

1 PARKCADE GROUND FLOOR SITE PLAN
A4.002 1:300

1. SOUTH ZONE PROPOSED PARKADE PROJECT STATISTICS

Building Type: Commercial Parkade

BUILDINGS HEIGHT
ZBL Established Site Elevation (at Grade): +179.40 m
Lowerise: Height (*): 5 Storeys Height: 12.48 m
* From established grade to top of roof including roofing material, but excluding parapets and architectural/ornamental elements and mechanical penthouse

GFA DEDUCTION (569-2013):
Deductions as per City of Toronto By-Law 569-2013 include:
A) Parking, loading, and bicycle parking below-ground
B) Required loading spaces at the ground level and required bicycle parking spaces at or below or above-ground
C) Storage Rooms, washrooms, electrical, utility, mechanical and ventilation rooms in the basement
D) Shower and change facilities required by this By-law for required bicycle parking spaces
E) Amenity space required by this By-law
F) Elevator Shafts
G) Garbage Shafts
H) Mechanical Penthouse
I) Exit Stairwells in the building

OCCUPANCY	COMMERCIAL PARKADE GFA		GFA DEDUCTION		TOTAL FLOOR AREA	
	AREA _{gross}	AREA _{net}	AREA _{gross}	AREA _{net}	AREA _{gross}	AREA _{net}
COMMERCIAL PARKADE AT SOUTH ZONE						
Level P1	2127	22895	52	560	2179	23455
Level P2	2406	25898	52	560	2458	26458
Level P3	2144	23078	52	560	2196	23638
Level P4	2144	23078	52	560	2,196	23638
Level P5	2144	23078	52	560	2,196	23638
TOTAL	10965	118027	260	2799	11225	120826

Statistics Template - Toronto Green Standard Version 3.0
Mid to High Rise Residential and all New Non-Residential Development

The Toronto Green Standard Version 3.0 Statistics Template is submitted with Site Plan Control Applications and stand alone Zoning By-law Amendment applications. Complete the table and copy it directly onto the Site Plan submitted as part of the application.
For Zoning By-law Amendment applications: complete General Project Description and Section 1.
For Site Plan Control applications: complete General Project Description, Section 1 and Section 2.
For further information, please visit www.toronto.ca/greendevlopment

General Project Description	Proposed
Total Gross Floor Area	10,965 sm
Breakdown of project components (m ²)	
Residential	n/a
Retail	n/a
Commercial	n/a
Industrial	n/a
Institutional/Other	10,965 sm
Total number of residential units	n/a

Section 1: For Stand Alone Zoning By-law Amendment Applications and Site Plan Control Applications

Automobile Infrastructure	Required	Proposed	Proposed %
Number of Parking Spaces	0	233	---
Number of parking spaces dedicated for priority LEV parking	0	0	0
Number of parking spaces with EVSE	0	0	0

Cycling Infrastructure	Required	Proposed	Proposed %
Number of long-term bicycle parking spaces (residential)	n/a	n/a	
Number of long-term bicycle parking spaces (all other uses)	0	0	
Number of long-term bicycle parking (all uses) located on:			
a) first storey of building		0	
b) second storey of building		0	
c) first level below-ground		0	
d) second level below-ground		0	
e) other levels below-ground		0	

Statistics Template - Toronto Green Standard Version 3.0
Mid to High Rise Residential and all New Non-Residential Development

Cycling Infrastructure	Required	Proposed	Proposed %
Number of short-term bicycle parking spaces (residential)		0	
Number of short-term bicycle parking spaces (all other uses)		0	
Number of male shower and change facilities (non-residential)		0	
Number of female shower and change facilities (non-residential)		0	

Tree Planting & Soil Volume	Required	Proposed	Proposed %
Total Soil Volume (40% of the site area = 65 m ² x 30 m ³)			

Section 2: For Site Plan Control Applications

Cycling Infrastructure	Required	Proposed	Proposed %
Number of short-term bicycle parking spaces (all uses) at-grade or on first level below grade			

UHI Non-roof Hardscape	Required	Proposed	Proposed %
Total non-roof hardscape area (m ²)			
Total non-roof hardscape area treated for Urban Heat Island (minimum 50%) (m ²)			
Area of non-roof hardscape treated with: (indicate m ²)			
a) high-albedo surface material			
b) open-grid pavement			
c) shade from tree canopy			
d) shade from high-albedo structures			
e) shade from energy generation structures			
Percentage of required car parking spaces under cover (minimum 75% non-residential only)			

Green & Cool Roofs	Required	Proposed	Proposed %
Available Roof Space (m ²)			
Available Roof Space provided as Green Roof (m ²)			
Available Roof Space provided as Cool Roof (m ²)			
Available Roof Space provided as Solar Panels (m ²)			



ISSUED FOR

SITE PLAN LEGEND

- PROPERTY LINE
- RIGHT OF WAY
- SETBACK
- NORTH AND SOUTH PARKLAND DEDICATION BOUNDARY LINE
- GREEN ROOF
- OUTDOOR AMENITY SPACE
- PARKLAND
- ▼ MAIN ENTRANCE TO RESIDENCE
- ▼ MAIN ENTRANCE TO SHOPPING CENTRE
- ▼ MAIN ENTRANCE TO OFFICE
- ▼ MAIN ENTRANCE TO LOADING AREA

GENERAL NOTES

- BUILDING HEIGHT INDICATED ON DRAWING IS MEASURED FROM ESTABLISHED GRADE TO TOP OF PARAPET OF ROOF, EXCLUDING MECHANICAL PENTHOUSE.
- PLEASE SEE A1 006 SERIES FOR ALL PROJECT STATISTICS, BUILDING STOREYS, BUILDING HEIGHTS, AND ALL OTHER INFORMATION.
- PLEASE REFER TO SITE PLAN FOR EACH ZONE FOR SPECIFIC DIMENSIONS AND INFORMATION.

REV	DATE	DESCRIPTION
5	MAY 15, 2020	REVISION
4	APR 22, 2020	SUBMISSION
3	JAN 22, 2020	SUBMISSION
2	NOV 14, 2018	ISSUED FOR OPAZ/BA RESUBMISSION
1	JUL 21, 2017	ISSUED FOR OPAZ/BA



35 JOHN STREET, SUITE 500
TORONTO, ON, CANADA
M5V 3G5

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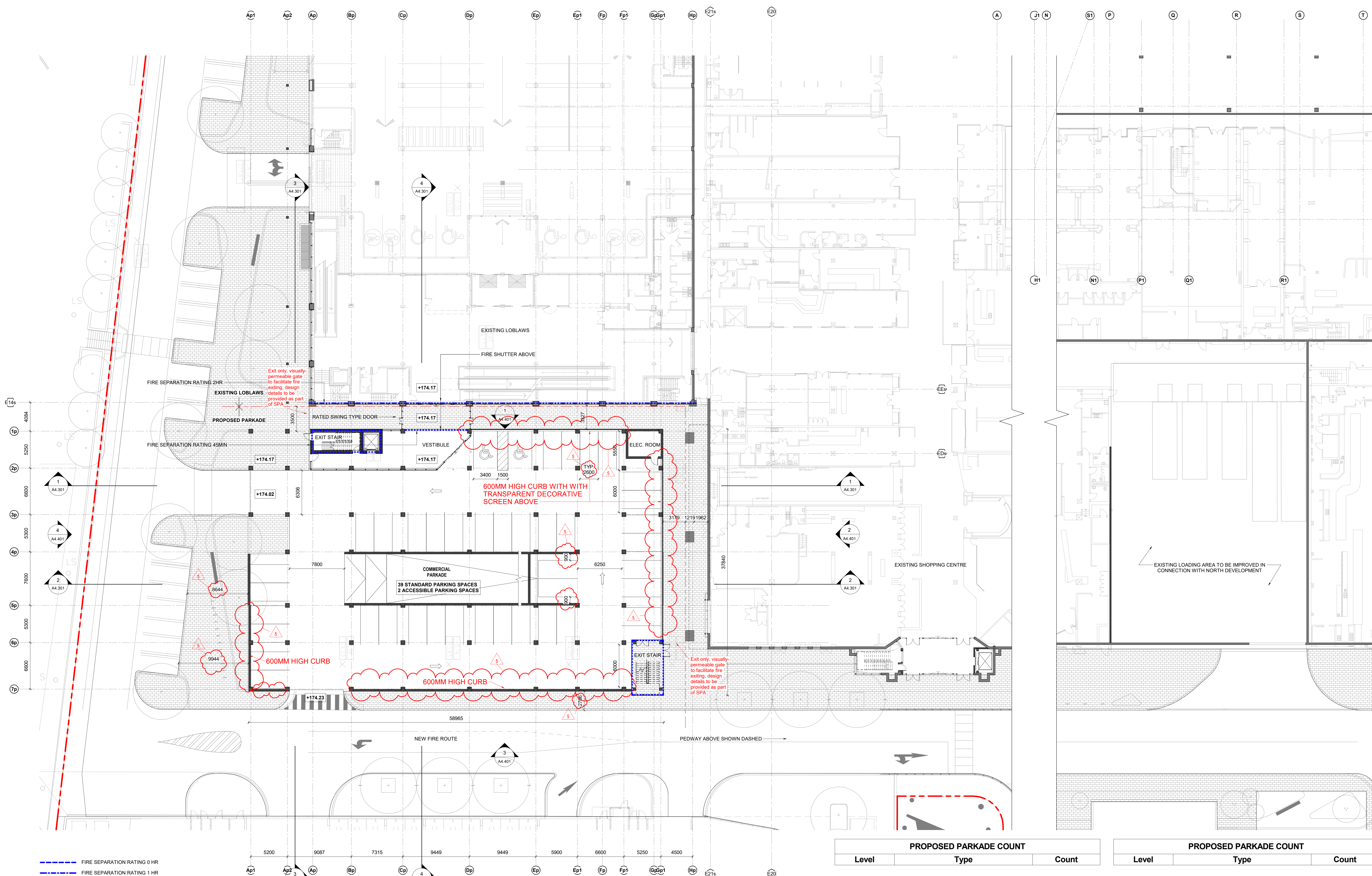
KEYPLAN



BAYVIEW VILLAGE MIXED-USE DEVELOPMENT
2901 BAYVIEW AVENUE, TORONTO, ON M2K 1E6

SITE PLAN - SOUTH ZONE COMMERCIAL PARKADE + PROJECT STATISTICS
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A4.002



- FIRE SEPARATION RATING 0 HR
- FIRE SEPARATION RATING 1 HR
- FIRE SEPARATION RATING 2 HR
- FIRE SEPARATION RATING 3 HR
- FIRE SEPARATION RATING 45 MIN
- FIRE SEPARATION RATING 90 MIN

1 P1 PARKADE
 A4.101 1:200

PROPOSED PARKADE COUNT		
Level	Type	Count
P1 PARKADE	ACCESSIBLE PARKING SPACES	2
P1 PARKADE	STANDARD PARKING SPACES	39
P2 PARKADE	ACCESSIBLE PARKING SPACES	2
P2 PARKADE	STANDARD PARKING SPACES	42
P3 PARKADE	ACCESSIBLE PARKING SPACES	2
P3 PARKADE	STANDARD PARKING SPACES	44

PROPOSED PARKADE COUNT		
Level	Type	Count
P4 PARKADE	ACCESSIBLE PARKING SPACES	1
P4 PARKADE	STANDARD PARKING SPACES	46
P5 PARKADE	ACCESSIBLE PARKING SPACES	1
P5 PARKADE	STANDARD PARKING SPACES	54
TOTAL		233

EXISTING LOADING AREA TO BE IMPROVED IN CONNECTION WITH NORTH DEVELOPMENT

PEDWAY ABOVE SHOWN DASHED

NEW FIRE ROUTE

600MM HIGH CURB WITH WITH TRANSPARENT DECORATIVE SCREEN ABOVE

600MM HIGH CURB

600MM HIGH CURB

FIRE SEPARATION RATING 2HR

FIRE SEPARATION RATING 45MIN

EXISTING LOBLAWS

FIRE SHUTTER ABOVE

PROPOSED PARKADE

EXIT STAIR

VESTIBULE

ELEC. ROOM

EXISTING SHOPPING CENTRE

COMMERCIAL PARKADE

39 STANDARD PARKING SPACES

2 ACCESSIBLE PARKING SPACES

3644

9944

EXIT STAIR

EXIT STAIR

EXIT STAIR

EXIT STAIR

EXIT STAIR

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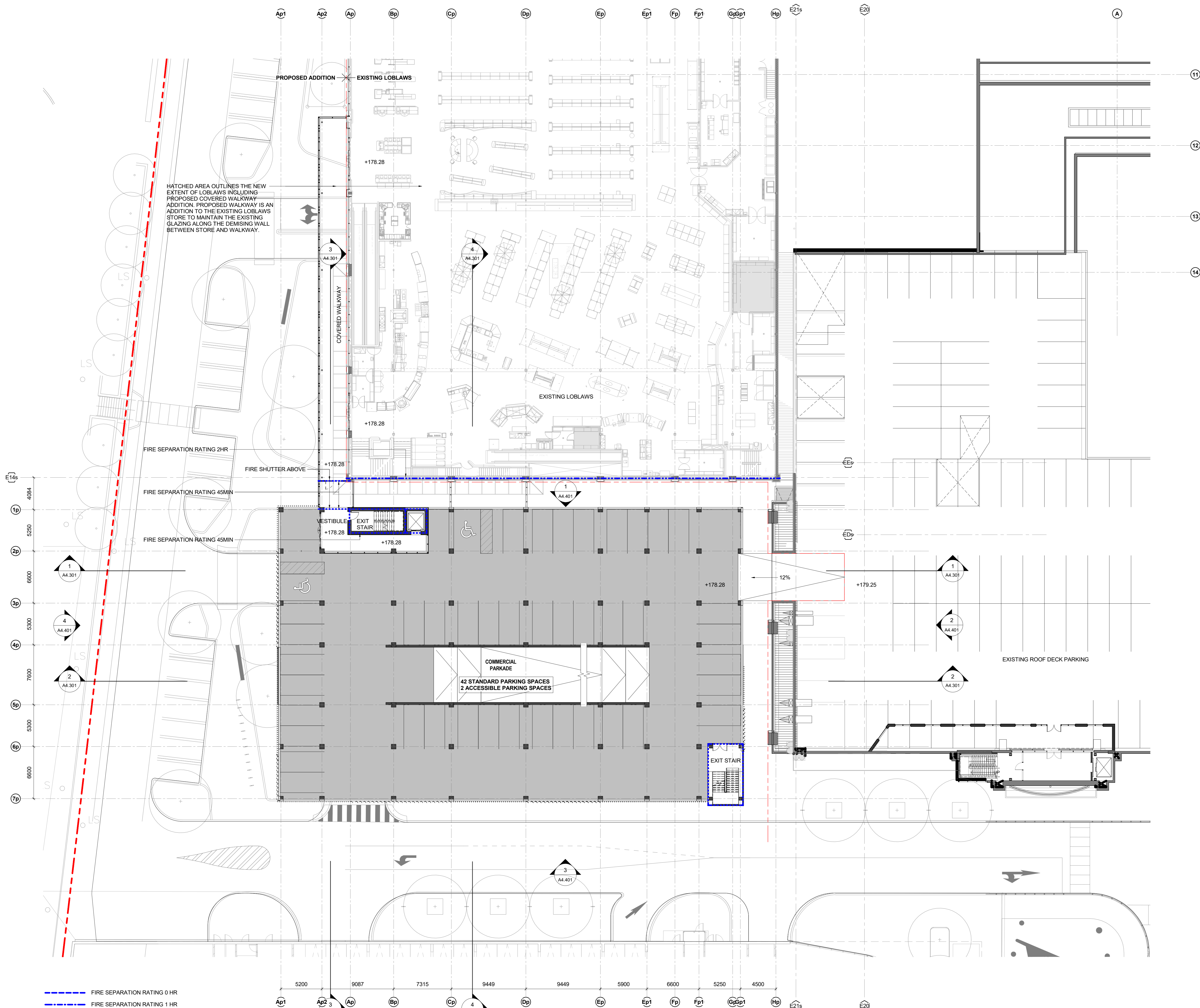
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EXIT STAIR



- FIRE SEPARATION RATING 0 HR
- FIRE SEPARATION RATING 1 HR
- FIRE SEPARATION RATING 2 HR
- FIRE SEPARATION RATING 3 HR
- ... FIRE SEPARATION RATING 45 MIN
- FIRE SEPARATION RATING 90 MIN

1 P2 PARKADE
 A4.102 1:200

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KEYPLAN

SEAL



**BAYVIEW VILLAGE
 MIXED-USE
 DEVELOPMENT**

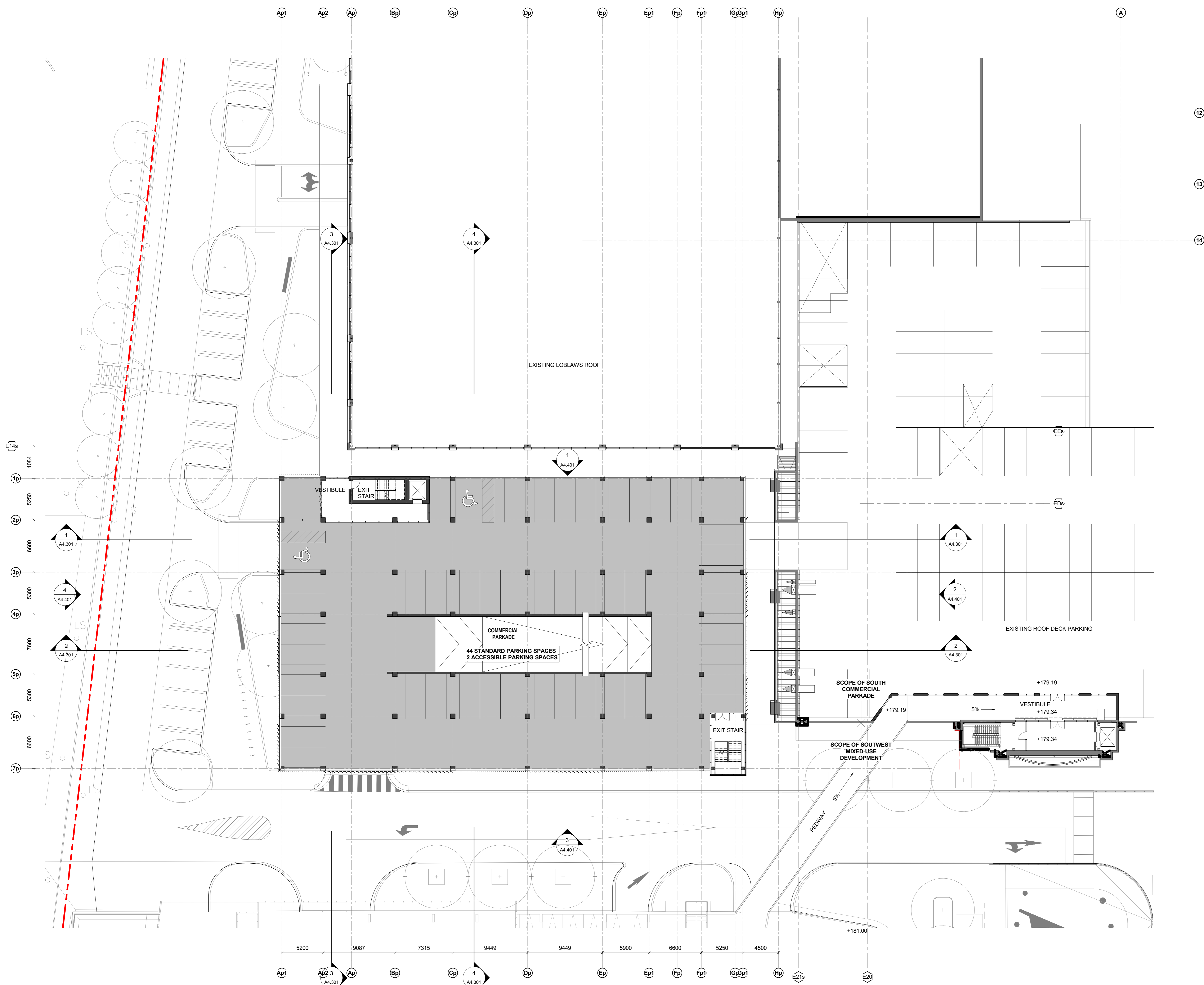
2901 BAYVIEW AVENUE, TORONTO, ON M2K 1E6

**FLOOR PLAN - P3 COMMERCIAL
 PARKADE**

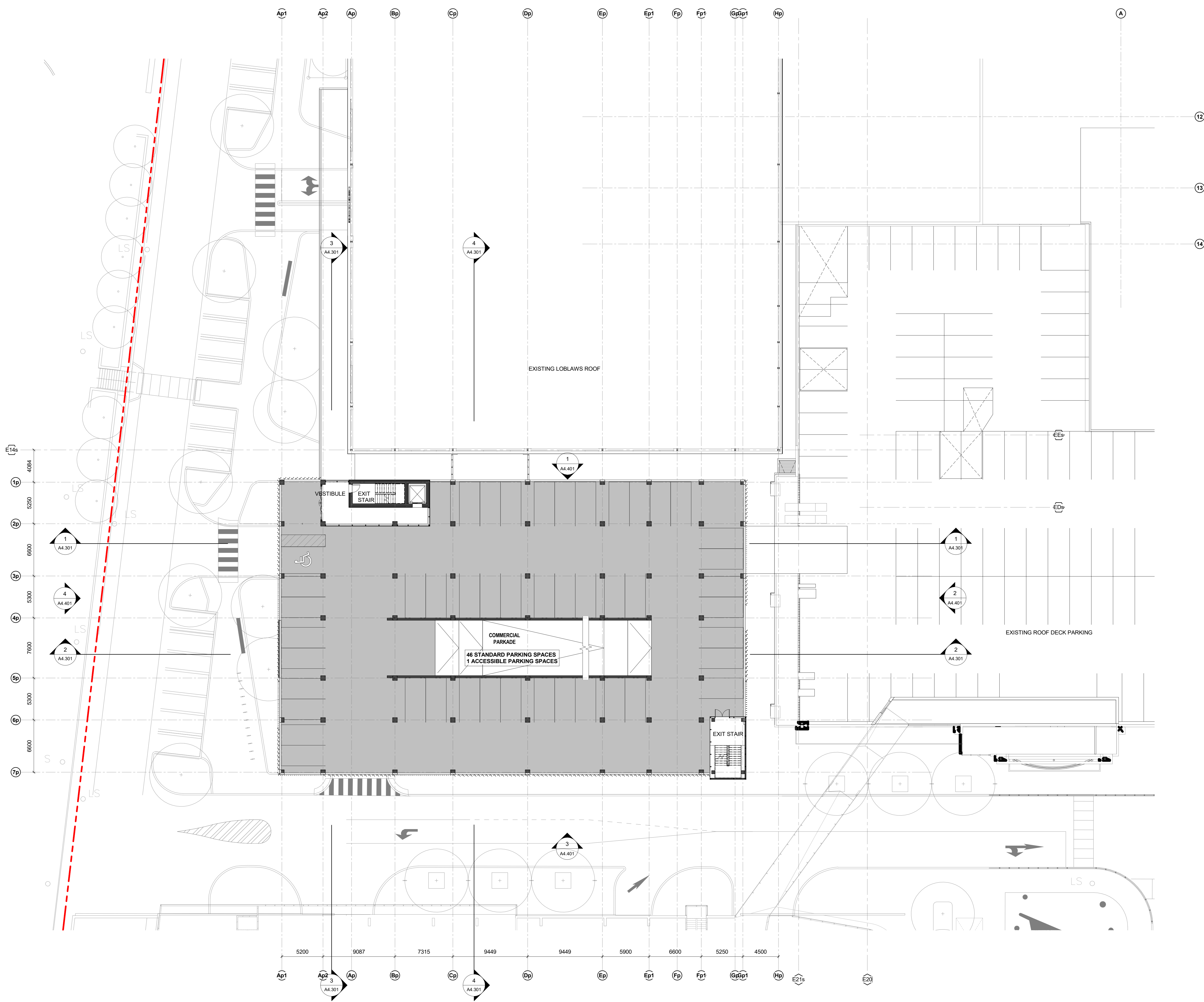
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1 P3 PARKADE
 A4.103 / 1:200



1 P4 PARKADE
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