

579 to 585 Lawrence West - Apartments														
STATISTICS		Apartments								Notes				
1 SITE AREA										m <sup>2</sup>	f <sup>2</sup>	%		
										1786.21 m <sup>2</sup>	19,227 f <sup>2</sup>			
2 COVERAGE														includes ground floor  

RESIDENTIAL PARKING SPACE SCHEDULE

STANDARD CAR PARKING SPACES SCHEDULE

	TYPICAL	PARKING STALL COLUMN ONE SIDE	PARKING STALL (MAXIMUM COLUMN SIZE)
SURFACE	15		
COVERED	2	4	3
TOTAL	17	4	3

VISITOR PARKING SPACE SCHEDULE

STANDARD CAR PARKING SPACES SCHEDULE

	TYPICAL	BARRIER FREE
SURFACE	3	1
COVERED		
TOTAL	3	1

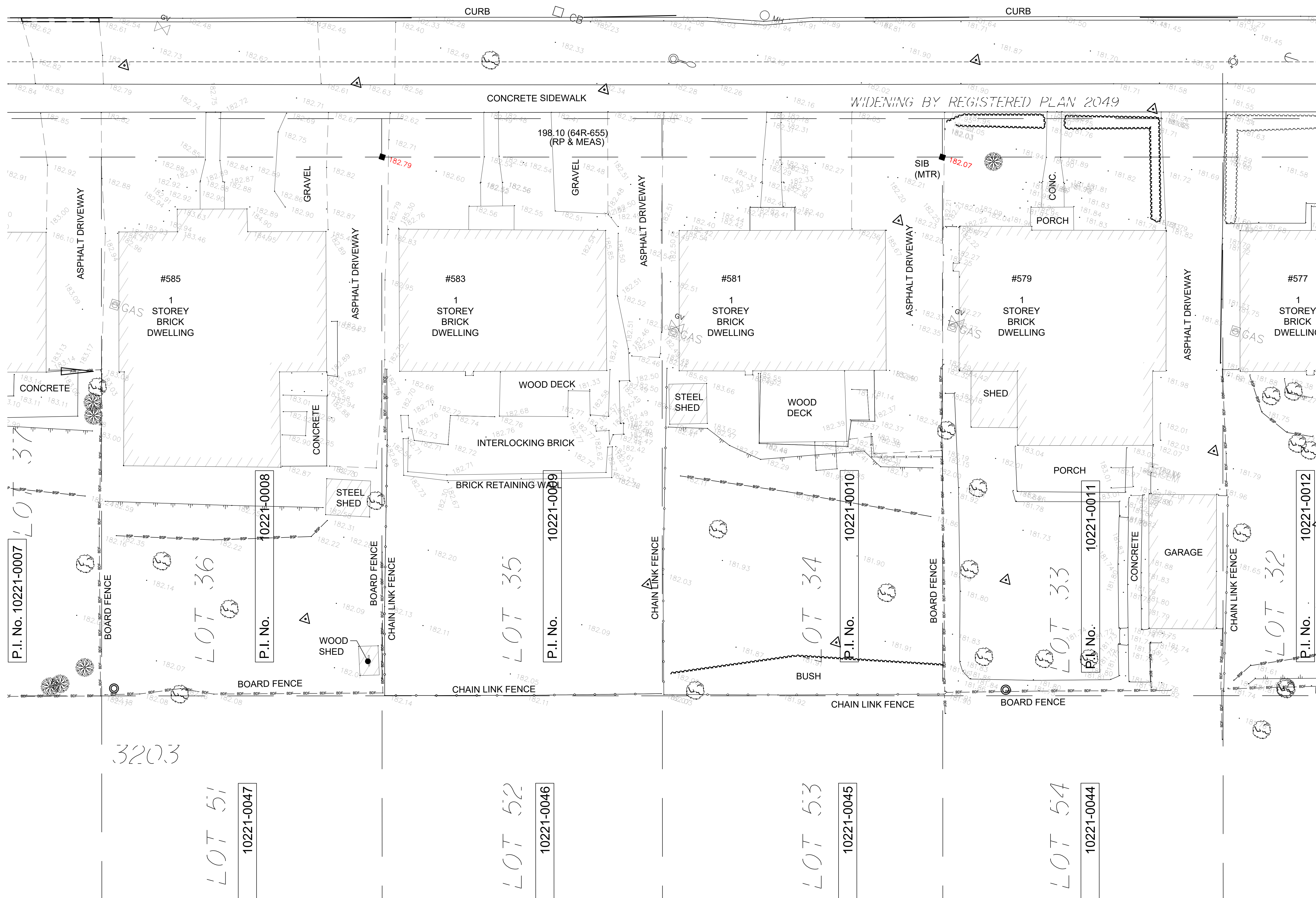
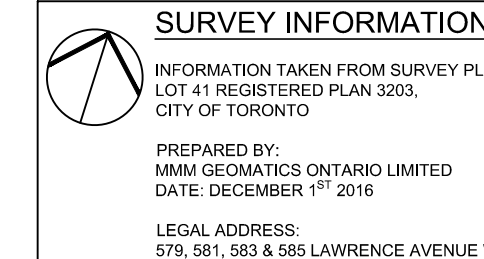
TOTAL PARKING SPACES

TOTAL STANDARD PARKING SPACES (INCLUDES 3 VISITOR SPACES)	27
TOTAL BARRIER PARKING SPACES (VISITOR PARKING)	1
TOTAL PARKING SPACES	28



(ROAD ALLOWANCE BETWEEN LOTS 5 AND 6, CONCESSION 2 WEST OF YONGE STREET)

P.I. No.	10222-0214
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r. Varacalli Architect inc.

1700 Langstaff Road, Unit No.1003, Concord, Ontario, Canada, L4K 3S3  
T. 905 761 9544 F. 905 532 0438

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Architect  
R. Varacalli  
OAA, RAIC

**Signature**



Project Manager  
J. Seto

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		19 254108 NNY 08 SA
		17 222637 NNY 15 OZ
		19 187698 NNY 08 RH

## Proposed Residential Development

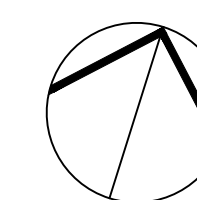
579 LAWRENCE APARTMENTS

579, 581, 583, 585

Lawrence Ave. W., Toronto

### Drawing

## SURVEY

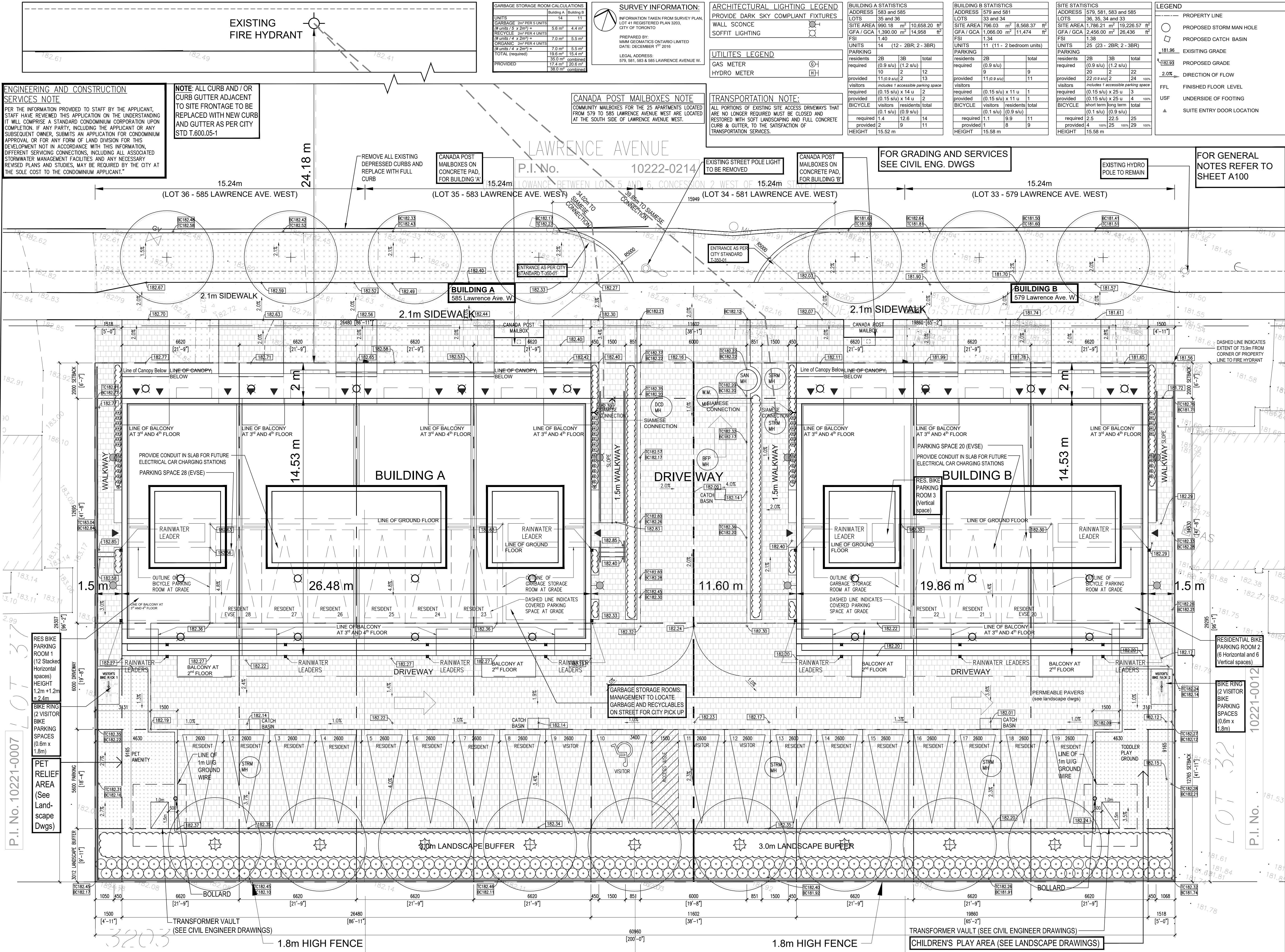


Scale: 1:100  
Plot date: MAY 28, 2021

Sheet

A100a





**ENGINEERING AND CONSTRUCTION SERVICES NOTE**

FOR THE INFORMATION PROVIDED TO STAFF BY THE APPLICANT, STAFF HAVE REVIEWED THIS APPLICATION ON THE UNDERSTANDING IT WILL COMPRISE A STANDARD CONDOMINIUM CORPORATION UPON COMPLETION. IF ANY PARTY, INCLUDING THE APPLICANT OR ANY SUBSEQUENT OWNER, SUBMITS AN APPLICATION FOR CONDOMINIUM APPROVAL OR FOR ANY FORM OF LAND DIVISION FOR THIS DEVELOPMENT NOT IN ACCORDANCE WITH THIS INFORMATION, DIFFERENT SERVICING CONNECTIONS, INCLUDING ALL ASSOCIATED STORMWATER MANAGEMENT FACILITIES AND ANY NECESSARY REVISED PLANS AND STUDIES, MAY BE REQUIRED BY THE CITY AT THE SOLE COST TO THE CONDOMINIUM APPLICANT.

**NOTE: ALL CURB AND / OR CURB GUTTER ADJACENT TO SITE FRONTAGE TO BE REPLACED WITH NEW CURB AND GUTTER AS PER CITY STD T.600.05-1**

GARBAGE STORAGE ROOM CALCULATIONS		
	Building A	Building B
UNITS	14	11
GARBAGE 2m² PER 5 UNITS (# units / 5 x 2m²) =	5.6 m²	4.4 m²
RECYCLE 2m² PER 4 UNITS (# units / 4 x 2m²) =	7.0 m²	5.5 m²
ORGANIC 2m² PER 4 UNITS (# units / 4 x 2m²) =	7.0 m²	5.5 m²
TOTAL (required)	19.6 m²	15.4 m²
PROVIDED	35.0 m²	combined
	17.4 m²	20.6 m²
	38.0 m²	combined

**SURVEY INFORMATION:**

INFORMATION TAKEN FROM SURVEY PLAN, LOT 41 REGISTERED PLAN 3203, CITY OF TORONTO

PREPARED BY: MIM GEOMATICS ONTARIO LIMITED  
DATE: DECEMBER 1<sup>ST</sup> 2016

LEGAL ADDRESS: 579, 581, 583 & 585 LAWRENCE AVENUE W.

**ARCHITECTURAL LIGHTING LEGEND**

PROVIDE DARK SKY COMPLIANT FIXTURES

WALL SCONCE  
SOFFIT LIGHTING

**UTILITIES LEGEND**

GAS METER  
HYDRO METER

**BUILDING A STATISTICS**

ADDRESS	583 and 585
LOTS	35 and 36
SITE AREA	990.18 m <sup>2</sup> 10,658.20 ft <sup>2</sup>
GFA / GCA	1,390.00 m <sup>2</sup> 14,958 ft <sup>2</sup>
FSI	1.40
UNITS	14 (2B - 12BR, 2 - 3BR)
PARKING	
residents required	2B 3B total
provided	11 (0.9 s/u) 2 13
visitors required	includes 1 accessible parking space
provided	(0.15 s/u) x 14 u 2
BICYCLE	(0.15 s/u) x 14 u 2
visitors residents total	(0.1 s/u) (0.9 s/u)
required	1.4 12.6 14
provided	2 9 11
HEIGHT	15.52 m

**BUILDING B STATISTICS**

ADDRESS	579 and 581
LOTS	33 and 34
SITE AREA	796.03 m <sup>2</sup> 8,568.37 ft <sup>2</sup>
GFA / GCA	1,066.00 m <sup>2</sup> 11,474 ft <sup>2</sup>
FSI	1.34
UNITS	11 (11 - 2 bedroom units)
PARKING	
residents required	2B 3B total
provided	11 (0.9 s/u) 11
visitors required	(0.15 s/u) x 11 u 1
provided	(0.15 s/u) x 11 u 1
BICYCLE	(0.15 s/u) x 11 u 1
visitors residents total	(0.1 s/u) (0.9 s/u)
required	1.1 9.9 11
provided	1 8 9
HEIGHT	15.58 m

**SITE STATISTICS**

ADDRESS	579, 581, 583 and 585
LOTS	36, 35, 34 and 33
SITE AREA	1,786.21 m <sup>2</sup> 19,226.57 ft <sup>2</sup>
GFA / GCA	2,456.00 m <sup>2</sup> 26,436 ft <sup>2</sup>
FSI	1.38
UNITS	25 (23 - 2BR, 2 - 3BR)
PARKING	
residents required	2B 3B total
provided	22 (0.9 s/u) 2 24
visitors required	includes 1 accessible parking space
provided	(0.15 s/u) x 25 u 3
BICYCLE	(0.1 s/u) (0.9 s/u)
required	2.5 22.5 25
provided	4 25 29
HEIGHT	15.58 m

**LEGEND**

PROPERTY LINE

PROPOSED STORM MAN HOLE

PROPOSED CATCH BASIN

EXISTING GRADE

PROPOSED GRADE

DIRECTION OF FLOW

FINISHED FLOOR LEVEL

UNDERSIDE OF FOOTING

SUITE ENTRY DOOR LOCATION

**CANADA POST MAILBOXES NOTE**

COMMUNITY MAILBOXES FOR THE 25 APARTMENTS LOCATED FROM 579 TO 585 LAWRENCE AVENUE WEST ARE LOCATED AT THE SOUTH SIDE OF LAWRENCE AVENUE WEST.

**TRANSPORTATION NOTE:**

ALL PORTIONS OF EXISTING SITE ACCESS DRIVEWAYS THAT ARE NO LONGER REQUIRED MUST BE CLOSED AND RESTORED WITH SOFT LANDSCAPING AND FULL CONCRETE CURB & GUTTER, TO THE SATISFACTION OF TRANSPORTATION SERVICES.

**r. Varacalli Architect inc.**

1700 Langstaff Road, Unit No.1003, Concord, Ontario, Canada, L4K 3S3  
T. 905 761 9544 F. 905 532 0438

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Architect  
R. Varacalli  
OAA, RAIC

Project Manager  
J. Selo

Signature  
ROSARIO VARACALLI  
LICENCE 4870

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19 187698 NNY 08 RH

**Proposed Residential Development**

**579 LAWRENCE APARTMENTS**

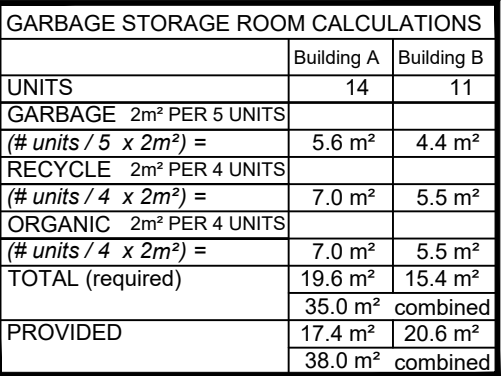
579, 581, 583, 585  
Lawrence Ave. W., Toronto

Drawing  
**SITE PLAN**









Sheet  
**A301**















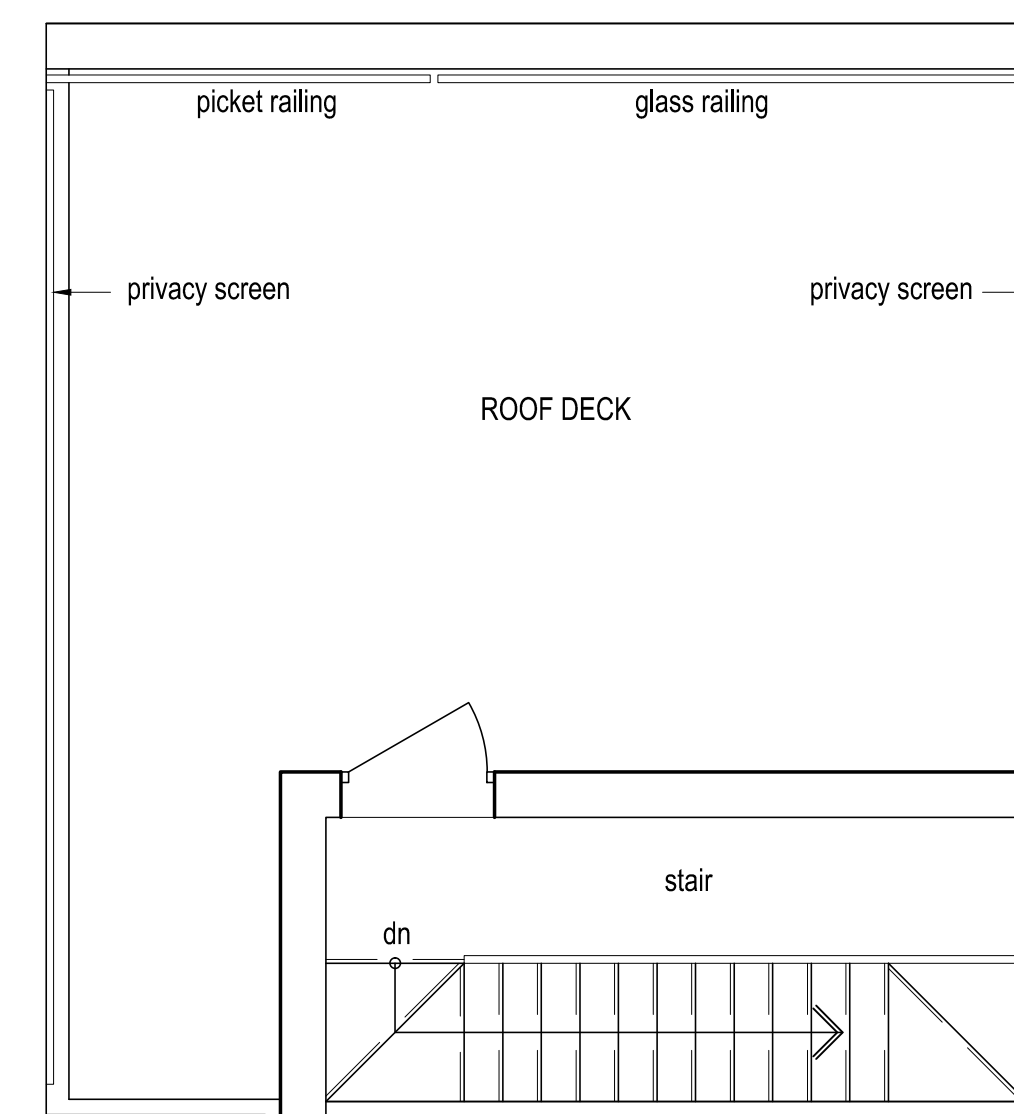
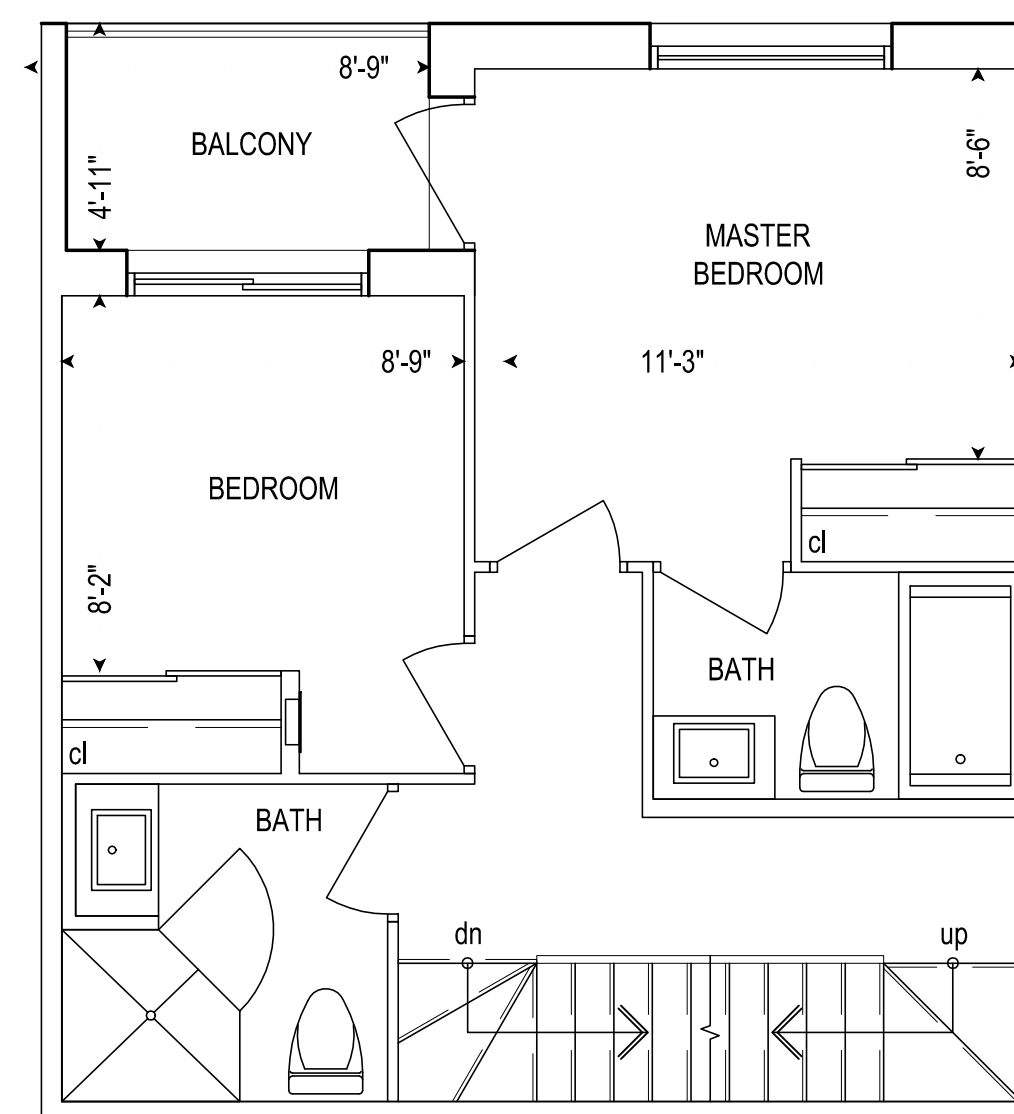
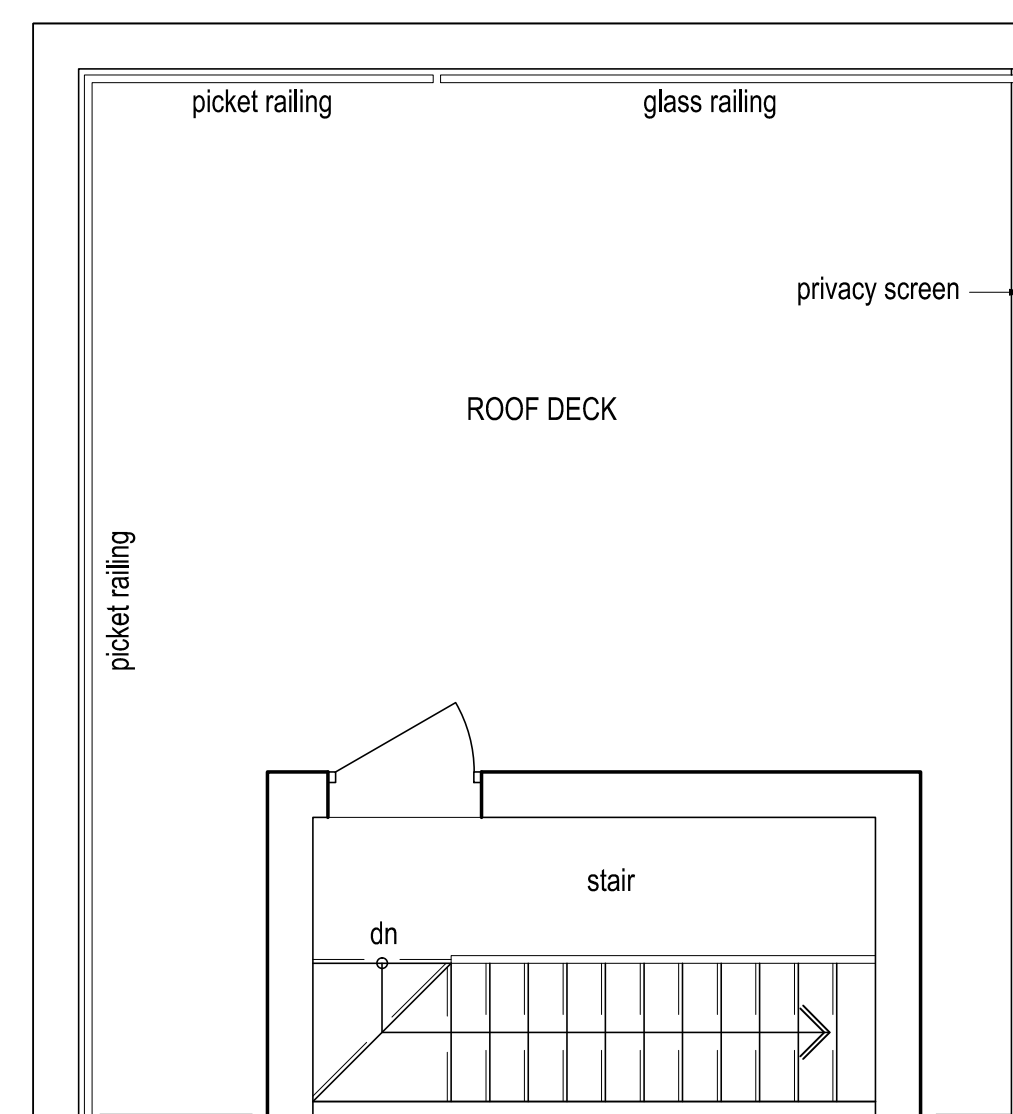
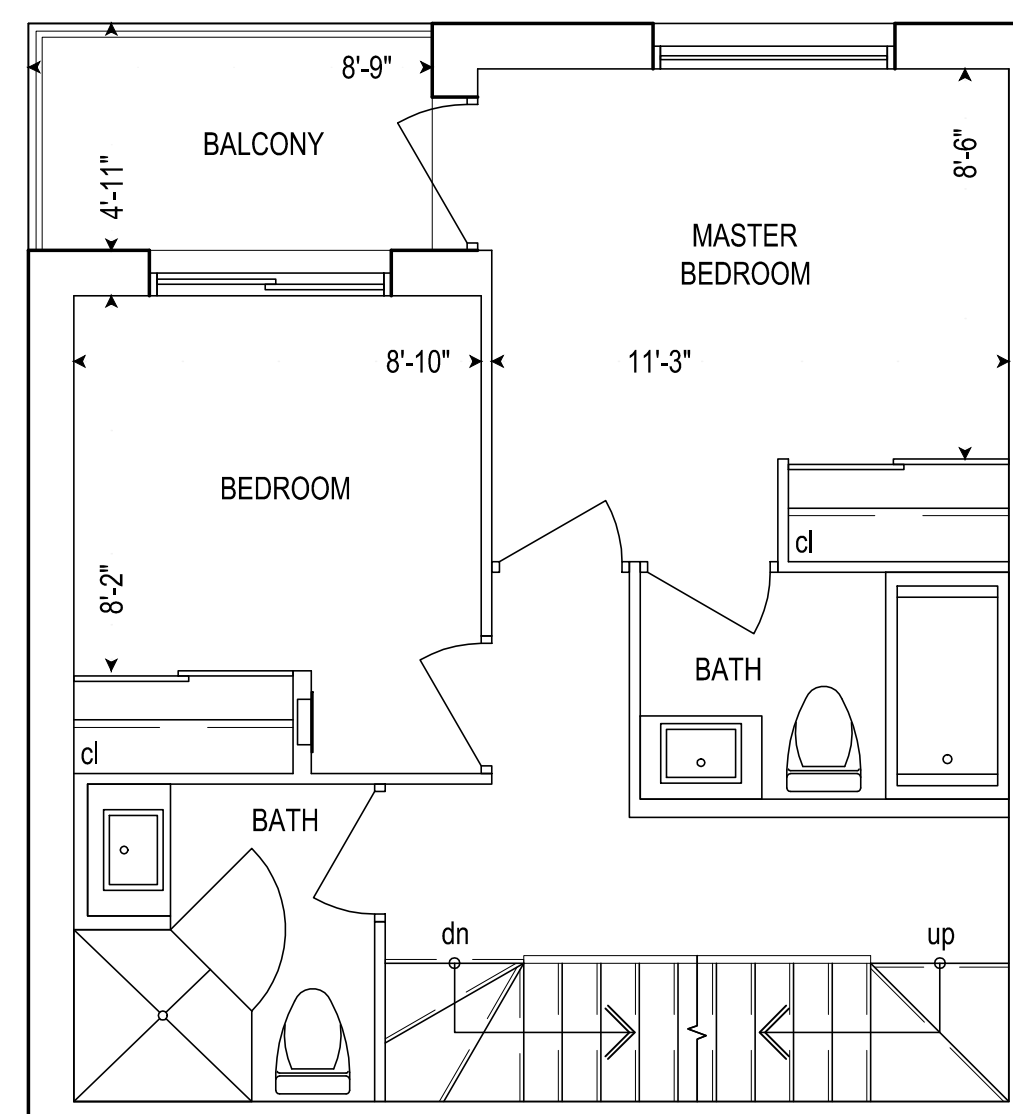
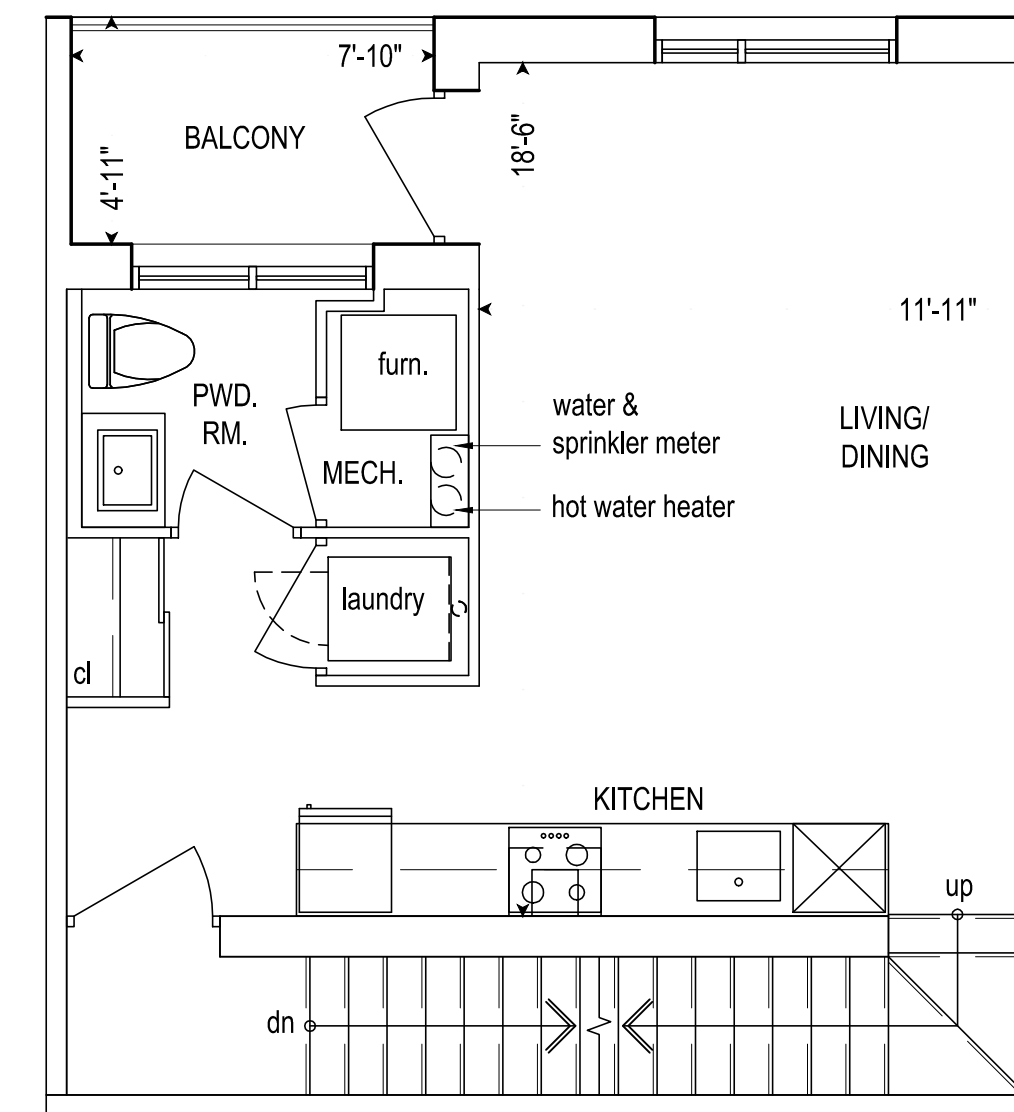
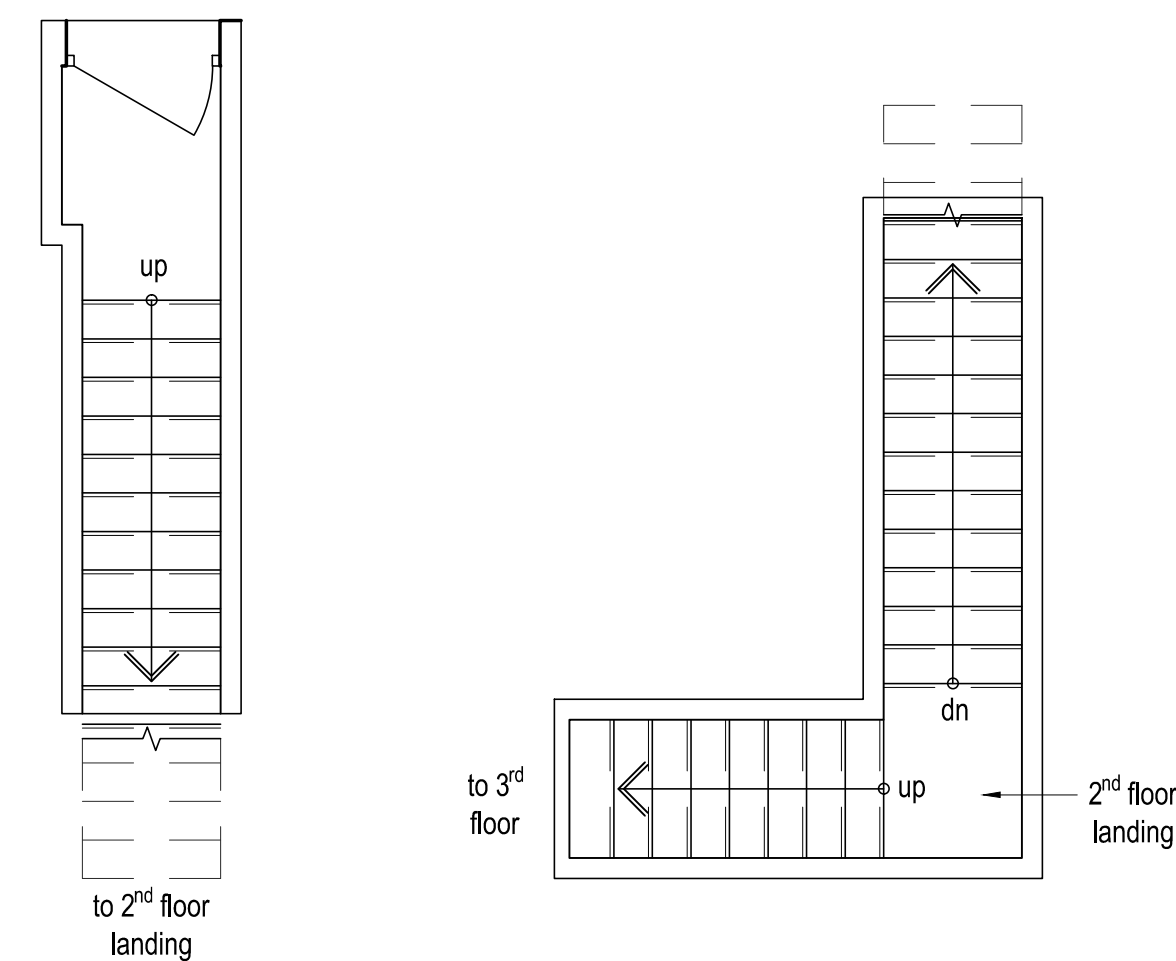
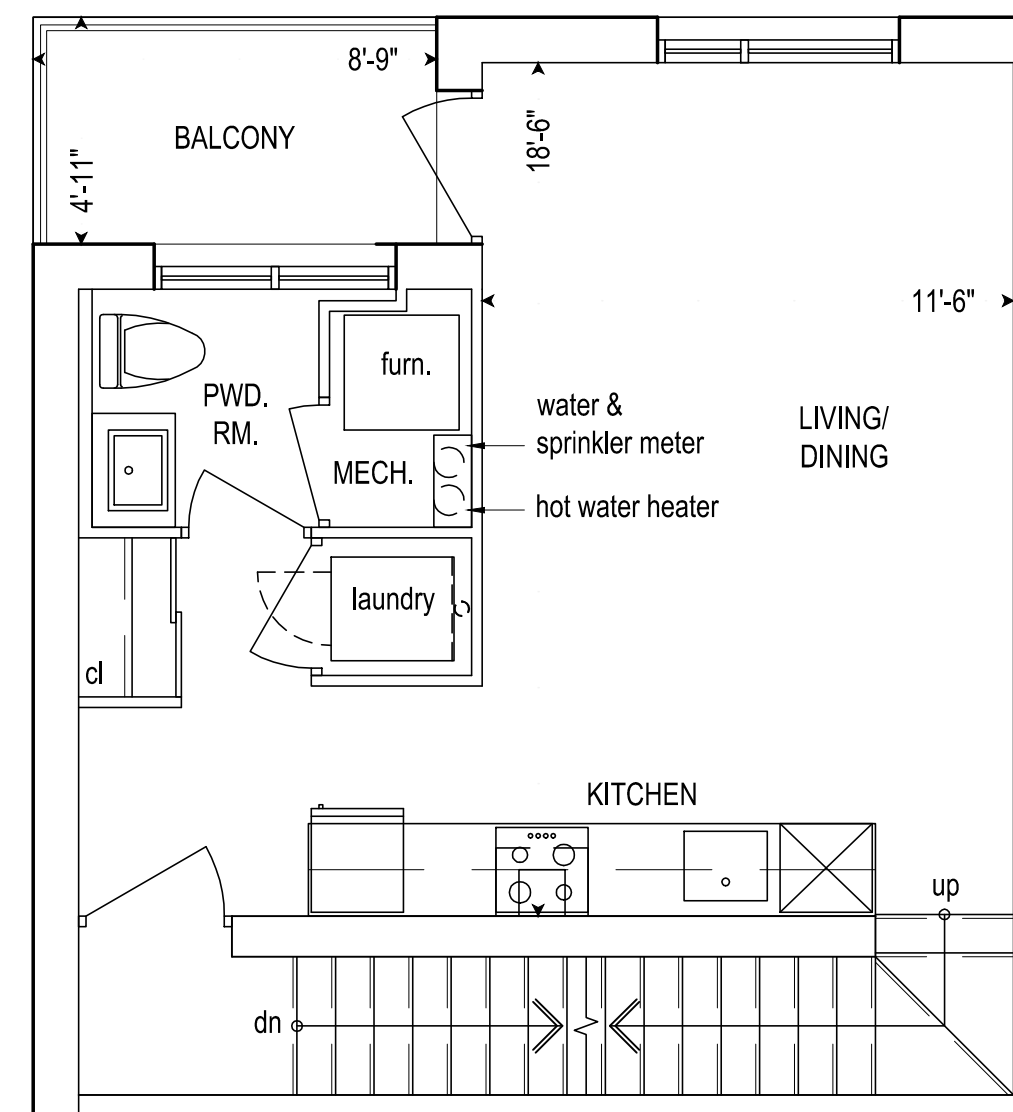
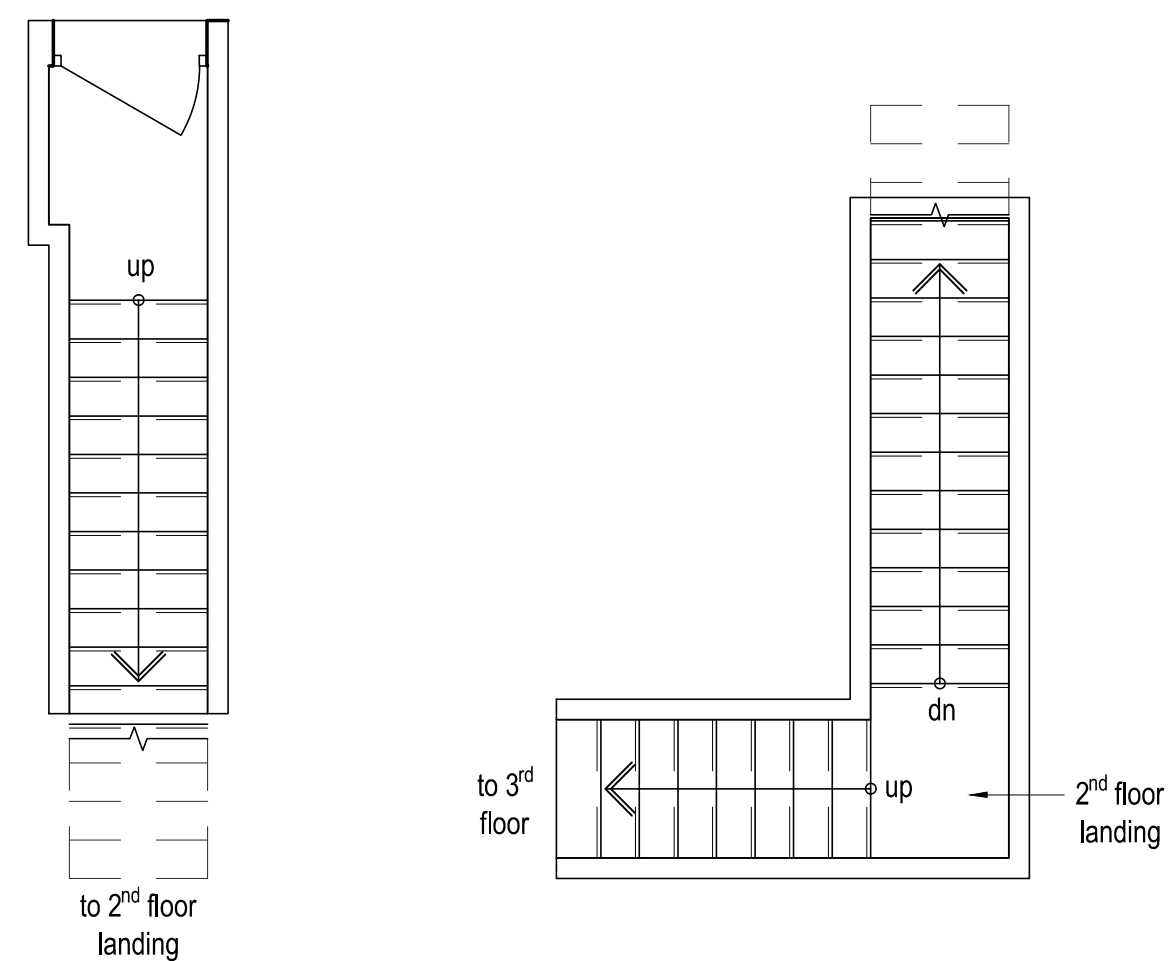










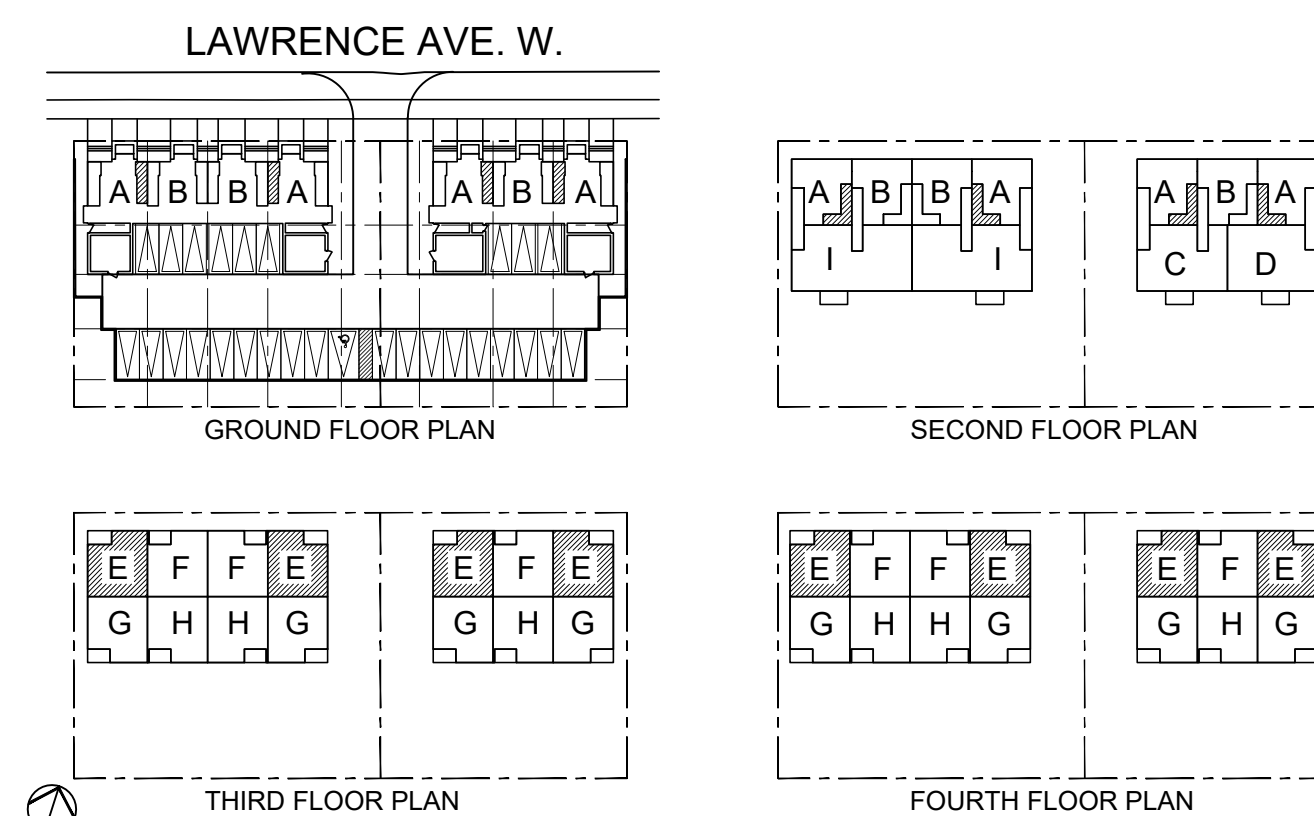


# UNIT E

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## 2 BEDROOM

GROUND STAIR	56 SQ. FT.
SECOND STAIR	80 SQ. FT.
SUB-TOTAL	136 SQ. FT.
THIRD	475 SQ. FT.
FOURTH	475 SQ. FT.
SUB-TOTAL	950 SQ. FT.
ROOF	108 SQ. FT.
TOTAL	1193 SQ. FT.

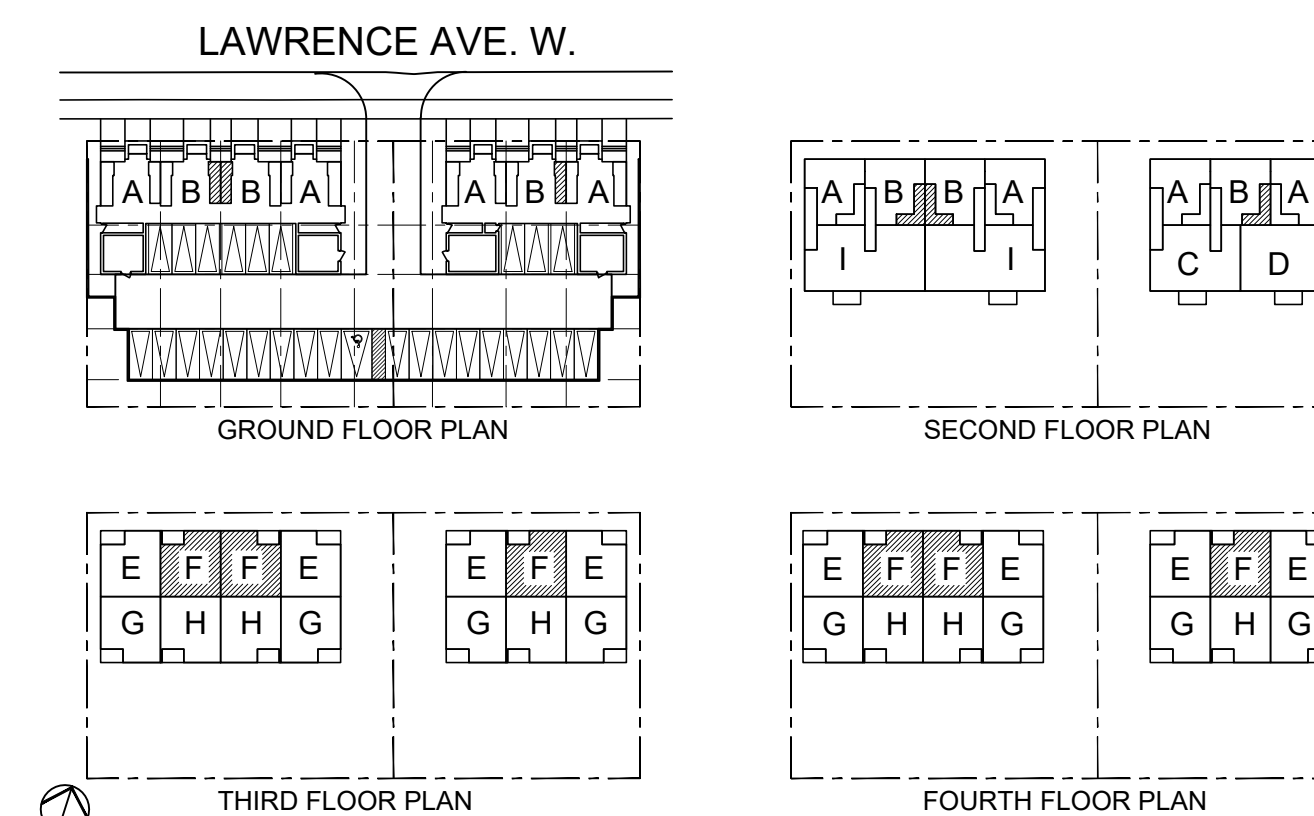


## UNIT F

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### 2 BEDROOM

GROUND STAIR	57 SQ. FT.
SECOND STAIR	82 SQ. FT.
SUB-TOTAL	139 SQ. FT.
THIRD	479 SQ. FT.
FOURTH	479 SQ. FT.
SUB-TOTAL	958 SQ. FT.
ROOF	126 SQ. FT.
TOTAL	1223 SQ. FT.



r. Varacalli Architect inc.

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Architect  
R. Varacalli  
OAA, RAIC

**Signature**



Project Manager  
J. Seto

[illegible]

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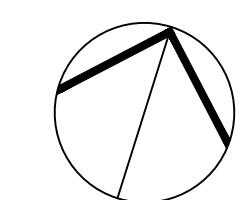
Proposed Residential Development

579 LAWRENCE APARTMENTS  
579, 581, 583, 585  
Lawrence Ave. W., Toronto

## Drawing

# APARTMENT PLANS

## 2ND FLOORS



Scale: 1:50  
Plot date: JUNE 23, 2021

Sheet  
A308



Sheet  
**A309**



GROUND STAIR	80 SQ. FT.
SECOND	959 SQ. FT.
TOTAL	1039 SQ. FT.



### GROUND FLOOR PLAN

## SECOND FLOOR PLAN

1700 Langstaff Road, Unit No.1003, Concord, Ontario, Canada, L4K 3S3  
T. 905 761 9544 F. 905 532 0438

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OAA, RAIC

**Signature**



Project Manager  
J. Seto

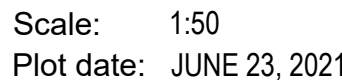
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Hoarding Permit

**579 LAWRENCE APARTMENTS**  
579, 581, 583, 585  
Lawrence Ave. W., Toronto

### Drawing

## APARTMENT PLANS



Shee

# A310



ELEVATION FIRST 16m ABOVE GRADE							ELEVATION FIRST 4m ABOVE ROOF TOP VEGETATION						
	NORTH	SOUTH	EAST	WEST	TOTAL (m2)	TOTAL (%)		NORTH	SOUTH	EAST	WEST	TOTAL (m2)	TOTAL (%)
Glazing Area (m2)	216.78	157.22	9.49	9.49	392.98	100	Number of Floors					0	
Unshaded Area (m2)					0.00		Glazing Area (m2)					0.00	
Treated Area (m2)					0.00		Unshaded Area (m2)					0.00	
Low-reflectance					0.00		Treated Area (m2)					0.00	
Opaque Glass (m2)					0.00		Low-reflectance					0.00	
Visual Markers (m2)					0.00		Opaque Glass (m2)					0.00	
Shaded (m2)					0.00		Visual Markers (m2)					0.00	
							Shaded (m2)					0.00	
BUILDING WINDOW : WALL RATIO					392.98 : 1752.22								

PROVIDE DARK SKY COMPLIANT FIXTURES

WALL SCNCE

ALL MATERIALS MAY BE SUBSTITUTED FOR AN EQUAL		
TAG: MATERIAL:	TYPE & COLOUR	NOTES:
1. BRICK	CLAY BRICK COLOUR 1	
1a. BRICK	CLAY BRICK COLOUR 2	
2. SIDING	VINYL OR METAL	
2a. SIDING	COMPOSITE	
3. PRE-FINISHED METAL	METAL	
3a. PRE-FINISHED METAL PANEL	METAL	
4. RAILING	METAL PICKET	
4a. RAILING	GLASS	
5. PRIVACY SCREEN	WOOD	
6. CONCRETE	CONCRETE	
7. CONCRETE STEP	CONCRETE	
8. FRONT DOOR	METAL	
9. GARBAGE ROOM DOOR	METAL	
10. FLASHING	METAL	
11. WINDOW FRAME	VINYL	
12. WINDOW SILL	CONCRETE	
13. RAINWATER LEADER		
14. WOOD SLATE SCREENING		
15. WOOD SLATE DOOR		



Sheet  
**A401**





## BIRD FRIENDLY DESIGN STATISTICS

ELEVATION FIRST 16m ABOVE GRADE							ELEVATION FIRST 4m ABOVE ROOF TOP VEGETATION						
	NORTH	SOUTH	EAST	WEST	TOTAL (m2)	TOTAL (%)		NORTH	SOUTH	EAST	WEST	TOTAL (%)	
Glazing Area (m2)	216.78	157.22	9.49	9.49	392.98	100	Number of Floors					0	
Unreated Area (m2)					0.00		Glazing Area (m2)					0.00	
Treated Area (m2)					0.00		Unreated Area (m2)					0.00	
Low-reflectance					0.00		Treated Area (m2)					0.00	
Opaque Glass (m2)					0.00		Low-reflectance					0.00	
Visual Markers (m2)					0.00		Opaque Glass (m2)					0.00	
Shaded (m2)					0.00		Visual Markers (m2)					0.00	
							Shaded (m2)					0.00	
BUILDING WINDOW : WALL RATIO					392.98 : 1752.22								

## ARCHITECTURAL LIGHTING LEGEND

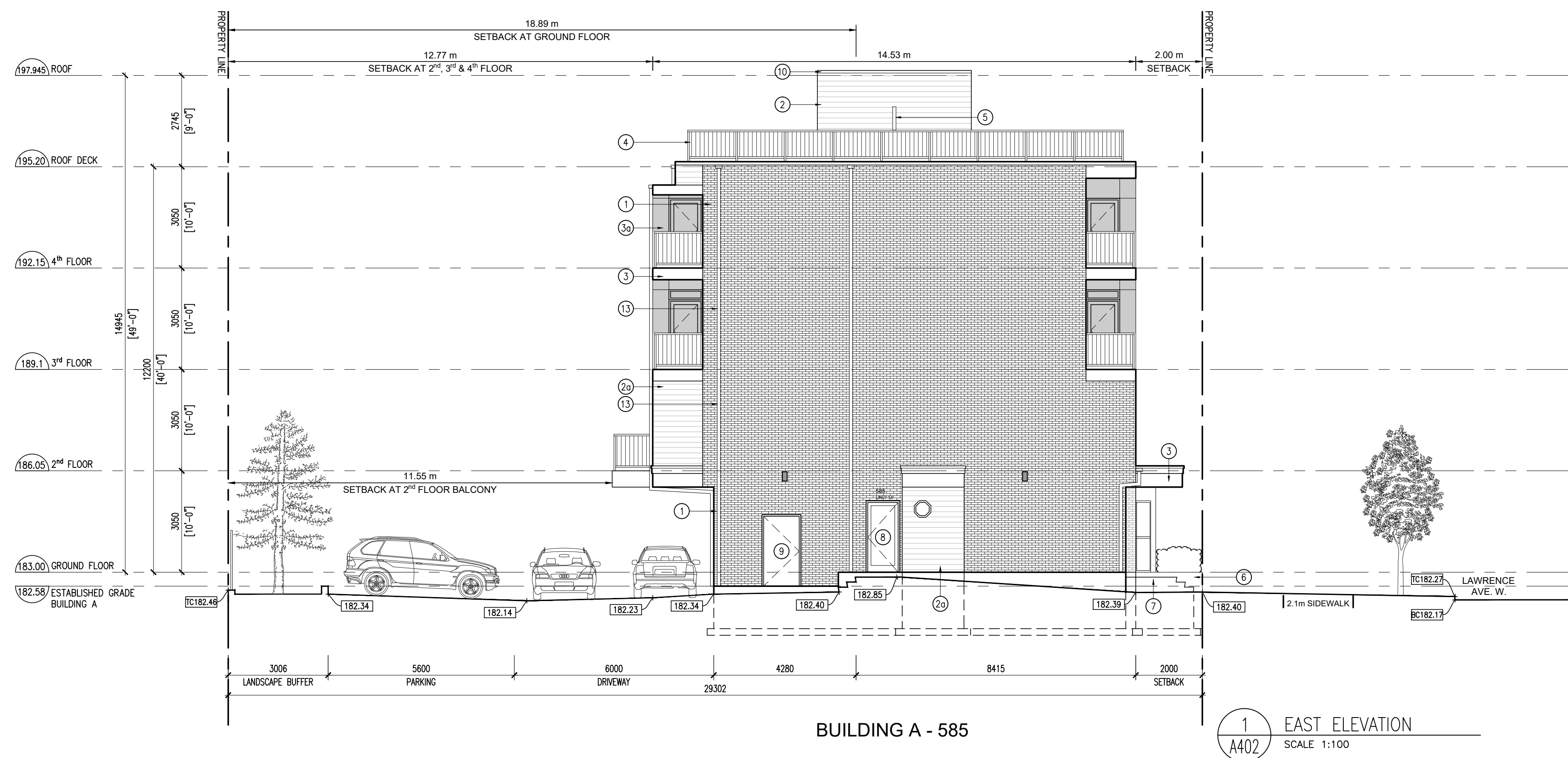
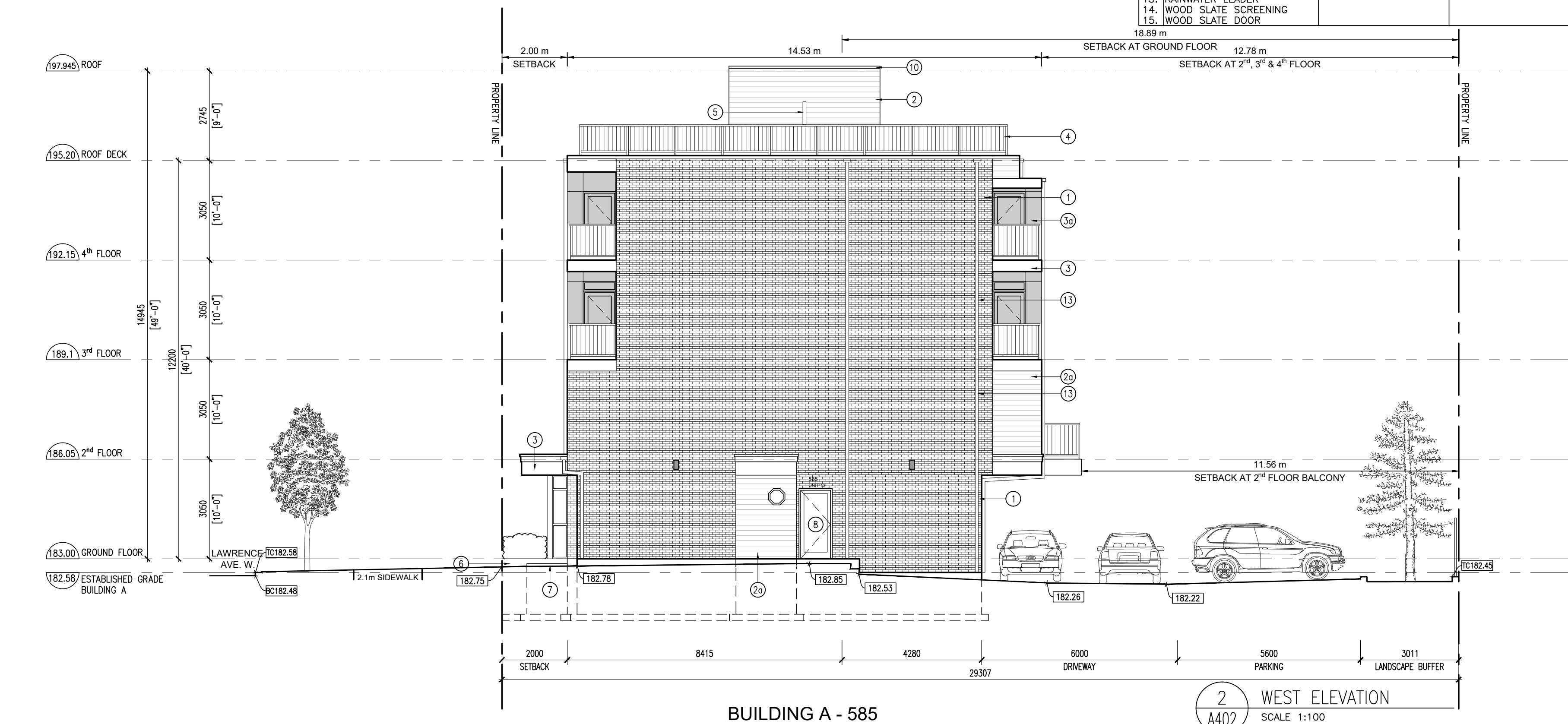
PROVIDE DARK SKY COMPLIANT FIXTURES

WALL SCONCE

## EXTERIOR MATERIALS LEGEND

ALL MATERIALS MAY BE SUBSTITUTED FOR AN EQUAL

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1a:	BRICK	CLAY BRICK COLOUR 1	
1a:	BRICK	CLAY BRICK COLOUR 2	
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2a:	SIDING	COMPOSITE	
3:	PRE-FINISHED METAL	METAL	
3a:	PRE-FINISHED METAL PANEL	METAL	
4:	RAILING	METAL PICKET	
4a:	RAILING	GLASS	
5:	PRIVACY SCREEN	WOOD	
6:	CONCRETE	CONCRETE	
6:	CONCRETE STEP	CONCRETE	
8:	FRONT DOOR	METAL	
9:	GARBAGE ROOM DOOR	METAL	
10:	FLASHING	METAL	
11:	WINDOW FRAME	VINYL	
12:	WINDOW SILL	CONCRETE	
13:	RAINWATER LEADER		
14:	WOOD SLATE SCREENING		
15:	WOOD SLATE		



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Architect  
R. Varacalli  
OAA, RAIC

**Signature**



Project Manager  
J. Seto

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		19 254108 NNY 05 OA
		17 222637 NNY 15 SZ
		19 187696 NNY 08 RH

Proposed Residential Development

**579 LAWRENCE APARTMENTS**  
579, 581, 583, 585  
Lawrence Ave. W., Toronto

## Drawing BUILDING A ELEVATIONS

Scale: 1:100  
Plot date: JUNE 23, 2021

Sheet  
**A402**

BIRD FRIENDLY DESIGN STATISTICS

	ELEVATION FIRST 16m ABOVE GRADE					
	NORTH	SOUTH	EAST	WEST	TOTAL	TOTAL (%)
Gazing Area (m2)	216.78	157.22	9.49	9.49	392.98	100
Untreated Area (m2)					0.00	
Treated Area (m2)						
Low-reflectance Epoque Glass (m2)					0.00	
Visual Markers (m2)					0.00	
Shaded (m2)					0.00	
BUILDING WINDOW : WALL RATIO					392.98 : 1752.22	

	ELEVATION FIRST 4m ABOVE ROOF TOP VEGETATION					TOTAL (%)
	NORTH	SOUTH	EAST	WEST	TOTAL (m2)	TOTAL (%)
Number of Floors					0	
Glazing Area (m2)					0.00	
Untreated Area (m2)					0.00	
Treated Area (m2)					0.00	
Low-reflectance Opaque Glass (m2)					0.00	
Visual Markers (m2)					0.00	
Shaded (m2)					0.00	

ARCHITECTURAL LIGHTING LEGEND

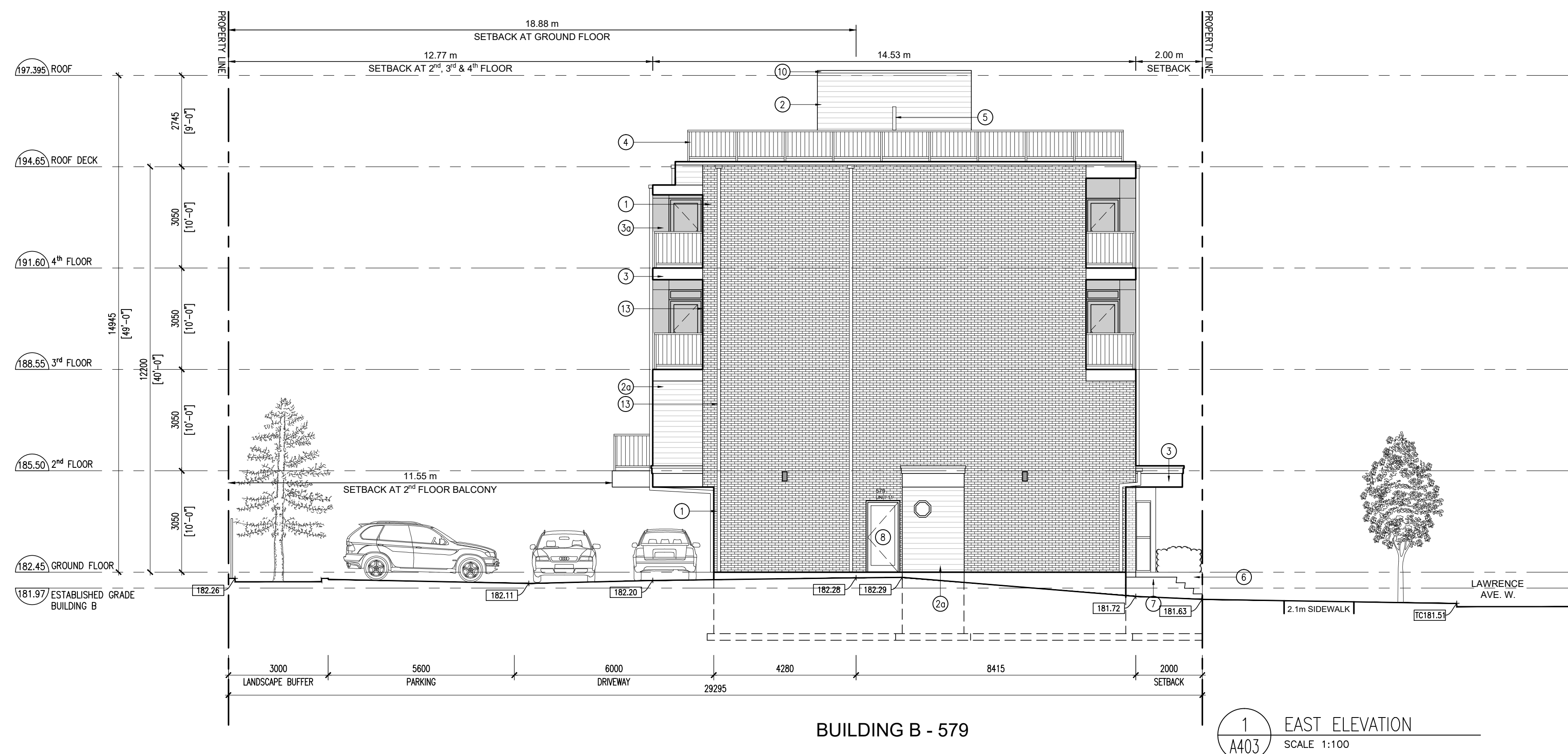
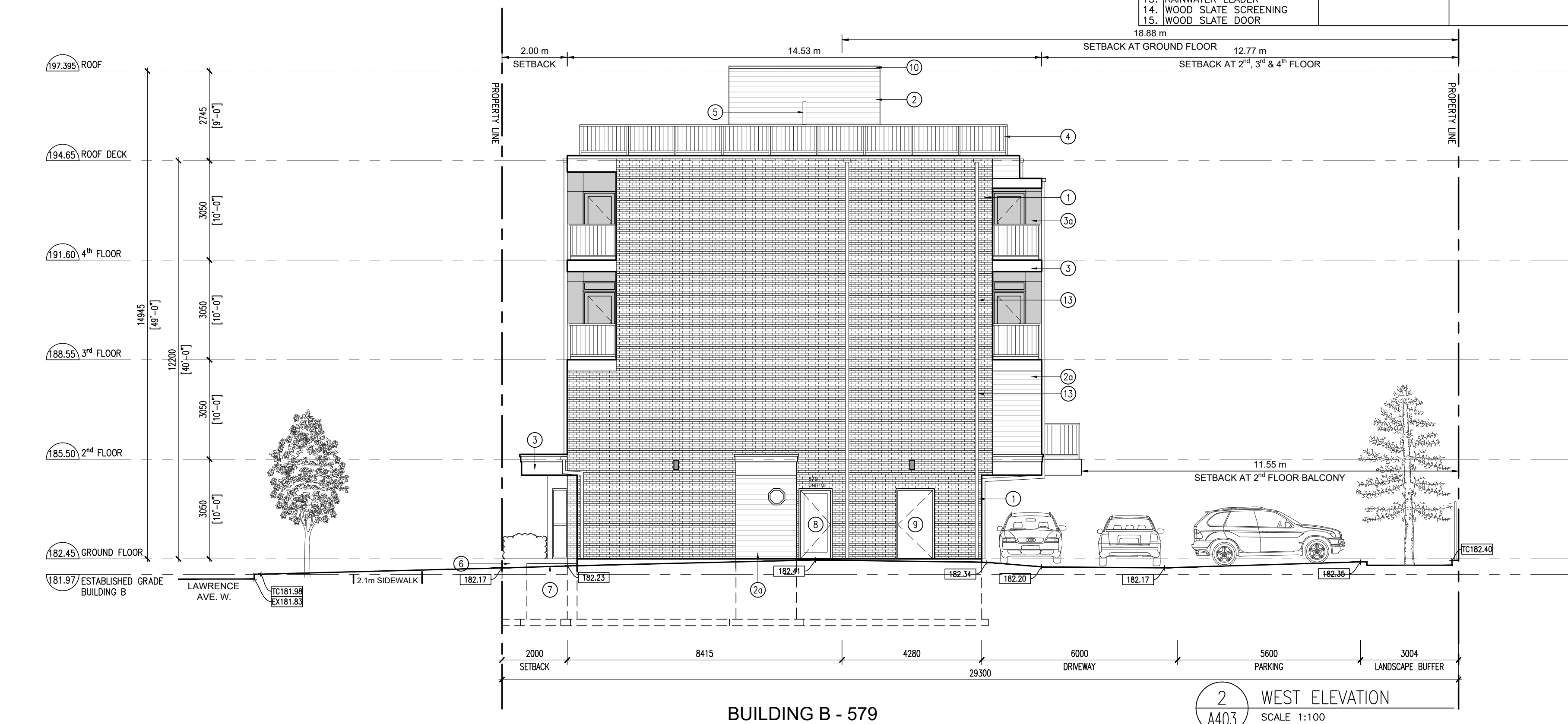
PROVIDE DARK SKY COMPLIANT FIXTURES
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WALL SCENCE

## EXTERIOR MATERIALS LEGEND

ALL MATERIALS MAY BE SUBSTITUTED FOR AN EQUAL

TAG:	MATERIAL:	TYPE & COLOUR	NOTES:
1.	BRICK	CLAY BRICK COLOUR 1	
10.	BRICK	CLAY BRICK COLOUR 2	
2.	SIDING	VINYL OR METAL	
20.	SIDING	COMPOSITE	
3.	PRE-FINISHED METAL	METAL	
30.	PRE-FINISHED METAL PANEL	METAL	
4.	RAILING	METAL PICKET	
40.	RAILING	GLASS	
5.	PRIVACY SCREEN	WOOD	
6.	CONCRETE	CONCRETE	
7.	CONCRETE STEP	CONCRETE	
8.	FRONT DOOR	METAL	
9.	GARAGE ROOM DOOR	METAL	
10.	FLASHING	METAL	
11.	WINDOW FRAME	VINYL	
12.	WINDOW SILL	CONCRETE	
13.	RAINWATER LEADER		
14.	WOOD SLATE SCREENING		
15.	WOOD SLATE		



r. Varacalli Architect inc.

1700 Langstaff Road, Unit No.1003, Concord, Ontario, Canada, L4K 3S3  
T. 905 761 9544 F. 905 532 0438

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Architect  
R. Varacalli  
OAA, RAIC

**Signature**



Project Manager  
J. Seto

10	June 23, 2021	Re-Issued for Zoning & SPA
09	Mar. 18, 2021	Re-Issued for Zoning & SPA
08	Oct. 28, 2020	Re-Issued for Zoning & SPA
07	Aug. 24, 2020	Re-Issued for Zoning & SPA
06	Jan. 22, 2020	Re-Issued for SPA
05	Nov. 5, 2019	Site Plan Review Application
04	Nov. 5, 2019	Re-issued for Zoning
03	June 28, 2019	Re-issued for Zoning
02	June 3, 2019	Re-issued for Zoning
01	Aug. 16, 2017	Zoning
No	Date	Issued for
<b>Building Permit #</b> <b>Drain Permit #</b> <b>Foundation Permit #</b> <b>Shoring &amp; Excavation #</b> <b>Hoarding Permit #</b> <b>Demolition Permit #</b> <b>S.P.A. Application #</b> <b>Zoning Application #</b>		
		19 254108 NNY 08 SA
		17 222637 NNY 15 OZ
		19 167698 NNY 08 RH

Proposed Residential Development

**579 LAWRENCE APARTMENTS**  
579, 581, 583, 585  
Lawrence Ave. W., Toronto

Drawing

## Drawing

# BUILDING B ELEVATIONS

Scale: 1:100  
Plot date: JUNE 23, 2021

Sheet  
A403

Sheet  
A403





ARCHITECTURAL LIGHTING LEGEND	
PROVIDE DARK SKY COMPLIANT FIXTURES	
WALL SCONCE	

EXTERIOR MATERIALS LEGEND		
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14. WOOD SLATE SCREENING		
15. WOOD SLATE DOOR		

r. Varacalli Architect inc.

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Architect  
R. Varacalli  
OAA, RAIC

Signature



Project Manager  
J. Seto

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## Proposed Residential Development

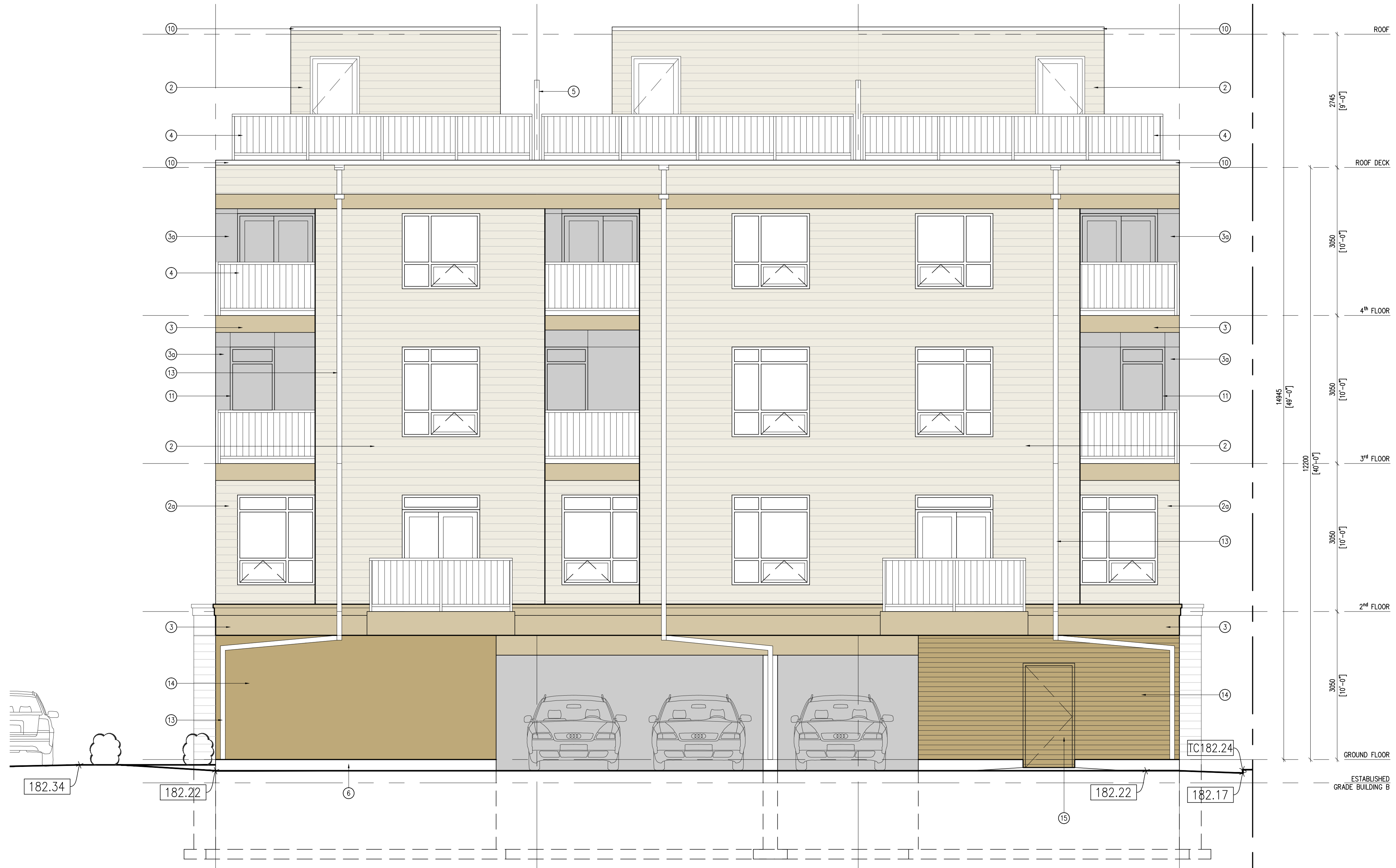
579 LAWRENCE APARTMENTS  
579, 581, 583, 585  
Lawrence Ave. W., Toronto

Drawing

**SOUTH ELEVATION**

Scale: 1:50  
Plot date: JUNE 23, 2021

Sheet  
A404b



1 SOUTH ELEVATION  
A404b SCALE 1:50





