

# 1. OVERALL PROPOSED MIXED-USE DEVELOPMENT PROJECT STATISTICS

| SITE STATISTICS AND PROJECT DATA   |  |                          |                                    |                            |                    |
|--|--|--------------------------|------------------------------------|----------------------------|--------------------|
| <b>USE AND SITE</b>  |  |                          |                                    |                            |                    |
| Existing Use:  | Commercial / Retail  |                          |                                    |                            |                    |
| Proposed Use:  | Mixed-Use  |                          |                                    |                            |                    |
| <b>LOT AREA AND FSI BASED ON OVERALL SITE AND GFA</b>  |  |                          |                                    |                            |                    |
| <b>LOT AREA AND FSI BASED ON OVERALL SITE AND GFA (S69-2013 AS AMENDED)</b>  |  |                          |                                    |                            |                    |
| Total Lot Area*:   | 86,877 (m <sup>2</sup> )   | 935,135 (sq ft)          | 8.69 (ha)                          |                            |                    |
| *Total Lot Area as per Subject Property Area Drawing by David B. Searles Surveying Ltd dated November 01, 2018.                  |  |                          |                                    |                            |                    |
| Floor Space Index (FSI) per Total Lot Area & Total GFA   | 1.72   |                          |                                    |                            |                    |
| <b>LOT AREA AND FSI BASED ON DEVELOPMENT SITES AND DEVELOPMENT SITE GFA (S69-2013 AS AMENDED)</b>                                |  |                          |                                    |                            |                    |
| Total Lot Area of Development Sites  | 33,926 (m <sup>2</sup> )   | 365,176 (sq ft)          | 3.39 (ha)                          |                            |                    |
| Development Site Area:   | North Site   | 18,248 (m <sup>2</sup> ) | 196,420 (sq ft)                    | 1.82 (ha)                  |                    |
| (as identified in Sept 26 2019 issue)  | South Site   | 15,678 (m <sup>2</sup> ) | 168,756 (sq ft)                    | 1.57 (ha)                  |                    |
| Floor Space Index (FSI) per Site:  | North Site   | 2.2                      |                                    |                            |                    |
|  | South Site   | 4.9                      |                                    |                            |                    |
| Lot Frontage per Site:   | North Site   | 293 (m)                  | 960.30 (ft)                        |                            |                    |
|  | South Site   | 193 (m)                  | 632.22 (ft)                        |                            |                    |
| <b>NUMBER OF BUILDINGS:</b>  |  |                          |                                    |                            |                    |
| Existing Restaurant (formerly Origin North)  | one (1) single-storey  |                          |                                    |                            |                    |
| Existing Shopping Centre   | one (1) single-storey with 2-storey portion at north of existing building  |                          |                                    |                            |                    |
| Proposed Mixed-Use Development at North Site   | two (2) single-storey connecting to existing shopping centre, two (2) 6-storey, and one (1) 20-storey with stepped podium connecting to existing shopping centre |                          |                                    |                            |                    |
| Proposed Commercial Parkade at South Site  | one (1) 5-storey   |                          |                                    |                            |                    |
| Proposed Mixed-Use Development at South Site   | one (1) 30-storey and one (1) 29-storey on one (1) podium  |                          |                                    |                            |                    |
| <b>GROSS FLOOR AREA</b>  |  |                          |                                    |                            |                    |
| <b>Based on By-law S69-2013 as amended</b>   |  |                          |                                    |                            |                    |
| <b>EXISTING</b>  |  |                          |                                    |                            |                    |
| Existing Restaurant (formerly Origin North)  | 1,723 (m <sup>2</sup> )  | 18,546 (sq ft)           |                                    |                            |                    |
| Existing non-residential (shopping centre)   | 35,792 (m <sup>2</sup> )   | 385,262 (sq ft)          |                                    |                            |                    |
| Proposed portion of Existing Shopping Centre to be demolished  | -4,307 (m <sup>2</sup> )   | -46,213 (sq ft)          |                                    |                            |                    |
| New vestibule at existing roof level of SW entry portal  | 80 (m <sup>2</sup> )   | 861 (sq ft)              |                                    |                            |                    |
| Existing residential   | n/a (m <sup>2</sup> )  | n/a (sq ft)              |                                    |                            |                    |
| <b>SUBTOTAL</b>  | <b>32,688 (m<sup>2</sup>)</b>  | <b>351,851 (sq ft)</b>   |                                    |                            |                    |
| <b>PROPOSED MIXED-USE DEVELOPMENT AT NORTH SITE</b>  |  |                          |                                    |                            |                    |
| Proposed non-residential at North  | 8,794 (m <sup>2</sup> )  | 94,658 (sq ft)           |                                    |                            |                    |
| Proposed residential at North  | 30,761 (m <sup>2</sup> )   | 331,109 (sq ft)          |                                    |                            |                    |
| <b>NORTH SITE</b>  | <b>39,555 (m<sup>2</sup>)</b>  | <b>425,766 (sq ft)</b>   |                                    |                            |                    |
| <b>PROPOSED COMMERCIAL PARKADE AT SOUTH SITE</b>   |  |                          |                                    |                            |                    |
| Proposed stand-alone Commercial Parkade at South   | 10,965 (m <sup>2</sup> )   | 118,026 (sq ft)          |                                    |                            |                    |
| <b>SUBTOTAL</b>  | <b>10,965 (m<sup>2</sup>)</b>  | <b>118,026 (sq ft)</b>   |                                    |                            |                    |
| <b>PROPOSED MIXED-USE DEVELOPMENT AT SOUTH SITE</b>  |  |                          |                                    |                            |                    |
| Proposed non-residential at South  | 5,781.81 (m <sup>2</sup> )   | 62,225 (sq ft)           |                                    |                            |                    |
| Proposed residential at South  | 50,434.90 (m <sup>2</sup> )  | 542,877 (sq ft)          |                                    |                            |                    |
| Proposed Above Ground Commercial Parking at South  | 9,910.64 (m <sup>2</sup> )   | 106,677 (sq ft)          |                                    |                            |                    |
| <b>SOUTH SITE</b>  | <b>66,127.35 (m<sup>2</sup>)</b>   | <b>711,789 (sq ft)</b>   |                                    |                            |                    |
| <b>GFA TOTAL Non-residential</b>   | <b>68,139 (SM)</b>   | <b>733,447 (SF)</b>      |                                    |                            |                    |
| <b>GFA TOTAL Residential</b>   | <b>81,196 (SM)</b>   | <b>873,985 (SF)</b>      |                                    |                            |                    |
| <b>GFA TOTAL</b>   | <b>149,335 (SM)</b>  | <b>1,607,432 (SF)</b>    |                                    |                            |                    |
| <b>BUILDING HEIGHT (FROM ESTABLISHED GRADE TO TOP OF ROOFING)* *Excluding Parapets and Mechanical Penthouse</b>                  |  |                          |                                    |                            |                    |
|  |  |                          | Established                        | Grade                      |                    |
| Proposed Mixed-use Development at North Site - 6-storey  | 22.37 (m)  | 73.39 (ft)               | 174.50                             |                            |                    |
| Proposed Mixed-use Development at North Site - Tower   | 65.27 (m)  | 214.14 (ft)              | 174.50                             |                            |                    |
| Proposed Mixed-use Development at North Site - 1-storey  | 5.60 (m)   | 18.37 (ft)               | 174.50                             |                            |                    |
| Proposed Commercial Parkade at South Site  | 12.48 (m)  | 40.94 (ft)               | 179.40                             |                            |                    |
| Proposed Mixed-use Development at South Site - Tower A (30-storeys)  | 108.10 (m)   | 354.66 (ft)              | 179.40                             |                            |                    |
| Proposed Mixed-use Development at South Site - Tower B (29-storeys)  | 104.40 (m)   | 342.52 (ft)              | 179.40                             |                            |                    |
| <b>RESIDENTIAL UNIT TYPE AND MIX</b>   |  |                          |                                    |                            |                    |
| <b>North Development Site</b>  |  |                          | <b>South West Development Site</b> |                            |                    |
| # of Units   | Mix %  |                          | # of Units                         | Mix %                      |                    |
| Studio   | 7  | 2%                       | 7                                  | 2%                         |                    |
| 1B   | 122  | 35%                      | 122                                | 35%                        |                    |
| 1B+Den   | 33   | 10%                      | 33                                 | 10%                        |                    |
| 2B   | 94   | 27%                      | 94                                 | 27%                        |                    |
| 2B+Den   | 45   | 13%                      | 45                                 | 13%                        |                    |
| 3B   | 44   | 13%                      | 44                                 | 13%                        |                    |
| <b>TOTAL</b>   | <b>345</b>   | <b>100%</b>              | <b>TOTAL</b>                       | <b>685</b>                 | <b>100%</b>        |
| <b>AMENITY SPACE (Required ratio of 1.5 sm / unit for each Indoor Space and Outdoor Space)</b>                                   |  |                          |                                    |                            |                    |
| <b>North</b>   |  |                          | <b>South</b>                       |                            |                    |
| Indoor   | Proposed (sm)  | Required (sm)            | Indoor                             | Proposed (sm)              | Required (sm)      |
| Roof level of 6-storey buildings   | 239  | 239                      | Floor 4                            | 92                         | 92                 |
| 2nd level of Tower   | 279  | 279                      | Floor 6                            | 362                        | 362                |
|  |  |                          | Tower B Roof                       | 297                        | 297                |
|  |  |                          | Tower A Roof                       | 281                        | 281                |
| <b>TOTAL INDOOR</b>  | <b>518</b>   | <b>518</b>               | <b>TOTAL INDOOR</b>                | <b>1,032</b>               | <b>1,028</b>       |
| <b>TOTAL OUTDOOR</b>   | <b>518</b>   | <b>518</b>               | <b>TOTAL OUTDOOR</b>               | <b>1,033</b>               | <b>1,028</b>       |
| <b>PARKLAND</b>  |  |                          |                                    |                            |                    |
| <b>North</b>   |  |                          | <b>South</b>                       |                            |                    |
| At NE corner of Tower  | Proposed (m <sup>2</sup> )   | 3,725 (sm)               | At East of SW Development          | Proposed (m <sup>2</sup> ) | 1,021 (sm)         |
|  | 40,096   | 3,725                    |                                    | 10,990                     | 1,021              |
| <b>TOTAL</b>   | <b>40,096</b>  | <b>3,725</b>             | <b>TOTAL</b>                       | <b>10,990</b>              | <b>1,021</b>       |
| <b>PROPOSED SUPPLY FOR VEHICULAR AND BICYCLE PARKING (REFER TO TRANSPORTATION REPORT BY BA GROUP FOR ADDITIONAL INFORMATION)</b> |  |                          |                                    |                            |                    |
| <b>VEHICULAR PARKING SUPPLY</b>  |  |                          | <b>BICYCLE PARKING SUPPLY</b>      |                            |                    |
|  | Required   | Proposed                 | Net                                | Required Long Term         | Proposed Long Term |
| <b>SHOPPING CENTRE &amp; SURFACE PARKING</b>   | 1,264  | 912                      | -352                               | 43                         | 0                  |
| <b>NORTH SITE</b>  |  |                          |                                    |                            |                    |
| Non-residential  | 343  | 456                      | 113                                | 11                         | 60                 |
| Residential  | 281  | 277                      | -4                                 | 236                        | 28                 |
| <b>SOUTH SITE</b>  |  |                          |                                    |                            |                    |
| Non-residential  | 58   | 294                      | 236                                | 8                          | 8                  |
| Residential  | 540  | 540                      | 0                                  | 466                        | 2                  |
| <b>NEW COMMERCIAL PARKADE</b>  | 0  | 233                      | 233                                | 0                          | 0                  |
| <b>TOTAL</b>   | <b>2,486</b>   | <b>2,712</b>             | <b>226</b>                         | <b>764</b>                 | <b>839</b>         |
| <b>PROPOSED SUPPLY FOR LOADING (REFER TO TRANSPORTATION REPORT BY BA GROUP FOR ADDITIONAL INFORMATION)</b>                       |  |                          |                                    |                            |                    |
| <b>LOADING TYPE</b>  |  |                          |                                    |                            |                    |
|  | TYPE A   | TYPE B                   | TYPE C                             | TYPE G                     | COMPACTOR          |
| <b>SHOPPING CENTRE</b>   |  |                          |                                    |                            |                    |
| Required (By Law No. 7625)   | 0  | 0                        | 0                                  | 0                          | 0                  |
| Proposed   | 3  | 3                        | 0                                  | 0                          | 1                  |
| <b>NORTH SITE</b>  |  |                          |                                    |                            |                    |
| Required (By-law S69-2013)   | 1  | 3                        | 0                                  | 1                          | 0                  |
| Proposed   | 0  | 3                        | 0                                  | 1                          | 1                  |
| <b>SOUTH SITE</b>  |  |                          |                                    |                            |                    |
| Required (By-law S69-2013)   | 0  | 3                        | 1                                  | 1                          | 0                  |
| Proposed   | 0  | 2                        | 0                                  | 1                          | 0                  |
| <b>TOTAL REQUIREMENT</b>   | <b>1</b>   | <b>6</b>                 | <b>1</b>                           | <b>2</b>                   | <b>0</b>           |
| <b>TOTAL PROPOSED SUPPLY</b>   | <b>3</b>   | <b>8</b>                 | <b>0</b>                           | <b>2</b>                   | <b>2</b>           |



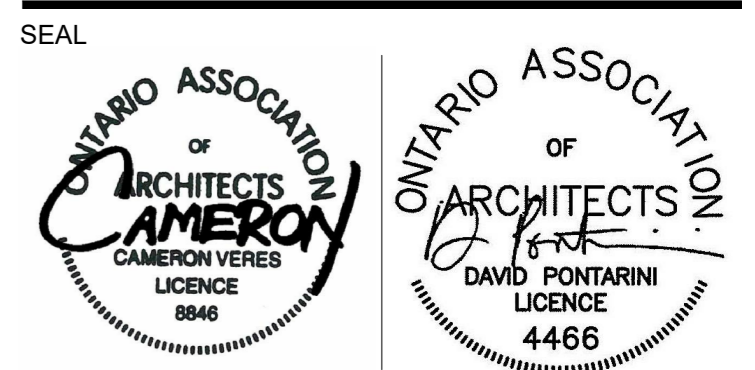
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4 APR 22, 2020 SUBMISSION  
 3 JAN 22, 2020 SUBMISSION  
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**KEYPLAN**



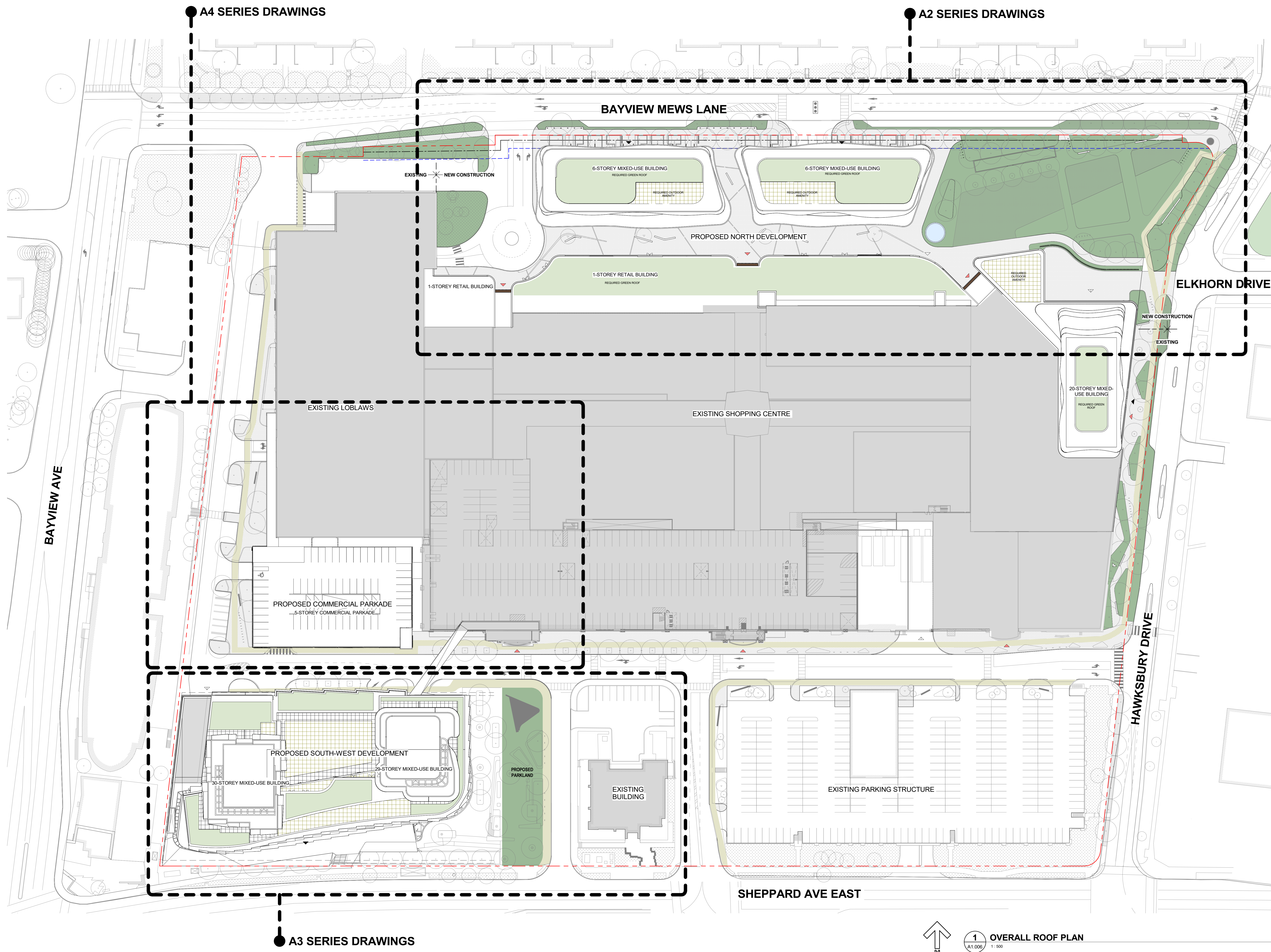
**BAYVIEW VILLAGE MIXED-USE DEVELOPMENT**

2901 BAYVIEW AVENUE, TORONTO, ON M2K 1E6

OVERALL PROJECT STATISTICS - ALL DEVELOPMENT SITE

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**A1.005B**



A4 SERIES DRAWINGS

A2 SERIES DRAWINGS

A3 SERIES DRAWINGS



ISSUED FOR

- SITE PLAN LEGEND**
- PROPERTY LINE
  - RIGHT OF WAY
  - SETBACK
  - GREEN ROOF
  - OUTDOOR AMENITY SPACE
  - PARKLAND

- ▼ MAIN ENTRANCE TO RESIDENCE
- ▼ MAIN ENTRANCE TO SHOPPING CENTRE
- ▼ MAIN ENTRANCE TO OFFICE
- ▼ MAIN ENTRANCE TO LOADING AREA

**GENERAL NOTES**

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- PLEASE SEE A1.006 SERIES FOR ALL PROJECT STATISTICS, BUILDING STOREYS, BUILDING HEIGHTS, AND ALL OTHER INFORMATION.
- PLEASE REFER TO SITE PLAN FOR EACH ZONE FOR SPECIFIC DIMENSIONS AND INFORMATION.

|   |              |                                |
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| 4 | APR 22, 2020 | SUBMISSION                     |
| 3 | JAN 22, 2020 | SUBMISSION                     |
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**DIALOG<sup>®</sup>**  
**HARIRI PONTARINI**  
**ARCHITECTS**

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**KEYPLAN**



**BAYVIEW VILLAGE**  
**MIXED-USE**  
**DEVELOPMENT**  
 2901 BAYVIEW AVENUE, TORONTO, ON M2K 1E6

OVERALL ROOF PLAN - ALL DEVELOPMENT SITE

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**A1.006**

↑  
**1** OVERALL ROOF PLAN  
 A1.006 1:500



## NORTH DEVELOPMENT SITE

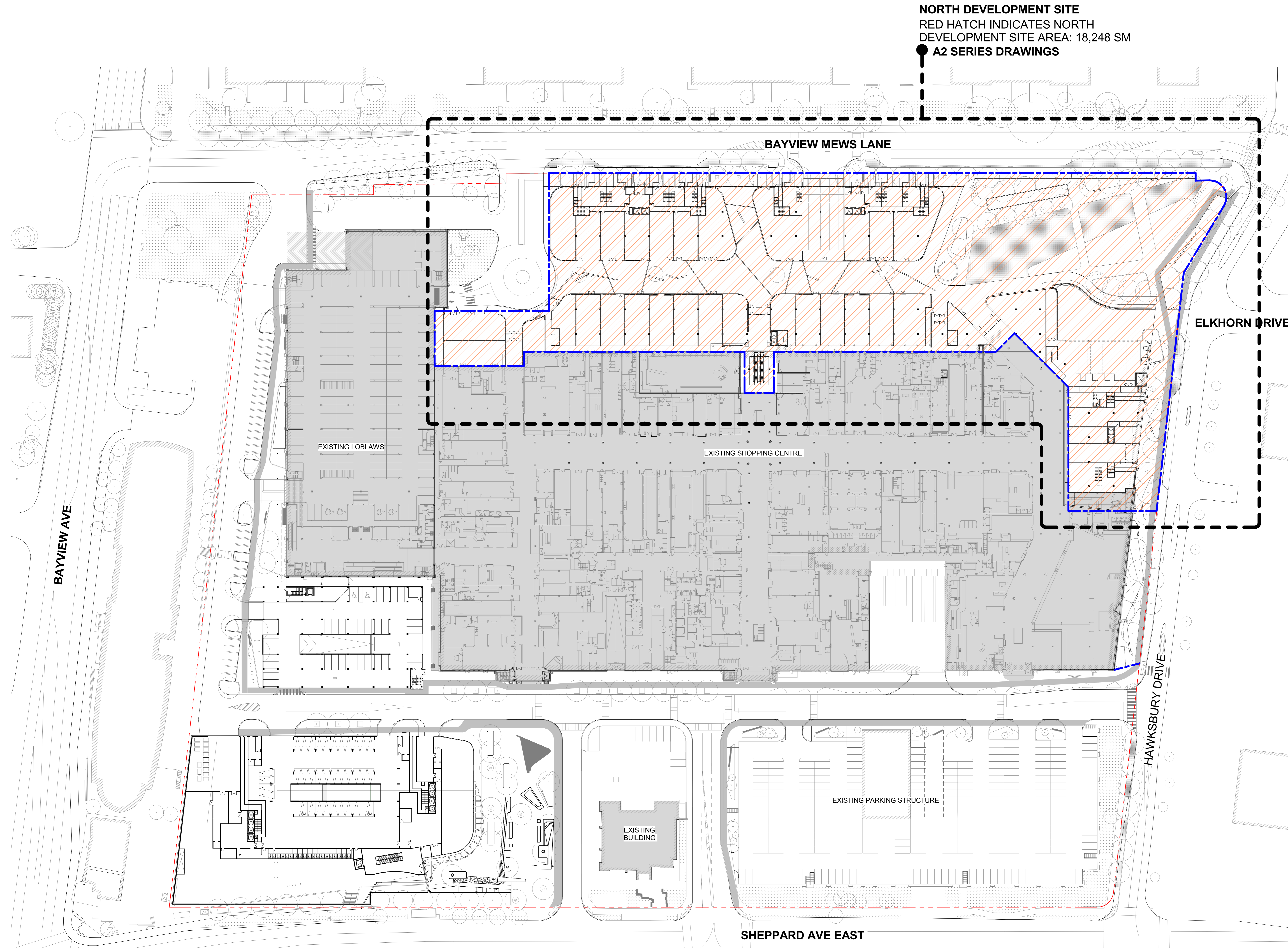
# BAYVIEW VILLAGE MIXED-USE DEVELOPMENT

## PROPOSED MIXED-USE DEVELOPMENT

SUBMISSION APRIL 22, 2020

### NORTH SITE MIXED-USE DEVELOPMENT ARCHITECTURAL DRAWING LIST

| Sheet Number | Sheet Name  |
|--------------|---|
| A2.000       | COVER PAGE - NORTH SITE MIXED-USE DEVELOPMENT           |
| A2.001       | CONTEXT SITE PLAN - NORTH SITE MIXED-USE DEVELOPMENT    |
| A2.002       | SITE PLAN - NORTH SITE MIXED-USE DEVELOPMENT            |
| A2.003       | PROJECT STATISTICS - NORTH SITE MIXED-USE DEVELOPMENT   |
| A2.101       | FLOOR PLAN - B3 RESIDENTIAL PARKING                     |
| A2.102       | FLOOR PLAN - B2 RETAIL PARKING                          |
| A2.103       | FLOOR PLAN - B1 RETAIL PARKING                          |
| A2.201       | FLOOR PLAN - LEVEL 1 - RETAIL/RESIDENTIAL               |
| A2.202       | FLOOR PLAN - LEVEL 2 - RESIDENTIAL                      |
| A2.203       | FLOOR PLAN - LEVEL 3 - RESIDENTIAL                      |
| A2.204       | FLOOR PLAN - LEVEL 4 - RESIDENTIAL                      |
| A2.205       | FLOOR PLAN - LEVEL 5 - RESIDENTIAL                      |
| A2.206       | FLOOR PLAN - LEVEL 6 - RESIDENTIAL                      |
| A2.207       | FLOOR PLAN - LEVEL 7 - RESIDENTIAL                      |
| A2.301       | FLOOR PLAN - LEVEL 7 TO LEVEL 10 - TOWER RESIDENTIAL    |
| A2.302       | FLOOR PLAN - LEVEL 11 TO LEVEL 14 - TOWER RESIDENTIAL   |
| A2.303       | FLOOR PLAN - LEVEL 15 TO LEVEL 18 - TOWER RESIDENTIAL   |
| A2.304       | FLOOR PLAN - LEVEL 19 TO TOWER ROOF - TOWER RESIDENTIAL |
| A2.401       | OVERALL BUILDING SECTIONS                               |
| A2.402       | OVERALL BUILDING SECTIONS                               |
| A2.403       | OVERALL BUILDING SECTIONS                               |
| A2.404       | OVERALL BUILDING SECTIONS                               |
| A2.501       | EXTERIOR ELEVATIONS                                     |
| A2.502       | EXTERIOR ELEVATIONS                                     |
| A2.503       | EXTERIOR ELEVATIONS                                     |
| A2.601       | AXONOMETRIC VIEWS                                       |
| A2.602       | PERSPECTIVE VIEWS                                       |
| A2.603       | PERSPECTIVE VIEWS                                       |



**NORTH DEVELOPMENT SITE**  
 RED HATCH INDICATES NORTH  
 DEVELOPMENT SITE AREA: 18,248 SM  
 ● A2 SERIES DRAWINGS



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 2 NOV 14, 2018 ISSUED FOR OPAZISA RE-SUBMISSION  
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35 JOHN STREET, SUITE 500  
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KEYPLAN



**BAYVIEW VILLAGE  
 MIXED-USE  
 DEVELOPMENT**

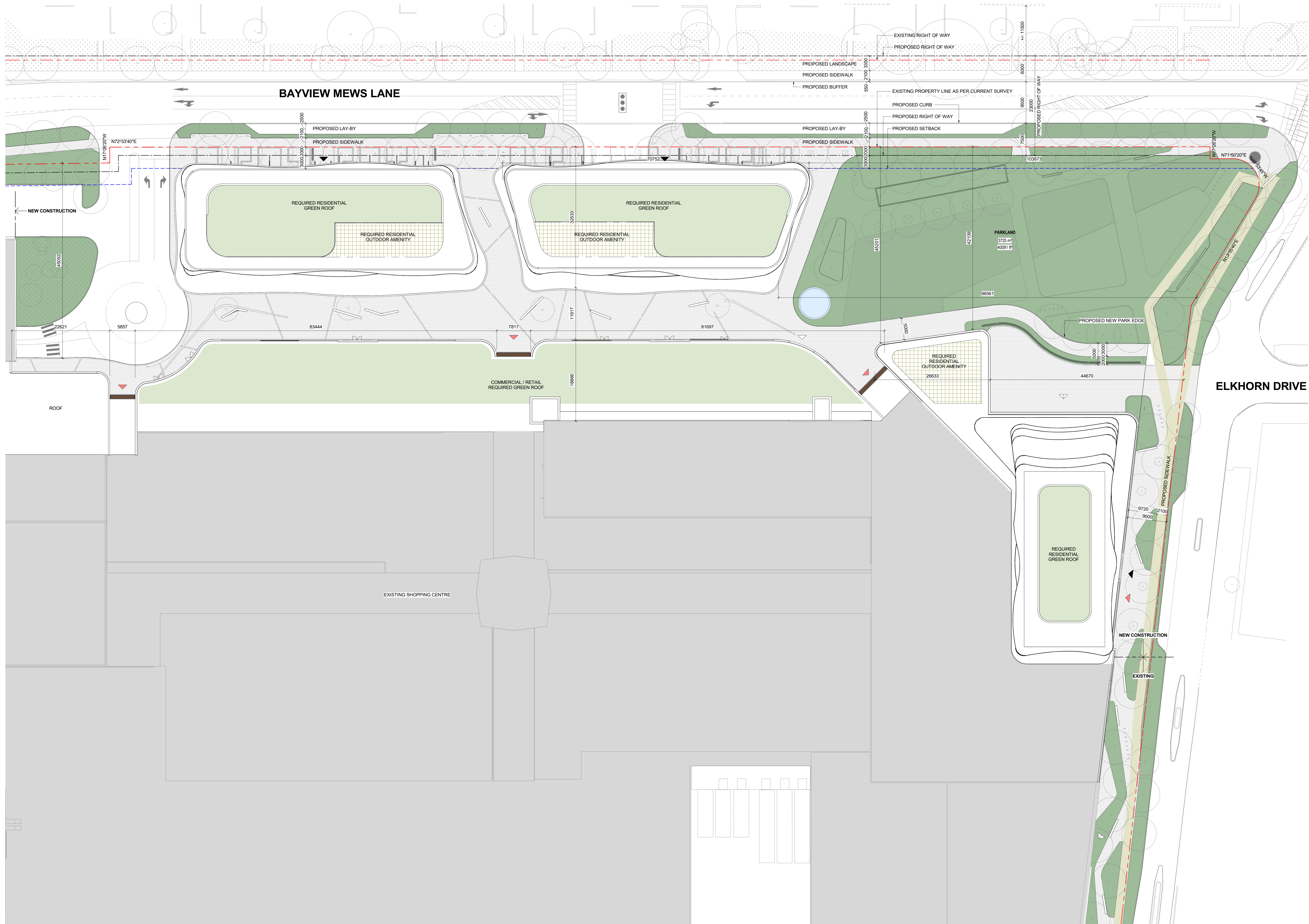
2901 BAYVIEW AVENUE, TORONTO, ON M2K 1E6

CONTEXT SITE PLAN - NORTH  
 SITE MIXED-USE DEVELOPMENT

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**A2.001**

↑  
 1 CONTEXT SITE PLAN - NORTH DEVELOPMENT SITE  
 A2.001 1:500



ISSUED FOR

**SITE PLAN LEGEND**

- PROPERTY LINE
- RIGHT OF WAY
- SETBACK
- GREEN ROOF
- OUTDOOR AMENITY SPACE
- PARKLAND
- ▼ MAIN ENTRANCE TO RESIDENCE
- ▼ MAIN ENTRANCE TO SHOPPING CENTRE
- ▼ MAIN ENTRANCE TO OFFICE
- ▼ MAIN ENTRANCE TO LOADING AREA

**GENERAL NOTES**

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- PLEASE SEE A1006 SERIES FOR ALL PROJECT STATISTICS, BUILDING STOREYS, BUILDING HEIGHTS, AND ALL OTHER INFORMATION
- PLEASE REFER TO SITE PLAN FOR EACH ZONE FOR SPECIFIC DIMENSIONS AND INFORMATION.

|   |              |                                |
|---|--------------|--------------------------------|
| 5 | APR 22, 2020 | SUBMISSION                     |
| 4 | JAN 22, 2020 | SUBMISSION                     |
| 3 | JAN 17, 2019 | SUPPLEMENTARY INFORMATION      |
| 2 | NOV 14, 2018 | ISSUED FOR OPAZBA RESUBMISSION |
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**KEYPLAN**



**BAYVIEW VILLAGE MIXED-USE DEVELOPMENT**

2901 BAYVIEW AVENUE, TORONTO, ON M2K 1E6

**SITE PLAN - NORTH SITE MIXED-USE DEVELOPMENT**

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**A2.002**