

City Planning Division  
CITY OF TORONTO  
COUNCILLOR FILION  
or OCCUPANT  
NORTH YORK CIVIC CENTRE  
5100 YONGE ST  
TORONTO ON

North York Civic Centre  
5100 Yonge Street  
North York, Ontario  
Canada, M2N 5V7  
Tel: (416) 397-5330  
Fax: (416) 395-7200

Thursday, December 6, 2018

**NOTICE OF DECISION  
CONSENT  
(Section 53 of the Planning Act)**

**File Number:** B0044/18NY  
**Property Address:** 37 STAFFORD RD  
**Legal Description:** PLAN 3186 PT LOTS 33 & 34  
**Agent:** GLENN RUBINOFF DESIGN GROUP  
**Owner(s):** ALI REZA RAHMANIAN  
**Zoning:** RD  
**Ward:** Willowdale (18)  
**Community:** North York  
**Heritage:** Not Applicable

Notice was given and the application considered on Thursday, December 6, 2018, as required by the Planning Act.

**THE CONSENT REQUESTED:**

To obtain consent to sever the property into two residential lots.

**Conveyed - PART 1**

The frontage is 10.105 m and the lot area is 399.9 m<sup>2</sup>. A new detached residential dwelling is proposed requiring variances to the applicable zoning by-laws as outlined in application A0663/18NY.

**Retained - PART 2**

The frontage is 10.125 m and the lot area is 400.0 m<sup>2</sup>. A new detached residential dwelling is proposed requiring variances to the applicable zoning by-laws as outlined in application A0664/18NY.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Consent Application is Approved on Condition**

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore

consents to the creation of new lots as shown on the plan attached to this decision on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office within ONE YEAR of the date of the this Decision:

- (1) Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
- (2) Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contacts: John House, Supervisor, Land and Property Surveys, at 416-392-8338; [jhouse@toronto.ca](mailto:jhouse@toronto.ca), or his designates, Elizabeth Machynia, at 416-338-5029; [emachyni@toronto.ca](mailto:emachyni@toronto.ca), John Fligg at 416-338-5031; [jfligg@toronto.ca](mailto:jfligg@toronto.ca)
- (3) **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, Land and Property Surveys, at 416-392-8338; [jhouse@toronto.ca](mailto:jhouse@toronto.ca)
- (4) **Three copies of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services shall be filed with the Committee of Adjustment.
- (5) **The requirements of the Parks and Recreation, Urban Forestry Division;**
  - i) Submission of a complete application for a permit to injure or destroy a City owned tree(s). A *Contractor's Agreement to Perform Work on City-owned Trees* will be required prior to the removal/injure of the subject tree(s). Form located at [www.toronto.ca/trees/pdfs/contractor\\_services\\_agreement\\_information.pdf](http://www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf). Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the *Tree Protection Policy and Specifications for Construction Near Trees* or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the *Treasurer of the City of Toronto*, or Letter of Credit.
- (6) Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act*, as it pertains to the conveyed land and/or consent transaction.

Plan 66R-  
RECEIVED AND DEPOSITED :

DATE : 2017

DATE : 2017

LAWRENCE D. ERTL,  
ONTARIO LAND SURVEYOR

REPRESENTATIVE OF THE LAND REGISTRY  
FOR THE LAND TITLES DIVISION OF  
TORONTO LAND REGISTRY OFFICE

Metric DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.30.

**Schedule**

PART	LOT	REGISTERED PLAN	ALL OF P.I.N.	AREA Sqm
1	PART OF LOTS 33 AND 34	3185	10151-0063	399.9
2				400.0

PLAN OF SURVEY OF  
PART OF LOTS 33 AND 34  
REGISTERED PLAN 3186  
CITY OF TORONTO  
(FORMERLY CITY OF NORTH YORK)  
SCALE 1:250  
erli surveyors 2017  
Ontario Land Surveyors

**Metric**  
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

**Integration**  
DISTANCES SHOWN ON THIS PLAN ARE GROUND DISTANCES (UNLESS OTHERWISE NOTED) AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.99987118  
BEARINGS ARE UTM GRID, ZONE 17, NAD 83 (CSRS) (2010.0), DERIVED FROM SIMULTANEOUS GPS OBSERVATIONS ON MONUMENTS A AND B, HAVING A GRID BEARING OF N22°44'55"W  
FOR BEARING COMPARISONS A ROTATION OF 000°05' COUNTER-CLOCKWISE WAS APPLIED TO PLANS SHOWN IN LEGEND

OBSERVED REFERENCE POINTS (ORP) UTM ZONE 17, NAD83 (CSRS) (2010.0)  
COORDINATES TO URBAN ACCURACY PER SEC. 14 (2) D. REG. 216/10

ORP	NORTHING	EASTING
A	4847472.51	309881.03
B	4847581.22	309834.61

COORDINATES CANNOT IN THEMSELVES BE USED TO RE-ESTABLISH CORNERS OF BOUNDARIES SHOWN ON THIS PLAN.

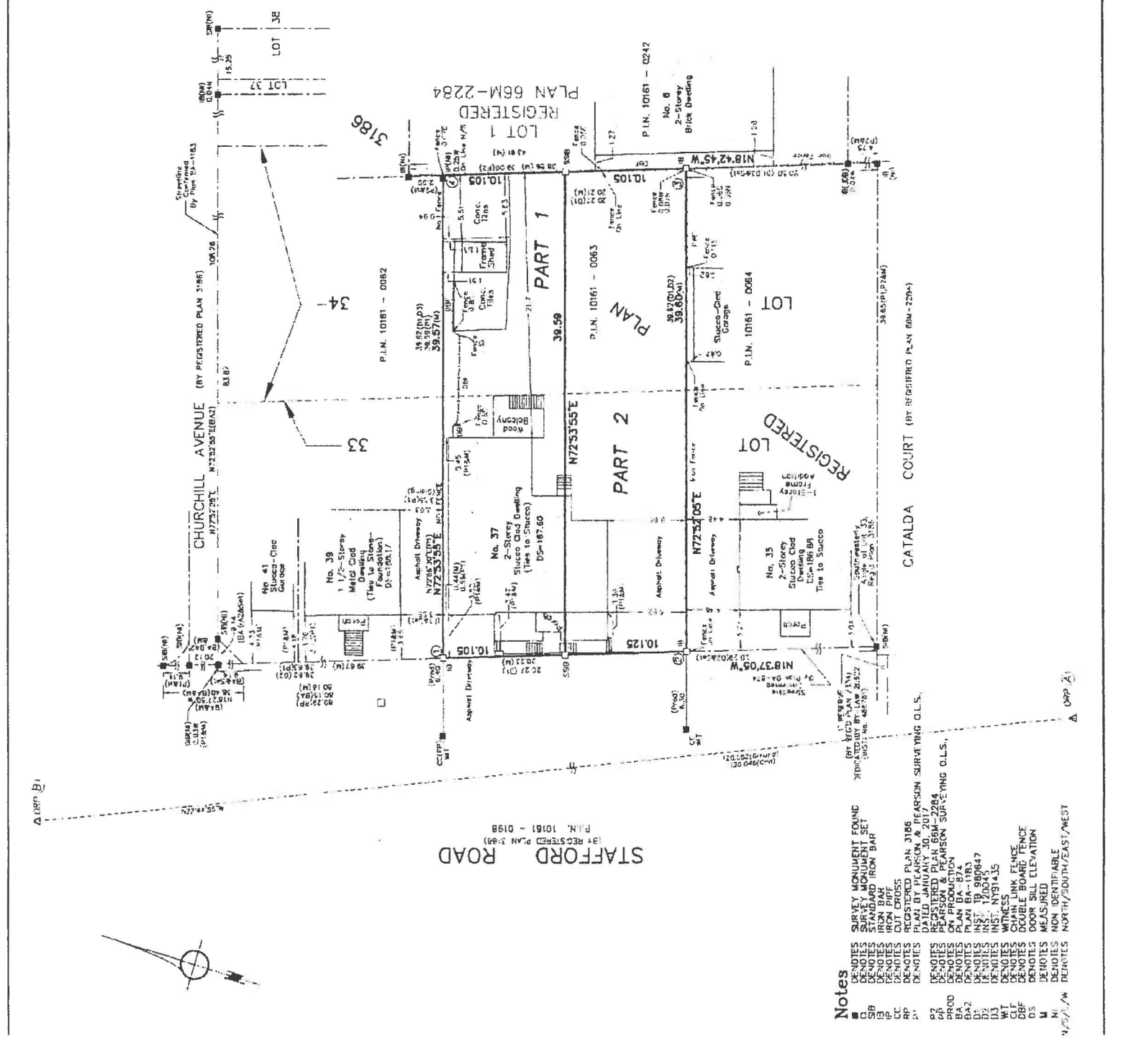
POINT ID	NORTHING	EASTING
1	4847513.38	309870.33
2	4847504.71	309876.79
3	4847510.34	309811.63
4	4847533.51	309808.30

**Surveyor's Certificate**  
I CERTIFY THAT :  
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYORS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.  
2. THE SURVEY WAS COMPLETED ON THE 11th DAY OF APRIL 2017

DATE : 2017

Lawrence D. Ertl  
Ontario Land Surveyor

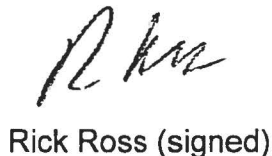
**erli surveyors**  
Ontario Land Surveyors  
www.es-ols.com  
1234 RCD STREET, UNIT 10, RICHMOND HILL, L4B 1C1  
TELEPHONE (905) 731-7334 FAX (905) 731-7332 EMAIL info@erli-surveyors.com  
DRAWING : 17143-37 STAFFORD ROAD-PP PROJECT : 1714  
CALC. BY DICKY, DRAWN BY TRAJA, CHECKED BY GT/F



## SIGNATURE PAGE

**File Number:** B0044/18NY  
**Property Address:** 37 STAFFORD RD  
**Legal Description:** PLAN 3186 PT LOTS 33 & 34  
**Agent:** GLENN RUBINOFF DESIGN GROUP  
**Owner(s):** ALI REZA RAHMANIAN  
**Zoning:** RD  
**Ward:** Willowdale (18)  
**Community:** North York  
**Heritage:** Not Applicable

  
Beth Levy (signed)

  
Rick Ross (signed)

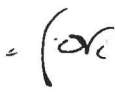
  
Giacomo Tonon (signed)

DATE DECISION MAILED ON: Thursday, December 13, 2018

LAST DATE OF APPEAL: Wednesday, January 2, 2019

CERTIFIED TRUE COPY



 Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Local Planning Appeal Tribunal (LPAT) for the same matter.

### TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### LOCAL PLANNING APPEAL TRIBUNAL (LPAT) INSTRUCTIONS

To appeal this decision to the LPAT you need the following:

- a completed LPAT Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Environmental & Lands Tribunals Ontario (ELTO) website at <http://elto.gov.on.ca/tribunals/lpat/forms/>

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the Application Information Centre and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Local Planning Appeal Tribunal (LPAT)** should be submitted in accordance with the instructions above.

**NOTE:** Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Thursday, December 6, 2018

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

**File Number:** A0663/18NY  
**Property Address:** 37 STAFFORD RD – PART 1  
**Legal Description:** PLAN 3186 NPT  
**Agent:** RUBINOFF DESIGN GROUP  
**Owner(s):** ALI REZA RAHMANIAN  
**Zoning:** RD / R4 (ZZC)  
**Ward:** Willowdale (18)  
**Community:** North York  
**Heritage:** Not Applicable

Notice was given and a Public Hearing was held on Thursday, December 6, 2018, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new detached residential dwelling.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

1. **Chapter 900.3.10(5), By-law No. 569-2013**  
The required minimum side yard setbacks are 1.8 m.  
The proposed north side yard setback is 1.2 m.
2. **Chapter 900.3.10(5), By-law No. 569-2013**  
The required minimum side yard setbacks are 1.8 m.  
The proposed south side yard setback is 0.9 m.
3. **Chapter 10.5.40.50(2), By-law No. 569-2013**  
The front porch required side yard setback is 1.8 m.  
The front porch proposed side yard setback is 0.9 m.
4. **Chapter 10.5.40.50(2), By-law No. 569-2013**  
The rear deck required side yard setback is 1.8 m.  
The rear deck proposed side yard setback is 1.27 m.
5. **Chapter 5.10.40.70.(2), By-law No. 569-2013**  
The proposed front canopy must comply with the required side yard setback of 1.8 m.  
The proposed front canopy south side yard setback is 0.9 m.

6. **Chapter 10.20.40.10.(2), By-law No. 569-2013**  
The permitted maximum height of all exterior side main walls is 7.5 m.  
The proposed height of the side exterior main walls is 8.74 m.
7. **Chapter 10.20.30.10.(1), By-law No. 569-2013**  
The required minimum lot area is 550 m<sup>2</sup>.  
The proposed lot area is 399.9 m<sup>2</sup>.
8. **Chapter 10.20.30.20.(1), By-law No. 569-2013**  
The required minimum lot frontage is 15.0 m.  
The proposed lot frontage is 10.105 m.
9. **Chapter 10.20.30.40.(1), By-law No. 569-2013**  
The permitted maximum lot coverage is 30% of the lot area.  
The proposed lot coverage is 32.05% of the lot area.
10. **Section 13.2.6, By-law No. 7625**  
The maximum permitted building height is 8.8 m for sloped roofs.  
The proposed building height is 9.30 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

#### **The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

**1) The applicant to satisfy the requirements of the Engineering and Construction Services Division;**

- i) Proper clearance from the existing catch basin to be provided for the service connections.

## SIGNATURE PAGE

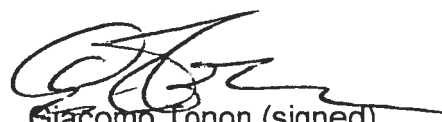
**File Number:** A0663/18NY  
**Property Address:** 37 STAFFORD RD – PART 1  
**Legal Description:** PLAN 3186 PT OF LOTS 33 & 34  
**Agent:** RUBINOFF DESIGN GROUP  
**Owner(s):** ALI REZA RAHMANIAN  
**Zoning:** RD / R4 (ZZC)  
**Ward:** Willowdale (18)  
**Community:** North York  
**Heritage:** Not Applicable



Beth Levy (signed)



Rick Ross (signed)




Giacomo Tonon (signed)

DATE DECISION MAILED ON: Thursday, December 13, 2018

LAST DATE OF APPEAL: Thursday, December 27, 2018

CERTIFIED TRUE COPY



 Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary-Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the Toronto Local Appeal Body (TLAB) should be submitted in accordance with the instructions below unless there is a related appeal\* to the Local Planning Appeal Tribunal (LPAT) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD or USB;
- \$300 for each appeal filed regardless if related and submitted by the same appellant;
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds).

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **LOCAL PLANNING APPEAL TRIBUNAL (LPAT) INSTRUCTIONS**

To appeal this decision to the LPAT you need the following:

- a completed LPAT Appellant Form (A1) in **paper format**;
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the Minister of Finance by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Environmental & Lands Tribunals Ontario (ELTO) website at <http://elto.gov.on.ca/tribunals/lpat/forms/>.

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the Application Information Centre and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Local Planning Appeal Tribunal (LPAT)** should be submitted in accordance with the instructions above.

Thursday, December 6, 2018

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

**File Number:** A0664/18NY  
**Property Address:** 37 STAFFORD RD – PART 2  
**Legal Description:** PLAN 3186 PT LOTS 33 & 34  
**Agent:** RUBINOFF DESIGN GROUP  
**Owner(s):** ALI REZA RAHMANIAN  
**Zoning:** RD / R4 (ZZC)  
**Ward:** Willowdale (18)  
**Community:** North York  
**Heritage:** Not Applicable

Notice was given and a Public Hearing was held on Thursday, December 6, 2018, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new detached residential dwelling.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

1. **Chapter 900.3.10(5), By-law No. 569-2013**  
The required minimum side yard setbacks are 1.8 m.  
The proposed north side yard setback is 0.9 m.
2. **Chapter 900.3.10(5), By-law No. 569-2013**  
The required minimum side yard setbacks are 1.8 m.  
The proposed south side yard setback is 1.2 m.
3. **Chapter 10.5.40.50(2), By-law No. 569-2013**  
The front porch required side yard setback is 1.8 m.  
The front porch proposed side yard setback is 0.9 m.
4. **Chapter 10.5.40.50(2), By-law No. 569-2013**  
The rear deck required side yard setback is 1.8 m.  
The rear deck proposed side yard setback is 1.27 m.
5. **Chapter 5.10.40.70.(2), By-law No. 569-2013**  
The proposed front canopy must comply with the required side yard setback of 1.8 m.  
The proposed front canopy north side yard setback is 0.9 m.

6. **Chapter 10.20.40.10.(2), By-law No. 569-2013**  
The permitted maximum height of all exterior side main walls is 7.5 m.  
The proposed height of the side exterior main walls is 8.8 m.
7. **Chapter 10.20.30.10.(1), By-law No. 569-2013**  
The required minimum lot area is 550 m<sup>2</sup>.  
The proposed lot area is 400 m<sup>2</sup>.
8. **Chapter 10.20.30.20.(1), By-law No. 569-2013**  
The required minimum lot frontage is 15.0 m.  
The proposed lot frontage is 10.1 m.
9. **Chapter 10.20.30.40.(1), By-law No. 569-2013**  
The permitted maximum lot coverage is 30% of the lot area.  
The proposed lot coverage is 32.05% of the lot area.
10. **Section 13.2.6, By-law No. 7625**  
The maximum permitted building height is 8.8 m for sloped roofs.  
The proposed building height is 9.18 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):


**1) The applicant to satisfy the requirements of the Engineering and Construction Services Division;**

- i) Proper clearance from the existing catch basin to be provided for the service connections.

## SIGNATURE PAGE

**File Number:** A0664/18NY  
**Property Address:** 37 STAFFORD RD – PART 2  
**Legal Description:** PLAN 3186 PT LOTS 33 & 34  
**Agent:** RUBINOFF DESIGN GROUP  
**Owner(s):** ALI REZA RAHMANIAN  
**Zoning:** RD / R4 (ZZC)  
**Ward:** Willowdale (18)  
**Community:** North York  
**Heritage:** Not Applicable

  
Beth Levy (signed)

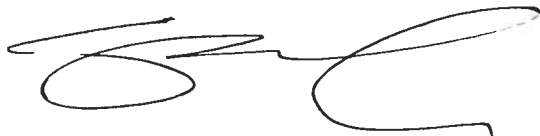
  
Giacomo Tonon (signed)

  
Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, December 13, 2018

LAST DATE OF APPEAL: Thursday, December 27, 2018

CERTIFIED TRUE COPY



 Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary-Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the Toronto Local Appeal Body (TLAB) should be submitted in accordance with the instructions below unless there is a related appeal\* to the Local Planning Appeal Tribunal (LPAT) for the same matter.

### ***TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS***

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD or USB;
- \$300 for each appeal filed regardless if related and submitted by the same appellant;
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds).

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### ***LOCAL PLANNING APPEAL TRIBUNAL (LPAT) INSTRUCTIONS***

To appeal this decision to the LPAT you need the following:

- a completed LPAT Appellant Form (A1) in **paper format**;
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the Minister of Finance by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Environmental & Lands Tribunals Ontario (ELTO) website at <http://elto.gov.on.ca/tribunals/lpat/forms/>.

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the Application Information Centre and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Local Planning Appeal Tribunal (LPAT)** should be submitted in accordance with the instructions above.