

## **179 and 181 Finch Avenue East – Official Plan Amendment and Zoning Amendment Application – Preliminary Report**

Date: December 17, 2018

To: North York Community Council

From: Director, Community Planning, North York District

Wards: Ward 18 - Willowdale

**Planning Application Number:** 18 244784 NNY 23 OZ

**Notice of Complete Application Issued:** November 7, 2018

**Current Use(s) on Site:** Two single detached dwellings, 1.5 and 2-storeys in height

### **SUMMARY**

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This report provides information and identifies a preliminary set of issues regarding the application located at 179 and 181 Finch Avenue East. Staff are currently reviewing the application. It has been circulated to all appropriate agencies and City divisions for comment. Staff will proceed to schedule a community consultation meeting for the application with the Ward Councillor.

### **RECOMMENDATIONS**

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The City Planning Division recommends that:

1. Staff schedule a community consultation meeting for the application located at 179 and 181 Finch Avenue East together with the Ward Councillor.
2. Notice for the community consultation meeting be given to landowners and residents within 120 metres of the application site, and to additional residents, institutions and owners to be determined in consultation with the Ward Councillor, with any additional mailing costs to be borne by the applicant.

### **FINANCIAL IMPACT**

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The recommendations in this report have no financial impact.

## ISSUE BACKGROUND

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### Application Description

This application proposes 8 townhouse units with a height of 10.0 metres (4-storeys). A total of 1,543 square metres of gross floor area (including the garages) is proposed, resulting in a density of 1.21 (including the land within a planned 4.9-metre road widening along 179 – 181 Finch Avenue East) times the lot area.

A total of eight 3-bedroom residential units are proposed in 2 blocks arranged parallel to Finch Avenue East. Block A would be situated along Finch Avenue East and would contain 3 units. Block B would be situated at the south end (rear) of the site and would contain 5 units. A 45-degree rear angular plane is proposed to focus the massing of the buildings toward Finch Avenue East. All units would be beneath this angular plane. Vehicular access would be from Finch Avenue East by a 6.0-metre wide, "L"-shaped, private driveway located on the west side of the site. A 1.8-metre walkway is proposed along the east side of the driveway, but would end at the rear of Block A. The three units of Block A would each have a one-car garage and the 5 units of Block B would each have a two-car (tandem) garage. Refer to Attachments 1 and 2 for the west and north elevations of Block A and B and Attachment 4 for the proposed site plan.

Detailed project information is found on the City's Application Information Centre at: <https://www.toronto.ca/city-government/planning-development/application-information-centre/>

### Provincial Policy Statement and Provincial Plans

Land use planning in the Province of Ontario is a policy led system. Any decision of Council related to this application is required to be consistent with the Provincial Policy Statement (2014) (the "PPS"), and to conform with applicable Provincial Plans which, in the case of the City of Toronto, include: the Growth Plan for the Greater Golden Horseshoe (2017) and, where applicable, the Greenbelt Plan (2017). The PPS and all Provincial Plans may be found on the Ministry of Municipal Affairs and Housing website.

### Toronto Official Plan and Planning Studies

The City of Toronto Official Plan is a comprehensive policy document that guides development in the City, providing direction for managing the size, location, and built form compatibility of different land uses and the provision of municipal services and facilities. Authority for the Official Plan derives from The Planning Act of Ontario. The PPS recognizes the Official Plan as the most important document for its implementation. Toronto Official Plan policies related to building complete communities, including heritage preservation and environmental stewardship may be applicable to any application. Toronto Official Plan policies may be found here:

<https://www.toronto.ca/city-government/planning-development/official-plan-guidelines/official-plan/>

The current application is located on lands shown as *Avenues* on Map 2 Urban Structure of the Official Plan and *Neighbourhoods* on Map 16 Land Use Map.

*Neighbourhoods* are considered physically stable areas made up of residential uses in lower scale building such as detached houses, semi-detached houses, duplexes, triplexes, and townhouses, as well as walk-up apartments that are no higher than four storeys in height. Parks, low scale institutions, home occupations, cultural and recreational facilities, and small-scale retail, service and office uses are also permitted on properties in *Neighbourhoods*.

The application is also located within the Central Finch Area Secondary Plan. The Central Finch Area Secondary Plan may be found here:

<https://www.toronto.ca/wp-content/uploads/2017/11/8840-cp-official-plan-SP-22-CentralFinch.pdf>

### **Zoning By-laws**

The subject lands are zoned One-Family Detached Dwelling Sixth Density Zone (R6) in former City of North York Zoning By-law No. 7625. The R6 zone permits single detached dwellings and accessory uses. The subject lands are not included in City of Toronto Zoning By-law 569-2013.

### **Townhouse and Low-rise Apartment Guidelines**

On March 26, 2018, City Council adopted the Townhouse and Low-Rise Apartment Guidelines. The Guidelines are intended to help implement the policies in the Official Plan by achieving the appropriate design for current and new townhouse and low-rise apartment development applications. The Townhouse and Low-Rise Apartment Guidelines replace the Infill Townhouse Guidelines (2003). The guidelines can be found here:

<https://www.toronto.ca/wp-content/uploads/2018/05/7f47-city-planning-townhouse-low-rise-apartment-guidelines-2018.pdf>

### **Site Plan Control**

The proposed development is subject to Site Plan Approval. A Site Plan Control application has not yet been submitted.

## **COMMENTS**

### **Reasons for the Application**

An amendment to the Central Finch Area Secondary Plan is required as the proposal does not conform to numerous policies of the Secondary Plan, including the maximum permitted building height, minimum rear yard setback requirement, and conformity with the required 35-degree rear angular plane.

An amendment to former City of North York Zoning By-law No. 7625 is required as the R6 zone does not permit the proposed townhouse units. A rezoning application is also required to implement the necessary zoning standards that would implement the new development.

## **ISSUES TO BE RESOLVED**

The application has been circulated to City divisions and public agencies for comment. At this stage in the review, the following preliminary issues have been identified:

### **Central Finch Area Secondary Plan:**

The Central Finch Area Secondary Plan permits a maximum height of 3-storeys or 10 metres, whichever is less. The proposed townhouse units are 4-storeys and 10.0 metres in height. The Secondary Plan requires a 9.5-metre rear yard setback, whereas a rear yard setback of 6.7 metres is proposed. For all lands within the Central Finch Area, the height of any part of a building (except accessory structures for residential uses) will not exceed 70 per cent of the horizontal distance separating that part of the building from the nearest residential property line that coincides with the boundaries of the Secondary Plan area, provided that the horizontal setback is not less than 9.5 metres. A 45-degree rear angular plane is proposed where a 35-degree angular plane is required.

Staff are reviewing the application against the policies of the Central Finch Area Secondary Plan to determine compatibility to the massing and design criteria in the Secondary Plan including angular plane and setbacks.

### **Built Form, Planned and Built Context:**

Staff are reviewing the application against the Townhouse and Low-Rise Apartment Guidelines. Staff have concerns with the proposed configuration of one townhouse block behind the other as this configuration is not encouraged in the Guidelines. Staff are also assessing the appropriateness of the proposed 8 metres facing distance between blocks.

Staff are also reviewing the application to determine if the proposed building design, landscaping, and massing contribute to an attractive street edge along Finch Avenue East. In particular, Staff will review the proposed open space landscaping, specifically adjacent to the proposed townhouse entrances to determine suitability and appropriateness.

Staff encourages the applicant to explore further consolidation with the adjacent lots to the east to allow for a more comprehensive development. Additionally, the option of securing an easement should be explored to allow for mutual shared access with the townhouses west of the of the subject site.

### **Development Infrastructure Policy & Standards:**

Staff are reviewing the application against the Development Infrastructure Policy and Standards (DIPS), the purpose of which is to promote better designed, safe, comfortable, functional, and appropriately scaled public streets to serve grade-related residential developments.

**Rental Housing:**

Staff are working to confirm if there are existing rental units on the site.

**Tree Preservation:**

The application is subject to the provisions of the City of Toronto Municipal Code, Chapter 813 Articles II (Street Trees By-law) and III (Private Tree By-law). The applicant submitted a Tree Preservation Plan and Arborist Report showing the removal of 5 privately-owned trees and 1 City-owned boulevard tree, while a total of 4 new trees will be planted. Staff are reviewing the Arborist Report/Tree Preservation Plan submitted by the applicant to evaluate the proposed injury and removal of existing trees.

**Infrastructure/Service Capacity:**

Staff are reviewing engineering reports, including a stormwater management report, provided by the applicant, the purpose of which is intended to evaluate the effects of a proposed change in land use or development on the City's municipal servicing infrastructure and watercourses and identify and provide the rationale for any new infrastructure and upgrades to existing infrastructure, necessary to provide for adequate servicing to the proposed change in land use or development.

**Toronto Green Standard:**

The TGS Checklist has been submitted by the applicant and is currently under review by City staff for compliance with the Tier 1 performance measures.

Additional issues may be identified through the review of the application, agency comments and the community consultation process.

## **CONTACT**

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Doug.Stiles@toronto.ca

## **SIGNATURE**

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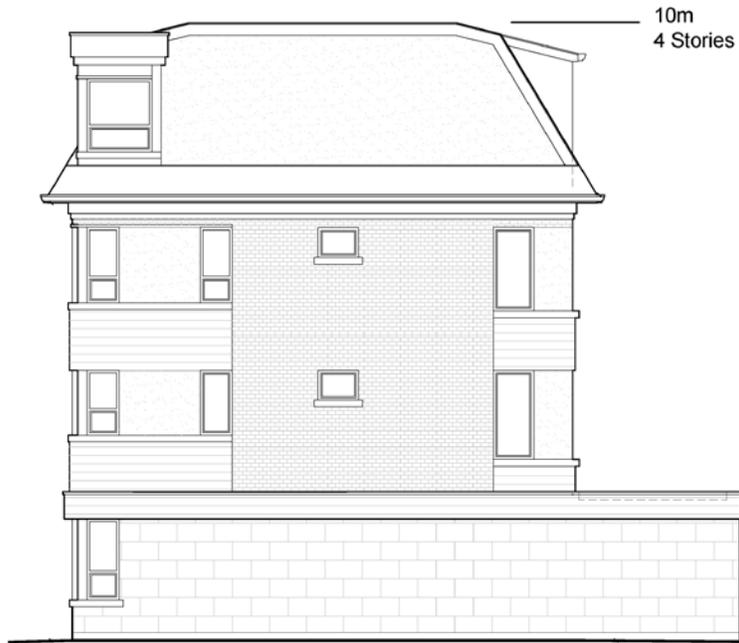
Joe Nanos, Director  
Community Planning, North York District

## **ATTACHMENTS**

### **City of Toronto Drawings**

- Attachment 1: West Elevation – Block A & B
- Attachment 2: North Elevation – Block A & B
- Attachment 3: Location Map
- Attachment 4: Site Plan
- Attachment 5: Official Plan Map

Attachment 1: West Elevation – Block A & B



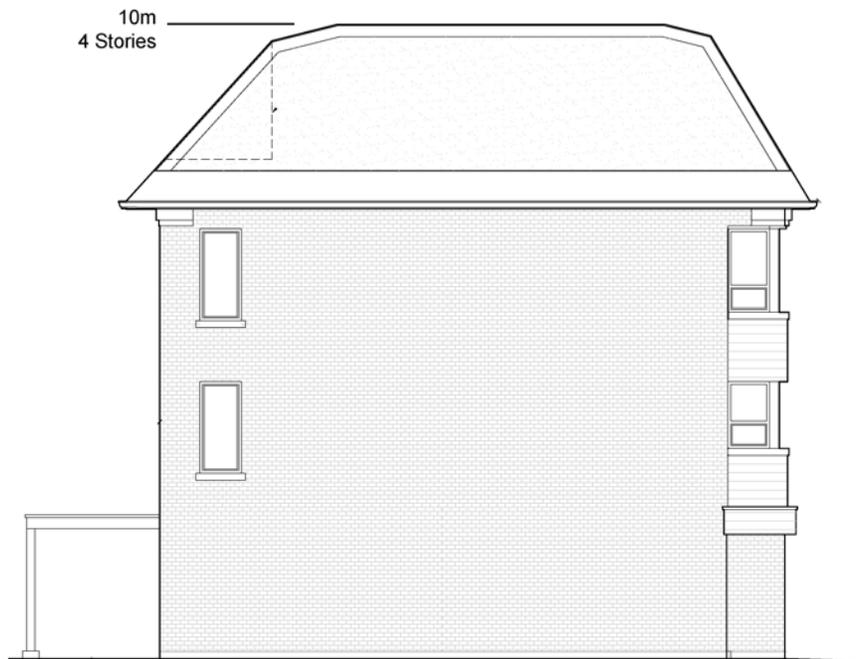
**West Elevation - Block A**

**179 & 181 Finch Avenue East**

Applicant's Submitted Drawing

Not to Scale  
10/29/2018

File # 18 244784 NNY 23 OZ



**West Elevation - Block B**

**179 & 181 Finch Avenue East**

Applicant's Submitted Drawing

Not to Scale  
10/29/2018

File # 18 244784 NNY 23 OZ

Attachment 2: North Elevation – Block A & B



North Elevation - Block A

179 & 181 Finch Avenue East



North Elevation - Block B

179 & 181 Finch Avenue East

Applicant's Submitted Drawing

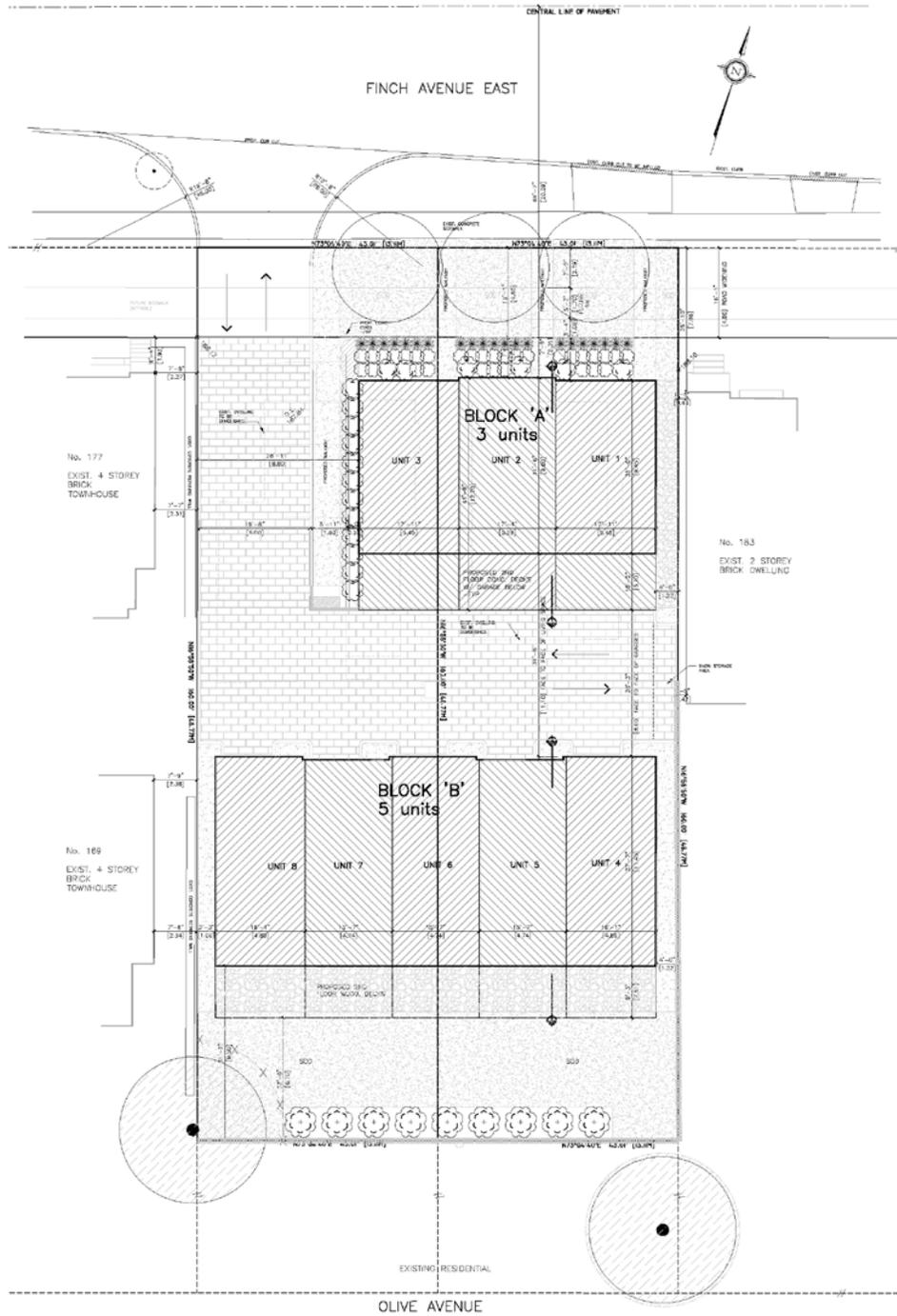
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Attachment 3: Location Map



Attachment 4: Site Plan



Site Plan

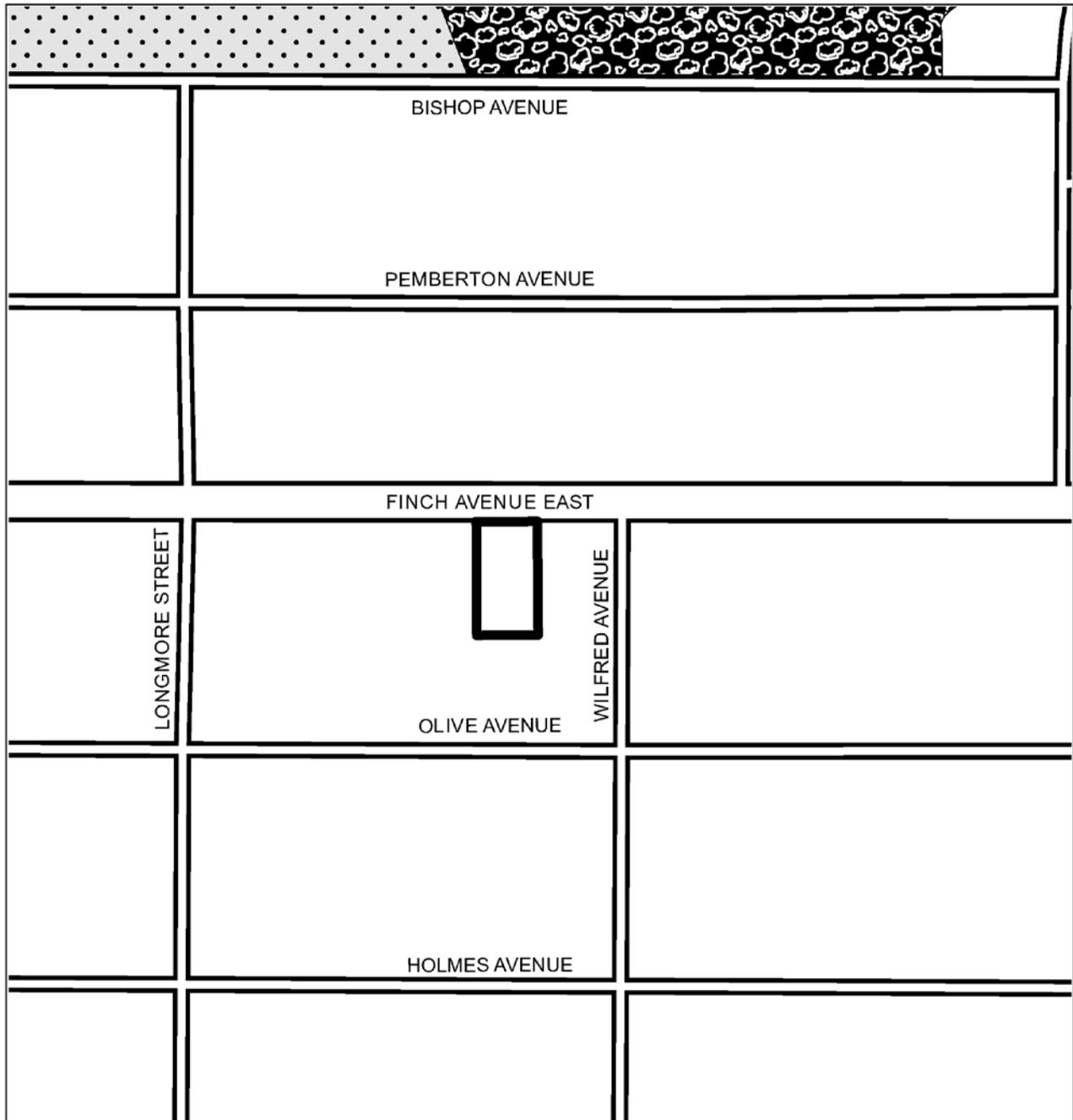
179 & 181 Finch Avenue East

Applicant's Submitted Drawing

Not to Scale  
10/25/2018

File # 18 244784 NNY 23 0Z

Attachment 5: Official Plan Map



Official Plan Land Use Map #16

179 & 181 Finch Avenue East

File # 18 244784 NNY 23 OZ

-  Location of Application
-  Neighbourhoods
-  Parks & Open Space Areas
-  Natural Areas
-  Utility Corridors

  
Not to Scale  
10/25/2018