



Appeal of the Chief Building Official's Decision for a Signage Master Plan Application for 28 wall signs, 10 window signs, 12 projecting signs, three overhanging structure sign, one roof sign and three ground signs at 55 Bloor Street West

Date: August 09, 2020
To: Sign Variance Committee
From: Manager, Sign By-law Unit, Toronto Building
Wards: University-Rosedale (11)

SUMMARY

This report reviews and makes recommendations on an application made by Kramer Design Associates (the "Applicant") who has been authorized by the owner of the property municipally known as 55 Bloor Street West (the "Subject Premises"), Manufacturers Life Insurance CO. to appeal the Chief Building Official's decision to refuse to grant 20 variances from the Sign By-law for 57 first party signs including: 28 wall signs, 10 window signs, 12 projecting signs, three overhanging structure signs, one roof sign and three ground signs at street level and along the lower five-storeys of the building(s) located on the Subject Premises ("2019-Signage Master Plan"). The 2019-Signage Master Plan and required variances are described in Attachment 1 to this report.

After reviewing the supporting materials of this application and a staff investigation into the subject premises and surrounding area, the Chief Building Official ("CBO"), refused to grant the requested variances required for the 2019-Signage Master Plan application. An appeal of the CBO's decision to refuse the 2019-Signage Master Plan was filed by Patrick Harrington, on behalf of the property owner in July, 2020.

In 2018, the Applicant submitted an application ("Proposed 2018-Signage Master Plan"), which is similar to the 2019-Signage Master Plan. A modified version of the Proposed 2018-Signage Master Plan was approved with conditions by the CBO ("Approved 2018-Signage Master Plan").

The most significant changes between the Approved 2018-Signage Master Plan, and the 2019-Signage Master Plan are: that one wall sign has been added to the second storey at the east elevation, one wall sign has been added to the first storey on the west

elevation, and two overhanging structure signs proposed to advertise BMO (removed from the Approved 2018-Signage Master Plan) have been modified in size and height.

Following a review of the Applicant's submissions and the results of research and investigation by the staff of the Sign By-law Unit, The CBO has determined that the Applicant has not provided sufficient information to determine that the 2019-Signage Master Plan meets all nine of the criteria established in §694-30A of the Sign By-law. Specifically, the information provided has not allowed the CBO to determine that the 2019-Signage Master Plan is compatible with the development of the premises and surrounding area and does not alter the character of the premises or surrounding area.

The CBO recommends that, the Sign Variance Committee refuse the all of the variances requested for the 2019-Signage Master Plan.

RECOMMENDATIONS

The Chief Building Official and Executive Director, Toronto Building, recommends that:

1. The Sign Variance Committee refuse the requested variances to § 694-6A(8)(a), § 694-20A(1), § 694-20A(2), § 694-21D(6)(b), § 694-21D(6)(c), § 694-21D(6)(e), § 694-21D(6)(f) and § 694-21D(1)(a) required for the Signage Master Plan consisting of 54 wall, window, roof and overhanging structure signs on the first five storeys of the building(s) located on the Premises municipally known as 55 Bloor Street West and three ground signs along the east, west and north property frontages of the Premises municipally known as 55 Bloor Street West, as described in detail in Attachment 1 of this report.

FINANCIAL IMPACT

There is no financial impact resulting from adopting the recommendations in this report.

DECISION HISTORY

FP- 18-00115 (File# 18 190908)

On June 7, 2018, the CBO refused to grant the variances required for the Proposed 2018-Signage Master Plan; however, in this decision the CBO granted variances for the Approved 2018-Signage Master Plan and imposed the following conditions:

1. The proposed ground signs (referred to as "PD-1", "PD-2", and "PD-3") display static copy and readograph copy only, and the readograph copy may be displayed or changed electronically; and
2. The proposed projecting sign (referred to as "PEN-1") not exceed a height of 3.75 metres, in line with the adjacent wall signs of the parking garage.

This approval also did not include all of the signs sought in the Proposed 2018-Signage Master Plan; Signs BCB-1 and BCB-2 were not approved.

The Approved 2018-Signage Master Plan is described in full in Attachment 2, and the Proposed 2018-Signage Master Plan is described in full in Attachment 3. No appeal of the June 7, 2018 decision was pursued at that time. There have since been several sign permit applications reliant on the Approved-2018-Signage Master Plan that have been submitted and approved.

FP- 19-255371 (File# 19 255371)

On November 28, 2019, the Applicant submitted the 2019-Signage Master Plan. This Signage Master Plan was almost identical to the Approved 2018-Signage Master Plan, the main difference being the addition of two wall signs and the size and placement of two overhanging structure signs located at the corners of Bloor and Bay and Bloor and Balmuto Streets. These signs were similar to signs BCB-1 and BCB-2 which were each refused in the Approved 2018-Signage Master Plan.

On June 25, 2020, the CBO issued the decision refusing to grant the requested variances for the 2019-Signage Master Plan.

On July 20, 2020, the CBO's decision was appealed by Patrick Harrington on behalf of the property owner.

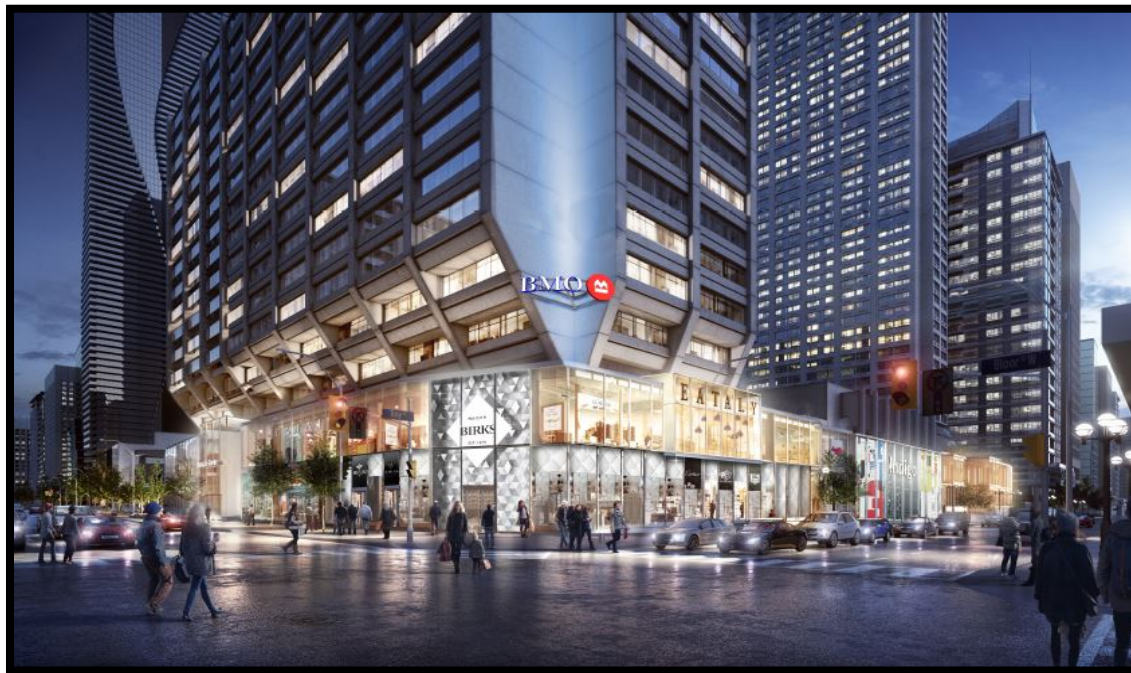


Figure 1: Rendering of BCB-2 provided by the Applicant

ISSUE BACKGROUND

Required Variances:

Table 1: Summary of Requested Variances for the proposed Signage Master Plan

Sign By-law Section	Requirement	Proposal
§ 694-6A(8)(a)	The total sign face area of window signs shall not exceed 25 percent of the area of the window excluding its frame;	Two of the proposed window signs (SB-1, SB-2) exceed 25% of the window;
§ 694-20A(1)	The portion of the sign copy which advertises, promotes, or directs attention to goods available at the premises does not exceed 30 percent of the sign face area;	Nine of the proposed signs (SB-1, SB-2, ER-1, LI-1, LI-2, LI-3, LI-4, LI-5, and LI-6) dedicates 100% to advertising, promoting or directing attention to goods available at the premises.
§ 694-20A(2)	The portion of the ground signs which advertises, promotes, or directs attention to goods available at the premises does not exceed 30 percent of the sign face area;	Three of the proposed signs (PD-1, P-2, and PD-3) dedicates approximately 40% to advertising, promoting or directing attention to goods available at the premises.
§ 694-21D(6)(b)	Projecting signs shall not project more than 1.0 metre from the wall;	The proposed projecting sign (PEN-1) projects more than 1.0 metre from the wall.
§ 694-21D(6)(c)	The sign shall have no more than two sign faces;	The proposed projecting sign (PEN-1) have more than two sign faces.
§ 694-21D(6)(e)	Projecting signs shall be perpendicular to the wall of the building;	The proposed projecting sign (PEN-1) is not perpendicular to the wall.
§ 694-21D(6)(f)	The sign face area of projecting signs shall not exceed 1.0 square metres;	The proposed projecting sign (PEN-1) exceeds the maximum permitted area.
§ 694-21D(1)(a)	The sign shall not be erected on an overhanging structure located above the second store of the building.	Two of the proposed overhanging structure signs (BCB-1 and BCB-2) are located between the fourth and fifth storey.

Sign Attributes

The 2019-Signage Master Plan contains 57 signs, including: 28 wall signs, 10 window signs, 12 projecting signs, three overhanging structure sign, one roof sign and three ground signs. All of the proposed signs are first party signs and will display static copy except for three ground signs which may display electronic readograph copy. The 2019-Signage Master Plan includes first five storeys of the building(s) located on the Subject Premises and three ground signs along the east, west and north property frontages of the Subject Premises.

Site Context and Sign District Designation

The Subject Premises is designated as a Commercial Residential (CR) Sign District, located in Ward 11 - University-Rosedale. It occupies a complete city block with street frontages on Bloor Street W, Bay Street, Balmuto Street and Charles Street within the Bloor-Yorkville BIA. Based on the applicant's material, Subject Premises contains a 16 storey office building, a 51 storey residential tower with 800 suites and a three-storey retail center.

Surrounding Area:

North: CR Sign District, office building and a shopping mall

South: CR Sign District, commercial and residential uses

East: CR Sign District, commercial and residential uses

West: CR Sign district, commercial and residential uses

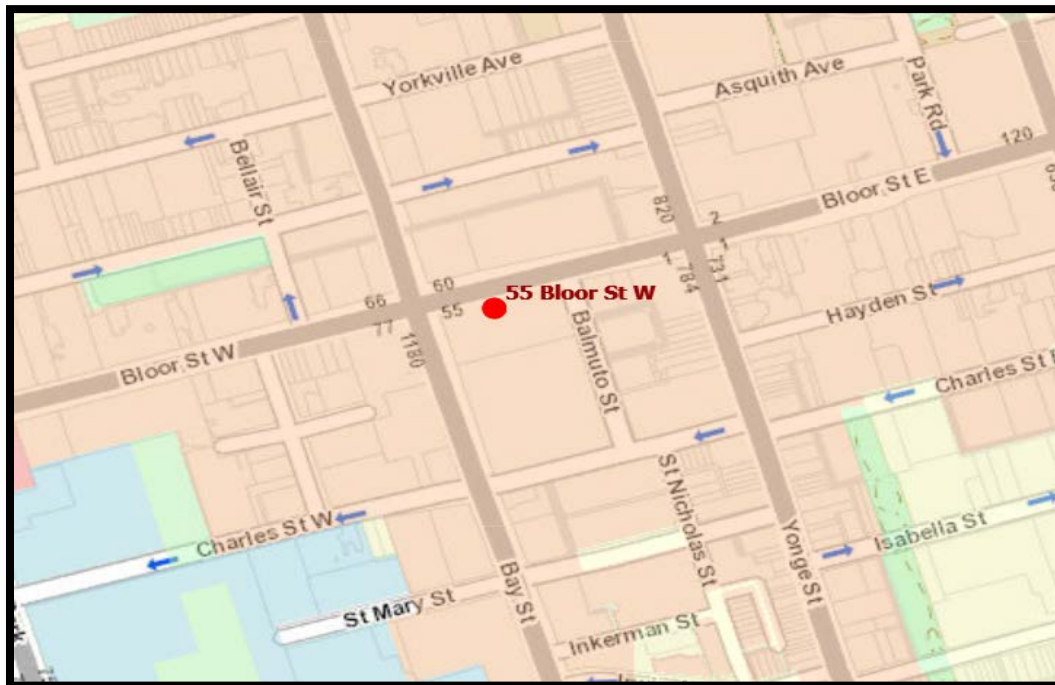


Figure 2: Map Excerpt Identifying the Sign District of the Subject Premises and Surrounding Area

COMMENTS

Criteria Established by §694-30A of The Sign By-law

The Sign By-law contains specific criteria used in evaluating Sign Variance and Signage Master Plan applications. Specifically, §694-30A states that a variance may only be granted where it has been determined that a Proposed Sign meets each of the nine established criteria.

When a decision regarding a first party Sign Variance or Signage Master Plan application is appealed, the Sign Variance Committee conducts an *appeal de novo*, meaning that they are required to conduct an evaluation to determine whether the party seeking the variance has demonstrated that the Proposed Sign meets all nine criteria, on the basis of the information presented to the Sign Variance Committee.

It is the opinion of the CBO that the Applicant has not provided sufficient information to establish that the 2019-Signage Master Plan meets all nine criteria. Specifically, the Applicant has not demonstrated that the 2019-Signage Master Plan is compatible with the development of the premises and surrounding area; that it would not alter the character of the premises and surrounding area.

Applying the Established Criteria:

Section/Criteria Description: 694-30A(1) - *The Proposed Sign belongs to a sign class permitted in the Sign District*

The Subject Premises has been confirmed as being designated as a Commercial Residential (CR) Sign District, and that CR Sign District permits first party signs. The CBO has also confirmed that as per information contained in the Applicant's submission, the proposed signs in the 2019-Signage Master Plan belong to the first party sign class, since they advertise, promote, or direct attention to businesses, goods, services, matters, or activities that are available at, or related to, the Premises where the signs are located.

Therefore, the CBO is of the opinion that this criteria has been established.

Section/Criteria Description: 694-30A(2) - *In the case of a third party sign, the Proposed Sign is a sign type permitted in the Sign District*

Sign Unit staff have reviewed information contained in the Applicant's submission and confirmed that all of the signs in the 2019-Signage Master Plan belong to the first party sign class.

Therefore, the CBO is of the opinion that this criteria has been established.

Section/Criteria Description: 694-30A(3): *The Proposed Sign is compatible with the development of the premises and surrounding area*

The Subject Premises is designated as a Commercial Residential (CR) Sign District surrounded by other CR Sign District. The current Sign By-Law and CR regulations permit wall signs, window signs, overhanging structure signs, ground signs and projecting signs which function to identify the business on the premises. However, roof signs are only permitted when they form part of a Signage Master Plan consisting entirely of first party signs.

As stated above, all of the signs contained in the 2019-Signage Master Plan are first party signs. A discussion of each sign type contained is discussed below:

Roof Signs:

In both 2018 and 2019-Signage Master Plan, CTB-1 is considered as a roof sign as it is attached to the building roof. Based on submitted materials for sign CTB-1, it is in the opinion of the staff that although it is attached to the building roof, it has the appearance of a wall sign, and has been coordinated in size and position with the building wall as well as the other signage on the Subject Premises and the surrounding area.

Ground Signs:

Ground signs PD-1, PD-2, and PD-3 are located at Bloor-Balmuto, Charles-Balmuto and Bay-Charles intersection respectively. Based on submitted materials, these signs will have an overall height of 5.6 meters, with a sign face area of 3.84 square meters; portions of these signs that may display electronic readograph copy would be approximately 1.55 square metres each. The signs will display static and readograph sign copy only.

Staff confirmed that, the size and height of PD-1, PD-2 and PD3 meet the Sign Bylaw requirements for ground signs in CR Sign Districts, with only one per frontage. It is in the opinion of the staff that, the first party ground signs displaying readograph sign copy are also consistent with multi-tenant commercial buildings and also act as visual landmarks and permit enhanced vehicular and pedestrian wayfinding around the Subject Premises. (See Figure 3 below)



Figure 3 - Proposed ground sign displaying static and readograph copy PD-1

Window Signs:

The Sign Bylaw permits window signs on the first and second storey of buildings in CR sign districts; and, provided that they cover less than 25% of the window area, they are exempt from permit requirements. In addition, the Sign Bylaw limits the portion of all signs advertising, promoting, or directing attention to goods available at the premises to 30% of the sign face area.

In 2019-Signage Master Plan and the 2018-Signage Master Plan, the window signs identified on the applicant's submission as SB-1, SB-2, ER-1, and CMW-1 exceed 25% of the window area. Also, nine window signs identified on the applicant's submission as SB-1, SB-2, ER-1, LI-1, LI-2, LI-3, LI-4, LI-5, and LI-6, dedicate 100% to advertising, promoting or directing attention to goods available at the premises.

Based on submitted materials and a review of signs in the surrounding area, it is in the opinion of the staff that the purpose of the window signs is to feature products available on site and that the signs have been designed in a way that is proportional to the building facades on the Subject Premise, as well as buildings in the surrounding area.

It is also the opinion of the staff that, the proposed window signs are largely indistinguishable from the wall signs on the lower levels of the building and the aggregate area of the window and wall signs do not overwhelm the building façades. In addition, staff confirmed that the window signs are all designed flush with the windows where they are displayed, which is consistent with other signs in the surrounding area.

Projecting Signs:

The CR sign district regulations permit projecting signs provided: they are not above the second storey; do not project more than 1.0 meter from the wall; they have no more than two sign faces with a back to back configuration, are perpendicular to the wall of

the building; do not to exceed 1.0 square meters in sign face area; and are not closer than 6.0 meters horizontally from another projecting sign.

Projecting sign PEN-1 requires four variances since has more than two faces and each sign face exceeds the maximum 1.0 square meter sign face area, is not perpendicular to the wall of the building, and projects more than 1.0 meter from the wall of the building.

Based on the materials submitted and an investigation into the Subject Premises, it is in the opinion of the staff that, PEN-1 is simply a redesigned version of the existing sign at the parking garage entrance along the Charles Street frontage. The existing sign has the same elements as the proposed sign, however PEN-1 simply reconfigures the parking entrance and business identification signs. (See Figures 4 and 5 below)



Figure 4 - Existing Parking Garage Entrance Sign (Google Street view image, 2015)



Figure 5 - Proposed projecting sign PEN-1

Wall and Overhanging Structure Signs:

The CR sign district regulations, 694-21D (1), permit overhanging structure signs provided: they are not above the second storey; the total sign face area does not exceed 50 percent of the area of the overhanging structure face at the first storey or 25 percent of the area of the overhanging structure sign at the second storey (applicable when sign is not displayed above, below or beyond the overhanging structure); does not extend more than one meter when sign is displayed above the overhanging structure sign or extend beyond either end of the wall from which the overhanging structure projects.

In addition to 694-21D(1) and 694-21D(5), Sign By-Law allows wall signs displaying the logo or corporate symbol of a business on the uppermost storey, mechanical penthouse, or parapet wall of an office building containing 10 or more storeys in CR sign district.

In 2018-Signage Master Plan and the 2019-Signage Master Plan, one wall sign and two overhanging structure signs have been proposed for Bank of Montreal. RB-2 wall sign has been proposed on the first storey of the north elevation and staff confirms that, is in compliance with the Sign-Bylaw. Two BCB-1 and BCB-2 overhanging structure signs are located above the second storey and require variances with respect to subsection 694-21D (1)(a).

In addition to these three signs, based on the staff investigation, Bank of Montreal has the corporate symbol of its business on both uppermost storey of north and south elevation – these upper storey signs are not part of 2019-Signage Master Plan or the Approved 2018-Signage Master Plan.

The Subject Premises is surrounded by CR sign districts and signage is permitted on the first, second and uppermost storey, mechanical penthouse, or parapet wall. With the exception of BCB-1 and BCB-2, the signs in 2018-Signage Master Plan and in the 2019-Signage Master Plan are located either on first or second storey and are compatible with the premises and surrounding area.

As the Applicant noted in their submission materials that the proposed signs BCB-1 and BCB-2, have been designed to be incorporated within the architectural façade, however they did not address how they are compatible with the development of the premises and surrounding area.

Unlike the other wall signs in the 2019-Signage Master Plan which have all been incorporated into new building elements based on the staff opinion, and are either flush with the building wall or located behind a window, BCB-1 and BCB-2 are being added to the existing building wall and project off of the north-east and north-west corners of the building in a way that is not consistent with signs on the Subject Premises or the surrounding area. (See Figure 6)

The applicant's submission materials also suggest that signs BCB-1 and BCB-2 are at a height that is consistent with sign in the surrounding area. Their submission makes reference to several locations located to the east of the Subject Premises.

A review of the permit drawings on file and an on-site investigation by Sign Unit staff determined that the height of the signs to the east of the Subject Premises are as follow: the Scotiabank wall sign has a height of 12.8 meters and Holt Renfrew Men wall sign has a height of 12.5 meters.

Signs BCB-1 and BCB-2 have a height of 17.5m, approximately 5.0 metres higher than the signs referred to in the applicant's submission. It should also be noted that the north, south and west of the Subject Premises, there are few, if any signs that would have a similar height as BCB-1 and BCB-2.



Figure 6 - Proposed wall sign BCB-2

As discussed, the Subject Premises and surrounding area are designated as CR sign district therefore first party signs are generally permitted to be displayed on the first or second storey, within the line of sight of motorists and pedestrians. In addition, displaying wall signs at the uppermost storey or mechanical penthouse level is also common in the area.

Although the majority of the proposed signs for the first two storeys are, in the opinion of the CBO, compatible with the Subject Premises and surrounding area; it is also the opinion of the CBO that the applicant has not provided sufficient information to establish that all of the signs contained in 2019-Signage Master Plan, specifically BCB-1 and BCB-2 are compatible with the premises and surrounding area.

As such, the CBO has determined that this criteria has not been established.

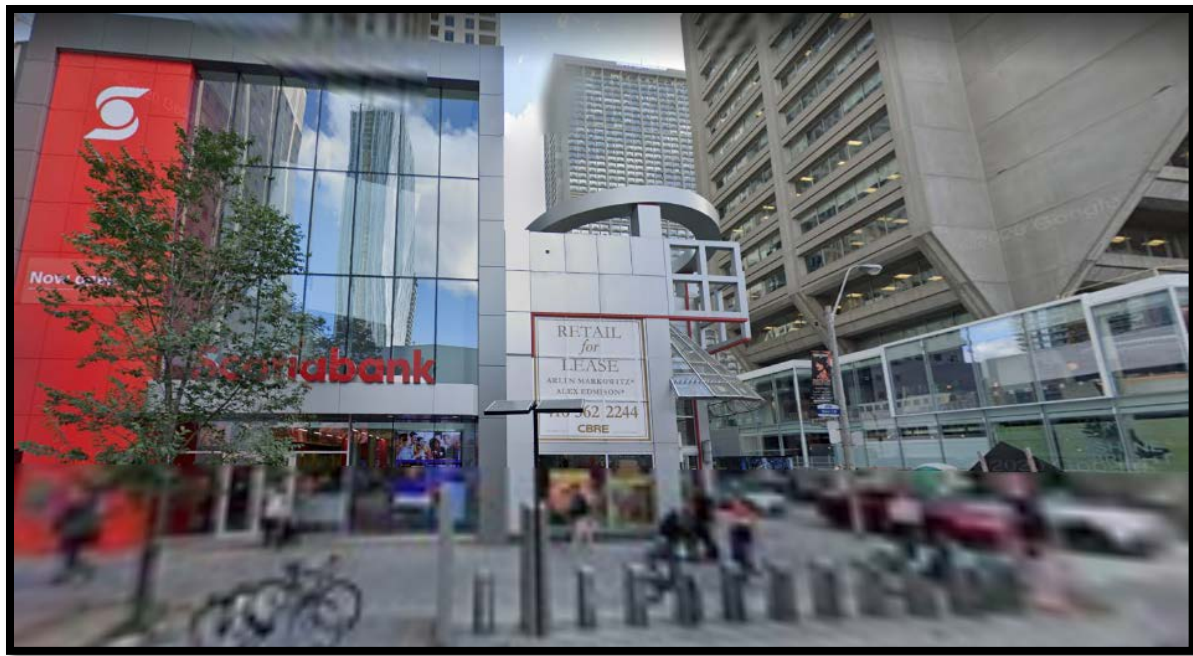


Figure 7- Scotia Bank wall sign at the height of 12.5 meters (Google Street view image, 2019)

Section/Criteria Description: §694-30A(4) - The Proposed Sign supports Official Plan objectives for the property and surrounding area

The *Official Plan* designates the Subject Premises as a Mixed Use Area. These areas of the city are made up of a broad range of commercial, residential and institutional uses, in single use or mixed use buildings, as well as parks and open spaces and utilities.

The CBO's review has also determined that there are no other Secondary Plan or Area-Specific policies applicable to the Subject Premises. It is also not located within a Toronto and Region Conservation Authority-Regulated Area, and the building on the Subject Premises is not listed or designated under the *Ontario Heritage Act*.

As the 2019-Signage Master Plan would result in signs that would support a number of commercial uses permitted in a mixed use building, and, subject to the illumination requirements of the Sign Bylaw, be compatible with residential uses in the surrounding area. As a result, the CBO is of the opinion that this criteria has been established.

Section/Criteria Description: 694-30A(5) - The Proposed Sign does not adversely affect adjacent premises

The Subject Premises is located in a CR sign district as well as the properties to the north, east and west. After serving the Notice of Application for 2019-Signage Master Plan to mailing address of residential and business tenancies within a 250-meter radius of the Subject Premises. Staff from the Sign By-Law Unit received multiple communications from the residents stating their concerns regarding their quality of life due to illumination of the signs and requesting/insisting that the signs not be illuminated

past 11pm. As the Applicant noted in their supporting materials, the signs will be illuminated at levels compliant with provisions of Chapter 694 which limits the illumination hours from 7:00 AM to 11:00 PM or during operating hours of the business.

Sign BCB-1 faces is located on the corner of Bloor and Balmuto Streets, which faces commercial businesses such as Holt Renfrew, Zara, Fossil, Aritzia, Scotiabank and CIBC. Sign BCB-2 is located at the corner elevation of Bloor and Bay Streets, which faces commercial offices and businesses such as the Gap, Roots and Goodlife Fitness, and TD Bank. The proposed signs are positioned to face north-east and north-west on Bloor Street and cannot be viewed from residential in the Bloor Yorkville area and should not adversely affect any residential units in the surrounding area.

The Subject Premises does not have any sensitive land uses in the lower levels of the surrounding buildings, only commercial and retail uses. As well, the signs will be displaying only static and readograph sign copy, both of which are permitted in CR Sign districts. As a result, it is staff's opinion that the signs in the 2019-Signage Master Plan should not adversely affect adjacent properties.

As such, based on the applicant's submission materials and staff investigation into the Subject Premises and surrounding area, the CBO is of the opinion that this criteria has been established.

Section/Criteria Description: 694-30A(6) - *The Proposed Sign does not adversely affect public safety, including traffic and pedestrian safety.*

The 2019-Signage Master Plan has proposed 53 wall, window signs, projecting, overhanging structure signs and one roof sign. All of these signs will display static copy only and are located as to obstructing any visibility zones.

The Applicant has also proposed three ground signs on Bloor St., Balmuto St. and Bay St. frontage are all located outside the visibility zone(s) and provide a sufficient vertical clearance to not obstruct pedestrian or traffic safety. According to submitted materials, the copy on these signs is to communicate parking information and provide effective wayfinding.

The Applicant has also indicated that the illumination levels of the 2019-Signage Master Plan are as per the provisions of Chapter 694 of the Municipal Code, and will be visually consistent with existing illuminated signage in the area, and hence will not become a focal point for drivers.

Also, there is no element of the design or construction of the signs in the 2019-Signage Master Plan that would appear to lead to a reasonable concern related to public safety, and, provided that all signs are properly designed, installed and operated, the CBO does not believe that any other issues related to public safety are foreseeable.

As such, based on the applicant's submission materials, the CBO is of the opinion that this criteria has been established.

Section/Criteria Description: 694-30A(7) - *The Proposed Sign is not prohibited by §694-15B*

The Applicant's materials provide sufficient information to confirm that the 2019-Signage Master Plan does not contain any signs that are prohibited by §694-15B of the Sign By-law, and therefore the CBO has determined that this criteria has been established.

Section/Criteria Description: 694-30A(8) - *The Proposed Sign does not alter the character of the premises or surrounding area*

As stated earlier, the Subject Premises is within a CR Sign District and also surrounded by other CR Sign Districts to the north, east, south and west. The current Sign By-Law and CR regulations permit window signs, overhanging structure signs, ground signs, wall signs and projecting signs which function to identify the business on the premises however, roof signs are only permitted when included in a Signage Master Plan which is made up entirely of first party signs.

Roof Signs:

In both 2018 and 2019-Signage Master Plan, CTB-1 is considered as a roof sign as it is attached to the roof of the Subject Premises. Based on submitted materials, the proposed roof sign has the appearance of a wall signs and is at a size and height consistent with other signs on the Subject Premises and surrounding area. As a result, CTB-1 does not alter the character of the premises and surrounding area.

Ground Signs:

The size and height of PD-1, PD-2 and PD3 meet the Sign Bylaw requirements for ground signs displaying readograph sign copy in CR Sign Districts, with only one per frontage. First party ground signs displaying readograph sign copy are common in multi-tenant commercial buildings and permitted broadly in CR Sign Districts throughout the city. As a result, PD-1, PD-2 and PD-3 do not alter the character of the premises and surrounding area.

Window Signs:

Based on submitted materials, the purpose of window signs is to feature products available on site and are designed in a way that is proportionate to the window where the sign is located, as well as the overall building facade and the building facades in the surrounding area. It is also the opinion of the staff that the window signs proposed in the 2019-Signage Master Plan are largely indistinguishable from the wall signs on the lower levels of the building and the aggregate area of the window and wall signs do not overwhelm the building façades on the Subject Premises or overwhelm the surrounding area.

Projecting Signs:

The projecting sign, PEN-1 is a redesigned and updated version of the existing sign at the parking garage entrance along the Charles Street frontage. The existing sign has Appeal – Signage Master Plan - 55 Bloor St W

the same elements as the proposed sign; PEN-1 simply reconfigures the parking entrance and business identification signs. As a result, the re-design and update of PEN-1 does not alter the character of the premises and surrounding area.

Wall and Overhanging Structure Signs:

The Applicant has proposed to erect three overhanging structure signs. HEB-1 is located on the Bloor Street elevation and complies with the requirements for overhanging structure signs in CR Sign Districts. Overhanging structure signs BCB-1 and BCB2 are proposed to be erected between fourth and fifth storey at the height of 17.5 meters and require variances with respect to subsection 694-21D(1)(a).

Based on a site visit conducted by staff, it appears that the BCB-1 and BCB2 overhanging structure signs will alter the character of the area due to their height. The only sign with comparable height to the west of the Subject Premises is a third party roof sign at 83 Bloor St W, which is now prohibited under the current Sign By-Law (See Figure 8 below).

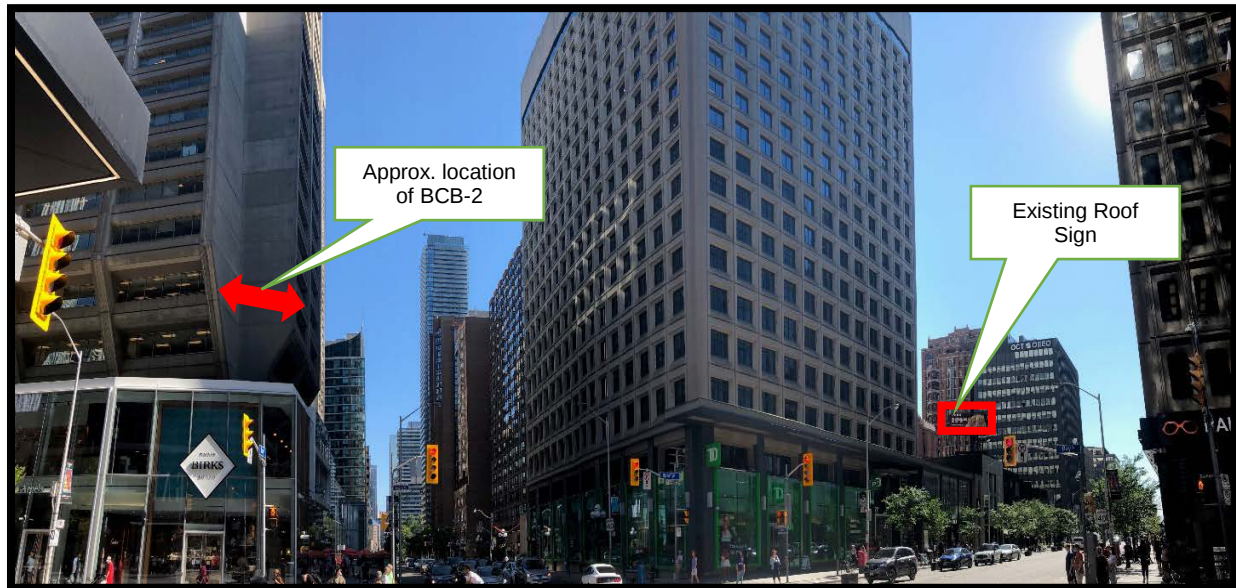


Figure 8 - Looking south at Bloor-Bay intersection (Northwest corner of 55 Bloor St W)

Also, it appears that there are no other signs above the first two storeys in the surrounding area along Bay St. and therefore it seems proposed BCB-1 and BCB2 would alter the character of the Bay St (see Figure 9 below).

The Sign By-law Unit received communications from nearby residents with concerns mainly around light pollution that may result from additional signs on the Subject Premises, several communications stating that any addition of any signs to the Subject Premises, would make the area look like "Dundas Square", or "Las Vegas".



Figure 9 – Looking south along Bay St.

The Applicant's material has not provided sufficient information to confirm that the signs in the 2019-Signage Master Plan will not alter the character of the premises or surrounding area, particularly to the west of the Subject Premises and along Bay St.

As a result, the CBO is of the opinion that this criteria has not been established.

Section/Criteria Description: 694-30A(9): *The Proposed Sign is not contrary to the public interest*

The proposed signs in the 2019-Signage Master Plan will contain 57 signs, all of which are sign types that are permitted in the CR sign district.

Although there were some concerns raised by the local residents, many of the concerns raised are addressed by the illumination requirements in the Sign Bylaw that would apply to the 2019-Signage Master Plan.

20 variances to the Chapter 694 are required to allow CBO to issue a sign permit for the proposed signs. Based on the applicant's submission, the 20 variances that have been requested for the proposed signs in the 2019-Signage Master Plan, will not result in signs that are contrary to the public interest as they are common for the sign types being proposed.

The Applicant's materials establish sufficient information to confirm that the proposed sign will not be contrary to the public interest, therefore the CBO is of the opinion that this criteria has been established.

CONCLUSION

The CBO has determined that the Applicant has not provided sufficient information to establish that the 2019-Signage Master Plan meets all nine of the criteria set out in §694-30A of the Sign By-law, which are required for approval to be granted.

Specifically, the Applicant has not provided sufficient information to allow the CBO to determine that the 2019-Signage Master Plan: is compatible with the development of the premises and surrounding area; and, does not alter the character of the premises and surrounding area.

As a result, the CBO recommends refusal of the 2019-Signage Master Plan.

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SIGNATURE

Ted Van Vliet
Manager, Sign By-law Unit, Toronto Building

ATTACHMENTS

Attachment 1 – Description of 2019-Signage Master Plan, Complete List of Signs and Required Variances

Attachment 2 – Description of Approved 2018-Signage Master Plan

Attachment 3 – Description of Proposed 2018-Signage Master Plan

Attachment 4 – Sign District View Mapping of the Subject Premises and surrounding Area

Attachment 5 – Applicant's Submission Package

Attachment 6 – Letter of Opposition

Attachment 1 – Description of 2019-Signage Master Plan and Required Variances

2019-Signage Master Plan:

- A. Proposed Sign MEB-1 is a first party illuminated Wall Sign to be located on the North elevation of the premises municipally known as 55 Bloor Street West described as follows:
1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 4.86 square metres;
 - b. a maximum horizontal measurement of 7.40 metres;
 - c. a maximum vertical measurement of 0.66 metres;
 2. With a Maximum Height of 5.24 metres
 3. Displaying Static Copy
 4. The Sign may be illuminated; and
 5. The Sign shall be located in accordance with the designated location indicated as MEB-1 in Attachment 1.1 below
- B. Proposed Sign MEB-2 is a first party illuminated Wall Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:
1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 4.86 square metres;
 - b. a maximum horizontal measurement of 7.40 metres;
 - c. a maximum vertical measurement of 0.66 metres;
 2. With a Maximum Height of 5.34 meters
 3. Displaying Static copy
 4. The Sign may be illuminated; and
 5. The Sign shall be located in accordance with the designated location indicated as MEB-2 in Attachment 1.1 below

- C. Proposed Sign MEB-3 is a first party illuminated Wall Sign to be located on the East elevation of the premises municipally known as 55 Bloor Street West described as follows:
1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 4.86 square metres;
 - b. a maximum horizontal measurement of 7.40 metres;
 - c. a maximum vertical measurement of 0.66 metres;
 2. With a Maximum Height of 4.51 metres
 3. Displaying Static copy
 4. The Sign may be illuminated; and
 5. The Sign shall be located in accordance with the designated location indicated as MEB-3 in Attachment 1.1 below
- D. Proposed Sign RB-1 is a first party illuminated Wall Sign to be located on the North elevation of the premises municipally known as 55 Bloor Street West described as follows:
1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 3.44 square metres;
 - b. a maximum horizontal measurement of 6.49 metres;
 - c. a maximum vertical measurement of 0.53 metres;
 2. With a Maximum Height of 5.11 meters
 3. Displaying Static copy
 4. The Sign may be illuminated; and
 5. The Sign shall be located in accordance with the designated location indicated as RB-1 in Attachment 1.1 below

- E. Proposed Sign RB-2 is a first party illuminated Wall Sign to be located on the North elevation of the premises municipally known as 55 Bloor Street West described as follows:
1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 4.34 square metres;
 - b. a maximum horizontal measurement of 6.2 metres;
 - c. a maximum vertical measurement of 0.7 metres;
 2. With a Maximum Height of 5.3 meters
 3. Displaying Static copy
 4. The Sign may be illuminated; and
 5. The Sign shall be located in accordance with the designated location indicated as RB-2 in Attachment 1.1 below
- F. Proposed Sign RB-3 is a first party illuminated Wall Sign to be located on the North elevation of the premises municipally known as 55 Bloor Street West described as follows:
6. Containing one rectangular sign face with:
 - a. a maximum sign face area of 3.65 square metres;
 - b. a maximum horizontal measurement of 6.88 metres;
 - c. a maximum vertical measurement of 0.53 metres;
 7. With a Maximum Height of 5.11 meters
 8. Displaying Static copy
 9. The Sign may be illuminated; and
 10. The Sign shall be located in accordance with the designated location indicated as RB-3 in Attachment 1.1 below

G. Proposed Sign RB-4 is a first party illuminated Wall Sign to be located on the North elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 11.9 square metres;
 - b. a maximum horizontal measurement of 3.45 metres;
 - c. a maximum vertical measurement of 3.45 metres;
2. With a Maximum Height of 7.72 meters
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as RB-4 in Attachment 1.1 below

H. Proposed Sign RB-5 is a first party illuminated Wall Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 2.95 square metres;
 - b. a maximum horizontal measurement of 6.42 metres;
 - c. a maximum vertical measurement of 0.46 metres;
2. With a Maximum Height of 5.66 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as RB-5 in Attachment 1.1 below

I. Proposed Sign RB-6 is a first party illuminated Wall Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 3.32 square metres;
 - b. a maximum horizontal measurement of 6.27 metres;
 - c. a maximum vertical measurement of 0.53 metres;
2. With a Maximum Height of 5.4 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as RB-6 in Attachment 1.1 below

J. Proposed Sign RB-7 is a first party illuminated Wall Sign to be located on the East elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 3.65 square metres;
 - b. a maximum horizontal measurement of 6.88 metres;
 - c. a maximum vertical measurement of 0.53 metres;
2. With a Maximum Height of 4.6 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as RB-7 in Attachment 1.1 below

K. Proposed Sign RB-8 is a first party illuminated Wall Sign to be located on the East elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 3.65 square metres;
 - b. a maximum horizontal measurement of 5.38 metres;
 - c. a maximum vertical measurement of 0.38 metres;
2. With a Maximum Height of 4.15 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as RB-8 in Attachment 1.1 below

L. Proposed Sign RB-9 is a first party illuminated Wall Sign to be located on the North elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 3.65 square metres;
 - b. a maximum horizontal measurement of 6.88 metres;
 - c. a maximum vertical measurement of 0.53 metres;
2. With a Maximum Height of 5.11 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as RB-9 in Attachment 1.1 below

M. Proposed Sign RB-10 is a first party illuminated Wall Sign to be located on the East elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 2.5 square metres;
 - b. a maximum horizontal measurement of 4.7 metres;
 - c. a maximum vertical measurement of 0.53 metres;
2. With a Maximum Height of 5.05 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as RB-10 in Attachment 1.1 below

N. Proposed Sign RB-11 is a first party illuminated Wall Sign to be located on the East elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 3.65 square metres;
 - b. a maximum horizontal measurement of 6.88 metres;
 - c. a maximum vertical measurement of 0.53 metres;
2. With a Maximum Height of 5.11 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as RB-11 in Attachment 1.1 below

- O. Proposed Sign RB-12 is a first party illuminated Wall Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:
1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 9.3 square metres;
 - b. a maximum horizontal measurement of 7.38 metres;
 - c. a maximum vertical measurement of 1.26 metres;
 2. With a Maximum Height of 10.7 Metres
 3. Displaying Static copy
 4. The Sign may be illuminated; and
 5. The Sign shall be located in accordance with the designated location indicated as RB-12 in Attachment 1.1 below
- P. Proposed Sign RB-13 is a first party illuminated Wall Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:
1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 4.75 square metres;
 - b. a maximum horizontal measurement of 6.42 metres;
 - c. a maximum vertical measurement of 0.74 metres;
 2. With a Maximum Height of 10.4 metres
 3. Displaying Static copy
 4. The Sign may be illuminated; and
 5. The Sign shall be located in accordance with the designated location indicated as RB-13 in Attachment 1.1 below

- Q. Proposed Sign RB-14 is a first party illuminated Wall Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:
1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 3.65 square metres;
 - b. a maximum horizontal measurement of 6.88 metres;
 - c. a maximum vertical measurement of 0.53 metres;
 2. With a Maximum Height of 5.37 metres
 3. Displaying Static copy
 4. The Sign may be illuminated; and
 5. The Sign shall be located in accordance with the designated location indicated as RB-14 in Attachment 1.1 below
- R. Proposed Sign RB-15 is a first party illuminated Wall Sign to be located on the East elevation of the premises municipally known as 55 Bloor Street West described as follows:
1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 6.53 square metres;
 - b. a maximum horizontal measurement of 3.73 metres;
 - c. a maximum vertical measurement of 1.75 metres;
 2. With a Maximum Height of 10.05 metres
 3. Displaying Static copy
 4. The Sign may be illuminated; and
 5. The Sign shall be located in accordance with the designated location indicated as RB-15 in Attachment 1.1 below
- S. Proposed Sign LGB-1 is a first party illuminated Wall Sign to be located on the North elevation of the premises municipally known as 55 Bloor Street West described as follows:
1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 17.86 square metres;
 - b. a maximum horizontal measurement of 13.74 metres;
 - c. a maximum vertical measurement of 1.3 metres;
 2. With a Maximum Height of 9.02 metres

3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as LGB-1 in Attachment 1.1 below

T. Proposed Sign HEB-1 is a first party illuminated Overhanging Structure Sign to be located on the North elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 2.66 square metres;
 - b. a maximum horizontal measurement of 4.75 metres;
 - c. a maximum vertical measurement of 0.56 metres;
2. With a Maximum Height of 4.88 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as HEB-1 in Attachment 1.1 below

- U. Proposed Sign BSB-1 is a first party illuminated Wall Sign to be located on the North elevation of the premises municipally known as 55 Bloor Street West described as follows:
1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 2.42 square metres;
 - b. a maximum horizontal measurement of 6.9 metres;
 - c. a maximum vertical measurement of 0.35 metres;
 2. With a Maximum Height of 4.98 metres
 3. Displaying Static copy
 4. The Sign may be illuminated; and
 5. The Sign shall be located in accordance with the designated location indicated as BSB-1 in Attachment 1.1 below

- V. Proposed Sign BSB-2 is a first party illuminated Wall Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:
1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 2.96 square metres;
 - b. a maximum horizontal measurement of 6.88 metres;
 - c. a maximum vertical measurement of 0.43 metres;
 2. With a Maximum Height of 5.12 metres
 3. Displaying Static copy
 4. The Sign may be illuminated; and
 5. The Sign shall be located in accordance with the designated location indicated as BSB-2 in Attachment 1.1 below

W. Proposed Sign BSB-3 is a first party illuminated Wall Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 2.96 square metres;
 - b. a maximum horizontal measurement of 6.88 metres;
 - c. a maximum vertical measurement of 0.43 metres;
2. With a Maximum Height of 5.36 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as BSB-3 in Attachment 1.1 below

X. Proposed Sign CTB-1 is a first party illuminated Roof Sign to be located on the North elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 4.66 square metres;
 - b. a maximum horizontal measurement of 3.15 metres;
 - c. a maximum vertical measurement of 1.48 metres;
2. With a Maximum Height of 9.36 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as CTB-1 in Attachment 11. to the report of the Executive Director, Toronto Building and Chief Building Official dated July 27. 2020

Y. Proposed Sign SB-1 is a first party illuminated Window Sign to be located on the North elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 65.95 square metres;
 - b. a maximum horizontal measurement of 6.75 metres;
 - c. a maximum vertical measurement of 9.77 metres;
2. With a Maximum Height of 10 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as SB-1 in Attachment 1.1 below

Z. Proposed Sign SB-2 is a first party illuminated Window Sign to be located on the North elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 65.95 square metres;
 - b. a maximum horizontal measurement of 6.75 metres;
 - c. a maximum vertical measurement of 9.77 metres;
2. With a Maximum Height of 10 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as SB-2 in Attachment 1.1 below

AA. Proposed Sign BL-1 is a first party illuminated Projecting Sign to be located on the North elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing two back to back sign faces with:
 - a. a maximum sign face area of 1.0 square metres;
 - b. a maximum horizontal measurement of 1.0 metres;
 - c. a maximum vertical measurement of 1.0 metres;
2. With a Maximum Height of 3.8 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as BL-1 in Attachment 1.1 below

BB. Proposed Sign BL-2 is a first party illuminated Projecting Sign to be located on the North elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing two back to back sign faces with:
 - a. a maximum sign face area of 1.0 square metres;
 - b. a maximum horizontal measurement of 1.0 metres;
 - c. a maximum vertical measurement of 1.0 metres;
2. With a Maximum Height of 3.8 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as BL-2 in Attachment 1.1 below

CC. Proposed Sign BL-3 is a first party illuminated Projecting Sign to be located on the North elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing two back to back sign faces with:
 - a. a maximum sign face area of 1.0 square metres;
 - b. a maximum horizontal measurement of 1.0 metres;
 - c. a maximum vertical measurement of 1.0 metres;
2. With a Maximum Height of 3.8 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as BL-3 in Attachment 1.1 below

DD. Proposed Sign BL-4 is a first party illuminated Projecting Sign to be located on the North elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing two back to back sign faces with:
 - a. a maximum sign face area of 1.0 square metres;
 - b. a maximum horizontal measurement of 1.0 metres;
 - c. a maximum vertical measurement of 1.0 metres;
2. With a Maximum Height of 3.8 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as BL-4 in Attachment 1.1 below

EE. Proposed Sign BL-5 is a first party illuminated Projecting Sign to be located on the North elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing two back to back sign faces with:
 - a. a maximum sign face area of 1.0 square metres;
 - b. a maximum horizontal measurement of 1.0 metres;
 - c. a maximum vertical measurement of 1.0 metres;
2. With a Maximum Height of 3.8 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as BL-5 in Attachment 1.1 below

FF. Proposed Sign BL-6 is a first party illuminated Projecting Sign to be located on the North elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing two back to back sign faces with:
 - a. a maximum sign face area of 1.0 square metres;
 - b. a maximum horizontal measurement of 1.0 metres;
 - c. a maximum vertical measurement of 1.0 metres;
2. With a Maximum Height of 3.8 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as BL-6 in Attachment 1.1 below

GG. Proposed Sign BL-7 is a first party illuminated Projecting Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing two back to back sign faces with:
 - a. a maximum sign face area of 1.0 square metres;
 - b. a maximum horizontal measurement of 1.0 metres;
 - c. a maximum vertical measurement of 1.0 metres;
2. With a Maximum Height of 3.8 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as BL-7 in Attachment 1.1 below

HH. Proposed Sign BL-8 is a first party illuminated Projecting Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing two back to back sign faces with:
 - a. a maximum sign face area of 1.0 square metres;
 - b. a maximum horizontal measurement of 1.0 metres;
 - c. a maximum vertical measurement of 1.0 metres;
2. With a Maximum Height of 3.98 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as BL-8 in Attachment 1.1 below

II. Proposed Sign BL-9 is a first party illuminated Projecting Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing two back to back sign faces with:
 - a. a maximum sign face area of 1.0 square metres;
 - b. a maximum horizontal measurement of 1.0 metres;
 - c. a maximum vertical measurement of 1.0 metres;
2. With a Maximum Height of 3.73 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as BL-9 in Attachment 1.1 below

JJ. Proposed Sign BL-10 is a first party illuminated Projecting Sign to be located on the North elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing two back to back sign faces with:
 - a. a maximum sign face area of 1.0 square metres;
 - b. a maximum horizontal measurement of 1.0 metres;
 - c. a maximum vertical measurement of 1.0 metres;
2. With a Maximum Height of 3.8 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as BL-10 in Attachment 1.1 below

KK. Proposed Sign BL-11 is a first party illuminated Projecting Sign to be located on the East elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing two back to back sign faces with:
 - a. a maximum sign face area of 1.0 square metres;
 - b. a maximum horizontal measurement of 1.0 metres;
 - c. a maximum vertical measurement of 1.0 metres;
2. With a Maximum Height of 4.3 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as BL-11 in Attachment 1.1 below

LL. Proposed Sign EGB-1 is a first party illuminated Wall Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 5.52 square metres;
 - b. a maximum horizontal measurement of 6.73 metres;
 - c. a maximum vertical measurement of 0.82 metres;
2. With a Maximum Height of 10.9 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as EGB-1 in Attachment 1.1 below

MM. Proposed Sign EGB-2 is a first party illuminated Wall Sign to be located on the East elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 5.52 square metres;
 - b. a maximum horizontal measurement of 6.73 metres;
 - c. a maximum vertical measurement of 0.82 metres;
2. With a Maximum Height of 10.11 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as EGB-2 in Attachment 1.1 below

NN. Proposed Sign LI-1 is a first party illuminated Window Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 2.23 square metres;
 - b. a maximum horizontal measurement of 1.22 metres;
 - c. a maximum vertical measurement of 1.83 metres;
2. With a Maximum Height of 2.45 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as LI-1 in Attachment 1.1 below

OO. Proposed Sign LI-2 is a first party illuminated Window Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 2.23 square metres;
 - b. a maximum horizontal measurement of 1.22 metres;
 - c. a maximum vertical measurement of 1.83 metres;
2. With a Maximum Height of 2.5 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as LI-2 in Attachment 1.1 below

PP. Proposed Sign LI-3 is a first party illuminated Window Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 2.23 square metres;
 - b. a maximum horizontal measurement of 1.22 metres;
 - c. a maximum vertical measurement of 1.83 metres;
2. With a Maximum Height of 2.58 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as LI-3 in Attachment 1.1 below

QQ. Proposed Sign LI-4 is a first party illuminated Window Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 2.23 square metres;
 - b. a maximum horizontal measurement of 1.22 metres;
 - c. a maximum vertical measurement of 1.83 metres;
2. With a Maximum Height of 2.58 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as LI-4 in Attachment 1.1 below

RR. Proposed Sign LI-5 is a first party illuminated Window Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 2.23 square metres;
 - b. a maximum horizontal measurement of 1.22 metres;
 - c. a maximum vertical measurement of 1.83 metres;
2. With a Maximum Height of 2.6 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as LI-5 in Attachment 1.1 below

SS. Proposed Sign LI-6 is a first party illuminated Window Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 2.23 square metres;
 - b. a maximum horizontal measurement of 1.22 metres;
 - c. a maximum vertical measurement of 1.83 metres;
2. With a Maximum Height of 2.62 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as LI-6 in Attachment 1.1 below

TT. Proposed Sign WR-1 is a first party illuminated Wall Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 3.87 square metres;
 - b. a maximum horizontal measurement of 6.91 metres;
 - c. a maximum vertical measurement of 0.56 metres;
2. With a Maximum Height of 6.51 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as WR-1 in Attachment 1.1 below

UU. Proposed Sign CMW-1 is a first party illuminated Window Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 4.95 square metres;
 - b. a maximum horizontal measurement of 3.59 metres;
 - c. a maximum vertical measurement of 1.38 metres;
2. With a Maximum Height of 8.73 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as CMW-1 in Attachment 1.1 below

VV. Proposed Sign BSM-1 is a first party illuminated Wall Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 2.7 square metres;
 - b. a maximum horizontal measurement of 3.13 metres;
 - c. a maximum vertical measurement of 0.85 metres;
2. With a Maximum Height of 5.51 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as BSM-1 in Attachment 1.1 below

WW. Proposed Sign BSM-2 is a first party illuminated Wall Sign to be located on the East elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 2.7 square metres;
 - b. a maximum horizontal measurement of 3.13 metres;
 - c. a maximum vertical measurement of 0.85 metres;
2. With a Maximum Height of 7.52 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as BSM-2 in Attachment 1.1 below

XX. Proposed Sign PD-1 is a first party illuminated Ground Sign to be located at the Northeast corner of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing two rectangular sign faces with:
 - a. a maximum sign face area of 3.83 square metres,
 - i. displaying Static copy to a maximum of 2.29 square meters
 - ii. displaying Readograph copy to a maximum 1.54 square meters
 - b. a maximum horizontal measurement of 1.48 metres;
 - c. a maximum vertical measurement of 2.59 metres;
2. With a Maximum Height of 5.65 metres
3. Displaying Static copy and Readograph copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as PD-1 in Attachment 1.1 below

YY. Proposed Sign PD-2 is a first party illuminated Ground Sign to be located at the Southwest corner of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing two rectangular sign faces with:
 - a. a maximum sign face area of 3.83 square metres,
 - i. displaying Static copy to a maximum of 2.29 square meters
 - ii. displaying Readograph copy to a maximum 1.54 square meters
 - b. a maximum horizontal measurement of 1.48 metres;
 - c. a maximum vertical measurement of 2.59 metres;
2. With a Maximum Height of 5.65 metres
3. Displaying Static copy and Readograph copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as PD-2 in Attachment 1.1 below

ZZ. Proposed Sign PD-3 is a first party illuminated Ground Sign to be located on the Southeast corner of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing two rectangular sign faces with:
 - a. a maximum sign face area of 3.83 square metres,
 - i. displaying Static copy to a maximum of 2.29 square meters
 - ii. displaying Readograph copy to a maximum 1.54 square meters
 - b. a maximum horizontal measurement of 1.48 metres;
 - c. a maximum vertical measurement of 2.59 metres;
2. With a Maximum Height of 5.65 metres
3. Displaying Static copy and Readograph copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as PD-3 in Attachment 1.1 below

AAA. Proposed Sign IND-1 is a first party illuminated Wall Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 17.91 square metres;
 - b. a maximum horizontal measurement of 6.54 metres;
 - c. a maximum vertical measurement of 2.74 metres;
2. With a Maximum Height of 10.05 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as IND-1 in Attachment 1.1 below

BBB. Proposed Sign PEN-1 is a first party illuminated Projecting Sign to be located on the South elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing four rectangular sign faces with:
 - a. a maximum sign face area of 25.6 square metres;
 - b. a maximum horizontal measurement of 12.75 metres;
 - c. a maximum vertical measurement of 3.62 metres;
2. With a Maximum Height of 3.62 metres
3. The sign shall not project more than 2.45 meters from the wall on which the sign is erected
4. Displaying Static copy
5. The Sign may be illuminated; and
6. The Sign shall be located in accordance with the designated location indicated as PEN-1 in Attachment 1.1 below

CCC. Proposed Sign ER-1 is a first party illuminated Window Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 17.2 square metres;
 - b. a maximum horizontal measurement of 4.0 metres;
 - c. a maximum vertical measurement of 4.3 metres;
2. With a Maximum Height of 10.37 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as ER-1 in Attachment 1.1 below

DDD. Proposed Sign BCB-1 is a first party illuminated Overhanging Structure Sign to be located on the Northeast elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one curved rectangular sign face with:
 - a. a maximum sign face area of 14.21 square metres;
 - b. a maximum horizontal measurement of 7.0 metres;
 - c. a maximum vertical measurement of 2.03 metres;
2. With a Maximum Height of 17.48 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as BCB-1 in Attachment 1.1 below

EEE. Proposed Sign BCB-2 is a first party illuminated Overhanging Structure Sign to be located on the Northwest elevation of the premises municipally known as 55 Bloor Street West described as follows:

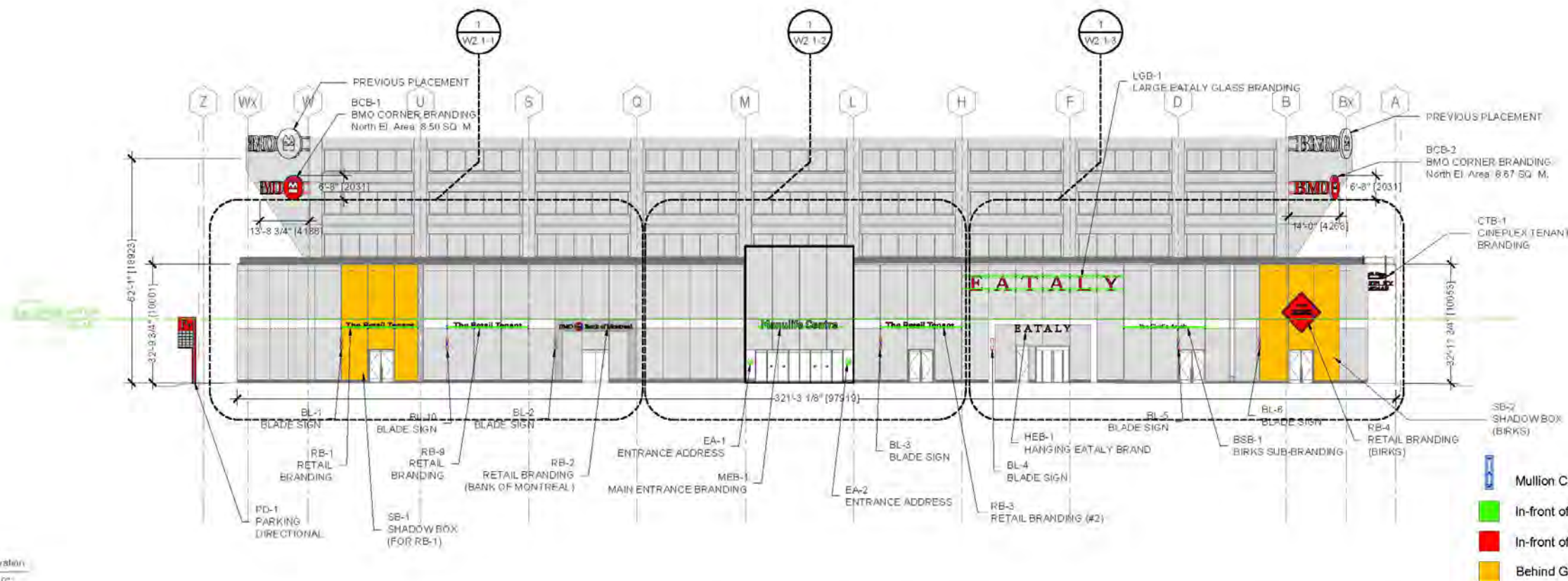
1. Containing one curved rectangular sign face with:
 - a. a maximum sign face area of 14.21 square metres;
 - b. a maximum horizontal measurement of 7.0 metres;
 - c. a maximum vertical measurement of 2.03 metres;
2. With a Maximum Height of 17.54 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as BCB-2 in Attachment 1.1 below

Attachment 1.1

BLOOR ST. (NORTH ELEVATION) Total Façade Elevation: 981.83 meters squared					
Code	Sign Name	Sign Type	Area (sq.m.)	Building Façade	Percentage(%) of Elevation
MEB-1	Main Entrance Branding	Wall (Mullion Connection)	4.85	Bloor	0.49%
EA-1	Entrance Address	Wall (Mullion Connection)	6.28	Bloor	0.64%
RB-1	Retail Branding	Wall (Mullion Connection)	Part of SB-1	Bloor	0.00%
RB-2	Retail Branding (Bank of Montreal)	Wall (Mullion Connection)	3.23	Bloor	0.33%
RB-3	Retail Branding	Wall (Mullion Connection)	3.58	Bloor	0.36%
RB-4	Retail Branding (Birks)	Wall (Mullion Connection)	Part of SB-2	Bloor	0.00%
RB-9	Retail Branding	Wall (Mullion Connection)	3.68	Bloor	0.37%
LGB-1	Large Eataly Glass Branding	Wall (Glass Mounted)	17.79	Bloor	1.81%
HEB-1	Hanging Eataly Brand	Canopy Hung Sign	2.65	Bloor	0.27%
BSB-1	Birks Sub Branding	Wall (Mullion Connection)	2.38	Bloor	0.24%
CTB-1	Cineplex Tenant Branding	Wall (Mullion Connection)	3.2	Bloor	0.33%
SB-1	Shadow Box (Retail Tenant #1)	Wall Sign (Behind Glass)	56.9	Bloor	5.80%
SB-2	Shadow Box (Birks)	Wall Sign (Behind Glass)	60.22	Bloor	6.13%
BL-1	Blade Sign	Blade (Mullion Connection)	0.2	Bloor	0.02%
BL-2	Blade Sign	Blade (Mullion Connection)	0.2	Bloor	0.02%
BL-3	Blade Sign	Blade (Mullion Connection)	0.2	Bloor	0.02%
BL-4	Blade Sign	Blade (Mullion Connection)	0.2	Bloor	0.02%
BL-5	Blade Sign	Blade (Mullion Connection)	0.2	Bloor	0.02%
BL-6	Blade Sign	Blade (Mullion Connection)	0.2	Bloor	0.02%
BL-10	Blade Sign	Blade (Mullion Connection)	0.2	Bloor	0.02%
BCB-1	BMO Corner Branding	Wall Sign	n/a	Bloor/Balmuto	n/a
BCB-2	BMO Corner Branding	Wall Sign	n/a	Bloor/Bay	n/a
Total:			166.1		16.92%

Bloor St.
North Elevation

NOTE:
All signage on ground level and
2nd level have been already
approved in previous Signage
Master Plan Application
File: 18-125369
Decision Date: June 7, 2018



1 North Elevation
W2.1 1/32" = 1'00"

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CLIENT Manulife Real Estate

PROJECT Manulife Centre
55 Bloor Street West
TORONTO, ONTARIO

DATE
Signage Master Plan Application March 05, 2018
Master Plan Amendment November 13, 2018
Master Plan Amendment 2 November 07, 2019

TITLE Bloor St.
North Elevation
Percentage Utilization

DWG No

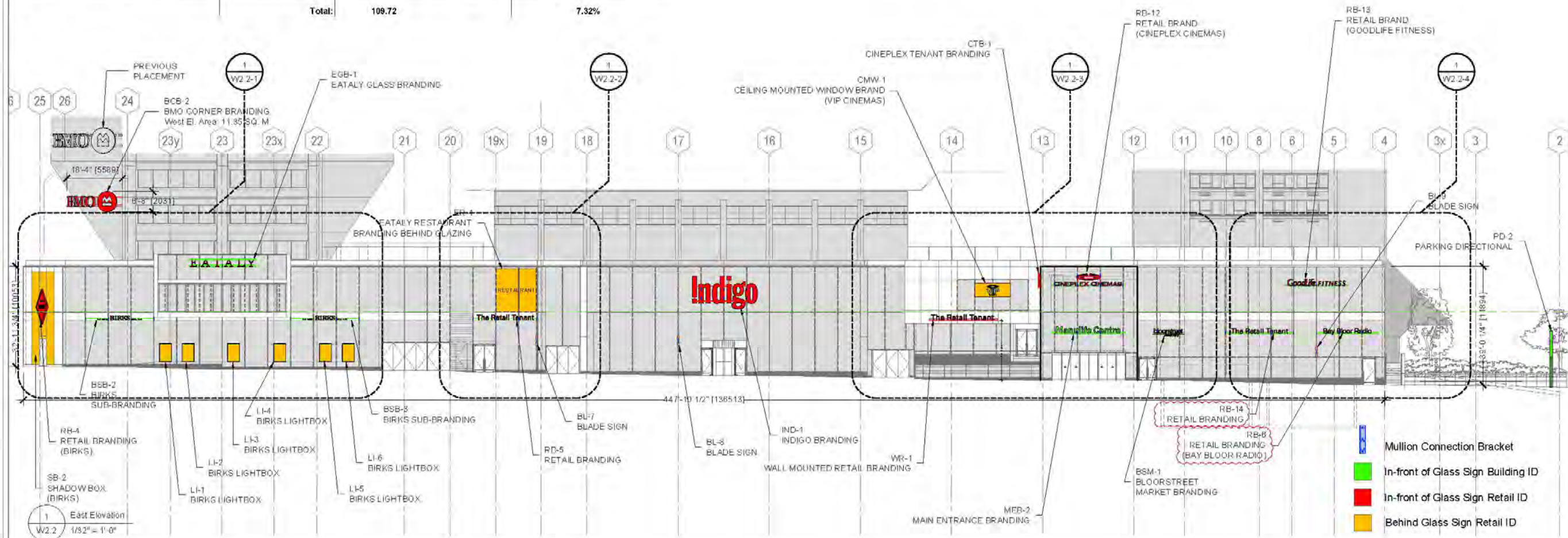
W2.1

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Bay St. West Elevation

NOTE:
All signage on ground level and
2nd level have been already
approved in previous Signage
Master Plan Application
File: 18-125369
Decision Date: June 7, 2018

BAY ST. (WEST ELEVATION) Total Façade Elevation: 1498.03 meters squared					
Code	Sign Name	Sign Type	Area (sq.m.)	Building Façade	Percentage(%) of Elevation
MEB-2	Main Entrance Branding	Wall (Mullion Connection)	4.85	Bay	0.32%
RB-4	Retail Branding (Birks)	Wall (Mullion Connection)	Part of SB-2	Bay	0.00%
RB-5	Retail Branding	Wall (Mullion Connection)	2.94	Bay	0.20%
RB-6	Retail Branding (Bay Bloor Radio)	Wall (Mullion Connection)	3.67	Bay	0.24%
RB-12	Retail Branding (Cineplex Cinemas)	Wall (Mullion Connection)	8.28	Bay	0.62%
RB-13	Retail Branding (Goodlife Fitness)	Wall (Mullion Connection)	4.74	Bay	0.32%
EGB-1	Fataly Glass Branding	Wall (Glass Mounted)	5.03	Bay	0.34%
BSB-2	Birks Sub Branding	Wall (Mullion Connection)	2.88	Bay	0.19%
BSB-3	Birks Sub Branding	Wall (Mullion Connection)	2.88	Bay	0.19%
LI-1	Birks Light Box	Wall Sign (Behind Glass)	2.23	Bay	0.15%
LI-2	Birks Light Box	Wall Sign (Behind Glass)	2.23	Bay	0.15%
LI-3	Birks Light Box	Wall Sign (Behind Glass)	2.23	Bay	0.15%
LI-4	Birks Light Box	Wall Sign (Behind Glass)	2.23	Bay	0.15%
LI-5	Birks Light Box	Wall Sign (Behind Glass)	2.23	Bay	0.15%
LI-6	Birks Light Box	Wall Sign (Behind Glass)	2.23	Bay	0.15%
WR-1	Wall Mounted Retail Branding	Wall Sign	3.52	Bay	0.23%
CMW-1	Ceiling Mounted Window Brand	Wall Sign (Behind Glass)	4.95	Bay	0.33%
BSM-1	Bloorstreet Market Branding	Wall (Mullion Connection)	2.57	Bay	0.17%
PD-2	Parking Directional	Ground Sign	n/a	Bay/Charles	n/a
SB-2	Shadow Box (Birks)	Wall Sign (Behind Glass)	9.81	Bay	0.64%
IND-1	Indigo Branding	Wall Sign	17.55	Bay	1.20%
BL-7	Blade Sign	Blade (Mullion Connection)	0.2	Bay	0.01%
BL-8	Blade Sign	Blade (Mullion Connection)	0.2	Bay	0.01%
BL-9	Blade Sign	Blade (Mullion Connection)	0.2	Bay	0.01%
ER-1	Fataly Restaurant Branding	Wall Sign (Behind Glass)	17.2	Bay	1.15%
BCB-2	BMO Corner Branding	Wall Sign	n/a	Bloor/Bay	n/a
RB-14	Retail Branding	Wall (Mullion Connection)	3.67	Bay	0.24%
Total:			109.72		7.32%



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CLIENT **Manulife Real Estate**

PROJECT **Manulife Centre**
55 Bloor Street West
TORONTO, ONTARIO

DATE
Signage Master Plan Application March 05, 2018
Master Plan Amendment November 13, 2018
Master Plan Amendment 2 November 07, 2019

TITLE
Bay Street
West Elevation
Percentage Utilization

APPROVAL

DWG No

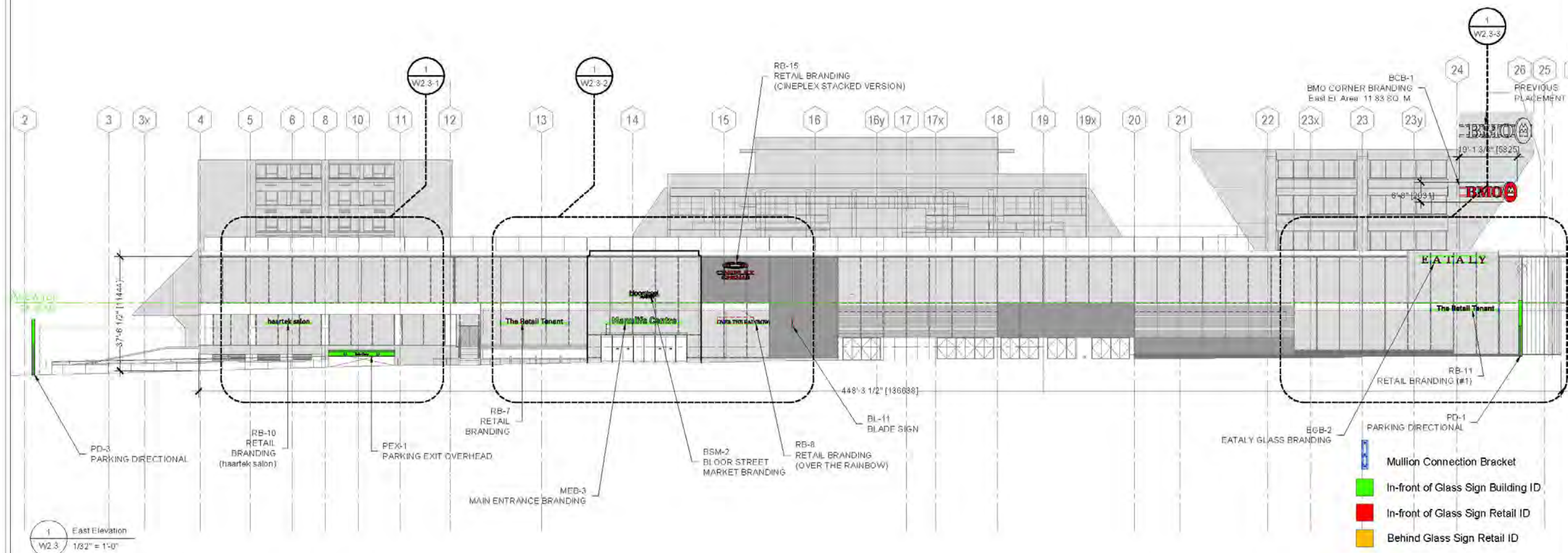
W2.2

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Balmuto St. East Elevation

NOTE:
All signage on ground level and
2nd level have been already
approved in previous Signage
Master Plan Application
File: 18-125369
Decision Date: June 7, 2018

BALMUTO ST. (EAST ELEVATION) Total Façade Elevation: 1470.22 meters squared					
Code	Sign Name	Sign Type	Area (sq.m.)	Building Façade	Percentage(%) of Elevation
MEB-3	Main Entrance Branding	Wall (Mullion Connection)	4.85	Balmuto	0.33%
RB-7	Retail Branding	Wall (Mullion Connection)	3.67	Balmuto	0.25%
RB-8	Retail Branding (Over the Rainbow)	Wall (Mullion Connection)	2.97	Balmuto	0.20%
RB-10	Retail Branding (haartek salon)	Wall (Mullion Connection)	3.48	Balmuto	0.24%
RB-11	Retail Branding	Wall (Mullion Connection)	3.65	Balmuto	0.25%
EGB-2	Fataly Glass Branding	Wall (Glass Mounted)	5.03	Balmuto	0.34%
BSM-2	Bloorstreet Market Branding	Wall (Mullion Connection)	2.57	Balmuto	0.17%
PEX-1	Parking Exit Overhead	Wall Sign	4.09	Balmuto	0.28%
PD-1	Parking Directional	Ground Sign	n/a	Balmuto/Bloor	n/a
PD-3	Parking Directional	Ground Sign	n/a	Balmuto/Charles	n/a
BL-9	Blade Sign	Blade (Mullion Connection)	0.2	Balmuto	0.01%
BCB-1	BMO Corner Branding	Wall Sign	n/a	Bloor/Balmuto	n/a
RB-15	Retail Branding (Cineplex Cinemas)	Wall (Mullion Connection)	6.54	Balmuto	0.44%
Total:			37.05		2.52%



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PROJECT **Manulife Centre**
55 Bloor Street West
TORONTO, ONTARIO

DATE
Signage Master Plan Application March 05, 2018
Master Plan Amendment November 13, 2018
Master Plan Amendment 2 November 07, 2019

TITLE **Balmuto St.**
East Elevation
Percentage Utilization

APPROVAL

DWG No

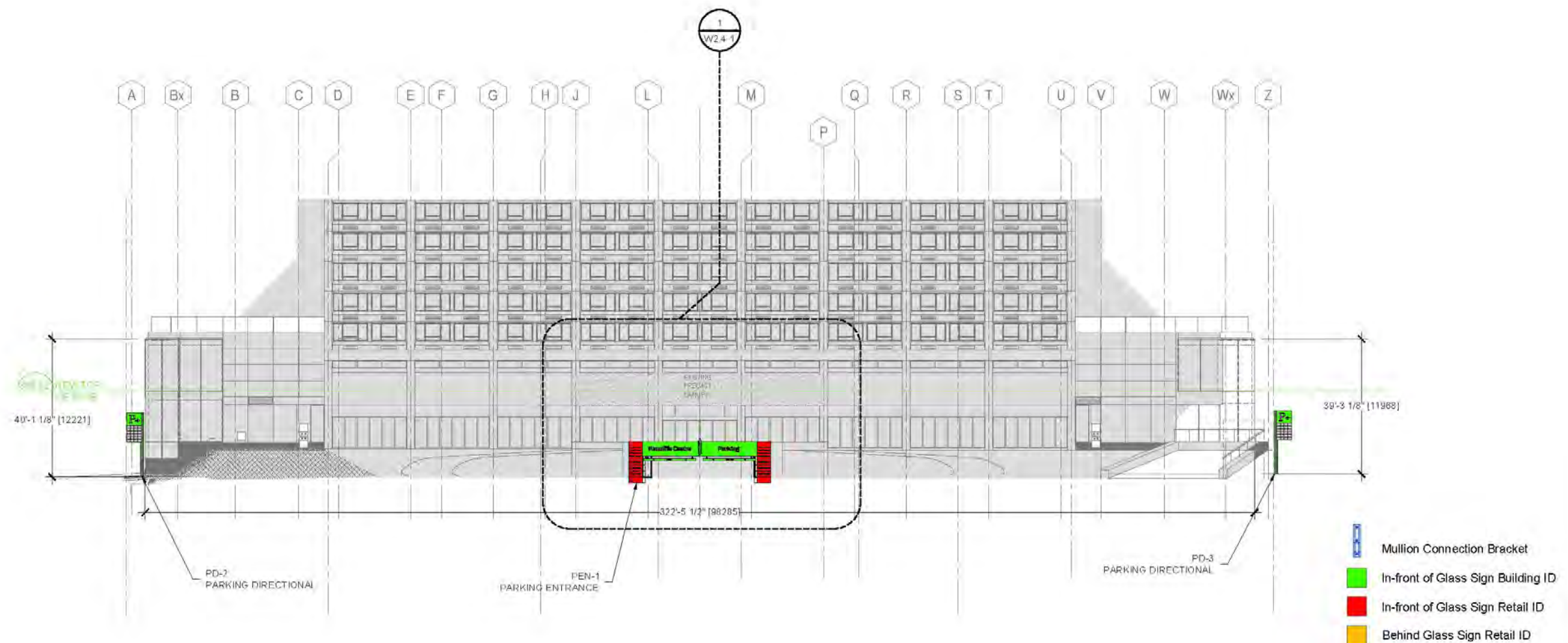
W2.3

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CHARLES ST. (SOUTH ELEVATION) Total Façade Elevation: 1188.70 meters squared					
Code	Sign Name	Sign Type	Area (sq.m.)	Building Façade	Percentage(%) of Elevation
PD-2	Parking Directional	Ground Sign	n/a	Bay/Charles	n/a
PD-3	Parking Directional	Ground Sign	n/a	Balmuto/Charles	n/a
PEN-1	Parking Entrance	Wall Sign	11.16	Charles	0.94%
Total:			11.16		0.94%

Charles St. South Elevation

NOTE:
All signage on ground level and
2nd level have been already
approved in previous Signage
Master Plan Application
File: 18-125369
Decision Date: June 7, 2018



1 South Elevation
W2.4 1/32" = 1'-0"



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CLIENT **Manulife Real Estate**

PROJECT **Manulife Centre**
55 Bloor Street West
TORONTO, ONTARIO

DATE
Signage Master Plan Application March 05, 2018
Master Plan Amendment November 13, 2018
Master Plan Amendment 2 November 07, 2019

TITLE Charles St.
South Elevation
Percentage Utilization

APPROVAL

DWG No

W2.4

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Required Variances:

Table 1: Requested Variances for the Proposed Signage Master Plan

Row #	Sign ID#	Sign By-law Section	Requirement	Proposal
1	SB-1	§ 694-6A(8)(a)	The total sign face area of window signs shall not exceed 25 percent of the area of the window excluding its frame;	The proposed window sign is covering approximately 50% of the window
2	SB-2	§ 694-6A(8)(a)	The total sign face area of window signs shall not exceed 25 percent of the area of the window excluding its frame;	The proposed window sign is covering approximately 60% of the window
3	SB-1	§ 694-20A(1)	The portion of the sign copy which advertises, promotes, or directs attention to goods available at the premises does not exceed 30 percent of the sign face area;	The proposed sign dedicates 100% to advertising, promoting or directing attention to goods available at the premises
4	SB-2	§ 694-20A(1)	The portion of the sign copy which advertises, promotes, or directs attention to goods available at the premises does not exceed 30 percent of the sign face area;	The proposed sign dedicates 100% to advertising, promoting or directing attention to goods available at the premises
5	ER-1	§ 694-20A(1)	The portion of the sign copy which advertises, promotes, or directs attention to goods available at the premises does not exceed 30 percent of the sign face area;	The proposed sign dedicates 100% to advertising, promoting or directing attention to goods available at the premises

Row #	Sign ID#	Sign By-law Section	Requirement	Proposal
6	LI-1	§ 694-20A(1)	The portion of the sign copy which advertises, promotes, or directs attention to goods available at the premises does not exceed 30 percent of the sign face area;	The proposed sign dedicates 100% to advertising, promoting or directing attention to goods available at the premises
7	LI-2	§ 694-20A(1)	The portion of the sign copy which advertises, promotes, or directs attention to goods available at the premises does not exceed 30 percent of the sign face area;	The proposed sign dedicates 100% to advertising, promoting or directing attention to goods available at the premises
8	LI-3	§ 694-20A(1)	The portion of the sign copy which advertises, promotes, or directs attention to goods available at the premises does not exceed 30 percent of the sign face area;	The proposed sign dedicates 100% to advertising, promoting or directing attention to goods available at the premises
9	LI-4	§ 694-20A(1)	The portion of the sign copy which advertises, promotes, or directs attention to goods available at the premises does not exceed 30 percent of the sign face area;	The proposed sign dedicates 100% to advertising, promoting or directing attention to goods available at the premises
10	LI-5	§ 694-20A(1)	The portion of the sign copy which advertises, promotes, or directs attention to goods available at the premises does not exceed 30 percent of the sign face area;	The proposed sign dedicates 100% to advertising, promoting or directing attention to goods available at the premises

Row #	Sign ID#	Sign By-law Section	Requirement	Proposal
11	LI-6	§ 694-20A(1)	The portion of the sign copy which advertises, promotes, or directs attention to goods available at the premises does not exceed 30 percent of the sign face area;	The proposed sign dedicates 100% to advertising, promoting or directing attention to goods available at the premises
12	PD-1	§ 694-20A(2)	The portion of the electronic signs which advertises, promotes, or directs attention to goods available at the premises does not exceed 30 percent of the sign face area;	The proposed dedicates 40% to advertising, promoting or directing attention to goods available at the premises
13	PD-2	§ 694-20A(2)	The portion of the electronic signs which advertises, promotes, or directs attention to goods available at the premises does not exceed 30 percent of the sign face area;	The proposed dedicates 40% to advertising, promoting or directing attention to goods available at the premises
14	PD-3	§ 694-20A(2)	The portion of the electronic signs which advertises, promotes, or directs attention to goods available at the premises does not exceed 30 percent of the sign face area;	The proposed dedicates 40% to advertising, promoting or directing attention to goods available at the premises
15	PEN-1	§ 694-21D(6)(b)	Projecting signs shall not project more than 1.0 metre from the wall;	The proposed projecting sign projects approximately 2.45 meters from the wall
16	PEN-1	§ 694-21D(6)(c)	The sign shall have no more than two sign faces;	The proposed projecting sign has more than two sign faces.
17	PEN-1	§ 694-21D(6)(e)	Projecting signs shall be perpendicular to the wall of the building;	The proposed projecting sign is not perpendicular to the wall.
18	PEN-1	§ 694-21D(6)(f)	The sign face area of projecting signs shall not exceed 1.0 square metres;	The proposed projecting sign has an approximate sign face area of 25.6 square meters.

Row #	Sign ID#	Sign By-law Section	Requirement	Proposal
19	BCB-1	§ 694-21D(1)(a)	The sign shall not be erected on an overhanging structure located above the second store of the building.	The proposed overhanging structure signs is located between the fourth and fifth storey
20	BCB-2	§ 694-21D(1)(a)	The sign shall not be erected on an overhanging structure located above the second store of the building.	The proposed overhanging structure signs is located between the fourth and fifth storey

Attachment 2 – Description of Approved 2018-Signage Master Plan

Approved 2018-Signage Master Plan:

- A. Proposed Sign MEB-1 is a first party illuminated Wall Sign to be located on the North elevation of the premises municipally known as 55 Bloor Street West described as follows:
1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 4.86 square metres;
 - b. a maximum horizontal measurement of 7.40 metres;
 - c. a maximum vertical measurement of 0.66 metres;
 2. With a Maximum Height of 5.24 metres
 3. Displaying Static Copy
 4. The Sign may be illuminated; and
 5. The Sign shall be located in accordance with the designated location indicated as MEB-1 in Attachment 2.1 below
- B. Proposed Sign MEB-2 is a first party illuminated Wall Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:
1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 4.86 square metres;
 - b. a maximum horizontal measurement of 7.40 metres;
 - c. a maximum vertical measurement of 0.66 metres;
 2. With a Maximum Height of 5.34 meters
 3. Displaying Static copy
 4. The Sign may be illuminated; and
 5. The Sign shall be located in accordance with the designated location indicated as MEB-2 in Attachment 2.1 below

C. Proposed Sign MEB-3 is a first party illuminated Wall Sign to be located on the East elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 4.86 square metres;
 - b. a maximum horizontal measurement of 7.40 metres;
 - c. a maximum vertical measurement of 0.66 metres;
2. With a Maximum Height of 4.51 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as MEB-3 in Attachment 2.1 below

D. Proposed Sign RB-1 is a first party illuminated Wall Sign to be located on the North elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 3.44 square metres;
 - b. a maximum horizontal measurement of 6.49 metres;
 - c. a maximum vertical measurement of 0.53metres;
2. With a Maximum Height of 5.11 meters
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as RB-1 in Attachment 2.1 below

- E. Proposed Sign RB-2 is a first party illuminated Wall Sign to be located on the North elevation of the premises municipally known as 55 Bloor Street West described as follows:
1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 3.24 square metres;
 - b. a maximum horizontal measurement of 3.52 metres;
 - c. a maximum vertical measurement of 0.92 metres;
 2. With a Maximum Height of 5.5 meters
 3. Displaying Static copy
 4. The Sign may be illuminated; and
 5. The Sign shall be located in accordance with the designated location indicated as RB-2 in Attachment 2.1 below
- F. Proposed Sign RB-3 is a first party illuminated Wall Sign to be located on the North elevation of the premises municipally known as 55 Bloor Street West described as follows:
1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 3.65 square metres;
 - b. a maximum horizontal measurement of 6.88 metres;
 - c. a maximum vertical measurement of 0.53 metres;
 2. With a Maximum Height of 5.11 meters
 3. Displaying Static copy
 4. The Sign may be illuminated; and
 5. The Sign shall be located in accordance with the designated location indicated as RB-3 in Attachment 2.1 below

G. Proposed Sign RB-4 is a first party illuminated Wall Sign to be located on the North elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 11.9 square metres;
 - b. a maximum horizontal measurement of 3.45 metres;
 - c. a maximum vertical measurement of 3.45 metres;
2. With a Maximum Height of 7.72 meters
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as RB-4 in Attachment 2.1 below

H. Proposed Sign RB-5 is a first party illuminated Wall Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 2.95 square metres;
 - b. a maximum horizontal measurement of 6.42 metres;
 - c. a maximum vertical measurement of 0.46 metres;
2. With a Maximum Height of 5.66 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as RB-5 in Attachment 2.1 below

I. Proposed Sign RB-6 is a first party illuminated Wall Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 3.65 square metres;
 - b. a maximum horizontal measurement of 6.88 metres;
 - c. a maximum vertical measurement of 0.53 metres;
2. With a Maximum Height of 5.4 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as RB-6 in Attachment 2.1 below

J. Proposed Sign RB-7 is a first party illuminated Wall Sign to be located on the East elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 3.65 square metres;
 - b. a maximum horizontal measurement of 6.88 metres;
 - c. a maximum vertical measurement of 0.53 metres;
2. With a Maximum Height of 4.6 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as RB-7 in Attachment 2.1 below

K. Proposed Sign RB-8 is a first party illuminated Wall Sign to be located on the East elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 3.65 square metres;
 - b. a maximum horizontal measurement of 5.38 metres;
 - c. a maximum vertical measurement of 0.38 metres;
2. With a Maximum Height of 4.15 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as RB-8 in Attachment 2.1 below

L. Proposed Sign RB-9 is a first party illuminated Wall Sign to be located on the North elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 3.65 square metres;
 - b. a maximum horizontal measurement of 6.88 metres;
 - c. a maximum vertical measurement of 0.53 metres;
2. With a Maximum Height of 5.11 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as RB-9 in Attachment 2.1 below

M. Proposed Sign RB-10 is a first party illuminated Wall Sign to be located on the East elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 2.5 square metres;
 - b. a maximum horizontal measurement of 4.7 metres;
 - c. a maximum vertical measurement of 0.53 metres;
2. With a Maximum Height of 5.05 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as RB-10 in Attachment 2.1 below

N. Proposed Sign RB-11 is a first party illuminated Wall Sign to be located on the East elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 3.65 square metres;
 - b. a maximum horizontal measurement of 6.88 metres;
 - c. a maximum vertical measurement of 0.53 metres;
2. With a Maximum Height of 5.11 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as RB-11 in Attachment 2.1 below

- O. Proposed Sign RB-12 is a first party illuminated Wall Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:
1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 9.3 square metres;
 - b. a maximum horizontal measurement of 7.38 metres;
 - c. a maximum vertical measurement of 1.26 metres;
 2. With a Maximum Height of 10.7 Metres
 3. Displaying Static copy
 4. The Sign may be illuminated; and
 5. The Sign shall be located in accordance with the designated location indicated as RB-12 in Attachment 2.1 below
- P. Proposed Sign RB-13 is a first party illuminated Wall Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:
1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 4.75 square metres;
 - b. a maximum horizontal measurement of 6.42 metres;
 - c. a maximum vertical measurement of 0.74 metres;
 2. With a Maximum Height of 10.4 metres
 3. Displaying Static copy
 4. The Sign may be illuminated; and
 5. The Sign shall be located in accordance with the designated location indicated as RB-13 in Attachment 2.1 below

Q. Proposed Sign LGB-1 is a first party illuminated Wall Sign to be located on the North elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 17.86 square metres;
 - b. a maximum horizontal measurement of 13.74 metres;
 - c. a maximum vertical measurement of 1.3 metres;
2. With a Maximum Height of 9.02 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as LGB-1 in Attachment 2.1 below

R. Proposed Sign HEB-1 is a first party illuminated Overhanging Structure Sign to be located on the North elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 2.66 square metres;
 - b. a maximum horizontal measurement of 4.75 metres;
 - c. a maximum vertical measurement of 0.56 metres;
2. With a Maximum Height of 4.88 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as HEB-1 in Attachment 2.1 below

- S. Proposed Sign BSB-1 is a first party illuminated Wall Sign to be located on the North elevation of the premises municipally known as 55 Bloor Street West described as follows:
1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 2.42 square metres;
 - b. a maximum horizontal measurement of 6.9 metres;
 - c. a maximum vertical measurement of 0.35 metres;
 2. With a Maximum Height of 4.98 metres
 3. Displaying Static copy
 4. The Sign may be illuminated; and
 5. The Sign shall be located in accordance with the designated location indicated as BSB-1 in Attachment 2.1 below
- T. Proposed Sign BSB-2 is a first party illuminated Wall Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:
1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 2.96 square metres;
 - b. a maximum horizontal measurement of 6.88 metres;
 - c. a maximum vertical measurement of 0.43 metres;
 2. With a Maximum Height of 5.12 metres
 3. Displaying Static copy
 4. The Sign may be illuminated; and
 5. The Sign shall be located in accordance with the designated location indicated as BSB-2 in Attachment 2.1 below

- U. Proposed Sign BSB-3 is a first party illuminated Wall Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:
1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 2.96 square metres;
 - b. a maximum horizontal measurement of 6.88 metres;
 - c. a maximum vertical measurement of 0.43 metres;
 2. With a Maximum Height of 5.36 metres
 3. Displaying Static copy
 4. The Sign may be illuminated; and
 5. The Sign shall be located in accordance with the designated location indicated as BSB-3 in Attachment 2.1 below
- V. Proposed Sign CTB-1 is a first party illuminated Roof Sign to be located on the North elevation of the premises municipally known as 55 Bloor Street West described as follows:
1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 4.66 square metres;
 - b. a maximum horizontal measurement of 3.15 metres;
 - c. a maximum vertical measurement of 1.48 metres;
 2. With a Maximum Height of 9.36 metres
 3. Displaying Static copy
 4. The Sign may be illuminated; and
 5. The Sign shall be located in accordance with the designated location indicated as CTB-1 in Attachment 2.1 below

W. Proposed Sign SB-1 is a first party illuminated Window Sign to be located on the North elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 65.95 square metres;
 - b. a maximum horizontal measurement of 6.75 metres;
 - c. a maximum vertical measurement of 9.77 metres;
2. With a Maximum Height of 10 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as SB-1 in Attachment 2.1 below

X. Proposed Sign SB-2 is a first party illuminated Window Sign to be located on the North elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 65.95 square metres;
 - b. a maximum horizontal measurement of 6.75 metres;
 - c. a maximum vertical measurement of 9.77 metres;
2. With a Maximum Height of 10 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as SB-2 in Attachment 2.1 below

Y. Proposed Sign BL-1 is a first party illuminated Projecting Sign to be located on the North elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing two sign faces with:
 - a. a maximum sign face area of 1.0 square metres;
 - b. a maximum horizontal measurement of 1.0 metres;
 - c. a maximum vertical measurement of 1.0 metres;
2. With a Maximum Height of 3.8 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as BL-1 in Attachment 2.1 below

Z. Proposed Sign BL-2 is a first party illuminated Projecting Sign to be located on the North elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing two sign faces with:
 - a. a maximum sign face area of 1.0 square metres;
 - b. a maximum horizontal measurement of 1.0 metres;
 - c. a maximum vertical measurement of 1.0 metres;
2. With a Maximum Height of 3.8 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as BL-2 in Attachment 2.1 below

AA. Proposed Sign BL-3 is a first party illuminated Projecting Sign to be located on the North elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing two sign faces with:
 - a. a maximum sign face area of 1.0 square metres;
 - b. a maximum horizontal measurement of 1.0 metres;
 - c. a maximum vertical measurement of 1.0 metres;
2. With a Maximum Height of 3.8 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as BL-3 in Attachment 2.1 below

BB. Proposed Sign BL-4 is a first party illuminated Projecting Sign to be located on the North elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing two sign faces with:
 - a. a maximum sign face area of 1.0 square metres;
 - b. a maximum horizontal measurement of 1.0 metres;
 - c. a maximum vertical measurement of 1.0 metres;
2. With a Maximum Height of 3.8 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as BL-4 in Attachment 2.1 below

CC. Proposed Sign BL-5 is a first party illuminated Projecting Sign to be located on the North elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing two sign faces with:
 - a. a maximum sign face area of 1.0 square metres;
 - b. a maximum horizontal measurement of 1.0 metres;
 - c. a maximum vertical measurement of 1.0 metres;
2. With a Maximum Height of 3.8 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as BL-5 in Attachment 2.1 below

DD. Proposed Sign BL-6 is a first party illuminated Projecting Sign to be located on the North elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing two sign faces with:
 - a. a maximum sign face area of 1.0 square metres;
 - b. a maximum horizontal measurement of 1.0 metres;
 - c. a maximum vertical measurement of 1.0 metres;
2. With a Maximum Height of 3.8 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as BL-6 in Attachment 2.1 below

EE. Proposed Sign BL-7 is a first party illuminated Projecting Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing two sign faces with:
 - a. a maximum sign face area of 1.0 square metres;
 - b. a maximum horizontal measurement of 1.0 metres;
 - c. a maximum vertical measurement of 1.0 metres;
2. With a Maximum Height of 3.8 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as BL-7 in Attachment 2.1 below

FF. Proposed Sign BL-8 is a first party illuminated Projecting Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing two sign faces with:
 - a. a maximum sign face area of 1.0 square metres;
 - b. a maximum horizontal measurement of 1.0 metres;
 - c. a maximum vertical measurement of 1.0 metres;
2. With a Maximum Height of 3.98 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as BL-8 in Attachment 2.1 below

GG. Proposed Sign BL-9 is a first party illuminated Projecting Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing two sign faces with:
 - a. a maximum sign face area of 1.0 square metres;
 - b. a maximum horizontal measurement of 1.0 metres;
 - c. a maximum vertical measurement of 1.0 metres;
2. With a Maximum Height of 3.73 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as BL-9 in Attachment 2.1 below

HH. Proposed Sign BL-10 is a first party illuminated Projecting Sign to be located on the North elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing two sign faces with:
 - a. a maximum sign face area of 1.0 square metres;
 - b. a maximum horizontal measurement of 1.0 metres;
 - c. a maximum vertical measurement of 1.0 metres;
2. With a Maximum Height of 3.8 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as BL-10 in Attachment 2.1 below

II. Proposed Sign BL-11 is a first party illuminated Projecting Sign to be located on the East elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing two sign faces with:
 - a. a maximum sign face area of 1.0 square metres;
 - b. a maximum horizontal measurement of 1.0 metres;
 - c. a maximum vertical measurement of 1.0 metres;
2. With a Maximum Height of 4.3 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as BL-11 in Attachment 2.1 below

JJ. Proposed Sign EGB-1 is a first party illuminated Wall Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 5.52 square metres;
 - b. a maximum horizontal measurement of 6.73 metres;
 - c. a maximum vertical measurement of 0.82 metres;
2. With a Maximum Height of 10.9 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as EGB-1 in Attachment 2.1 below

KK. Proposed Sign EGB-2 is a first party illuminated Window Sign to be located on the East elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 5.52 square metres;
 - b. a maximum horizontal measurement of 6.73 metres;
 - c. a maximum vertical measurement of 0.82 metres;
2. With a Maximum Height of 10.11 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as EGB-2 in Attachment 2.1 below

LL. Proposed Sign LI-1 is a first party illuminated Window Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 2.23 square metres;
 - b. a maximum horizontal measurement of 1.22 metres;
 - c. a maximum vertical measurement of 1.83 metres;
2. With a Maximum Height of 2.45 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as LI-1 in Attachment 2.1 below

MM. Proposed Sign LI-2 is a first party illuminated Window Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 2.23 square metres;
 - b. a maximum horizontal measurement of 1.22 metres;
 - c. a maximum vertical measurement of 1.83 metres;
2. With a Maximum Height of 2.5 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as LI-2 in Attachment 2.1 below

NN. Proposed Sign LI-3 is a first party illuminated Window Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 2.23 square metres;
 - b. a maximum horizontal measurement of 1.22 metres;
 - c. a maximum vertical measurement of 1.83 metres;
2. With a Maximum Height of 2.58 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as LI-3 in Attachment 2.1 below

OO. Proposed Sign LI-4 is a first party illuminated Window Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 2.23 square metres;
 - b. a maximum horizontal measurement of 1.22 metres;
 - c. a maximum vertical measurement of 1.83 metres;
2. With a Maximum Height of 2.58 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as LI-4 in Attachment 2.1 below

PP. Proposed Sign LI-5 is a first party illuminated Window Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 2.23 square metres;
 - b. a maximum horizontal measurement of 1.22 metres;
 - c. a maximum vertical measurement of 1.83 metres;
2. With a Maximum Height of 2.6 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as LI-5 in Attachment 2.1 below

QQ. Proposed Sign LI-6 is a first party illuminated Window Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 2.23 square metres;
 - b. a maximum horizontal measurement of 1.22 metres;
 - c. a maximum vertical measurement of 1.83 metres;
2. With a Maximum Height of 2.62 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as LI-6 in Attachment 2.1 below

RR. Proposed Sign WR-1 is a first party illuminated Wall Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 3.87 square metres;
 - b. a maximum horizontal measurement of 6.91 metres;
 - c. a maximum vertical measurement of 0.56 metres;
2. With a Maximum Height of 6.51 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as WR-1 in Attachment 2.1 below

SS. Proposed Sign CMW-1 is a first party illuminated Window Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 4.95 square metres;
 - b. a maximum horizontal measurement of 3.59 metres;
 - c. a maximum vertical measurement of 1.38 metres;
2. With a Maximum Height of 8.73 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as CMW-1 in Attachment 2.1 below

TT. Proposed Sign BSM-1 is a first party illuminated Wall Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 2.7 square metres;
 - b. a maximum horizontal measurement of 3.13 metres;
 - c. a maximum vertical measurement of 0.85 metres;
2. With a Maximum Height of 5.51 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as BSM-1 in Attachment 2.1 below

UU. Proposed Sign BSM-2 is a first party illuminated Wall Sign to be located on the East elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 2.7 square metres;
 - b. a maximum horizontal measurement of 3.13 metres;
 - c. a maximum vertical measurement of 0.85 metres;
2. With a Maximum Height of 7.52 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as BSM-2 in Attachment 2.1 below

VV. Proposed Sign PD-1 is a first party illuminated Ground Sign to be located at the Northeast corner of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing two rectangular sign faces with:
 - a. a maximum sign face area of 3.83 square metres,
 - i. displaying Static copy to a maximum of 2.29 square meters
 - ii. displaying Readograph copy to a maximum 1.54 square meters
 - b. a maximum horizontal measurement of 1.48 metres;
 - c. a maximum vertical measurement of 2.59 metres;
2. With a Maximum Height of 5.65 metres
3. Displaying Static copy and Readograph copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as PD-1 in Attachment 2.1 below

WW. Proposed Sign PD-2 is a first party illuminated Ground Sign to be located at the Southwest corner of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing two rectangular sign faces with:
 - a. a maximum sign face area of 3.83 square metres,
 - i. displaying Static copy to a maximum of 2.29 square meters
 - ii. displaying Readograph copy to a maximum 1.54 square meters
 - b. a maximum horizontal measurement of 1.48 metres;
 - c. a maximum vertical measurement of 2.59 metres;
2. With a Maximum Height of 5.65 metres
3. Displaying Static copy and Readograph copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as PD-2 in Attachment 2.1 below

XX. Proposed Sign PD-3 is a first party illuminated Ground Sign to be located on the Southeast corner of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing two rectangular sign faces with:
 - a. a maximum sign face area of 3.83 square metres,
 - i. displaying Static copy to a maximum of 2.29 square meters
 - ii. displaying Readograph copy to a maximum 1.54 square meters
 - b. a maximum horizontal measurement of 1.48 metres;
 - c. a maximum vertical measurement of 2.59 metres;
2. With a Maximum Height of 5.65 metres
3. Displaying Static copy and Readograph copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as PD-3 in Attachment 2.1 below

YY. Proposed Sign IND-1 is a first party illuminated Wall Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 17.91 square metres;
 - b. a maximum horizontal measurement of 6.54 metres;
 - c. a maximum vertical measurement of 2.74 metres;
2. With a Maximum Height of 10.05 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as IND-1 in Attachment 2.1 below

ZZ. Proposed Sign PEN-1 is a first party illuminated Projecting Sign to be located on the South elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing four sign faces with:
 - a. a maximum sign face area of 25.6 square metres;
 - b. a maximum horizontal measurement of 12.75 metres;
 - c. a maximum vertical measurement of 3.62 metres;
2. With a Maximum Height of 3.75 metres
3. The sign shall not project more than 2.45 meters from the wall on which the sign is erected
4. Displaying Static copy
5. The Sign may be illuminated; and
6. The Sign shall be located in accordance with the designated location indicated as PEN-1 in Attachment 2.1 below

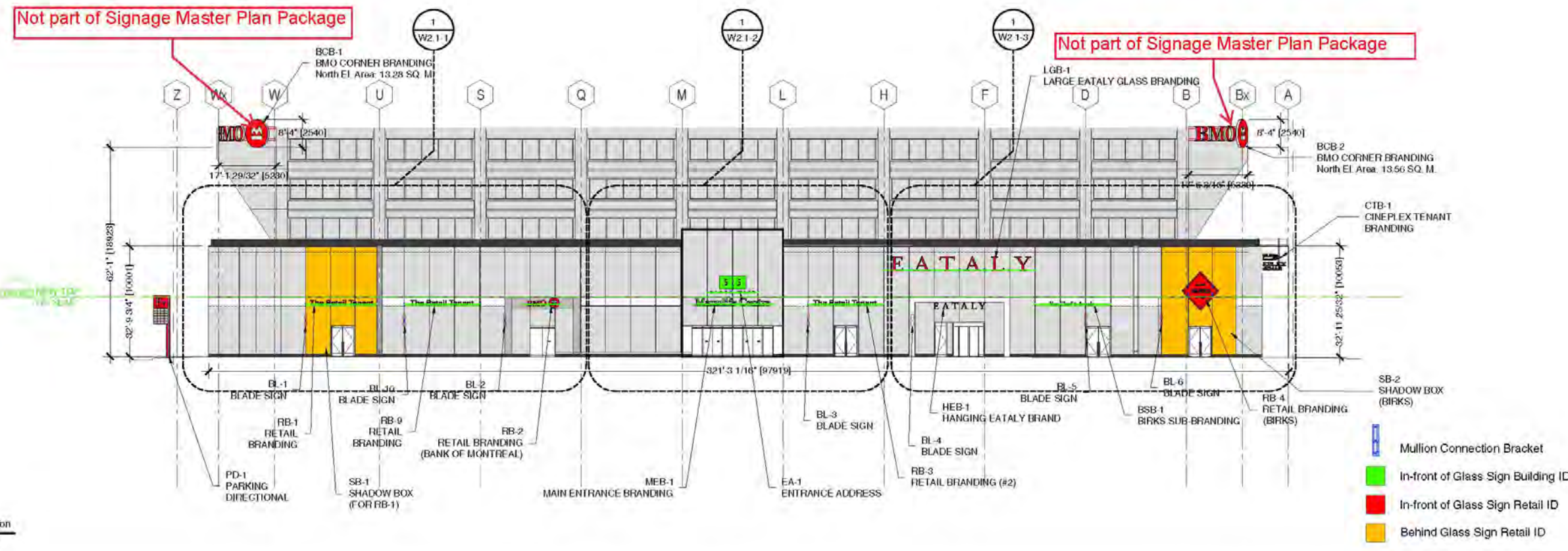
AAA. Proposed Sign ER-1 is a first party illuminated Window Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 17.2 square metres;
 - b. a maximum horizontal measurement of 4.0 metres;
 - c. a maximum vertical measurement of 4.3 metres;
2. With a Maximum Height of 10.37 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as ER-1 in Attachment 2.1 below

Attachment 2.1

BLOOR ST. (NORTH ELEVATION) Total Façade Elevation: 981.83 meters squared					
Code	Sign Name	Sign Type	Area (sq.m.)	Building Façade	Percentage(%) of Elevation
MEB-1	Main Entrance Branding	Wall (Mullion Connection)	4.85	Bloor	0.49%
EA-1	Entrance Address	Wall (Mullion Connection)	6.26	Bloor	0.64%
RB-1	Retail Branding	Wall (Mullion Connection)	Part of SB-1	Bloor	0.00%
RB-2	Retail Branding (Bank of Montreal)	Wall (Mullion Connection)	3.23	Bloor	0.33%
RB-3	Retail Branding	Wall (Mullion Connection)	3.58	Bloor	0.36%
RB-4	Retail Branding (Birks)	Wall (Mullion Connection)	Part of SB-2	Bloor	0.00%
RB-9	Retail Branding	Wall (Mullion Connection)	3.66	Bloor	0.37%
LGB-1	Large Eatly Glass Branding	Wall (Glass Mounted)	17.79	Bloor	1.81%
HEB-1	Hanging Eatly Brand	Canopy Hung Sign	2.65	Bloor	0.27%
BSB-1	Birks Sub Branding	Wall (Mullion Connection)	2.38	Bloor	0.24%
CTB-1	Cineplex Tenant Branding	Wall (Mullion Connection)	3.2	Bloor	0.33%
SB-1	Shadow Box (Retail Tenant #1)	Wall Sign (Behind Glass)	56.9	Bloor	5.80%
SB-2	Shadow Box (Birks)	Wall Sign (Behind Glass)	60.22	Bloor	6.13%
BL-1	Blade Sign	Blade (Mullion Connection)	0.2	Bloor	0.02%
BL-2	Blade Sign	Blade (Mullion Connection)	0.2	Bloor	0.02%
BL-3	Blade Sign	Blade (Mullion Connection)	0.2	Bloor	0.02%
BL-4	Blade Sign	Blade (Mullion Connection)	0.2	Bloor	0.02%
BL-5	Blade Sign	Blade (Mullion Connection)	0.2	Bloor	0.02%
BL-6	Blade Sign	Blade (Mullion Connection)	0.2	Bloor	0.02%
BL-10	Blade Sign	Blade (Mullion Connection)	0.2	Bloor	0.02%
BCB-1	BMO Corner Branding	Wall Sign	n/a	Bloor/Balmuto	n/a
BCB-2	BMO Corner Branding	Wall Sign	n/a	Bloor/Bay	n/a
Total:			168.1		16.92%

Bloor St.
North Elevation



KDA
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Associates www.kramer-design.com

CLIENT Manulife Real Estate

PROJECT Manulife Centre
55 Bloor Street West
TORONTO, ONTARIO

DATE
Signage Master Plan Submission March 05, 2018

TITLE
Bloor St.
North Elevation
Percentage Utilization

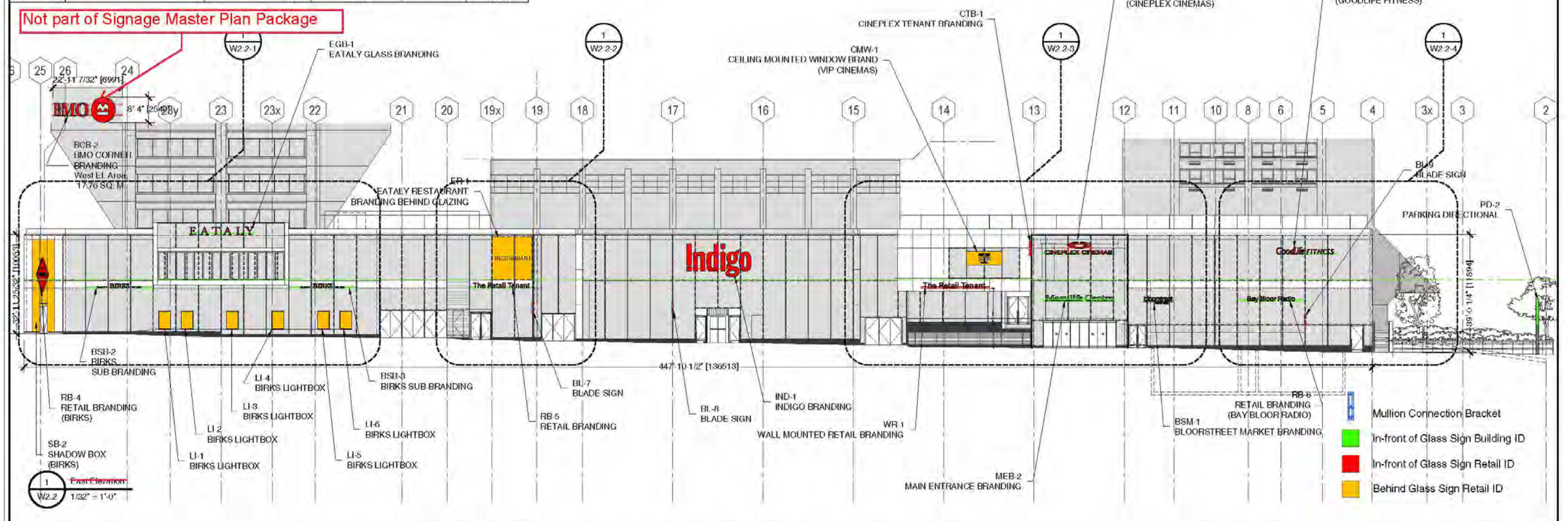
DWG No
W2.1

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APPROVAL

Bay St. West Elevation

BAY ST. (WEST ELEVATION) Total Façade Elevation: 1498.03 meters squared					
Code	Sign Name	Sign Type	Area (sq.m.)	Building Façade	Percentage (%) of Elevation
MEB-2	Main Entrance Branding	Wall (Mullion Connection)	4.85	Bay	0.32%
RB-4	Retail Branding (Birks)	Wall (Mullion Connection)	Part of SB-2	Bay	0.00%
RB-5	Retail Branding	Wall (Mullion Connection)	2.94	Bay	0.20%
RB-6	Retail Branding (Bay Bloor Radio)	Wall (Mullion Connection)	3.67	Bay	0.24%
RB-12	Retail Branding (Cineplex Cinemas)	Wall (Mullion Connection)	9.28	Bay	0.62%
RB-13	Retail Branding (GoodLife Fitness)	Wall (Mullion Connection)	4.74	Bay	0.32%
EGB-1	Eataly Glass Branding	Wall (Glass Mounted)	5.03	Bay	0.34%
BSB-2	Birks Sub-Branding	Wall (Mullion Connection)	2.88	Bay	0.19%
BSB-3	Birks Sub-Branding	Wall (Mullion Connection)	2.88	Bay	0.19%
LI-1	Birks Light Box	Wall Sign (Behind Glass)	2.23	Bay	0.15%
LI-2	Birks Light Box	Wall Sign (Behind Glass)	2.23	Bay	0.15%
LI-3	Birks Light Box	Wall Sign (Behind Glass)	2.23	Bay	0.15%
LI-4	Birks Light Box	Wall Sign (Behind Glass)	2.23	Bay	0.15%
LI-5	Birks Light Box	Wall Sign (Behind Glass)	2.23	Bay	0.15%
LI-6	Birks Light Box	Wall Sign (Behind Glass)	2.23	Bay	0.15%
WR-1	Wall Mounted Retail Branding	Wall Sign	3.52	Bay	0.23%
CMW-1	Ceiling Mounted Window Brand	Wall Sign (Behind Glass)	4.95	Bay	0.33%
BSM-1	BloorStreet Market Branding	Wall (Mullion Connection)	2.57	Bay	0.17%
PD-2	Parking Directional	Ground Sign	n/a	Bay/Charles	n/a
SB-2	Shadow Box (Birks)	Wall Sign (Behind Glass)	9.81	Bay	0.64%
IND-1	Indigo Branding	Wall Sign	17.95	Bay	1.20%
BL-7	Blade Sign	Blade (Mullion Connection)	0.2	Bay	0.01%
BL-8	Blade Sign	Blade (Mullion Connection)	0.2	Bay	0.01%
BL-9	Blade Sign	Blade (Mullion Connection)	0.2	Bay	0.01%
ER-1	Eataly Restaurant Branding	Wall Sign (Behind Glass)	17.2	Bay	1.15%
BCB-2	BMO Corner Branding	Wall Sign	n/a	Bloor/Bay	n/a
Total:			106.05		7.08%



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Design Fax: 416.921.9934
Associates www.kramer-design.com

CLIENT **Manulife Real Estate**

PROJECT **Manulife Centre**
55 Bloor Street West
TORONTO, ONTARIO

DATE
Signage Master Plan Submission March 05, 2018

TITLE
Bay Street
West Elevation
Percentage Utilization

DWG No

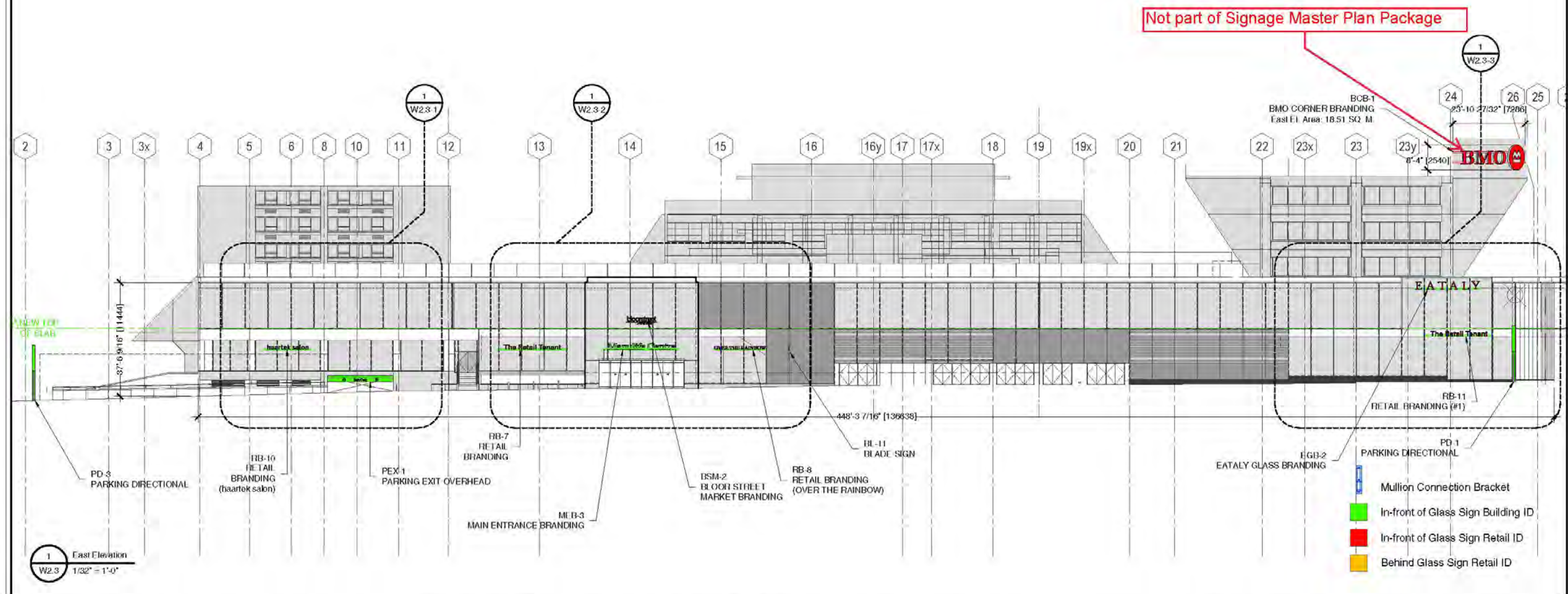
W2.2

APPROVAL

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Balmuto St. East Elevation

BALMUTO ST. (EAST ELEVATION) Total Façade Elevation: 1470.22 meters squared					
Code	Sign Name	Sign Type	Area (sq.m.)	Building Façade	Percentage(%) of Elevation
MEB-3	Main Entrance Branding	Wall (Mullion Connection)	4.85	Balmuto	0.33%
RB-7	Retail Branding	Wall (Mullion Connection)	3.67	Balmuto	0.25%
RB-8	Retail Branding (Over the Rainbow)	Wall (Mullion Connection)	2.97	Balmuto	0.20%
RB-10	Retail Branding (haartek salon)	Wall (Mullion Connection)	3.48	Balmuto	0.24%
RB-11	Retail Branding	Wall (Mullion Connection)	3.65	Balmuto	0.25%
EGB-2	Eataly Glass Branding	Wall (Glass Mounted)	5.03	Balmuto	0.34%
DSM-2	Stor Street Market Branding	Wall (Mullion Connection)	2.57	Balmuto	0.17%
PEX-1	Parking Exit Overhead	Wall Sign	4.09	Balmuto	0.28%
PD-1	Parking Directional	Ground Sign	n/a	Balmuto/Bloor	n/a
PD-3	Parking Directional	Ground Sign	n/a	Balmuto/Charles	n/a
BL-9	Blade Sign	Blade (Mullion Connection)	0.2	Balmuto	0.01%
BCB-1	BMO Corner Branding	Wall Sign	n/a	Bloor/Balmuto	n/a
Total:			30.61		2.08%



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CLIENT **Manulife Real Estate**

PROJECT **Manulife Centre**
55 Bloor Street West
TORONTO, ONTARIO

DATE
Signage Master Plan Submission March 05, 2018

TITLE
Balmuto St.
East Elevation
Percentage Utilization

DWG No

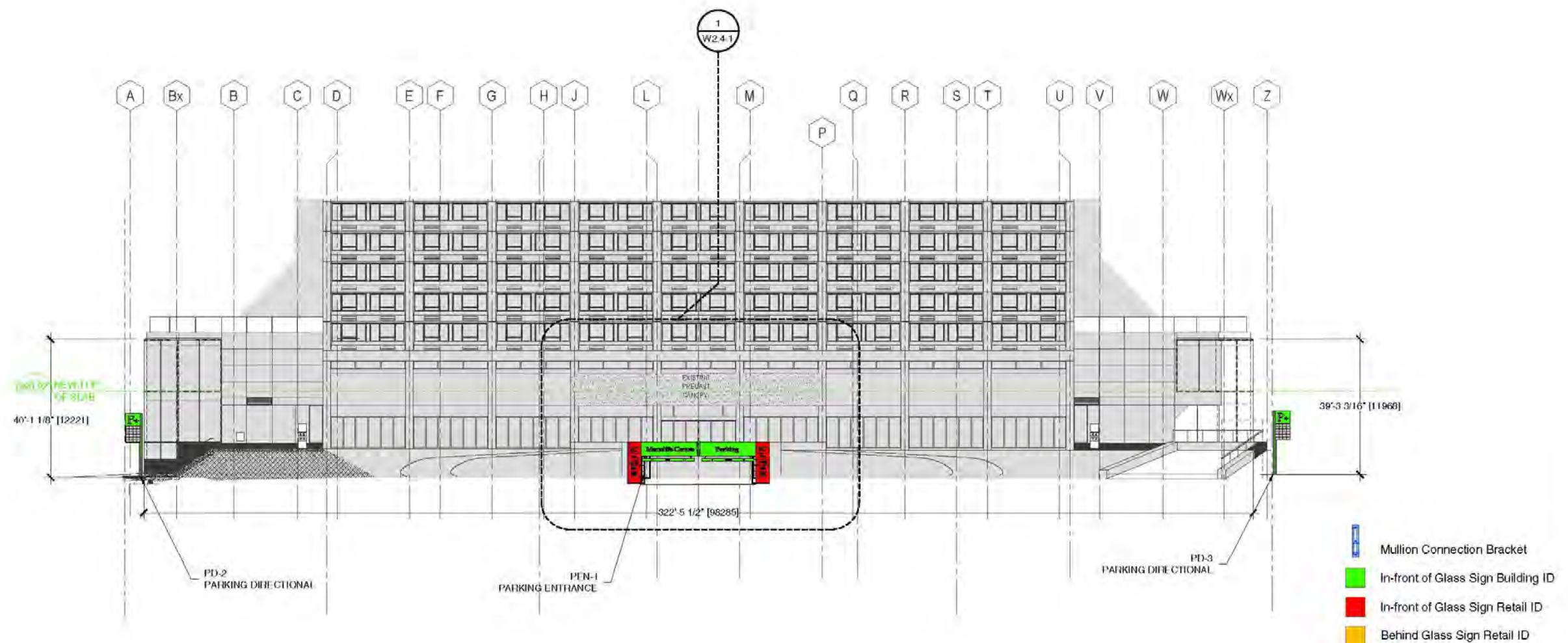
W2.3

APPROVAL

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CHARLES ST. (SOUTH ELEVATION) Total Façade Elevation: 1188.70 meters squared				
Code	Sign Name	Sign Type	Area (sq.m.)	Building Façade
PD-2	Parking Directional	Ground Sign	n/a	Bay/Charles
PD-3	Parking Directional	Ground Sign	n/a	Balmuto/Charles
PEN-1	Parking Entrance	Wall Sign	11.16	Charles
Total:			11.16	0.94%

Charles St. South Elevation



1 South Elevation
W2.4 1/32" = 1'-0"

 Kramer Tel: 416.921.1078 Design Fax: 416.921.9934 Associates www.kramer-design.com	CLIENT	Manulife Real Estate	PROJECT	Manulife Centre 55 Bloor Street West TORONTO, ONTARIO	DATE	Signage Master Plan Submission March 05, 2018	TITLE	Charles St. South Elevation Percentage Utilization	DWG No
							APPROVAL		W2.4
	These documents are not to be scaled. The design and documents remain the property of KDA and are protected by law. They may not be altered, issued, or reproduced without expressed written consent from KDA. All documents to be returned to KDA at completion of work. Contractor to site verify all details and dimensions and report any and all discrepancies to KDA before commencing with that related portion of the work. Only signed, sealed and stamped documents are to be used for construction purposes.								

Attachment 3 – Description of Proposed 2018-Signage Master Plan

Proposed 2018-Signage Master Plan:

- A. Proposed Sign MEB-1 is a first party illuminated Wall Sign to be located on the North elevation of the premises municipally known as 55 Bloor Street West described as follows:
1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 4.86 square metres;
 - b. a maximum horizontal measurement of 7.40 metres;
 - c. a maximum vertical measurement of 0.66 metres;
 2. With a Maximum Height of 5.24 metres
 3. Displaying Static Copy
 4. The Sign may be illuminated; and
 5. The Sign shall be located in accordance with the designated location indicated as MEB-1 in Attachment 3.1 below
- B. Proposed Sign MEB-2 is a first party illuminated Wall Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:
1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 4.86 square metres;
 - b. a maximum horizontal measurement of 7.40 metres;
 - c. a maximum vertical measurement of 0.66 metres;
 2. With a Maximum Height of 5.34 meters
 3. Displaying Static copy
 4. The Sign may be illuminated; and
 5. The Sign shall be located in accordance with the designated location indicated as MEB-2 in Attachment 3.1 below

C. Proposed Sign MEB-3 is a first party illuminated Wall Sign to be located on the East elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 4.86 square metres;
 - b. a maximum horizontal measurement of 7.40 metres;
 - c. a maximum vertical measurement of 0.66 metres;
2. With a Maximum Height of 4.51 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as MEB-3 in Attachment 3.1 below

D. Proposed Sign RB-1 is a first party illuminated Wall Sign to be located on the North elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 3.44 square metres;
 - b. a maximum horizontal measurement of 6.49 metres;
 - c. a maximum vertical measurement of 0.53metres;
2. With a Maximum Height of 5.11 meters
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as RB-1 in Attachment 3.1 below

- E. Proposed Sign RB-2 is a first party illuminated Wall Sign to be located on the North elevation of the premises municipally known as 55 Bloor Street West described as follows:
1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 3.24 square metres;
 - b. a maximum horizontal measurement of 3.52 metres;
 - c. a maximum vertical measurement of 0.92 metres;
 2. With a Maximum Height of 5.5 meters
 3. Displaying Static copy
 4. The Sign may be illuminated; and
 5. The Sign shall be located in accordance with the designated location indicated as RB-2 in Attachment 3.1 below

- F. Proposed Sign RB-3 is a first party illuminated Wall Sign to be located on the North elevation of the premises municipally known as 55 Bloor Street West described as follows:
1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 3.65 square metres;
 - b. a maximum horizontal measurement of 6.88 metres;
 - c. a maximum vertical measurement of 0.53 metres;
 2. With a Maximum Height of 5.11 meters
 3. Displaying Static copy
 4. The Sign may be illuminated; and
 5. The Sign shall be located in accordance with the designated location indicated as RB-3 in Attachment 3.1 below

G. Proposed Sign RB-4 is a first party illuminated Wall Sign to be located on the North elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 11.9 square metres;
 - b. a maximum horizontal measurement of 3.45 metres;
 - c. a maximum vertical measurement of 3.45 metres;
2. With a Maximum Height of 7.72 meters
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as RB-4 in Attachment 3.1 below

H. Proposed Sign RB-5 is a first party illuminated Wall Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 2.95 square metres;
 - b. a maximum horizontal measurement of 6.42 metres;
 - c. a maximum vertical measurement of 0.46 metres;
2. With a Maximum Height of 5.66 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as RB-5 in Attachment 3.1 below

I. Proposed Sign RB-6 is a first party illuminated Wall Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 3.65 square metres;
 - b. a maximum horizontal measurement of 6.88 metres;
 - c. a maximum vertical measurement of 0.53 metres;
2. With a Maximum Height of 5.4 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as RB-6 in Attachment 3.1 below

J. Proposed Sign RB-7 is a first party illuminated Wall Sign to be located on the East elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 3.65 square metres;
 - b. a maximum horizontal measurement of 6.88 metres;
 - c. a maximum vertical measurement of 0.53 metres;
2. With a Maximum Height of 4.6 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as RB-7 in Attachment 3.1 below

K. Proposed Sign RB-8 is a first party illuminated Wall Sign to be located on the East elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 3.65 square metres;
 - b. a maximum horizontal measurement of 5.38 metres;
 - c. a maximum vertical measurement of 0.38 metres;
2. With a Maximum Height of 4.15 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as RB-8 in Attachment 3.1 below

L. Proposed Sign RB-9 is a first party illuminated Wall Sign to be located on the North elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 3.65 square metres;
 - b. a maximum horizontal measurement of 6.88 metres;
 - c. a maximum vertical measurement of 0.53 metres;
2. With a Maximum Height of 5.11 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as RB-9 in Attachment 3.1 below

M. Proposed Sign RB-10 is a first party illuminated Wall Sign to be located on the East elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 2.5 square metres;
 - b. a maximum horizontal measurement of 4.7 metres;
 - c. a maximum vertical measurement of 0.53 metres;
2. With a Maximum Height of 5.05 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as RB-10 in Attachment 3.1 below

N. Proposed Sign RB-11 is a first party illuminated Wall Sign to be located on the East elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 3.65 square metres;
 - b. a maximum horizontal measurement of 6.88 metres;
 - c. a maximum vertical measurement of 0.53 metres;
2. With a Maximum Height of 5.11 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as RB-11 in Attachment 3.1 below

- O. Proposed Sign RB-12 is a first party illuminated Wall Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:
1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 9.3 square metres;
 - b. a maximum horizontal measurement of 7.38 metres;
 - c. a maximum vertical measurement of 1.26 metres;
 2. With a Maximum Height of 10.7 Metres
 3. Displaying Static copy
 4. The Sign may be illuminated; and
 5. The Sign shall be located in accordance with the designated location indicated as RB-12 in Attachment 3.1 below
- P. Proposed Sign RB-13 is a first party illuminated Wall Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:
1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 4.75 square metres;
 - b. a maximum horizontal measurement of 6.42 metres;
 - c. a maximum vertical measurement of 0.74 metres;
 2. With a Maximum Height of 10.4 metres
 3. Displaying Static copy
 4. The Sign may be illuminated; and
 5. The Sign shall be located in accordance with the designated location indicated as RB-13 in Attachment 3.1 below

Q. Proposed Sign LGB-1 is a first party illuminated Wall Sign to be located on the North elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 17.86 square metres;
 - b. a maximum horizontal measurement of 13.74 metres;
 - c. a maximum vertical measurement of 1.3 metres;
2. With a Maximum Height of 9.02 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as LGB-1 in Attachment 3.1 below

R. Proposed Sign HEB-1 is a first party illuminated Overhanging Structure Sign to be located on the North elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 2.66 square metres;
 - b. a maximum horizontal measurement of 4.75 metres;
 - c. a maximum vertical measurement of 0.56 metres;
2. With a Maximum Height of 4.88 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as HEB-1 in Attachment 3.1 below

- S. Proposed Sign BSB-1 is a first party illuminated Wall Sign to be located on the North elevation of the premises municipally known as 55 Bloor Street West described as follows:
1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 2.42 square metres;
 - b. a maximum horizontal measurement of 6.9 metres;
 - c. a maximum vertical measurement of 0.35 metres;
 2. With a Maximum Height of 4.98 metres
 3. Displaying Static copy
 4. The Sign may be illuminated; and
 5. The Sign shall be located in accordance with the designated location indicated as BSB-1 in Attachment 3.1 below
- T. Proposed Sign BSB-2 is a first party illuminated Wall Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:
1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 2.96 square metres;
 - b. a maximum horizontal measurement of 6.88 metres;
 - c. a maximum vertical measurement of 0.43 metres;
 2. With a Maximum Height of 5.12 metres
 3. Displaying Static copy
 4. The Sign may be illuminated; and
 5. The Sign shall be located in accordance with the designated location indicated as BSB-2 in Attachment 3.1 below

- U. Proposed Sign BSB-3 is a first party illuminated Wall Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:
1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 2.96 square metres;
 - b. a maximum horizontal measurement of 6.88 metres;
 - c. a maximum vertical measurement of 0.43 metres;
 2. With a Maximum Height of 5.36 metres
 3. Displaying Static copy
 4. The Sign may be illuminated; and
 5. The Sign shall be located in accordance with the designated location indicated as BSB-3 in Attachment 3.1 below

- V. Proposed Sign CTB-1 is a first party illuminated Roof Sign to be located on the North elevation of the premises municipally known as 55 Bloor Street West described as follows:
1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 4.66 square metres;
 - b. a maximum horizontal measurement of 3.15 metres;
 - c. a maximum vertical measurement of 1.48 metres;
 2. With a Maximum Height of 9.36 metres
 3. Displaying Static copy
 4. The Sign may be illuminated; and
 5. The Sign shall be located in accordance with the designated location indicated as CTB-1 in Attachment 3.1 below

W. Proposed Sign SB-1 is a first party illuminated Window Sign to be located on the North elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 65.95 square metres;
 - b. a maximum horizontal measurement of 6.75 metres;
 - c. a maximum vertical measurement of 9.77 metres;
2. With a Maximum Height of 10 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as SB-1 in Attachment 3.1 below

X. Proposed Sign SB-2 is a first party illuminated Window Sign to be located on the North elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 65.95 square metres;
 - b. a maximum horizontal measurement of 6.75 metres;
 - c. a maximum vertical measurement of 9.77 metres;
2. With a Maximum Height of 10 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as SB-2 in Attachment 3.1 below

Y. Proposed Sign BL-1 is a first party illuminated Projecting Sign to be located on the North elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing two sign faces with:
 - a. a maximum sign face area of 1.0 square metres;
 - b. a maximum horizontal measurement of 1.0 metres;
 - c. a maximum vertical measurement of 1.0 metres;
2. With a Maximum Height of 3.8 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as BL-1 in Attachment 3.1 below

Z. Proposed Sign BL-2 is a first party illuminated Projecting Sign to be located on the North elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing two sign faces with:
 - a. a maximum sign face area of 1.0 square metres;
 - b. a maximum horizontal measurement of 1.0 metres;
 - c. a maximum vertical measurement of 1.0 metres;
2. With a Maximum Height of 3.8 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as BL-2 in Attachment 3.1 below

AA. Proposed Sign BL-3 is a first party illuminated Projecting Sign to be located on the North elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing two faces with:
 - a. a maximum sign face area of 1.0 square metres;
 - b. a maximum horizontal measurement of 1.0 metres;
 - c. a maximum vertical measurement of 1.0 metres;
2. With a Maximum Height of 3.8 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as BL-3 in Attachment 3.1 below

BB. Proposed Sign BL-4 is a first party illuminated Projecting Sign to be located on the North elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing two sign faces with:
 - a. a maximum sign face area of 1.0 square metres;
 - b. a maximum horizontal measurement of 1.0 metres;
 - c. a maximum vertical measurement of 1.0 metres;
2. With a Maximum Height of 3.8 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as BL-4 in Attachment 3.1 below

CC. Proposed Sign BL-5 is a first party illuminated Projecting Sign to be located on the North elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing two sign faces with:
 - a. a maximum sign face area of 1.0 square metres;
 - b. a maximum horizontal measurement of 1.0 metres;
 - c. a maximum vertical measurement of 1.0 metres;
2. With a Maximum Height of 3.8 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as BL-5 in Attachment 3.1 below

DD. Proposed Sign BL-6 is a first party illuminated Projecting Sign to be located on the North elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing two sign faces with:
 - a. a maximum sign face area of 1.0 square metres;
 - b. a maximum horizontal measurement of 1.0 metres;
 - c. a maximum vertical measurement of 1.0 metres;
2. With a Maximum Height of 3.8 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as BL-6 in Attachment 3.1 below

EE. Proposed Sign BL-7 is a first party illuminated Projecting Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing two sign faces with:
 - a. a maximum sign face area of 1.0 square metres;
 - b. a maximum horizontal measurement of 1.0 metres;
 - c. a maximum vertical measurement of 1.0 metres;
2. With a Maximum Height of 3.8 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as BL-7 in Attachment 3.1 below

FF. Proposed Sign BL-8 is a first party illuminated Projecting Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing two sign faces with:
 - a. a maximum sign face area of 1.0 square metres;
 - b. a maximum horizontal measurement of 1.0 metres;
 - c. a maximum vertical measurement of 1.0 metres;
2. With a Maximum Height of 3.98 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as BL-8 in Attachment 3.1 below

GG. Proposed Sign BL-9 is a first party illuminated Projecting Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing two sign faces with:
 - a. a maximum sign face area of 1.0 square metres;
 - b. a maximum horizontal measurement of 1.0 metres;
 - c. a maximum vertical measurement of 1.0 metres;
2. With a Maximum Height of 3.73 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as BL-9 in Attachment 3.1 below

HH. Proposed Sign BL-10 is a first party illuminated Projecting Sign to be located on the North elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing two sign faces with:
 - a. a maximum sign face area of 1.0 square metres;
 - b. a maximum horizontal measurement of 1.0 metres;
 - c. a maximum vertical measurement of 1.0 metres;
2. With a Maximum Height of 3.8 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as BL-10 in Attachment 3.1 below

II. Proposed Sign BL-11 is a first party illuminated Projecting Sign to be located on the East elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing two sign faces with:
 - a. a maximum sign face area of 1.0 square metres;
 - b. a maximum horizontal measurement of 1.0 metres;
 - c. a maximum vertical measurement of 1.0 metres;
2. With a Maximum Height of 4.3 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as BL-11 in Attachment 3.1 below

JJ. Proposed Sign EGB-1 is a first party illuminated Wall Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 5.52 square metres;
 - b. a maximum horizontal measurement of 6.73 metres;
 - c. a maximum vertical measurement of 0.82 metres;
2. With a Maximum Height of 10.9 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as EGB-1 in Attachment 3.1 below

KK. Proposed Sign EGB-2 is a first party illuminated Window Sign to be located on the East elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 5.52 square metres;
 - b. a maximum horizontal measurement of 6.73 metres;
 - c. a maximum vertical measurement of 0.82 metres;
2. With a Maximum Height of 10.11 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as EGB-2 in Attachment 3.1 below

LL. Proposed Sign LI-1 is a first party illuminated Window Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 2.23 square metres;
 - b. a maximum horizontal measurement of 1.22 metres;
 - c. a maximum vertical measurement of 1.83 metres;
2. With a Maximum Height of 2.45 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as LI-1 in Attachment 3.1 below

MM. Proposed Sign LI-2 is a first party illuminated Window Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 2.23 square metres;
 - b. a maximum horizontal measurement of 1.22 metres;
 - c. a maximum vertical measurement of 1.83 metres;
2. With a Maximum Height of 2.5 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as LI-2 in Attachment 3.1 below

NN. Proposed Sign LI-3 is a first party illuminated Window Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 2.23 square metres;
 - b. a maximum horizontal measurement of 1.22 metres;
 - c. a maximum vertical measurement of 1.83 metres;
2. With a Maximum Height of 2.58 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as LI-3 in Attachment 3.1 below

OO. Proposed Sign LI-4 is a first party illuminated Window Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 2.23 square metres;
 - b. a maximum horizontal measurement of 1.22 metres;
 - c. a maximum vertical measurement of 1.83 metres;
2. With a Maximum Height of 2.58 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as LI-4 in Attachment 3.1 below

PP. Proposed Sign LI-5 is a first party illuminated Window Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 2.23 square metres;
 - b. a maximum horizontal measurement of 1.22 metres;
 - c. a maximum vertical measurement of 1.83 metres;
2. With a Maximum Height of 2.6 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as LI-5 in Attachment 3.1 below

QQ. Proposed Sign LI-6 is a first party illuminated Window Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 2.23 square metres;
 - b. a maximum horizontal measurement of 1.22 metres;
 - c. a maximum vertical measurement of 1.83 metres;
2. With a Maximum Height of 2.62 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as LI-6 in Attachment 3.1 below

RR. Proposed Sign WR-1 is a first party illuminated Wall Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 3.87 square metres;
 - b. a maximum horizontal measurement of 6.91 metres;
 - c. a maximum vertical measurement of 0.56 metres;
2. With a Maximum Height of 6.51 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as WR-1 in Attachment 3.1 below

SS. Proposed Sign CMW-1 is a first party illuminated Window Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 4.95 square metres;
 - b. a maximum horizontal measurement of 3.59 metres;
 - c. a maximum vertical measurement of 1.38 metres;
2. With a Maximum Height of 8.73 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as CMW-1 in Attachment 3.1 below

TT. Proposed Sign BSM-1 is a first party illuminated Wall Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 2.7 square metres;
 - b. a maximum horizontal measurement of 3.13 metres;
 - c. a maximum vertical measurement of 0.85 metres;
2. With a Maximum Height of 5.51 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as BSM-1 in Attachment 3.1 below

UU. Proposed Sign BSM-2 is a first party illuminated Wall Sign to be located on the East elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 2.7 square metres;
 - b. a maximum horizontal measurement of 3.13 metres;
 - c. a maximum vertical measurement of 0.85 metres;
2. With a Maximum Height of 7.52 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as BSM-2 in Attachment 3.1 below

VV. Proposed Sign PD-1 is a first party Electronic Ground Sign to be located at the Northeast corner of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing two rectangular sign faces with:
 - a. a maximum sign face area of 3.83 square metres,
 - i. displaying Static copy to a maximum of 2.29 square meters
 - ii. displaying Electronic Static copy to a maximum 1.54 square meters
 - b. a maximum horizontal measurement of 1.48 metres;
 - c. a maximum vertical measurement of 2.59 metres;
2. With a Maximum Height of 5.65 metres
3. Displaying Static copy and Electronic Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as PD-1 in Attachment 3.1 below

WW. Proposed Sign PD-2 is a first party Electronic Ground Sign to be located at the Southwest corner of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing two rectangular sign faces with:
 - a. a maximum sign face area of 3.83 square metres,
 - i. displaying Static copy to a maximum of 2.29 square meters
 - ii. displaying Electronic Static copy to a maximum 1.54 square meters
 - b. a maximum horizontal measurement of 1.48 metres;
 - c. a maximum vertical measurement of 2.59 metres;
2. With a Maximum Height of 5.65 metres
3. Displaying Static copy and Electronic Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as PD-2 in Attachment 3.1 below

XX. Proposed Sign PD-3 is a first party Electronic Ground Sign to be located on the Southeast corner of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing two rectangular sign faces with:
 - a. a maximum sign face area of 3.83 square metres,
 - i. displaying Static copy to a maximum of 2.29 square meters
 - ii. displaying Electronic Static copy to a maximum 1.54 square meters
 - b. a maximum horizontal measurement of 1.48 metres;
 - c. a maximum vertical measurement of 2.59 metres;
2. With a Maximum Height of 5.65 metres
3. Displaying Static copy and Electronic Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as PD-3 in Attachment 3.1 below

YY. Proposed Sign IND-1 is a first party illuminated Wall Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 17.91 square metres;
 - b. a maximum horizontal measurement of 6.54 metres;
 - c. a maximum vertical measurement of 2.74 metres;
2. With a Maximum Height of 10.05 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as IND-1 in Attachment 3.1 below

ZZ. Proposed Sign PEN-1 is a first party illuminated Projecting Sign to be located on the South elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing four sign faces with:
 - a. a maximum sign face area of 25.6 square metres;
 - b. a maximum horizontal measurement of 12.75 metres;
 - c. a maximum vertical measurement of 3.62 metres;
2. With a Maximum Height of 3.62 metres
3. The sign shall not project more than 2.45 meters from the wall on which the sign is erected
4. Displaying Static copy
5. The Sign may be illuminated; and
6. The Sign shall be located in accordance with the designated location indicated as PEN-1 in Attachment 3.1 below

AAA. Proposed Sign ER-1 is a first party illuminated Window Sign to be located on the West elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one rectangular sign face with:
 - a. a maximum sign face area of 17.2 square metres;
 - b. a maximum horizontal measurement of 4.0 metres;
 - c. a maximum vertical measurement of 4.3 metres;
2. With a Maximum Height of 10.37 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as ER-1 in Attachment 3.1 below

BBB. Proposed Sign BCB-1 is a first party illuminated Overhanging Structure Sign to be located on the Northeast elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one curved rectangular sign face with:
 - a. a maximum sign face area of 22.35 square metres;
 - b. a maximum horizontal measurement of 8.8 metres;
 - c. a maximum vertical measurement of 2.54 metres;
2. With a Maximum Height of 21.46 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as BCB-1 in Attachment 3.1 below

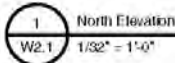
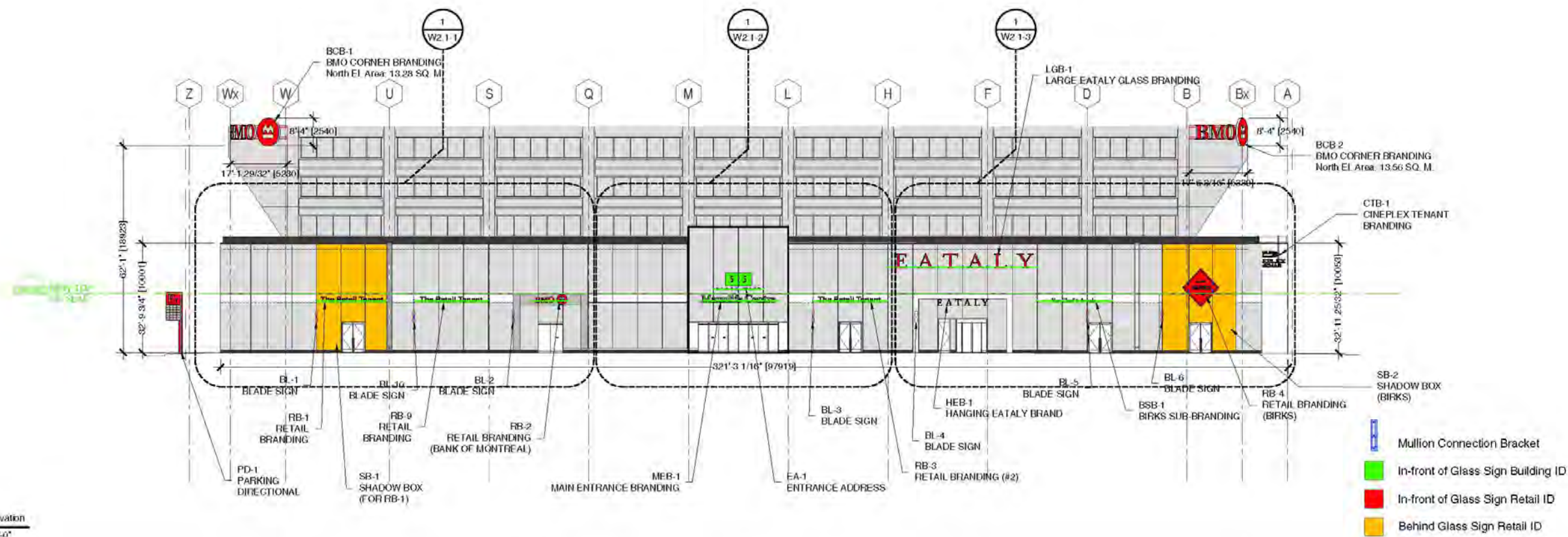
CCC. Proposed Sign BCB-2 is a first party illuminated Overhanging Structure Sign to be located on the Northwest elevation of the premises municipally known as 55 Bloor Street West described as follows:

1. Containing one curved rectangular sign face with:
 - a. a maximum sign face area of 22.35 square metres;
 - b. a maximum horizontal measurement of 8.8 metres;
 - c. a maximum vertical measurement of 2.54 metres;
2. With a Maximum Height of 21.54 metres
3. Displaying Static copy
4. The Sign may be illuminated; and
5. The Sign shall be located in accordance with the designated location indicated as BCB-2 in Attachment 3.1 below

Attachment 3.1

BLOOR ST. (NORTH ELEVATION) Total Façade Elevation: 981.83 meters squared					
Code	Sign Name	Sign Type	Area (sq.m.)	Building Façade	Percentage(%) of Elevation
MEB-1	Main Entrance Branding	Wall (Mullion Connection)	4.85	Bloor	0.49%
EA-1	Entrance Address	Wall (Mullion Connection)	6.26	Bloor	0.64%
RB-1	Retail Branding	Wall (Mullion Connection)	Part of SB-1	Bloor	0.00%
RB-2	Retail Branding (Bank of Montreal)	Wall (Mullion Connection)	3.23	Bloor	0.33%
RB-3	Retail Branding	Wall (Mullion Connection)	3.56	Bloor	0.36%
RB-4	Retail Branding (Birks)	Wall (Mullion Connection)	Part of SB-2	Bloor	0.00%
RB-9	Retail Branding	Wall (Mullion Connection)	3.66	Bloor	0.37%
LGB-1	Large Eataly Glass Branding	Wall (Glass Mounted)	17.79	Bloor	1.81%
HEB-1	Hanging Eataly Brand	Canopy Hung Sign	2.65	Bloor	0.27%
BSB-1	Birks Sub Branding	Wall (Mullion Connection)	2.36	Bloor	0.24%
CTB-1	Cineplex Tenant Branding	Wall (Mullion Connection)	3.2	Bloor	0.33%
SB-1	Shadow Box (Retail Tenant #1)	Wall Sign (Behind Glass)	50.9	Bloor	5.80%
SB-2	Shadow Box (Birks)	Wall Sign (Behind Glass)	60.22	Bloor	6.13%
BL-1	Blade Sign	Blade (Mullion Connection)	0.2	Bloor	0.02%
BL-2	Blade Sign	Blade (Mullion Connection)	0.2	Bloor	0.02%
BL-3	Blade Sign	Blade (Mullion Connection)	0.2	Bloor	0.02%
BL-4	Blade Sign	Blade (Mullion Connection)	0.2	Bloor	0.02%
BL-5	Blade Sign	Blade (Mullion Connection)	0.2	Bloor	0.02%
BL-6	Blade Sign	Blade (Mullion Connection)	0.2	Bloor	0.02%
BL-10	Blade Sign	Blade (Mullion Connection)	0.2	Bloor	0.02%
BCB-1	BMO Corner Branding	Wall Sign	n/a	Bloor/Balmuto	n/a
BCB-2	BMO Corner Branding	Wall Sign	n/a	Bloor/Bay	n/a
Total:			168.1		16.92%

Bloor St.
North Elevation



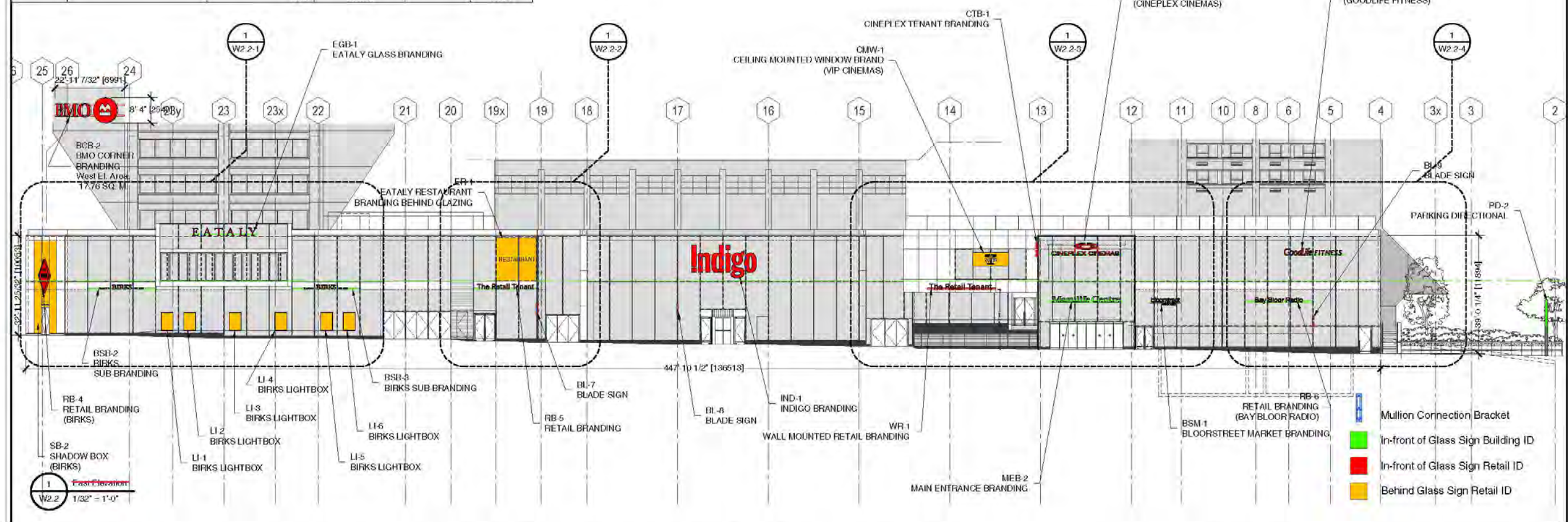
Kramer Tel: 416.921.1078
Design Fax: 416.921.9934
Associates www.kramer-design.com

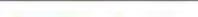
CLIENT	Manulife Real Estate	PROJECT	Manulife Centre 55 Bloor Street West TORONTO, ONTARIO	DATE	Signage Master Plan Submission March 05, 2018	TITLE	Bloor St. North Elevation Percentage Utilization	DWG No	W2.1
						APPROVAL			

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Bay St. West Elevation

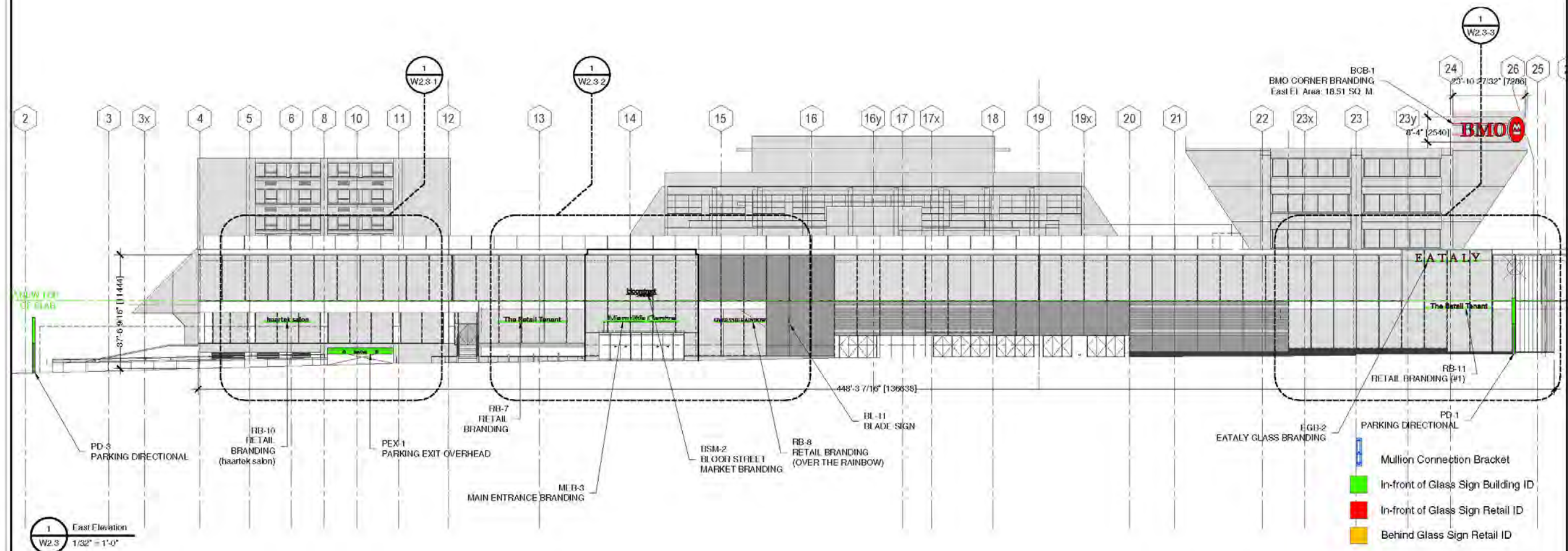
BAY ST. (WEST ELEVATION) Total Façade Elevation: 1498.03 meters squared					
Code	Sign Name	Sign Type	Area (sq.m.)	Building Façade	Percentage (%) of Elevation
MEB-2	Main Entrance Branding	Wall (Mullion Connection)	4.85	Bay	0.32%
RB-4	Retail Branding (Birks)	Wall (Mullion Connection)	Part of SB-2	Bay	0.00%
RB-5	Retail Branding	Wall (Mullion Connection)	2.94	Bay	0.20%
RB-6	Retail Branding (Bay Bloor Radio)	Wall (Mullion Connection)	3.67	Bay	0.24%
RB-12	Retail Branding (Cineplex Cinemas)	Wall (Mullion Connection)	9.28	Bay	0.62%
RB-13	Retail Branding (Goodlife Fitness)	Wall (Mullion Connection)	4.74	Bay	0.32%
EGB-1	Eataly Glass Branding	Wall (Glass Mounted)	5.03	Bay	0.34%
BSB-2	Birks Sub-Branding	Wall (Mullion Connection)	2.88	Bay	0.19%
BSB-3	Birks Sub-Branding	Wall (Mullion Connection)	2.88	Bay	0.19%
LI-1	Birks Light Box	Wall Sign (Behind Glass)	2.23	Bay	0.15%
LI-2	Birks Light Box	Wall Sign (Behind Glass)	2.23	Bay	0.15%
LI-3	Birks Light Box	Wall Sign (Behind Glass)	2.23	Bay	0.15%
LI-4	Birks Light Box	Wall Sign (Behind Glass)	2.23	Bay	0.15%
LI-5	Birks Light Box	Wall Sign (Behind Glass)	2.23	Bay	0.15%
LI-6	Birks Light Box	Wall Sign (Behind Glass)	2.23	Bay	0.15%
WR-1	Wall Mounted Retail Branding	Wall Sign	3.52	Bay	0.23%
CMW-1	Ceiling Mounted Window Brand	Wall Sign (Behind Glass)	4.95	Bay	0.33%
BSM-1	Bloorstreet Market Branding	Wall (Mullion Connection)	2.57	Bay	0.17%
PD-2	Parking Directional	Ground Sign	n/a	Bay/Charles	n/a
SB-2	Shadow Box (Birks)	Wall Sign (Behind Glass)	9.81	Bay	0.64%
IND-1	Indigo Branding	Wall Sign	17.95	Bay	1.20%
BL-7	Blade Sign	Blade (Mullion Connection)	0.2	Bay	0.01%
BL-8	Blade Sign	Blade (Mullion Connection)	0.2	Bay	0.01%
BL-9	Blade Sign	Blade (Mullion Connection)	0.2	Bay	0.01%
ER-1	Eataly Restaurant Branding	Wall Sign (Behind Glass)	17.2	Bay	1.15%
RCB-2	BMO Corner Branding	Wall Sign	n/a	Bloor/Bay	n/a
Total:			106.05		7.08%

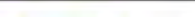


 Kramer Tel: 416.921.1078 Design Fax: 416.921.9934 Associates www.kramer-design.com	CLIENT	Manulife Real Estate	PROJECT	Manulife Centre 55 Bloor Street West TORONTO, ONTARIO	DATE		TITLE	Bay Street West Elevation Percentage Utilization	DWG No
					Signage Master Plan Submission	March 05, 2018			W2.2
					-				
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Balmuto St. East Elevation

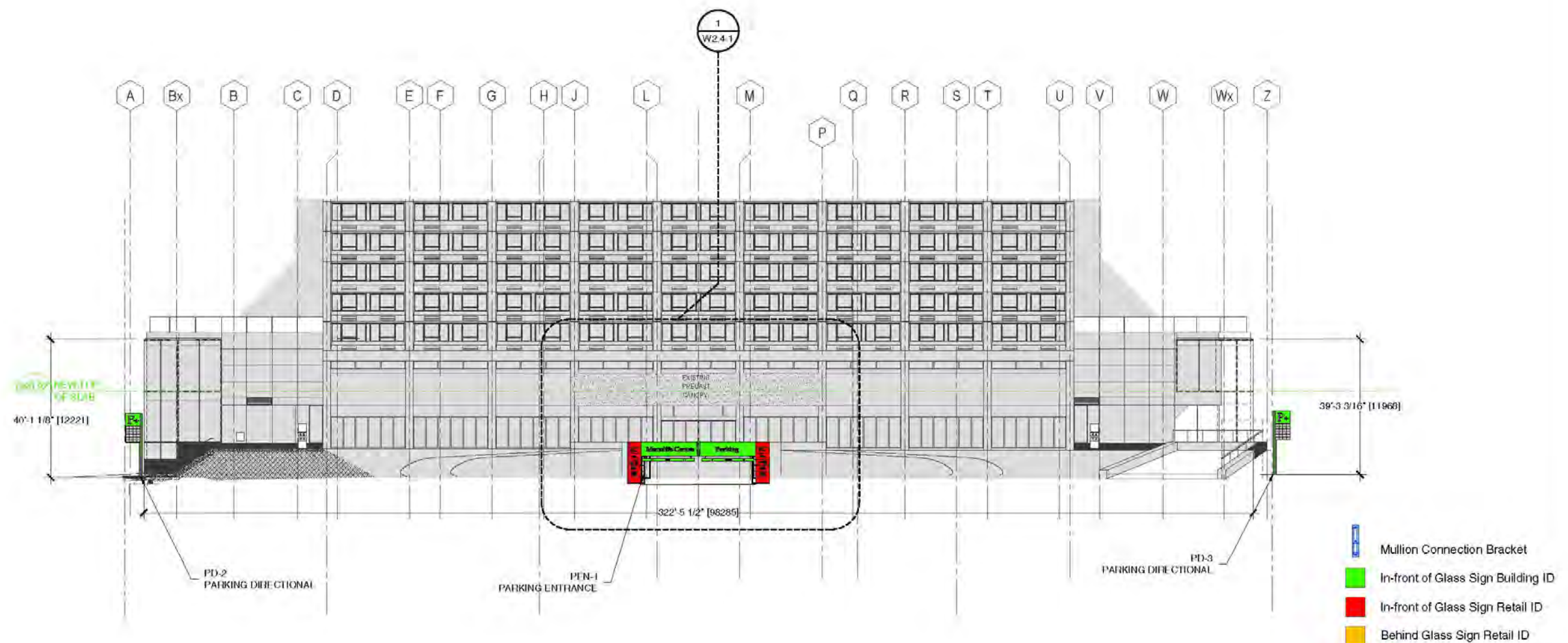
BALMUTO ST. (EAST ELEVATION) Total Façade Elevation: 1470.22 meters squared					
Code	Sign Name	Sign Type	Area (sq.m.)	Building Façade	Percentage(%) of Elevation
MEB-3	Main Entrance Branding	Wall (Mullion Connection)	4.85	Balmuto	0.33%
RB-7	Retail Branding	Wall (Mullion Connection)	3.67	Balmuto	0.25%
RB-8	Retail Branding (Over the Rainbow)	Wall (Mullion Connection)	2.97	Balmuto	0.20%
RB-10	Retail Branding (haartek salon)	Wall (Mullion Connection)	3.48	Balmuto	0.24%
RB-11	Retail Branding	Wall (Mullion Connection)	3.65	Balmuto	0.25%
EGB-2	Eataly Glass Branding	Wall (Glass Mounted)	5.03	Balmuto	0.34%
DSM-2	Stor Street Market Branding	Wall (Mullion Connection)	2.57	Balmuto	0.17%
PEX-1	Parking Exit Overhead	Wall Sign	4.09	Balmuto	0.28%
PD-1	Parking Directional	Ground Sign	n/a	Balmuto/Bloor	n/a
PD-3	Parking Directional	Ground Sign	n/a	Balmuto/Charles	n/a
BL-9	Blade Sign	Blade (Mullion Connection)	0.2	Balmuto	0.01%
BCB-1	BMO Corner Branding	Wall Sign	n/a	Bloor/Balmuto	n/a
Total:			30.61		2.08%



 Kramer Tel: 416.921.1078 Design Fax: 416.921.9934 Associates: www.kramer-design.com	CLIENT	Manulife Real Estate	PROJECT	Manulife Centre 55 Bloor Street West TORONTO, ONTARIO	DATE		TITLE	Balmuto St. East Elevation Percentage Utilization	DWG No
					Signage Master Plan Submission	March 05, 2018			W2.3
					-	-			
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CHARLES ST. (SOUTH ELEVATION) Total Façade Elevation: 1188.70 meters squared				
Code	Sign Name	Sign Type	Area (sq.m.)	Building Façade
PD-2	Parking Directional	Ground Sign	n/a	Bay/Charles
PD-3	Parking Directional	Ground Sign	n/a	Balmuto/Charles
PEN-1	Parking Entrance	Wall Sign	11.16	Charles
Total:			11.16	0.94%

Charles St. South Elevation



1 South Elevation
W2.4 1/32" = 1'-0"



Kramer Tel: 416.921.1078
Design Fax: 416.921.9934
Associates www.kramer-design.com

CLIENT **Manulife Real Estate**

PROJECT **Manulife Centre**
55 Bloor Street West
TORONTO, ONTARIO

DATE
Signage Master Plan Submission March 05, 2018

TITLE
Charles St.
South Elevation
Percentage Utilization

DWG No

W2.4

APPROVAL

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Attachment 4 – Sign District View Mapping of the Subject Premises and surrounding Area

As indicated in picture below, proposed subject premises and surrounding area are designated as CR – Commercial Residential Sign District.



Figure 1 - Sign District View Mapping of the Subject Premises and surrounding Area

Attachment 6 – Letter of Opposition

Sent: February 19, 2020 12:22 PM

Subject: Signage Master Plan for 55 Bloor St. West File# 19-255371

Part 1

To whom it may concern,

I am a resident of 1166 Bay St, the condo building directly across the street from the Manulife Centre at 55 Bloor St. W.

I recently received a "Notice of Application First Party Signage Master Plan" for this location and I am VERY UNHAPPY! The first retail location to be completed in this massive project was Indigo. They have a lit sign that was like looking directly in to a light bulb all night - it was so bright that I, as well as many others in the building, were not able to sleep. Indigo was instructed the the light needed to be turned off by 11pm. They have done so and never missed (not to my knowledge). Their obligation for light pollution was appreciated by all.

Now 55 Bloor St. W wants to have what appears to be hundreds of these lights lit up all time - THIS IS INSANE, CRAZY AND NOT HEALTHY for those of us that live and sleep in direct line to this LIGHT POLLUTION that will be emitted to all of us. THIS MUST BE STOPPED!! If they are obligated and instructed that all lights must be off by 11pm, such as Indigo, I can live with it (not happily but better than nothing). I don't feel like spending my relaxing evenings at home or entertaining friends to feel like I'm living on an airport landing strip - I would like to feel like I'm at home enjoying my relaxing time.

PLEASE, DO NOT ALLOW THIS TO HAPPEN. WE HAVE SPENT A HUGE AMOUNT OF MONEY TO PURCHASE A WONDERFUL CONDO IN OUR BUILDING, DON'T ALLOW MANULIFE TO TURN OUR STREET IN TO AN AIRPORT LANDING STRIP!!

Part 2

Thank you for your email, but honestly - NOT HELPFUL. First of all, it shows 8 hours to download the file, who would ever do that, it is almost as though you guys want to hide things knowing that no one is going to do it NOR are they going to trek down to City Hall to see plans. Whatever ever happened to "transparency". There should be some sort of a summary document (I use those in my line of work all the time) that is the overview and steps in the process of the application.

My tax dollars pay the salaries of all the city workers, and without trying to be rude, who do you guys work for - the tax payers / me or the people paying the city money for these applications and to get approvals???

The reply you sent me was "identical, word for word" to the reply someone else got, so I question if you even read the email or just hit the template reply. Please understand, I don't want to appear rude, but I do want to appear concerned and want this dealt with BEFORE it is too late. Is there a meeting that area residents can attend to hear the proposal and have a say in the decision??

I like how you promise to let me know of the decision!!!! WHY DON'T WE HAVE A SAY IN THIS? What was the point in putting out the information if we really don't have any input to the decision but the city gets to do what they want and then simply TELL US what the result is, seriously?!?!

How about you tell us what you will do to make MTCC #555 Residents happy! and we we need to do to be comfortable and proactive, as well as, part of the decision. Last I checked we live in a democracy and taxpayers had votes. I wonder how our local MP will feel about not being voted back in to office because he didn't take care of us!

I would like a reply to this, and please don't give me a template. I don't want to live on a "landing strip" nor at Yonge & Dundas type location. I bought my condo for the area it was, and this is lower our land value with these lights (not the building) just the lights. It is disgraceful and taxpayers can't just be pushed aside because someone will pay to get what they want. This all being said, if there really is a committee, meetings and votes for approval, I would like to know who is involved, when they are and I would like to attend. This should be transparent and open to anyone who wants to participate just like when the city asks for approvals of development. This needs to be asked and approved not decided it will approved/

As you can see I'm very passionate about this, as ALL the other residents are in 1166 Bay St and we can just "accept" it all lying down and without a fight

Sent: February 25, 2020 8:32 AM

Subject: FW: Signage Master Plan for 55 Bloor St. West File# 19-255371

To whom it may concern,

I am a resident of 1166 Bay St, the condo building directly across the street from the Manulife Centre at 55 Bloor St. W. **We are your customers and your neighbours.**

I recently received a "Notice of Application First Party Signage Master Plan" for this location and I am **VERY UNHAPPY!** The first retail location to be completed in this massive project was Indigo. They have a lit sign that was like looking directly in to a light bulb all night - it was so bright that I, as well as many others in the building, were not able to sleep. Indigo was instructed the the light needed to be turned off by 11pm. They have done so and never missed (not to my knowledge). Their obligation for light pollution was appreciated by all.

Now 55 Bloor St. W wants to have what appears to be hundreds of these lights lit up all time – **This is unnecessary, unreasonable, unhealthy and inconsiderate of people's health and need to sleep.** We are in a direct line to this light pollution that will affect all of us. This must not go forward!! If they are obligated and instructed that all lights must be off by 11pm, as done by Indigo, I can live with it (not happily but better than nothing).

Please, do not let this happen. We are your regular customers! We love our wonderful condo and want to be able to enjoy a reasonable quality of life and sleep.

My husband, XXX, would never have approved of such an inconsiderate plan. In the hope that you will respond positively to our request.

Sent: February 26, 2020 1:11 AM
Subject: 55 Bloor St. W. #19-255371 Opposition

To Whom it May Concern,

As a resident of 1166 Bay St., the condo building across the road from 55 Bloor St., I reviewed the "Notice of Application First Party Signage Master Plan" and am very unhappy and concerned about the direction in which our neighborhood is developing.

The very bright lights of the huge Indigo sign were disturbing the residents' sleep. By being held hostage to commercial "enhancement" and "development", the residents agreed reluctantly, to accept that the lights be turned off at 11:00 pm.
It seems they feel defeated that this is the direction to which they must go for everything.

As it is now, Birk's has huge lit-up ads flashing from inside that show through the large windows at the corner of Bloor and Bay. In addition with the proposed Signage Master Plan, the street would look like Dundas Square, or Las Vegas. The TD Bank has bright green trim and light around both sides of their corner of Bloor and Bay. A lot of money has been spent on the beautification of Bloor and Bay St as well as major investments in our condo building and others in the surrounding area.

In addition to the lights disturbing the health and welfare of the residents in my building and surrounding area, I think this proposal would depreciate the values of our condos and neighborhood and attract a similar environment to that of Dundas Square, with the light and sign pollution. Also, it could have a negative impact to the newly upgraded businesses at the Manulife, 55 Bloor St.

Surely there must be a different approach to making signage more attractive and commensurate with the overall development and enhancement of the area, and still be inviting to the public for business.

i.e. uniformity of color and size surrounding the building with interesting or different fonts for signs. These signs could be more appealing to look up at and read than glaring, and conflicting signs dominating the area.

Hopefully our concerns will be given serious consideration.

Sent: February 26, 2020 9:42 AM
Subject: Light Pollution 55 Bay Street

To whom it may concern.

I am a resident of 1166 Bay St, the condo building directly across the street from the Manulife Centre at 55 Bloor St. W. I am writing to draw your attention to the delirious effects of your persistent overuse of artificial light which will be exacerbated by your recent "Application First Party Signage Master Plan" for this location.

As a socially responsible company I am sure that you are familiar with the negative effects of light pollution - excessive, misdirected or invasive use of artificial outdoor lighting. Mismanaged lighting alters the color and contrast of the nighttime sky, eclipses natural starlight, and disrupts circadian rhythms (the 24-hour processes of most organisms), which affects the environment, energy resources, wildlife, and humans and astronomy research.

The notice from 55 Bloor St. W appears to expect hundreds of lights to be lit up all time – This is unnecessary, unreasonable, unhealthy and inconsiderate of people's health and need to sleep.

Our condominium building is in a direct line to this light pollution that will affect all occupants facing Bay Street. I strongly object to your proposal.

Sent: February 28, 2020 6:36 PM

Subject: Signage Application 19-255371 55 Bloor Street West

With respect to the proposed new exterior signage at Manulife Centre (Bay/Bloor) I wish to offer the following comments:

1) As a resident, in a building on the west side of Bay Street, immediately across the street from the Manulife Centre I have experienced the glare of the retail signage installed on the exterior of the building, and from interior store lighting. This is after all a residential area, not just a commercial area of Toronto. It's a mixed use area, and we residents should be afforded the right to darkness or as close as possible after business hours.

2) The Manulife Centre and/or its tenants do NOT dim the signs after business hour nor overnight. This creates unacceptable levels of light permeating my residence while trying to fall asleep despite the fact that I have 'black-out' curtains.

3) The existing and proposed Manulife signage does NOT direct the lighting down towards street level – where it is needed to draw attention to passers-by. Those of use who live in the neighbourhood certainly do NOT need to see signage about Indigo, Bay Bloor Radio, the other merchants, or the Centre itself visible from all floors of my building. This is NOT Times Square!!

Any exterior lighting or signage installed on the Manulife Centre should be required to conform with 'dark sky' initiatives, which dictate that illumination be directed downwards and to be at the lowest illumination levels possible.

If you read any article on-line, you will see that there are dark sky initiatives worldwide, both in urban and rural areas. It is a **health issue**. A good example of 'dark sky' initiatives and by-laws can be found in the city of Gravenhurst, Ontario. See the by-law here under the 'Dark Sky' section:

<https://www.gravenhurst.ca/en/town-hall/by-laws.aspx#Building-and-Property>

<https://www.muskokaregion.com/news-story/4479324-dark-sky-by-law-passes-in-muskoka-lakes/>

It is nearly impossible for city residents to see the stars at night any longer.....children born today who live in the city will never see stars inside city borders due to light pollution. I'm sorry if the Manulife Centre might be the first applicant to be required to comply with 'dark sky' in the City of Toronto (should you choose to require it) but it must start somewhere, and this application is as good as any to begin with.

Sent: March 3, 2020 1:41 PM

Subject: Request for information on application

Kindly let me know what are the variances requested in the application for signage at 55 Bloor Street West (19-255371). This building is located across the street from our condo unit and therefore I have a direct interest in knowing. As the decision date is Mar 10, I would appreciate an immediate answer to this request.

Thank you.

Sent: March 6, 2020 3:23 PM

Subject: Signage Master Plan Application re: 55 Bloor Street West (19-255371)

As your valued customers and neighbours, our concern at 1166 Bay St. is that the lighting on your property respect the fact that residents who live across the road cannot sleep if your lights are on after 11pm.

Many residents want to go to sleep before that, but 11pm is a reasonable compromise. This policy has already been adopted by Indigo, and we are appreciative of their actions.

I am not interested in the details of your plan – **just that you agree to turn off your signs by no late than 11pm.**

Yours respectfully,