

## **485 Logan Avenue – Site Plan Control Application – Final Report**

Date: April 4, 2019

To: Toronto and East York Community Council

From: Director, Community Planning, Toronto and East York District

Ward 14 - Toronto-Danforth

**Planning Application Number: 17 279882 STE 30 SA**

### **SUMMARY**

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This application proposes to construct a four-storey residential building containing 41 dwelling units at 485 Logan Avenue. The local Councillor directed staff to report to City Council, through Toronto and East York Community Council, as per the provisions in By-law No. 438-2000 for Site Plan Control applications.

This report reviews and recommends approval, in principle, of the Site Plan Control application for 485 Logan Avenue.

### **RECOMMENDATIONS**

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The City Planning Division recommends that:

1. City Council approve, in principle, the conditions set out in Attachment 3 to the report dated April 4, 2019 from the Director, Community Planning, Toronto and East York District for the proposed 4-storey residential building at 485 Logan Avenue.
2. City Council delegate back to the Chief Planner or his designate the authority to issue final Site Plan Approval.

### **FINANCIAL IMPACT**

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The recommendations in this report have no financial impact.

### **DECISION HISTORY**

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At its meeting on June 26, 27, 28 and 29, 2018, City Council adopted the recommendations in the Final Report (dated May 18, 2018) from the Director, Community Planning, Toronto and East York District on the zoning by-law amendment application for 485 Logan Avenue. At its meeting on July 27, 2018, City Council adopted Site-Specific Zoning By-laws 1074-2018 and 1075-2018 to permit a four-storey

residential building with a building height of 14 metres, excluding a mechanical penthouse, and 41 residential units at 485 Logan Avenue.

City Council's decision can be found at:

<http://app.toronto.ca/tmmis/viewAgendaItemHistory.do?item=2018.TE33.11>

On March 12, 2019, the Site Plan Control application for 485 Logan Avenue (File No. 17 279882 STE 30 SA) was referred to City Council, in accordance with By-law No. 483-2000.

## **PROPOSAL**

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The applicant proposes to construct a four-storey residential building containing 41 dwelling units. The proposed building would have a gross floor area of 4,175 square metres. The overall height of this building is approximately 14 metres (17 metres including mechanical penthouse) and the proposed density would be 2.3 times the area of the lot.

To service this development, the applicant proposes to provide 33 parking spaces in one level of underground parking accessible from two vehicular elevators. Of the 33 parking spaces, 31 of those spaces are provided for the residential use of the building and 2 of those spaces are provided for visitors. A private drive aisle located on the northern edge of the lot and accessible from Logan Avenue provides access to the vehicular elevators from Logan Avenue. There are 42 bicycling parking spaces proposed, 37 spaces for residents and 5 spaces for visitors. A type "G" loading space is also provided and accessible from the private drive aisle.

An outdoor amenity space is proposed in the northeast corner of the lot. This proposed space is 106.25 square metres (approximately 2.5 square metres per unit). Private amenity space is also proposed in the form of balconies and rooftop amenity. No shared indoor amenity space is proposed.

### **Site and Surrounding Area**

The subject site is located on the east side of Logan Avenue, south of Gerrard Street East. The site has an overall area of approximately 1,886 square metres. The site is currently occupied by a single-storey building for wholesaling of food, non-food and beverage products, primarily servicing restaurants, banquet halls, cafeterias and convenience stores. Surface parking is also present on-site.

Uses surrounding the site include:

To the north are two-storey, mixed-use buildings fronting on Gerrard Street East.

To the south are two-storey rowhouses fronting on First Avenue.

To the east are a public laneway that leads to and from First Avenue and Gerrard Street East, and two-storey buildings, fronting on Gerrard Street East, comprising commercial, vehicular service shops, and semi-detached and detached houses.

To the west is a one-storey detached house, to the north of which is an east-west public laneway followed by a double triplex building.

## **APPLICATION BACKGROUND**

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### **Agency Circulation Outcomes**

The application was circulated to all appropriate agencies and City divisions. Responses received have been used to assist in evaluating the application.

## **POLICY CONSIDERATIONS**

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### **Provincial Land-Use Policies: Provincial Policy Statement and Provincial Plans**

Provincial Policy Statements and geographically specific Provincial Plans, along with municipal Official Plans, provide a policy framework for planning and development in the Province. This framework is implemented through a range of land use controls such as zoning by-laws, plans of subdivision and site plans.

### **The Provincial Policy Statement (2014)**

The Provincial Policy Statement (2014) (the "PPS") provides policy direction province-wide on land use planning and development to promote strong communities, a strong economy, and a clean and healthy environment. It includes policies on key issues that affect communities, such as:

- The efficient and wise use and management of land and infrastructure over the long term in order to minimize impacts on air, water and other resources;
- Protection of the natural and built environment;
- Building strong, sustainable and resilient communities that enhance health and social well-being by ensuring opportunities exist locally for employment;
- Residential development promoting a mix of housing; recreation, parks and open space; and transportation choices that increase the use of active transportation and transit; and
- Encouraging a sense of place in communities, by promoting well-designed built form and by conserving features that help define local character.

The provincial policy-led planning system recognizes and addresses the complex inter-relationships among environmental, economic and social factors in land use planning. The PPS supports a comprehensive, integrated and long-term approach to planning, and recognizes linkages among policy areas.

The PPS is issued under Section 3 of the [Planning Act](#) and all decisions of Council in respect of the exercise of any authority that affects a planning matter shall be consistent with the PPS. Comments, submissions or advice affecting a planning matter that are provided by Council shall also be consistent with the PPS.

The PPS recognizes and acknowledges the Official Plan as an important document for implementing the policies within the PPS. Policy 4.7 of the PPS states that, "The official plan is the most important vehicle for implementation of this Provincial Policy Statement. Comprehensive, integrated and long-term planning is best achieved through official plans."

## **Provincial Plans**

Provincial Plans are intended to be read in their entirety and relevant policies are to be applied to each situation. The policies of the Plans represent minimum standards. Council may go beyond these minimum standards to address matters of local importance, unless doing so would conflict with any policies of the Plans.

All decisions of Council in respect of the exercise of any authority that affects a planning matter shall be consistent with the PPS and shall conform with Provincial Plans. All comments, submissions or advice affecting a planning matter that are provided by Council shall also be consistent with the PPS and conform with Provincial Plans.

## **The Growth Plan for the Greater Golden Horseshoe (2017)**

The Growth Plan for the Greater Golden Horseshoe (2017) (the "Growth Plan") provides a strategic framework for managing growth and environmental protection in the Greater Golden Horseshoe region, of which the City forms an integral part, including:

- Establishing minimum density targets within strategic growth areas and related policies directing municipalities to make more efficient use of land, resources and infrastructure to reduce sprawl, cultivate a culture of conservation and promote compact built form and better-designed communities with high quality built form and an attractive and vibrant public realm established through site design and urban design standards;
- Directing municipalities to engage in an integrated approach to infrastructure planning and investment optimization as part of the land use planning process;
- Building complete communities with a diverse range of housing options, public service facilities, recreation and green space that better connect transit to where people live and work;
- Retaining viable employment lands and encouraging municipalities to develop employment strategies to attract and retain jobs;
- Minimizing the negative impacts of climate change by undertaking stormwater management planning that assesses the impacts of extreme weather events and incorporates green infrastructure; and
- Recognizing the importance of watershed planning for the protection of the quality and quantity of water and hydrologic features and areas.

The Growth Plan builds upon the policy foundation provided by the PPS and provides more specific land use planning policies to address issues facing the GGH region. The policies of the Growth Plan take precedence over the policies of the PPS to the extent of any conflict, except where the relevant legislation provides otherwise.

In accordance with Section 3 of the Planning Act all decisions of Council in respect of the exercise of any authority that affects a planning matter shall conform with the Growth Plan. Comments, submissions or advice affecting a planning matter that are provided by Council shall also conform with the Growth Plan.

## **Toronto Official Plan**

The Official Plan designates the property as *Mixed Use Areas*, which are made up of a broad range of commercial, residential and institutional uses, in single use or mixed use buildings, as well as parks and open spaces and utilities.

The Plan provides development criteria for *Mixed Use Areas* that include:

- locate and mass new buildings to provide a transition between areas of different development intensity and scale, as necessary to achieve the objectives of this Plan, through means such as providing appropriate setbacks and/or stepping down of heights, particularly towards lower scale *Neighbourhoods*;
- locate and mass new buildings so as to adequately limit shadow impacts on adjacent *Neighbourhoods* particularly during the spring and fall equinoxes;
- provide good site access and circulation and an adequate supply of parking for residents and visitors;
- provide an attractive, comfortable and safe pedestrian environment;
- locate and screen service areas, ramps and garbage storage to minimize the impact on adjacent streets and residences; and
- provide indoor and outdoor recreation space for building residents in every significant multi-unit residential development.

The properties directly to the south are designated *Neighbourhoods* in the Official Plan, which are considered to be physically stable areas. Development in *Mixed Use Areas* adjacent to *Neighbourhoods* is will be compatible with those *Neighbourhoods*.

## **Zoning**

The site is subject to Site-Specific Zoning By-laws 1074-2018 and 1075-2018 which were adopted by City Council on June 26, 27, 28 and 29, 2018. The site-specific by-laws permit the four-storey residential building and set out the development standards for the proposed building including the building envelope, the minimum number of vehicular and bicycle parking spaces, the maximum density and the maximum number of units.

The site specific by-laws can be accessed at the following links:

Site Specific By-law 1074-2018:

<https://www.toronto.ca/legdocs/bylaws/2018/law1074.pdf>

Site Specific By-law 1075-2018:

<https://www.toronto.ca/legdocs/bylaws/2018/law1075.pdf>

## **COMMENTS**

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### **Provincial Policy Statement and Provincial Plans**

The proposal is consistent with the Provincial Policy Statement (PPS) and does not conflict with the Growth Plan for the Greater Golden Horseshoe.

### **Toronto Green Standard**

Council has adopted the four-tier Toronto Green Standard (TGS). The TGS is a set of performance measures for green development. Applications for Zoning By-law Amendments, Draft Plans of Subdivision and Site Plan Control are required to meet and demonstrate compliance with Tier 1 of the Toronto Green Standard. Tiers 2, 3 and 4 are voluntary, higher levels of performance with financial incentives. Tier 1 performance measures are secured on site plan drawings and will be secured through a Site Plan Agreement. The proposal has met Tier 1 of the TGS.

### **Density, Height, Massing**

The site plan application proposes height and massing which match those in Site Specific Zoning By-laws 1074-2018 and 1075-2018.

### **Architectural Design and Landscaping**

The materiality and design of the proposal will be a combination of charcoal and red brick, which is intended to fit into the overall character of the neighbourhood, particularly the historic character of the Riverdale neighbourhood.

Along the Logan Avenue frontage, the building is set back to allow for generous landscaping as well as a 2.1-metre pedestrian clearway. On the south side, where the proposal is adjacent to the backyards of low-rise neighbourhoods, the proposal, in addition to the 6.5 metre building setback, includes a 1.8 metre high wood privacy fence as well as landscaping which includes trees. The combination of building setback, privacy fence, and landscaping provides for a compatible relationship between the proposal and the low-rise neighbourhood to the south in terms of views and privacy.

### **Lane Widening**

A 1.98 metre lane widening will be provided along the east property line where a substandard public lane currently exists. This widening must be conveyed to the City before final site plan approval is issued.

### **Loading Docks**

Conditions of the Site Plan Agreement will require the applicant to provide a fully trained building maintenance person to assist operators of refuse collection vehicles and other large trucks with the back-up manoeuvres to and from the loading space by controlling cyclist, pedestrian and all other vehicular activity in the immediate area. All loading will be conducted inside the building. Access to the loading dock is through a private right-of-way located on the north side of the property (opposite the low-rise neighbourhoods to the south).

## **Parking Access**

Conditions of the Site Plan Agreement will require the applicant to provide a private right-of-way access to the parking elevators. This private right-of-way is located on the north side of the property. In addition to access to the parking elevators, the applicant must maintain an elevator maintenance contract for the car elevator system that guarantees same-day (or expedient) elevator repairs. In addition, users of the vehicular parking spaces may be required to be trained and licensed in order to operate the proposed car elevators, which is a requirement regulated under the Technical Standards and Safety Authority.

## **Functional Servicing, Stormwater, and Groundwater**

McClymont and Rak, Geo Environmental Consultants provided a Geohydrological Assessment dated May 2018. As well, Cole Engineering Group Ltd. provided a Functional Servicing and Stormwater Management Report dated November 2018. Engineering & Construction Services reviewed and are satisfied with the submitted reports. Conditions of the Site Plan Agreement will require that the applicant construct the proposal in accordance with the certified reports and plans accepted by Engineering & Construction Services.

## **Conclusion**

City Planning staff have completed the review of this Site Plan Control Application for 485 Logan Avenue. The proposal is in accordance with the approved site-specific zoning by-laws and consistent with site plan matters to be considered under Section 41 of the Planning Act and Section 114 of the City of Toronto Act. Planning staff recommend approval, in principle, of the proposed Site Plan Control application, subject to the conditions provided in Attachment 3.

## **CONTACT**

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George Pantazis, Planner, Tel. No. 416-392-3566, E-mail: [George.Pantazis@toronto.ca](mailto:George.Pantazis@toronto.ca)

## **SIGNATURE**

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Lynda H Macdonald, Director  
Community Planning, Toronto and East York District

## **ATTACHMENTS**

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### **City of Toronto Data/Drawings**

Attachment 1: Application Data Sheet

Attachment 2: Location Map

Attachment 3: Conditions of Site Plan Approval

## **Applicant Submitted Drawings**

Attachment 4: Site Plan

Attachment 5: North Elevation

Attachment 6: South Elevation

Attachment 7: East Elevation

Attachment 8: West Elevation

Attachment 9: Perspective View



Attachment 1: Application Data Sheet

Municipal Address: 485 Logan Avenue Date Received: December 28, 2017

Application Number: 17 279882 STE 30 SA

Application Type: Site Plan Control Application

Project Description: The applicant proposes to construct a four-storey residential building containing 41 dwelling units. The proposed building would have a gross floor area of 4,175 square metres. The overall height of this building is approximately 14 metres (17 metres including mechanical penthouse) and the proposed density would be 2.3 times the area of the lot.

Applicant	Agent	Architect	Owner
485 Logan Developments Inc.		SRN Architects Inc.	485 Logan Developments Inc.

EXISTING PLANNING CONTROLS

Official Plan Designation:	Mixed Use Areas	Site Specific Provision:	1074-2018 & 1075-2018
Zoning:	CR 2.5 (c1.0; r2.5) SS2 (x1854)	Heritage Designation:	N/A
Height Limit (m):	14	Site Plan Control Area:	Yes

PROJECT INFORMATION

Site Area (sq m): 1886.7 Frontage (m): 39.3 Depth (m): 48

Building Data	Existing	Retained	Proposed	Total
Ground Floor Area (sq m):			1,000	1,000
Residential GFA (sq m):			4,184	4,184
Non-Residential GFA (sq m):			0	0
Total GFA (sq m):			4,184	4,184
Height - Storeys:			4	4
Height - Metres:			14	14

Lot Coverage Ratio (%): 54 Floor Space Index: 2.3

Floor Area Breakdown Above Grade (sq m) Below Grade (sq m)

Residential GFA: 4,184  
 Retail GFA:  
 Office GFA:  
 Industrial GFA:  
 Institutional/Other GFA:

Residential Units by Tenure	Existing	Retained	Proposed	Total
Rental:				
Freehold:				
Condominium:			41	41
Other:				
<b>Total Units:</b>			<b>41</b>	<b>41</b>

**Total Residential Units by Size**

	Rooms	Bachelor	1 Bedroom	2 Bedroom	3+ Bedroom
Retained:					
Proposed:			18	20	3
<b>Total Units:</b>			<b>18</b>	<b>20</b>	<b>3</b>

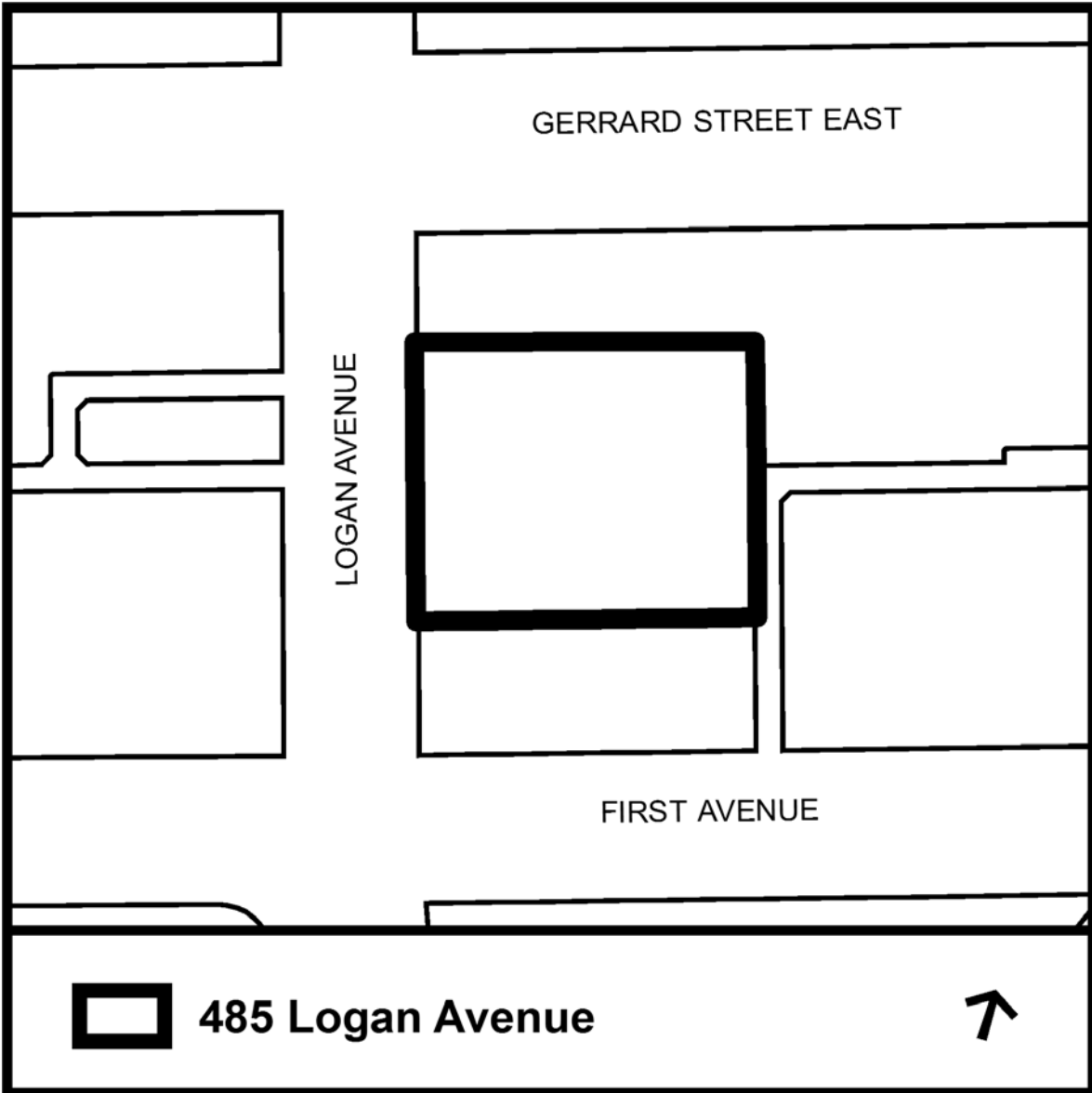
**Parking and Loading**

Parking Spaces: 33      Bicycle Parking Spaces: 42      Loading Docks: 1

**CONTACT:**

George Pantazis, Planner  
 416-392-3566  
 George.Pantazis@toronto.ca

Attachment 2: Location Map



Attachment 3: Conditions of Site Plan Approval

Drawing No.:	Drawing Title:	Prepared By:	Issue Date:
A100	Site Plan	SRN Architects Inc.	August 31, 2018
A200	Underground Garage Plan	SRN Architects Inc.	August 31, 2018
A300	Building Unit Types-1	SRN Architects Inc.	August 31, 2018
A300-1	Building Unit Types-2	SRN Architects Inc.	August 31, 2018
A301	Building Lower Level & Ground Level	SRN Architects Inc.	August 31, 2018
A302	Building Second Level & Third Level	SRN Architects Inc.	August 31, 2018
A303	Building Floor Level & Roof Level	SRN Architects Inc.	August 31, 2018
A400	Building West & North Elevations	SRN Architects Inc.	August 31, 2018
A401	Building South & East Elevations	SRN Architects Inc.	August 31, 2018
A402	Building Streetscape	SRN Architects Inc.	August 31, 2018
A403	Color: Building N, S, E, W Elevations	SRN Architects Inc.	August 31, 2018
A500	Building Section	SRN Architects Inc.	August 31, 2018
A501	Building Section	SRN Architects Inc.	August 31, 2018
L-1	Landscape Plan	MHBC Planning Urban Design & Landscape Architecture	November 27, 2018

L-2	Landscape Details	MHBC Planning Urban Design & Landscape Architecture	November 27, 2018
TI	Tree Inventory, Protection and Removals Plan	MHBC Planning Urban Design & Landscape Architecture	November 27, 2018
SG-01	Site Grading Plan	Cole Engineering Group Ltd.	November 29, 2018
SS-01	Site Servicing Plan	Cole Engineering Group Ltd.	November 29, 2018
EC-01	Erosion Control Plan	Cole Engineering Group Ltd.	November 29, 2018
DD-01	Notes and Details	Cole Engineering Group Ltd.	November 29, 2018
PU-01	Public Utilities Plan	Cole Engineering Group Ltd.	November 29, 2018

## **A. PRE-APPROVAL CONDITIONS**

### **LEGAL SERVICES**

1. The owner shall enter into the City's standard site plan agreement to and including registration of the site plan agreement on title to the subject lands by the City at the owner's expense.

### **CITY PLANNING**

2. The owner shall provide to the Chief Planner and Executive Director a security deposit in the form of an irrevocable Letter of Credit or certified cheque payable to the Treasurer, City of Toronto, in the amount of \$40,000.00 for on-site landscaping.

### **URBAN FORESTRY**

3. The owner is shall submit applications for the relevant tree permits and pay the costs associated with the removal of City and/or private trees through the Tree Loss Payment, Tree Planting Security Deposit and Tree Security Deposit, as appropriate. Payments will be made upon application submission for tree removal. If tree removal applications are approved, owner must satisfy conditions for removal of trees prior to any Urban Forestry clearances.

4. The owner shall submit to the Urban Forestry Supervisor, Tree Protection and Plan Review (TPPR) South (tpprsouth@toronto.ca) a letter/email and photos, from a certified arborist that documents the installed tree protection (hoarding).

5. The owner shall have satisfied all requirements and obtained all required tree permits prior to final site plan approval.

## **ENGINEERING & CONSTRUCTION SERVICES**

6. The owner shall prepare all documents and convey to the City, for nominal consideration, a 1.98 m wide strip of land along the east limit of the site abutting the public lane, to a minimum depth of 1.2 m from finished grade, together with a right of support, such lands to be free and clear of all encumbrances, save and except for utility poles, and subject to a right-of-way for access purposes in favor of the Grantor until such time as the said lands have been dedicated for public highway or lane widening purposes, all to the satisfaction of the Chief Engineer & Executive Director, Engineering & Construction Services and the City Solicitor.

7. The owner shall submit a Draft Reference Plan of Survey to the Chief Engineer & Executive Director, Engineering & Construction Services, for review and approval prior to depositing in the Land Registry Office. The plan must:

a. be in metric units and integrated to the 1983 North American Datum (Canadian Spatial Reference System and the 3° Modified Transverse Mercator Projection);

b. delineate by separate PARTS the lands to be conveyed to the City identified in Pre-Approval Condition 6 above, the remainder of the site, and any appurtenant rights-of-way or easements; and

c. show the coordinate values of the main corners of the subject lands in a schedule on the face of the plan.

8. The owner shall pay all costs for the preparation and registration of Reference Plan(s).

9. The owner shall pay all costs associated with the City retaining a third-party peer reviewer including all administrative costs to the City (7%), and submit an initial deposit of \$8,000.00 towards the cost of the Peer Review in the form of a certified cheque (made payable to Treasurer, City of Toronto), to the Chief Engineer & Executive Director, Engineering & Construction Services. The owner shall submit further deposits when requested to cover all costs of retaining a third-party peer reviewer (unused funds will be refunded to the owner by the City).

10. The owner shall submit, to the satisfaction of the City's peer reviewer, all Environmental Site Assessment reports prepared in accordance with O. Reg. 153/04, as amended, describing the current conditions of the land to be conveyed to the City and the proposed Remedial Action Plan based on the site condition standards approach, to the Chief Engineer & Executive Director, Engineering & Construction Services.

11. The owner shall, at the completion of the site assessment/remediation process, submit a statement from the Qualified Person based on the submitted environmental documents, to the Chief Engineer & Executive Director, Engineering & Construction Services for Peer Review and concurrence, which states:

a. in the opinion of the Qualified Person:

i. it is either likely or unlikely that there is off-site contamination resulting from past land uses on the development site that has migrated onto adjacent City lands that would exceed the applicable Site Condition Standards; and

ii. to the extent that the opinion in Pre-Approval Condition 11 a. i. is that past migration is likely, it is either possible or unlikely that such off-site contamination on adjacent City lands poses an adverse effect to the environment or human health.

b. Land to be conveyed to the City meets either:

i. the applicable Ministry Generic Site Condition Standards (Tables 1, 2, 3, 6, 7, 8 and 9; subject to applicable exemptions as stated in O. Reg. 153/04) for the most environmentally sensitive adjacent land use; or

ii. the Property Specific Standards as approved by the Ministry for a Risk Assessment/Risk Management Plan which was conducted in accordance with the conditions set out herein.

12. The owner's Qualified Person's statement referenced in Condition 11 shall include a Reliance Letter that is dated and signed by the owner's Qualified Person, as defined in O. Reg. 153/04, as amended, confirming that both the City and the City's peer reviewer can rely on the environmental documentation submitted, consistent with O. Reg. 153/04 requirements, and the Qualified Person's opinion as to the conditions of the site; all environmental documentation consistent with O. Reg. 153/04 requirements and opinions shall be submitted with reliance extended to the City and its peer reviewer and any limitation on liability and indemnification is to be consistent with O. Reg. 153/04, as amended, insurance requirements or such greater amount specified by the Chief Engineer & Executive Director, Engineering & Construction Services.

13. For the conveyance of lands requiring a Record of Site Condition, the owner shall:

a. file the Record of Site Condition on the Ontario Environmental Site Registry; and

b. submit the Ministry's Letter of Acknowledgement of Filing of the RSC confirming that the RSC has been prepared and filed in accordance with O. Reg. 153/04, as amended, to the Chief Engineer & Executive Director, Engineering & Construction Services.

14. The owner shall convey a Public Pedestrian Sidewalk Easement in perpetuity, as may be required in consultation with City Legal and City Planning, to secure the 2.1 metre wide pedestrian clearway on Logan Avenue, such lands to be free and clear of all encumbrances including the intake grate. The owner shall submit for review a draft Strata Reference Plan of Survey prior to it being deposited into the Land Registry Office, and such plan shall be in metric units and integrated with the Ontario Co-ordinate System and delineate thereon by separate Parts, the lands to be subject to the Public Pedestrian Sidewalk Easement required in this Pre-Approval Condition, easements of support rights, and the remainder of the site.

15. The owner shall obtain all necessary exemptions, in the form of a discharge agreement or permit issued in accordance with Section 6 of Chapter 681 of the City of Toronto Municipal Code, to allow the discharge of Private Water to a City sewer which is otherwise prohibited under Chapter 681 ("Discharge Agreements"), to the satisfaction of the General Manager, Toronto Water, and shall be in good standing under any such Discharge Agreements.

16. The owner shall submit an application to Toronto Water, Environmental Monitoring & Protection, for:

- a. any short-term construction dewatering that may be required; and
- b. any permanent dewatering system that is required for the building;

and enter into an agreement and/or permit to discharge groundwater as required by the General Manager, Toronto Water.

## **METROLINX**

17. The owner shall grant Metrolinx an environmental easement for operational emissions, registered on title against the subject residential dwellings in favour of Metrolinx.

## **B. POST APPROVAL CONDITIONS**

### **URBAN FORESTRY**

1. The owner must submit to the Urban Forestry Supervisor TPPR South, notice and documentation of the construction of the Continuous Tree Pits or Soil Cell Pits in the form of a report. Notice must be submitted one week prior to the start of construction of the pits. Documentation of each step of the construction of the pits should include photographs and other records of the various stages. The stages can include (but shall not be limited to) base preparation, framing, pouring of concrete, addition of soil, and tree planting. Upon conclusion, the documentation must be submitted to Urban Forestry (tpprsouth@toronto.ca).

2. The owner must submit to the Urban Forestry Supervisor, TPPR South, documentation of the soil for the soft landscaping sodded area, the tree pits, tree trench



or Soil Cell pits in the form of a report. Documentation should include records of the soil provided. Upon conclusion, the documentation must be submitted to Urban Forestry (tpprsouth@toronto.ca).

3. The owner must submit to the Urban Forestry Supervisor, TPR South (tpprsouth@toronto.ca) a letter/email and photos from a certified arborist that document site conditions (such as condition of the tree protection or any tree issues). The letter should be submitted once construction has begun and then every six month thereafter.

4. The site shall be developed and maintained in accordance with the approved plans and conditions of approval associated with the Site Plan, Grading Plan, Site Servicing Plan, Landscape Plan, Building Permit and Tree Permit(s)/Approvals. Any proposed revisions/alterations to the approved plans or permits that affect trees must be approved by Urban Forestry in writing, on behalf of the General Manager of Parks, Forestry & Recreation.

### **ENGINEERING & CONSTRUCTION SERVICES**

5. The owner shall remove all existing accesses, curb cuts, and traffic control sign(s) along the development site frontage that are no longer required and reinstate the curb, gutter and boulevard within the City's right-of-way, in accordance with City standards and to the satisfaction of the Chief Engineer & Executive Director, Engineering & Construction Services.

6. The owner shall provide and designate a fully trained building maintenance person to assist operators of refuse collection vehicles and other large trucks with the backup maneuvers to and from the loading space by controlling cyclist, pedestrian, and all other vehicular activity in the immediate area.

7. The owner shall provide and maintain convex mirrors at all right-angled turns within the underground parking garage, and position them in such a manner as to give all motorists clear views of oncoming traffic.

8. The owner shall provide and maintain "No Parking" signs adjacent to the proposed loading space.

9. The owner shall provide and maintain an on-site warning light system at the exit from the parking elevators to alert drivers when large trucks are maneuvering within the surface driveway.

10. The owner shall construct any Type G loading space and all driveways and passageways providing access thereto to the requirements of the Ontario Building Code, including allowance for City of Toronto bulk lift and rear bin loading with impact factors where they are to be built as supported structures.

11. The owner agrees that the use of elevating devices are regulated by the Technical Standards and Safety Authority (TSSA) and limited to licensed operators only, and therefore, future users of the underground resident parking spaces that are

proposed for this project may be required to be trained and licensed in order to operate the proposed car elevators.

12. The owner shall indicate that the condominium documentation will include car size restrictions/interior dimensions of car elevator so that purchasers are advised that not all popular models of car/minivan/SUV can be accommodated in the car elevators.

13. The owner shall maintain an elevator maintenance contract for the car elevator system that guarantees same-day (or expedient) elevator repairs.

14. The owner shall provide certification to the Chief Engineer & Executive Director, Engineering & Construction Services from the architect who designed the building to confirm that all solid waste management facilities have been constructed in accordance with the approved site plan drawings.

15. The owner shall submit a letter certified by a Professional Engineer that in all cases where a collection vehicle is required to drive onto or over a supported structure (such as an underground parking garage) the structure can safely support a fully loaded collection vehicle (35,000 kilograms) and conforms to the following:

a. Design Code - Ontario Building Code;

b. Design Load - City bulk lift vehicle in addition Building Code requirements;  
and

c. Impact Factor - 5% for maximum vehicular speeds to 15 km/h and 30% for higher speeds.

16. In respect to the Public Pedestrian Sidewalk Easement identified in Pre-Approval Condition 14, the owner shall execute an agreement, binding the successors on title, to:

a. provide and maintain a differential pavement treatment over the portion of the pedestrian clearway on private property and the public lands;

b. indemnify the City, its officers, employees, agents and other representatives, from and against all actions, suits, claims, or demands and from all loss, costs, damages, charges and expenses that may result from the construction of the parking garage beneath the pedestrian easement but not limited to salt damage;

c. ensure that the Lands are paved with materials suitable for pedestrian use and at elevations compatible with the adjoining sidewalk;

d. ensure that the lands are open and accessible to the general public 24 hours a day, seven days a week such that the public has the right to use the lands as a public walkway;

e. ensure that these lands, are kept reasonably clear of rubbish, run-off, water, snow, ice and obstructions on all hard surfaces;

f. ensure that the lands are constructed in a manner acceptable to the Chief Engineer & Executive Director, Engineering and Construction Services, and maintained in accordance with the City of Toronto's standard for public sidewalks and/or to such standard as is reasonably required by the Chief Engineer & Executive Director, Engineering and Construction Services;

g. include additional and/or modified conditions as the City Solicitor may deem necessary in the interests of the Corporation including, but not limited to, insurance provisions.

17. The owner shall construct and maintain stormwater management measures/facilities and site grading as recommended in the accepted stormwater management report (dated November 2018 and prepared by Cole Engineering Group Ltd.) and site grading plan (issue dated November 29, 2018 and prepared by Cole Engineering Group Ltd.).

18. The owner shall construct and maintain site servicing as indicated on the accepted site servicing plan (issue dated November 29, 2018 and prepared by Cole Engineering Group Ltd.).

19. The owner shall provide certification to the Chief Engineer & Executive Director, Engineering & Construction Services from the Professional Engineer who designed and supervised the construction confirming that the stormwater management facilities and site grading have been constructed in accordance with the accepted stormwater management report (dated November 2018 and prepared by Cole Engineering Group Ltd.) and site grading plan (issue dated November 29, 2018 and prepared by Cole Engineering Group Ltd.).

20. The owner shall provide certification to the Chief Engineer & Executive Director, Engineering & Construction Services from the Professional Engineer who designed and supervised the construction, confirming that the site servicing facilities have been constructed in accordance with the accepted drawings.

## **ENERGY EFFICIENCY OFFICE**

21. The owner shall construct and maintain the development substantially in accordance with the accepted Energy Report dated February 6, 2018 and prepared by Clearsphere Consulting to ensure that the energy savings identified continue to be achieved.

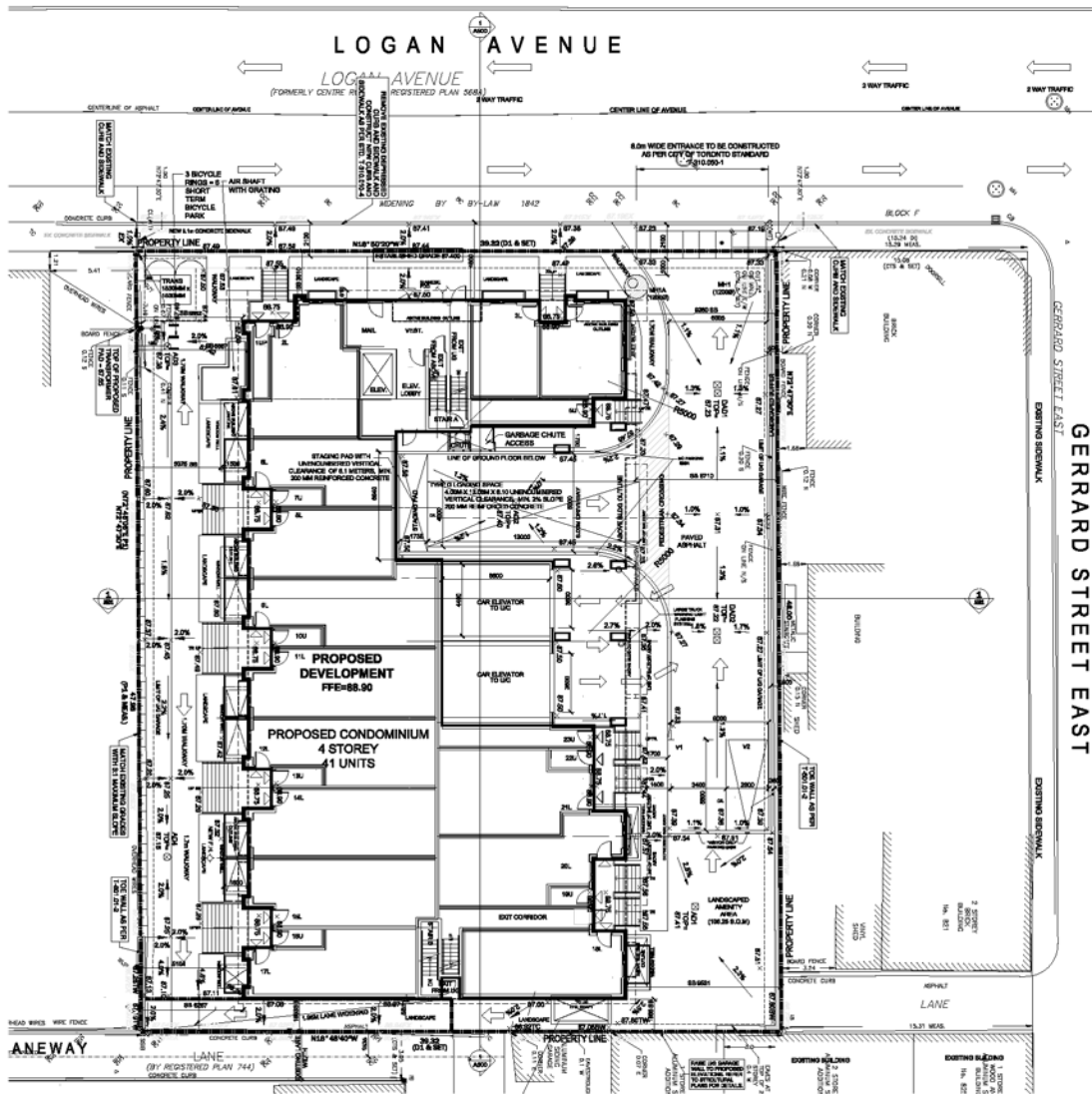
## **METROLINX**

22. The owner shall insert the following warning clause in all development agreements, offers to purchase and agreements of Purchase and Sale or Lease of each dwelling unit within 300 metres of the railway right-of-way:

Warning: Metrolinx, carrying on business as GO Transit, and its assigns and successors in interest has or have a right-of-way within 300 metres from the land the subject hereof. There may be alterations to or expansions of the rail facilities on such right-of-way in the

future including the possibility that GO Transit or any railway entering into an agreement with GO Transit to use the right-of-way or their assigns or successors as aforesaid may expand their operations, which expansion may affect the living environment of the residents in the vicinity, notwithstanding the inclusion of any noise and vibration attenuating measures in the design of the development and individual dwelling(s). Metrolinx will not be responsible for any complaints or claims arising from use of such facilities and/or operations on, over or under the aforesaid right-of-way.

Attachment 4: Site Plan



Site Plan

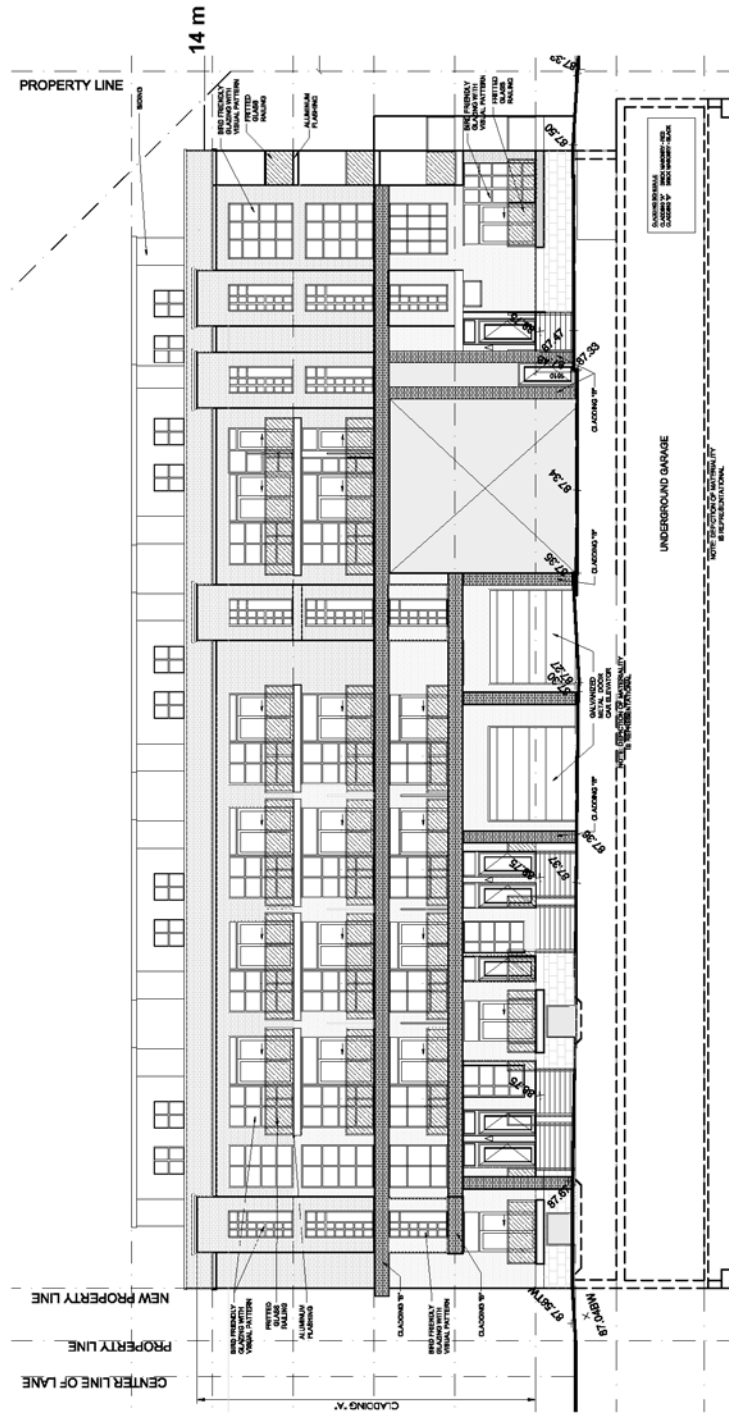
Applicant's Submitted Drawing

Not to Scale  
03/19/2019

485 Logan Avenue

File # 17 279882 STE 30 OZ

Attachment 5: North Elevation



485 Logan Avenue

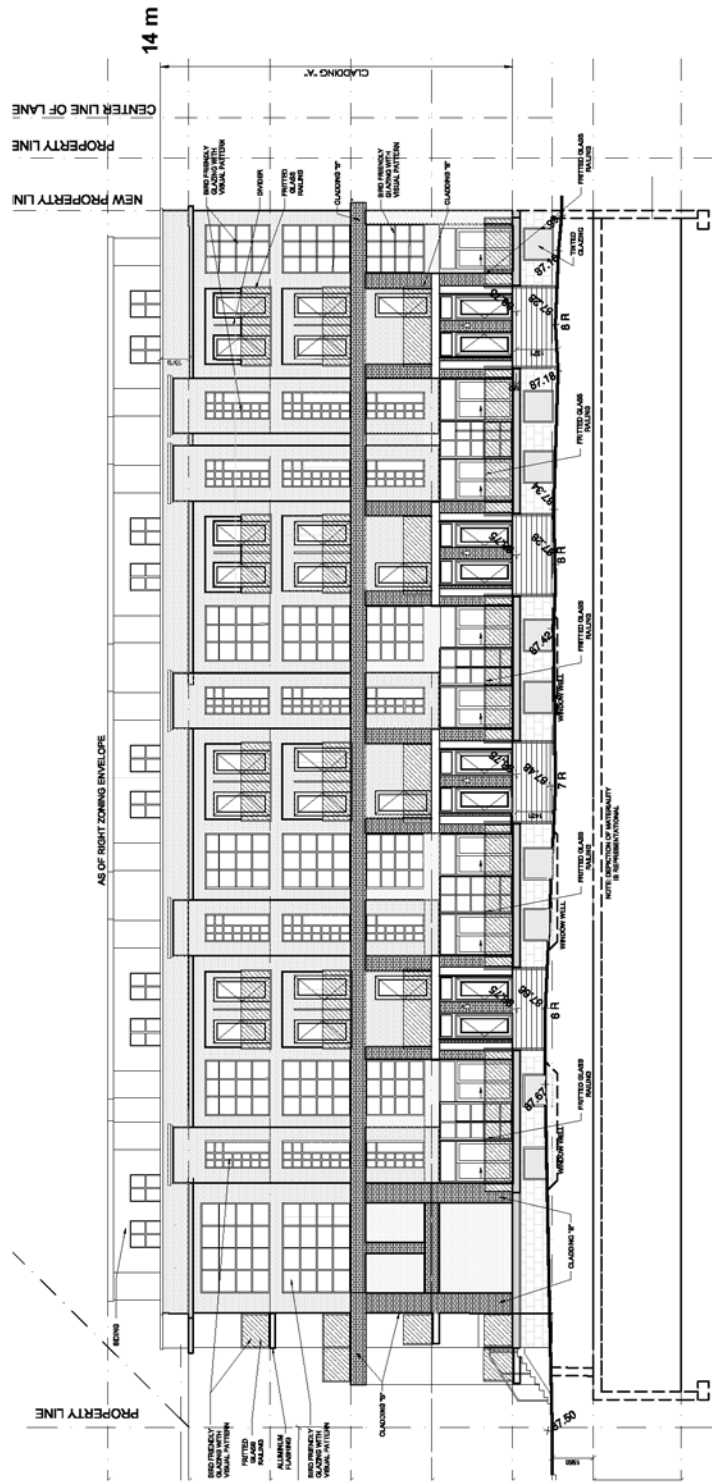
File # 17 279882 STE 30 SA

North Elevation

Applicant's Submitted Drawing

Not to Scale  
DA(M)2019

Attachment 6: South Elevation



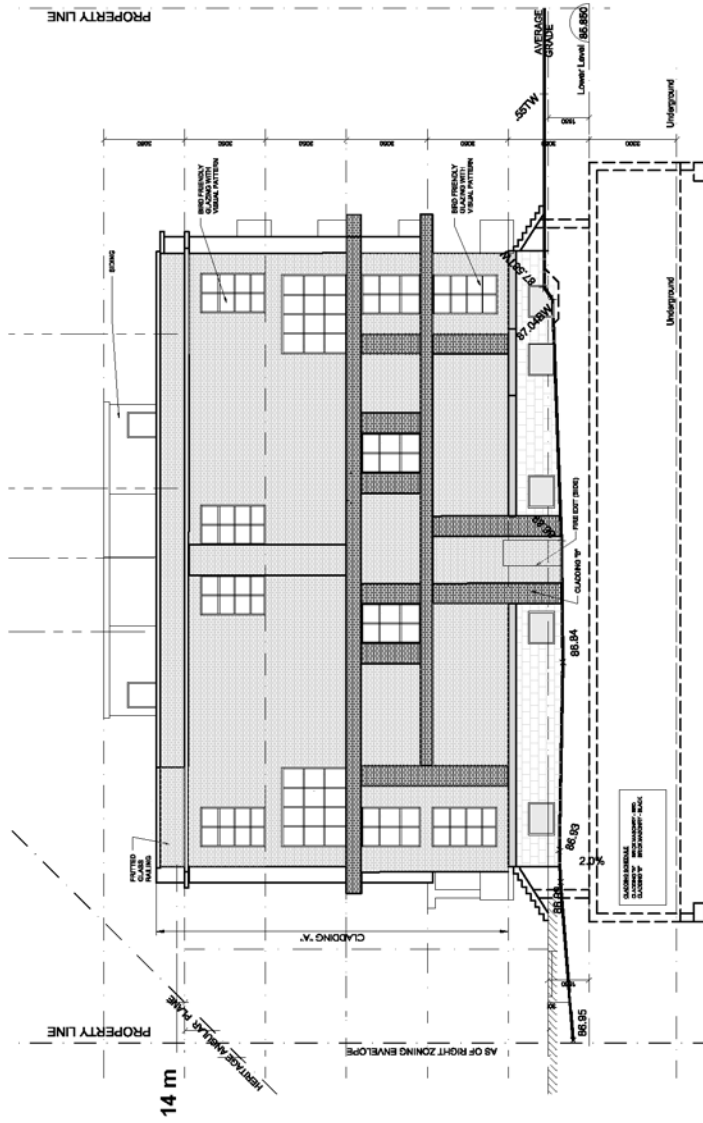
485 Logan Avenue

File # 17 279882 STE 30 SA

South Elevation  
 Applicant's Submitted Drawing

Not to Scale  
 DA(MO)2019

Attachment 7: East Elevation



485 Logan Avenue

File # 17 279882 STE 30 SA

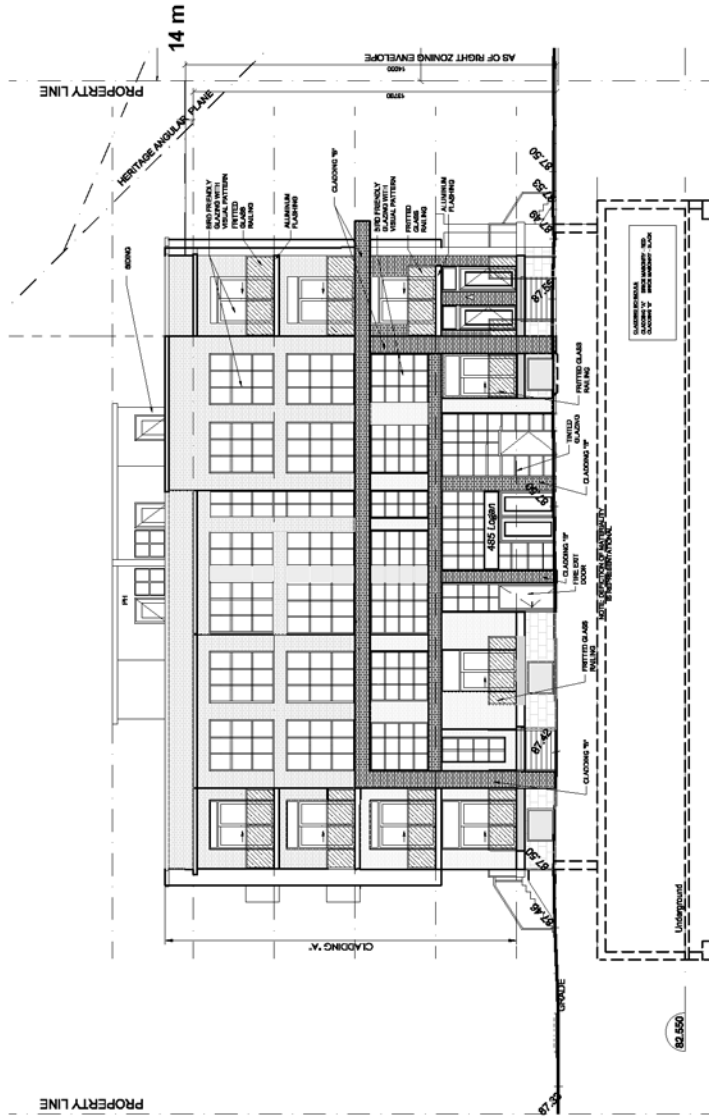
East Elevation

Applicant's Submitted Drawing

Not to Scale  
DA/MO/2019



Attachment 8: West Elevation



**West Elevation**

Applicant's Submitted Drawing

Not to Scale  
DA/MO/2019

**485 Logan Avenue**

File # 17 279882 STE 30 SA

Attachment 9: Perspective View



**Perspective View of Application**  
Applicant's Submitted Drawing  
Not to Scale  
19/03/2019

**485 Logan Avenue**

File # 17 279882 STE 30 SA