



01 CONTEXT PLAN  
A101 N.T.S

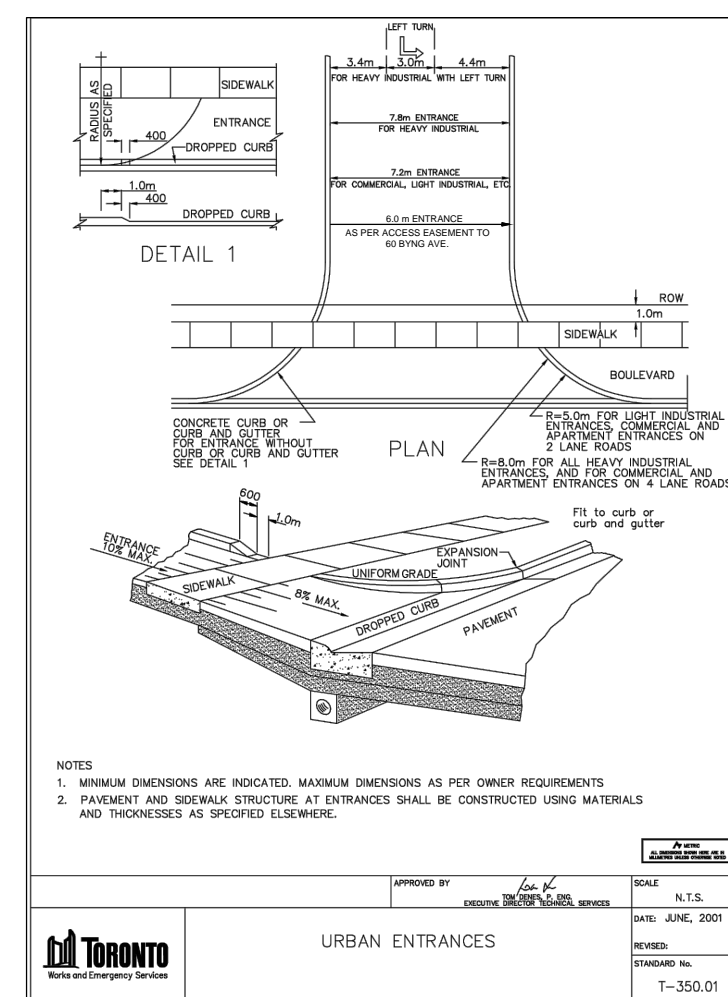
SITE STATISTICS

	m <sup>2</sup>	%
Site Area	2,376.40	
<b>PROPOSED:</b>		
	m <sup>2</sup>	
Building Footprint at Grade	685.80	28.86%
Asphalt/Driving Surfaces	346.40	14.58%
Ramp	144.40	6.08%
Intake & Exhaust & Transformer	10.40	0.44%
<b>Total Hard Landscape</b>		
Total Hard Landscape	615.10	25.88%
Total Soft Landscape	550.90	23.18%
Total Permeable Surface	23.40	0.98%
Total Landscaped	1,189.40	50.05%

\*Please note percentages above based on NET site area

Required Area for Snow Strage	17.32
Provided Area for Snow Strage	18.00

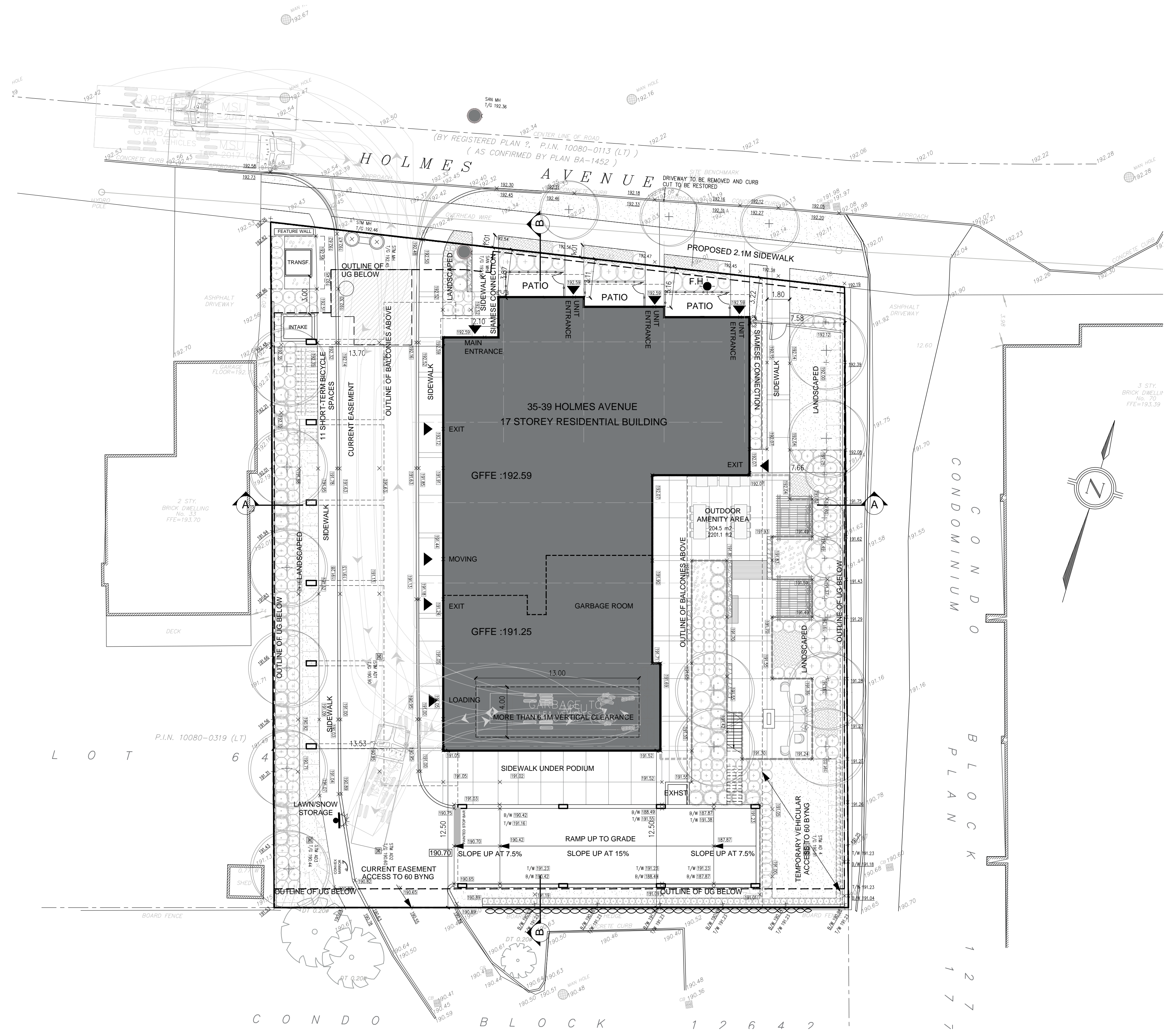
03 SITE STATISTICS  
A101 N.T.S



04 URBAN ENTRANCE DETAIL  
A101 N.T.S

NOTES

1. THE EXISTING CURBS AT THE PROPOSED ENTRANCES ARE REMOVED AND REPLACE WITH CONCRETE CURBS AND GUTTERS AS PER CITY STANDARD T-600.05-1
2. THE ENTRANCE WILL BE CONSTRUCTED AS PER CITY STANDARD T-350.01.
3. THE ENTRANCE RETURN CURBS WILL BE CONSTRUCTED UP TO THE EDGE OF PROPOSED SIDEWALK RATHER THAN ACROSS THE PROPOSED SIDEWALK



02 SITE PLAN  
A101 1:200

NOTES

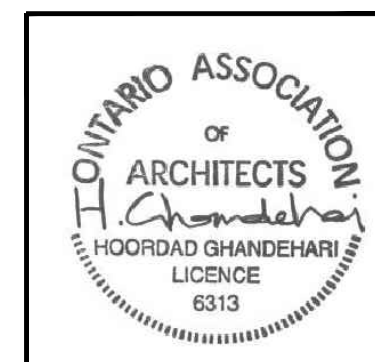
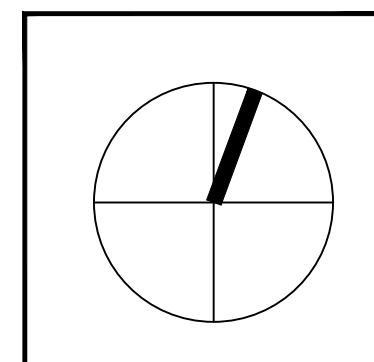
1. STATISTICS FOR BOTH TORONTO BY-LAW 569-2013 AND NORTH YORK BY-LAW 7625 CAN BE FOUND ON SHEET A102.
2. FOR COMPLETE GRADING AND SERVING INFORMATION, REFER TO DRAWINGS PROVIDED BY C.F. CROZIER & ASSOCIATES INC.
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LEGEND

NO.	REVISION/ISSUE	DATE	NO.	REVISION/ISSUE	DATE
			2.	ISSUED FOR OPA/ZBA	NOV20/20
			1.	ISSUED FOR OPA/ZBA	JAN12/18

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35-39 HOLMES AVENUE  
TORONTO, ONTARIO

DRAWING TITLE  
CONTEXT PLAN, SITE PLAN, SITE STATISTICS AND SITE PLAN DETAILS

Scale: 1:200  
Date: NOVEMBER 20 2020  
Project No. 17113

Drawn by: HT  
Checked by: HG  
Drawing No. A101

813 - 4789 YONGE ST., TORONTO  
M4N 0G3  
1-866-224-6566

ICON ARCHITECTS

PLOT DATE November 20, 2020



Statistics		
Summary		
	m2	ft2
1.06 Area	2,226.70	23,930
Total GFA	10,717.30	115,304
Total Area (Excl. Site Area)	4,311	
Total LRI	154	
Coverage	0.09	20.00%
Total Height (North York By-Law)	5.2.00	

Ha  
0.236

Max GFA's per Secondary Plan				
	m2	ft2	ft4	Max GFA as per Secondary Plan
36 Homes	899.00	9670.8	3.46	8110.34
37 Homes	711.50	7650.6	3.46	2661.22
38 Homes	720.50	7741.1	3.46	2850.01
Total				8222.57

Building: Condo (As Per North York Center Secondary Plan)														
Floors	GFA Without Deductions		elevators and main pipe shaft 30.00	Fresh air 1.20	GFA Deductions				total deducible	GFA				Total
	m2	ft2			pipe space/s	heating units/s	electrical closet	charge		m2	ft2	10/15/40	20/25/10	
UG2	52.70	567							52.70	567	0	0	0	0
UG1	44.92	480						44.92	480	0	0	0	0	0
1	521.70	5,629	3000	0.00	4.20	1.50	0.00	15.70	541.50	5,829	0	2	1	9
2	526.50	5,677	3000	1.30	1.40	0.50	0.00	19.40	546.10	5,878	1	0	0	1
3	796.50	8,574	3000	1.30	1.60	0.50	0.00	40.90	795.20	8,160	9	2	1	12
4	663.10	7,138	3000	1.20	1.40	0.50	0.00	22.70	660.40	7,098	5	1	1	8
5	663.10	7,138	3000	1.30	1.40	0.50	0.00	26.50	626.60	6,745	7	2	1	10
6	663.10	7,138	3000	1.30	1.40	0.50	0.00	26.50	626.60	6,745	7	2	1	10
7	663.10	7,138	3000	1.30	1.40	0.50	0.00	26.50	626.60	6,745	7	2	1	10
8	663.10	7,138	3000	1.30	1.40	0.50	0.00	26.50	626.60	6,745	7	2	1	10
9	663.10	7,138	3000	1.30	1.40	0.50	0.00	26.50	626.60	6,745	7	2	1	10
10	663.10	7,138	3000	1.30	1.40	0.50	0.00	26.50	626.60	6,745	7	2	1	10
11	663.10	7,138	3000	1.30	1.40	0.50	0.00	26.50	626.60	6,745	7	2	1	10
12	663.10	7,138	3000	1.30	1.40	0.50	0.00	26.50	626.60	6,745	7	2	1	10
13	663.10	7,138	3000	1.30	1.40	0.50	0.00	26.50	626.60	6,745	7	2	1	10
14	663.10	7,138	3000	1.30	1.40	0.50	0.00	26.50	626.60	6,745	7	2	1	10
15	663.10	7,138	3000	1.30	1.40	0.50	0.00	26.50	626.60	6,745	7	2	1	10
16	663.10	7,138	3000	1.30	1.40	0.50	0.00	26.50	626.60	6,745	7	2	1	10
17	663.10	7,138	3000	1.30	1.40	0.50	0.00	26.50	626.60	6,745	7	2	1	10
MPH	0.00	0.00							0.00	0.00	0	0	0	0
Total	11,299.80	121,637.12						582.60	10,717.30	115,304.02	307	31	10	154

DIFFERENCE 2,434.96 69.48% 21.13% 10.86% 100.00%

Parking Required (As Per North York Center Secondary Plan)			
Type	Number of Units	Ratio	Parking spaces
Residents	154	0.10	154
Visitors	154	0.11	154
Total Required			154

Parking Provided						
Floor	Spaces	Type	Car share Ratio	Total	Total of Each Type	Ratio
UG-1	15	Visitors	N/A	15	15	0.10
	25	Residents	N/A	25	25	0.16
UG-2	48	Residents	N/A	48	48	0.58
					96	0.62

Required Parking Spaces With Note:		28	21% Of Provided Underground Parking Spaces
Required Parking Spaces With Note in Condo:		22	Remaining Underground Parking Spaces

Amenity Required				
Type	Number of Units	Ratio (m2)	m2	ft2
Indoor Amenity	154	1.5	231.00	2496
Outdoor Amenity	154	1.5	231.00	2496
Total			462.00	4992

Amenity Provided		
Type	m2	ft2
Indoor Amenity	258.40	2786
Outdoor Amenity	430.20	4626
Total	688.60	7412

Bicycle Parking Required			
Type	Units	Ratio	Spaces
Long term	154	0.08	104.7
Short term	154	0.07	107.8
Total Required			212.5

Bicycle Parking Provided			
Type	Location	Spaces	% of Total Floor Area Occupied by Bicycle Rooms
Long term	UG	25	0.26%
	Ground Floor	53	0.57%
Short term	Second Floor	32	0.37%
	Grade	13	0.14%
Total Provided		123	1.34%

NOTE: Above Net Floor Area excludes area of elevator shafts, drive aisles, exit stairs, air ducts, loading areas, garbage chute mechanical and

\* GROSS FLOOR AREA shall mean the aggregate of the areas of each floor, measured between the exterior faces of the exterior walls of the building or structure at the level of each floor, including any areas used as balconies, but excluding:  
 (i) any part of the building used for mechanical floor area  
 (j) any space in a parking garage at or below grade used exclusively for motor vehicle or bicycle parking or access thereto; and  
 (k) the floor area of unenclosed residential balconies

For greater clarity, but not so as to restrict generality:  
 The calculation of GROSS FLOOR AREA may exclude:  
 1. architectural features affixed to or extending beyond the exterior faces of the exterior walls.  
 2. floor slab openings and other voids, including pipe space enclosures throughout, including within residential units;  
 3. mechanical areas within residential units, including HVAC spaces;  
 4. storm water storage tanks;  
 5. parking ramps and aisles to or within a parking garage;  
 6. bicycle rooms contained within a parking garage;  
 7. accessory uses to parking areas within a parking garage including:  
 7.1. airlock rooms adjacent to elevators or exits;  
 7.2. exit stairs that lead directly from a parking garage to the exterior of the building without serving any other areas;  
 7.3. curbs adjacent to the parking areas;  
 7.4. supporting columns, walls or other like structures in a parking garage;  
 7.5. pedestrian walkways within a parking garage;  
 7.6. motor vehicle loading spaces;  
 7.7. access thereto, and adjacent bin staging areas;  
 7.8. dead areas adjacent to parking spaces between columns, in corners and around curves or provided to facilitate vehicular turnaround;  
 7.9. other spaces in a parking garage not accessible and/or useable due to structural design; and

The calculation of GROSS FLOOR AREA shall include:  
 1. general storage spaces of any kind, including lockers and rooms;  
 2. bicycle rooms not contained within a parking garage;  
 3. vestibules other than airlock rooms;  
 4. garbage and recycling rooms;  
 5. stairs, landings and hallways other than those that lead directly from a parking garage to the exterior of a building without serving any other areas;  
 6. amenity spaces;  
 7. elevator lobbies;  
 8. the floor areas of elevator cabs

MECHANICAL FLOOR AREA  
 For the purpose of this exception, MECHANICAL FLOOR AREA shall mean the floor area within a building or structure used exclusively for the accommodation of mechanical equipment necessary to physically operate the building, including but not limited to:  
 1. heating  
 2. ventilation  
 3. air conditioning  
 4. electrical  
 5. plumbing  
 6. fire protection  
 7. telephone  
 8. telecommunications  
 9. cable and elevator equipment  
 10. garbage chutes and compactors  
 11. storm water management and irrigation facilities

DEFINITIONS NORTH YORK BY-LAW 7625

\*\* HEIGHT SHALL MEAN THE VERTICAL DISTANCE BETWEEN THE ESTABLISHED GRADE, AND IN THE CASE OF A FLAT ROOF, THE HIGHEST POINT OF THE ROOF SURFACE. MECHANICAL PENTHOUSE HEIGHT NOT INCLUDED.  
 \*\*\* ESTABLISHED GRADE SHALL MEAN THE ELEVATION AS FIXED BY THE MUNICIPALITY OF THE CENTER LINE OF THE STREET AT THE MID-POINT OF THE FRONT LOT LINE. ESTABLISHED GRADE FOR 35-39 HOLMES AVENUE IS : 192.30  
 \*\*\*\* COVERAGE MEANS THE PERCENTAGE OF THE LOT AREA COVERED BY ALL BUILDINGS ABOVE GROUND LEVEL, INCLUDING ACCESSORY BUILDINGS AND STRUCTURES, BUT EXCLUDES:

- A) PERMITTED ENCROACHMENTS INTO THE MINIMUM YARD SETBACKS; AND
- B) THAT PORTION OF THE LOT, WHICH IS OCCUPIED BY A BUILDING OR PORTION, WHICH IS COMPLETELY BELOW GROUND LEVEL.

Statistics Template - Toronto Green Standard Version 3.0  
**Mid to High Rise Residential and all New Non-Residential Development**

The Toronto Green Standard Version 3.0 Statistics Template is submitted with Site Plan Control Applications and stand alone Zoning Bylaw Amendment applications. Complete the table and copy it directly onto the Site Plan submitted as part of the application.  
 For Zoning Bylaw Amendment applications: complete General Project Description and Section 1.  
 For Site Plan Control applications: complete General Project Description, Section 1 and Section 2.  
 For further information, please visit www.toronto.ca/greendevlopment

General Project Description	Proposed
Total Gross Floor Area	10,717.30
Breakdown of project components (m²)	
Residential	
Retail	
Commercial	
Industrial	
Institutional/Other	
Total number of residential units	154

Section 1: For Stand Alone Zoning Bylaw Amendment Applications and Site Plan Control Applications

Automobile Infrastructure	Required	Proposed	Proposed %
Number of Parking Spaces	154	96	62.33%
Number of parking spaces dedicated for priority LEV parking	N/A	N/A	N/A
Number of parking spaces with EVSE	18	18	100%

Cycling Infrastructure	Required	Proposed	Proposed %
Number of long-term bicycle parking spaces (residential)	105	105	100%
Number of long-term bicycle parking spaces (all other uses)	N/A	N/A	N/A
Number of long-term bicycle parking (all uses) located on:			
a) first storey of building	N/A	53	50.48%
b) second storey of building	N/A	32	30.48%
c) first level below-ground	N/A	20	19.04%
d) second level below-ground	N/A	0	0%
e) other levels below-ground	N/A	0	0%



11-0063 2018-05

Page 1 of 3

Statistics Template - Toronto Green Standard Version 3.0  
**Mid to High Rise Residential and all New Non-Residential Development**

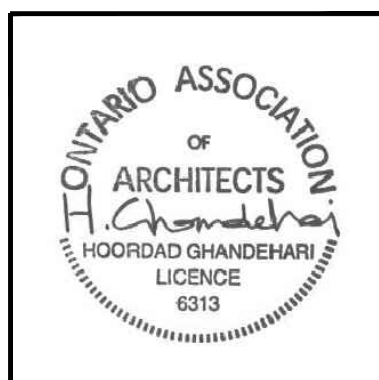
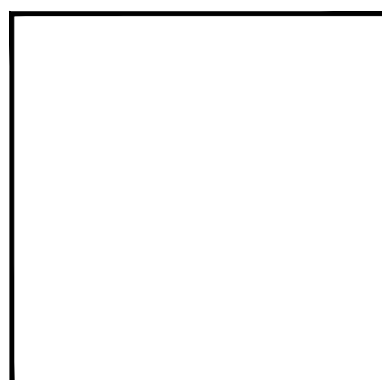
Cycling Infrastructure	Required	Proposed	Proposed %
Number of short-term bicycle parking spaces (residential)	11	11	100%
Number of short-term bicycle parking spaces (all other uses)	N/A	N/A	N/A
Number of male shower and change facilities (non-residential)	N/A	N/A	N/A
Number of female shower and change facilities (non-residential)	N/A	N/A	N/A

Tree Planting & Soil Volume	Required	Proposed	Proposed %
Total Soil Volume (40% of the site area + 66 m² x 30 m³)	432 cu.m.	468.4 cu.m	108.4

LEGEND

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NO.	REVISION/ISSUE	DATE	NO.	REVISION/ISSUE	DATE



**35-39 HOLMES AVENUE**  
 TORONTO, ONTARIO

02 DEFINITIONS  
 N.T.S.

03 TGS STATISTICS TEMPLATE  
 N.T.S.

DRAWING TITLE  
 STATISTICS, DEFINITIONS AND TGS  
 STATISTICS TEMPLATE

Scale:  
 N.T.  
 Date:  
 NOV 16, 20 2020  
 Project:

Drawn by:  
 HT  
 Checked by:  
 HG  
 Drawing No.  
 A102

17113

813 - 4789 YONGE ST. TORONTO  
 M4N 0G3  
 ICON ARCHITECTS CA  
 T416-224-6565 F416-224-6564

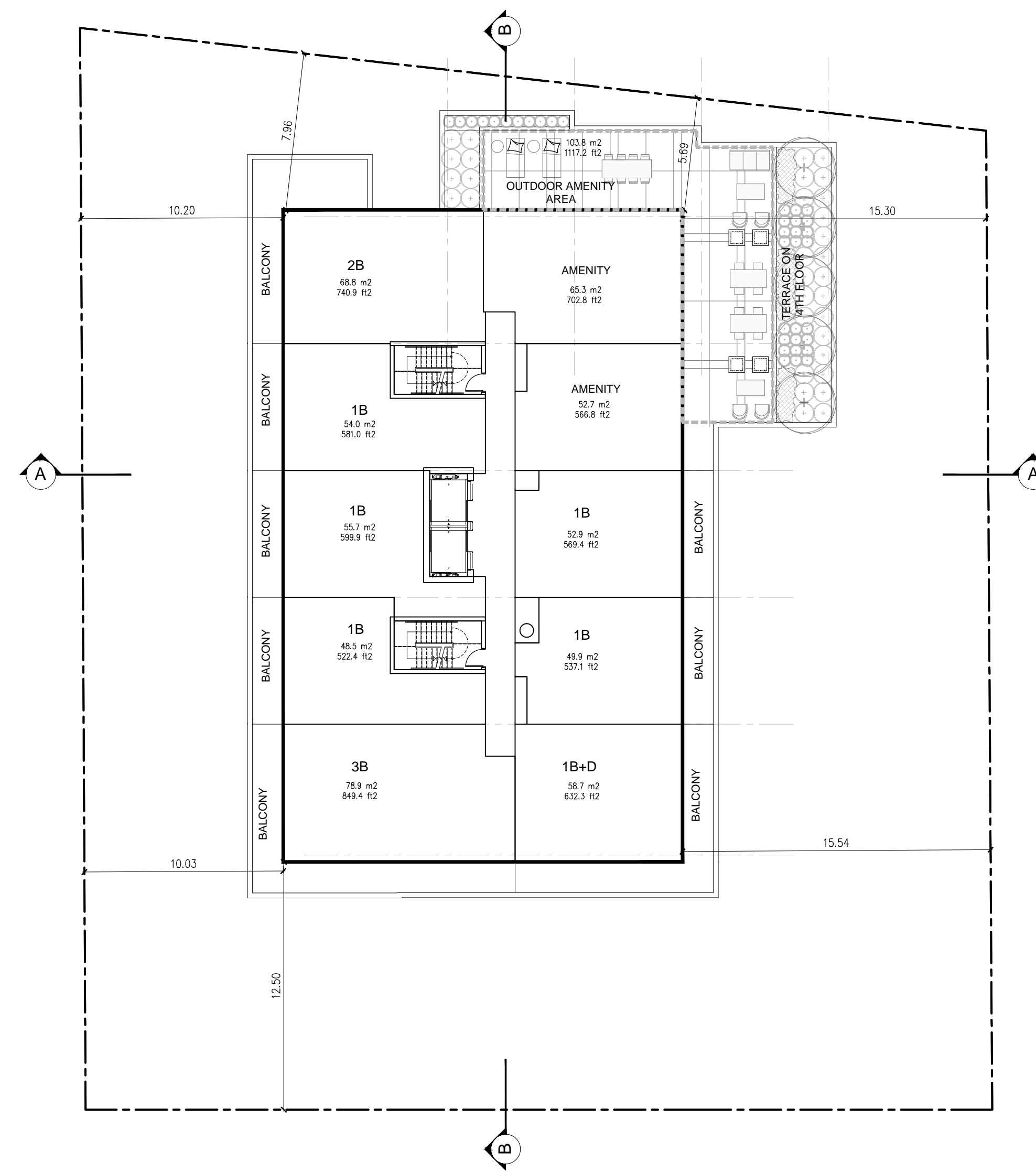
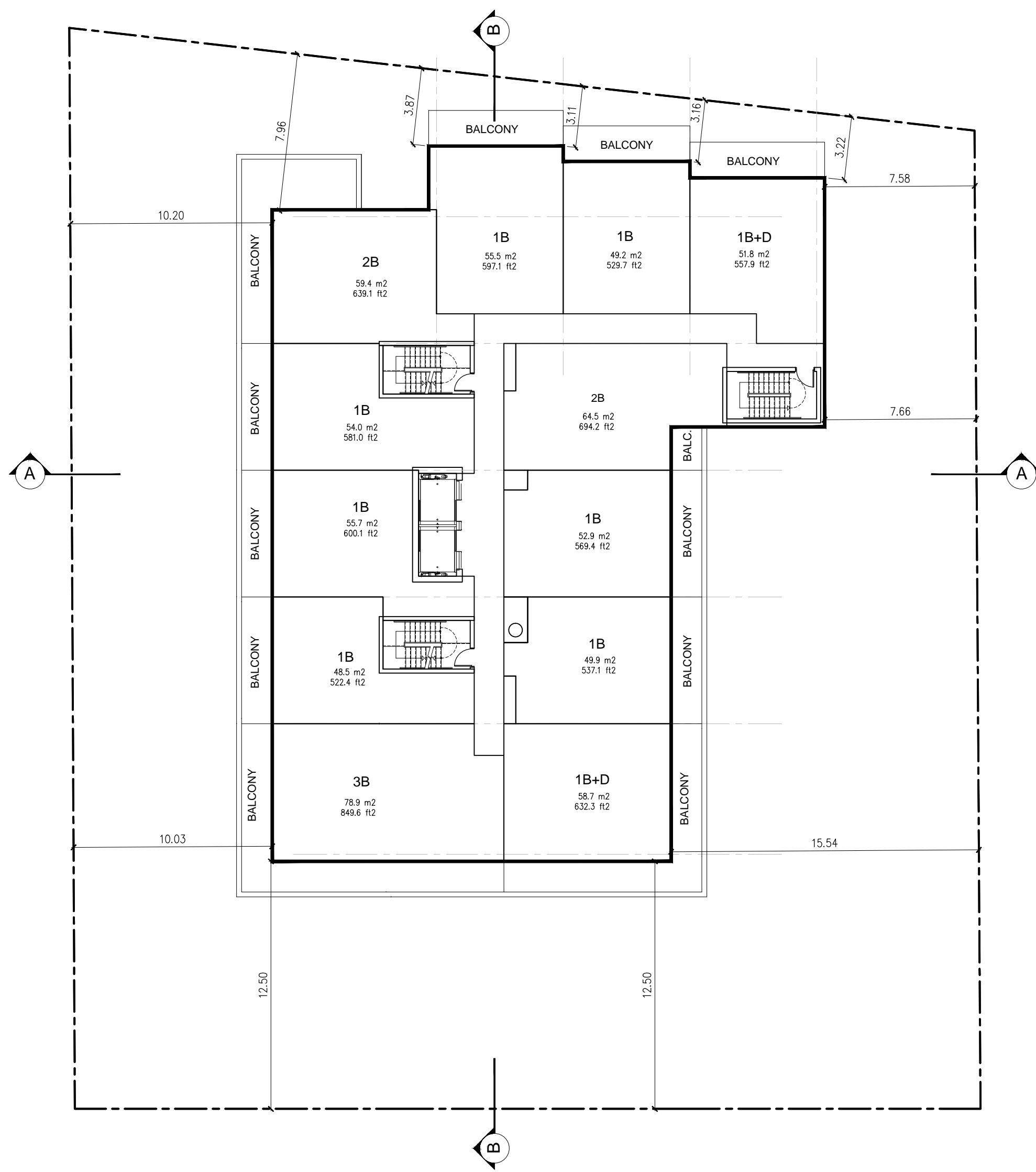
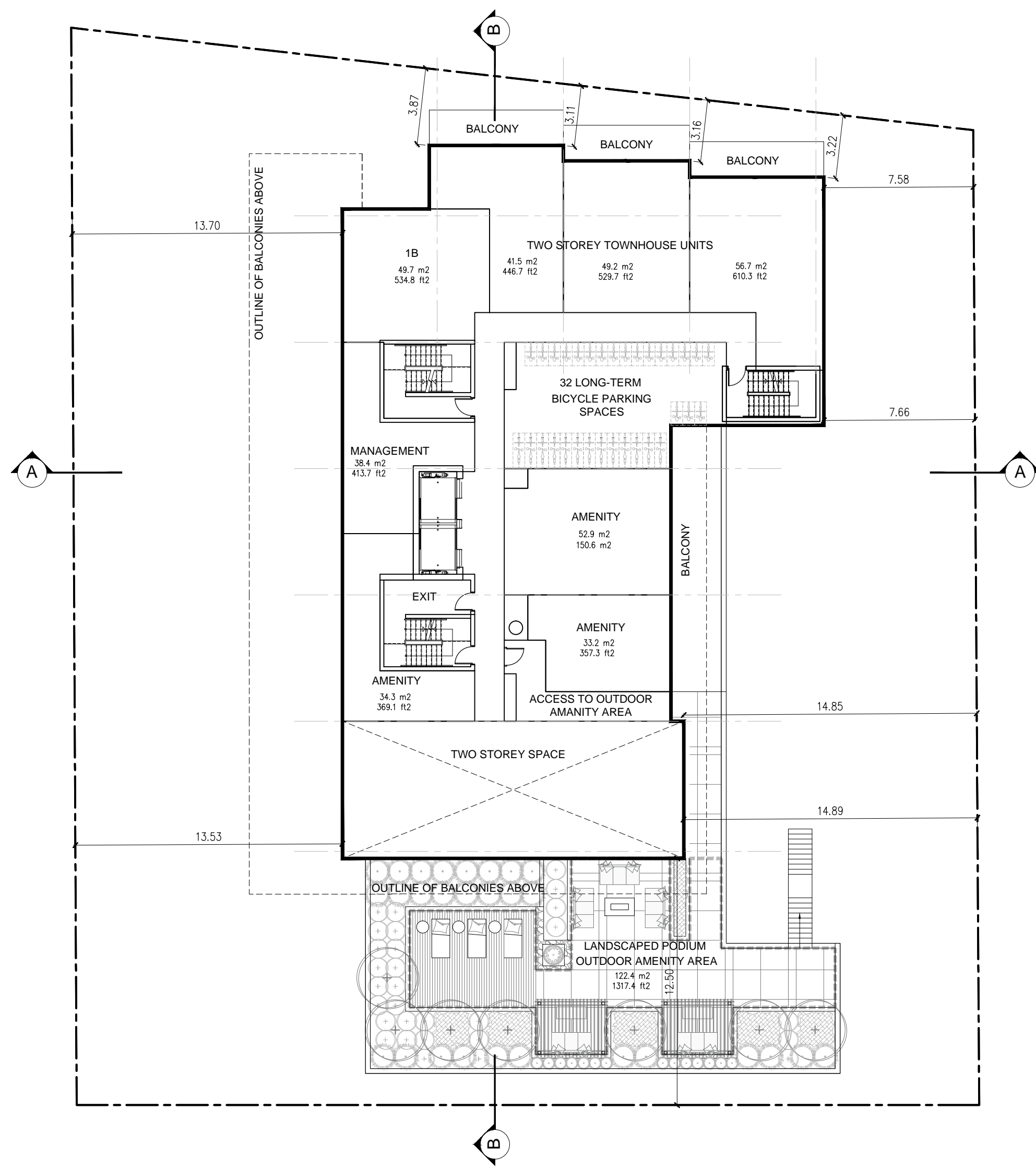
**ICON ARCHITECTS**

PLOT DATE November 20, 2020









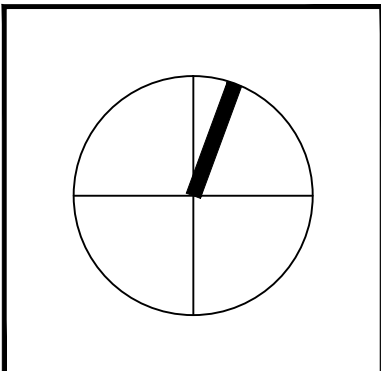
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1.	ISSUED FOR OPA/ZBA	JAN12/18			

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**35-39 HOLMES AVENUE**  
TORONTO, ONTARIO

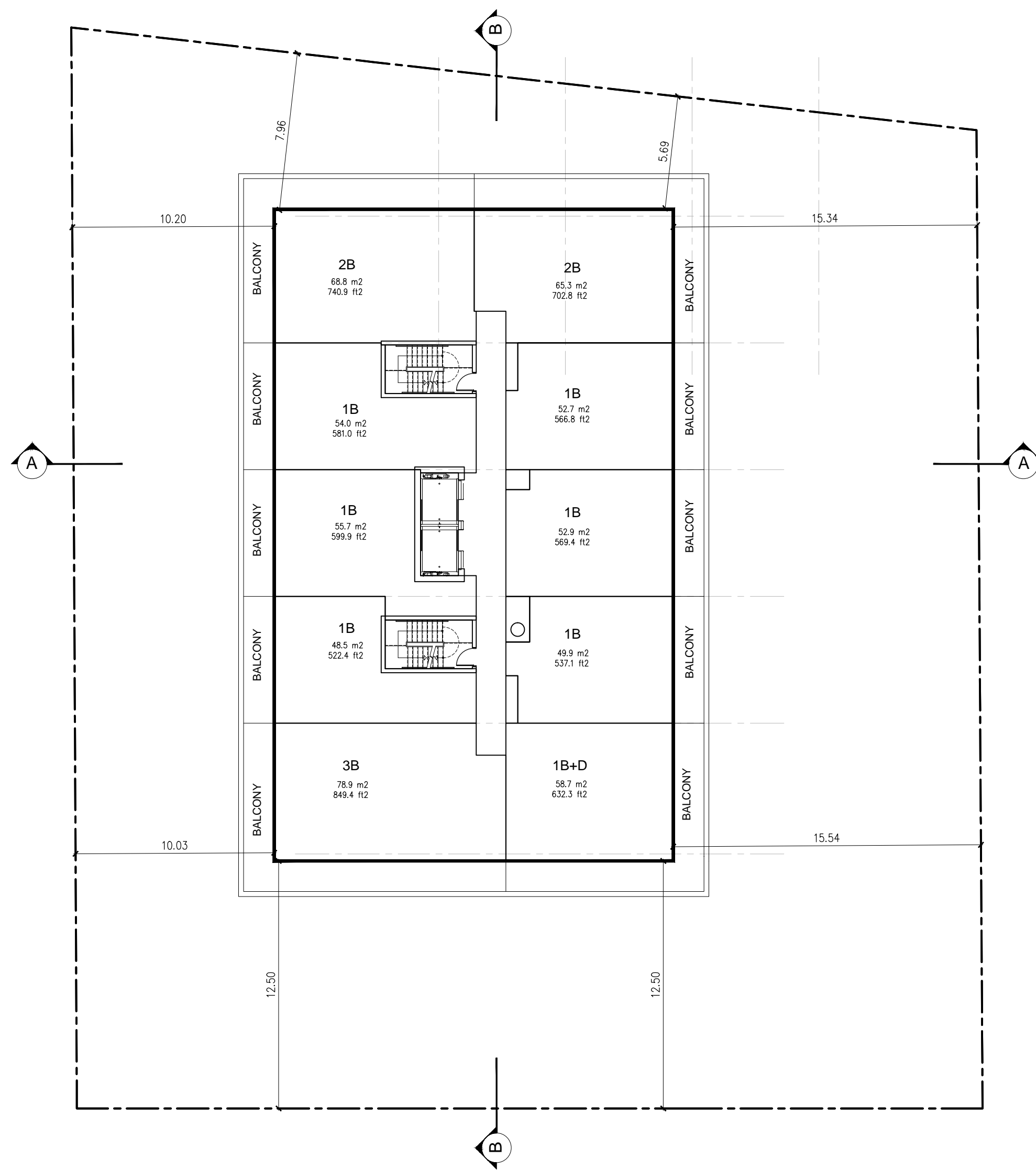
813 - 4788 YONGE ST. TORONTO  
M4N 0G3 ICONARCHITECTS CA  
T:416-224-6585 F:416-224-6584

DRAWING TITLE  
**2ND, 3RD AND 4TH FLOOR PLAN**

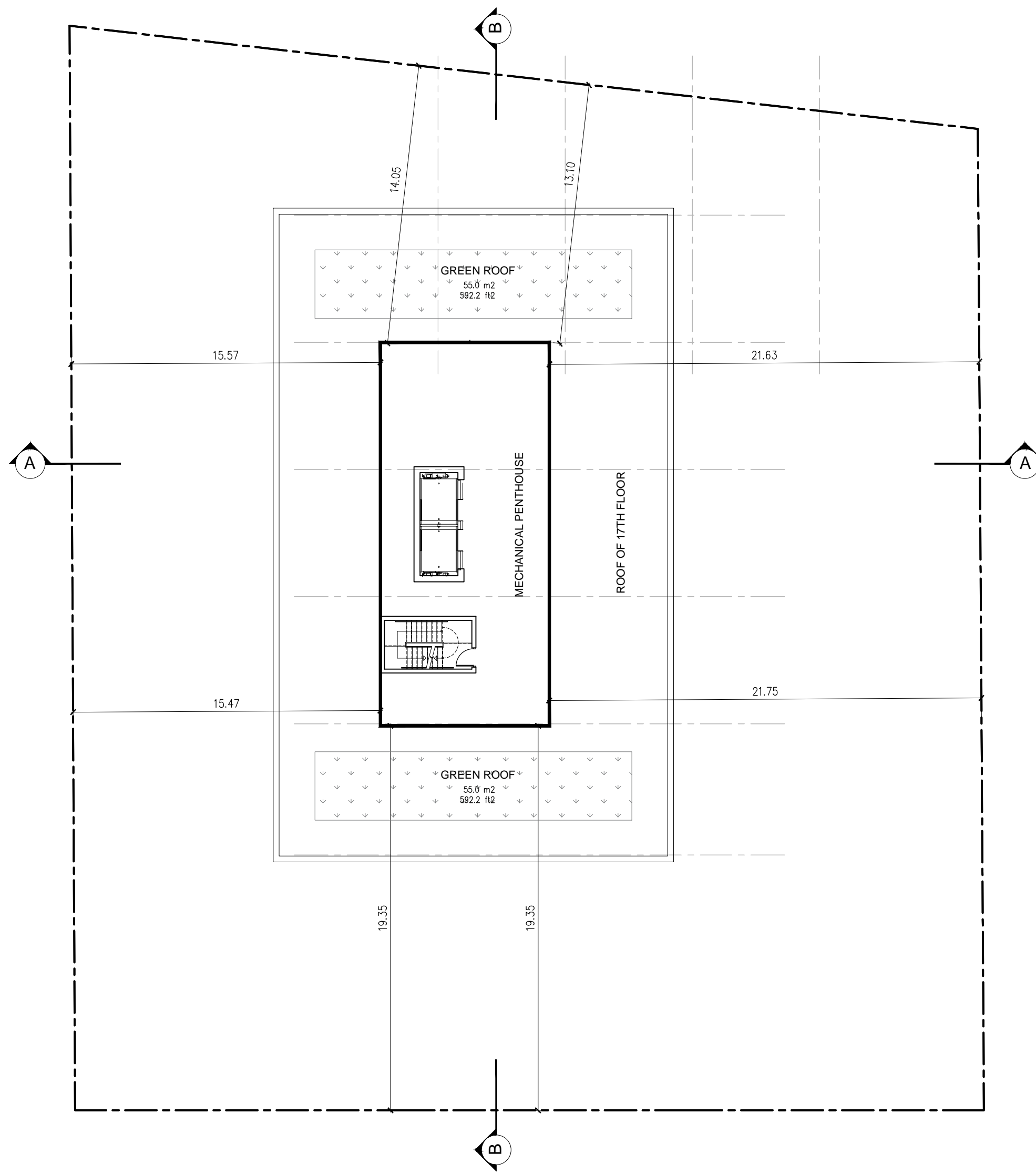
Scale:  
1:200  
Date:  
NOVEMBER 20 2020  
Project No.  
17113

Drawn by:  
HT  
Checked by:  
HG  
Drawing No.  
A202

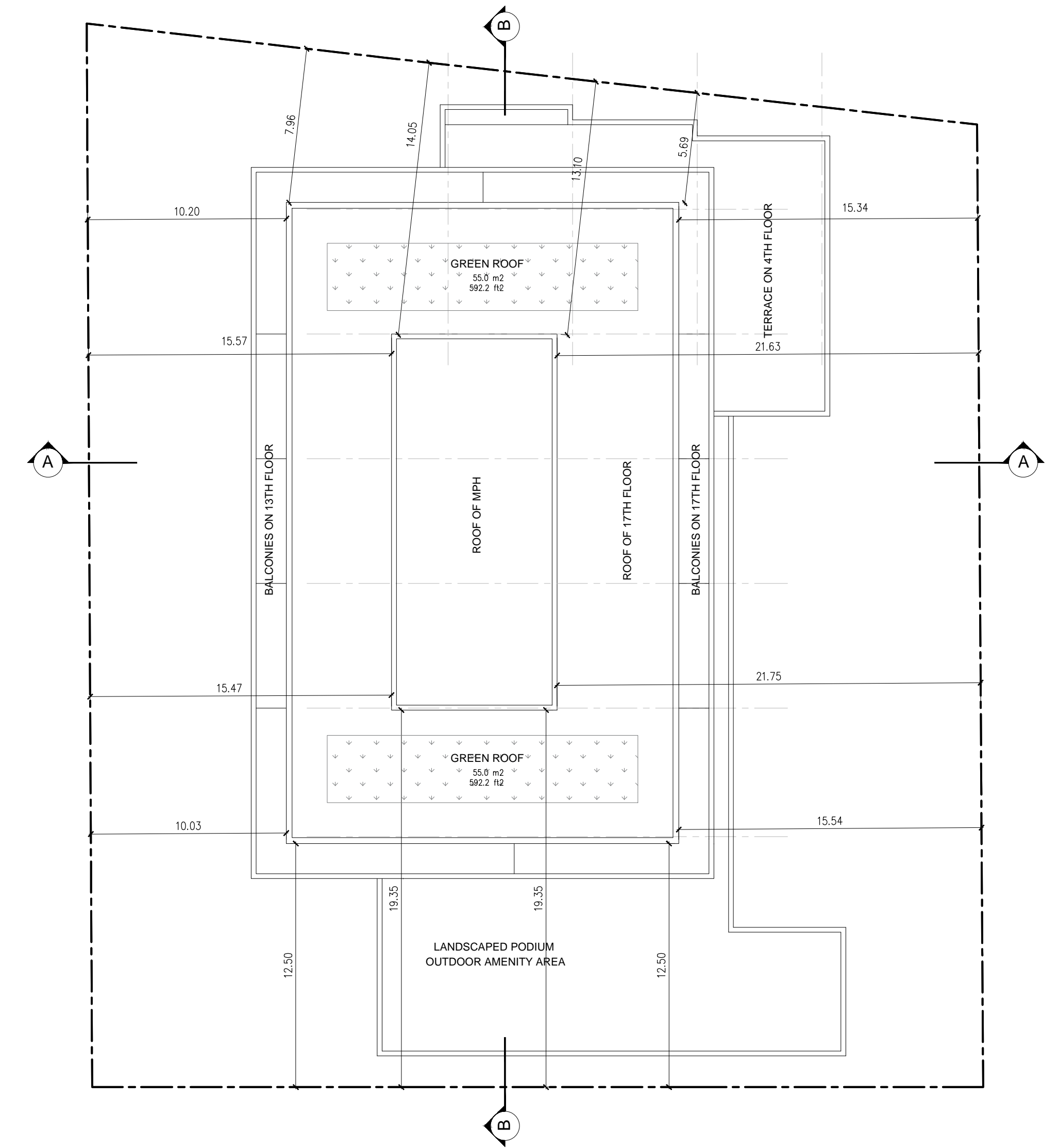




01 5TH TO 17TH FLOOR PLANS  
SCALE 1:200



02 MPH FLOOR PLAN  
SCALE 1:200



03 ROOF PLAN  
SCALE 1:200

	Proposed
Gross Floor Area, as defined in Green Roof Bylaw (m <sup>2</sup> )	11,846.6
Total Roof Area (m <sup>2</sup> )	832.5
Area of Residential Private Terraces (m <sup>2</sup> )	0
Rooftop Outdoor Amenity Space, if in a Residential Building (m <sup>2</sup> )	0
Area of Renewable Energy Devices (m <sup>2</sup> )	0
Tower (s)Roof Area with floor plate less than 750 m <sup>2</sup>	469.1
Total Available Roof Space (m <sup>2</sup> )	363.4
<b>Green Roof Coverage</b>	<b>Required Proposed</b>
Coverage of Available Roof Space (m <sup>2</sup> )	30% 30%
Coverage of Available Roof Space (%)	109.02 110

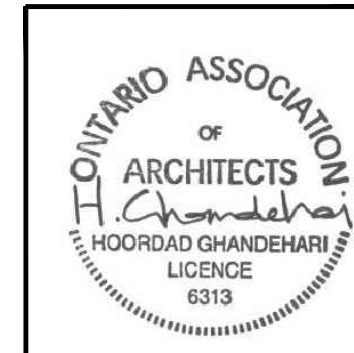
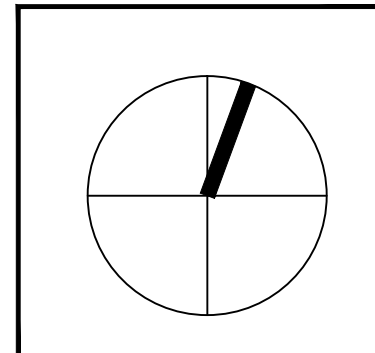
04 GREEN ROOF STATISTICS  
SCALE N.T.S.

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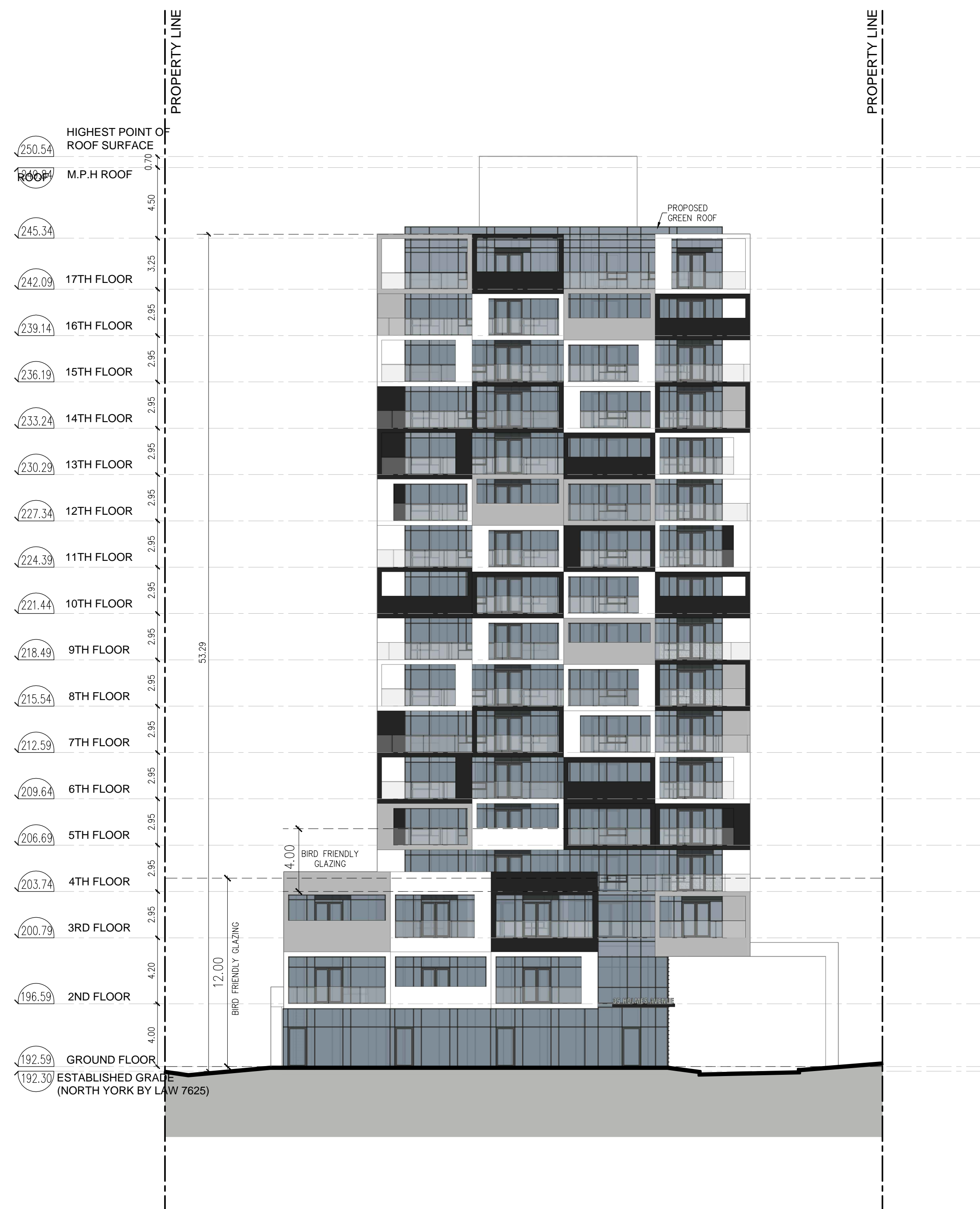
35-39 HOLMES AVENUE  
TORONTO, ONTARIO

DRAWING TITLE  
5TH - 17TH & MPH FLOOR PLANS,  
ROOF PLAN AND GREEN ROOF  
STATISTICS  
Scale:  
1:200  
Date:  
NOVEMBER 20 2020  
Project No.  
17113  
Drawn by:  
HT  
Checked by:  
HG  
Drawing No.  
A203

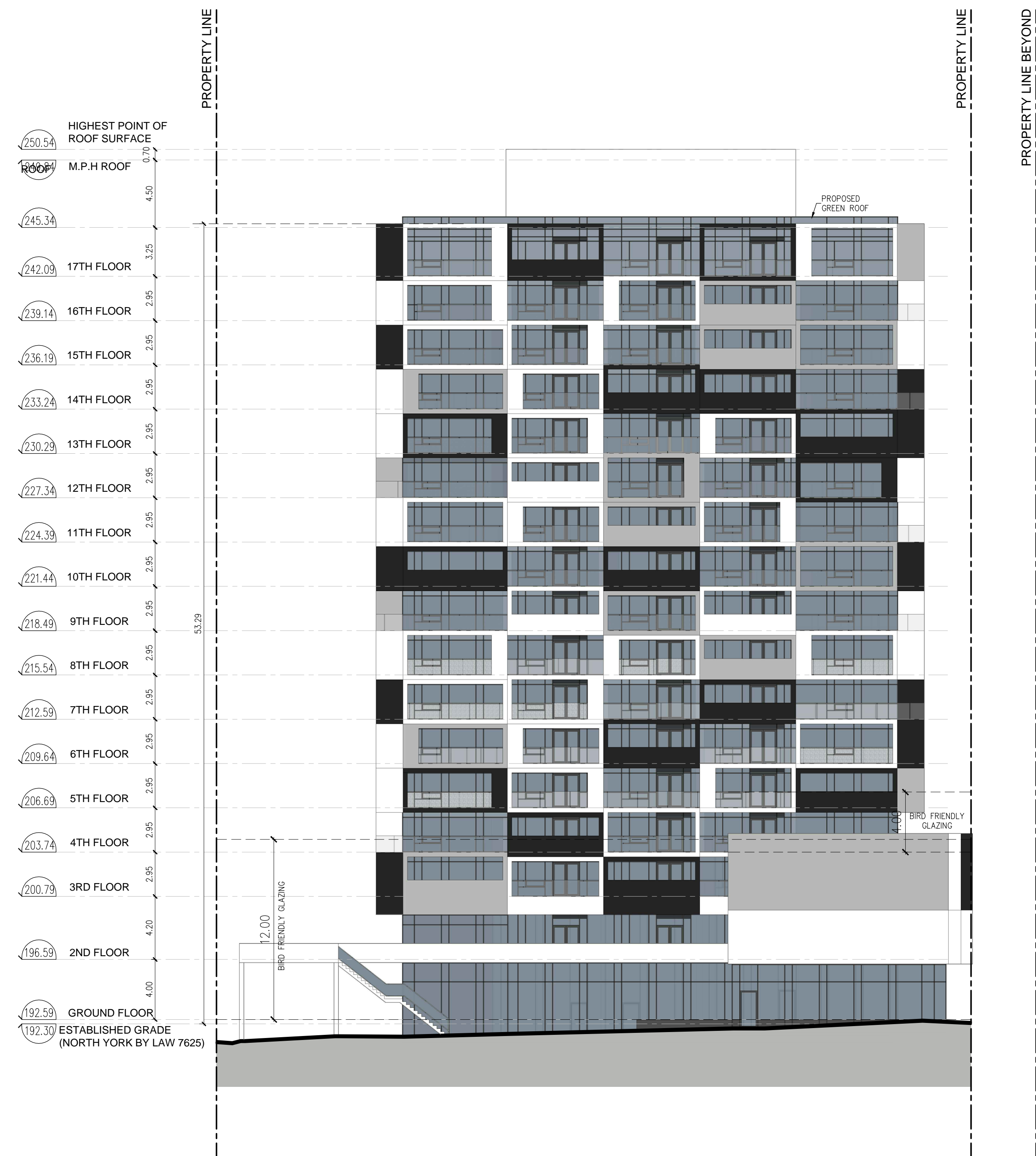
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1-416-224-6585 F-416-224-6584

ICON  
ARCHITECTS





01 NORTH ELEVATION  
A301 SCALE 1:200



02 EAST ELEVATION  
A301 SCALE 1:200

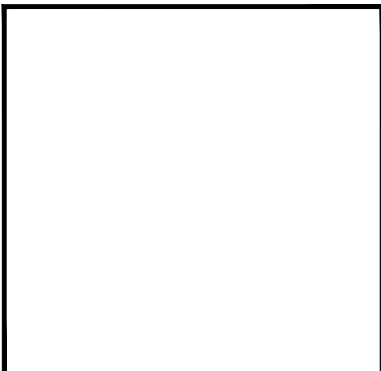
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35-39 HOLMES AVENUE  
TORONTO, ONTARIO



DRAWING TITLE  
NORTH AND EAST ELEVATIONS

Scale: 1:200  
Date: NOVEMBER 20 2020  
Project No. 17113

Drawn by: HT  
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01 SOUTH ELEVATION  
SCALE 1:200



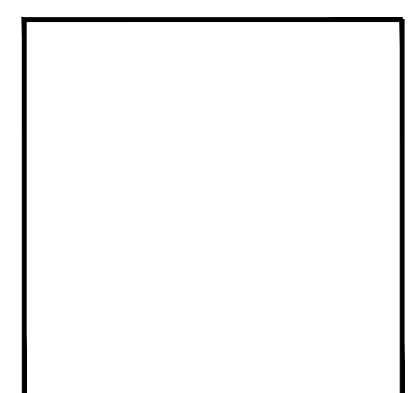
02 WEST ELEVATION  
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35-39 HOLMES AVENUE  
TORONTO, ONTARIO

DRAWING TITLE  
SOUTH AND WEST ELEVATIONS

Scale: 1:200  
Date: NOVEMBER 20 2020  
Project No. 17113

Drawn by: HT  
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