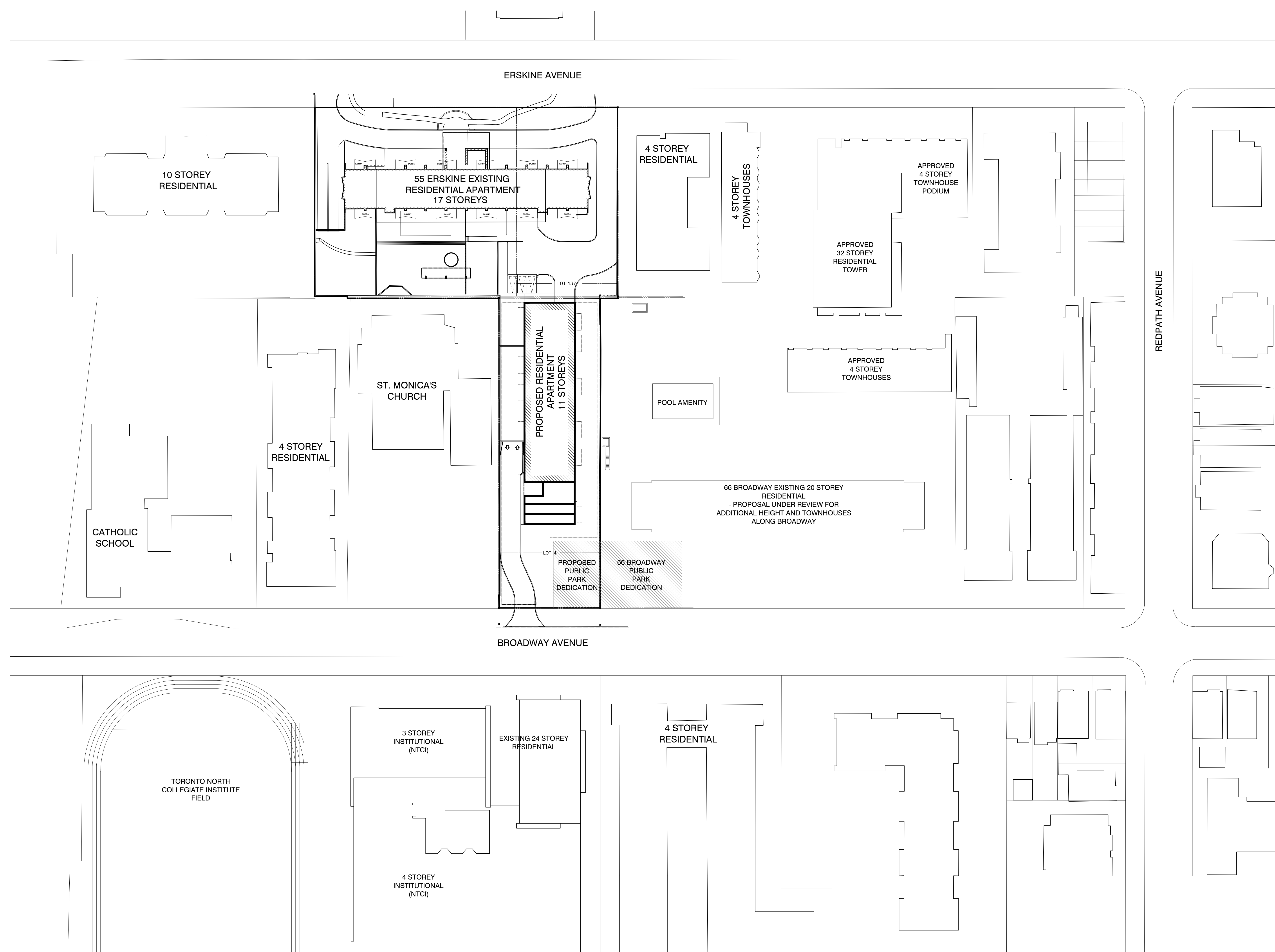


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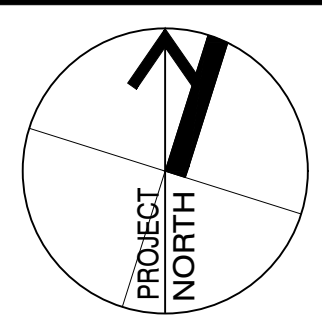
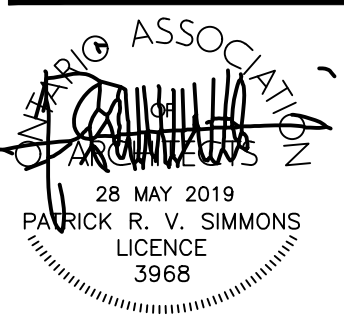


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1	10/04/2017	SITE PLAN APPLICATION

MARTIN SIMMONS
 ARCHITECTS

113 BREITHAUPT STREET, SUITE 200
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 TEL. 519-745-4754 FAX. 519-745-0061

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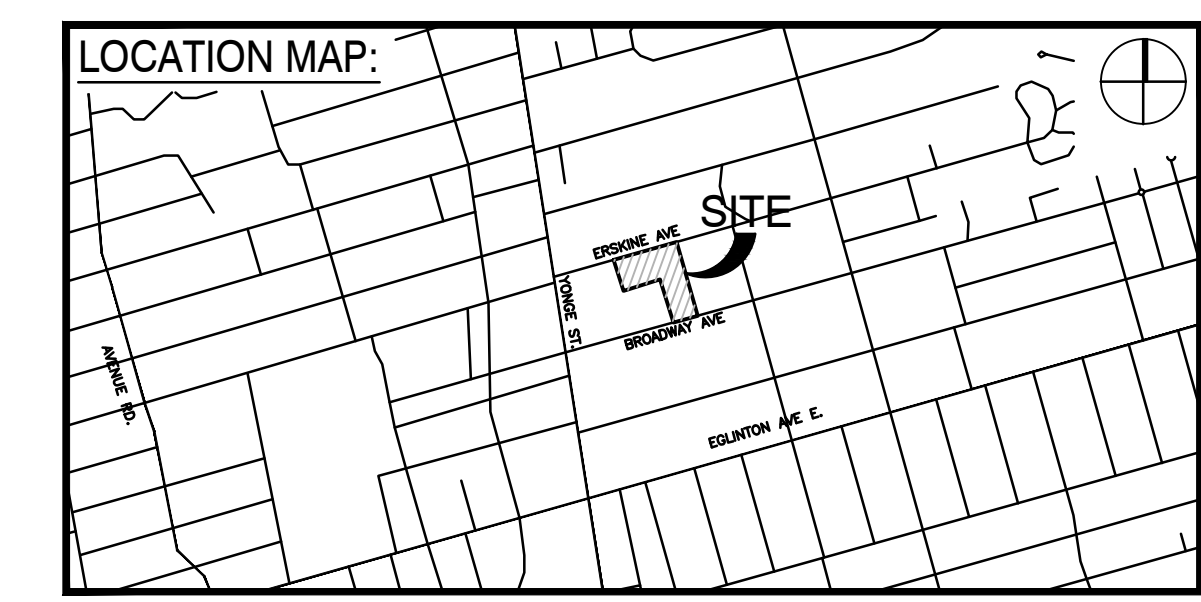
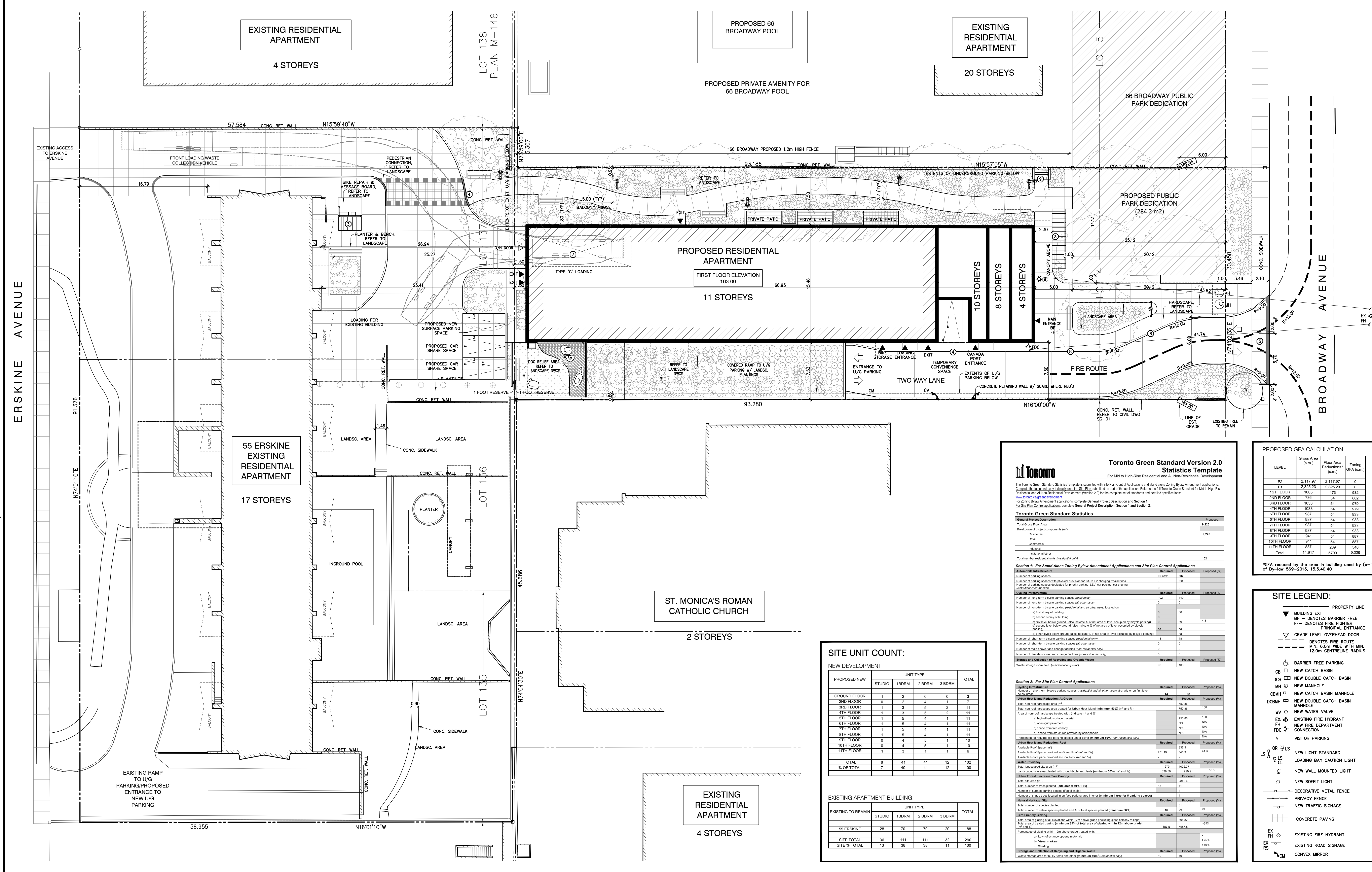


PROJECT
55 ERSKINE
 55 ERSKINE AVENUE,
 TORONTO, ONTARIO

DRAWING
CONTEXT PLAN

DRAWN BY _____ CHECKED BY _____
 DATE MAY, 2019
 SCALE 1:500 DRAWING № **A-001**
 PROJECT № 1796-1

WITHOUT PREJUDICE



SITE DATA:

ZONING DISTRICT: RA
 PROPERTY ADDRESS: 55 ERSKINE AVENUE
 BUILDING USE: RENTAL APARTMENT BUILDING
 LOT AREA: 2,842.4 m²
 ESTABLISHED GRADE: 11.11

EXISTING	PROPOSED
LOT COVERAGE: 903.33 m ²	1,936.33 m ²
FLOOR SPACE INDEX (FSI): 1.76	2.90
GFA: 14,275.61 m ²	NEW 9,228 m ² SITE TOTAL: 23,503.61 m ²
TOTAL NUMBER OF UNITS: 158	NEW 102 SITE TOTAL: 260
TOTAL VEHICLE PARKING PROVIDED: 108 SPACES	96 SPACES NEW (204 TOTAL) 92 U/G, 4 AT GRADE
TOTAL BICYCLE PARKING PROVIDED: 56 SPACES	12/UNIT = 13 SHORT TERM 1.08/UNIT = 111 LONG TERM
PROPOSED PARKING RATIOS:	PARKING SPACES
RESIDENTS: 0.55	160
VISITORS: 0.10	29
PROPOSED CAR SHARE: 0.65	2
TOTAL: 0.65	191

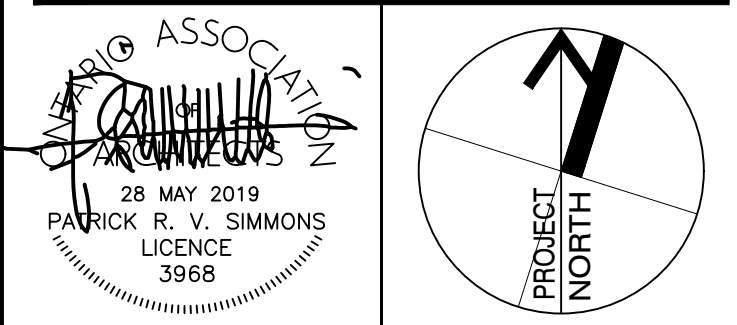
BUILDING HEIGHT (m): MAX. 38.0m (As-of-Right)
 BLDG HEIGHT IN STOREYS: 11 STOREYS
 LOADING SPACES (NEW): 4.0m x 13.0m x 6.1m HEIGHT
 AVAILABLE ROOF AREA: 251.19 m² (30%)
 GREEN ROOF AREA: 1,233.6 m² (48.2% OF SITE)
 LANDSCAPE AREA: 639.5 m² (22.8% OF SITE)
 SOFTSCAPE AREA: 408 m² (14.4% OF SITE)
 AMENITY: INDOOR AMENITY: 104 m² (>40m ADJACENT TO INDOOR AMENITY)
 OUTDOOR AMENITY: 325 m²

- SITE PLAN NOTES**
- CONCRETE SIDEWALK - CITY OF TORONTO DESIGN STANDARD NO. T-310.030-4
 - BARRIER FREE CURB - CITY OF TORONTO DESIGN STANDARD NO. T-310.030-10
 - SHORT TERM BICYCLE RACKS, REFER TO LANDSCAPE DWGS
 - DESIGNED CURB TO BE DESIGNED ACCORDING TO CITY OF TORONTO DESIGN STANDARD NO. T-350-01 (MOOD)
 - CURB AND GUTTER TO BE DESIGNED ACCORDING TO CITY OF TORONTO DESIGN STANDARD NO. T-600.05-1
 - LOADING SPACE TO BE LEVEL AND CONSTRUCTED OF 200MM REINFORCED CONCRETE. ALL ACCESS DRIVEWAYS TO BE USED BY COLLECTION VEHICLE WILL BE LEVEL (4% - 6%), HAVE A MIN. VERTICAL CLEARANCE OF 4.4m, A MIN. WIDTH OF 4.5m, AND MIN. WIDTH OF 6m AT INGRESS AND EGRESS.
 - CONCRETE CURB BORDERING DRIVEWAY TO BE DESIGNED ACCORDING TO CITY OF TORONTO DESIGN STANDARD NO. T-600-011-1
 - PROPOSED CONNECTION TO 66 BROADWAY PENDING APPROVAL OF NEIGHBOURING OWNER, ACCESS EASEMENTS, AND COORDINATION WITH CURRENT CONDITION.

3 29/05/2019 ISSUED FOR SITE PLAN RE-SUBMISSION
 2 28/08/2018 ISSUED FOR SITE PLAN RE-SUBMISSION
 1 10/04/2017 SITE PLAN APPLICATION

MARTIN SIMMONS ARCHITECTS

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55 ERSKINE
 55 ERSKINE AVENUE,
 TORONTO, ONTARIO

SITE PLAN WITHOUT PREJUDICE

DRAWN BY: GEOFF DRY
 DATE: MAY, 2019
 SCALE: 1:200
 PROJECT NO: 1796-1
 DRAWING NO: **A-101**

Toronto Green Standard Version 2.0 Statistics Template

LEVEL	Gross Area (sq.m.)	Floor Area Reduction (sq.m.)	Zoning GFA (sq.m.)
P2	2,117.97	2,117.97	0
P1	2,325.23	2,325.23	0
1ST FLOOR	1,005	475	532
2ND FLOOR	736	54	682
3RD FLOOR	1,033	54	979
4TH FLOOR	1,033	54	979
5TH FLOOR	987	54	933
6TH FLOOR	987	54	933
7TH FLOOR	987	54	933
8TH FLOOR	941	54	887
9TH FLOOR	941	54	887
10TH FLOOR	941	54	887
11TH FLOOR	837	289	548
Total	14,917	6,700	8,217

PROPOSED GFA CALCULATION:

LEVEL	Gross Area (sq.m.)	Floor Area Reduction (sq.m.)	Zoning GFA (sq.m.)
P2	2,117.97	2,117.97	0
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10TH FLOOR	941	54	887
11TH FLOOR	837	289	548
Total	14,917	6,700	8,217

SITE LEGEND:

- PROPERTY LINE
- BUILDING EXT BT - DENOTES BARRIER FREE
- FF - DENOTES FIRE FIGHTER
- PRINCIPAL ENTRANCE
- GRATE LEVEL OVERHEAD DOOR
- DENOTES FIRE ROUTE
- MIN. 6.0m WIDE WITH MIN. 12.0m CENTRILINE RADIUS
- BARRIER FREE PARKING
- NEW CATCH BASIN
- NEW DOUBLE CATCH BASIN
- NEW MANHOLE
- NEW CATCH BASIN MANHOLE
- NEW DOUBLE CATCH BASIN MANHOLE
- NEW WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING FIRE DEPARTMENT CONNECTION
- VISITOR PARKING
- NEW LIGHT STANDARD
- LOADING BAY CAUTION LIGHT
- NEW WALL MOUNTED LIGHT
- NEW SOFFIT LIGHT
- DECORATIVE METAL FENCE
- PRIVACY FENCE
- NEW TRAFFIC SIGNAGE
- CONCRETE PAVING
- EXISTING FIRE HYDRANT
- EXISTING ROAD SIGNAGE
- CONVEX MIRROR

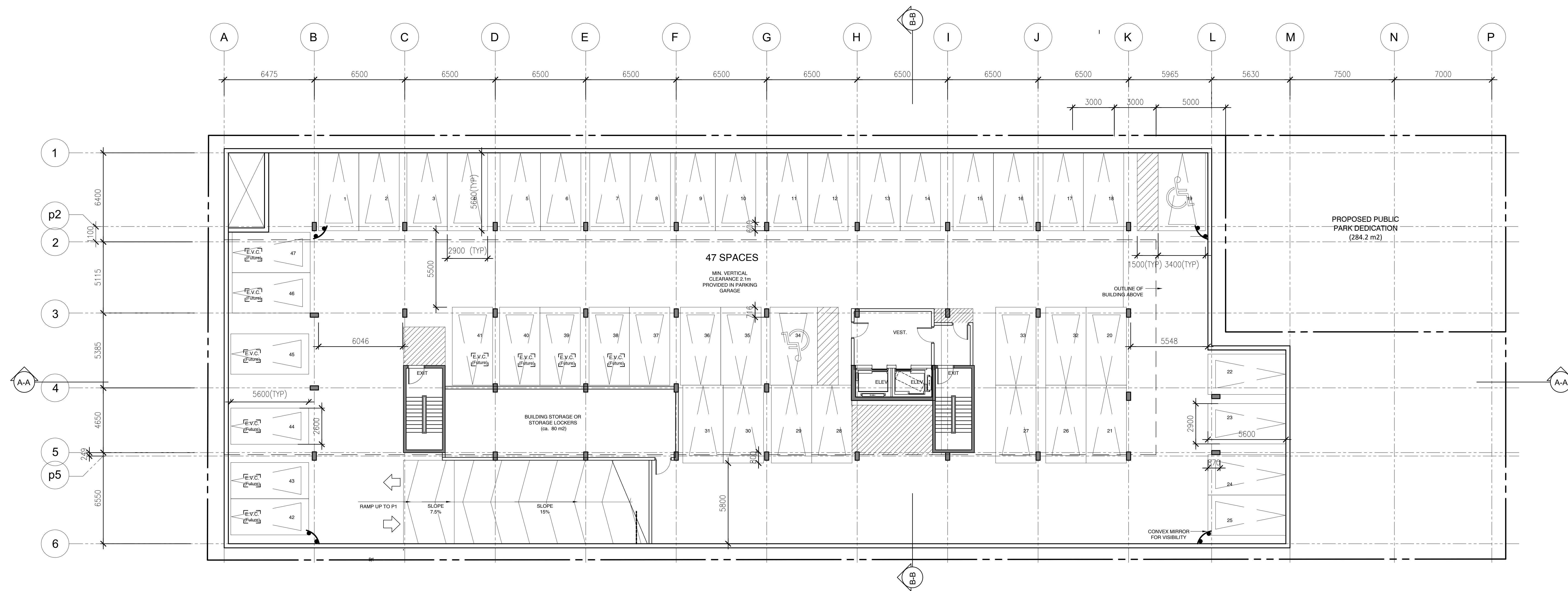
SITE UNIT COUNT:

NEW DEVELOPMENT:	UNIT TYPE				TOTAL
	STUDIO	1BRM	2 BRM	3 BRM	
GROUND FLOOR	1	2	0	0	3
2ND FLOOR	0	2	4	1	7
3RD FLOOR	1	3	5	2	11
4TH FLOOR	1	3	5	2	11
5TH FLOOR	1	5	4	1	11
6TH FLOOR	1	5	4	1	11
7TH FLOOR	1	5	4	1	11
8TH FLOOR	1	5	4	1	11
9TH FLOOR	0	4	5	1	10
10TH FLOOR	0	4	5	1	10
11TH FLOOR	1	3	1	1	6
TOTAL	8	41	41	12	102
% OF TOTAL	7	40	41	12	100

EXISTING APARTMENT BUILDING:	UNIT TYPE				TOTAL
	STUDIO	1BRM	2 BRM	3 BRM	
55 ERSKINE	28	70	70	20	188
SITE TOTAL	36	111	111	32	290
SITE % TOTAL	13	38	38	11	100

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 TIME: 10:47:02 PM
 PLOT DATE: 2019-05-29

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LEGEND:

- PROPOSED ELECTRICAL VEHICLE CHARGING STATION
- ROUGH-IN FOR FUTURE ELECTRICAL VEHICLE CHARGING STATION
- CONVEX MIRROR FOR PARKADE VEHICULAR SIGHT LINES
- VISITOR PARKING SPACE

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PROJECT **55 ERSKINE**

55 ERSKINE AVENUE,
TORONTO, ONTARIO

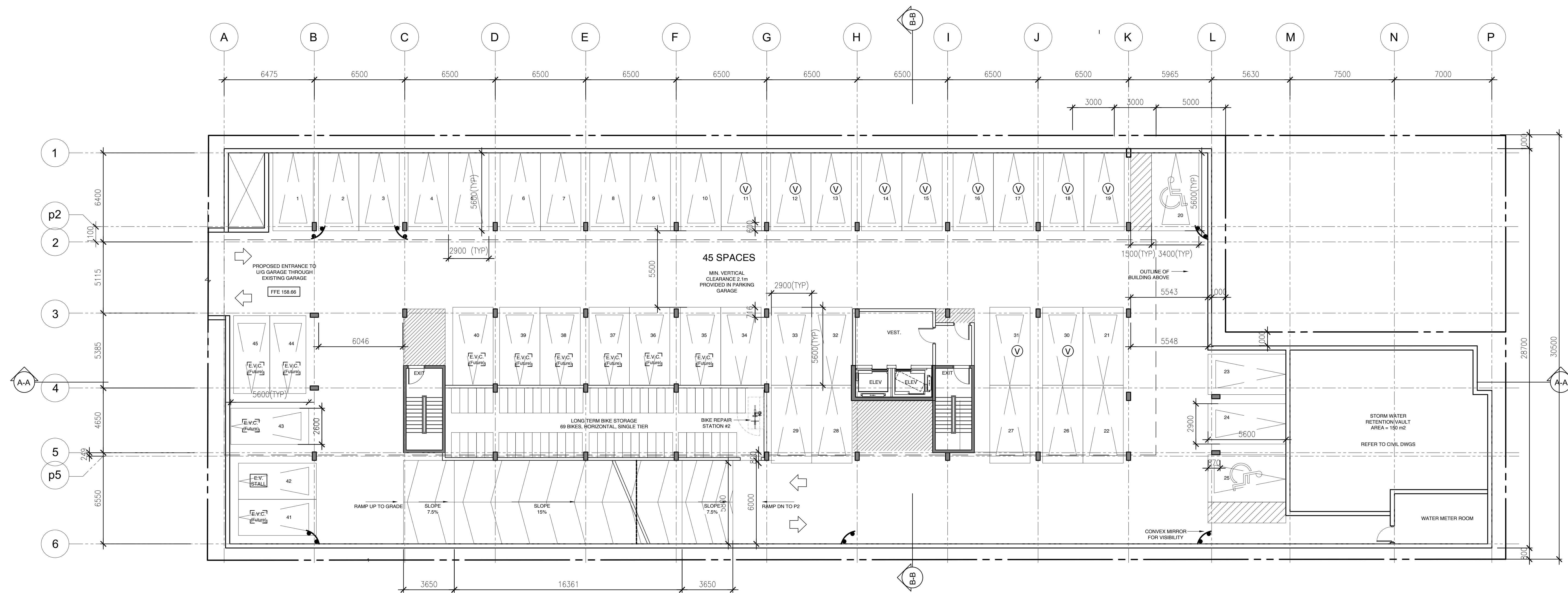
DRAWING **P2 PARKING PLAN**

DRAWN BY **KD** CHECKED BY **PS**
DATE **MAY, 2019**

SCALE **1:125** DRAWING № **A201**
PROJECT № **1796-1**

WITHOUT PREJUDICE

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LEGEND:

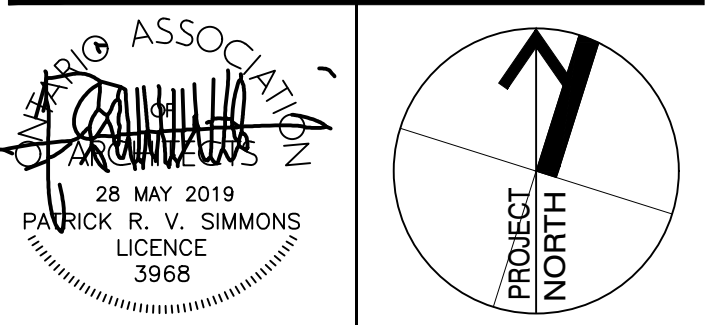
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- CONVEX MIRROR FOR PARKADE VEHICULAR SIGHT LINES
- VISITOR PARKING SPACE

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55 ERSKINE

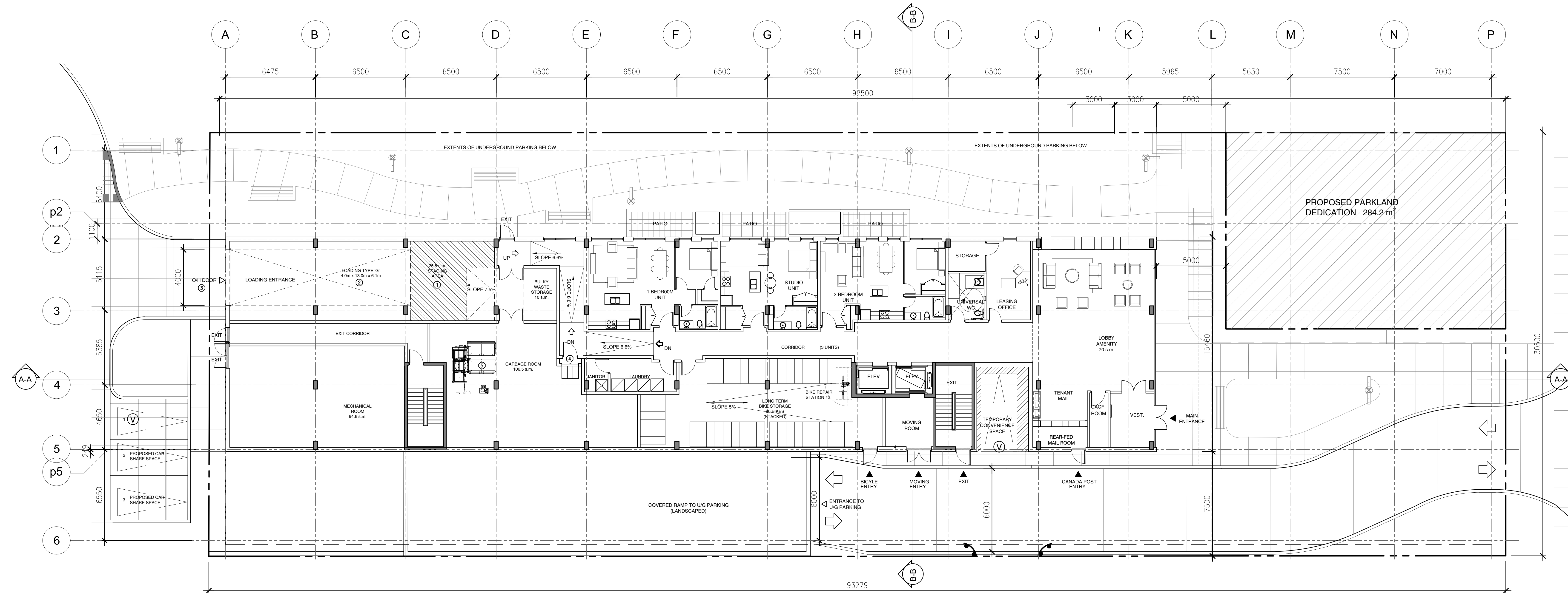
55 ERSKINE AVENUE,
TORONTO, ONTARIO

P1 PARKING PLAN

DRAWN BY	GEOD BY
KD	PS
DATE	MAY, 2019
SCALE	DRAWING NO
1:125	
PROJECT NO	A201B
1796-1	

WITHOUT PREJUDICE

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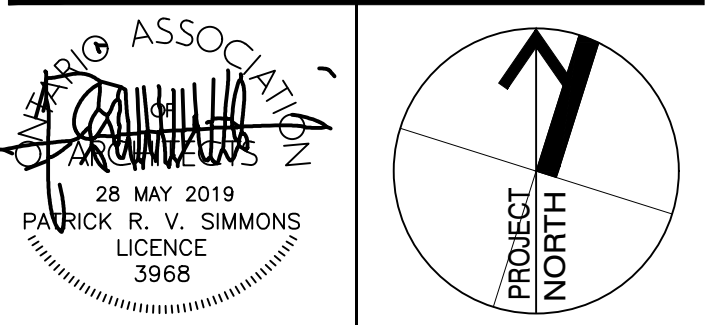
PROPOSED PARKLAND DEDICATION 284.2 m²

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№	DATE	ISSUE

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PROJECT
55 ERSKINE

55 ERSKINE AVENUE,
TORONTO, ONTARIO

DRAWING
GROUND FLOOR PLAN

DRAWN BY
KD

CHECKED BY
PS

DATE
MAY, 2019

SCALE
1:125

DRAWING №
A202

PROJECT №
1796-1

Waste Statistics

Waste Room Storage and Staging Size Requirements are provided for a centralized waste storage approach for the site as a whole (6 200 units), with the intention of storing waste from the existing building, currently stored outside, in the proposed development waste room, which has been sized to accommodate the additional volume.

Requirement Definition	Requirement Calculation	Proposed For Centralized Waste Storage On Site
31-399 units	1 Type 'Q' Loading Required	1 Type 'Q' Provided with minimum length of 13.0m, minimum width of 4.0m, and minimum vertical clearance of 6.1m
Staging Area = 5 s.m. for every 50 units >50	5 s.m. x 240units/50 = 25 s.m.	25.0 s.m.
Waste Storage = 25 s.m. for first 50 units, plus 13 s.m. for each additional 50 units	25 s.m. + (13 s.m. x 240units/50) = 93 s.m.	106.5 s.m.
Bulky Waste Storage	Minimum 10 s.m.	10 s.m. provided in proposed development (10 s.m. for each building on site)

NOTES:

- Staging Space to be level (+/-2%), have an unnumbered vertical clearance of 6.1m, and will be constructed of min. 200mm reinforced concrete.
- Loading Space to be level (+/-2%)
- Overhead door utilized by waste collection vehicle shall have a minimum width of 4 metres, and a minimum overhead clearance of 4.4m.
- Ground floor tenants to deposit waste through separate collection bin panel without entering garbage room with compactor.
- Waste method shall be single chute with 30 sorter in waste storage room on ground floor. Tri roller and compactor illustrated in waste room.
- A trained, on-site staff member will be available to manoeuvre bins for the collection driver and also act as a flagman when the truck is reversing. In the event the on-site staff is unavailable at the time the City collection vehicle arrives on site, the collection vehicle will leave the site and not return until the next scheduled collection day.

WITHOUT PREJUDICE