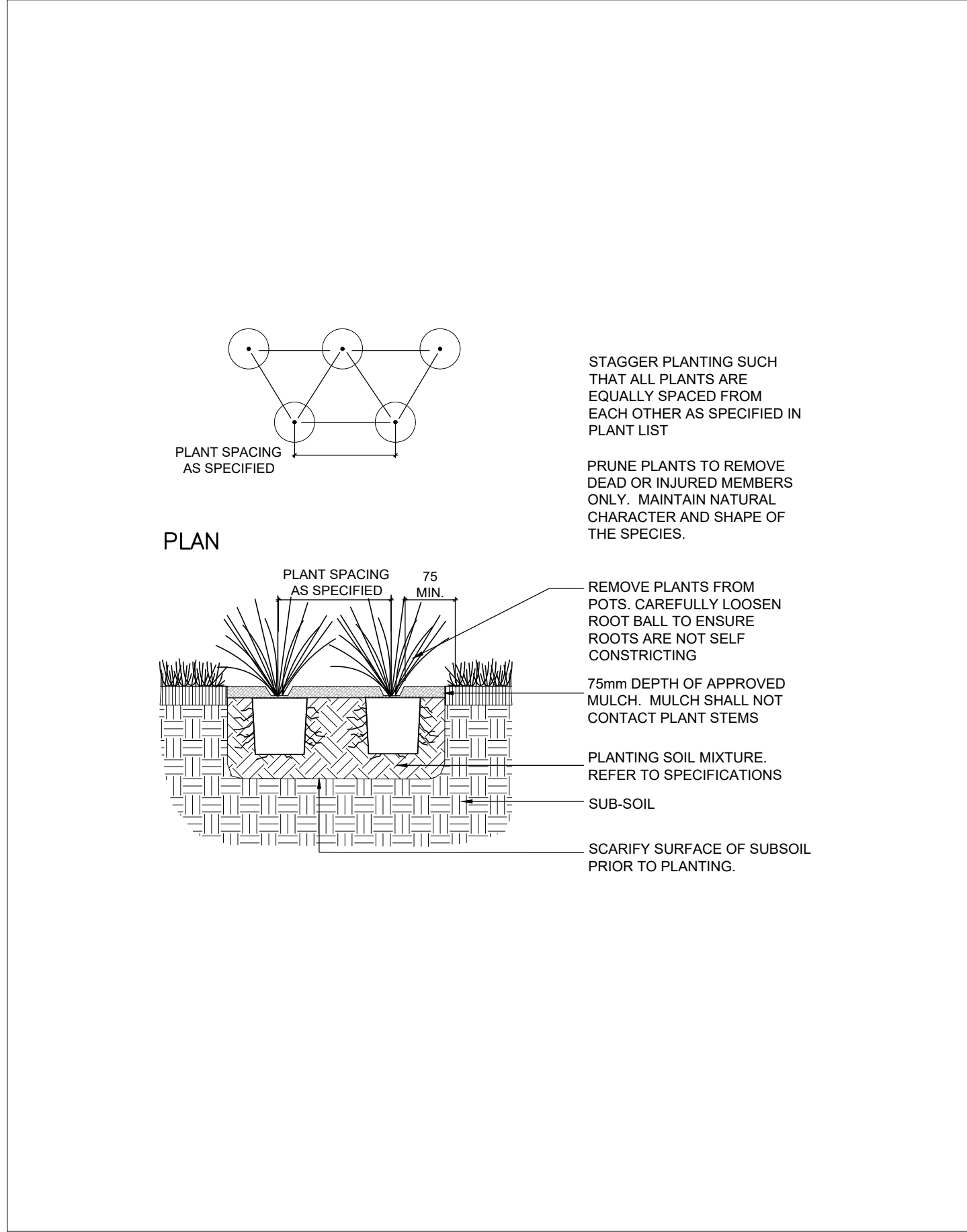
3 Wood Privacy Fence 1:25



4 Tree Planting NTS



5 Shrub Planting NTS



6 Perennial & Grass Planting NTS

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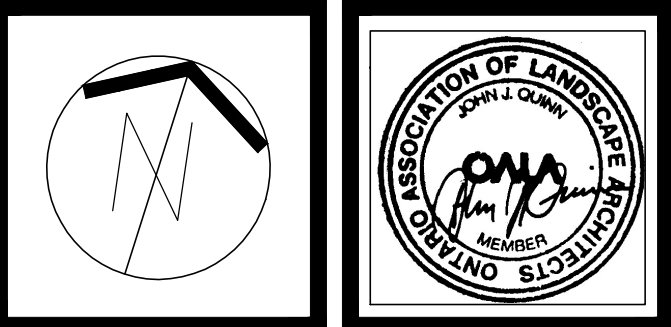
No.	Revision	Date

PRELIMINARY DRAWINGS
NOT FOR CONSTRUCTION

2.	ISSUED FOR REZONING	JUN 05/17
1.	ISSUED FOR REZONING	AUG 11/17
No.	Issued For	Date

Drawing Title
Details

Project
RESIDENTIAL TOWNHOUSE DEVELOPMENT
579/581/583/585
LAWRENCE AVENUE WEST
TORONTO - ONTARIO



Scale: As Shown	Drawing No.
Drawn by: AN	L104
Checked by: JQ	
File No. 17-522	
Plotted: JUNE 05/19	