

RESIDENTIAL PARKING SPACE SCHEDULE STANDARD CAR PARKING SPACES SCHEDULE

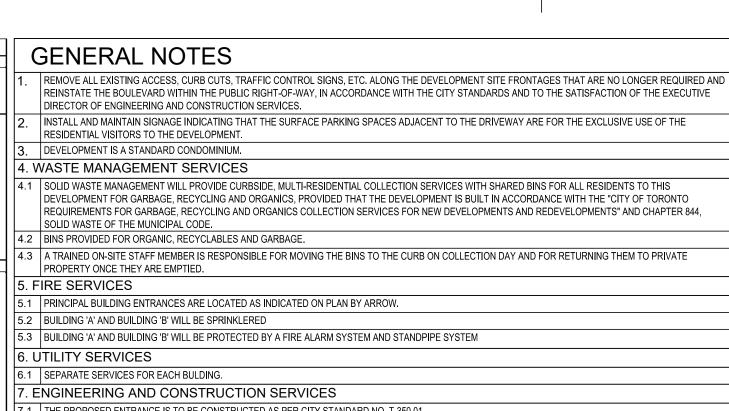
PARKING STALL

TOTAL BARRIER PARKING SPACES (VISITOR PARKING)

TOTAL PARKING SPACES

| | | COLUMN ONE SIDE | (MAXIMUM COLUMN SIZE) | | |
|---|--|-----------------|--|---------|--|
| | 2600 | 2900 | 2600 | | |
| | | 2600 [300 | | | |
| | | | 1000 Name Na | | |
| | | | | | |
| | 2600 | 2900 | 3600 | | |
| | / | 20 / | | | |
| | | | | | |
| | | | 1000 max; | | |
| SURFACE | 15 | * | | | |
| COVERD | 2 | 4 | 3 | | |
| TOTAL | 17 | 4 | 3 | | |
| | | | | | |
| | PARKING SPACE SC | | | | |
| STANDA | RD CAR PARKING SI | | | | |
| | TYPICAL | BARRIER FREE | | | |
| | 2600 | 1500 3400 | | | |
| | | | | | |
| | | | | | |
| | | | | | |
| | 2600 | 2900 | | | |
| | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |
| SURFACE | 3 | 1 | | | |
| COVERD | | | | | |
| TOTAL | 3 | 1 | | | |
| | | | 1 | | |
| | L PARKING S | | | \perp | |
| TOTAL | OTAL STANDARD PARKING SPACES (INCLUDES 3 VISITOR SPACES) 2 | | | | |
| . , , , , , , , , , , , , , , , , , , , | | | | | |

PARKING STALL



THE PROPOSED ENTRANCE IS TO BE CONSTRUCTED AS PER CITY STANDARD NO. T-350,01, THE ENTRANCE RETURN CURBS ARE TO BE CONSTRUCTRED UP TO THE EDGES OF THE PROPOSED SIDEWALK RATHER THAN ACROSS THE PROPOSED SIDEWALK. 🙎 ASPHALT/OR CONCRETE THICKNESS ON PROPOSED PRIVATE DRIVEWAY ENTRANCES WILL BE CONSTRUCTED AS PER CITY STANDARD T-310.050-8.

3 | THE PROPOSED NEW ACCESS MUST BE AT LEAST 1.0 METRE FROM EXISTING UTILITIES. IF REQUIRED, THE RELOCATION OF ANY PUBLIC UTILITIES (UTILITY POLES, ETC.) WOULD BE AT THE COST OF THE DEVELOPER AND SHALL BE SUBJECT TO THE APPROVAL OF THE APPLICABLE GOVERNING AGENCIES. EXISTING CURB AT THE PROPOSED DRIVEWAY ENTRANCE TO BE REMOVED AND REPLACED WITH A CONCRETE CURB AND GUTTER AS PER CITY STANDARD T-600.05-1. THIS WILL ENSURE THAT THE ENTRANCE WILL BE CONSTRUCTED AS PER CITY STANDARD T-350.01 WHERE MOUNTABLE CURBS ARE CONSTRUCTED ACROSS THE DRIVEWAY ENTRANCES, MUNICIPAL SIDEWALKS ARE EXTENDED ACROSS THE ENTRANCES AND THE ENTRANCE RETURN BARRIER CURBS ARE

STOPPED AT THE EDGE OF PROPOSED MUNICIPAL SIDEWALKS. PER THE INFORMATION PROVIDED TO STAFF BY APPLICANT, STAFF HAVE REVIEWED THIS APPLICATION ON THE UNDERSTANDING IT WILL COMPRISE A STANDARD CONDOMINIUM CORPORATION UPON COMPLETION. IF ANY PARTY, INCLUDING THE APPLICANT OR ANY SUBSEQUENT OWNER, SUBMITS AN APPLICATION FOR CONDOMINIUM APPROVAL OR FOR ANY FORM OF LAND DIVISION FOR THIS DEVELOPMENT NOT IN ACCORDANCE WITH THIS INFORMATION. DIFFERENT SERVICING CONNECTIONS, INCLUDING ALL ASSOCIATED STORMWATER MANAGEMENT FACILITIES AND ANY NECESSARY REVISED PLANS AND STUDIES, MAY BE REQUIRED BY THE CITY AT THE SOLE COST TO THE CONDOMINIUM APPLICANT."

PRELIMINARY SITE PLAN AGREEMENT CONDITIONS

LIST OF DRAWINGS REMOVE ALL EXISTING ACCESSES, CURB CUTS, TRAFFIC CONTROL SIGN, ETC, ALONG THE DEVELOPMENT SITE FRONTAGE THAT ARE NO LONGER REQUIRED AND REINSTATE THE BOULEVARD WITHIN THE RIGHT-OF-WAY, IN ACCORDANCE WITH CITY STANDARDS AND TO THE SATISFACTION OF THE EXECUTIVE DIRECTOR OF ENGINEERING AND CONSTRUCTION SERVICES.

ALL UTILITY POLES, FIRE HYDRANTS, AND OTHER STREET FURNITURE MUST BE SHOWN ON THE PLAN. THE PROPOSED NEW ACCESS MUST BE AT LEAST 1.0 METRE FROM EXISTING UTILITIES, IF REQUIRED, THE RELOCATION OF ANY PUBLIC UTILITIES (UTILITY POLES, ETC.) WOULD BE AT THE COST OF THE DEVELOPER AND SHALL BE SUBJECT TO THE APPROVAL OF THE APPLICABLE GOVERNING AGENCIES

THE OWNER MUST INSTALL AND MAINTAIN APPROPRIATE SIGNAGE AND PAVEMENT MARKINGS ON-SITE DIRECTING SUCH AS BUT NOT LIMITED TO VEHICLE STOPPING AND CIRCULATION, DESIGNATED DISABLED PARKING, LOADING, AND PEDESTRIAN WALKWAYS, TO THE SATISFACTION OF THE EXECUTIVE DIRECTOR, ENGINEERING AND CONSTRUCTION SERVICES 8.4 DRIVEWAY CURBS MUST BE FLUSH ON EITHER SIDE OF THE SIDEWALK FOR A MINIMUM OF 0.45 METRES

8.5 RESERVED 18.6 CONSTRUCT AND MAINTAIN STORMWATER MANAGEMENT MEASURES/FACILITIES AND SITE GRADING AS RECOMMENDED IN THE ACCEPTED STORMWATER

MANAGEMENT REPORT AND GRADING PLAN. CONSTRUCT AND MAINTAIN SITE SERVICING INDICATED ON THE ACCEPTED SITE SERVICING DRAWINGS

PROVIDE CERTIFICATION TO THE EXECUTIVE DIRECTOR OF ENGINEERING AND CONSTRUCTION SERVICES BY THE PROFESSIONAL ENGINEER WHO DESIGNED AND SUPERVISED THE CONSTRUCTION OF THE STORMWATER MANAGEMENT FACILITIES AND SITE GRADING HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE

ACCEPTED STORMWATER MANAGEMENT REPORT AND THE ACCEPTED GRADING PLANS. 8.9 | PROVIDE CERTIFICATION TO THE EXECUTIVE DIRECTOR OF ENGINEERING AND CONSTRUCTION SERVICES BY THE PROFESSIONAL ENGINEER WHO DESIGNED AND SUPERVISED THE CONSTRUCTION, THAT THE SITE SERVICING FACILITIES HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE ACCEPTED DRAWINGS. B.10 EXISTING DRAINAGE PATTERNS ON ADJACENT PROPERTIES SHALL NOT BE ALTERED AND STORMWATER RUNOFF FROM THE SUBJECT DEVELOPMENT SHALL NOT BE DIRECTED TO DRAIN ONTO ADJACENT PROPERTIES.

l9 HYDRO ANY CONSTRUCTION ACTIVITY IN THE VICINITY OF TREES SHALL BE CARRIED OUT IN COMPLIANCE WITH LATEST CITY OF TORONTO'S "TREE PROTECTION POLICY AND SPECIFICATION FOR CONSTRUCTION NEAT TREES" DOCUMENT.

9.2 IF THE MINIMUM CLEARANCES SHOWN CANNOT BE MET. THE SUBJECT UTILITIES APPROVAL MAY BE OBTAINED FOR REDUCED CLEARANCES.

3 HORIZONTAL CLEARANCE SHALL BE FROM EDGE OF REINFORCED SDEWALK BAY OR POLE BASE TO EDGE OP PROPOSED PLANT, CONTRACTOR SHALL AT NO TIME CUT INTO REINFORCED SIDEWALK BAYS AND POLE BASES. SIDEWALK BAYS AND POLE BASES PROVIDE LOADING SUPPORT FCR THE POLE. PLANT CAN BE INSTALLED UNDER RENFORCED SIDEWALK BAYS BY TUNNELING AT A MINIMUM VERTICAL CLEARANCE OF 600mm (2'-0"), PLANT SHALL NOT BE INSTALLED UNDER

9.4 IF THE MINIMUM HORIZONTAL CLEARANCE FOR UTILITIES INSTALLING PLANT CLOSE TO THESL PLANT CANNOT BE MET DUE TO EXISTING FIELD CONDITION, CLEARANCE CAN BE REDUCED TO 300 m (1'-0") WITH THE CONTRACTOR/CUSTOMER PROVIDING THE FOLLOWING TO TORONTO HYDRO: A LETTER, STAMPED AND SIGNED BY A PROFESSIONAL ENGINEER OF ONTARIO, OUTLINING:

• THAT THE CONTRACTOR/CUSTOMER IS RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH SUPPORT AND INSPECTION, AS WELL AS ANY DAMAGES AND

• THAT THE ACHIEVABLE CLEARANCE IS NOT LESS THAN 300 mm (1'-0"); • THE METHOD OF PROTECTION AND/OR SUPPORT. SUPPORT IS REQUIRED IF TORONTO HYDRO PLANT IS UNDERMINED;

• THAT THIS IS A UNIQUE SCENARIO THAT REQUIRES A DEVIATION FROM TYPICAL CONSTRUCTION STANDARD. AND IDENTIFY THAT THE DEVIATION IS ALSO FROM THE TYPICAL CLEARANCES SET OUT BY TORONTO HYDRO AND THE CITY OF TORONTO.

DRAWING WHICH SHALL INCLUDE:

STAMP AND SIGNATURE OF A PROFESSIONAL ENGINEER IN THE PROVINCE OF ONTARIO;

 LENGTH OF THE PLANT BEING SUPPORTED AND/OR PROTECTED: • METHOD OF PROTECTION AND/OR SUPPORT SYSTEM IN BOTH PLAN AND SECTION VIEWS;

• MAXIMUM DEFLECTION OF THE PLANT WITH THE SUPPORT; • DEFLECTION MONITORING SYSTEM PLACEMENT IF SOIL SETTLEMENT WILL OCCUR ON SITE;

 BACKFILLING PROCEDURES: • THAT THE ACHIEVABLE CLEARANCE IS NOT LESS THAN 300 mm (1'-0").

A PURCHASE ORDER FOR THE AMOUNT OF TIME A CIVIL INSPECTOR FROM TORONTO HYDRO WILL BE REQUIRED ON SITE. AN ESTIMATE WILL BE PROVIDED BY TORONTO HYDRO.

9.5 CONTACT THE CITY OF TORONTO FOR MINIMUM VERTICAL CLEARANCE TO WATER VALVE CHAMBER. 9.6 FOR ABOVE GRADE CLEARANCES REFER TO:

• 03-2300 BUILDING AND PERMANENT STRUCTURES

ENGINEERING AND CONSTRUCTION SERVICES

ENGINEERING AND CONSTRUCTION SERVICES.

 03-2400 POLES AND PRIVATE FENCES • 04-4100 POLE LOCATION GUIDELINES

10. TRANSPORTATION

1.1 ALL PORTIONS OF EXISTING SITE ACCESS DRIVEWAYS THAT ARE NO LONGER REQUIRED MUST BE CLOSED AND RESTORED WITH SOFT LANDSCAPING AND FULL CONCRETE CURB AND GUTTER, TO THE SATISFACTION OF TRANSPORTATION SERVICES. 10.2 ALIGN THE NEW SIDEWALK WITH THE EXISTING ADJACENT SIDEWALK

1. FACILILTIES TO PROVIDE ACCESS TO AND FROM THE LAND 1 REMOVE ALL EXISTING ACCESSES, CURB CUTS, TRAFFIC CONTROL SIGN, ETC. ALONG THE DEVELOPMENT SITE FRONTAGE TAHT ARE NO LONGER REQUIRED AND REINSTATE THE BOULEVARD WITHIN THE RIGHT-OF-WAY, IN ACCORDANCE WITH CITY STANDARDS AND TO THE SATISFACTION OF THE EXECUTIVE DIRECTOR OF

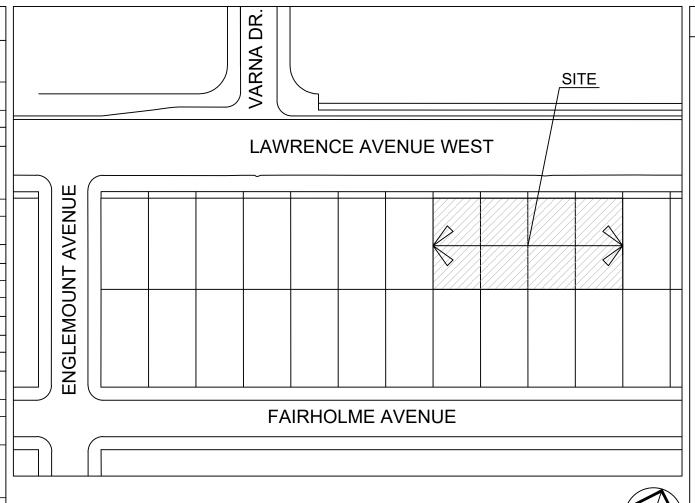
.2 ANY ENCROACHMENTS WITHIN MUNICIPAL ROAD ALLOWANCES WILL NOT BE PERMITTED UNLESS THEY ARE EXPLICITLY APPROVED BY THE RIGHT-OF-WAY MANAGEMENT SECTION OF TRANSPORTATION SERVICES DIVISION. THE OWNER IS REQUIRED TO CONTACT THE SECTION THROUGH THE PERMIT APPROVAL PROCESS TO OBTAIN THE EXACT PARTICULARS OF THESE REQUIREMENTS. FOR FURTHER INFORMATION, PLEASE CONTACT RIGHT-OF-WAY MANAGEMENT SECTION, NORTH YORK DISTRICT AT (416) 395-7112.

12. OFF-STREET VEHICULAR LOADING AND PARKING FACILITIES AND ACCESS/DRIVEWAYS

12.1 PROVIDE AND MAINTAIN OFF-STREET VEHICULAR LOADING AND PARKING FACILITIES AND ACCESS DRIVEWAYS IN ACCORDANCE WITH THE APPROVED PLANS AND DRAWINGS, TO THE SATISFACTION OF THE EXECUTIVE DIRECTOR OF ENGINEERING AND CONSTRUCTION SERVICES; 12.2 THE OWNER MUST INSTALL AND MAINTAIN APPROPRIATE SIGNAGE AND PAVEMENT MARKINGS ON-SITE DIRECTING SUCH AS BUT NOT LIMITED TO: VEHICLE

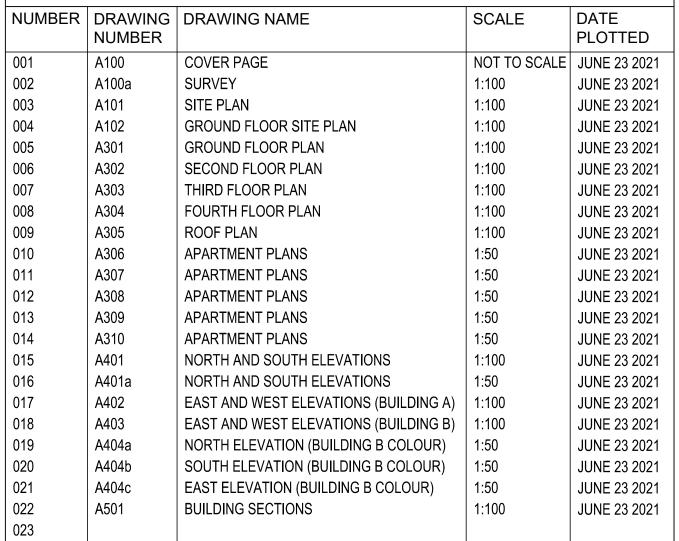
1.3 ALL SITE ACCESS DRIVEWAYS MUST BE AT LEAST 1.0 METRE FROM EXISTING UTILITIES. IF REQUIRED, THE RELOCATION OF ANY PUBLIC UTILITIES (UTILITY POLES, GUY WIRES, ETC.) WOULD BE AT COST OF THE DEVELOPER AND SHALL BE SUBJECT TO THE APPROVAL OF THE APPLICABLE GOVERNING AGENCIES.

STOPPING AND CIRCULATION, DESIGNATED DISABLED PARKING, LOADING, AND PEDESTRIAN WALKWAYS, TO THE SATISFACTION OF THE EXECUTIVE DIRECTOR OF



KEY PLAN N.T.S.

024



CONTACT LIST OASIS TOWNHOME ON LAWRENCE INC. 1700 LANGSTAFF ROAD, UNIT No. 1003 CONCORD, ONTARIO L4K 3S3 TEL: 905-532-0435 **ARCHITECT** r. VARACALLI ARCHITECT inc. 1700 LANGSTAFF ROAD, UNIT No. 1003 CONCORD, ONTARIO L4K 3S3 CONTACT: JACK SETO TEL. 416-782-1758 ex 223 cc R. VARACALLI TEL: 905-761-9544 / 416-617-4927 STRUCTURAL ENGINEER: TEL: X CONTACT XXX MECHANICAL ENGINEER TEL: X CONTACT XXX

ECTRICAL ENGINEER

XXX INTERIOR DESIGNER:

TEL: X

CONTACT:

TEL: X CONTACT: XXX

LANDSCAPE ARCHITECT QUINN DESIGN ASSOCIATES 132 CUMBERLAND STREET, 3RD FLOOR TORONTO, ONTARIO M5R 1A6 TEL: 416-962-8700 EX. 116 CONTACT: ANDREW NAYLOR

J.D. BARNES LIMITED 411 RICHMOND STREET EAST, SUITE 107 TORONTO, ONTARIO M5A 3S5 TEL: 416-368-3737 x104 CONTACT: MICHAEL MACEK

CIVIL ENGINEER: WSP ENGINEERING 100 COMMERCE VALLEY DRIVE WEST THORNHILL, ONTARIO L3T 0A1 TEL: 905 882 1100 CONTACT: RICK KNIGHT

TRANSPORTATION ENGINEER: NEXTRANS CONSULTING ENGINEERS 1520 INDUSTRIAL PKWY SOUTH, SUITE 201 AURORA, ONTARIO L4G 6W8 TEL: 905 503 2563 CONTACT: RICHARD PERNICKY

CONSTRUCTION MANAGER

TEL: X

XXX

CONTACT

r. Varacalli Architect inc.

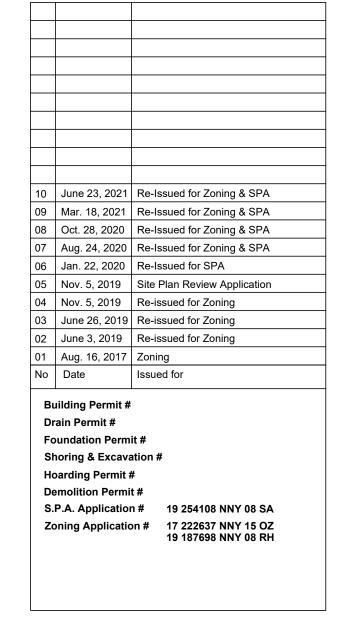
1700 Langstaff Road, Unit No.1003, Concord, Ontario, Canada, L4K 3S3

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Architect R. Varacalli

Signature

Project Manager



Proposed Residential Development

579 LAWRENCE APARTMENTS 579, 581, 583, 585 Lawrence Ave. W., Toronto

Drawing COVER PAGE

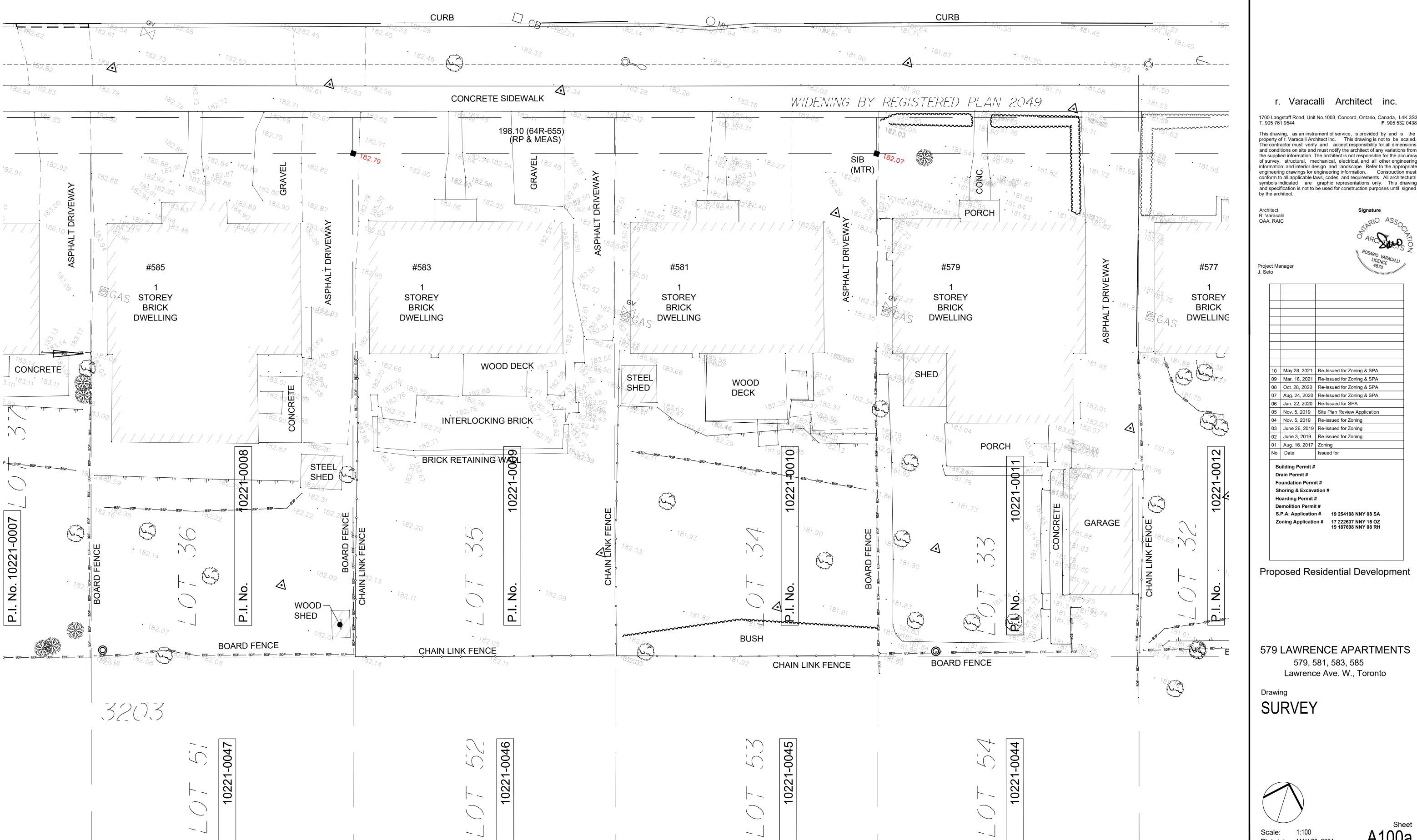
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LANRENCE AVENUE

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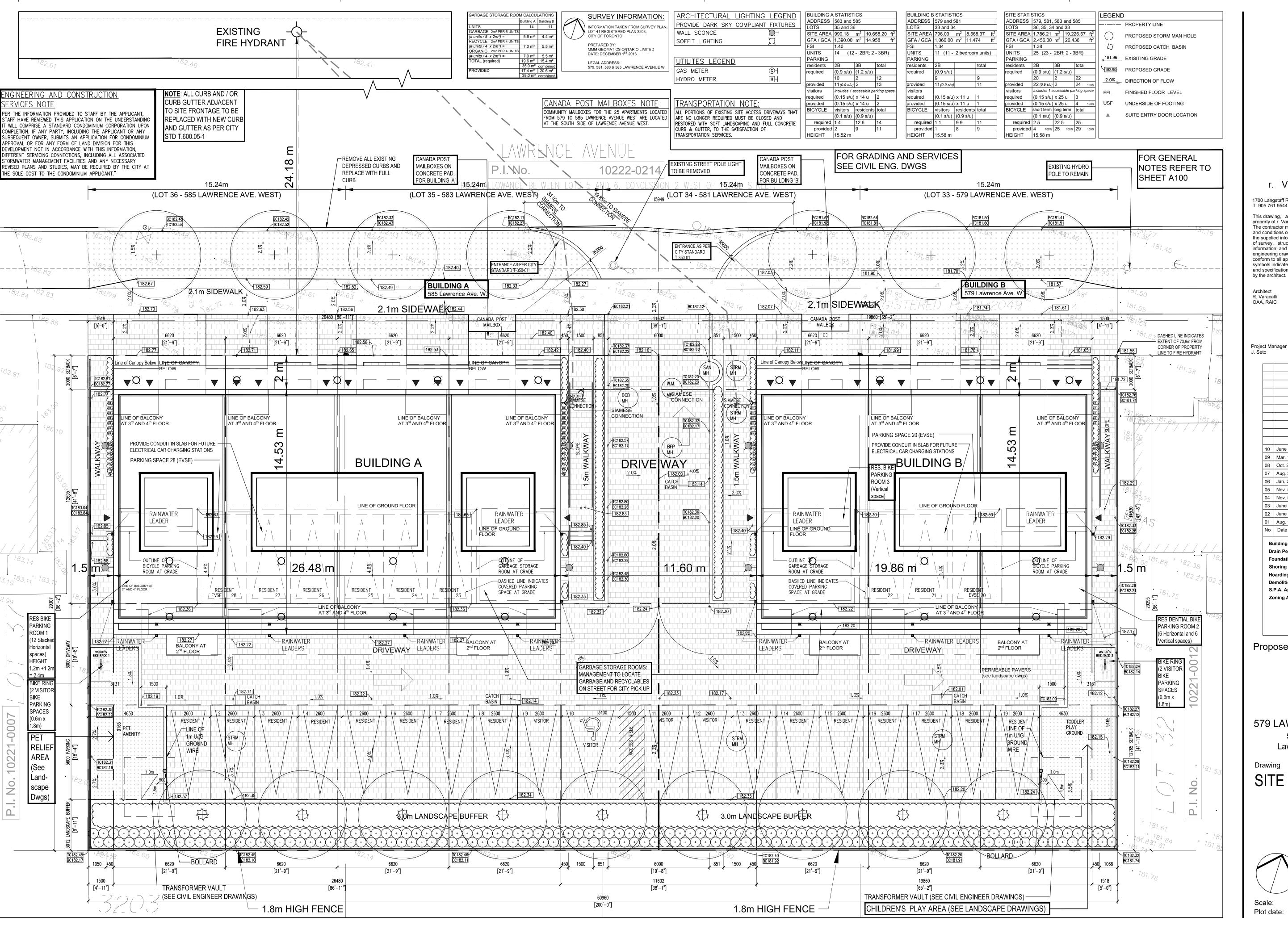
(ROAD ALLOWANCE BETWEEN LOTS 5 AND 6, CONCESSION 2 WEST OF YONGE STREET)

SURVEY INFORMATION: LOT 41 REGISTERED PLAN 3203, CITY OF TORONTO PREPARED BY: MMM GEOMATICS ONTARIO LIMITED DATE: DECEMBER 1ST 2016 LEGAL ADDRESS: 579, 581, 583 & 585 LAWRENCE AVENUE W.



Plot date: MAY 28, 2021

A100a



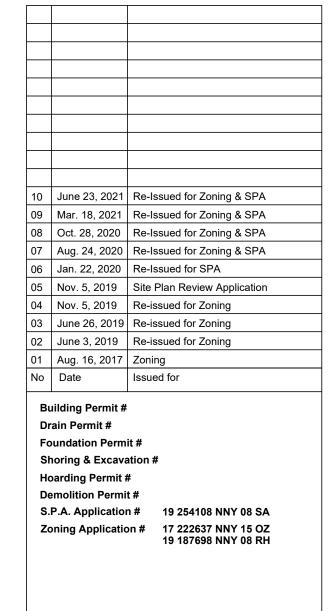
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R. Varacalli

Signature

Project Manager



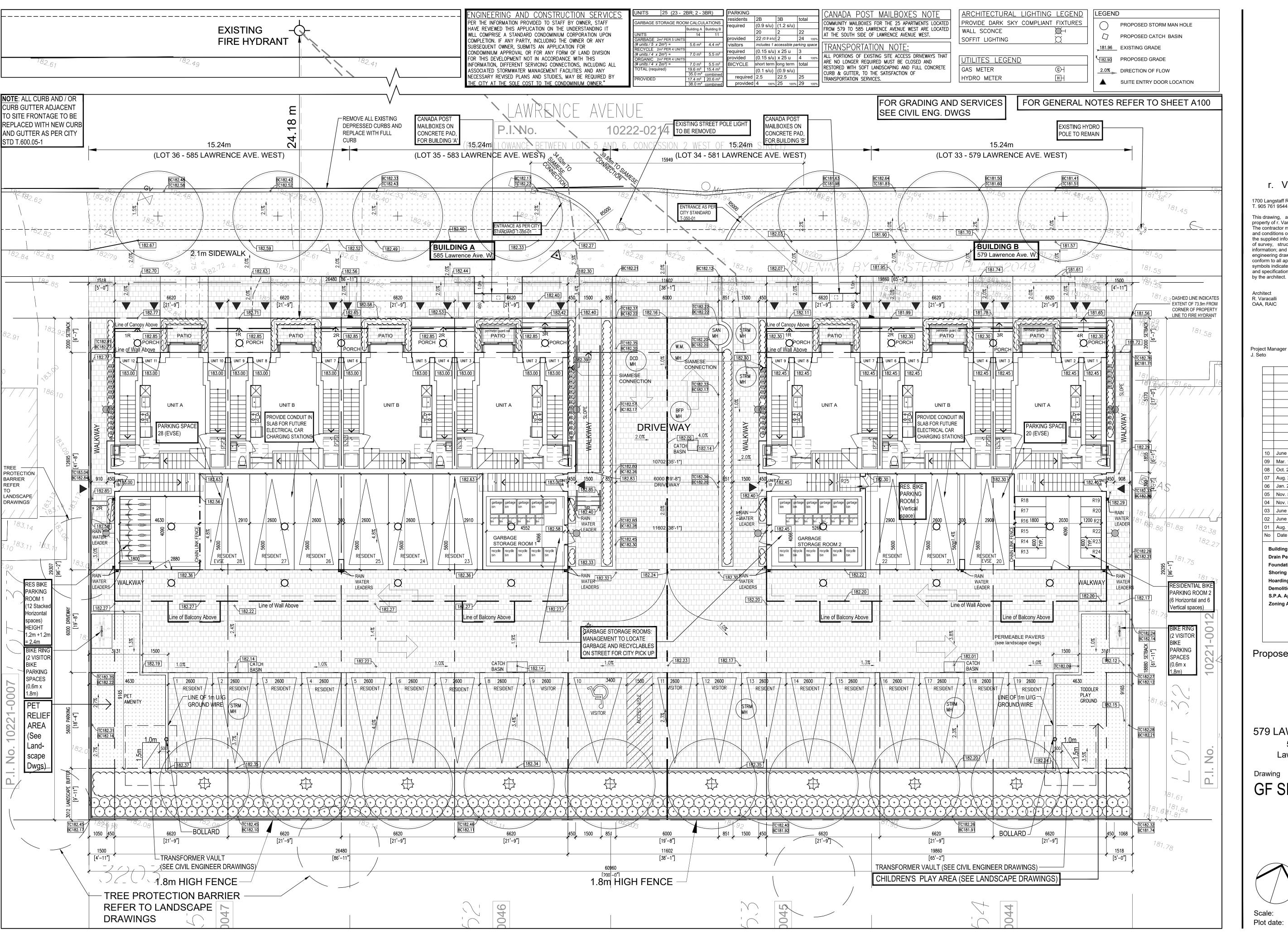
Proposed Residential Development

579 LAWRENCE APARTMENTS 579, 581, 583, 585 Lawrence Ave. W., Toronto

Drawing SITE PLAN



Scale: Plot date: JUNE 23, 2021



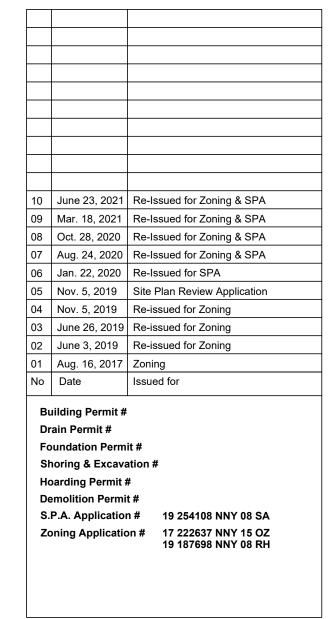
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Project Manager



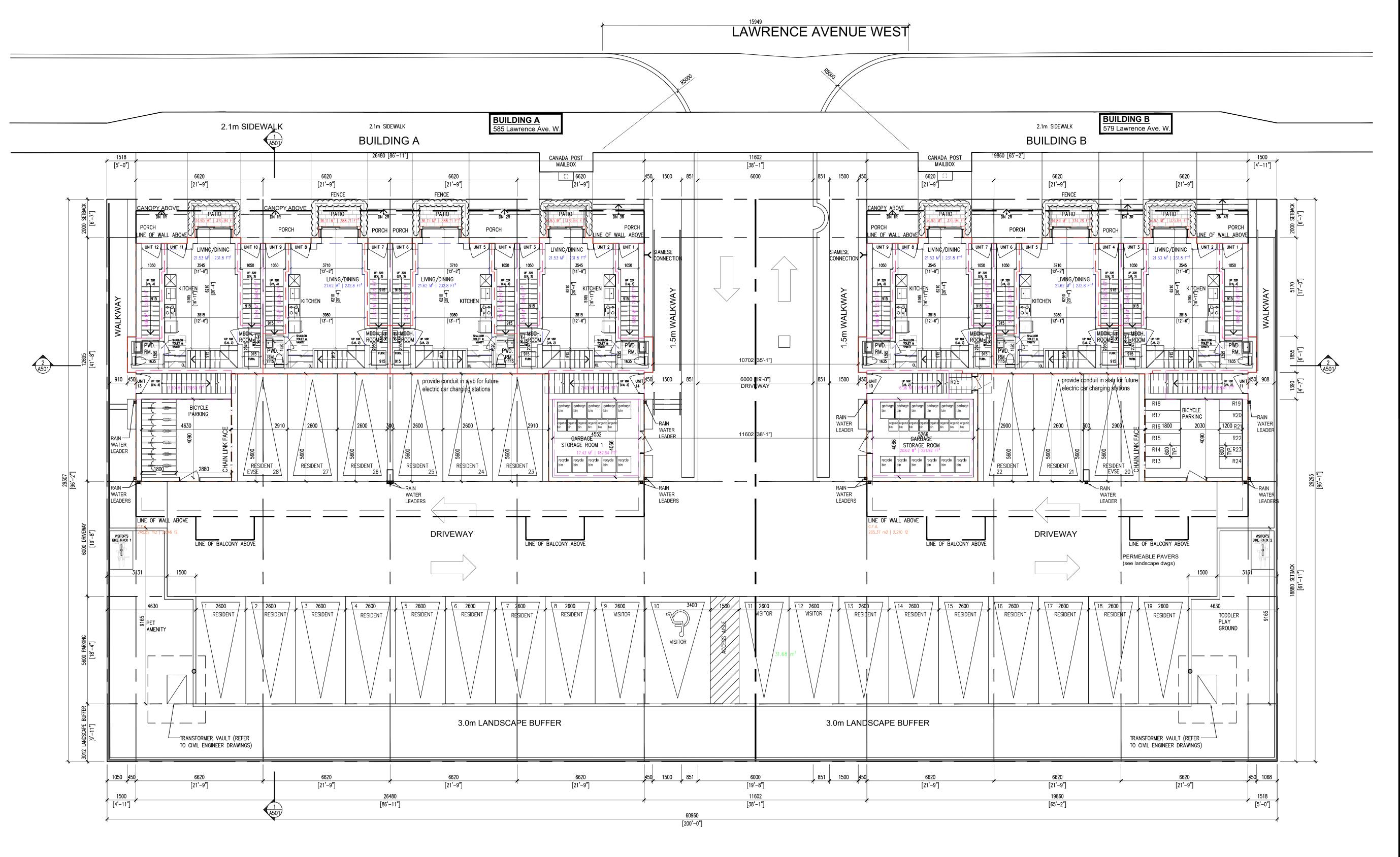
Proposed Residential Development

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GF SITE PLAN



Scale: Plot date: JUNE 23, 2021



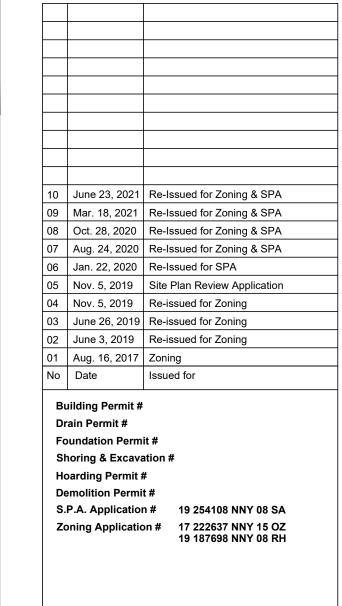
r. Varacalli Architect inc.

1700 Langstaff Road, Unit No.1003, Concord, Ontario, Canada, L4K 3S3 T. 905 761 9544 F. 905 532 0438

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R. Varacalli OAA, RAIC Signature
Signature
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Project Manage



Proposed Residential Development

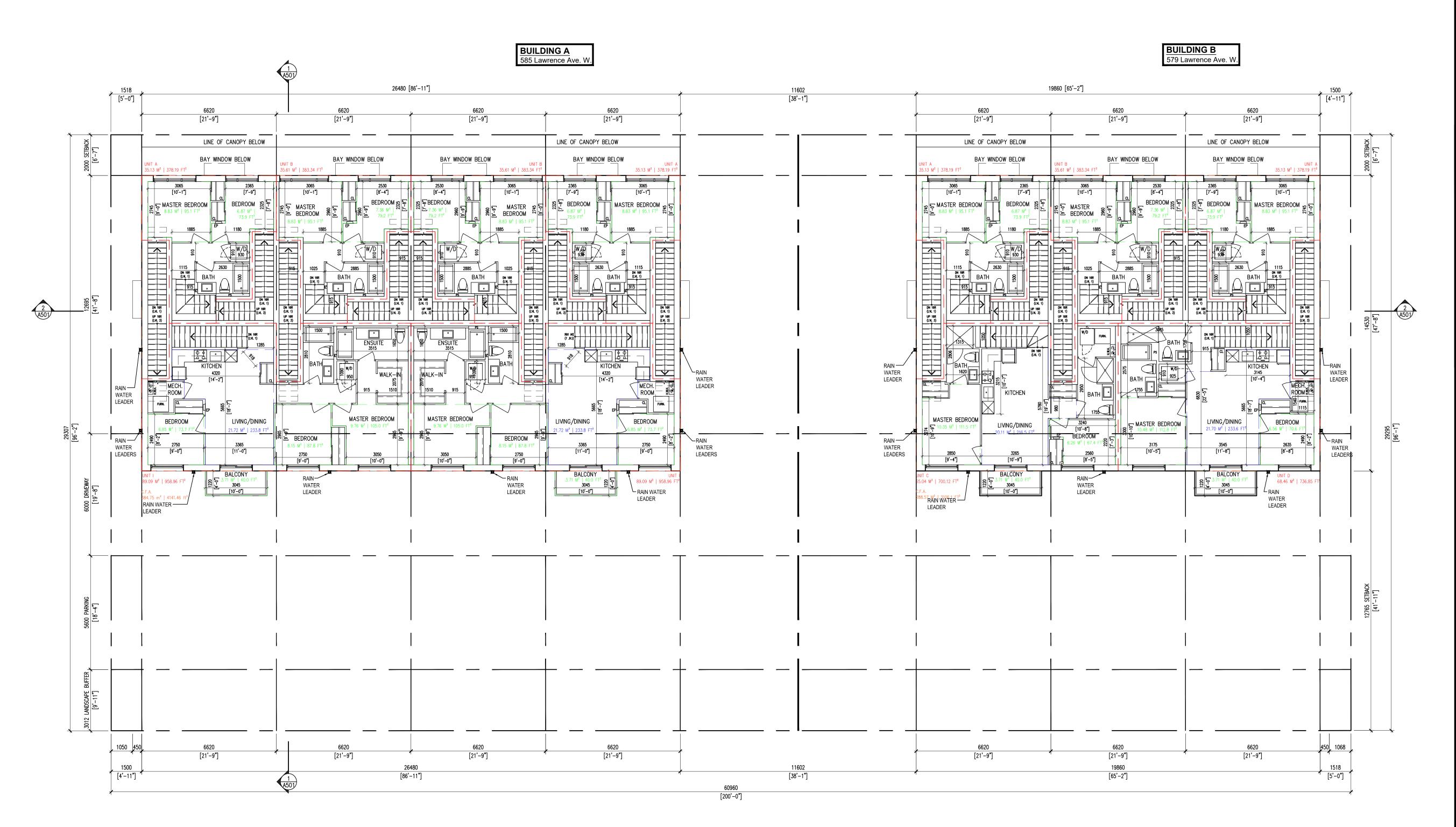
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GF PLAN



Scale: 1:100
Plot date: JUNE 23, 2021

Sheet A301



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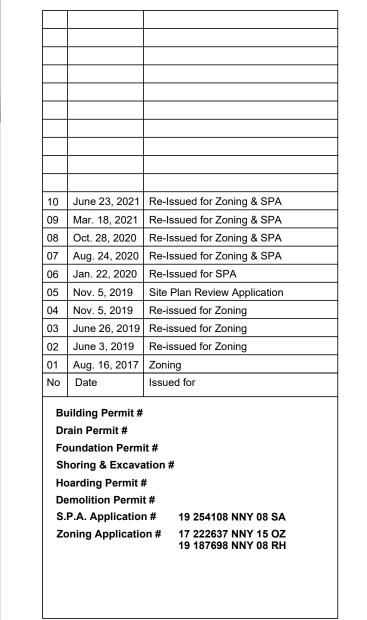
Architect R. Varacalli OAA, RAIC

Signature

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Project Manager



Proposed Residential Development

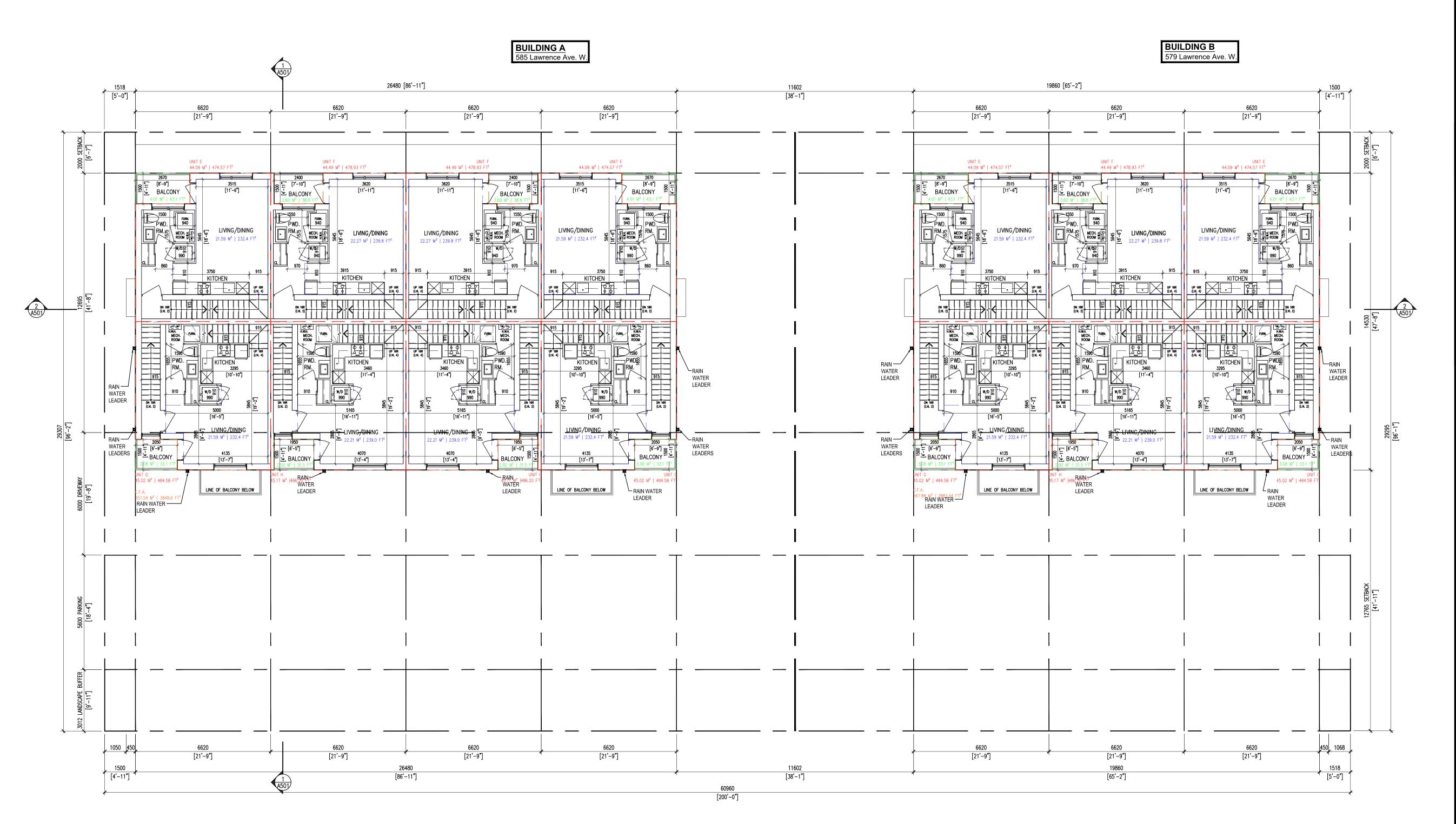
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Drawing 2nd FLOOR PLAN



Scale: 1:100
Plot date: JUNE 23, 2021

Sheet A302

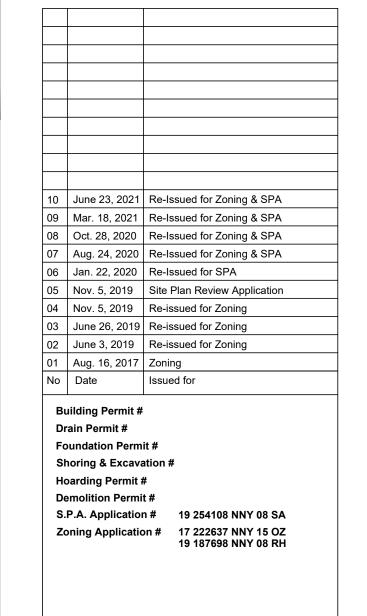


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Architect R. Varacalli

Project Manager J. Seto



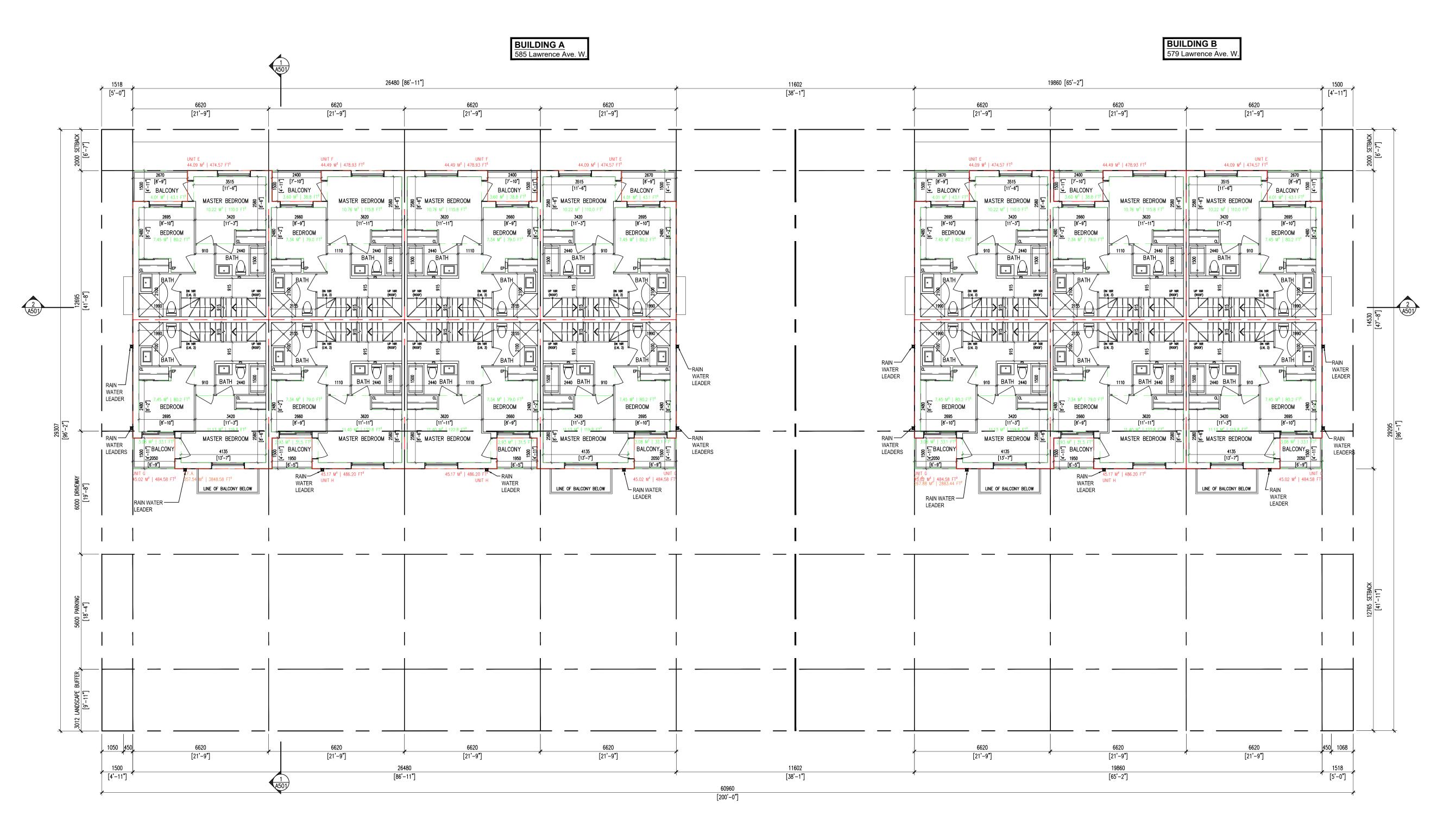
Proposed Residential Development

579 LAWRENCE APARTMENTS 579, 581, 583, 585 Lawrence Ave. W., Toronto

Drawing 3rd FLOOR PLAN



Scale: 1:100 Plot date: JUNE 23, 2021



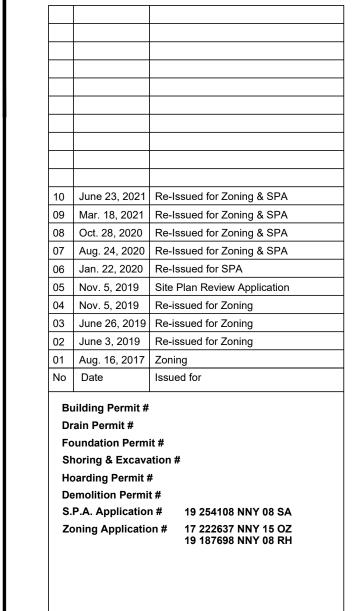
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Architect R. Varacalli OAA, RAIC



Project Manager J. Seto



Proposed Residential Development

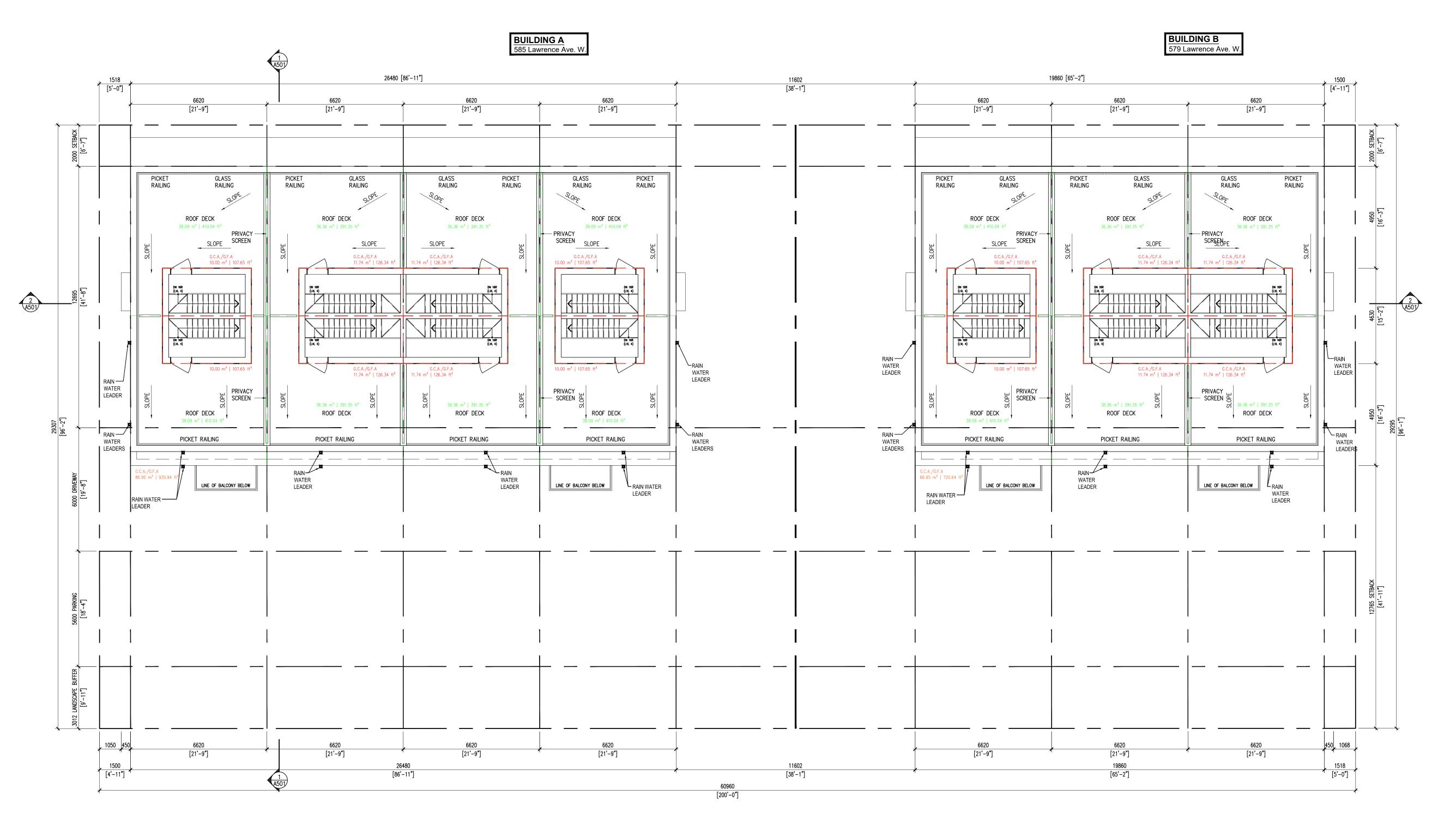
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Drawing
4th FLOOR PLAN



Scale: 1:100 Plot date: JUNE 23, 2021

Sheet A304

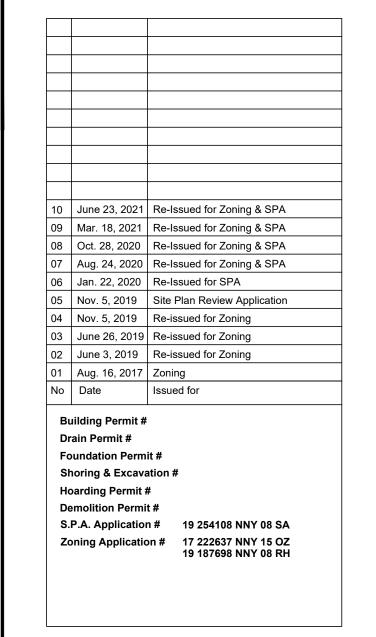


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R. Varacalli

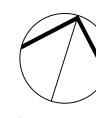
Project Manager J. Seto



Proposed Residential Development

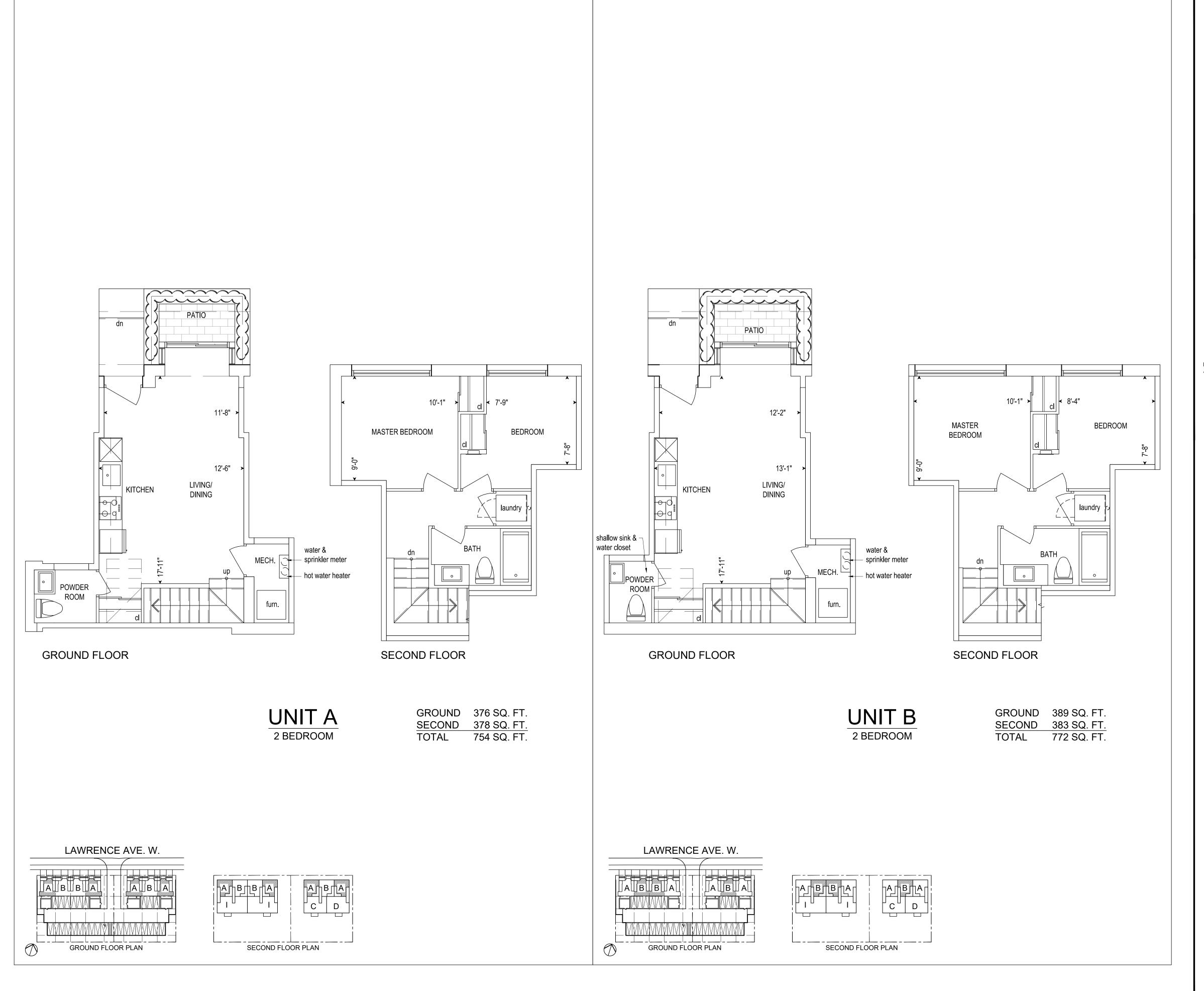
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Drawing **ROOF PLAN**



Scale: 1:100

Plot date: JUNE 23, 2021



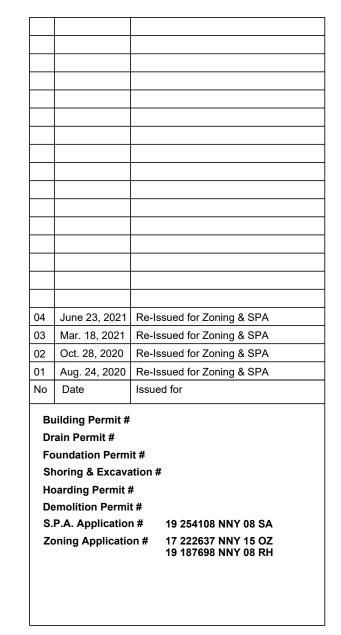
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Architect R. Varacalli OAA RAIC



Project Manager



Proposed Residential Development

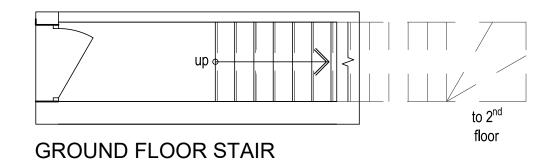
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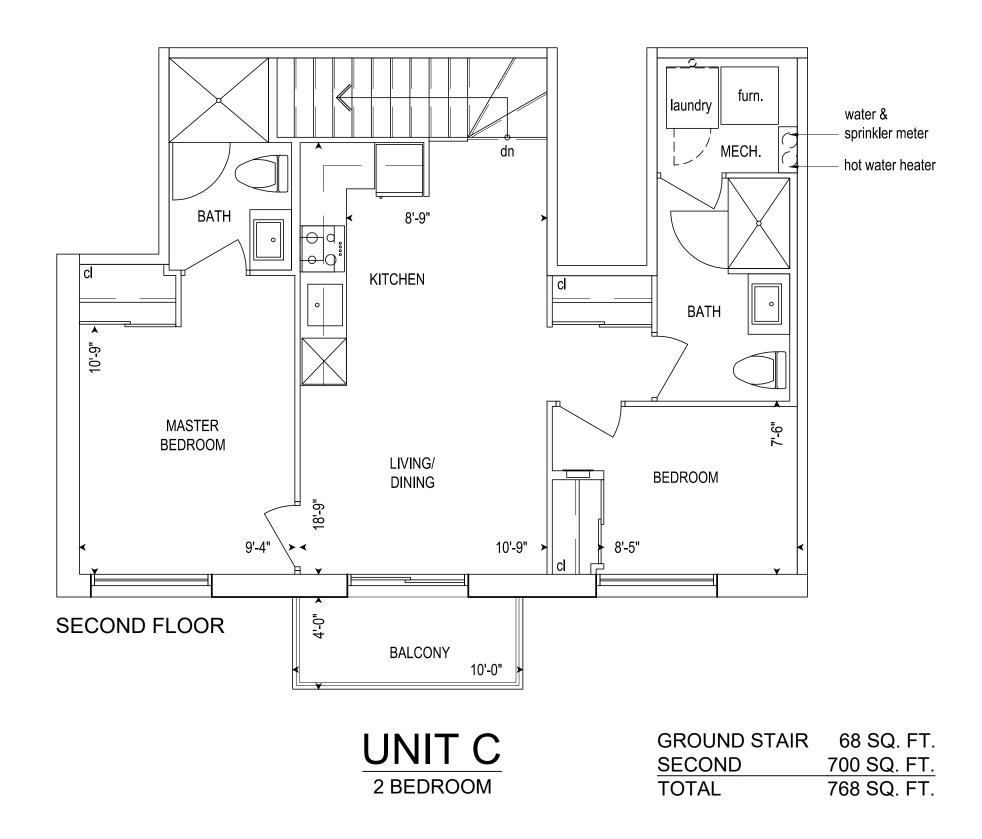
Drawing

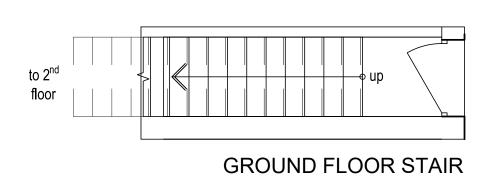
APARTMENT PLANS GRND / 2ND FLOORS

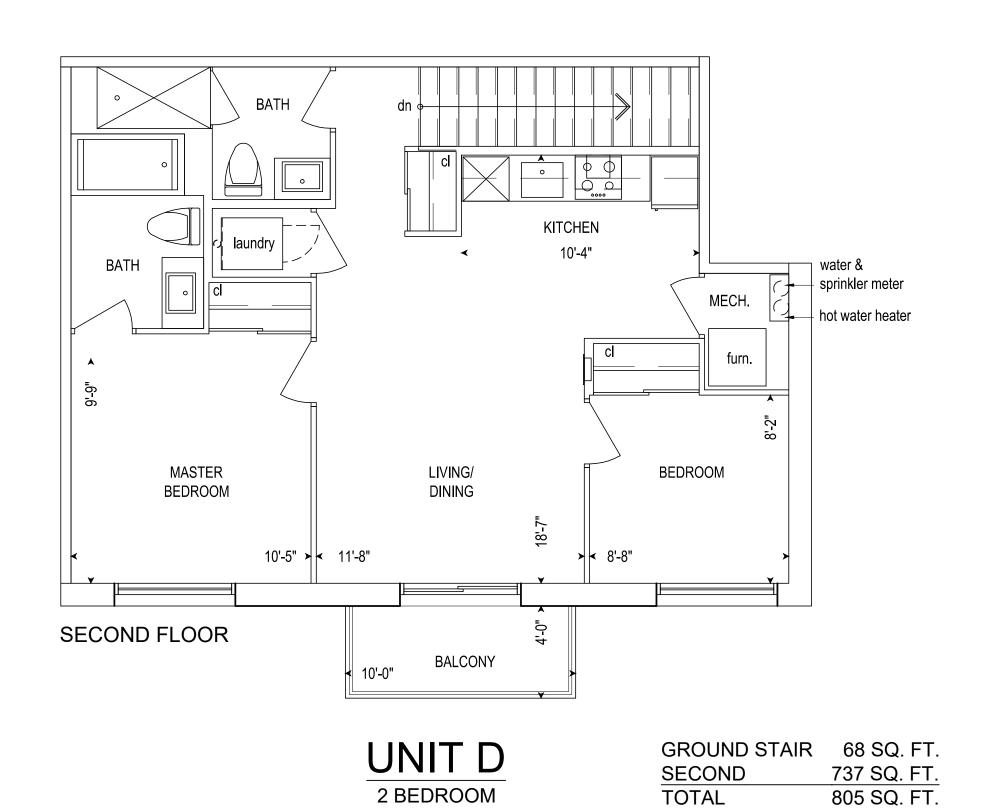


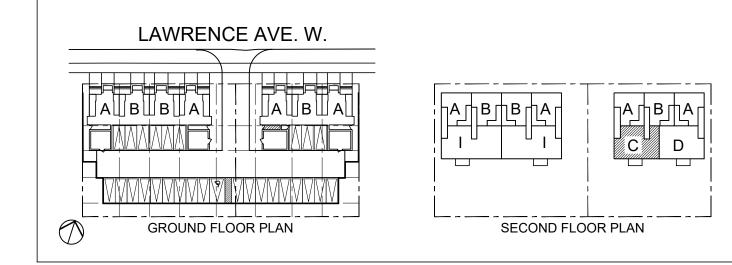
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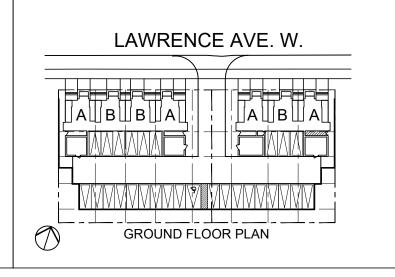


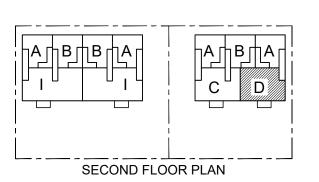










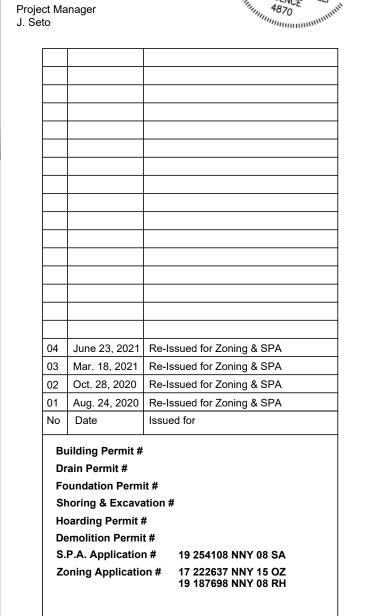


1700 Langstaff Road, Unit No.1003, Concord, Ontario, Canada, L4K 3S3 T. 905 761 9544 F. 905 532 0438

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Architect R. Varacalli Signature

Project Manager



Proposed Residential Development

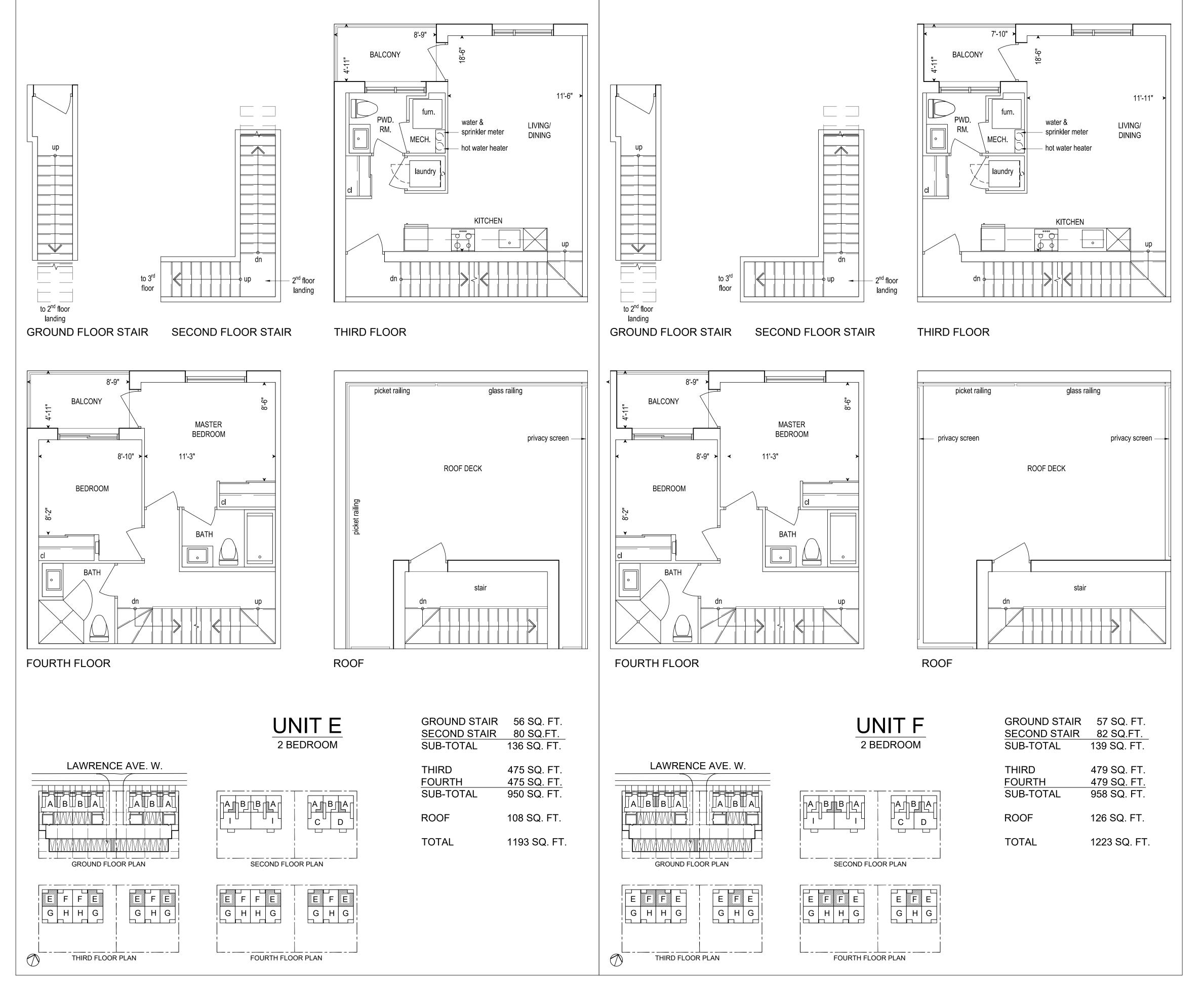
579 LAWRENCE APARTMENTS 579, 581, 583, 585 Lawrence Ave. W., Toronto

Drawing

APARTMENT PLANS GRND / 2ND FLOORS



Scale: 1:50
Plot date: JUNE 23, 2021



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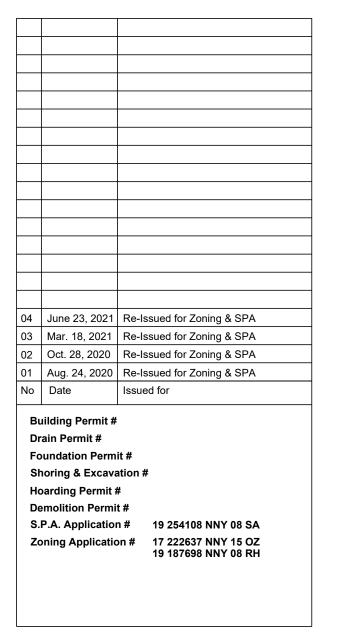
Architect R. Varacalli OAA. RAIC

by the architect.

Signature

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Project Manager



Proposed Residential Development

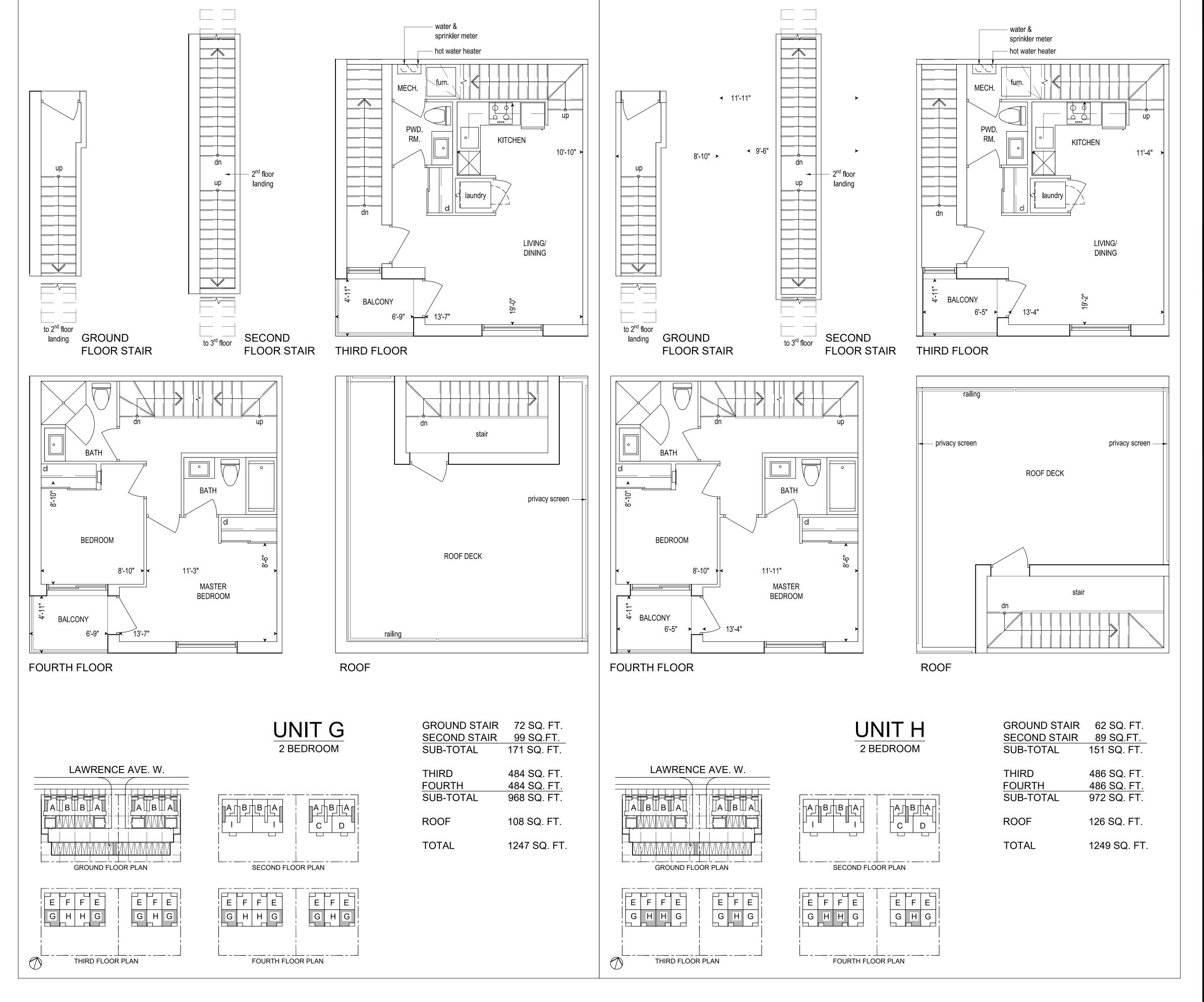
579 LAWRENCE APARTMENTS 579, 581, 583, 585 Lawrence Ave. W., Toronto

Drawing

APARTMENT PLANS
2ND FLOORS



Scale: 1:50 Plot date: JUNE 23, 2021



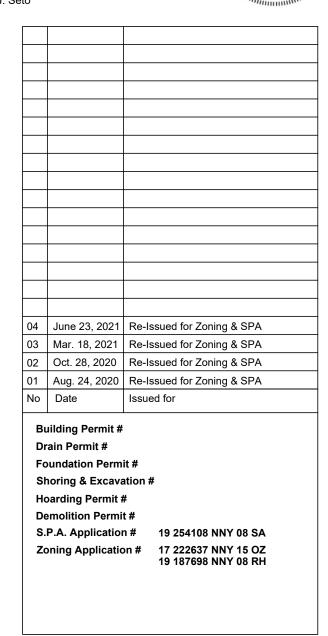
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Architect R. Varacalli OAA. RAIC



Project Manager



Proposed Residential Development

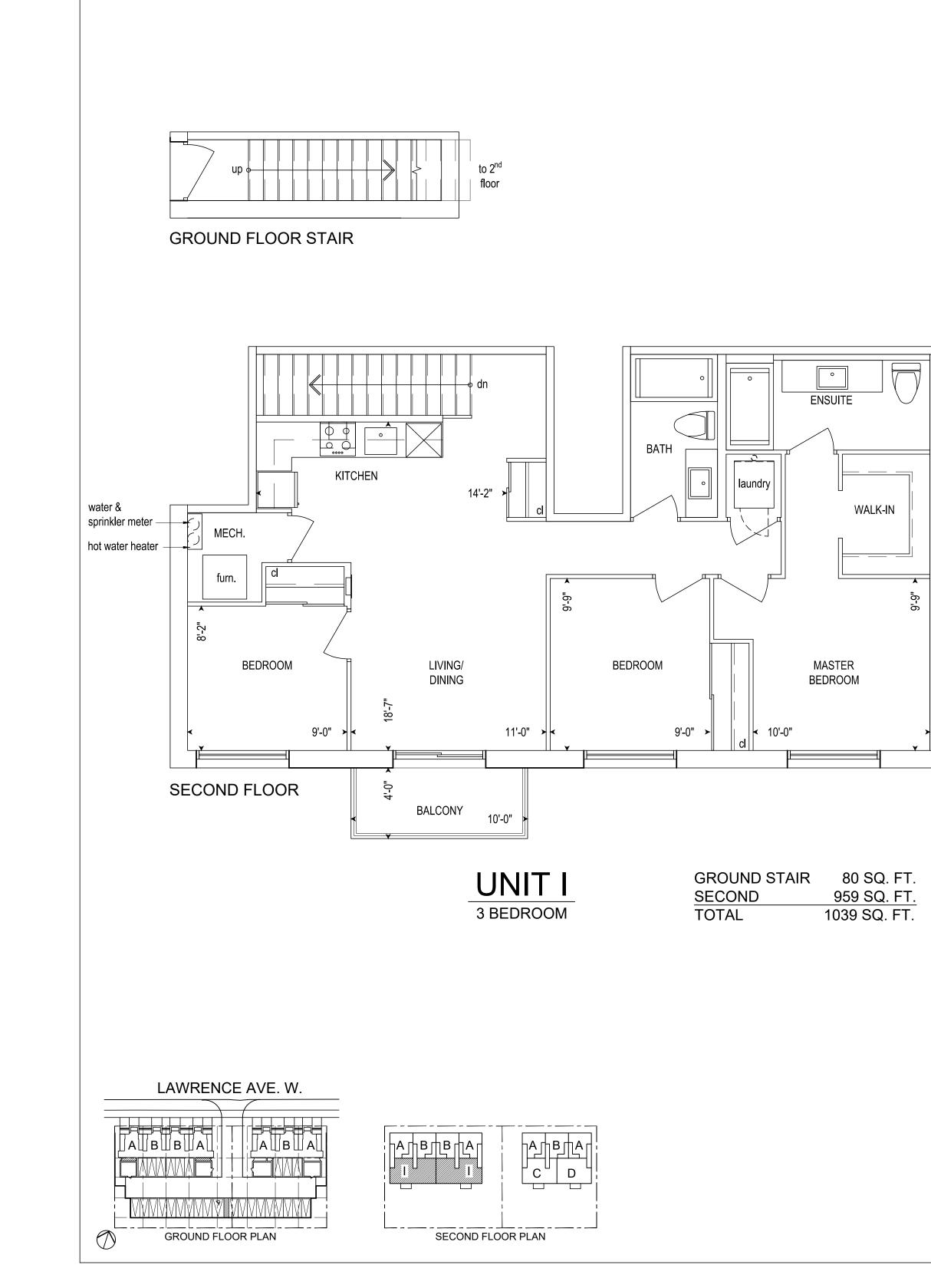
579 LAWRENCE APARTMENTS 579, 581, 583, 585 Lawrence Ave. W., Toronto

Drawing

APARTMENT PLANS



Scale: 1:50
Plot date: JUNE 23, 2021

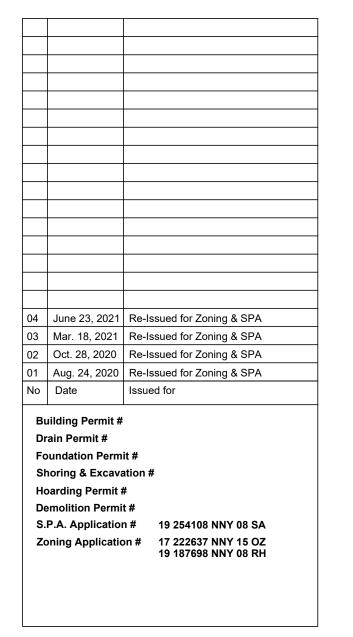


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Architect R. Varacalli

Project Manager J. Seto



Proposed Residential Development

579 LAWRENCE APARTMENTS 579, 581, 583, 585 Lawrence Ave. W., Toronto

Drawing

APARTMENT PLANS



Plot date: JUNE 23, 2021



ARCHITECTURAL LIGHTING LEGEND

PROVIDE DARK SKY COMPLIANT FIXTURES

WALL SCONCE

ALL MATERIALS MAY BE SUBSTITUTED FOR AN EQUAL

TAG: MATERIAL:

TYPE & COLOUR

1. BRICK

CLAY BRICK COLOUR 1

1. BRICK

CLAY BRICK COLOUR 2

2. SIDING

20. SIDING

COMPOSITE

4. RAILING

40. RAILING

41. RAILING

42. RAILING

43. PRE-FINISHED METAL

4. RAILING

40. RAILING

40. RAILING

40. ROORETE

CONCRETE

CONCR





r. Varacalli Architect inc.

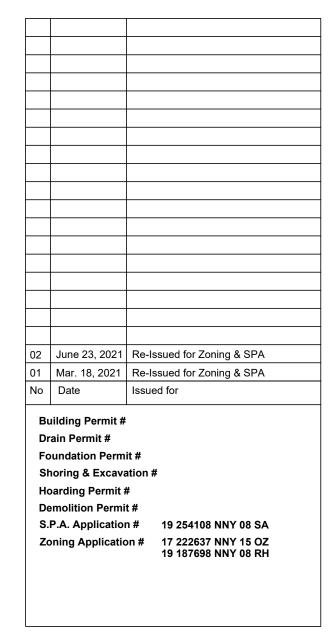
1700 Langstaff Road, Unit No.1003, Concord, Ontario, Canada, L4K 3S3 T. 905 761 9544 F. 905 532 0438

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Architect R. Varacalli OAA, RAIC

Signatu Signatu AR

Project Manager J. Seto



Proposed Residential Development

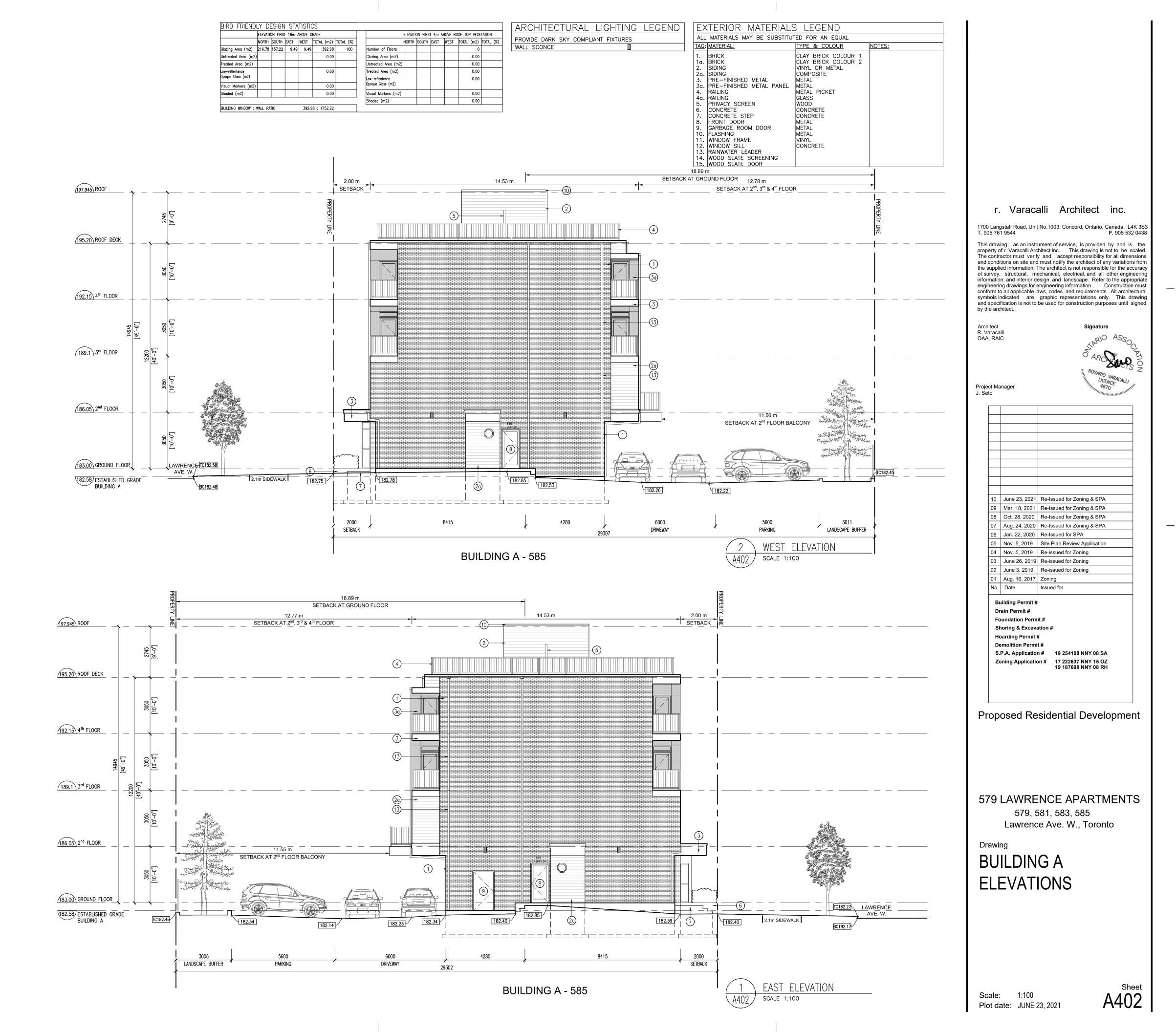
579 LAWRENCE APARTMENTS 579, 581, 583, 585 Lawrence Ave. W., Toronto

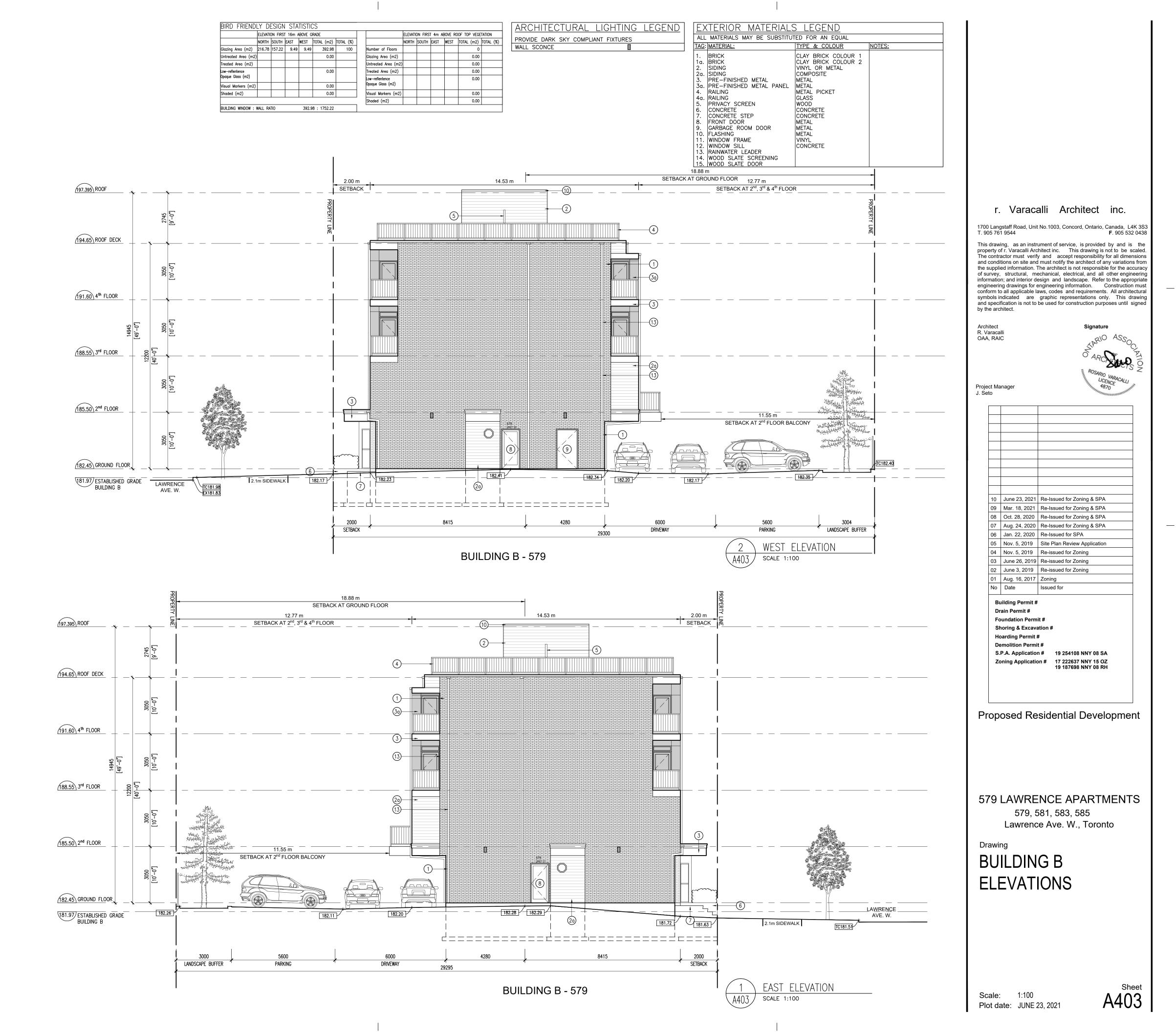
Drawing

NORTH & SOUTH ELEVATION DETAIL

Scale: 1:50 Plot date: JUNE 23, 2021 A401A

1 NORTH ELEVATION
A401A SCALE 1:50





1. BRICK
1a. BRICK
2. SIDING
2a. SIDING
3. PRE-FINISHED METAL
4. RAILING
ALLING
ALLING 5. PRIVACY SCREEN
6. CONCRETE
7. CONCRETE STEP
8. FRONT DOOR
9. GARBAGE ROOM DOOR
10. FLASHING
11. WINDOW FRAME
12. WINDOW SILL
13. RAINWATER LEADER
14. WOOD SLATE SCREENING
15. WOOD SLATE DOOR CONCRETE CONCRETE METAL METAL METAL VINYL CONCRETE r. Varacalli Architect inc. 1700 Langstaff Road, Unit No.1003, Concord, Ontario, Canada, L4K 3S3 T. 905 761 9544 F. 905 532 0438 This drawing, as an instrument of service, is provided by and is the property of r. Varacalli Architect inc. This drawing is not to be scaled. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify the architect of any variations from the supplied information. The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, and all other engineering 197.395 ROOF information; and interior design and landscape. Refer to the appropriate ROOF engineering drawings for engineering information. Construction must conform to all applicable laws, codes and requirements. All architectural symbols indicated are graphic representations only. This drawing by the architect. Architect Signature R. Varacalli OAA, RAIC (194.65) ROOF DECK ROOF DECK Project Manager J. Seto (191.60) 4th FLOOR 4th FLOOR 10 June 23, 2021 Re-Issued for Zoning & SPA 09 Mar. 18, 2021 Re-Issued for Zoning & SPA 08 Oct. 28, 2020 Re-Issued for Zoning & SPA 07 Aug. 24, 2020 Re-Issued for Zoning & SPA 06 Jan. 22, 2020 Re-Issued for SPA 05 Nov. 5, 2019 Site Plan Review Application 04 Nov. 5, 2019 Re-issued for Zoning 03 June 26, 2019 Re-issued for Zoning 02 June 3, 2019 Re-issued for Zoning 01 Aug. 16, 2017 Zoning 188.55 3rd FLOOR Building Permit # 3rd FLOOR Drain Permit # Foundation Permit # 10-Shoring & Excavation # Hoarding Permit # Demolition Permit # S.P.A. Application # (11)— 579 1)— Proposed Residential Development 185.50 2nd FLOOR 2nd FLOOR 579 LAWRENCE APARTMENTS 579, 581, 583, 585 I.SM WALKWAY TC182.37 Lawrence Ave. W., Toronto 182.45 GROUND FLOOR GROUND FLOOR Drawing 6 TC182.76 NORTH ELEVATION 181.97 ESTABLISHED GRADE BUILDING B BC182.22 182.17 182.23 182.16 182.05 181.83 BC181.71 181.63 NORTH ELEVATION A404a Scale: 1:50
Plot date: JUNE 23, 2021 A4040 SCALE 1:50

ARCHITECTURAL LIGHTING LEGEND

PROVIDE DARK SKY COMPLIANT FIXTURES
WALL SCONCE

EXTERIOR MATERIALS LEGEND

ALL MATERIALS MAY BE SUBSTITUTED FOR AN EQUAL

TYPE & COLOUR

and specification is not to be used for construction purposes until signed

ARCHITECTURAL LIGHTING LEGEND

PROVIDE DARK SKY COMPLIANT FIXTURES

WALL SCONCE

MALL SCONCE

MALL SCONCE

MALL MATERIALS MAY BE SUBSTITUTED FOR AN EQUAL

TAG: MATERIAL:

TYPE & COLOUR

ALL MATERIAL:

TYPE & COLOUR

1. BRICK

1. BRICK

1. BRICK

2. SIDING

20. SIDING

3. PRE-FINISHED METAL
30. PRE-FINISHED METAL PANEL
4. RAILING
4. RAILING
4. RAILING
5. PRIVACY SCREEN
6. CONCRETE
7. CONCRETE
7. CONCRETE
8. FRONT DOOR
8. FRONT DOOR
METAL
9. GARBAGE ROOM DOOR
METAL
10. FLASHING
11. WINDOW FRAME
11. WINDOW FRAME
12. WINDOW SILL
13. RAINWATER LEADER
14. WOOD SLATE DOOR



r. Varacalli Architect inc.

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Architect R. Varacalli OAA, RAIC Project Manager J. Seto

| 10 | June 23, 2021 | Re-Issued for Zoning & SPA | | | |
|------------------------------------|---------------|------------------------------|--|--|--|
| 09 | Mar. 18, 2021 | Re-Issued for Zoning & SPA | | | |
| 80 | Oct. 28, 2020 | Re-Issued for Zoning & SPA | | | |
| 07 | Aug. 24, 2020 | Re-Issued for Zoning & SPA | | | |
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| 05 | Nov. 5, 2019 | Site Plan Review Application | | | |
| 04 | Nov. 5, 2019 | Re-issued for Zoning | | | |
| 03 | June 26, 2019 | Re-issued for Zoning | | | |
| 02 | June 3, 2019 | Re-issued for Zoning | | | |
| 01 | Aug. 16, 2017 | Zoning | | | |
| No | Date | Issued for | | | |
| Building Permit # | | | | | |
| Drain Permit # Foundation Permit # | | | | | |
| | | | | | |

Proposed Residential Development

S.P.A. Application # 19 254108 NNY 08 SA

Hoarding Permit #
Demolition Permit #

579 LAWRENCE APARTMENTS 579, 581, 583, 585 Lawrence Ave. W., Toronto

Drawing SOUTH ELEVATION

Scale: 1:50
Plot date: JUNE 23, 2021

A404b

1. BRICK
1a. BRICK
2. SIDING
2a. SIDING
3. PRE-FINISHED METAL
4. RAILING
20. SIDING
30. PRE-FINISHED METAL PANEL
4. RAILING
50. PRE-FINISHED METAL PANEL
50. PRE-FINISHED PANEL
50. PRE-FIN 5. PRIVACY SCREEN
6. CONCRETE
7. CONCRETE STEP
8. FRONT DOOR
9. GARBAGE ROOM DOOR
10. FLASHING
11. WINDOW FRAME
12. WINDOW SILL
13. RAINWATER LEADER
14. WOOD SLATE SCREENING
15. WOOD SLATE DOOR CONCRETE CONCRETE METAL METAL METAL VINYL CONCRETE by the architect. Architect R. Varacalli OAA, RAIC Project Manager J. Seto ROOF DECK 4th FLOOR Building Permit # 3rd FLOOR Drain Permit # Foundation Permit # Shoring & Excavation # Hoarding Permit # Demolition Permit # Proposed Residential Development 579 UNIT 10 **579 LAWRENCE APARTMENTS** 9 Lawrence Ave. W., Toronto TC182.4 GROUND FLOOR 182.41 182.34 182.35 182.23 182.20 2.1m SIDEWALK 182.17 182.17 1 WEST ELEVATION
A404c SCALE 1:50 Scale: 1:50
Plot date: JUNE 23, 2021

r. Varacalli Architect inc.

ARCHITECTURAL LIGHTING LEGEND EXTERIOR MATERIALS LEGEND

PROVIDE DARK SKY COMPLIANT FIXTURES

WALL SCONCE

ALL MATERIALS MAY BE SUBSTITUTED FOR AN EQUAL

TYPE & COLOUR

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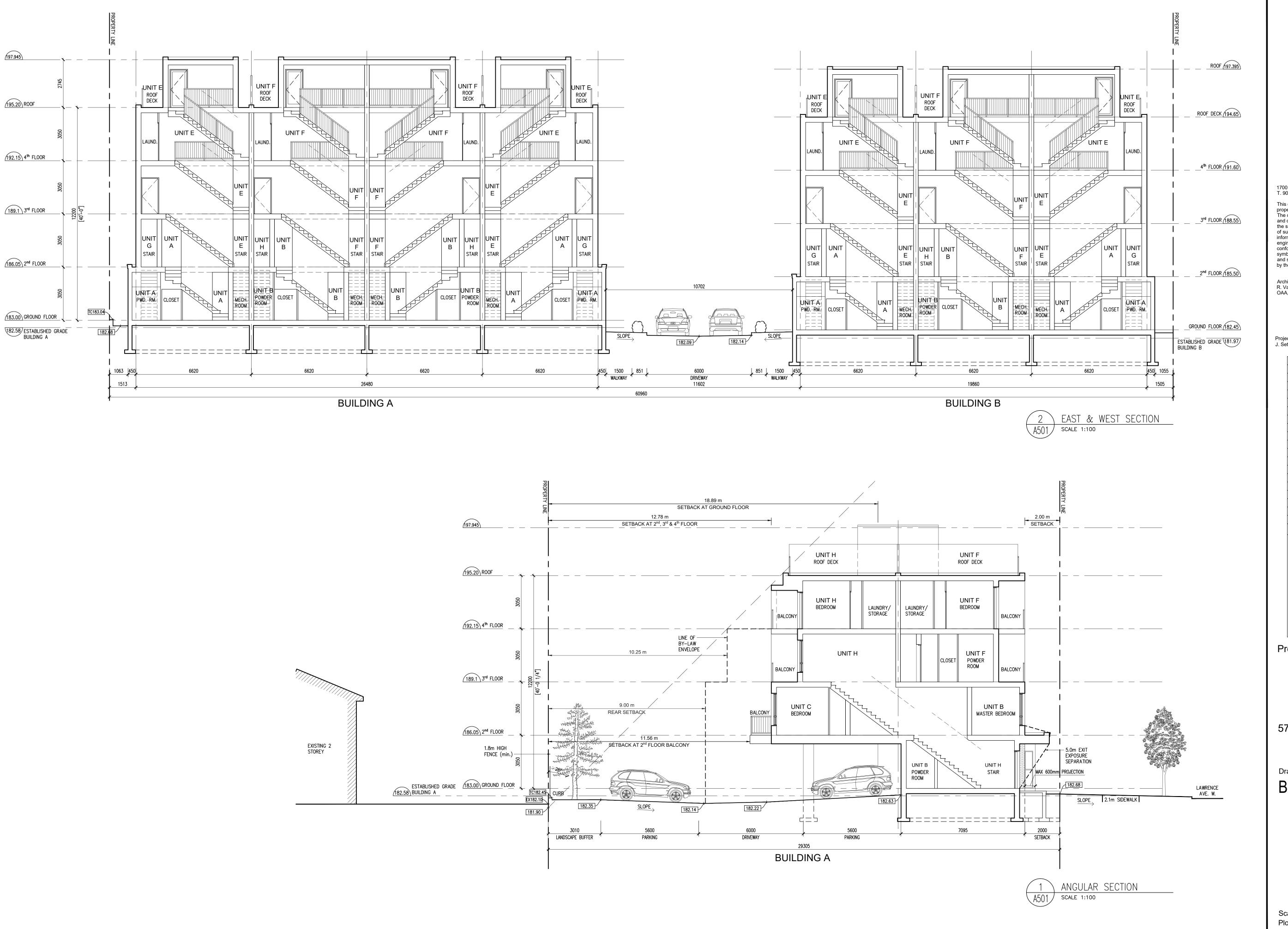
Signature

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| 01 | Aug. 16, 2017 | Zoning |
| No | Date | Issued for |

579, 581, 583, 585

WEST ELEVATION

A404c



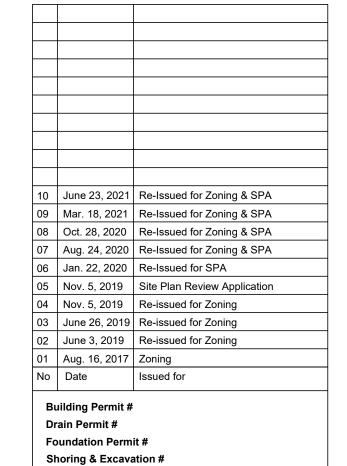
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Signature

Architect R. Varacalli OAA. RAIC

Project Manager J. Seto



Proposed Residential Development

Zoning Application # 17 222637 NNY 15 OZ

Hoarding Permit #
Demolition Permit #
S.P.A. Application #

579 LAWRENCE APARTMENTS 579, 581, 583, 585 Lawrence Ave. W., Toronto

BUILDING SECTIONS

Scale: 1:100 Plot date: JUNE 23, 2021