

APPENDIX I

Statements of Significance

By-law 1386-2017

Authority: MM31.37, by Councillor Christin Carmichael Greb, seconded by Councillor David Shiner, as adopted by City of Toronto Council on July 4, 5, 6 and 7, 2017

CITY OF TORONTO

BY-LAW 1386-2017

To designate the property at 2430 and 2434 Yonge Street (including the entrance address at 2436 Yonge Street) as being of cultural heritage value or interest.

Whereas the *Ontario Heritage Act* authorizes the Council of a municipality to enact by-laws to designate real property, including all buildings and structures thereon, to be of cultural heritage value or interest; and

Whereas authority was granted by Council to designate the property at 2430 and 2434 Yonge Street as being of cultural heritage value or interest; and

Whereas the Council of the City of Toronto has caused to be served upon the owners of the land and premises known as 2430 and 2434 Yonge Street and upon the Ontario Heritage Trust, Notice of Intention to designate the property, and has caused the Notice of Intention to be posted on the City's web site for a period of 30 days in accordance with Municipal Code Chapter 162, Notice, Public, Article II, § 162-4.1. Notice requirements under the *Ontario Heritage Act*; and

Whereas no notice of objection was served upon the Clerk of the municipality; and

Whereas the reasons for designation are set out in Schedule A to this by-law;

The Council of the City of Toronto enacts:

1. The property at 2430 and 2434 Yonge Street (including the entrance address at 2436 Yonge Street) more particularly described in Schedule B attached to this by-law, is designated as being of cultural heritage value or interest.
2. The City Solicitor is authorized to cause a copy of this by-law to be registered against the property described in Schedule B to this by-law in the proper Land Registry Office.
3. The City Clerk is authorized to cause a copy of this by-law to be served upon the owners of the property at 2430 and 2434 Yonge Street and upon the Ontario Heritage Trust and to cause notice of this by-law to be posted on the City's web site for a period of 30 days in accordance with Municipal Code Chapter 162, Notice, Public, Article II, § 162-4.1. Notice requirements under the *Ontario Heritage Act*.

Enacted and passed on December 8, 2017.

Frances Nunziata,
Speaker

Ulli S. Watkiss,
City Clerk

(Seal of the City)

SCHEDULE A
STATEMENT OF SIGNIFICANCE
REASONS FOR DESIGNATION

2430 Yonge Street

The property at 2430 Yonge Street is worthy of designation under Part IV, Section 29 of the Ontario Heritage Act for its cultural heritage value, and meets Ontario Regulation 9/06, the provincial criteria prescribed for municipal designation under all three categories of design, associative and contextual values.

Description

Located on the west side of Yonge Street, south of Roselawn Avenue, the property at 2430 Yonge Street contains a commercial building that was constructed in 1938 by Principal Investments Limited, designed by Toronto architect N. A. Armstrong, and originally occupied by the Singer Sewing Company.

Statement of Significance

The property at 2430 Yonge Street has design value as a representative example of a commercial building from the interwar era with the clean lines, restrained classical detailing, and framed window openings of Moderne architecture.

The property at 2430 Yonge Street is valued for its association through its design by Toronto architect N. A. Armstrong. Known for his eclectic designs, Armstrong's portfolio ranged from the Spanish Revival-inspired Savarin Tavern (1929) to the International Harvester Company Showroom (1939) that represented his full expression of Moderne architecture, which are recognized heritage properties in Toronto. With the commercial building at 2430 Yonge, Armstrong favoured a restrained Moderne design with stylized classical detailing that anticipated his later work in this style.

The property at 2430 Yonge Street also has value for its association with Principal Investments Limited, the Toronto-based real estate and construction firm that developed it along with the neighbouring commercial building (1938) at 2434 Yonge Street. Headed by Saul Bennett and his four sons, Principal Investments Limited was noted for the numerous theatres, chain stores and office buildings it constructed across Canada in the 20th century, including the Hollywood, The Village and the Scarboro Theatres in Toronto.

Contextually, the property at 2430 Yonge Street, with its neighbour at 2434 Yonge, has value as it supports and maintains the character of the Yonge-Eglinton area as it evolved after the annexation of the Town of North Toronto (1912) and to the later development of Yonge Street as the community's "Main Street.". The subject property is historically, visually and physically linked to its setting on the west side of Yonge Street in the block between Montgomery Avenue (south) and Roselawn Avenue (north), which is anchored at the south end by Police Station #12 (1932), a recognized heritage property. The property at 2430 Yonge Street is also important in context with the adjacent commercial building at 2434 Yonge Street, complementing it in scale, setback, cladding and vintage.

Heritage Attributes

The heritage attributes of the commercial building at 2430 Yonge Street are:

- The setback, placement and orientation of the building on the west side of Yonge Street, south of Roselawn Avenue
- The scale, form and massing of the two-storey building with the rectangular shaped plan
- The materials, with the stucco cladding and detailing on the principal (east) elevation
- The flat roofline, with the stone coping and the cornice with the classical Greek key pattern on the principal (east) elevation
- On the principal (east) elevation, above the first (ground) floor storefronts (which have been altered over time), the trio of horizontal flat-headed window openings in the second storey that are placed in a frame with stucco trim

The side elevations (north and south) are concealed by the neighbouring buildings, and no heritage attributes are identified on the rear (west) elevation.

2434 Yonge Street

The property at 2434 Yonge Street is worthy of designation under Part IV, Section 29 of the Ontario Heritage Act for its cultural heritage value, and meets Ontario Regulation 9/06, the provincial criteria prescribed for municipal designation under all three categories of design, associative and contextual values.

Description

Located on the west side of Yonge Street, south of Roselawn Avenue, the property at 2434 Yonge Street contains a commercial building that was constructed in 1930 by Principal Investments Limited, designed by Toronto architect Herbert G. Duerr, and first occupied by the F. C. Burroughes Furniture Company's North Toronto branch.

Statement of Significance

The property at 2434 Yonge Street has design value as a representative example of a commercial building from the interwar era with Spanish Revival features. It is distinguished from other commercial edifices in the area by its tripartite design with corner towers and central arcade.

The associative value of the property at 2434 Yonge Street is through its connection to Toronto architect H. G. (Herbert George) Duerr. Known for his commissions for movie theatres that resulted in his appointment as corporate architect for the Famous Players chain, Duerr's theatricality is seen in his Spanish Revival design for the subject building. The architect's subsequent commissions included Creed's Storage Vaults (1937) at 295 Davenport Road, which is recognized on the City's Heritage Register.

The property at 2434 Yonge Street also has value for its association with Principal Investments Limited, the Toronto-based real estate and construction firm that developed it along with the neighbouring commercial building (1938) at 2430 Yonge Street. Headed by Saul Bennett and his four sons, Principal Investments Limited was noted for the numerous theatres, chain stores

and office buildings it constructed across Canada in the 20th century, including the Hollywood, The Village and the Scarboro Theatres in Toronto.

Contextually, the property at 2434 Yonge Street, with its neighbour at 2430 Yonge, has value as it supports and maintains the character of the Yonge-Eglinton area as it evolved after the annexation of the Town of North Toronto (1912) and to the later development of Yonge Street as the community's "Main Street." The subject property is historically, visually and physically linked to its setting on the west side of Yonge Street in the block between Montgomery Avenue (south) and Roselawn Avenue (north), which is anchored at the south end by Police Station #12 (1932), a recognized heritage property. The property at 2434 Yonge Street is also important in context with the adjacent commercial building at 2430 Yonge Street, complementing it in scale, setback, cladding and vintage.

Heritage Attributes

The heritage attributes of the commercial building at 2434 Yonge Street are:

- The setback, placement and orientation of the building on the west side of Yonge Street, south of Roselawn Avenue
- The scale, form and massing of the two-storey building with the rectangular shaped plan
- The materials, with the stucco cladding and detailing on the principal (east) elevation (the exposed north elevation has red brick cladding)
- The flat roofline with the coping (the original tiled roof was removed from the centre section)
- The principal (east) elevation, which is organized into three bays with the projecting end bays (north and south)
- In the centre bay of the principal (east) elevation, above the first (ground) floor storefronts (which have been altered over time), the arcade of four round-arched window openings with the stucco detailing
- The outer bays (north and south) on the principal (east) elevation, with the single flat-headed openings with transoms in the first floor and, in the second storey, the single narrow flat-headed openings with the stucco trim, including the embellishments beneath

The south side elevation is concealed by the neighbouring building, and no heritage attributes are identified on the rear (west) elevation.

SCHEDULE B
LEGAL DESCRIPTION

PIN 21171-0059(LT)

PT LT 3-4 PL 563 NORTH TORONTO AS IN EO40593

City of Toronto Province of Ontario
Registry Division of the Toronto Registry Office (No. 66)

PIN 21171-0058(LT)

PT LT 1 RANGE 1 PL 734 NORTH TORONTO; PT LT 4 PL 563 NORTH TORONTO AS IN
CT980826

City of Toronto Province of Ontario
Registry Division of the Toronto Registry Office (No. 66)

APPENDIX II

Development Drawings
as prepared by Hariri Pontarini Architects

City of Toronto By-Law 569-2013							City of Toronto By-Law 438-86																		
		GROSS FLOOR AREA (GFA)						GROSS FLOOR AREA (GFA)																	
		COMMERCIAL		RESIDENTIAL		TOTAL		COMMERCIAL		RESIDENTIAL		TOTAL													
		sq. m.	sq. ft.	sq. m.	sq. ft.	sq. m.	sq. ft.	sq. m.	sq. ft.	sq. m.	sq. ft.	sq. m.	sq. ft.												
RESIDENTIAL TOWER	Mech			-	-	-	-	-	-	-	-	-	-												
	Level 27			768.63	8,273	768.63	8,273			821.23	8,840	821.23	8,840												
	Level 26			768.63	8,273	768.63	8,273			821.23	8,840	821.23	8,840												
	Level 25			768.63	8,273	768.63	8,273			821.23	8,840	821.23	8,840												
	Level 24			768.63	8,273	768.63	8,273			821.23	8,840	821.23	8,840												
	Level 23			1628.72	17,531	1628.72	17,531			1658.20	17,849	1658.20	17,849												
	Level 22			1628.72	17,531	1628.72	17,531			1658.20	17,849	1658.20	17,849												
	Level 21			1628.72	17,531	1628.72	17,531			1658.20	17,849	1658.20	17,849												
	Level 20			1628.72	17,531	1628.72	17,531			1658.20	17,849	1658.20	17,849												
	Level 19			1628.72	17,531	1628.72	17,531			1658.20	17,849	1658.20	17,849												
	Level 18			1628.72	17,531	1628.72	17,531			1658.20	17,849	1658.20	17,849												
	Level 17			1628.72	17,531	1628.72	17,531			1658.20	17,849	1658.20	17,849												
	Level 16			1628.72	17,531	1628.72	17,531			1658.20	17,849	1658.20	17,849												
	Level 15			1628.72	17,531	1628.72	17,531			1658.20	17,849	1658.20	17,849												
RESIDENTIAL PODIUM	Level 14			1628.72	17,531	1628.72	17,531			1658.20	17,849	1658.20	17,849												
	Level 13			1576.83	16,973	1576.83	16,973			1606.31	17,290	1606.31	17,290												
	Level 12			2270.15	24,436	2270.15	24,436			2299.63	24,753	2299.63	24,753												
	Level 11			2758.41	29,691	2758.41	29,691			2782.72	29,953	2782.72	29,953												
	Level 10			2758.41	29,691	2758.41	29,691			2782.72	29,953	2782.72	29,953												
	Level 9			2683.02	28,880	2683.02	28,880			2707.33	29,141	2707.33	29,141												
	Level 8			2845.79	30,632	2845.79	30,632			2870.10	30,893	2870.10	30,893												
	Level 7			2845.79	30,632	2845.79	30,632			2870.10	30,893	2870.10	30,893												
	Level 6			2753.63	29,640	2753.63	29,640			2777.94	29,901	2777.94	29,901												
	Level 5			2881.65	31,018	2881.65	31,018			2905.96	31,279	2905.96	31,279												
	Level 4			2881.65	31,018	2881.65	31,018			2905.96	31,279	2905.96	31,279												
	Level 3			2763.24	29,743	2763.24	29,743			2799.06	30,129	2799.06	30,129												
	Level 2 (Upper)			1081.24	11,638	1081.24	11,638			1081.00	11,636	1081.00	11,636												
	Level 2 (Main)	3541.51	38,120	631.15	6,794	4172.66	44,914	3539.84	38,103	625.92	6,737	4165.76	44,840												
Level 1	2488.48	26,786			2488.48	26,786	2492.37	26,828			2492.37	26,828													
	TOTAL	6,029.99		64,906		48,718.68		524,404		54,748.67		589,310		6,032.21		64,930		49,507.7		532,896		55,539.9		597,826	
		sq. m.	sq. ft.	sq. m.	sq. ft.	sq. m.	sq. ft.	sq. m.	sq. ft.	sq. m.	sq. ft.	sq. m.	sq. ft.	sq. m.	sq. ft.	sq. m.	sq. ft.	sq. m.	sq. ft.	sq. m.	sq. ft.	sq. m.	sq. ft.		
		COMMERCIAL		RESIDENTIAL		TOTAL		COMMERCIAL		RESIDENTIAL		TOTAL		COMMERCIAL		RESIDENTIAL		TOTAL		COMMERCIAL		RESIDENTIAL		TOTAL	
		GROSS FLOOR AREA (GFA) 569-2013						GROSS FLOOR AREA (GFA) 438-86																	

		Combined Unit Mix					
		Unit Type					Sub-total
		TH	BA	1BR	2BR	3BR	
RESIDENTIAL TOWER	Mech						
	Level 27	-	3	5	1	3	12
	Level 26	-	3	5	1	3	12
	Level 25	-	3	5	1	3	12
	Level 24	-	3	5	1	3	12
	Level 23	-	5	11	4	4	24
	Level 22	-	5	11	4	4	24
	Level 21	-	5	11	4	4	24
	Level 20	-	5	11	4	4	24
	Level 19	-	5	11	4	4	24
	Level 18	-	5	11	4	4	24
	Level 17	-	5	11	4	4	24
	Level 16	-	5	11	4	4	24
	Level 15	-	5	11	4	4	24
RESIDENTIAL PODIUM	Level 14	-	5	11	4	4	24
	Level 13	-	3	6	3	1	13
	Level 12	-	3	20	7	3	33
	Level 11	-	3	22	11	3	39
	Level 10	-	5	21	11	2	39
	Level 9	-	3	22	11	3	39
	Level 8	-	3	22	11	3	39
	Level 7	-	3	22	11	3	39
	Level 6	-	3	22	11	3	39
	Level 5	-	3	22	11	3	39
RETAIL PODIUM	Level 4	-	3	22	11	3	39
	Level 3	-	1	15	5	1	22
	Level 2 (Upper)	-	-	2	11	-	13
	Level 2 (Main)	-	-	-	-	-	-
		6	-	-	-	-	6

Total	6	95	348	158	80	687
Unit Mix	0.9%	13.8%	50.7%	23.0%	11.6%	
Target Mix	0.1%	16.8%	49.0%	21.8%	11.5%	

1. SITE AREA	8277.37
2. NO. OF RESIDENTIAL SUITES	687
3. GROSS FLOOR AREA (per bylaw 569-2013) and FLOOR SPACE INDEX (FSI)	

	HPA Scheme		aA Scheme	
	sq. m.	sq. ft.	sq. m.	sq. ft.
<i>Commercial</i>	6030	64,906	7916.23	85,210
<i>Residential</i>	48,718.68	524,404	44614.24	480,224

TOTAL	54,748.67	589,310	52530.47	565,433
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Project FSI	6.61	6.34
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4. BICYCLE PARKING STALLS	730
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5. INDOOR AMENITY (m2)	REQUIRED	1374m2
	PROVIDED	1374m2

6. OUTDOOR AMENITY (m2)	REQUIRED	1374m2
	PROVIDED	1374m2

8. GREEN ROOF CALCULATION									
	SOUTH TOWER + PODIUM					NORTH TOWER			
	Private Terraces	Outdoor Amenity	Available Roof	Total		Private Terraces	Outdoor Amenity	Available Roof	Total
TOP OF MPH	0	0	224.91	224.91		0	0	285.6	285.6
MAIN ROOF	0	0	501.84	501.84		0	0	447.16	447.16
13TH	101.25	391	120.51	612.76					
12TH	109.34	0	352.61	461.95					
9TH	110.6	0	0	110.6					
6TH	138.44	0	0	138.44					
3RD	141.43	983.37	495.85	1620.65					
2ND	181.06	0	514.54	695.6					
TOTAL	782.12	1374.37	2210.26	4366.75		0	0	732.76	732.76

Total Roof	5099.51 sm
Total Available Roof	2943.02 sm
Required Green Roof (60%)	1765.812 sm
Provided Green Roof	1781.75 sm

		HPA Scheme		aA Scheme	
		Sty	m	Sty	m
South Tower	Excluding MPH	27	97.20	27	90.85
North Tower	Excluding MPH	23	84.90	23	84.95
South Tower	Including MPH		103.20		97.85
North Tower	Including MPH		90.90		91.95
Podium		12	49.10	9	36.10

8. VEHICULAR PARKING (Approx., pending M/E, Civil & Structural Coordination)			
	Typical Stall	A/C Stall	Total
P1 Residentail	74	3	77
P1 Visitor	72	2	74
P2	122	7	129

<i>Total Residential</i>	196	10	206
<i>Total Visitor</i>	72	2	74

* - Includes 5 Car share Stalls

GFA Calculations as per City of Toronto Zoning By-Law No. 438-86

"Non-Residential Gross Floor Area" means the aggregate of the areas of each floor and the spaces occupied by walls and stairs, above or below grade, of a non-residential building or the non-residential portion of a mixed-use building, measured between the exterior faces of the exterior walls of the building or structure at the level of each floor, exclusive of the following areas:

- (i) a room or enclosed area, including its enclosing walls, within the building or structure above or below grade that is used exclusively for the accommodation of heating, cooling, ventilating, electrical, mechanical (other than escalators) or telecommunications equipment that service the building;
- (ii) loading facilities above or below grade required by this by-law;
- (iii) a part of the building or structure below grade that is used for the parking of motor vehicles or bicycles, storage or other accessory use;
- (iv) a part of the building or structure above grade that is used for the required parking or storage of bicycles; and
- (v) a part of the building or structure below grade that was erected and used for one or more non-residential use permitted by this by-law on the lot on January 31, 1976.

"Residential Gross Floor Area" means, subject to paragraph (ii) below, the aggregate of the areas of each floor and the space occupied by walls and stairs, above and below grade, of a residential building or the residential portion of a mixed-use building, measured between the exterior faces of the exterior walls of the building or structure, exclusive of the following areas:

- A. a room or enclosed area, including its enclosing walls within the building or structure above or below grade that is used exclusively for the accommodation of heating, cooling, ventilating, electrical, mechanical (other than escalators) or telecommunications equipment that serves the building;
- B. loading facilities required by this By-law or any other zoning by-law;
- C. a part of the building or structure that is used for the parking of motor vehicles or bicycles, storage, residential amenity space or other accessory use, provided the floor level, excluding any access ramp, is at least 0.9 metres below grade;
- D. above grade residential amenity space required by this By-law; and
- E. above grade bicycle parking spaces required by this By-law.

GFA Calculations as per City of Toronto Zoning By-Law No. 569-2013

"Non-Residential Gross Floor Area" is reduced by the area in the building used for:

- (A) required parking, loading and bicycle parking below-ground;
- (B) required loading spaces at the ground level and required bicycle parking spaces at or above-ground;
- (C) storage rooms, washrooms, electrical, utility, mechanical and ventilation rooms in the basement;
- (D) shower and change facilities required by this By-law for required bicycle parking spaces;
- (E) elevator shafts;
- (F) mechanical penthouse; and
- (G) exit stairwells in the building.

"Residential Gross Floor Area" is reduced by the area in the building used for:

- (A) parking, loading and bicycle parking below established grade;
- (B) required loading spaces and required bicycle parking spaces at or above established grade;
- (C) storage rooms, washrooms, electrical, utility, mechanical and ventilation rooms in the basement;
- (D) shower and change facilities required by this By-law for required bicycle parking spaces;
- (E) indoor amenity space required by this By-law;
- (F) elevator shafts;
- (G) garbage shafts;
- (H) mechanical penthouse; and
- (I) exit stairwells in the building.

General Notes:

1. These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretations clarification or supplementary information regarding the intent of the Contract Documents. The Architect will review Shop Drawings submitted by the Contractor for design conformance only.
2. Drawings are not to be scaled for construction. Contractor to verify all existing conditions and dimensions required to perform the Work and report any discrepancies with the Contract Documents to the Architect before commencing work.
3. Positions of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on the Electrical drawings. Those items not clearly located will be Architectural drawings govern over the Mechanical and Electrical drawings. Those items not clearly located as by the Architect.

02	ISSUED FOR REZONING	XX-AUG-2019
01	ISSUED FOR CONSULTANT USE FOR REZONING	26-JULY-2019
Rev.	Issue / Description	Date



Architect of Record:

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ARCHITECTS**
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FAX 416 929 8924
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Project Title

2400-2444 Yonge St
Mixed Use Development

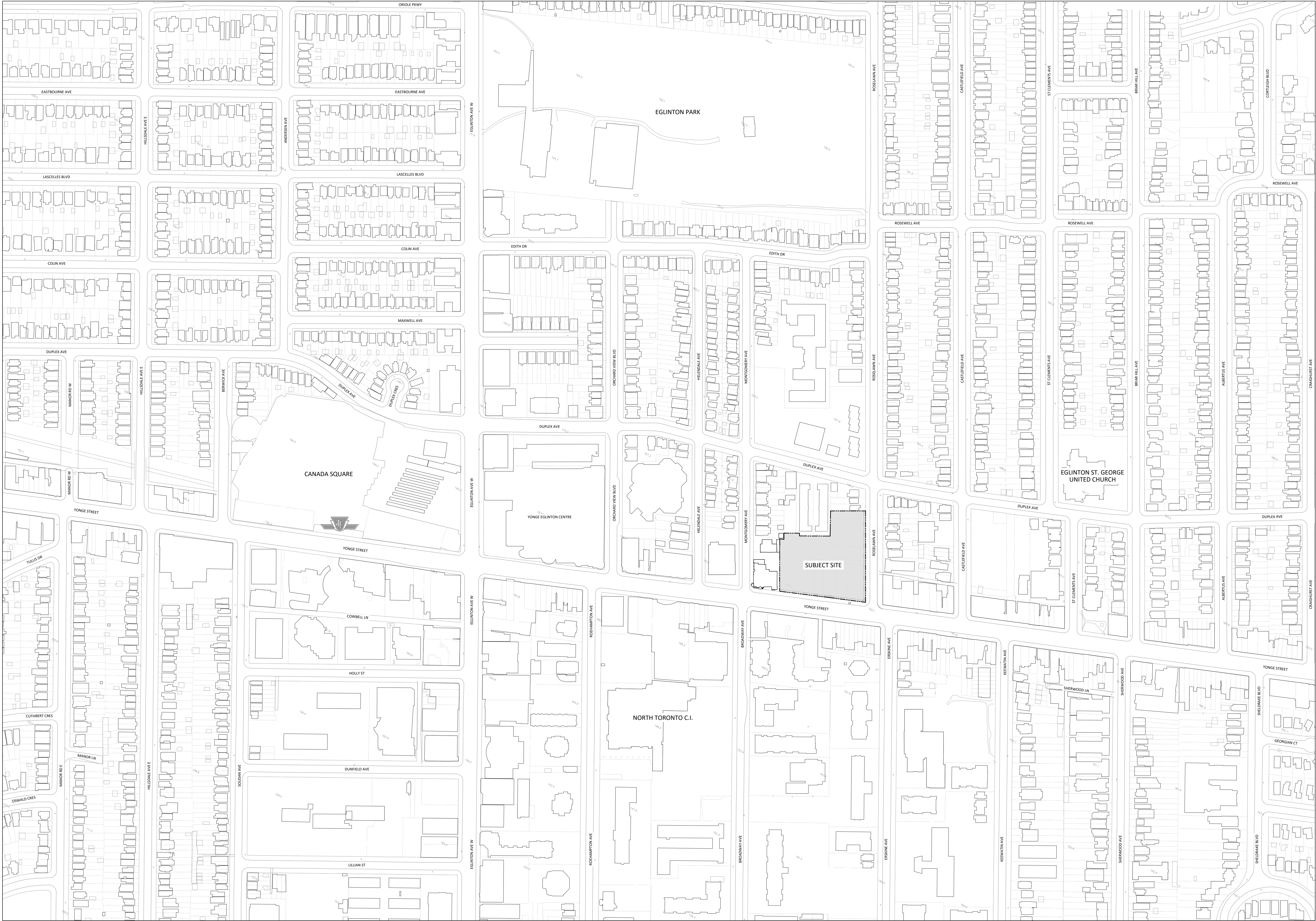
Development Statistics

Project number: 1829
Scale: NTS
Date: 2019-08-XX
Drawn by: HPA

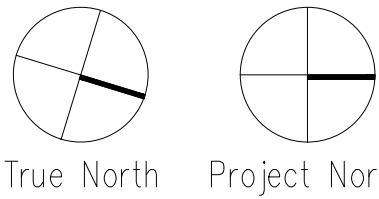
Drawing No.: Revision:

A101

Revision:



- General Notes:
1. These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretations of drawings or any other documents or information provided by the Client or any other party. The Architect will not be responsible for any errors or omissions in the drawings submitted by the Contractor for design conformance only.
 2. Drawings are not to be scaled for construction. Contractor to verify all existing conditions and dimensions required to perform the Work and report any discrepancies with the Contract Documents to the Architect before commencing work.
 3. Positions of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on the drawings. The Architect will not be responsible for any errors or omissions in the drawings submitted by the Contractor for design conformance only.



Rev.	Issue / Description	Date
02	ISSUED FOR REZONING	06-SEPT-2019
01	ISSUED FOR CONSULTANT USE FOR REZONING	26-JULY-2019



Architect of Record:

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Project Title:

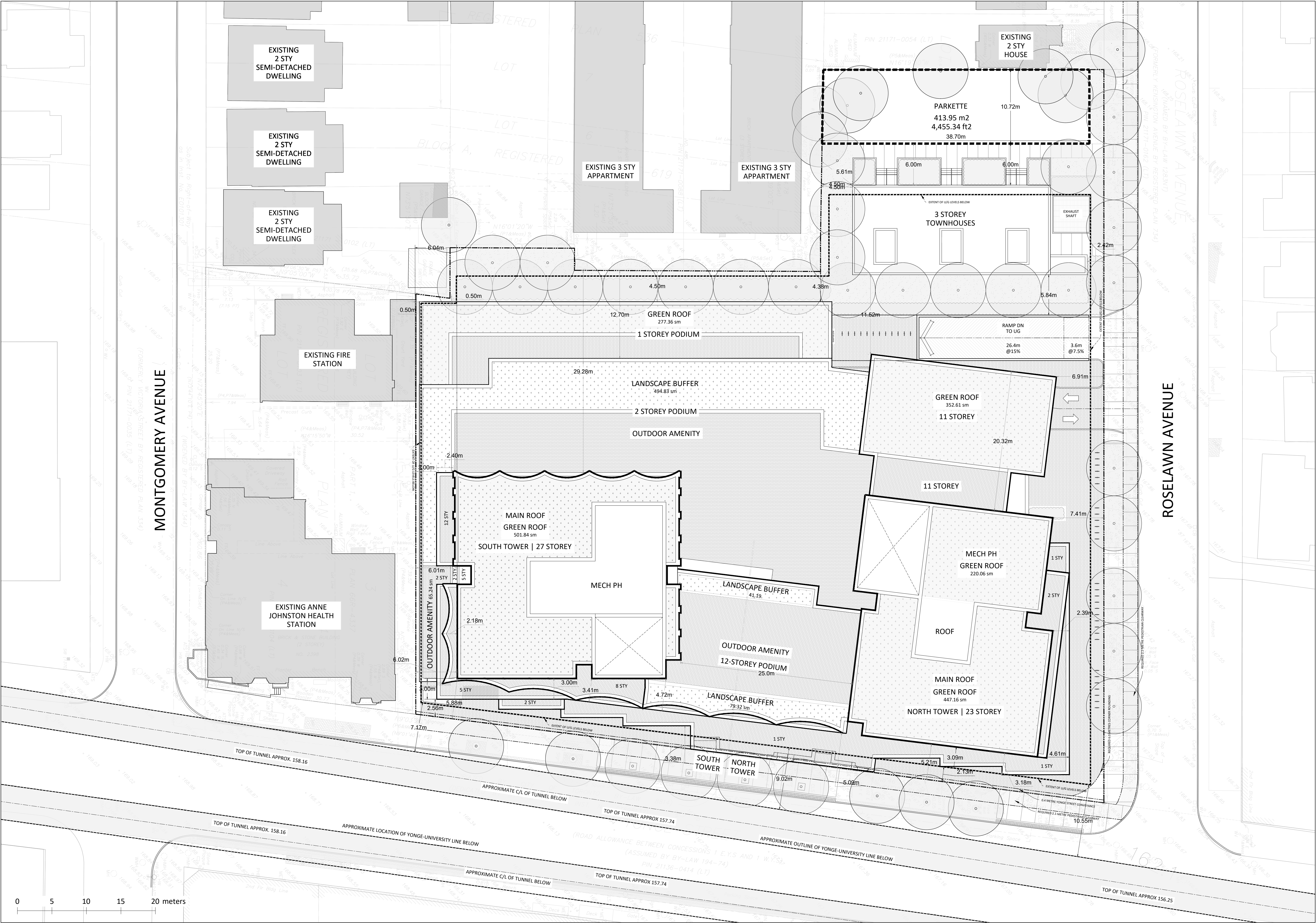
**2400-2444 Yonge St
Mixed Use Development**

Context Plan

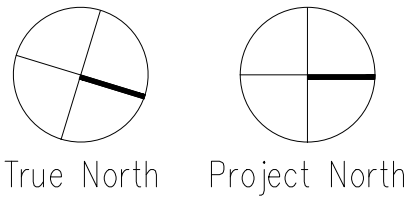
Project number: 1829
Scale: 1:2000
Date: 2019-09-06
Drawn by: HPA

Drawing No.: Revision:

A102



- General Notes:
- These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretations of the drawings or the use of the drawings for any purpose other than that intended by the Architect. The Contractor shall be responsible for the interpretation of the drawings and the use of the drawings for any purpose other than that intended by the Architect.
 - Drawings are not to be scaled for construction. Contractor to verify all existing conditions and dimensions required to perform the Work and report any discrepancies with the Contract Documents to the Architect before commencing work.
 - Positions of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on the drawings. The Contractor shall be responsible for the interpretation of the drawings and the use of the drawings for any purpose other than that intended by the Architect.



Rev.	Issue / Description	Date
02	ISSUED FOR REZONING	06-SEP-2019
01	ISSUED FOR CONSULTANT USE FOR REZONING	26-JULY-2019



Architect of Record:

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Project Title:

**2400-2444 Yonge St
Mixed Use Development**

Site Plan

Project number: 1829
Scale: 1:250
Date: 2019-09-06
Drawn by: HPA

Drawing No.: Revision:

A104

NOTES

1. ALL ACCESS DRIVEWAYS TO BE USED BY THE COLLECTION VEHICLE WILL BE LEVEL, AT LEAST 4.5 METERS WIDE THROUGHOUT THE SITE AND 6 METERS WIDE AT ENTRANCES AND EXITS, AND WILL HAVE A MINIMUM OVERHEAD TRAVELING CLEARANCE OF 4.4 METERS INCLUDING WHEN TRAVELING THROUGH OVER HEAD DOORS.
2. THE TYPE G LOADING SPACE WILL BE CONSTRUCTED OF AT LEAST 200MM OF REINFORCED CONCRETE, BE LEVEL (+/-2%) AND BE AT LEAST 4 METERS WIDE, 13 METERS LONG AND HAVE A MINIMUM VERTICAL CLEARANCE OF 6.1 METERS.
3. THE STAGING PAD ABUTTING THE TYPE 'G' LOADING SPACE WILL HAVE AN UNOCUMBERED VERTICAL CLEARANCE OF 6.1m (HEIGHT.) BE LEVEL (+/- 2%) AND BE CONSTRUCTED OF A MINIMUM OF 200mm REINFORCED CONCRETE.
4. A TRAINED ON-SITE STAFF MEMBER WILL BE AVAILABLE TO MANEUVER BIN FOR THE COLLECTION DRIVER AND ALSO ACT AS A FLAG-PERSON WHEN THE TRUCK IS REVERSING. IN THE EVENT THE ON-SITE STAFF IS UNAVAILABLE AT THE TIME THE CITY COLLECTION VEHICLES ARRIVE AT THE SITE, THE COLLECTION VEHICLE WILL LEAVE THE SITE AND NOT RETURN UNTIL THE NEXT SCHEDULED COLLECTION DAY.
5. BEFORE SOLID WASTE COLLECTION SERVICES ARE TO BEGIN, THE CITY WILL BE PROVIDED WITH A LETTER CERTIFIED BY A PROFESSIONAL ENGINEER THAT IN ALL CASES WHERE A COLLECTION VEHICLE IS REQUIRED TO DRIVE ONTO OR OVER A SUPPORTED STRUCTURE AND THE STRUCTURE CAN SAFELY SUPPORT A FULLY LOADED COLLECTION VEHICLE (35,000 KILOGRAMS) AND CONFORMS TO THE FOLLOWING:
 - DESIGN CODE: ONTARIO BUILDING CODE.
 - DESIGN LOAD: CITY BULK LIFT VEHICLE IN ADDITION BUILDING CODE REQUIREMENTS.
 - IMPACT FACTOR: 5% FOR MAXIMUM VEHICULAR SPEEDS TO 15 KM/HR AND 30%

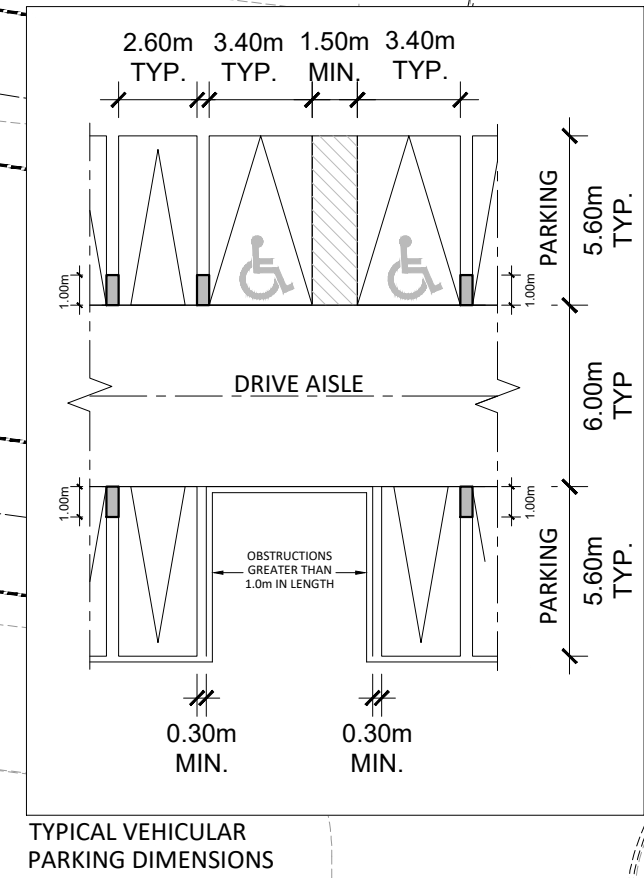
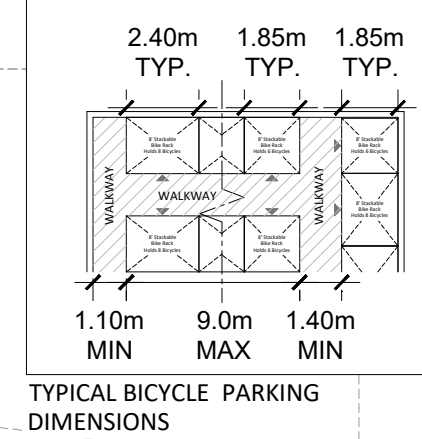
6. BINS THAT WILL BE USED FOR THE NON-RESIDENTIAL WASTE WILL BE LABELLED SEPARATELY FROM THE BINS FOR RESIDENTIAL WASTE (I.E. "RETAIL WASTE ONLY").

SOLID WASTE MANAGEMENT PROVIDED:

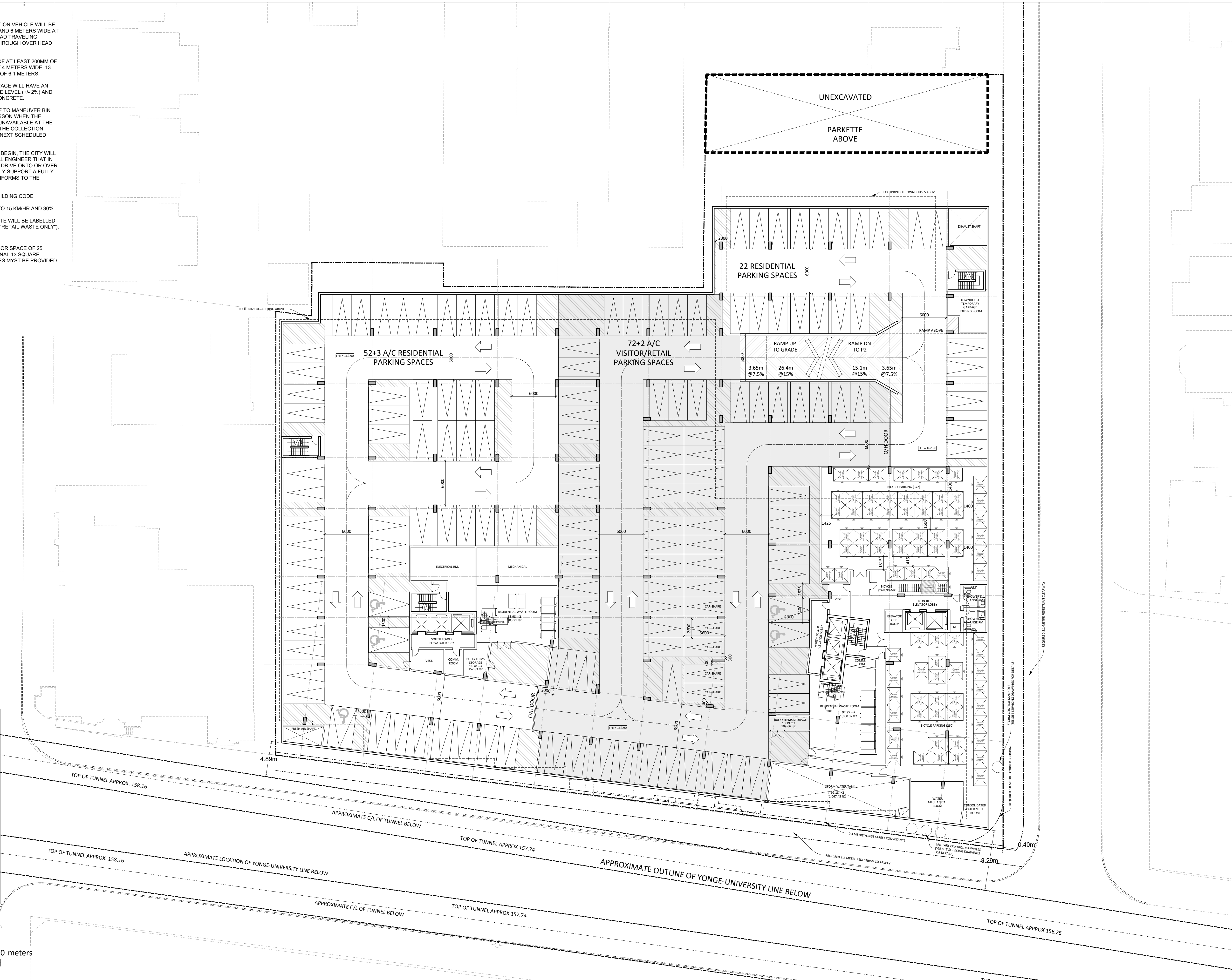
THE WASTE STORAGE ROOM MUST PROVIDE A MINIMUM FLOOR SPACE OF 25 SQUARE METRES FOR THE FIRST 50 UNITS PLUS AN ADDITIONAL 13 SQUARE METRES FOR EACH ADDITIONAL 50 UNITS. 10 SQUARE METRES MUST BE PROVIDED FOR BULKY ITEMS.

SOUTH TOWER
TOTAL NUMBER OF UNITS = 331
REQUIRED: 98.06m²
PROVIDED: 83.98m² + 14.20m² = **98.18m²**

NORTH TOWER
TOTAL NUMBER OF UNITS = 350
REQUIRED: 103m²
PROVIDED: 92.95m² + 10.19m² = **103.14m²**

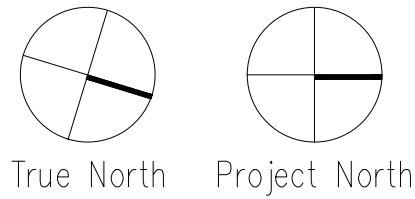


0 5 10 15 20 meters



General Notes:

1. These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretations of the drawings or the information contained therein. The intent of the drawings is to be used as a guide only. The Contractor shall be responsible for the interpretation of the drawings and the information contained therein. The Contractor shall be responsible for the interpretation of the drawings and the information contained therein.
2. Drawings are not to be scaled for construction. Contractor to verify all existing conditions and dimensions required to perform the Work and report any discrepancies with the Contract Documents to the Architect before commencing work.
3. Positions of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on the drawings. The Contractor shall be responsible for the interpretation of the drawings and the information contained therein. The Contractor shall be responsible for the interpretation of the drawings and the information contained therein.



Rev.	Issue / Description	Date
02	ISSUED FOR REZONING	06-SEPT-2019
01	ISSUED FOR CONSULTANT USE FOR REZONING	26-JULY-2019



Architect of Record:

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hariripontarini.com

Project Title:

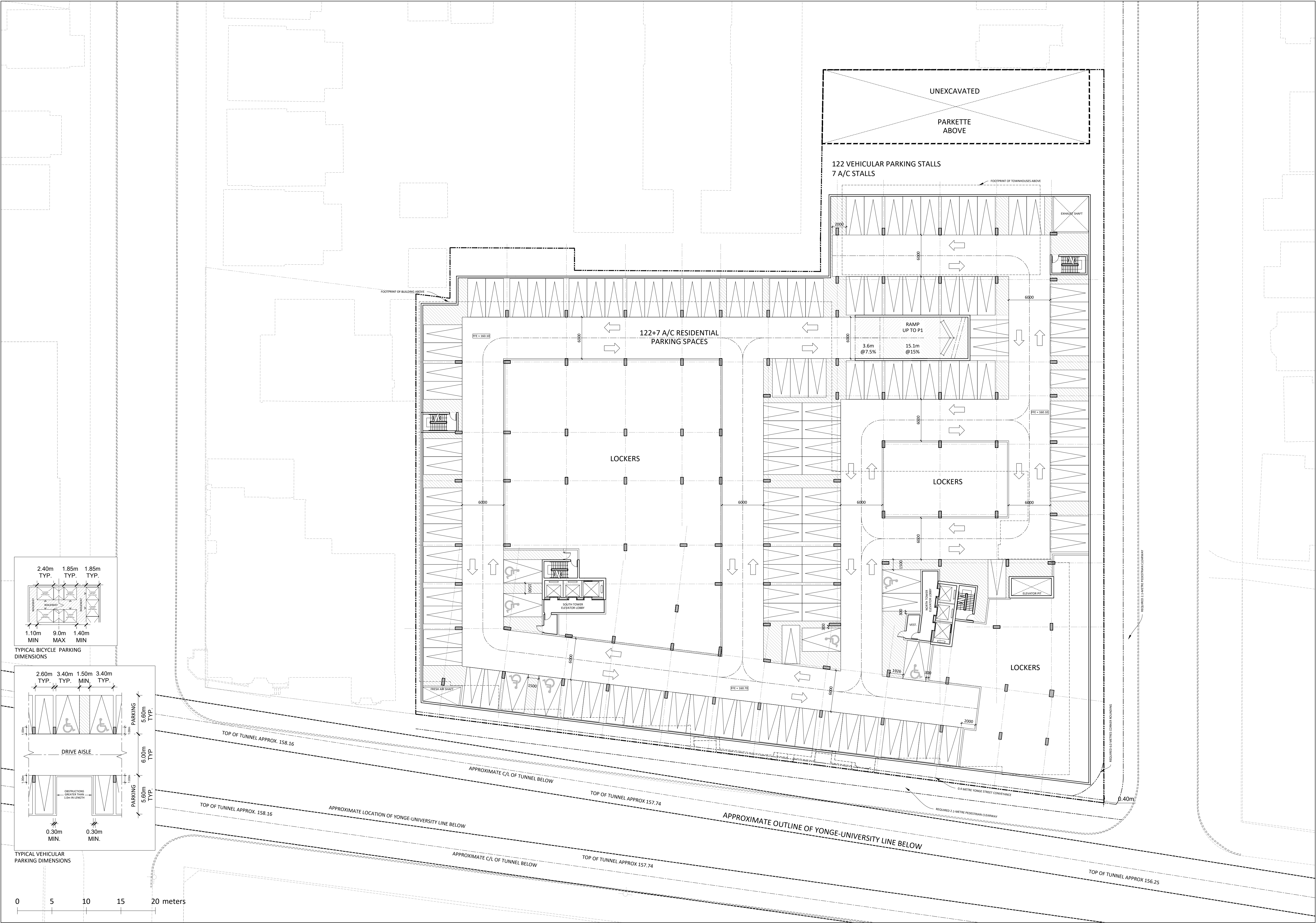
**2400-2444 Yonge St
Mixed Use Development**

U/G Parking Level 1

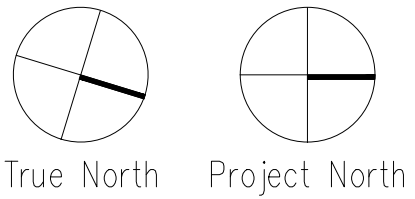
Project number: 1829
Scale: 1:250
Date: 2019-09-06
Drawn by: HPA

Drawing No.: Revision:

A201



- General Notes:
- These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretations of drawings or any other documents or information provided by the Architect or any other party. The Architect is not responsible for the design of the work shown in the drawings submitted by the Contractor for design conformance only.
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 - Positions of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on the drawings. The Contractor shall be responsible for the location of these items. Architectural drawings govern over the Mechanical and Electrical drawings. Those items not clearly located as by the Architect.



Rev.	Issue / Description	Date
02	ISSUED FOR REZONING	06-SEPT-2019
01	ISSUED FOR CONSULTANT USE FOR REZONING	26-JULY-2019



Architect of Record:

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Project Title:

**2400-2444 Yonge St
Mixed Use Development**

U/G Parking Level 2

Project number: 1829
Scale: 1:250
Date: 2019-09-06
Drawn by: HPA

Drawing No.: Revision:

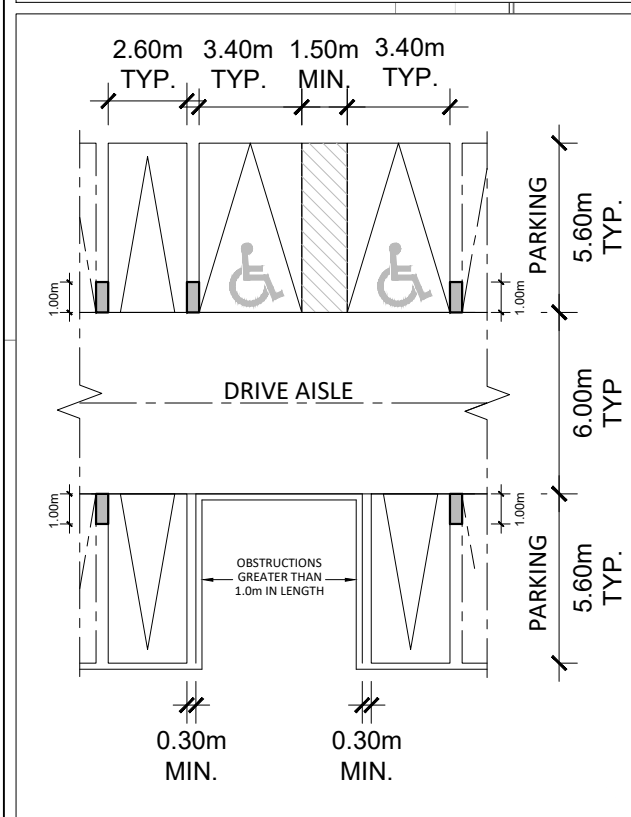
A202

1. ALL ACCESS DRIVEWAYS TO BE USED BY THE COLLECTION VEHICLE WILL BE LEVEL, AT LEAST 4.5 METERS WIDE THROUGHOUT THE SITE AND 6 METERS WIDE AT ENTRANCES AND EXITS, AND WILL HAVE A MINIMUM OVERHEAD TRAVELING CLEARANCE OF 4.4 METERS INCLUDING WHEN TRAVELING THROUGH OVER HEAD DOORS.
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 - DESIGN LOAD: CITY BULK LIFT VEHICLE IN ADDITION BUILDING CODE REQUIREMENTS.
 - IMPACT FACTOR: 5% FOR MAXIMUM VEHICULAR SPEEDS TO 15 KM/HR AND 30%.
6. BINS THAT WILL BE USED FOR THE NON-RESIDENTIAL WASTE WILL BE LABELLED SEPARATELY FROM THE BINS FOR RESIDENTIAL WASTE (I.E. 'RETAIL WASTE ONLY').

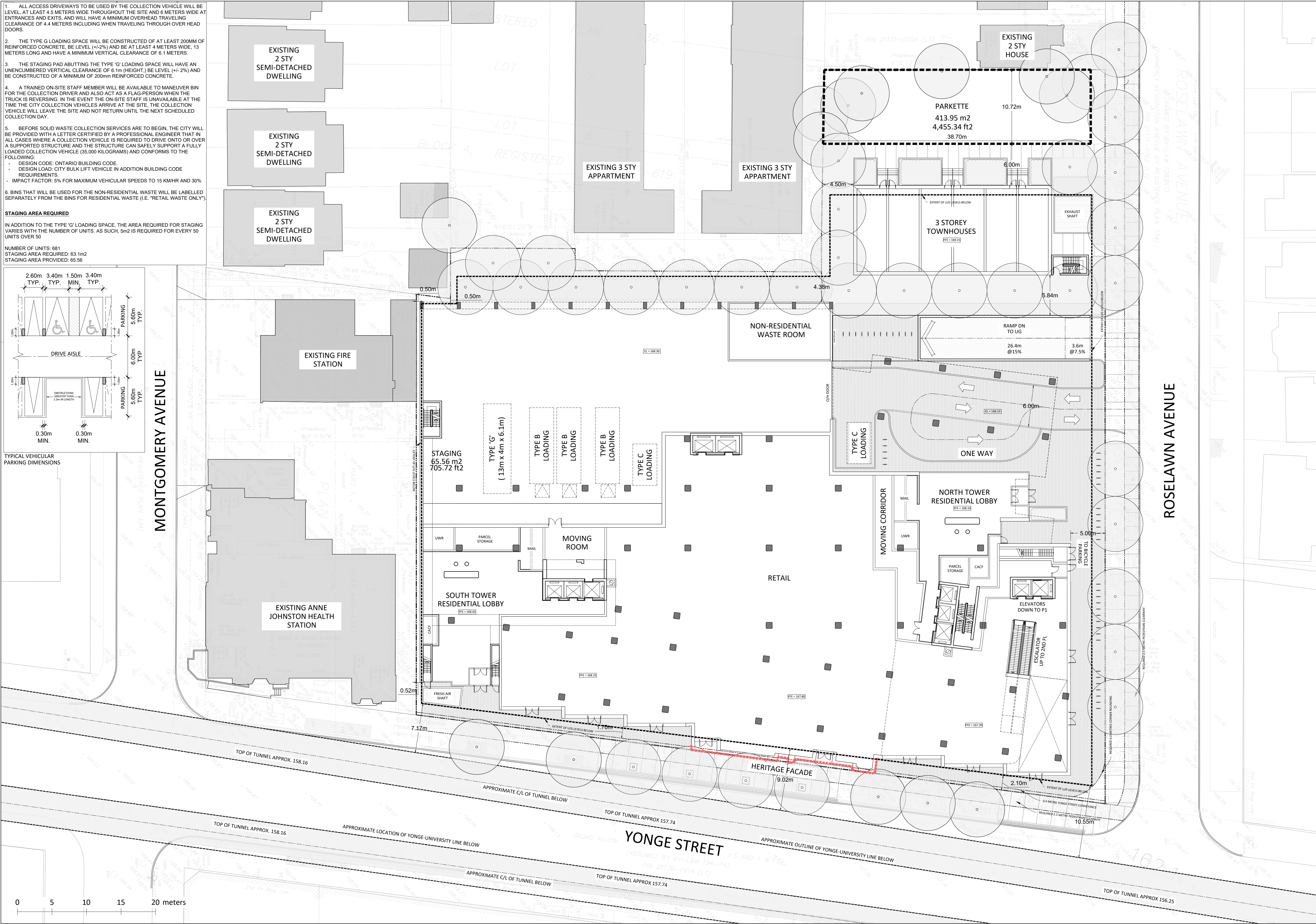
STAGING AREA REQUIRED

IN ADDITION TO THE TYPE 'G' LOADING SPACE, THE AREA REQUIRED FOR STAGING VARIES WITH THE NUMBER OF UNITS. AS SUCH, 5m2 IS REQUIRED FOR EVERY 50 UNITS OVER 50.

NUMBER OF UNITS: 661
STAGING AREA REQUIRED: 63.1m2
STAGING AREA PROVIDED: 65.56

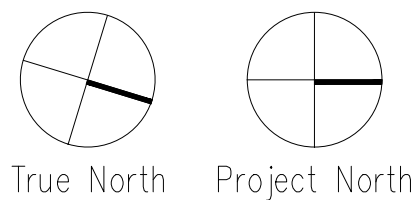


TYPICAL VEHICULAR PARKING DIMENSIONS



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Rev.	Issue / Description	Date
02	ISSUED FOR REZONING	06-SEPT-2019
01	ISSUED FOR CONSULTANT USE FOR REZONING	26-JULY-2019



Architect of Record:

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Project Title:

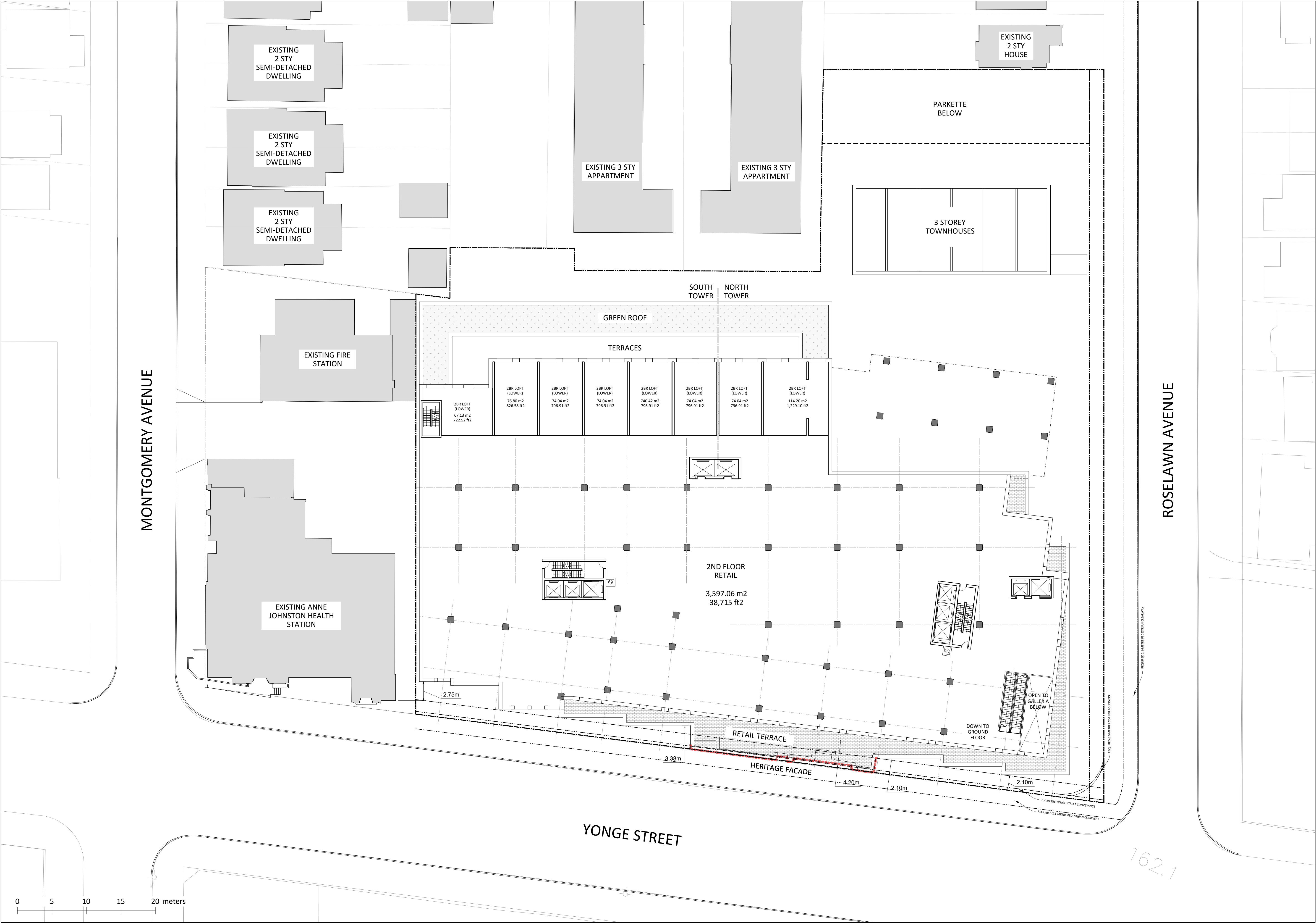
**2400-2444 Yonge St
Mixed Use Development**

Ground Floor Plan

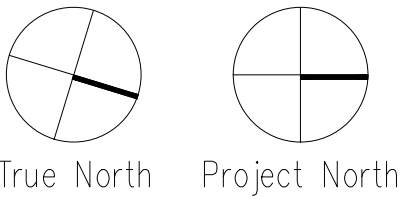
Project number: 1829
Scale: 1:250
Date: 2019-09-06
Drawn by: HPA

Drawing No.: Revision:

A301



- General Notes:
- These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretations of these documents by any third party. The Architect will not be responsible for the interpretation of the drawings submitted by the Contractor for design conformance only.
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02	ISSUED FOR REZONING	06-SEPT-2019
01	ISSUED FOR CONSULTANT USE FOR REZONING	26-JULY-2019
Rev.	Issue / Description	Date



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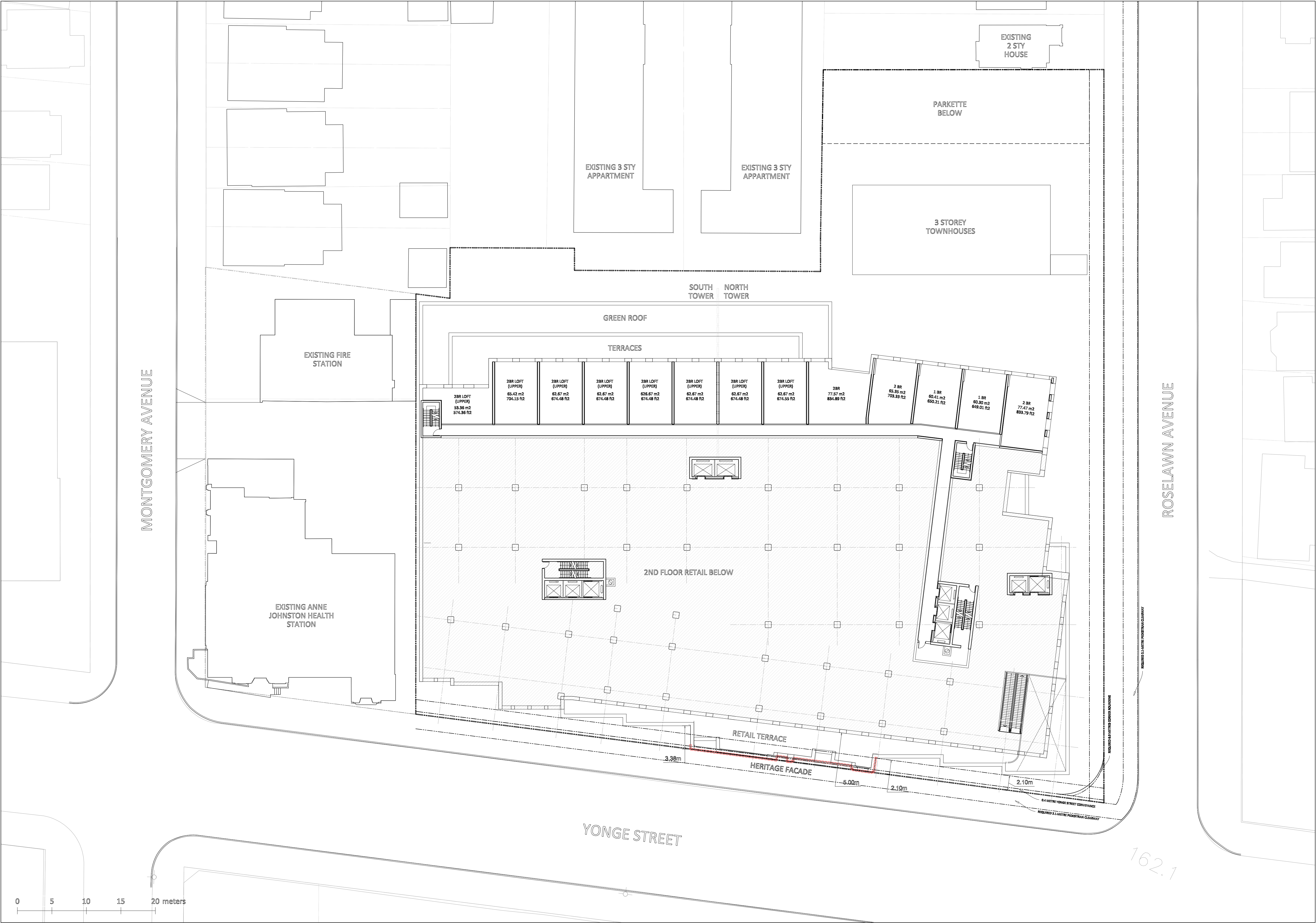
Project Title:

**2400-2444 Yonge St
Mixed Use Development**

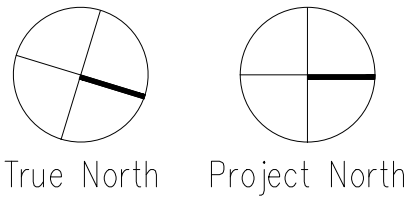
2nd Floor Plan

Project number: 1829
Scale: 1:250
Date: 2019-09-06
Drawn by: HPA

Drawing No.: A302
Revision:



- General Notes:
- These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretations of the drawings or the information contained therein. The intent of the drawings is to provide a general guide for the construction of the project. The Contractor is responsible for obtaining all necessary permits and for ensuring that the construction complies with all applicable laws and regulations.
 - Drawings are not to be scaled for construction. Contractor to verify all existing conditions and dimensions required to perform the Work and report any discrepancies with the Contract Documents to the Architect before commencing work.
 - Positions of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on the drawings. The Contractor is responsible for ensuring that all devices, fittings, and fixtures are installed in accordance with the drawings and the applicable codes and standards.



02	ISSUED FOR REZONING	06-SEPT-2019
01	ISSUED FOR CONSULTANT USE FOR REZONING	26-JULY-2019
Rev.	Issue / Description	Date



Architect of Record:

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Project Title:

**2400-2444 Yonge St
Mixed Use Development**

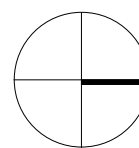
2nd Floor Mezzanine Plan

Project number: 1829
Scale: 1:250
Date: 2019-09-06
Drawn by: HPA

Drawing No.: A302a
Revision:



3. Positions of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on the ~~Electrical drawings~~ Architectural drawings. Those items not clearly located as by the Architect.



Project No.

02	ISSUED FOR REZONING	06-SEPT-2019
01	ISSUED FOR CONSULTANT USE FOR REZONING	28-JULY-2019
Rev.	Issue / Description	Date



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2400-2444 Yonge St
Mixed Use Development

Project number: 1829
Scale: 1:250
Date: 2019-09-06
Drawn by: HPA

A303

Revision:



1. These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretations ~~of the Contract Documents and the Architect will not be responsible for the interpretation of the Contract Documents~~ or the intent of the Contract Documents. ~~The Architect will not be responsible for the interpretation of the Contract Documents~~ Shop Drawings submitted by the Contractor for design conformance only.
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ONTARIO ASSOCIATION
OF
ARCHITECTS
DAVID PONTARINI
LICENCE
4466

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2400-2444 Yonge St
Mixed Use Development

Project number: 1829
Scale: 1:250
Date: 2019-09-06
Drawn by: HPA

Drawing No.: Revision:

A304



True North Project North

ONTARIO ASSOCIATION
OF
ARCHITECTS
DAVID PONTARINI
LICENCE
4466

A306



1. These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretations ~~of these documents by any contractor or architect~~ or the intent ~~of the Contractor's drawings~~. ~~The drawings shall remain the property of the Architect.~~ Drawings submitted by the Contractor for design conformance only.

2. Drawings are not to be scaled for construction. Contractor to verify all existing conditions and dimensions required to perform the Work and report any discrepancies with the Contract Documents to the Architect before commencing work.

3. Positions of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on the ~~Architect's drawings~~ ~~on the Contractor's drawings~~ ~~shall be~~ will be Architectural drawings govern over the Mechanical and Electrical drawings. Those items not clearly located as by the Architect.



02	ISSUED FOR REZONING	06-SEPT-2019
01	ISSUED FOR CONSULTANT USE FOR REZONING	26-JULY-2019
Rev.	Issue / Description	Date



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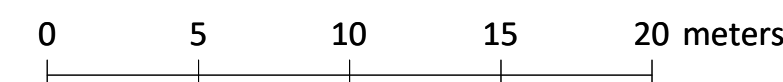
2400-2444 Yonge St
Mixed Use Development

7th - 8th Floor Plan

Project number: 1829
Scale: 1:250
Date: 2019-09-06
Drawn by: HPA

Drawing No.: Revision:

A307



-
- True North Project North

[illegible]

Project Title:

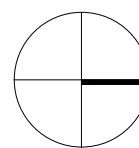
2400-2444 Yonge St
Mixed Use Development

Project number: 1829
Scale: 1:250
Date: 2019-09-06
Drawn by: HPA

Drawing No.: A309



3. Positions of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on the Architectural drawings. The Electrical drawings will be coordinated with the Architectural drawings. Architectural drawings govern over the Mechanical and Electrical drawings. Those items not clearly located as by the Architect.



Project No.

02	ISSUED FOR REZONING	06-SEPT-2019
01	ISSUED FOR CONSULTANT USE FOR REZONING	26-JULY-2019
Rev.	Issue / Description	Date



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2400-2444 Yonge St
Mixed Use Development

Project number: 1829
Scale: 1:250
Date: 2019-09-06
Drawn by: HPA

A310

Revision:



True North Project North

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A312



True North Project North

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A313



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4466

A314



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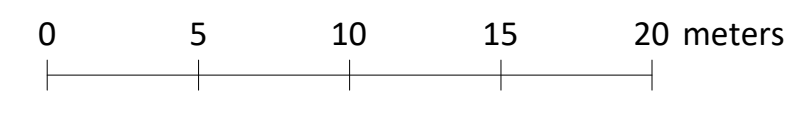
A324



True North Project North

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DAVID PONTARINI
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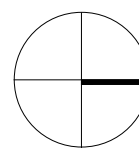
A326



1. These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretations ~~of the Contract Documents or the drawings~~. ~~The Architect shall retain the right to review the intent of the Contract Documents.~~ ~~The Architect shall retain the right to review the drawings submitted by the Contractor for design conformance only.~~

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True North Project North

02	ISSUED FOR REZONING	06-SEPT-2019
01	ISSUED FOR CONSULTANT USE FOR REZONING	26-JULY-2019
Rev.	Issue / Description	Date



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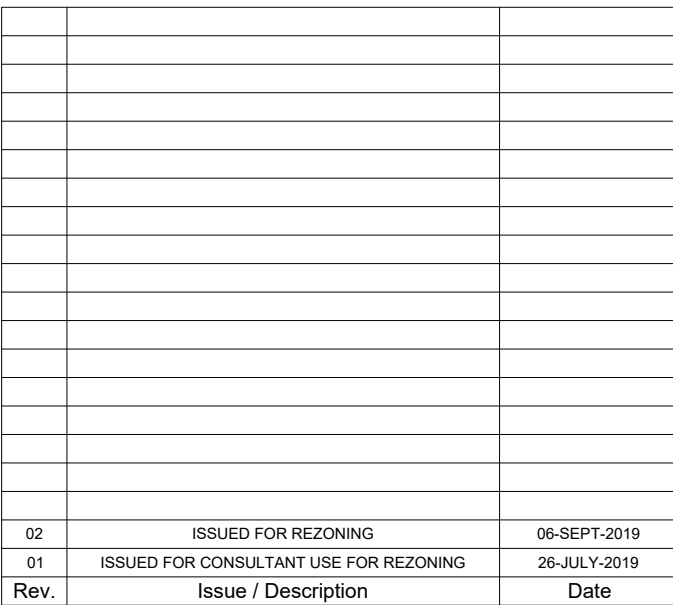
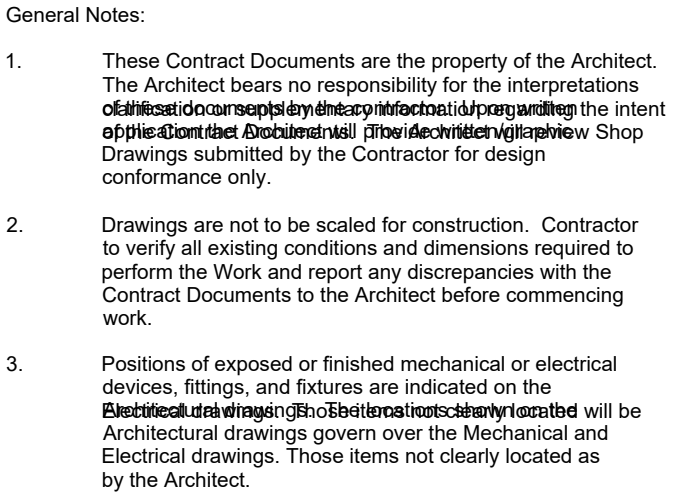
2400-2444 Yonge St
Mixed Use Development

28th – 29th Floor Plan

Drawing No.: Revision:

A328

Revision:



Roof Plan

Project number: 1829
Scale: 1:250
Date: 2019-09-06
Drawn by: HPA

Drawing No.: A330

27 STOREY 97.10m

27 STOREY 97.10m

23 STOREY 84.90m

23 STOREY 84.90m



97.20m TOWER HEIGHT

84 90m TOWER HEIGHT

90.90m OVERALL HEIGHT

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D2	ISSUED FOR REZONING	06-SEPTEMBER 2019
O1	ISSUED FOR CONSULTANT USE FOR REZONING	26-JULY 2019
Rev.	Issue / Description	Date



Architect of Record:

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Project Title:

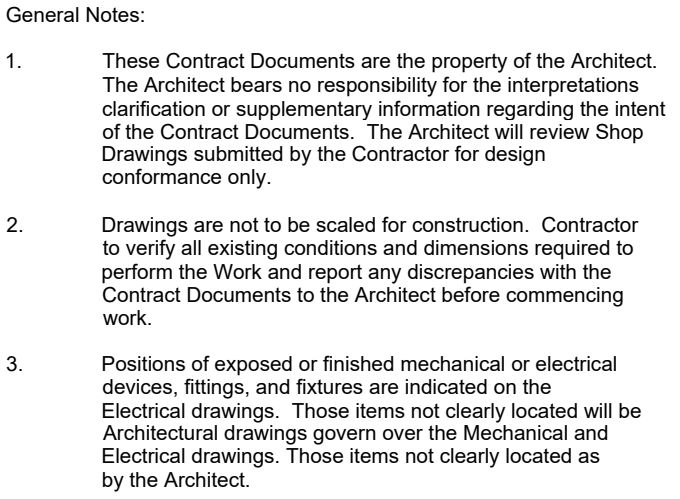
2400-2444 Yonge St
Mixed Use Development

East (Front) Elevation

Project number: 1829
Scale: 1:250
Date: 2019-09-06
Drawn by: HPA

Drawing No.: Revision:

A401



02	ISSUED FOR REZONING	06-SEPT-2019
01	ISSUED FOR CONSULTANT USE FOR REZONING	26-JULY-2019
Rev.	Issue / Description	Date



Architect of Record

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Project Title

2400-2444 Yonge St
Mixed Use Development

North Elevation

Project number: 1829
Scale: 1:250
Date: 2019-09-08
Drawn by: HPA

Drawing No.: Revision:

A402

Revision:

27 STOREY 97.20m

23 STOREY 84.90m



ROSELAW
AVENUE

RAMP TO U/G

TOWNHOMES
(INFRONT)

LOADING

PROPERTY LINE

MONTGOMERY
AVENUE

General Notes:

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D2	ISSUED FOR REZONING	06-SEPT-2019
O1	ISSUED FOR CONSULTANT USE FOR REZONING	26-JULY-2019
Rev.	Issue / Description	Date



Architect of Record:

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hariripontarini.com

Project Title:

2400-2444 Yonge St
Mixed Use Development

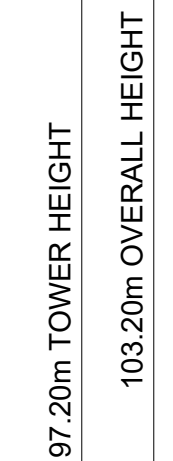
West Elevation

Project number: 1829
Scale: 1:250
Date: 2019-09-06
Drawn by: HPA

Drawing No.: Revision:

A403

27 STOREY 97.20m

[illegible]

Project Title:

South Elevation

Drawing No.: Revision:

A404

27 STOREY 97.1m

23 STOREY 84.90m



D2	ISSUED FOR REZONING	06-SEPTEMBER 2019
O1	ISSUED FOR CONSULTANT USE FOR REZONING	26-JULY-2019
Rev.	Issue / Description	Date



E-W Section

Drawing No.: A501