



ISSUED FOR

SITE PLAN LEGEND

—— — PROPERTY LINE —-—-- RIGHT OF WAY ---- SETBACK

NORTH AND SOUTH PARKLAND DEDICATION BOUNDARY LINE **GREEN ROOF**

OUTDOOR AMENITY

MAIN ENTRANCE TO

MAIN ENTRANCE TO SHOPPING CENTRE MAIN ENTRANCE TO

MAIN ENTRANCE TO LOADING AREA

GENERAL NOTES

INFORMATION.

- BUILDING HEIGHT INDICATED ON DRAWING IS MEASURED FROM ESTABLISHED GRADE TO TOP OF PARAPET OF ROOF, EXCLUDING MECHANICAL PENTHOUSE. - PLEASE SEE A1.006 SERIES FOR ALL PROJECT STATISTICS, BUILDING STOREYS, BUILDING HEIGHTS, AND ALL OTHER INFORMATION. - PLEASE REFER TO SITE PLAN FOR EACH

6 MAY 15, 2020 REVISION 5 APR 22, 2020 4 JAN 22, 2020 SUBMISSION 3 JAN 17, 2019 SUPPLEMENTARY INFORMATION 2 NOV 14, 2018 ISSUED FOR OPA/ZBA RESUBMISSION

ZONE FOR SPECIFIC DIMENSIONS AND

DIALOG®

35 JOHN STREET, SUITE 500 TORONTO, ON, CANADA M5V 3G6

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KEYPLAN

BAYVIEW VILLAGE MIXED-USE DEVELOPMENT

2901 BAYVIEW AVENUE, TORONTO, ON M2K 1E6

SITE PLAN - NORTH SITE MIXED-USE DEVELOPMENT

DRAWN: PLOT DATE: 5/26/2020 12:25:17 PM

A2.002

1. NORTH ZONE PROPOSED MIXED-USE DEVELOPMENT PROJECT STATISTICS

GENERAL SITE INFORMATION

Site Address: Bayview & Sheppard, City of Toronto

Developer: QuadReal

Building Type: Mixed Use Building

 NORTH DEVELOPMENT SITE AREA (*)

 SM
 SF
 ACRE
 HA

 18,248
 196,421
 4.51
 1.825

 * Per Sept 26 2019 Submission

Single Storey Retail

OCCUPANCY

BELOW GRADE PARKING

TOTAL OF BELOW GRADE

Level 02 - RESIDENTIAL

evel 03 - RESIDENTIAL

Level 04 - RESIDENTIAL

evel 05 - RESIDENTIAL

Level 02 - RESIDENTIAL

evel 03 - RESIDENTIAL

Level 04 - RESIDENTIAL

Level 05 - RESIDENTIAL

Level 06 - RESIDENTIAL

Level 07 - RESIDENTIAL

Level 08 - RESIDENTIAL

Level 09 - RESIDENTIAL

Level 10 - RESIDENTIAL

Level 11 - RESIDENTIAL

Level 12 - RESIDENTIAL

Level 13 - RESIDENTIAL

Level 14 - RESIDENTIAL

Level 15 - RESIDENTIAL

Level 16 - RESIDENTIAL

Level 17 - RESIDENTIAL

Level 18 - RESIDENTIAL

Level 19 - RESIDENTIAL Level 20 - RESIDENTIAL

TOWER - MPH

TOWER - ROOF

TOTAL OF TOWER

LOWRISE - MPH LOWRISE - ROOF TOTAL OF LOWRISE

LOWERISE RETAIL + RESIDENTIAL

evel 01 - RESIDENTIAL + RETAIL

TOWER RETAIL + RESIDENTIAL Level 01 - RESIDENTIAL + RETAIL

BUILDINGS HEIGHT

ZBL Established Site Elevation (at Grade) for North Development Site: +174.50 m

Lowerise Height (*): 6 Storeys (*) Height: 22.37 m

Height (*):

* From established grade to top of roof including roofing material, but excluding parapets and architectural/ornamental elements and mechanical penthouse

RESIDENTIAL GFA

AREA sam AREA sar

1,644 17,696

2734 29429

2734 29429

2734 29429

2734 29429

2734 29429

14919 160588

708 7621

874 9408

841 9053

841 9053

841 9053

749 8062

749 8062

709 7632 709 7632

709 7632

709 7632 709 7632

709 7632

709 7632

709 7632

709 7632

0 0

30,761 331,111

7632

709

20 Storeys (*) 1 Storey (*) Height: 65.27 m

Height: 5.60 m

COMMERCIAL GFA

AREA SQM AREA SQF

1,330

6347 68319

8,794

94,659

Deductions as per City of Toronto By-Law 569-2013 include:

A) Parking, loading, and bicycle parking below-ground

B) Required loading spaces at the ground level and required bicyle parking spaces at or below at or above-ground

C) Storage Rooms, washrooms, electrical, utility, mechanical and ventilation rooms in the basement

D) Shower and change facilities required by this By-law for required bicycle parking spaces

E) Amenity space required by this By-law

F) Elevator Shafts

G) Garbage Shafts

H) Mechanical Penthouse

AREAsam AREA saf AREAsam AREA saf

5669 61021

6,613

Page 3 of 3

10704

6430

1969

21,408 230,436

115218

69213

TOTAL GFA		
Total Residential GFA:	30,761	331,111
Total Commercial Retail GFA:	8,794	94,659
Total Commercial Office GFA:	N/A	N/A
Above-Grade Commercial Parking	N/A	N/A
Existing Commercial/Retail GFA:	32,688	351,851
TOTAL GFA	72,243	777,621

QuadReal

AMENITY REQUIREMENTS:

RESIDENTIAL UNIT TYPES

3 0 4 2 0

STUDIO 1BR 1BR+D 2BR 2BR+D 3BR

Indoor Amenity: 1.5 sm X number of units minimun - 2.0 sm X number of units maximum Outdoor Amenity: 1.5 sm X number of Units

Tower Indoor Amenity Area Required = 1.5 sm X 186 = 279

Tower Outdoor Amenity Area Required = 1.5 sm X 186 = 279

Lowrise Indoor Amenity Area Required = 1.5 sm X 159 = 238.5

Lowrise Outdoor Amenity Area Required = 1.5 sm X 159 = 238.5

PROPOSED INDOOR AMENITY:

1	INDOOR AMENITY	REQUIRED SQM	REQUIRED SQF	PROPOSED SQM	PROPOSED SQF
	TOWER	279	3003	279	3003
	LOWRISE	238.5	2567	253	2723
Ī	TOTAL	518	5570	532	5726

PROPOSED OUTDOOR AMENITY:

OUTDOOR AMENITY	REQUIRED SQM	REQUIRED SQF	PROPOSED SQM	PROPOSED sqr
TOWER	279	3003	279	3003
LOWRISE	238.5	2567	238.5	2567
TOTAL	518	5570	518	5570

GREEN ROOF REQUIREMENTS:

Requirement: 60% coverage of available roof space

REQUIRED AND PROPOSED GREEN ROOF:

AVAILABLE ROOF SQM	AVAILABLE ROOF sqr	REQUIRED SQM	REQUIRED SQF	PROPOSED SQM	PROPOSED SQF
724	7793	434	4676	434	4676
1178	12680	707	7608	707	7608
3211	34563	1927	20738	1927	20738
5113	55036	3068	33022	3068	33022
	724 1178 3211	724 7793 1178 12680 3211 34563	724 7793 434 1178 12680 707 3211 34563 1927	724 7793 434 4676 1178 12680 707 7608 3211 34563 1927 20738	724 7793 434 4676 434 1178 12680 707 7608 707 3211 34563 1927 20738 1927

PROPOSED VEHICULAR PARKING:

ROPOSED VEHICULAR PARKING	REGULAR	ACCESSIBLE	OCCUPANCY
LEVEL B3	241	8	RESIDENTIAL
LEVEL B2	28	-	RESIDENTIAL
LEVEL B2	218	6	RETAIL
LEVEL B1	225	7	RETAIL
TOTAL	712	21	733

PROPOSED BICYCLE PARKING:

BICYCLE PARKING	DESCRIPTION	PROPOSED
RESIDENTIAL	LONG TERM	260
RESIDENTIAL	SHORT TERM	25
RETAIL	LONG TERM	60
NETAIL	SHORT TERM	24

PROPOSED LOADING:

3 Type B and 1 Type G

4 APR 22, 2020 3 JAN 22, 2020

2 NOV 14, 2018 1 JUL 21, 2017

SUBMISSION SUBMISSION ISSUED FOR OPA/ZBA RESUBMISSION ISSUED FOR OPA/ZBA

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KEYPLAN

SEAL

OF

RCHITECTS

CAMERON VERES

LICENCE

8846

LILLIAN

LILLIAN

REAL

REA

BAYVIEW VILLAGE MIXED-USE DEVELOPMENT

2901 BAYVIEW AVENUE, TORONTO, ON M2K 1E6

PROJECT STATISTICS - NORTH

SITE MIXED-USE DEVELOPMENT

72 003

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2. NORTH ZONE PROPOSED MIXED-USE DEVELOPMENT PROJECT STATISTICS - GREEN STANDARDS

GFA DEDUCTION (569-2013)

) Exit Stairwells in the building

TOTAL FLOOR AREA

AREAsam AREA saf

35,995 387,450

129943

30398

30398

22260

11065

9494

8504

8073

8073

4176

12072

2824

2824

2824

2824

1028

915

882

882

790

790

750 750

750

750

750

750

750

750

388

76,858

GFA DEDUCTION

AREA SQM AREA SQF

355,438

33,021

41

41

41

41

41

41

41

388

37,303

441

441

RESIDENTIAL

11852

1365

1365

2826

2826

15022

101

883

791

751

751

751

751

44,894

916

883

14,582

127575

14693

30419

30419

11087

9505

8514

8514

8084

8084

AREAsam AREAsam

485 5221 892

2533 27265 2826

2533 27265 2826

2533 27265 2826

635 6835 1030

2533 27265

2533 27265

13150 141547

765 8234

678 7298

678 7298

643 6921

643 6921

765 8234

8234

643 6921 751

6921

6921

6921

643 6921 751

12801 | 137789.964 | 15290

279,337

6921

6921

6921

25,951

11-0063 2018-05

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Statistics Template - Toronto Green Standard Version 3.0 Mid to High Rise Residential and all **New Non-Residential Development** The Toronto Green Standard Version 3.0 Statistics Template is submitted with Site Plan Control Applications and stand alone Zoning Bylaw Amendment applications. Complete the table and copy it directly onto the Site Plan submitted as part of the application. For Zoning Bylaw Amendment applications: complete General Project Description and Section 1. For Site Plan Control applications: complete General Project Description, Section 1 and Section 2. For further information, please visit www.toronto.ca/greendevelopment General Project Description 72,243 m2 (Exst. + New) Total Gross Floor Area Breakdown of project components (m²) 30, 761 m2 (excl. amenity space) 41, 482 m2 (Exist & New) Commercial Institutional/Other Total number of residential units 345 units Section 1: For Stand Alone Zoning Bylaw Amendment Applications and **Site Plan Control Applications Automobile Infrastructure** Required Proposed Proposed % Number of Parking Spaces Number of parking spaces dedicated for priority LEV parking 18 100% 143 145 101% Number of parking spaces with EVSE Required Proposed Proposed % Cycling Infrastructure 236 260 110% Number of long-term bicycle parking spaces (residential) Number of long-term bicycle parking spaces (all other uses) 54 103 191% Number of long-term bicycle parking (all uses) located on: a) first storey of building 0 b) second storey of building c) first level below-ground 247 | 320 | 129% d) second level below-ground e) other levels below-ground

11-0063 2018-05

		Resident	
Cycling Infrastructure	Required	Proposed	Proposed
Number of short-term bicycle parking spaces (residential)	25	25	100%
Number of short-term bicycle parking spaces (all other uses)	109	109	100%
Number of male shower and change facilities (non-residential)	2	2	100%
Number of female shower and change facilities (non-residential)	2	2	100%
Tree Planting & Soil Volume	Required	Proposed	Proposed
Total Soil Volume (40% of the site area ÷ 66 m² x 30 m³).	7354	8968	121%
Cycling Infrastructure Number of short-term bicycle parking spaces (all uses) at-grade or on first level below grade	Required	Proposed	Proposed
UHI Non-roof Hardscape	Required	Proposed	Proposed
Total non-roof hardscape area (m²)	1100 21100	1100000	,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,
Total non-roof hardscape area treated for Urban Heat Island (minimum 50%) (m²)			
Area of non-roof hardscape treated with: (indicate m²)			
a) high-albedo surface material			
b) open-grid pavement			
c) shade from tree canopy			
d) shade from high-albedo structures			
e) shade from energy generation structures			
Percentage of required car parking spaces under cover (minimum 75%)(non-residential only)			
Green & Cool Roofs	Required	Proposed	Proposed
Available Roof Space (m²)			
Available Roof Space provided as Green Roof (m²)			
Available Roof Space provided as Cool Roof (m²)			
Available Roof Space provided as Solar Panels (m²)			

11-0063 2018-05

Water Efficiency	Required	Proposed	Proposed
Total landscaped site area (m²)			
Landscaped site area planted with drought-tolerant plants (minimum 50%) (m² and %) (if applicable)			
Tree Planting Areas & Soil Volume	Required	Proposed	Proposed
Total site area (m²)			
Total Soil Volume (40% of the site area ÷ 66 m²x 30 m³)			
Total number of planting areas (minimum of 30m³ soil)			
Total number of trees planted			
Number of surface parking spaces (if applicable)			
Number of shade trees located in surface parking area nterior (minimum 1 tree for 5 parking spaces)			
Native and Pollinator Supportive Species	Required	Proposed	Proposed
Total number of plants			
Total number of native plants and % of total plants (min.50%)			
Bird Friendly Glazing	Required	Proposed	Proposed
Total area of glazing of all elevations within 12m above grade (including glass balcony railings)			
Total area of treated glazing (minimum 85% of total area of glazing within 12m above grade) (m²)			
Percentage of glazing within 12m above grade treated with:			
a) Low reflectance opaque materials			
b) Visual markers			

The Green Roof Statistics Template is required to be submitted for Site Plan Control Applications where a green roof is required under the Toronto Municipal Code Chapter 492, Green Roofs. Complete the table below and copy it directly onto the Roof Plan submitted as part of any Site Plan Control Application requiring a green roof in accordance with the Bylaw. Refer to Section § 492-1 of the Municipal Code for a complete list of defined terms, and greater clarity and certainty regarding the intent and application of the terms included in the template. The Toronto Municipal Code Chapter 492, Green Roofs can be found online at: http://www.toronto.ca/legdocs/municode/1184_492.pdf

Green Roof Statistics

Proposed

Gross Floor Area, as defined in Green Roof Bylaw (m²)

Total Roof Area (m²)

Area of Residential Private Terraces (m²)

Rooftop Outdoor Amenity Space, if in a Residential Building (m²)

Area of Renewable Energy Devices (m²)

Tower (s)Roof Area with floor plate less than 750 m²

Total Available Roof Space (m²)

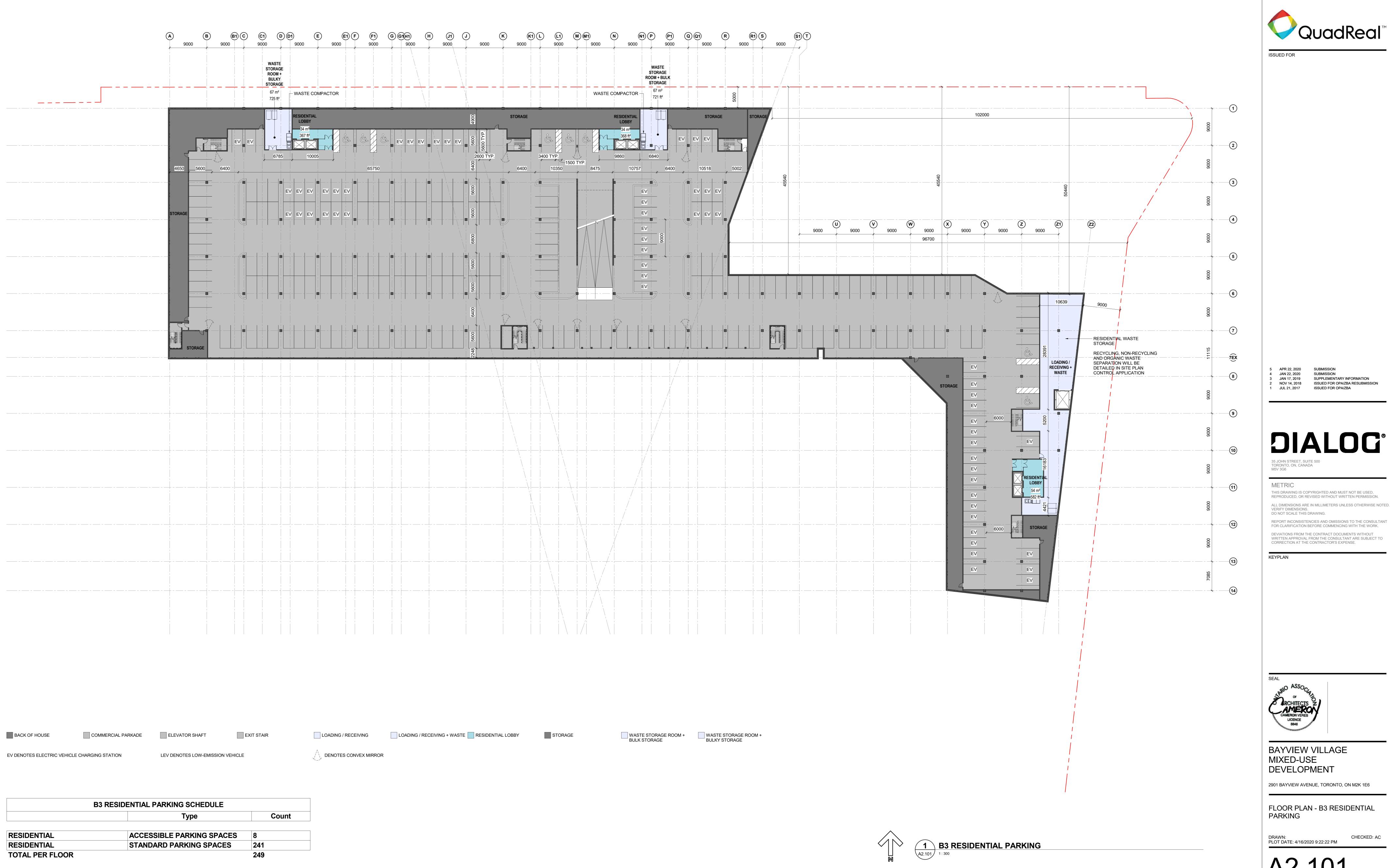
Green Roof Coverage

Required

Proposed

Coverage of Available Roof Space (%)

Booff sq.m 3067 sq.m 2007 s





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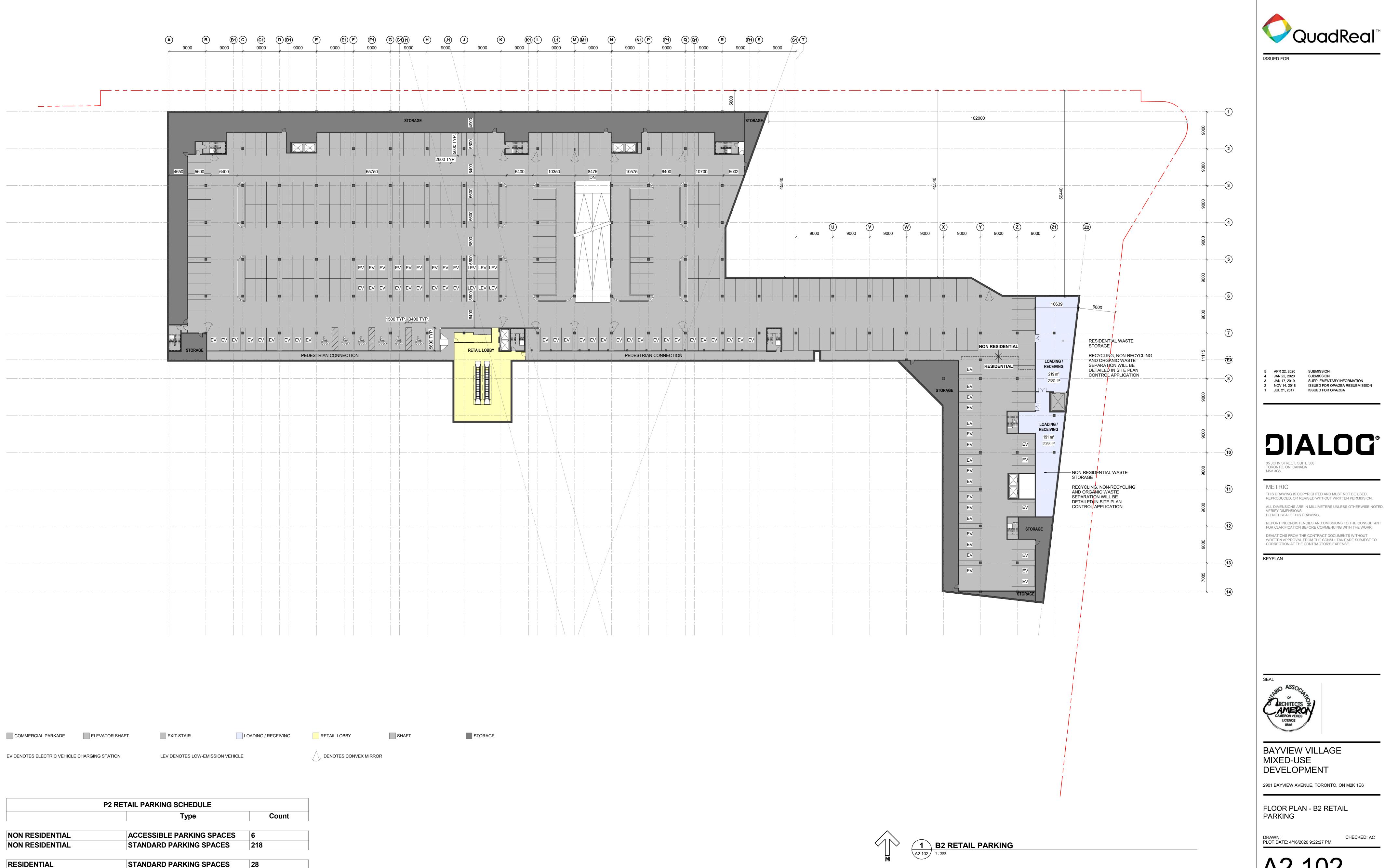
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BAYVIEW VILLAGE MIXED-USE DEVELOPMENT

2901 BAYVIEW AVENUE, TORONTO, ON M2K 1E6

FLOOR PLAN - B3 RESIDENTIAL **PARKING**

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TOTAL PER FLOOR

252



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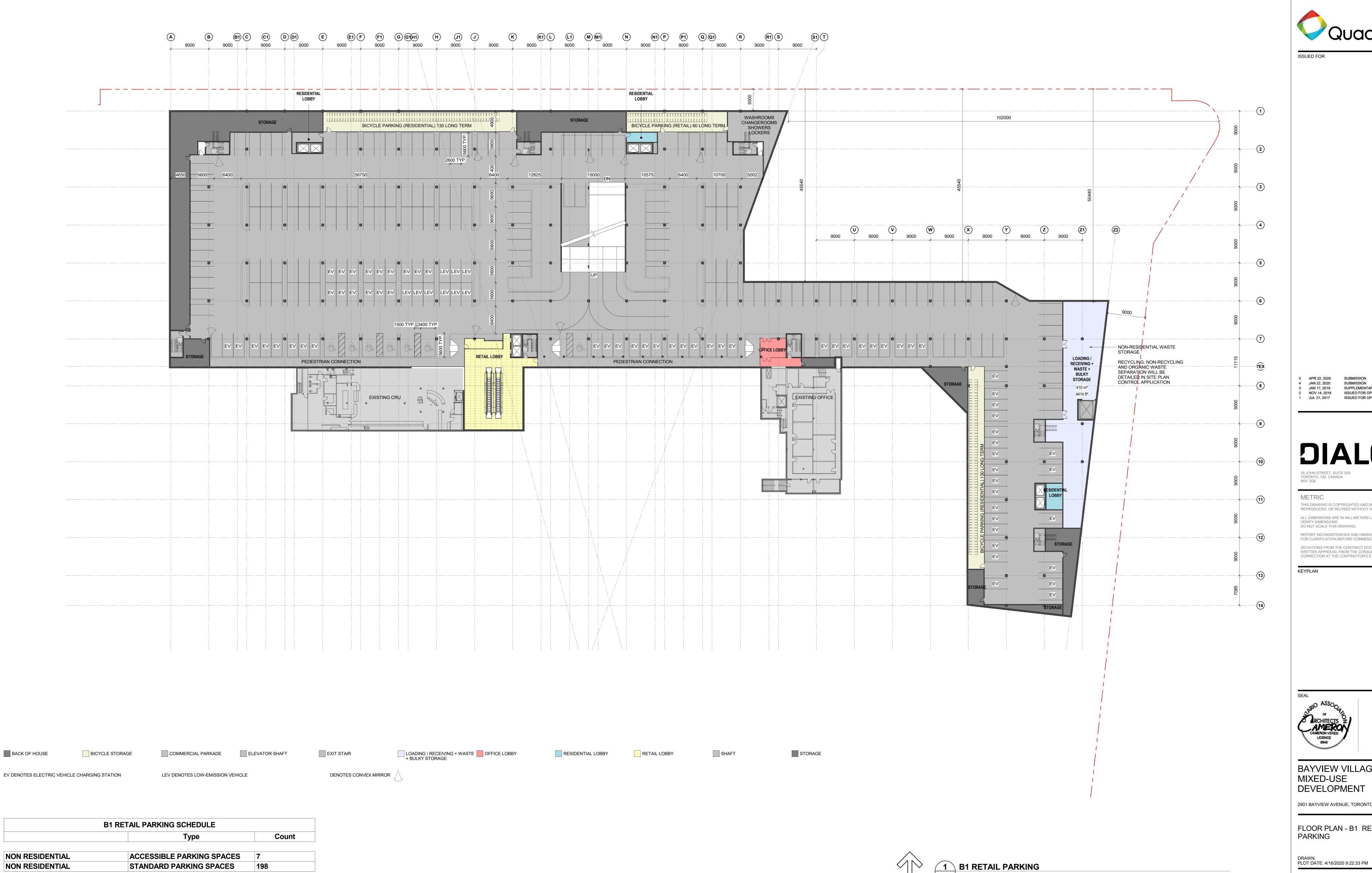
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BAYVIEW VILLAGE MIXED-USE DEVELOPMENT

2901 BAYVIEW AVENUE, TORONTO, ON M2K 1E6

FLOOR PLAN - B2 RETAIL



BACK OF HOUSE

RESIDENTIAL

TOTAL PER FLOOR

STANDARD PARKING SPACES

27

232



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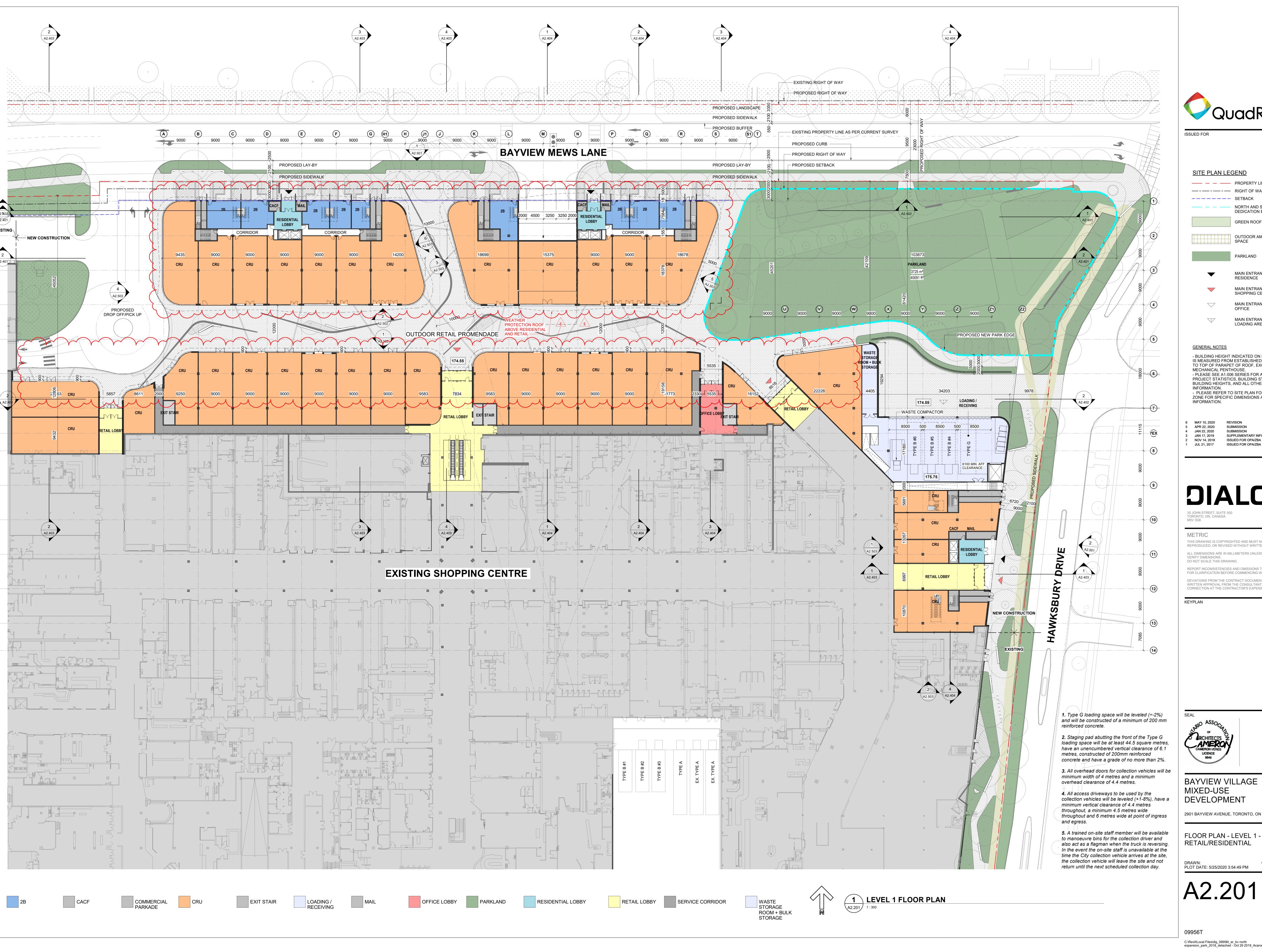
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BAYVIEW VILLAGE MIXED-USE DEVELOPMENT

2901 BAYVIEW AVENUE, TORONTO, ON M2K 1E6

FLOOR PLAN - B1 RETAIL

PARKING





SITE PLAN LEGEND

---- SETBACK

NORTH AND SOUTH PARKLAND DEDICATION BOUNDARY LINE

GREEN ROOF OUTDOOR AMENITY

MAIN ENTRANCE TO

GENERAL NOTES

IS MEASURED FROM ESTABLISHED GRADE TO TOP OF PARAPET OF ROOF, EXCLUDING MECHANICAL PENTHOUSE. - PLEASE SEE A1.006 SERIES FOR ALL PROJECT STATISTICS, BUILDING STOREYS BUILDING HEIGHTS, AND ALL OTHER INFORMATION. - PLEASE REFER TO SITE PLAN FOR EACH ZONE FOR SPECIFIC DIMENSIONS AND INFORMATION.

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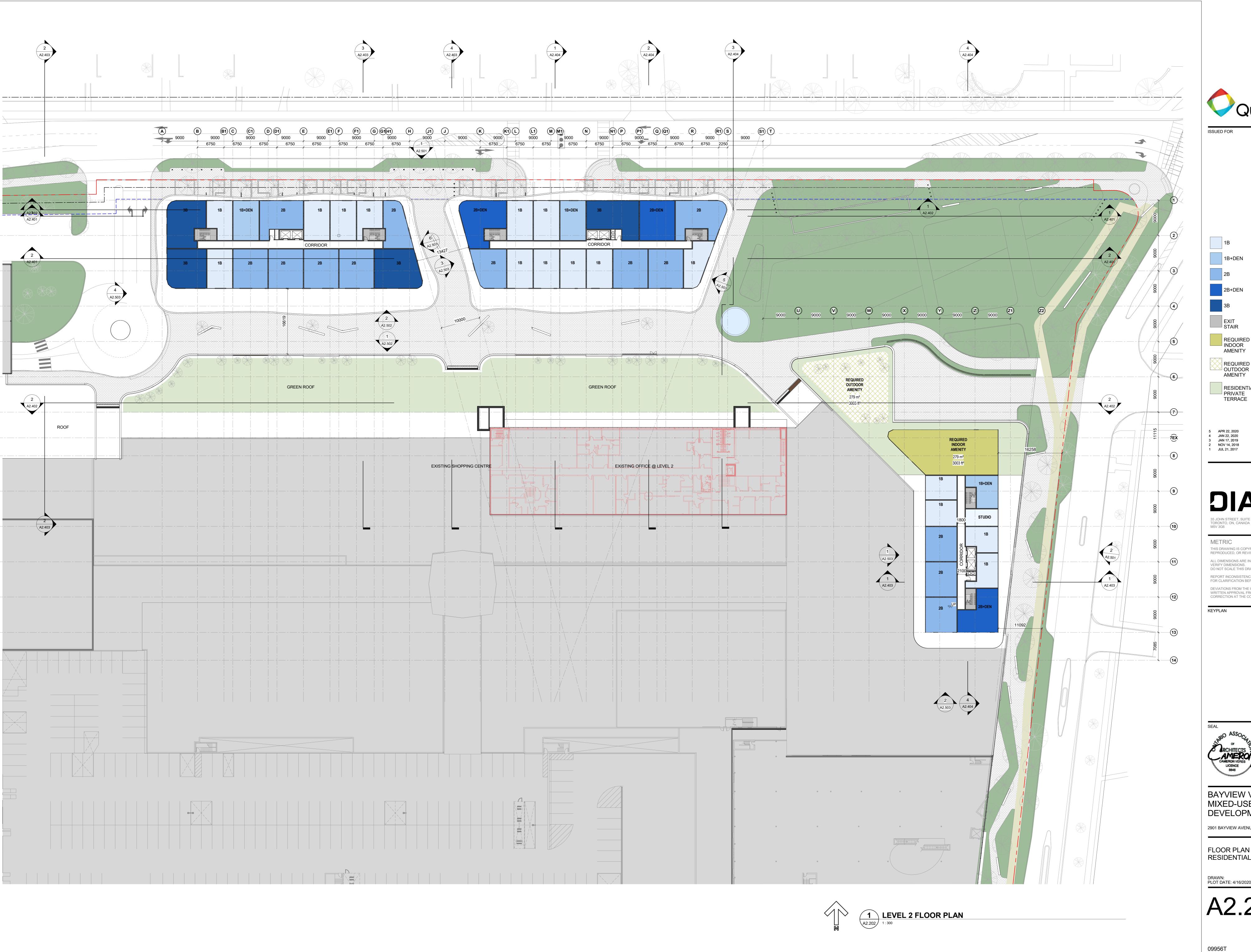


BAYVIEW VILLAGE MIXED-USE DEVELOPMENT

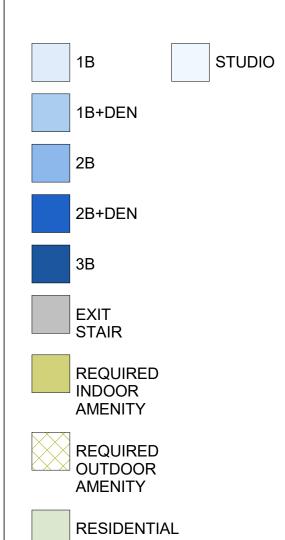
2901 BAYVIEW AVENUE, TORONTO, ON M2K 1E6

FLOOR PLAN - LEVEL 1 -RETAIL/RESIDENTIAL

CHECKED: Checker







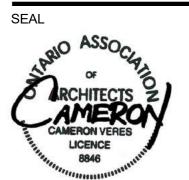
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2901 BAYVIEW AVENUE, TORONTO, ON M2K 1E6

FLOOR PLAN - LEVEL 2 -RESIDENTIAL

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BAYVIEW VILLAGE MIXED-USE DEVELOPMENT

2901 BAYVIEW AVENUE, TORONTO, ON M2K 1E6

FLOOR PLAN - LEVEL 3 -RESIDENTIAL

CHECKED: Checker