



1700 Langstaff Road, Unit No.1003, Concord, Ontario, Canada, L4K 3S3 T. 905 761 9544 F. 905 532 0438 This drawing, as an instrument of service, is provided by and is the property of r. Varacalli Architect inc. This drawing is not to be scaled. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify the architect of any variations from the supplied information. The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, and all other engineering information; and interior design and landscape. Refer to the appropriate engineering drawings for engineering information. Construction must conform to all applicable laws, codes and requirements. All architectural symbols indicated are graphic representations only. This drawing and specification is not to be used for construction purposes until signed by the architect.

Architect R. Varacalli OAA, RAIC

by the architect.

Signature

Project Manager

03 June 26, 2019 Re-issued for Zoning 02 June 3, 2019 Re-issued for Zoning 01 Aug. 16, 2017 Zoning Issued for Building Permit # Drain Permit# Foundation Permit # Shoring & Excavation # Hoarding Permit # Demolition Permit # S.P.A. Application #

Proposed Residential Development

Zoning Application # 17 222637 NNY 15 OZ

OASIS TOWNHOUSES Toronto 579, 581, 583, 585 Lawrence Avenue West

NORTH AND SOUTH TYPICAL ELEVATIONS

Scale: 1:50 Plot date: JUNE 26, 2019



SIDING (TYP)

GLASS RAILING ----

PRIVACY SCREEN —— GLASS OR WOOD

152 mm. FRIEZE —— BOARD (WOOD)

152 mm. VINYL -----

WOOD PANEL FINISH ----

102 mm. PRECAST -

GLASS RAILING —

152 mm. FRIEZE ———

152 mm. VINYL -----

A404 SCALE 1:50

END UNIT NORTH ELEVATION (BLOCK 2)

4 END UNIT SOUTH ELEVATION A404 SCALE 1:50 (BLOCK 2)

2438mm x 2134mm O/H GARAGE DOOR

r. Varacalli Architect inc.

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Proposed Residential Development

OASIS TOWNHOUSES Toronto 579, 581, 583, 585 Lawrence Avenue West

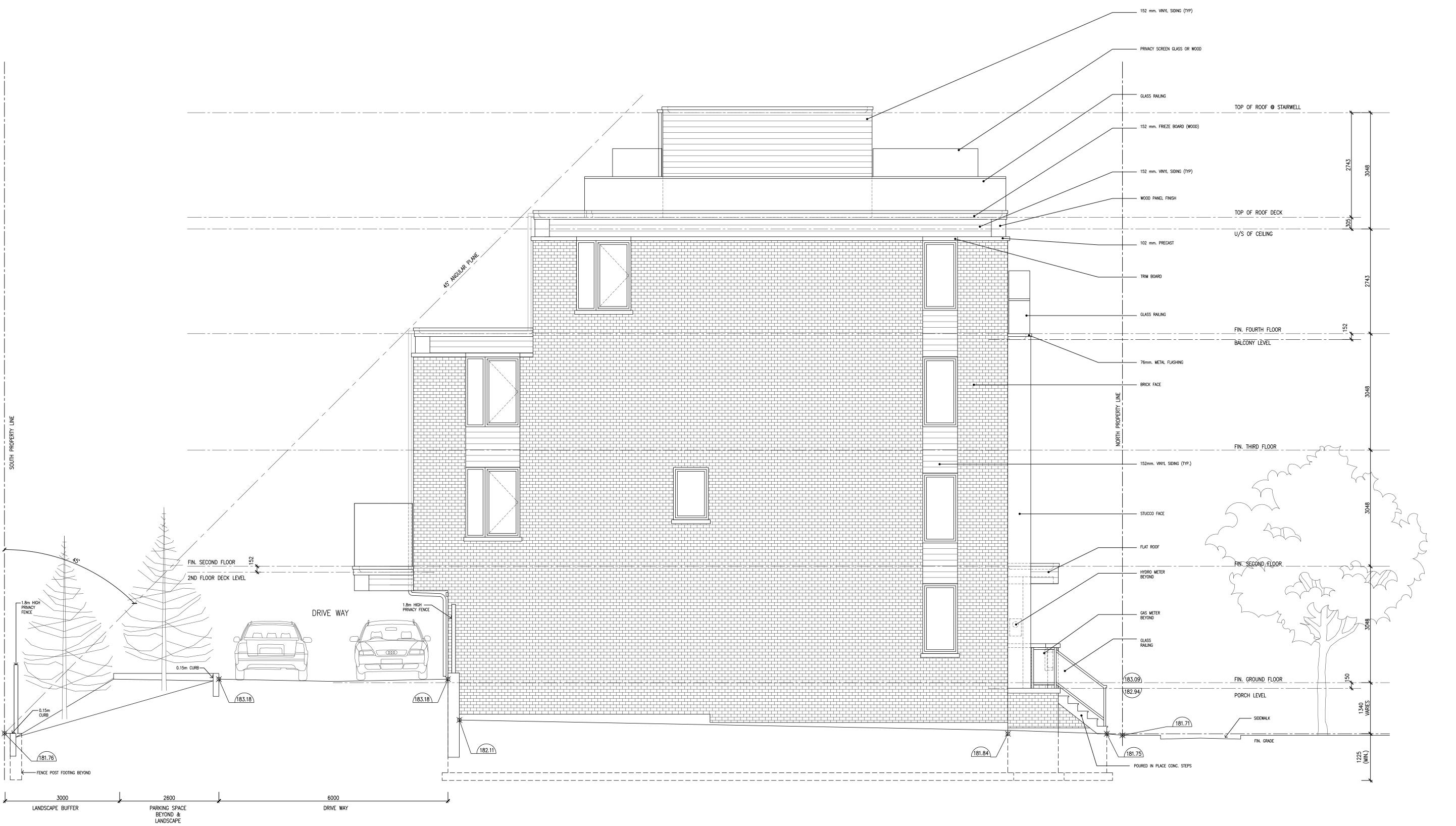
NORTH AND SOUTH END UNIT ELEVATIONS

Scale: 1:50

Plot date: JUNE 26, 2019

END UNIT NORTH ELEVATION A404 SCALE 1:50 (BLOCK 1)

END UNIT SOUTH ELEVATION A404 SCALE 1:50 (BLOCK 1)



1 END UNIT EAST ELEVATION (BLOCK 1)

A405 SCALE 1:50

### r. Varacalli Architect inc.

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Architect R. Varacalli OAA, RAIC

Signature

ARONARIO VARACALLI

ARONARIO VARACA

Project Manager

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02 June 3, 2019 Re-issued for Zoning
01 Aug. 16, 2017 Zoning
No Date Issued for

Building Permit #

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Zoning Application #

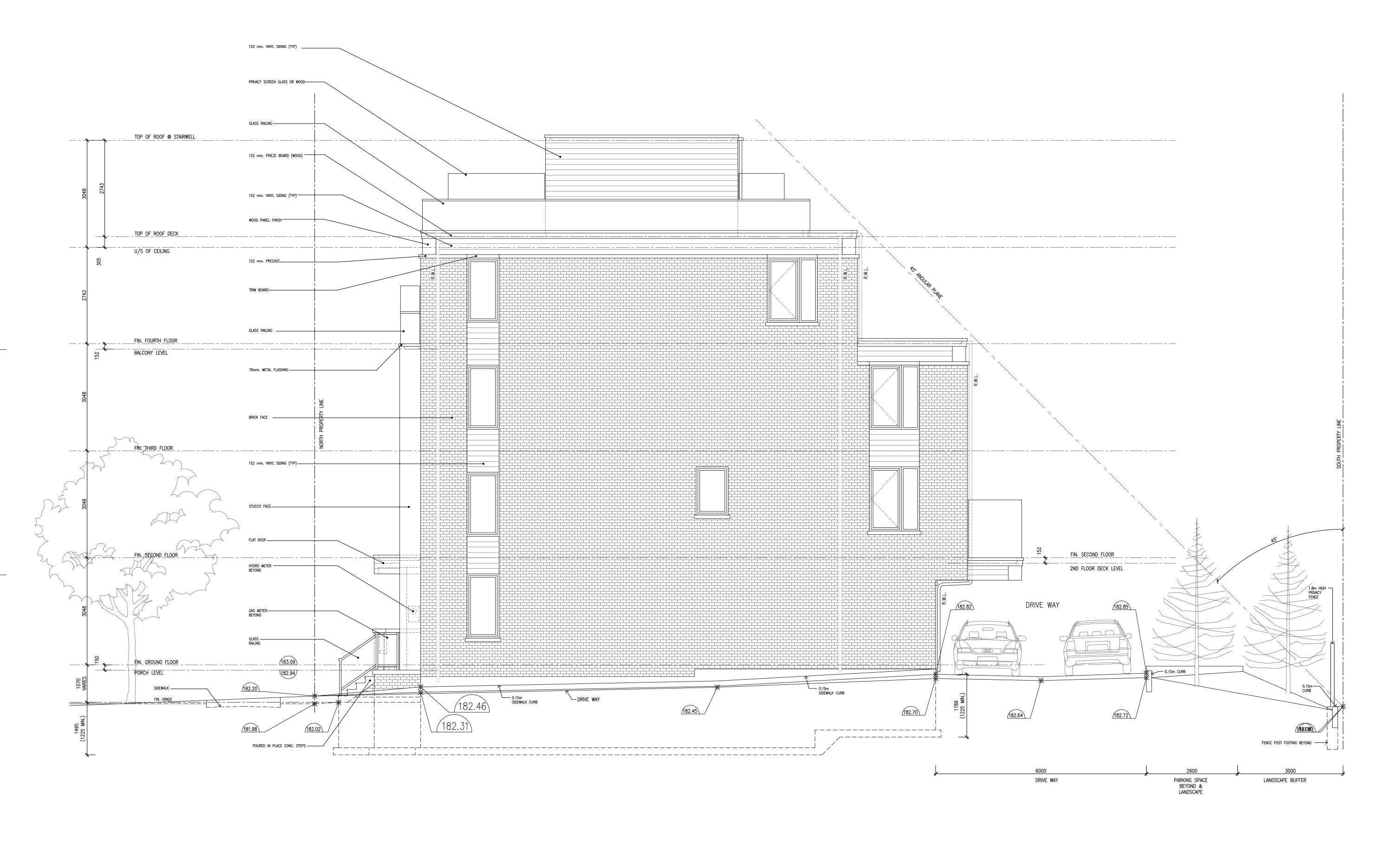
17 222637 NNY 15 OZ

Proposed Residential Development

OASIS TOWNHOUSES Toronto 579, 581, 583, 585 Lawrence Avenue West

EAST ELEVATION
BLOCK 1

Scale: 1:50 Plot date: JUNE 26, 2019 Sheet A405





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Architect R. Varacalli OAA, RAIC

Signature

Project Manager

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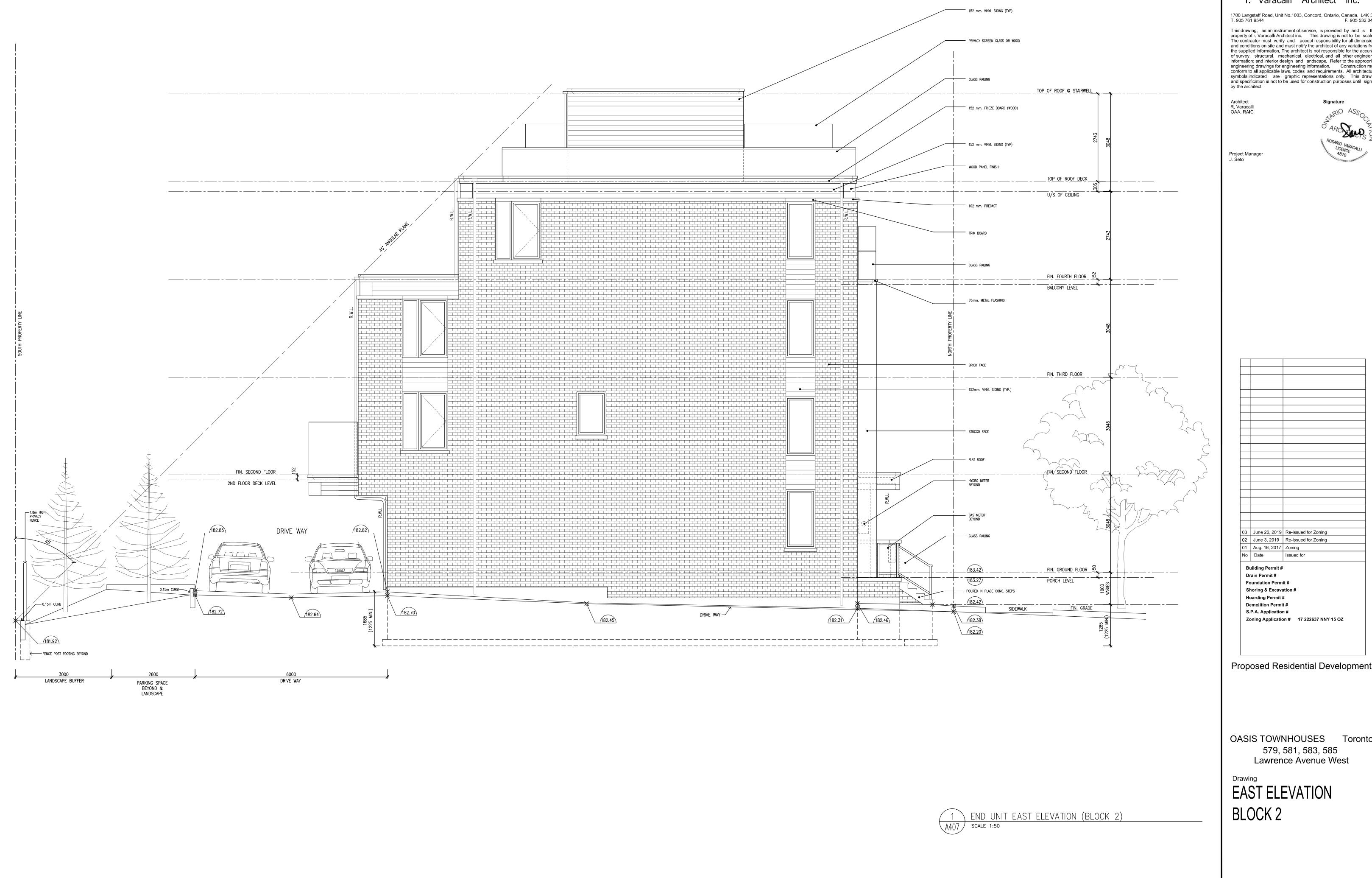
Proposed Residential Development

OASIS TOWNHOUSES Toronto 579, 581, 583, 585 Lawrence Avenue West

WEST ELEVATION BLOCK 1

Scale: 1:50

Plot date: JUNE 26, 2019



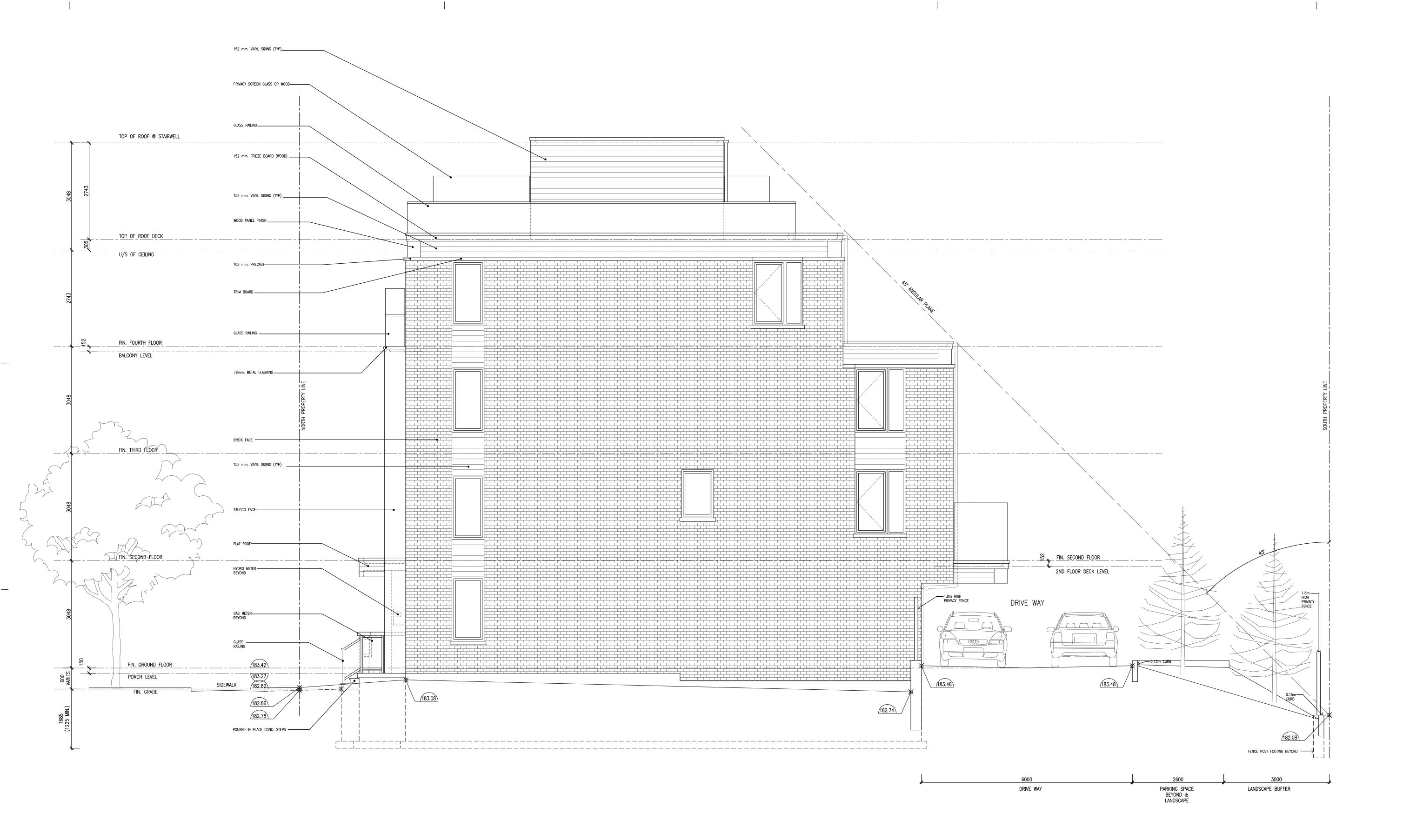
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Construction must

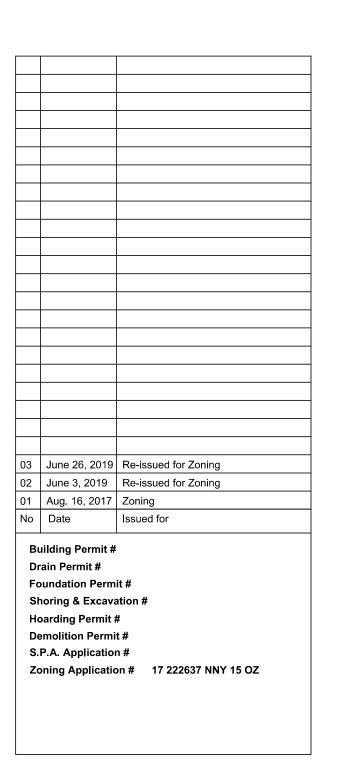
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Architect R. Varacalli OAA, RAIC

Signature

AROSARIO VARACALLI
LICENCE
4870

Project Manager J. Seto

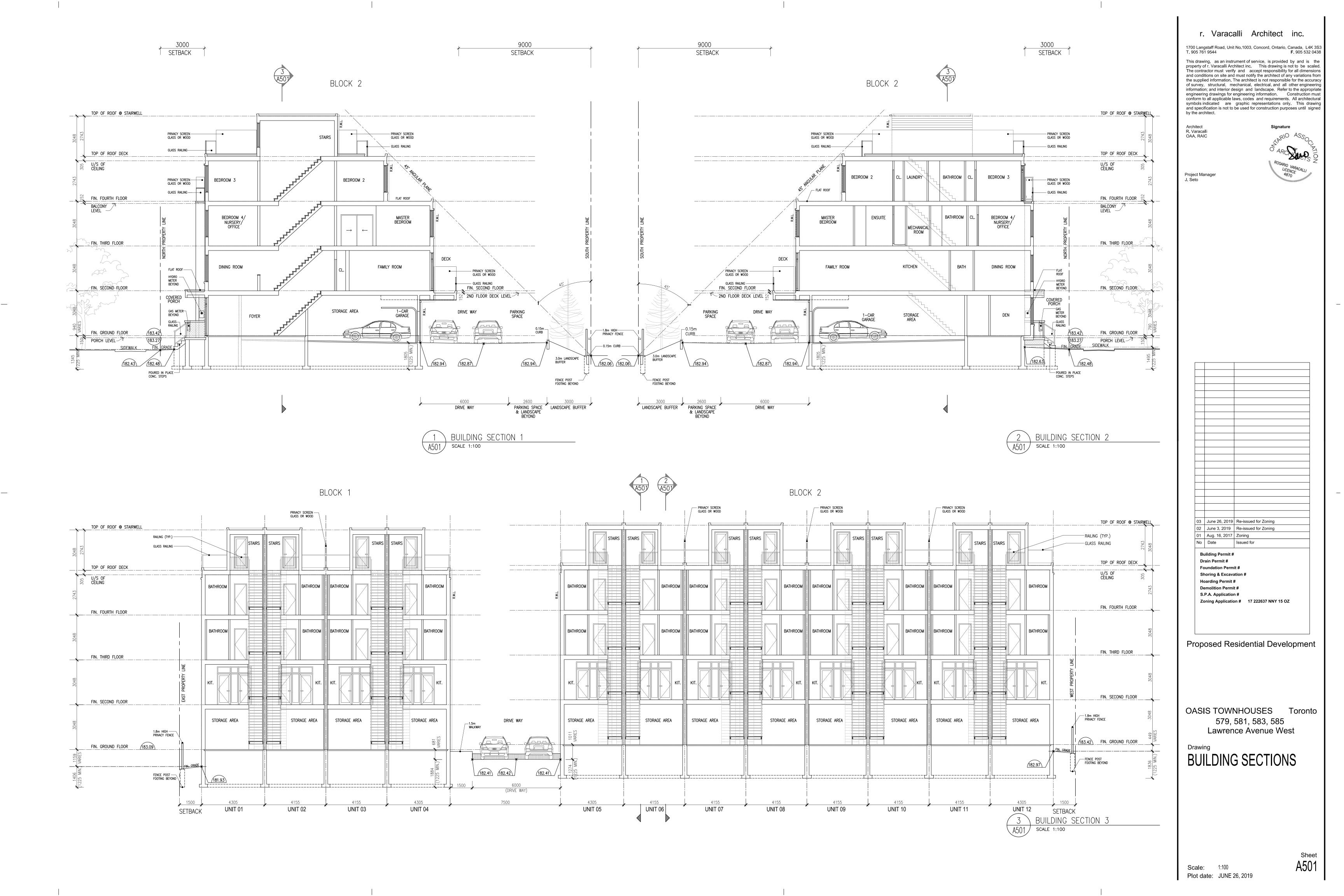


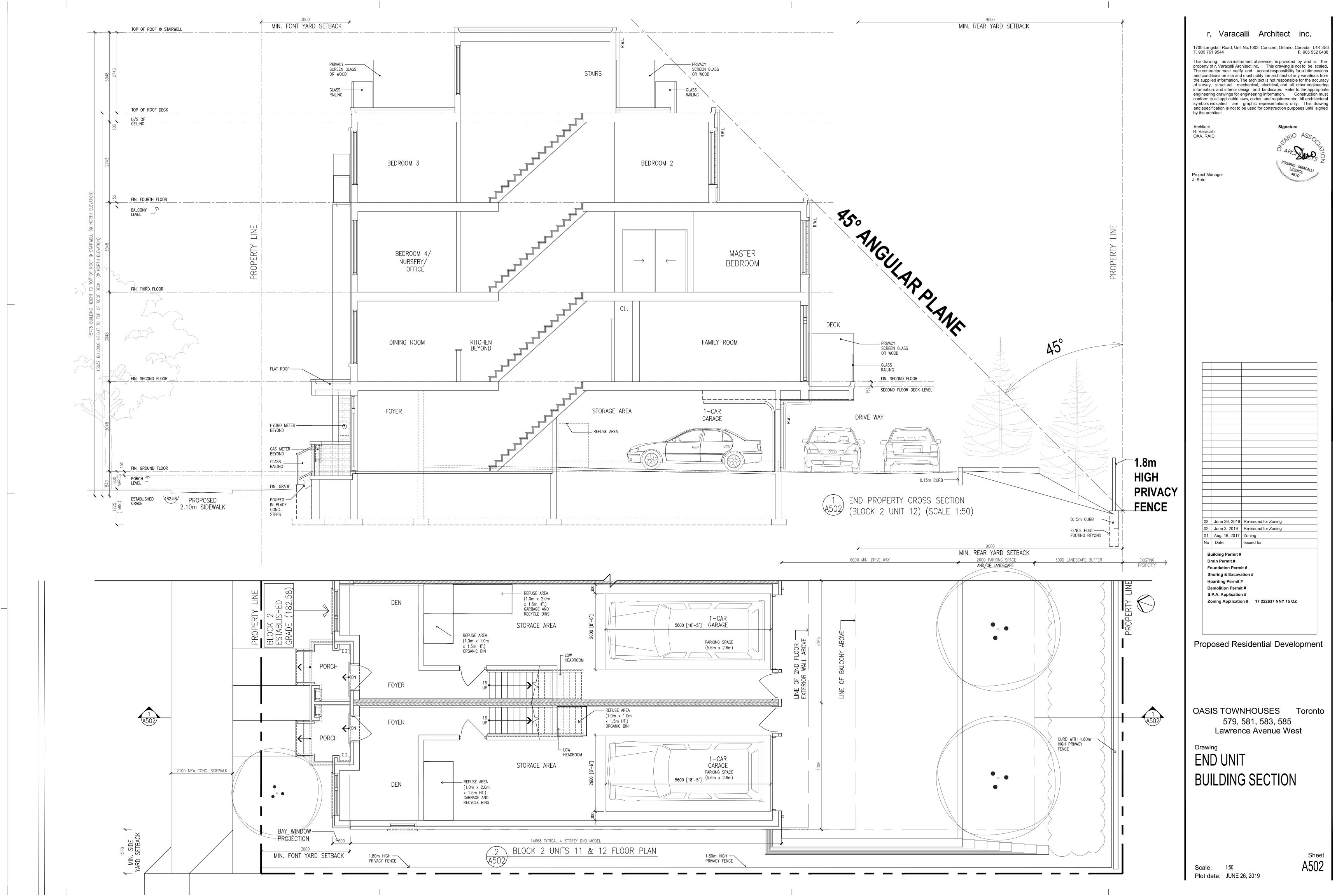
Proposed Residential Development

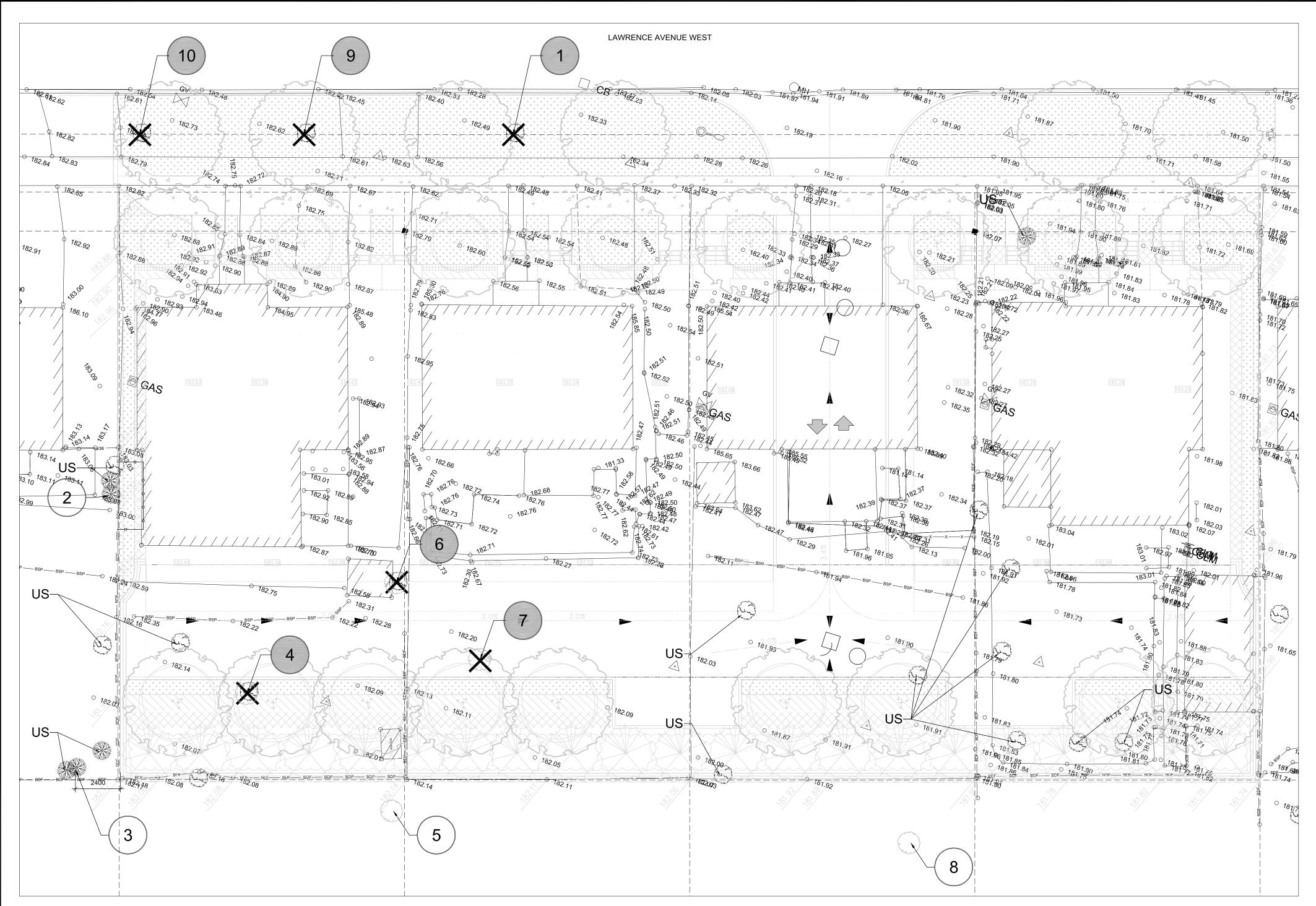
OASIS TOWNHOUSES Toronto 579, 581, 583, 585 Lawrence Avenue West

WEST ELEVATION
BLOCK 2

Scale: 1:50 Plot date: JUNE 26, 2019

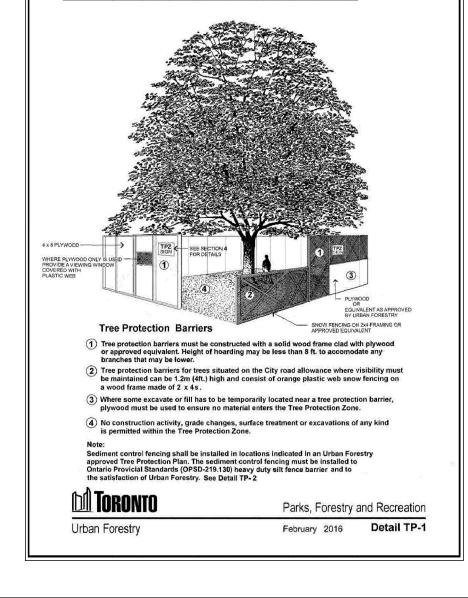






Tree Inventory & Removals Plan

ree #	Species	(cm)	Condition Rating	Condition Comments	Min TPZ (m)	Ownership Category	Action
1	Acer platanoides (Norway maple)	28.5	poor	fair trunk; moderate to extensive crown dieback; fair to poor crown and health	1.8	5-Municipal road allowance	Remove due to poor condition and re-grading
2	Thuja occidentalis (eastern white cedar)	30-35	fair	limited visibility; fair trunk, health and crown	2.4	2-Private property, adjacent property	Injure due to conflict with demolition
3	Thuja occidentalis (eastern white cedar)	25-30	poor	limited visibility; minor curve in trunk; sparse crown; fair to poor health	2.4	2-Private property, adjacent property	Preserve
4	Malus sp. (crabapple)	42.5	fair	measured at 1.2m; 4 branches at same point of attachment at 1.5m; good trunk and health	3	I-Private property, subject site	Remove due to conflict with laneway
5	Acer platanoides (Norway maple)	30-40	fair	limited visibility; codominant stems; good health	2.4	2-Private property, adjacent property	Injure due to conflict with retaining wall
6	Acer negundo (Manitoba maple)	36.5	fair to poor	limited visibility due to conflict with shed and fence; codominant stems near ground; north stem with moderate lean to north; good health; 15cm branch topped in past; narrow angled union between limbs in crown;	2.4	I-Private property, subject site	Remove due to conflict with building
7	Malus sp. (crabapple)	39.5	fair to poor	measured at 1.3m; poor flare; 15cm dead stump; 10cm diameter dead branch; fair to poor structure; fair health	2.4	I-Private property, subject site	Remove due to conflict with laneway
8	Pyrus sp. (pear)	30-40	fair	limited visibility; codominant limbs removed; fair structure; fair health; no conflict with subject site	2.4	2-Private property, adjacent property	Preserve
9	Gleditsia triacanthos (honey locust)	4, 3.5, 2, 2	Poor	suckers emanating from cut stump; vigorous	1.2	5-Municipal road allowance	Remove due to poor condition and re-grading
10	Gleditsia triacanthos (honey locust)	4.5, 4, 3.5	Poor	suckers emanating from cut stump; vigorous	1.2	5-Municipal road allowance	Remove due to poor condition and re-grading

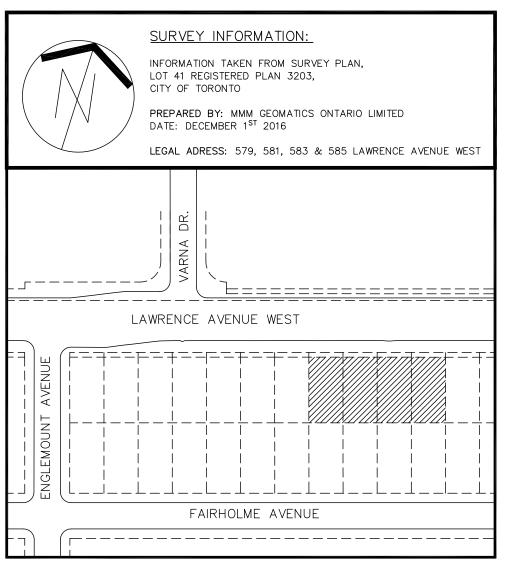


# **TORONTO** Parks, Forestry & Recreation

All construction related activities, including grade alteration, excavation, soil compaction, any materials or equipment storage, disposal of liquid and vehicular traffic are NOT permitted within this TPZ.

This tree protection barrier must remain in good condition and must not be removed or altered without authorization of City of Toronto, Urban Forestry.

Concerns or inquiries regarding this TPZ can be directed to: 311 or <u>311@toronto.ca</u>



REMOVE ALL EXISTING ACCESS, CURB CUTS, TRAFFIC CONTROL SIGNS, ETC. ALONG THE DEVELOPMENT SITE FRONTAGES THAT ARE NO LONGER REQUIRED AND REINSTATE THE BOULEVARD WITHIN THE PUBLIC RIGHT-OF-WAY,

INSTALL AND MAINTAIN SIGNAGE INDICATING THAT THE SURFACE PARKING SPACES ADJACENT TO THE DRIVEWAY

3.2 PROVIDE WASTE STORAGE AREAS FOR EACH SINGLE FAMILY TOWNHOUSE. EACH OF THESE STORAGE UNITS MUST BE AT LEAST 3m. BY 1m. WITH A HEIGHT OF AT LEAST 1.5m. IN A CONFIGURATION SATISFACTORY TO SOLID WASTE.

6.1. THE PROPOSED ENTRANCE IS TO BE CONSTRUCTED AS PER CITY STANDARD №. T 350.01. THE ENTRANCE RETURN

6.2. ASPHALT/ OR CONCRETE THICKNESS ON PROPOSED PRIVATE DRIVEWAY ENTRANCES WILL BE CONSTRUCTED AS

6.3. THE PROPOSED NEW ACCESS MUST BE AT LEAST 1m. FROM EXISTING UTILITIES. IF REQUIRED, THE RELOCATION OF

ANY PUBLIC UTILITIES (UTILITY POLES, ETC.) WOULD BE AT THE COST OF THE DEVELOPER AND SHALL BE SUBJECT

MUNICIPAL SIDEWALKS ARE EXTENDED ACROSS THE ENTRANCES AND THE ENTRANCE RETURN BARRIER CURBS ARE

6.5. PER THE INFORMATION PROVIDED TO STAFF BY THE APPLICANT, STAFF HAVE REVIEWED THIS APPLICATION ON THE UNDERSTANDING IT WILL COMPRISE OF 12 FREEHOLD TOWNHOUSE UNITS, A COMMON CONDOMINIUM ELEMENT

CURB AND GUTTER AS PER CITY STANDARD T-600.05-1 THE ENTRANCE WILL BE CONSTRUCTED AS PER CITY STANDARD T-350.01 WHERE MOUNTABLE CURBS ARE CONSTRUCTED ACROSS THE DRIVEWAY ENTRANCES,

UPON COMPLETION. IF ANY PARTY, INCLUDING THE APPLICANT OR ANY SUBSEQUENT OWNER, SUBMITS AN APPLICATION FOR ANY FORM OF LAND DIVISION FOR THIS DEVELOPMENT NOT IN ACCORDANCE WITH THIS INFORMATION, DIFFERENT SERVICING CONNECTIONS, INCLUDING ALL ASSOCIATED STORMWATER MANAGEMENT FACILITIES AND ANY NECESSARY REVISED PLANS AND STUDIES, MAY BE REQUIRED BY THE CITY AT THE SOLE COST

7.1. REMOVE ALL EXISTING ACCESSES, CURB CUTS, TRAFFIC CONTROL SIGN, ETC, ALONG THE DEVELOPMENT SITE

7.2. ALL UTILITY POLES, FIRE HYDRANTS, AND OTHER STREET FURNITURE MUST BE SHOWN ON THE PLAN. THE

AND PEDESTRIAN WALKWAYS, TO THE SATISFACTION OF THE EXECUTIVE DIRECTOR, ENGINEERING AND

7.4. DRIVEWAY CURBS MUST BE FLUSH ON EITHER SIDE OF THE SIDEWALK FOR A MINIMUM OF 0.45 METRES. 7.5. CONSTRUCT AND MAINTAIN ALL FACILITIES NECESSARY TO PERMIT CITY TO COLLECT SOLID WASTE AND

7.6. CONSTRUCT AND MAINTAIN STORMWATER MANAGEMENT MEASURES/FACILITIES AND SITE GRADING AS

7.7. CONSTRUCT AND MAINTAIN SITE SERVICING INDICATED ON THE ACCEPTED SITE SERVICING DRAWINGS.

FROM THE SUBJECT DEVELOPMENT SHALL NOT BE DIRECTED TO DRAIN ONTO ADJACENT PROPERTIES.

PROFESSIONAL ENGINEER WHO DESIGNED AND SUPERVISED THE CONSTRUCTION OF THE STORMWATER MANAGEMENT FACILITIES AND SITE GRADING HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE ACCEPTED

7.8. PROVIDE CERTIFICATION TO THE EXECUTIVE DIRECTOR OF ENGINEERING AND CONSTRUCTION SERVICES BY THE

7.9. PROVIDE CERTIFICATION TO THE EXECUTIVE DIRECTOR OF ENGINEERING AND CONSTRUCTION SERVICES BY THE

7.10. EXISTING DRAINAGE PATTERNS ON ADJACENT PROPERTIES SHALL NOT BE ALTERED AND STORMWATER RUNOFF

7.11. THIS APPLICATION HAS BEEN COMMENTED UNDER THE CONSIDERATION THAT THE PROPOSED DEVELOPMENT IS A FREEHOLD TYPE (FREEHOLD SUBJECT TO COMMON ELEMENTS CONDOMINIUM ACT). THE OWNER IS REQUIRED TO

CERTIFY THAT THE UNIT OWNERS AND THEIR SUCCESSORS IN TITLE WILL BE RESPONSIBLE FOR THE PROVISION, CONSTRUCTION, MAINTENANCE AND REPAIR OF THE COMMON ELEMENTS THROUGH THE PROVISIONS OF THE COMMON ELEMENTS CONDOMINIUM ACT, SUCH AS THE DRIVEWAY AND UNDERGROUND PARKING STRUCTURE,

SANITARY AND STORM SYSTEMS, SWALES, CATCHBASINS, CATCHBASIN LEADS, DRAINAGE SYSTEM FOR THE AREA DRAINS, CISTERN(S) AND IRRIGATION LINES, REAR YARD/ UNDERGROUND STORAGE CHAMBERS, DOUBLE CHECK

DETECTOR ASSEMBLY IN CHAMBER AND FIRE LINE THAT WILL BE REQUIRED FOR SPRINKLERS IN THE UNDERGROUND

PROFESSIONAL ENGINEER WHO DESIGNED AND SUPERVISED THE CONSTRUCTION, THAT THE SITE SERVICING

RECOMMENDED IN THE ACCEPTED STORMWATER MANAGEMENT REPORT AND GRADING PLAN.

FACILITIES HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE ACCEPTED DRAWINGS.

FRONTAGE THAT ARE NO LONGER REQUIRED AND REINSTATE THE BOULEVARD WITHIN THE RIGHT-OF-WAY, IN ACCORDANCE WITH CITY STANDARDS AND TO THE SATISFACTION OF THE EXECUTIVE DIRECTOR OF ENGINEERING

PROPOSED NEW ACCESS MUST BE AT LEAST 1.0 METRE FROM EXISTING UTILITIES. IF REQUIRED, THE RELOCATION OF ANY PUBLIC UTILITIES (UTILITY POLES, ETC.) WOULD BE AT THE COST OF THE DEVELOPER AND SHALL BE

7.3. THE OWNER MUST INSTALL AND MAINTAIN APPROPRIATE SIGNAGE AND PAVEMENT MARKINGS ON-SITE DIRECTING SUCH AS BUT NOT LIMITED TO VEHICLE STOPPING AND CIRCULATION, DESIGNATED DISABLED PARKING, LOADING,

IN ACCORDANCE WITH THE CITY STANDARDS AND TO THE SATISFACTION OF THE EXECUTIVE DIRECTOR OF

ARE FOR THE EXCLUSIVE USE OF THE RESIDENTIAL VISITORS TO THE DEVELOPMENT.

CURBS ARE TO BE CONSTRUCTED UP TO THE EDGES OF THE PROPOSED SIDEWALK.

4.1. PRINCIPAL BUILDING ENTRANCES ARE LOCATED ON PLAN BY ARROW.

5.1. SEPARATE SERVICES FOR EACH FREEHOLD TOWNHOUSE UNIT.

TO THE APPROVAL OF THE APPLICABLE GOVERNING AGENCIES.

STOPPED AT THE EDGE OF PROPOSED MUNICIPAL SIDEWALKS.

SUBJECT TO THE APPROVAL OF THE APPLICABLE GOVERNING AGENCIES.

STORMWATER MANAGEMENT REPORT AND THE ACCEPTED GRADING PLANS.

PARKING LEVEL, AND ANY REQUIRED PUMP(S), ETC.

6. ENGINEERING AND CONSTRUCTION SERVICES

4. FIRE SERVICES

TO THE APPLICANT.

1:125

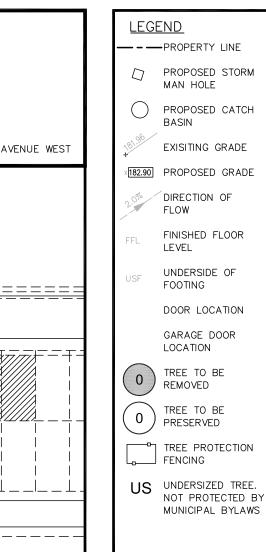
6.6 TOPSOIL TO BE 300mm MINIMUM

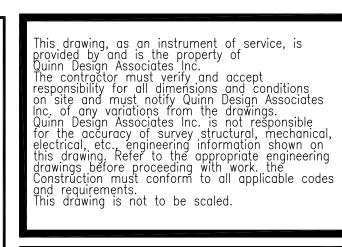
AND CONSTRUCTION SERVICES.

RECYCLABLE MATERIALS.

7. PRELIMINARY SITE PLAN AGREEMENT CONDITIONS

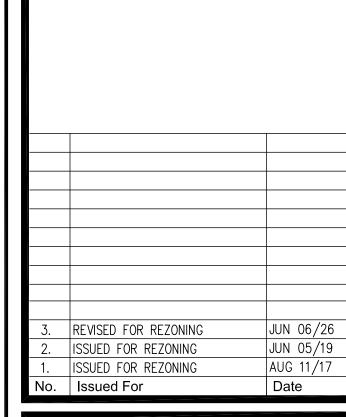
3.1. REFUSE COLLECTION LESS THAN 30 UNITS TO BE CURB PICK UP BY THE CITY OF TORONTO.





Revision	Date						
PRELIMINARY DRAWINGS							
	PRELIMINARY DI						

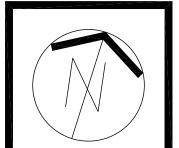
FRELIMINANT DRAWINGS NOT FOR CONSTRUCTION



# Tree Inventory & Removals Plan

RESIDENTIAL TOWNHOUSE DEVELOPMENT 579/581/583/585 LAWRENCE AVENUE WEST TORONTO - ONTARIO



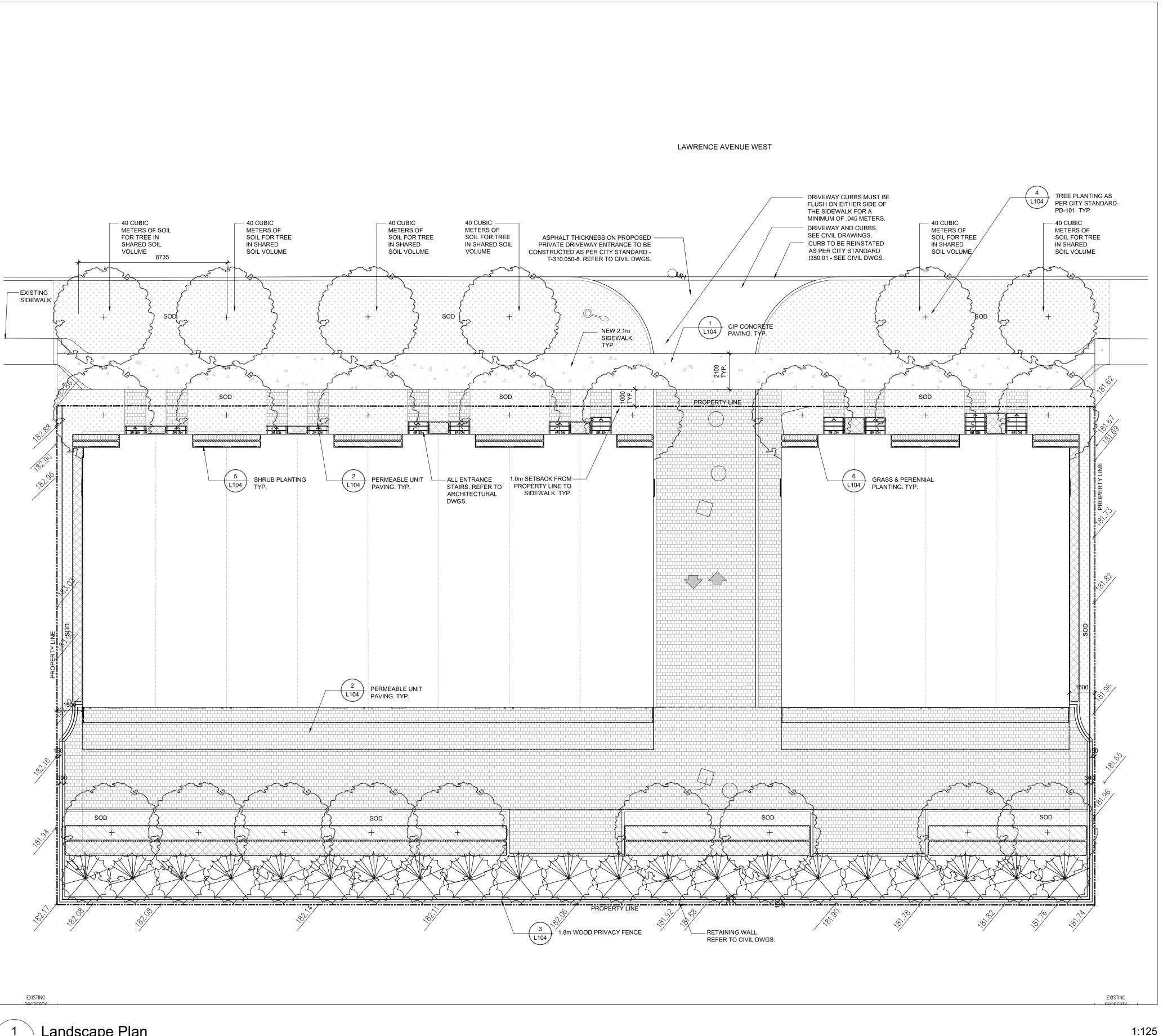




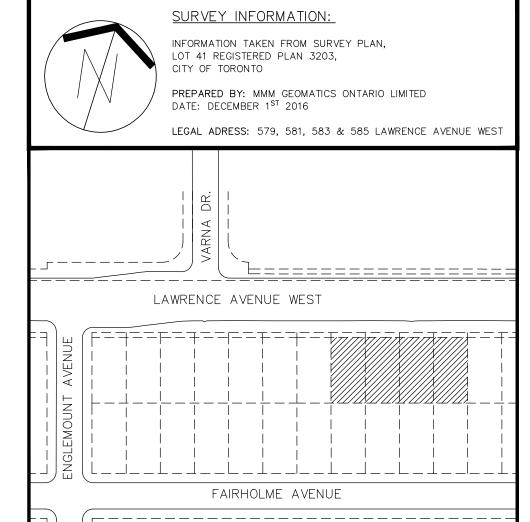
Scale:	1:125	
Drawn by:	AN	
Checked by:	JQ	
File No.	17-522	
Plotted: JU	NF 26/19	



### **Tree Protection Zone (TPZ)**



Landscape Plan



ided by and is the property of n Design Associates Inc. tractor must verify and accept bility for all dimensions and conditions 7 PROPOSED STORM ) PROPOSED CATCH esign Associates Inc. is not respons acčuracy of survey structural, mechanic ectrical, etc., engineering information shown on is drawing. Refer to the appropriate engineering awings before proceeding with work, the instruction must conform to all applicable codes EXISITING GRADE 182.90 PROPOSED GRADE drawing is not to be scaled. FINISHED FLOOR □ Revision ▲ DOOR LOCATION

-----PROPERTY LINE

BASIN

MAN HOLE

DIRECTION OF FLOW

UNDERSIDE OF

GARAGE DOOR LOCATION

LEVEL

FOOTING

PRELIMINARY DRAWINGS NOT FOR CONSTRUCTION

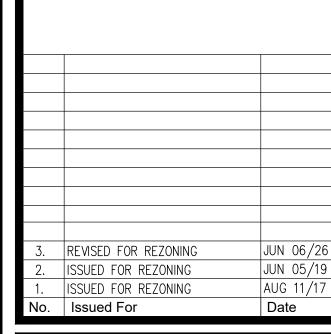
N.T.S.

KEY PLAN

- REMOVE ALL EXISTING ACCESS, CURB CUTS, TRAFFIC CONTROL SIGNS, ETC. ALONG THE DEVELOPMENT SITE FRONTAGES THAT ARE NO LONGER REQUIRED AND REINSTATE THE BOULEVARD WITHIN THE PUBLIC RIGHT-OF-WAY, IN ACCORDANCE WITH THE CITY STANDARDS AND TO THE SATISFACTION OF THE EXECUTIVE DIRECTOR OF ENGINEERING AND CONSTRUCTION SERVICES.
- INSTALL AND MAINTAIN SIGNAGE INDICATING THAT THE SURFACE PARKING SPACES ADJACENT TO THE DRIVEWAY ARE FOR THE EXCLUSIVE USE OF THE RESIDENTIAL VISITORS TO THE DEVELOPMENT.

#### 3. WASTE MANAGEMENT SERVICES

- 3.1. REFUSE COLLECTION LESS THAN 30 UNITS TO BE CURB PICK UP BY THE CITY OF TORONTO.
- 3.2 PROVIDE WASTE STORAGE AREAS FOR EACH SINGLE FAMILY TOWNHOUSE. EACH OF THESE STORAGE UNITS MUST BE AT LEAST 3m. BY 1m. WITH A HEIGHT OF AT LEAST 1.5m. IN A CONFIGURATION SATISFACTORY TO SOLID WASTE. 4. FIRE SERVICES
- 4.1. PRINCIPAL BUILDING ENTRANCES ARE LOCATED ON PLAN BY ARROW.
- 5. UTILITY SERVICES
- 5.1. SEPARATE SERVICES FOR EACH FREEHOLD TOWNHOUSE UNIT.
- 6. ENGINEERING AND CONSTRUCTION SERVICES
- 6.1. THE PROPOSED ENTRANCE IS TO BE CONSTRUCTED AS PER CITY STANDARD No. T 350.01. THE ENTRANCE RETURN CURBS ARE TO BE CONSTRUCTED UP TO THE EDGES OF THE PROPOSED SIDEWALK.
- 6.2. ASPHALT/ OR CONCRETE THICKNESS ON PROPOSED PRIVATE DRIVEWAY ENTRANCES WILL BE CONSTRUCTED AS PER CITY STANDARD T-310.050-8.
- 6.3. THE PROPOSED NEW ACCESS MUST BE AT LEAST 1m. FROM EXISTING UTILITIES. IF REQUIRED, THE RELOCATION OF ANY PUBLIC UTILITIES (UTILITY POLES, ETC.) WOULD BE AT THE COST OF THE DEVELOPER AND SHALL BE SUBJECT TO THE APPROVAL OF THE APPLICABLE GOVERNING AGENCIES.
- 6.4. EXISTING CURB AT THE PROPOSED DRIVEWAY ENTRANCE TO BE REMOVED AND REPLACED WITH A CONCRETE CURB AND GUTTER AS PER CITY STANDARD T-600.05-1 THE ENTRANCE WILL BE CONSTRUCTED AS PER CITY STANDARD T-350.01 WHERE MOUNTABLE CURBS ARE CONSTRUCTED ACROSS THE DRIVEWAY ENTRANCES,
- MUNICIPAL SIDEWALKS ARE EXTENDED ACROSS THE ENTRANCES AND THE ENTRANCE RETURN BARRIER CURBS ARE STOPPED AT THE EDGE OF PROPOSED MUNICIPAL SIDEWALKS.
- 6.5. PER THE INFORMATION PROVIDED TO STAFF BY THE APPLICANT, STAFF HAVE REVIEWED THIS APPLICATION ON THE UNDERSTANDING IT WILL COMPRISE OF 12 FREEHOLD TOWNHOUSE UNITS, A COMMON CONDOMINIUM ELEMENT UPON COMPLETION. IF ANY PARTY, INCLUDING THE APPLICANT OR ANY SUBSEQUENT OWNER, SUBMITS AN APPLICATION FOR ANY FORM OF LAND DIVISION FOR THIS DEVELOPMENT NOT IN ACCORDANCE WITH THIS INFORMATION, DIFFERENT SERVICING CONNECTIONS, INCLUDING ALL ASSOCIATED STORMWATER MANAGEMENT FACILITIES AND ANY NECESSARY REVISED PLANS AND STUDIES, MAY BE REQUIRED BY THE CITY AT THE SOLE COST TO THE APPLICANT.
- 6.6 TOPSOIL TO BE 300mm MINIMUM
- 7. PRELIMINARY SITE PLAN AGREEMENT CONDITIONS
- 7.1. REMOVE ALL EXISTING ACCESSES, CURB CUTS, TRAFFIC CONTROL SIGN, ETC, ALONG THE DEVELOPMENT SITE FRONTAGE THAT ARE NO LONGER REQUIRED AND REINSTATE THE BOULEVARD WITHIN THE RIGHT-OF-WAY, IN ACCORDANCE WITH CITY STANDARDS AND TO THE SATISFACTION OF THE EXECUTIVE DIRECTOR OF ENGINEERING AND CONSTRUCTION SERVICES.
- 7.2. ALL UTILITY POLES, FIRE HYDRANTS, AND OTHER STREET FURNITURE MUST BE SHOWN ON THE PLAN. THE PROPOSED NEW ACCESS MUST BE AT LEAST 1.0 METRE FROM EXISTING UTILITIES. IF REQUIRED, THE RELOCATION OF ANY PUBLIC UTILITIES (UTILITY POLES, ETC.) WOULD BE AT THE COST OF THE DEVELOPER AND SHALL BE SUBJECT TO THE APPROVAL OF THE APPLICABLE GOVERNING AGENCIES.
- 7.3. THE OWNER MUST INSTALL AND MAINTAIN APPROPRIATE SIGNAGE AND PAVEMENT MARKINGS ON-SITE DIRECTING SUCH AS BUT NOT LIMITED TO VEHICLE STOPPING AND CIRCULATION, DESIGNATED DISABLED PARKING, LOADING, AND PEDESTRIAN WALKWAYS, TO THE SATISFACTION OF THE EXECUTIVE DIRECTOR, ENGINEERING AND CONSTRUCTION SERVICES.
- 7.4. DRIVEWAY CURBS MUST BE FLUSH ON EITHER SIDE OF THE SIDEWALK FOR A MINIMUM OF 0.45 METRES.
- 7.5. CONSTRUCT AND MAINTAIN ALL FACILITIES NECESSARY TO PERMIT CITY TO COLLECT SOLID WASTE AND RECYCLABLE MATERIALS.
- 7.6. CONSTRUCT AND MAINTAIN STORMWATER MANAGEMENT MEASURES/FACILITIES AND SITE GRADING AS RECOMMENDED IN THE ACCEPTED STORMWATER MANAGEMENT REPORT AND GRADING PLAN.
- 7.7. CONSTRUCT AND MAINTAIN SITE SERVICING INDICATED ON THE ACCEPTED SITE SERVICING DRAWINGS.
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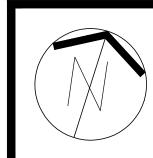
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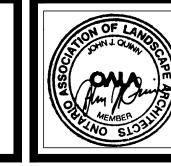
Landscape Plan

RESIDENTIAL TOWNHOUSE DEVELOPMENT

579/581/583/585 LAWRENCE AVENUE WEST TORONTO - ONTARIO

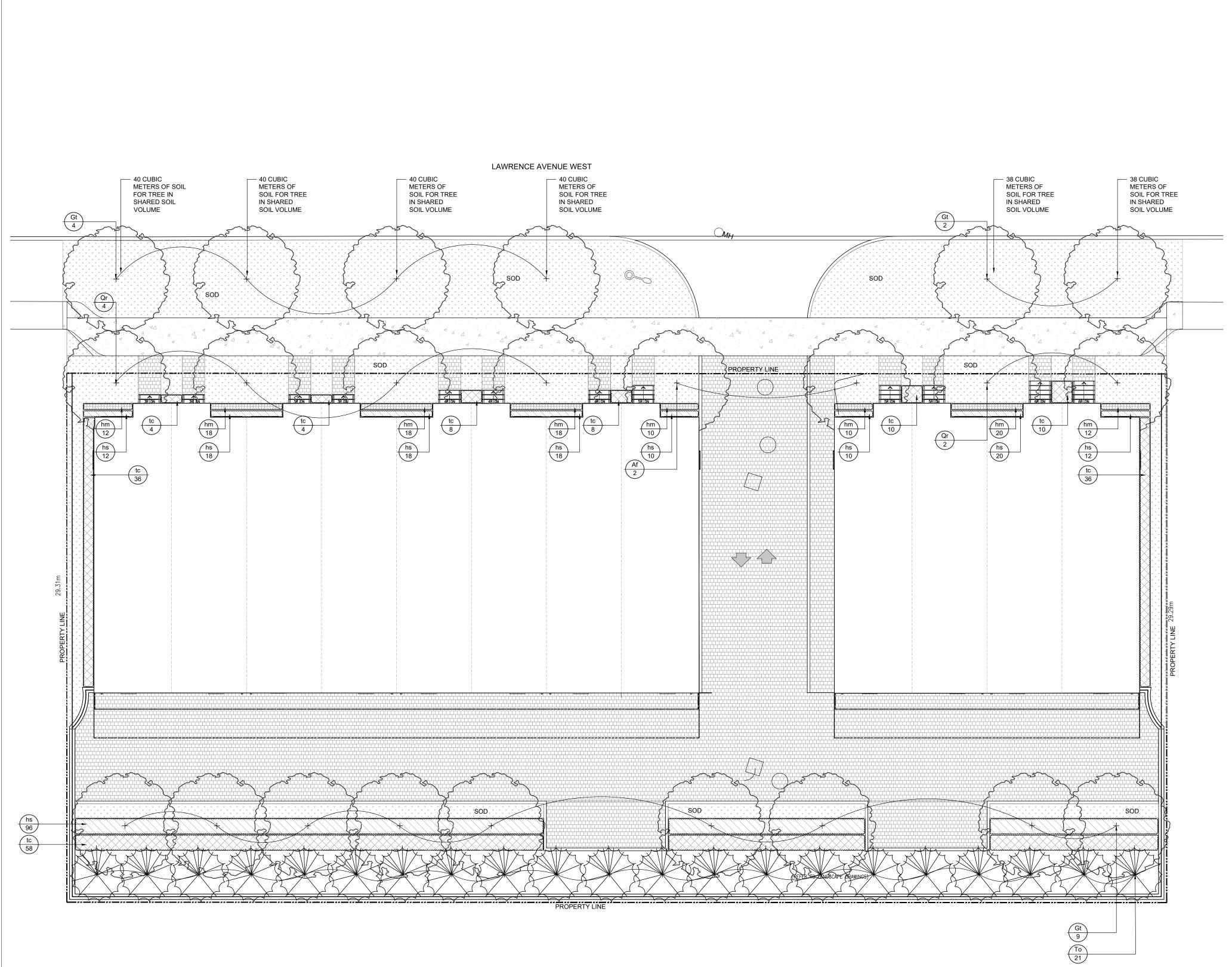






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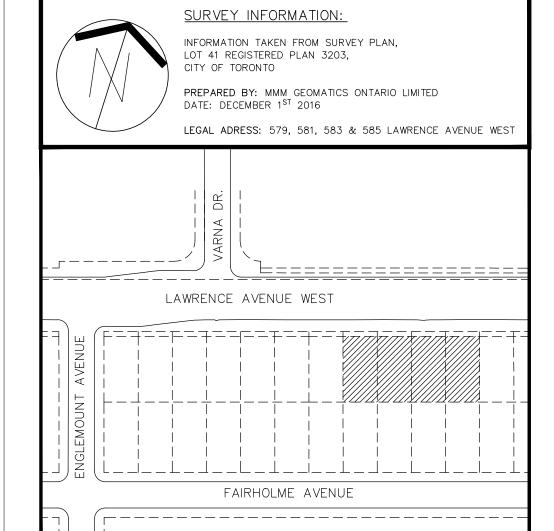
\_101 Plotted: JUNE 26/



Planting Plan

Plant List Key | Qty | Botanical Name Common Name Condition Size Remarks DECIDUOUS TREES 2 Acer x freemanii 'Sienna' Sienna Glen Maple 70mm cal. | Uniform Spec. Gt 15 *Gleditsia triacanthos inermis* 70mm cal. Uniform Spec. Thornless Honeylocust Red Oak 70mm cal. Uniform Spec. | Qr | 6 | *Quercus rubra* CONIFEROUS TREES To 56 *Thuja Occidentalis* Eastern White Cedar WB 25mm cal. Uniform Spec. DECIDUOUS SHRUBS, EVERGREEN SHRUBS AND PERENNIALS 214 | Hemerocallis 'Stella D'Oro' Stella D'Oro Daylily 600mm o.c. hm | 118 | *Hakonechloa macra 'All Gold'* Golden Japanese Forest Grass | 3 gal. pot 600mm o.c. tc 174 *Taxus canadensis* Canadian Yew B&B 1000mm 800mm o.c.

1:125



-----PROPERTY LINE ided by and is the property of n Design Associates Inc. 7 PROPOSED STORM MAN HOLE ) PROPOSED CATCH sign Associates Inc. is not rešpon: BASIN acčuracy of survey structural, mechanic ectrical, etc., engineering information shown on is drawing. Refer to the appropriate engineering awings before proceeding with work, the instruction must conform to all applicable codes 182.90 PROPOSED GRADE drawing is not to be scaled. DIRECTION OF FLOW FINISHED FLOOR LEVEL UNDERSIDE OF FOOTING DOOR LOCATION GARAGE DOOR LOCATION

KEY PLAN

## GENERAL NOTES

. REMOVE ALL EXISTING ACCESS, CURB CUTS, TRAFFIC CONTROL SIGNS, ETC. ALONG THE DEVELOPMENT SITE FRONTAGES THAT ARE NO LONGER REQUIRED AND REINSTATE THE BOULEVARD WITHIN THE PUBLIC RIGHT-OF-WAY, IN ACCORDANCE WITH THE CITY STANDARDS AND TO THE SATISFACTION OF THE EXECUTIVE DIRECTOR OF ENGINEERING AND CONSTRUCTION SERVICES.

2. INSTALL AND MAINTAIN SIGNAGE INDICATING THAT THE SURFACE PARKING SPACES ADJACENT TO THE DRIVEWAY ARE FOR THE EXCLUSIVE USE OF THE RESIDENTIAL VISITORS TO THE DEVELOPMENT.

#### 3. WASTE MANAGEMENT SERVICES

3.1. REFUSE COLLECTION LESS THAN 30 UNITS TO BE CURB PICK UP BY THE CITY OF TORONTO.

3.2 PROVIDE WASTE STORAGE AREAS FOR EACH SINGLE FAMILY TOWNHOUSE. EACH OF THESE STORAGE UNITS MUST BE AT LEAST 3m. BY 1m. WITH A HEIGHT OF AT LEAST 1.5m. IN A CONFIGURATION SATISFACTORY TO SOLID WASTE. 4. FIRE SERVICES

4.1. PRINCIPAL BUILDING ENTRANCES ARE LOCATED ON PLAN BY ARROW.

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5.1. SEPARATE SERVICES FOR EACH FREEHOLD TOWNHOUSE UNIT.

6. ENGINEERING AND CONSTRUCTION SERVICES

6.1. THE PROPOSED ENTRANCE IS TO BE CONSTRUCTED AS PER CITY STANDARD No. T 350.01. THE ENTRANCE RETURN CURBS ARE TO BE CONSTRUCTED UP TO THE EDGES OF THE PROPOSED SIDEWALK.

6.2. ASPHALT/ OR CONCRETE THICKNESS ON PROPOSED PRIVATE DRIVEWAY ENTRANCES WILL BE CONSTRUCTED AS PER CITY STANDARD T-310.050-8. 6.3. THE PROPOSED NEW ACCESS MUST BE AT LEAST 1m. FROM EXISTING UTILITIES. IF REQUIRED, THE RELOCATION OF

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#### TO THE APPLICANT. 6.6 TOPSOIL TO BE 300mm MINIMUM

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7.1. REMOVE ALL EXISTING ACCESSES, CURB CUTS, TRAFFIC CONTROL SIGN, ETC, ALONG THE DEVELOPMENT SITE FRONTAGE THAT ARE NO LONGER REQUIRED AND REINSTATE THE BOULEVARD WITHIN THE RIGHT-OF-WAY, IN ACCORDANCE WITH CITY STANDARDS AND TO THE SATISFACTION OF THE EXECUTIVE DIRECTOR OF ENGINEERING AND CONSTRUCTION SERVICES.

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### 8. PLANTING

8.1. NEWLY PLANTED TREES TO BE PROVIDED WITH A WEATERING PROGRAM FOR AT LEAST THE FIRST TWO YEARS AFTER PLANTING

REVISED FOR REZONING JUN 06/26 ISSUED FOR REZONING JUN 05/19 ISSUED FOR REZONING No. Issued For Date

PRELIMINARY DRAWINGS

NOT FOR CONSTRUCTION

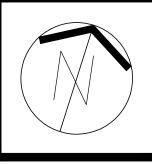
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Planting Plan

RESIDENTIAL TOWNHOUSE DEVELOPMENT

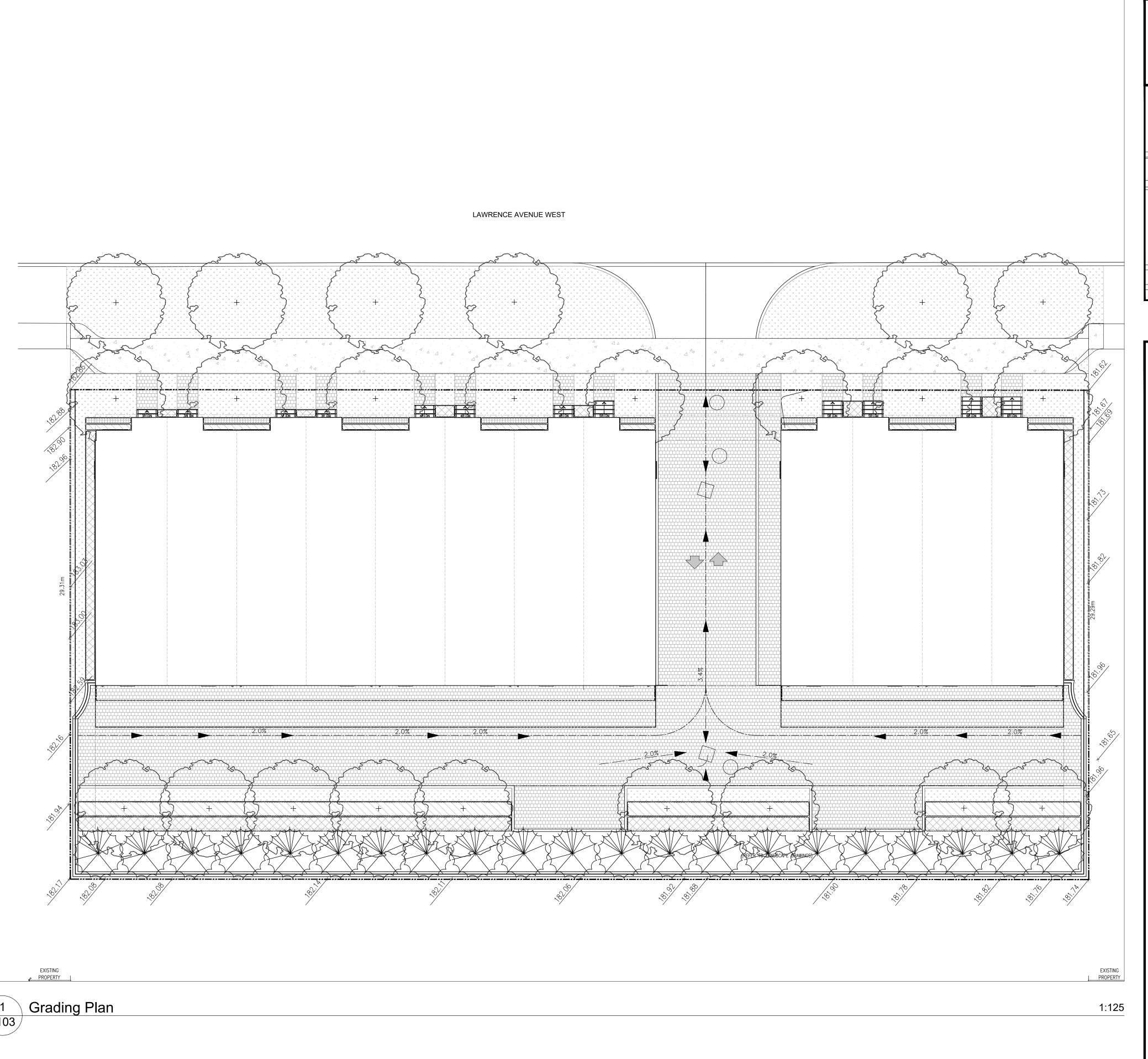
579/581/583/585 LAWRENCE AVENUE WEST TORONTO - ONTARIO







\_102 Checked by: 17-522 Plotted: JUNE 26/



INFORMATION TAKEN FROM SURVEY PLAN,
LOT 41 REGISTERED PLAN 3203,
CITY OF TORONTO

PREPARED BY: MMM. GEOMATICS ONTARIO LIMITED
DATE: DECEMBER 1<sup>ST</sup> 2016

LEGAL ADRESS: 579, 581, 583 & 585 LAWRENCE AVENUE WEST

LAWRENCE AVENUE WEST

LAWRENCE AVENUE WEST

FAIRHOLME AVENUE

FAIRHOLME AVENUE

**SURVEY INFORMATION:** 

This drawing, as an instrument of service, is provided by and is the property of Quinn Design Associates Inc.
The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Quinn Design Associates Inc. of any variations from the drawings. Quinn Design Associates Inc. is not responsible for the accuracy of survey structural, mechanical, electrical, etc., engineering information shown on this drawing. Refer to the appropriate engineering drawings before proceeding with work, the Construction must conform to all applicable codes and requirements.

This drawing is not to be scaled.

No. Revision Date

-----PROPERTY LINE

BASIN

PROPOSED STORM

) PROPOSED CATCH

EXISITING GRADE

182.90 PROPOSED GRADE

DIRECTION OF FLOW

FINISHED FLOOR LEVEL

UNDERSIDE OF

GARAGE DOOR LOCATION

FOOTING

DOOR LOCATION

MAN HOLE

PRELIMINARY DRAWINGS
NOT FOR CONSTRUCTION

I.T.S.

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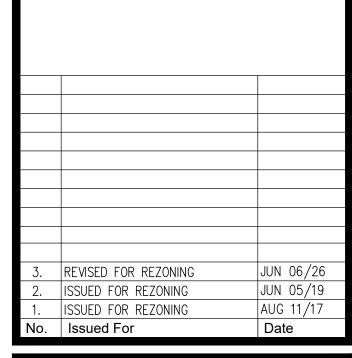
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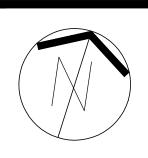
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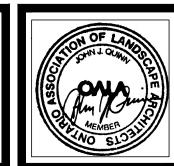
Grading Plan

roject
RESIDENTIAL TOWNHOUSE
DEVELOPMENT
579/581/583/585
LAWRENCE AVENUE WEST

TORONTO - ONTARIO

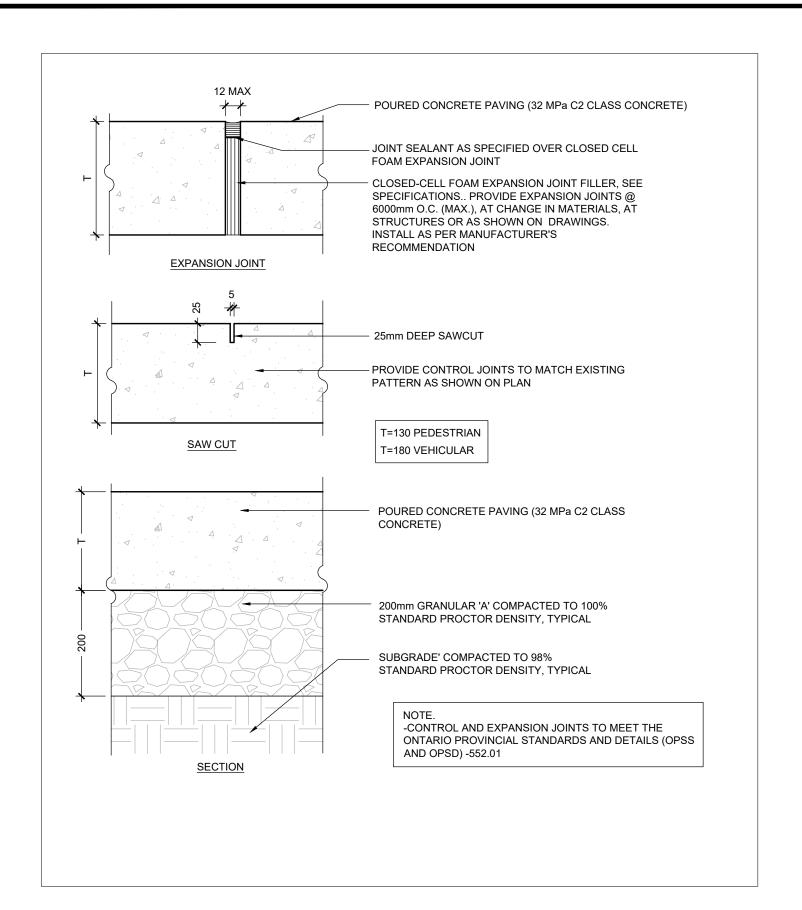


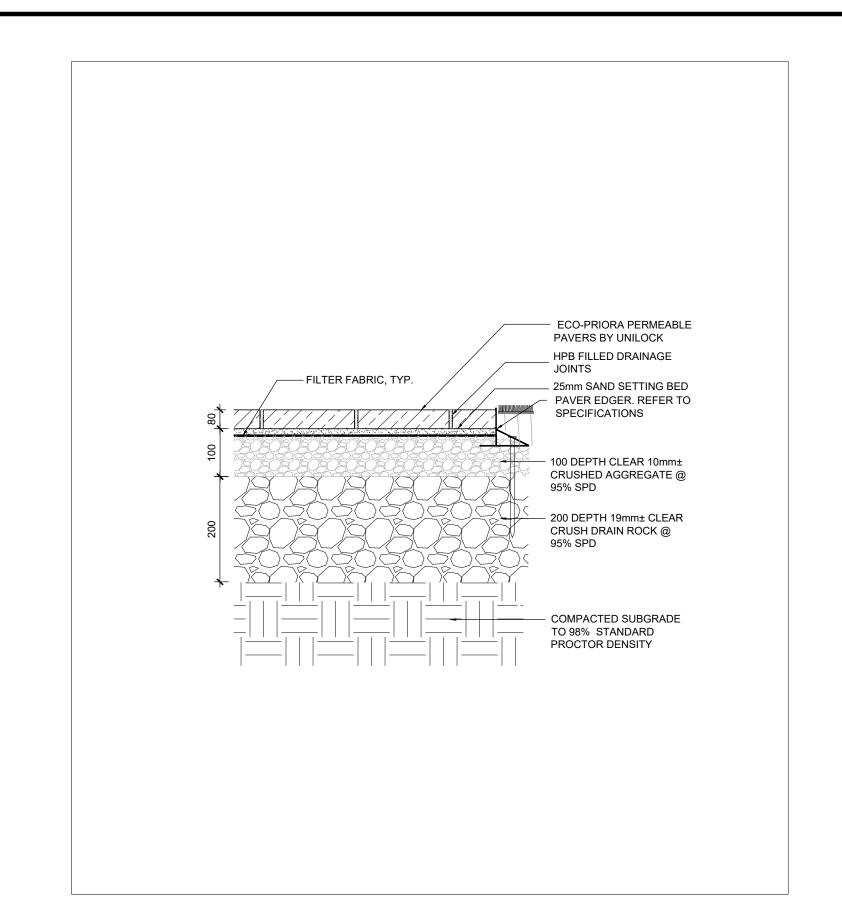


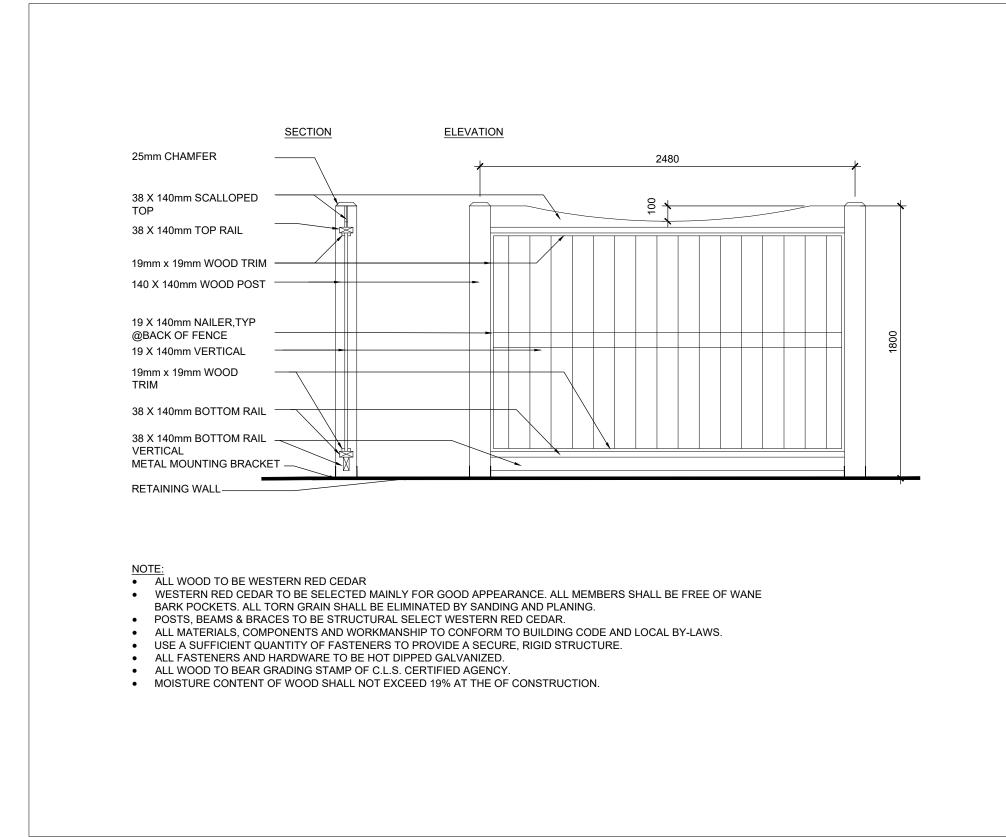


1:125 Drawing

Checked by: JQ
File No. 17-522
Plotted: JUNE 26/19







STAGGER PLANTING SUCH

EACH OTHER AS SPECIFIED IN

PRUNE PLANTS TO REMOVE

DEAD OR INJURED MEMBERS

CHARACTER AND SHAPE OF

ONLY. MAINTAIN NATURAL

- REMOVE PLANTS FROM

POTS. CAREFULLY LOOSEN ROOT BALL TO ENSURE ROOTS ARE NOT SELF

75mm DEPTH OF APPROVED

MULCH. MULCH SHALL NOT CONTACT PLANT STEMS

PLANTING SOIL MIXTURE.

PRIOR TO PLANTING.

REFER TO SPECIFICATIONS

SCARIFY SURFACE OF SUBSOIL

THAT ALL PLANTS ARE

PLANT LIST

THE SPECIES.

CONSTRICTING

SUB-SOIL

EQUALLY SPACED FROM

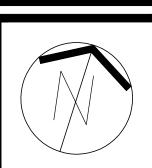
2. ISSUED FOR REZONING
1. ISSUED FOR REZONING
AUG 11/17
No. Issued For
Date

Drawing Title

Details

Project
RESIDENTIAL TOWNHOUSE
DEVELOPMENT
579/581/583/585
LAWRENCE AVENUE WEST
TORONTO - ONTARIO





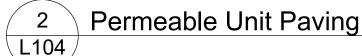


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Checked by: JQ
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Plotted: JUNE 05/1

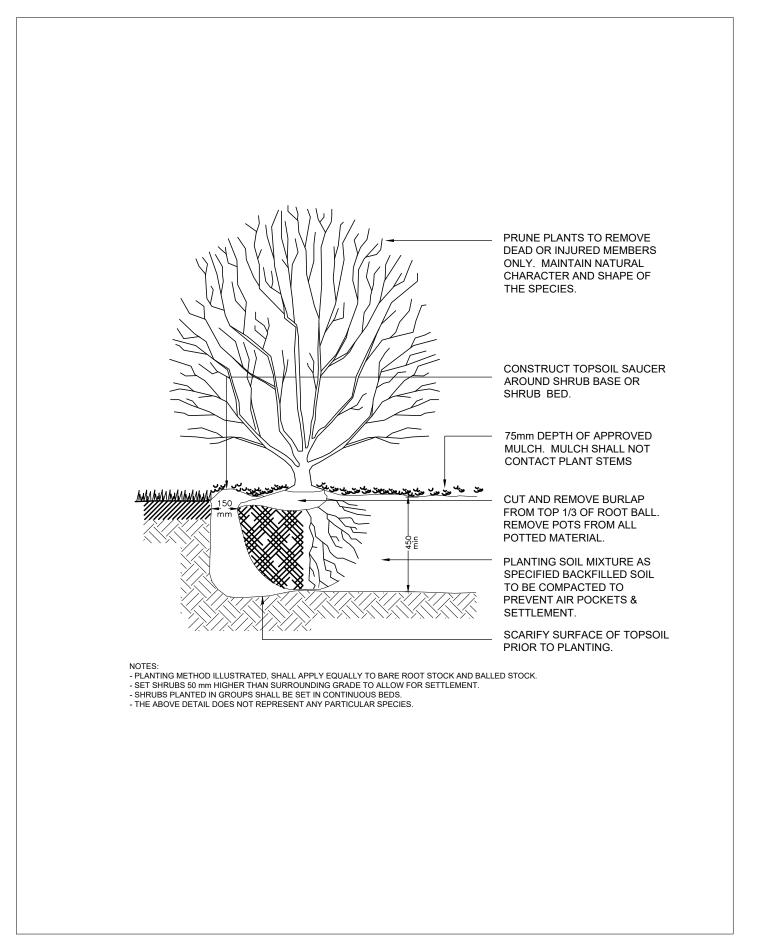
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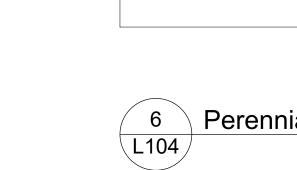
1 CIP Concrete Paving 1:5



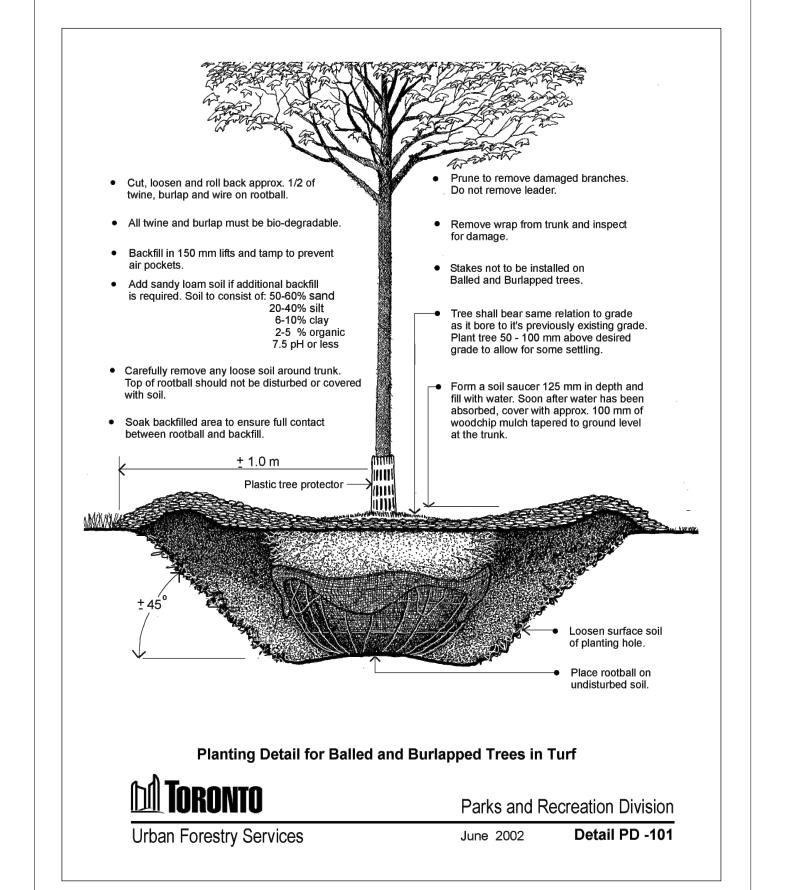
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NTS







Wood Privacy Fence

PLANT SPACING

PLAN

AS SPECIFIED

PLANT SPACING