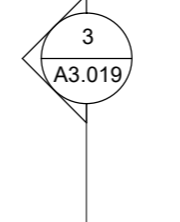
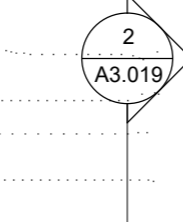
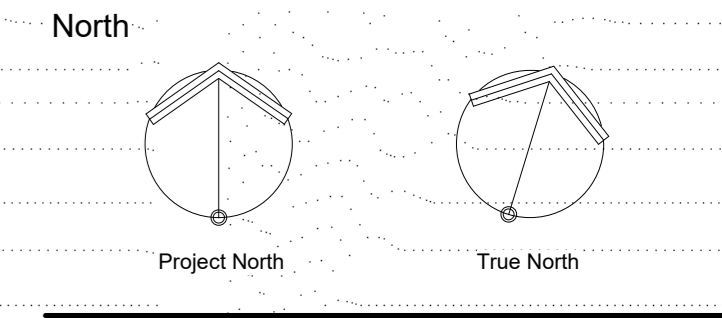


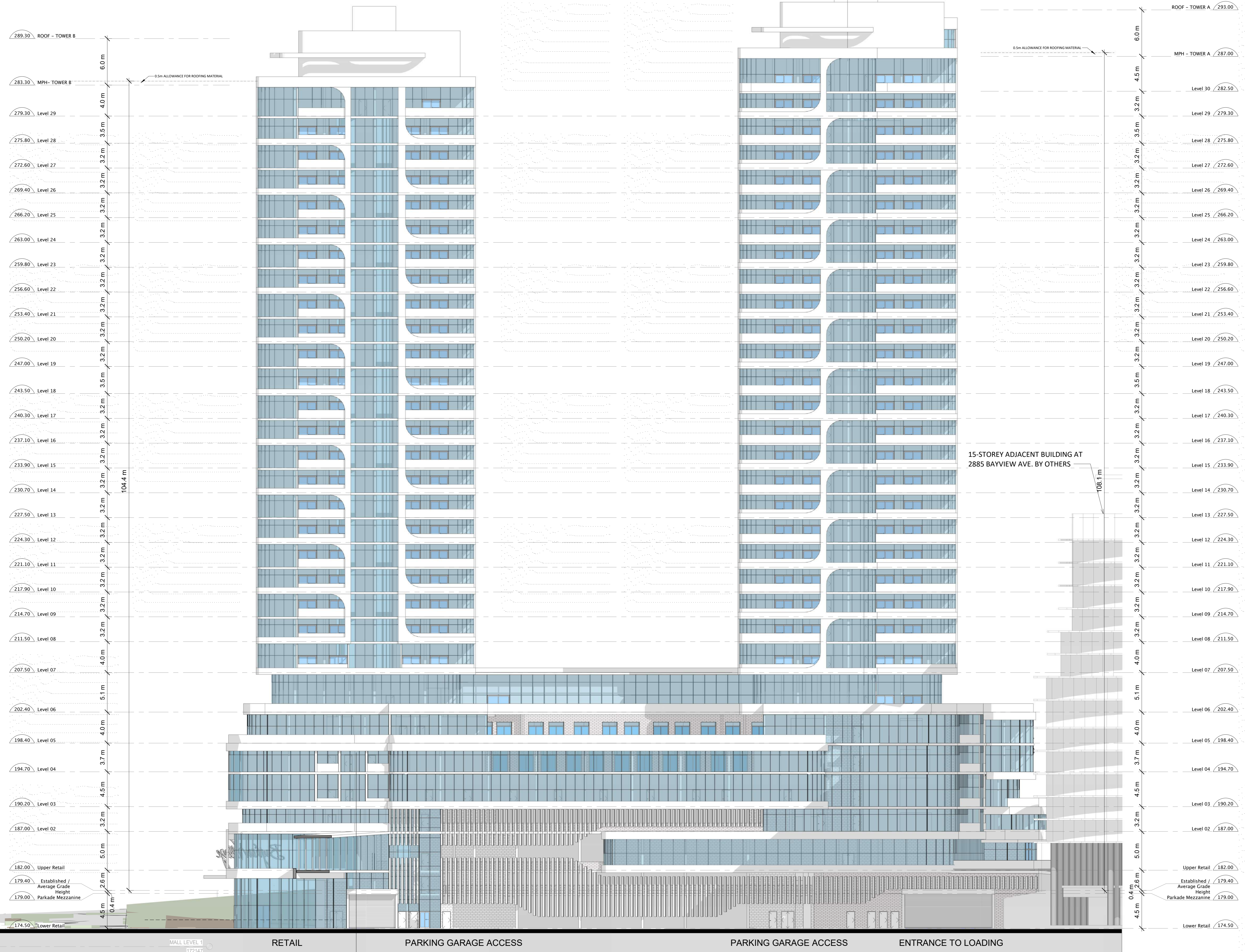
General Notes:

1. These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretations of these documents by the contractor. Upon written application the Architect will provide written clarification or supplementary information regarding the intent of the Contract Documents. The Architect will review Shop Drawings submitted by the Contractor for design conformance only. Drawings are not to be scaled for construction. Contractor to verify all existing conditions and dimensions required to perform the Work, and report any discrepancies with the Contract Documents to the Architect before commencing work.
2. Positions of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on the Architectural drawings. The locations shown on the Architectural drawings govern over the Mechanical and Electrical drawings. Those items not clearly located will be located as directed by the Architect.



**TOWER "B"
29 STOREYS**

**TOWER "A"
30 STOREYS**



Rev	Issue / Description	Date
4	SUBMISSION	Apr 22, 2020
3	SUBMISSION	Jan 22, 2020
2	ISSUED FOR OPA/28A	Nov 14, 2018
1	ISSUED FOR OPA / 28A	July 21, 2017



Architect of Record:
HARIRI PONTARINI ARCHITECTS
235 Carlaw Avenue
Suite 301
Toronto, Canada M4M 2S1
TEL: 416 929 4901
FAX: 416 929 8924
info@hp-arch.com
hariripontarini.com

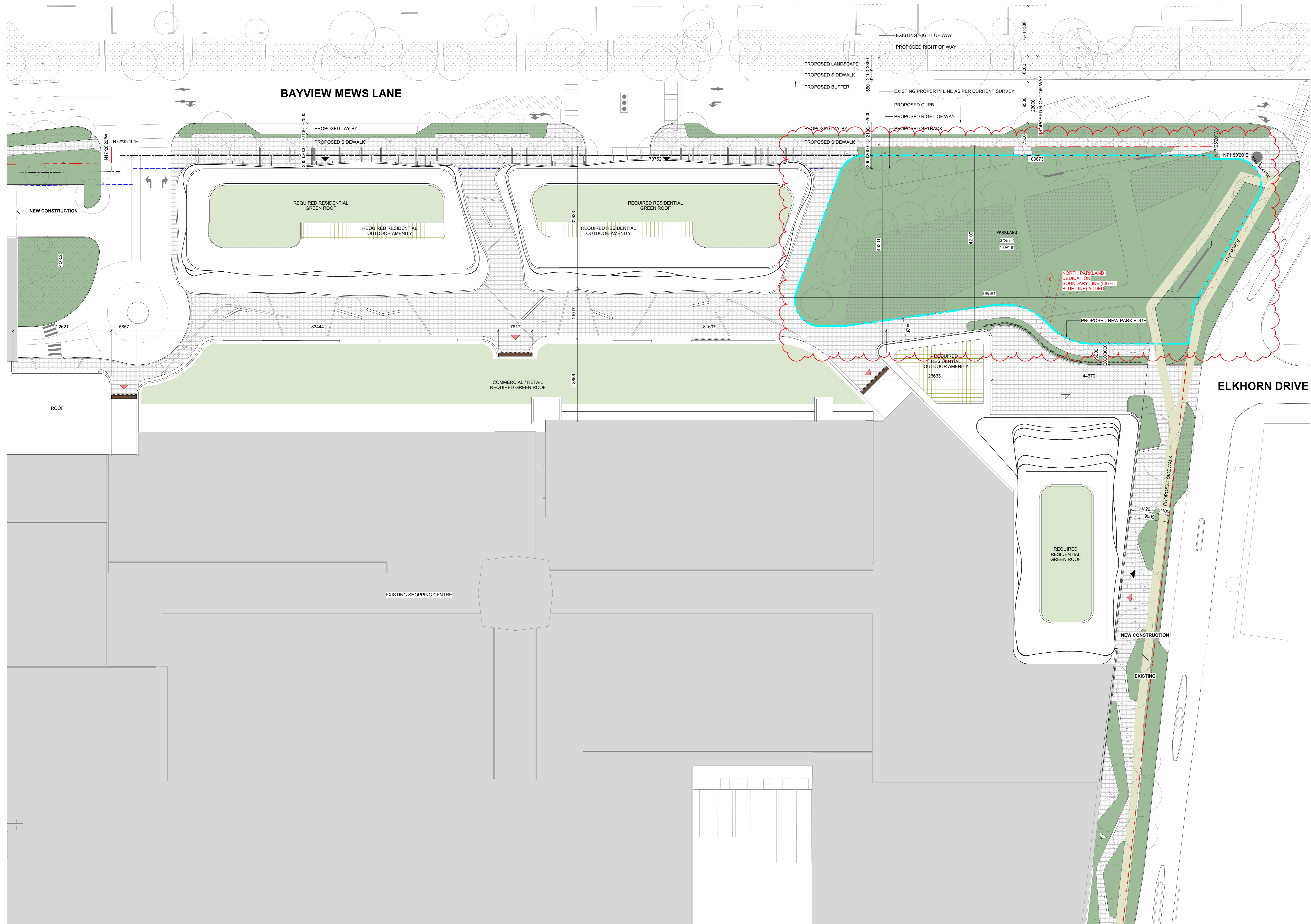
Project Title:
BAYVIEW VILLAGE SOUTH-WEST DEVELOPMENT
Address: TORONTO, ONTARIO

ELEVATIONS

Project number: 1432
Scale: 1 : 200
Date: 08/11/20
Drawn by: HPA

Drawing No.: A3.023
Revision:

4/21/2020 5:50:52 PM



ISSUED FOR

SITE PLAN LEGEND

- PROPERTY LINE
- RIGHT OF WAY
- SETBACK
- NORTH AND SOUTH PARKLAND DEDICATION BOUNDARY LINE
- GREEN ROOF
- OUTDOOR AMENITY SPACE
- PARKLAND
- ▼ MAIN ENTRANCE TO RESIDENCE
- ▼ MAIN ENTRANCE TO SHOPPING CENTRE
- ▼ MAIN ENTRANCE TO OFFICE
- ▼ MAIN ENTRANCE TO LOADING AREA

GENERAL NOTES

- BUILDING HEIGHT INDICATED ON DRAWING IS MEASURED FROM ESTABLISHED GRADE TO TOP OF PARAPET OF ROOF, EXCLUDING MECHANICAL PENTHOUSE
- PLEASE SEE A106 SERIES FOR ALL PROJECT STATISTICS, BUILDING STOREYS, BUILDING HEIGHTS, AND ALL OTHER INFORMATION
- PLEASE REFER TO SITE PLAN FOR EACH ZONE FOR SPECIFIC DIMENSIONS AND INFORMATION

6	MAY 15, 2020	REVISION
5	APR 22, 2020	SUBMISSION
4	JAN 22, 2020	SUBMISSION
3	JAN 17, 2019	SUPPLEMENTARY INFORMATION
2	NOV 14, 2018	ISSUED FOR OPAZBA RESUBMISSION
1	JUL 21, 2017	ISSUED FOR OPAZBA

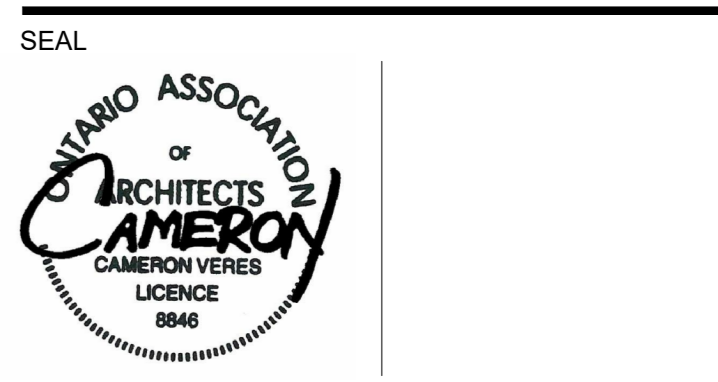


35 JOHN STREET, SUITE 500
TORONTO, ON, CANADA
M5V 3G5

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KEYPLAN



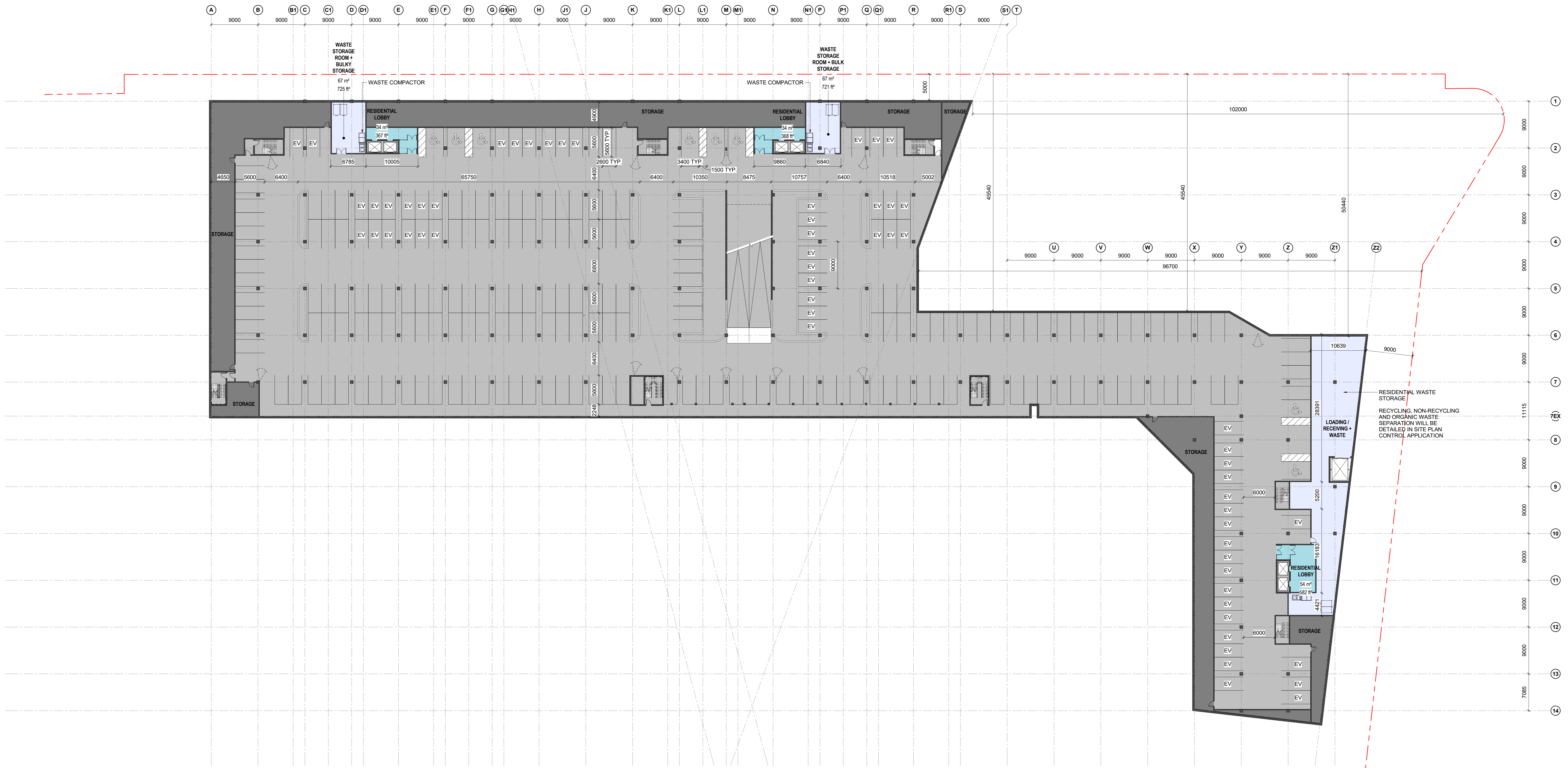
BAYVIEW VILLAGE MIXED-USE DEVELOPMENT

2901 BAYVIEW AVENUE, TORONTO, ON M2K 1E6

SITE PLAN - NORTH SITE MIXED-USE DEVELOPMENT

DRAWN: PLOT DATE: 5/28/2020 12:25:17 PM CHECKED: Checker

A2.002



5	APR 22, 2020	SUBMISSION
4	JAN 22, 2020	SUBMISSION
3	JAN 17, 2019	SUPPLEMENTARY INFORMATION
2	NOV 14, 2018	ISSUED FOR OPAZBIA RESUBMISSION
1	JUL 21, 2017	ISSUED FOR OPAZBIA

DIALOG
 35 JOHN STREET, SUITE 500
 TORONTO, ON, CANADA
 M5V 3G5

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KEYPLAN

- BACK OF HOUSE
 - COMMERCIAL PARKADE
 - ELEVATOR SHAFT
 - EXIT STAIR
 - LOADING / RECEIVING
 - LOADING / RECEIVING + WASTE
 - RESIDENTIAL LOBBY
 - STORAGE
 - WASTE STORAGE ROOM + BULKY STORAGE
 - WASTE STORAGE ROOM + BULKY STORAGE
- EV DENOTES ELECTRIC VEHICLE CHARGING STATION LEV DENOTES LOW-EMISSION VEHICLE ◁ DENOTES CONVEX MIRROR

B3 RESIDENTIAL PARKING SCHEDULE		
	Type	Count
RESIDENTIAL	ACCESSIBLE PARKING SPACES	8
RESIDENTIAL	STANDARD PARKING SPACES	241
TOTAL PER FLOOR		249

↑
 1 B3 RESIDENTIAL PARKING
 A2.101 1:300



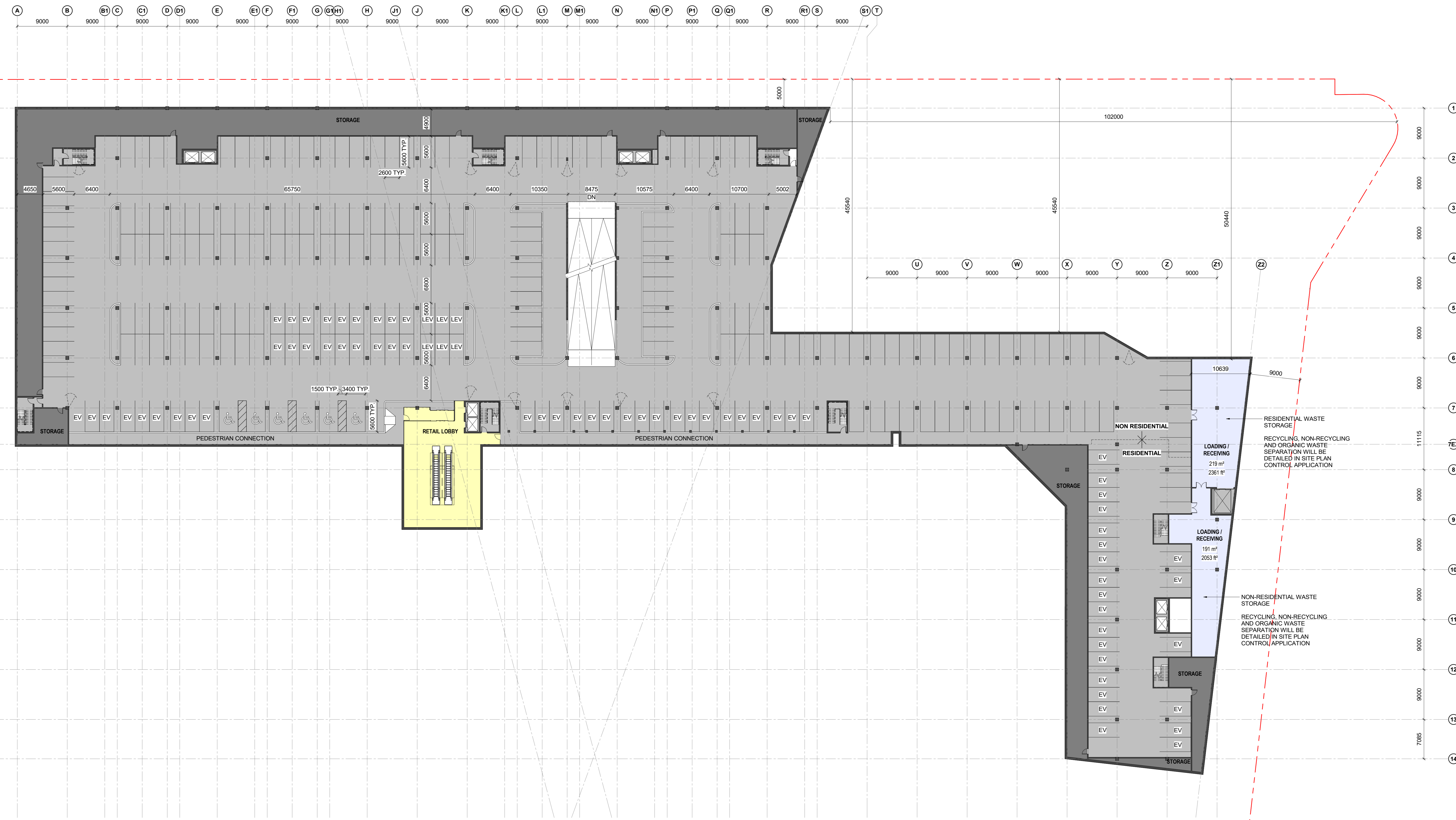
BAYVIEW VILLAGE MIXED-USE DEVELOPMENT

2901 BAYVIEW AVENUE, TORONTO, ON M2K 1E6

FLOOR PLAN - B3 RESIDENTIAL PARKING

DRAWN: 4/16/2020 9:22:22 PM CHECKED: AC
 PLOT DATE:

A2.101



5	APR 22, 2020	SUBMISSION
4	JAN 22, 2020	SUBMISSION
3	JAN 17, 2019	SUPPLEMENTARY INFORMATION
2	NOV 14, 2018	ISSUED FOR OPAZBSA RESUBMISSION
1	JUL 21, 2017	ISSUED FOR OPAZBSA

DIALOG®

35 JOHN STREET, SUITE 500
TORONTO, ON, CANADA
M5V 3G5

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KEYPLAN

- COMMERCIAL PARKADE
 - ELEVATOR SHAFT
 - EXIT STAIR
 - LOADING / RECEIVING
 - RETAIL LOBBY
 - SHAFT
 - STORAGE
- EV DENOTES ELECTRIC VEHICLE CHARGING STATION LEV DENOTES LOW-EMISSION VEHICLE DENOTES CONVEX MIRROR

P2 RETAIL PARKING SCHEDULE		
	Type	Count
NON RESIDENTIAL	ACCESSIBLE PARKING SPACES	6
	STANDARD PARKING SPACES	218
RESIDENTIAL	STANDARD PARKING SPACES	28
TOTAL PER FLOOR		252

1 B2 RETAIL PARKING
A2.102 1:300

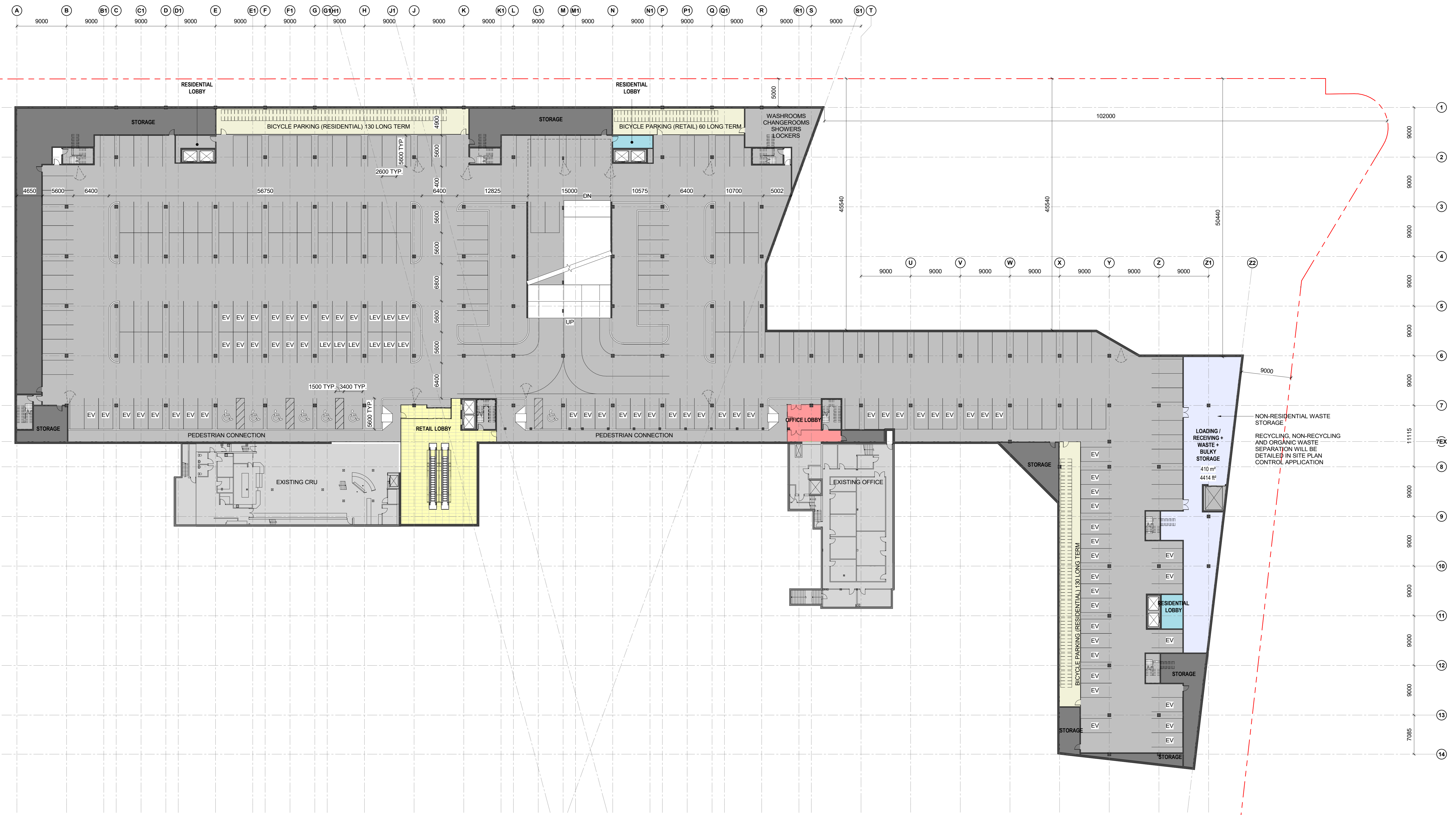
BAYVIEW VILLAGE MIXED-USE DEVELOPMENT

2901 BAYVIEW AVENUE, TORONTO, ON M2K 1E6

FLOOR PLAN - B2 RETAIL PARKING

DRAWN: FLOT DATE: 4/16/2020 9:22:27 PM CHECKED: AC

A2.102



5 APR 22, 2020 SUBMISSION
 4 JAN 22, 2020 SUBMISSION
 3 JAN 17, 2019 SUPPLEMENTARY INFORMATION
 2 NOV 14, 2018 ISSUED FOR OPAZBA RESUBMISSION
 1 JUL 21, 2017 ISSUED FOR OPAZBA

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KEYPLAN

■ BACK OF HOUSE ■ BICYCLE STORAGE ■ COMMERCIAL PARKADE ■ ELEVATOR SHAFT ■ EXIT STAIR ■ LOADING / RECEIVING + WASTE + BULKY STORAGE ■ OFFICE LOBBY ■ RESIDENTIAL LOBBY ■ RETAIL LOBBY ■ SHAFT ■ STORAGE

EV DENOTES ELECTRIC VEHICLE CHARGING STATION LEV DENOTES LOW-EMISSION VEHICLE ■ DENOTES CONVEX MIRROR

B1 RETAIL PARKING SCHEDULE		
Type	Count	
NON RESIDENTIAL	ACCESSIBLE PARKING SPACES	7
NON RESIDENTIAL	STANDARD PARKING SPACES	198
RESIDENTIAL	STANDARD PARKING SPACES	27
TOTAL PER FLOOR		232

↑
 1 B1 RETAIL PARKING
 A2.103 1:300

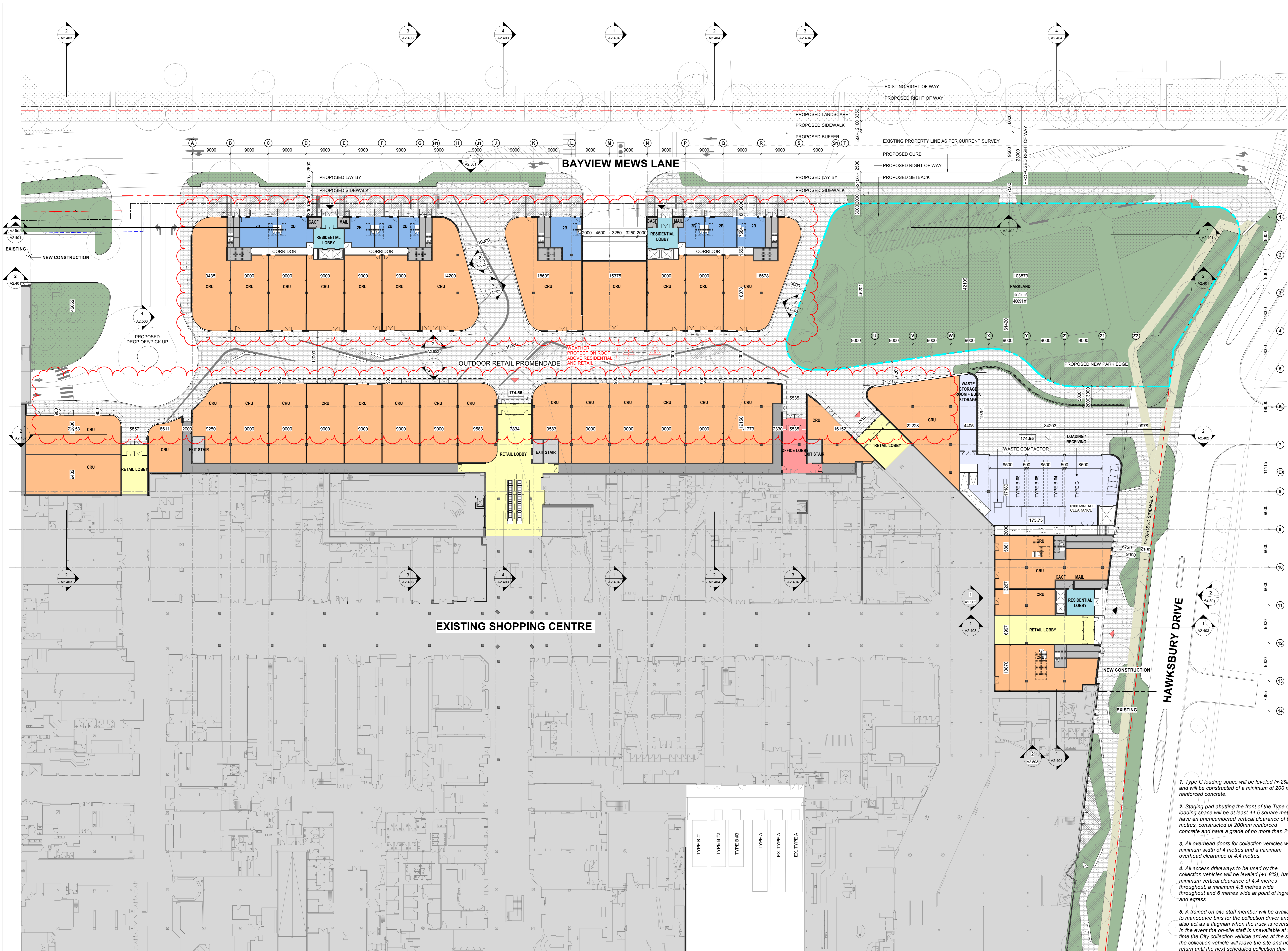
BAYVIEW VILLAGE MIXED-USE DEVELOPMENT

2901 BAYVIEW AVENUE, TORONTO, ON M2K 1E9

FLOOR PLAN - B1 RETAIL PARKING

DRAWN: FLOT DATE: 4/16/2020 9:22:33 PM CHECKED: AC

A2.103



ISSUED FOR

- SITE PLAN LEGEND**
- PROPERTY LINE
 - RIGHT OF WAY
 - SETBACK
 - NORTH AND SOUTH PARKLAND DEDICATION BOUNDARY LINE
 - GREEN ROOF
 - OUTDOOR AMENITY SPACE
 - PARKLAND
 - ▲ MAIN ENTRANCE TO RESIDENCE
 - ▲ MAIN ENTRANCE TO SHOPPING CENTRE
 - ▲ MAIN ENTRANCE TO OFFICE
 - ▲ MAIN ENTRANCE TO LOADING AREA

GENERAL NOTES

- BUILDING HEIGHT INDICATED ON DRAWING IS MEASURED FROM ESTABLISHED GRADE TO TOP OF PARAPET OF ROOF, EXCLUDING MECHANICAL PENTHOUSE.
- PLEASE SEE A1.006 SERIES FOR ALL PROJECT STATISTICS, BUILDING STOREYS, BUILDING HEIGHTS, AND ALL OTHER INFORMATION.
- PLEASE REFER TO SITE PLAN FOR EACH ZONE FOR SPECIFIC DIMENSIONS AND INFORMATION.

NO.	DATE	REVISION
6	MAY 15, 2020	REVISION
5	APR 22, 2020	SUBMISSION
4	JAN 23, 2020	SUBMISSION
3	JAN 17, 2019	SUPPLEMENTARY INFORMATION
2	NOV 14, 2018	ISSUED FOR OPAZBA RESUBMISSION
1	JUL 21, 2017	ISSUED FOR OPAZBA

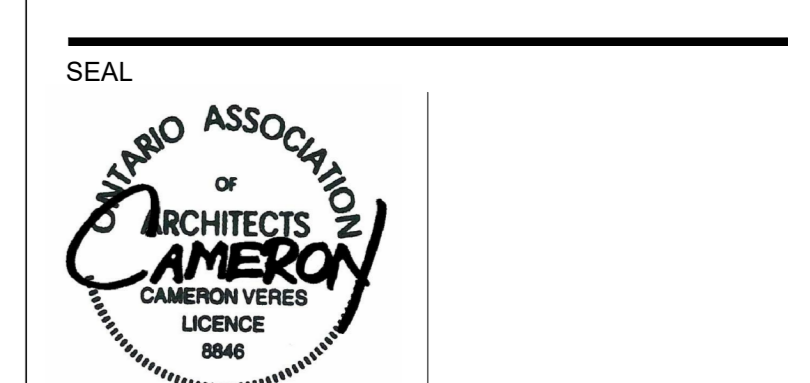


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KEYPLAN



BAYVIEW VILLAGE MIXED-USE DEVELOPMENT

2901 BAYVIEW AVENUE, TORONTO, ON M2K 1E6

FLOOR PLAN - LEVEL 1 - RETAIL/RESIDENTIAL

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A2.201

09956T
C:\Real\Local\Files\09956T_e1_north expansion_park_2018_detached - Oct 25 2019_Acaron.rvt

- 2B
- CACF
- COMMERCIAL PARKADE
- CRU
- EXIT STAIR
- LOADING / RECEIVING
- MAIL
- OFFICE LOBBY
- PARKLAND
- RESIDENTIAL LOBBY
- RETAIL LOBBY
- SERVICE CORRIDOR
- WASTE STORAGE ROOM + BULK STORAGE

LEVEL 1 FLOOR PLAN
A2.201 1:300

1. Type G loading space will be leveled (+/-2%) and will be constructed of a minimum of 200 mm reinforced concrete.
2. Staging pad abutting the front of the Type G loading space will be at least 44.5 square metres, have an unencumbered vertical clearance of 6.1 metres, constructed of 200mm reinforced concrete and have a grade of no more than 2%.
3. All overhead doors for collection vehicles will be minimum width of 4 metres and a minimum overhead clearance of 4.4 metres.
4. All access driveways to be used by the collection vehicles will be leveled (+1-8%), have a minimum vertical clearance of 4.4 metres throughout, a minimum 4.5 metres wide throughout and 6 metres wide at point of ingress and egress.
5. A trained on-site staff member will be available to manoeuvre bins for the collection driver and also act as a flagman when the truck is reversing. In the event the on-site staff is unavailable at the time the City collection vehicle arrives at the site, the collection vehicle will leave the site and not return until the next scheduled collection day.

- 1B STUDIO
- 1B+DEN
- 2B
- 2B+DEN
- 3B
- EXIT STAIR
- REQUIRED INDOOR AMENITY
- REQUIRED OUTDOOR AMENITY
- RESIDENTIAL PRIVATE TERRACE

5	APR 22, 2020	SUBMISSION
4	JAN 22, 2020	SUBMISSION
3	JAN 17, 2019	SUPPLEMENTARY INFORMATION
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KEYPLAN



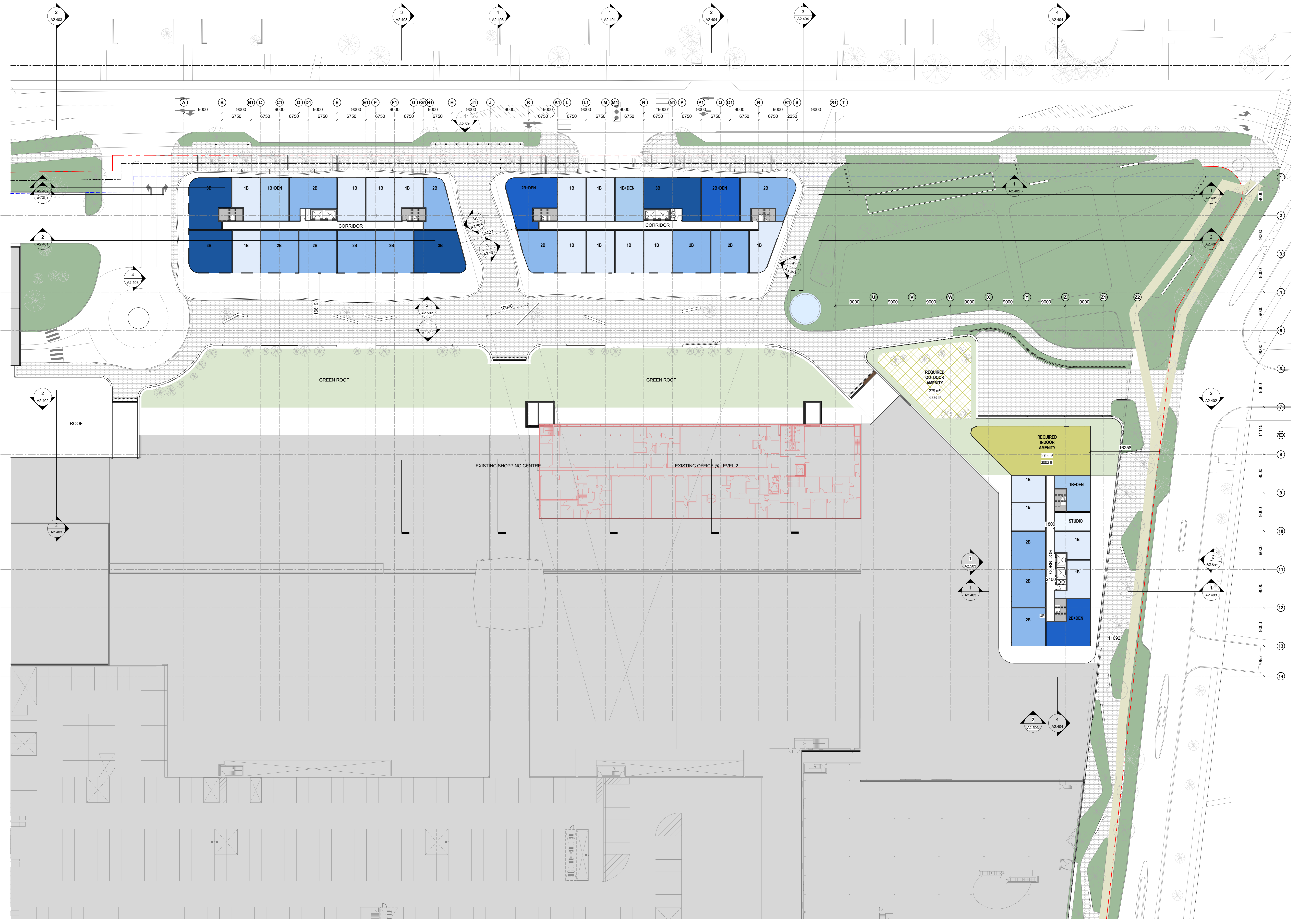
BAYVIEW VILLAGE MIXED-USE DEVELOPMENT

2901 BAYVIEW AVENUE, TORONTO, ON M2K 1E6

FLOOR PLAN - LEVEL 2 - RESIDENTIAL

DRAWN: [Name] CHECKED: Checker
PLOT DATE: 4/18/2020 9:22:55 PM

A2.202



1 LEVEL 2 FLOOR PLAN
A2.202 1:300

- 1B
- 1B+DEN
- 2B
- 2B+DEN
- 3B
- EXIT STAIR
- STUDIO

- 5 APR 22, 2020 SUBMISSION
- 4 JAN 22, 2020 SUBMISSION
- 3 JAN 17, 2019 SUPPLEMENTARY INFORMATION
- 2 NOV 14, 2018 ISSUED FOR OPAZ/BA RESUBMISSION
- 1 JUL 21, 2017 ISSUED FOR OPAZ/BA

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KEYPLAN



**BAYVIEW VILLAGE
MIXED-USE
DEVELOPMENT**

2901 BAYVIEW AVENUE, TORONTO, ON M2K 1E6

**FLOOR PLAN - LEVEL 3 -
RESIDENTIAL**

DRAWN: [Name] CHECKED: Checker
PLOT DATE: 4/16/2020 9:23:06 PM

A2.203



1 LEVEL 3 FLOOR PLAN
A2.203 1:300