

22 BALLIOL STREET

APPLICATION FOR ZONING BY-LAW AMENDMENT

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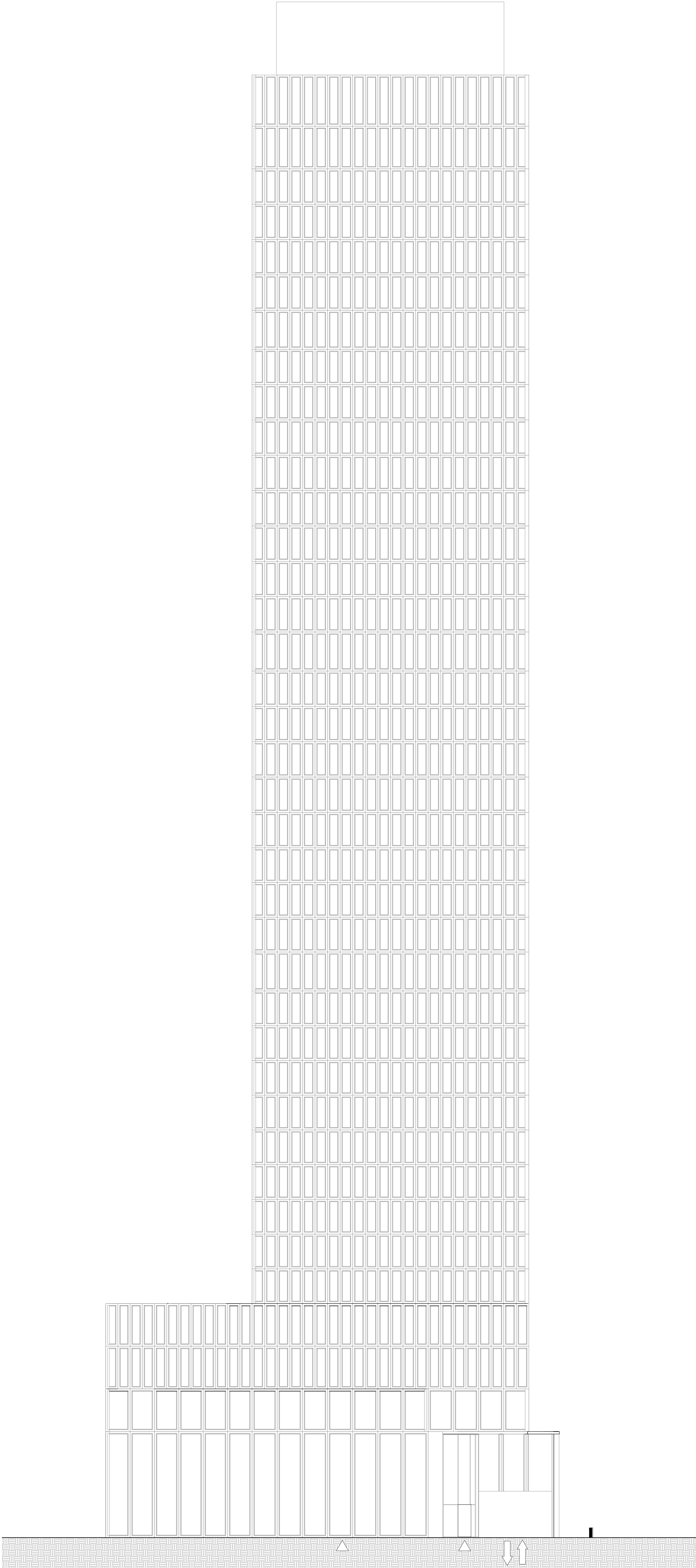
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ARCHITECTURAL SHEET LIST

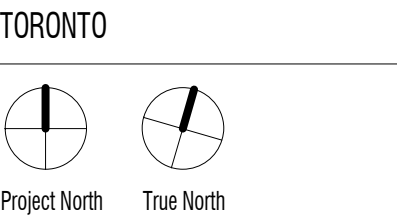
Drawing Number	Drawing Name	Current Revision	Revision Date
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22 BALLIOL STREET



SCALE 1:150
PROJECT NO. 201301
ISSUE DATE JULY 6, 2021

COVER SHEET

1.0 SUMMARY

SITE AREA - 1,892 m²
TOTAL GFA - 28,305 m²
FSI - 15.0
NEW RESIDENTIAL UNITS - 399

2.0 BUILDING HEIGHTS

Tower: 120 m
Mechanical Penthouse: 6 m
TOTAL: 126 m

3.0 FLOOR AREA

*GFA calculated per Area Plans, A1001 - A1004

3.1 FLOOR AREA									
Level	# of Levels	GCA/Level (m²)	Total GCA (m²)	GFA Deductions (m²)	Outdoor Amenity (m²)	Indoor Amenity (m²)	Residential GFA (m²)	Retail GFA (m²)	Total GFA (m²)

BELOW-GRADE									
P3	1	1,789	1,789	1,752	0	0	37	0	37
P2	1	1,771	1,771	1,733	0	0	37	0	37
P1	1	1,770	1,770	1,681	0	0	39	50	89
		5,330	5,330	5,166	0	0	114	50	164

ABOVE-GRADE									
Level 1	1	1,677	1,677	163	0	0	774	741	1,515
Level 1 Mozz.	1	409	409	164	0	0	82	164	246
Level 2	1	1,393	1,393	237	0	69	1,155	0	1,155
Level 3	1	1,366	1,366	237	0	69	1,129	0	1,129
Level 4	1	1,382	1,382	612	165	479	770	0	770
Level 5	1	766	766	129	571	75	636	0	636
Level 6-32	27	750	20,258	1,477	0	0	18,781	0	18,781
Level 33-37	5	750	3,752	274	0	0	3,478	0	3,478
Level 38	1	634	634	203	127	148	431	0	431
MECH. P.H.	1	456	456	456	0	0	0	0	0
		9,584	32,093	3,952	863	840	27,236	904	28,141

GRAND TOTAL		Total GCA (m²)	GFA Deductions (m²)	Outdoor Amenity (m²)	Indoor Amenity (m²)	Residential GFA (m²)	Retail GFA (m²)	Total GFA (m²)
		37,423	9,118	863	840	27,350	955	28,305

3.2 RESIDENTIAL UNITS							
Level	Studio	1B	1B + D	2B	3B	Total Units	

BELOW-GRADE							
P3	0	0	0	0	0	0	0
P2	0	0	0	0	0	0	0
P1	0	0	0	0	0	0	0
	0	0	0	0	0	0	0

ABOVE-GRADE							
Level 1	0	0	0	0	0	0	0
Level 1 Mozz.	0	0	0	0	0	0	0
Level 2	2	2	1	7	2	14	14
Level 3	2	2	1	6	3	14	14
Level 4	0	2	1	3	2	8	8
Level 5	1	5	1	2	1	10	10
Level 6-32	27	162	0	81	27	297	297
Level 33-37	0	20	5	20	5	50	50
Level 38	0	3	0	3	0	6	6
MECH. P.H.	0	0	0	0	0	0	0
	32	196	9	122	40	399	399

Unit Type	STUDIO	1B	1B + D	2B	3B	TOTAL
No. Units	32	196	9	122	40	399
Unit Mix	8%	49%	2%	31%	10%	100%

Toronto Green Standard Version 3.0

General Project Description			
SITE AREA			1,892 m²
TOTAL GROSS FLOOR AREA			28,305 m²
RESIDENTIAL			27,350 m²
RETAIL			955 m²
OTHER			0 m²
TOTAL NUMBER OF RESIDENTIAL UNITS			399

Section 1: For Stand Alone Zoning Bylaw Amendment Applications and Site Plan Control Applications

Automobile Infrastructure	Required	Proposed	Percentage
NUMBER OF PARKING SPACES	471	109	23.1 %
NUMBER OF PARKING SPACES DEDICATED FOR PRIORITY CARPOOLING/ RIDESHARING PARKING	0	1	
NUMBER OF PARKING SPACES WITH EVSE	23	28	25.7 %
Cycle Infrastructure	Required	Proposed	Percentage
NUMBER OF LONG-TERM BICYCLE PARKING SPACES (RESIDENTIAL)	360	432	120.0 %
NUMBER OF LONG-TERM BICYCLE PARKING SPACES (ALL OTHER USES)	2	2	100.0 %
NUMBER OF LONG-TERM BICYCLE PARKING (RESIDENTIAL AND ALL OTHER USES) LOCATED ON:			
A) FIRST STOREY OF BUILDING		0	
B) SECOND STOREY OF BUILDING		148	
C) FIRST LEVEL BELOW-GROUND		24	
D) SECOND LEVEL BELOW-GROUND (ALSO INDICATE % OF NET AREA OF LEVEL OCCUPIED BY BICYCLE PARKING)		0	
E) OTHER LEVELS BELOW-GROUND (ALSO INDICATE % OF NET AREA OF LEVEL OCCUPIED BY BICYCLE PARKING)		0	
NUMBER OF SHORT-TERM BICYCLE PARKING SPACES (RESIDENTIAL)	40	48	120.0 %
NUMBER OF SHORT-TERM BICYCLE PARKING SPACES (ALL OTHER USES)	6	6	100.0 %
NUMBER OF MALE SHOWER AND CHANGE FACILITIES (NON-RESIDENTIAL)	N/A	N/A	
NUMBER OF FEMALE SHOWER AND CHANGE FACILITIES (NON-RESIDENTIAL)	N/A	N/A	
Tree Planting & Soil Volume	Required	Proposed	Percentage
TOTAL SOIL VOLUME (40% OF THE SITE AREA / 66m2 X 30m3)	344 m³	5 m³	1.5 %

Section 2: For Site Plan Control Applications

Cycle Infrastructure	Required	Proposed	Percentage
NUMBER OF SHORT-TERM BICYCLE PARKING SPACES (ALL USES) AT GRADE OR ON FIRST LEVEL BELOW GRADE	46	54	117.4 %
Urban Heat Island and Non-Roof Hardscape	Required	Proposed	Percentage
TOTAL NON-ROOF HARDSCAPE AREA (M2)		224 m²	
TOTAL NON-ROOF HARDSCAPE AREA TREATED FOR URBAN HEAT ISLAND (MINIMUM 50%) (M2)	112 m²	206 m²	92.0 %
AREA OF NON-ROOF HARDSCAPE TREATED WITH: (INDICATE M2)			
A) HIGH-ALBEDO SURFACE MATERIAL		206 m²	92.0 %
B) OPEN-GRID PAVEMENT		0 m²	0 %
C) SHADE FROM TREE CANOPY		0 m²	0 %
D) SHADE FROM HIGH-ALBEDO STRUCTURES		0 m²	0 %
E) SHADE FROM ENERGY GENERATION STRUCTURES		0 m²	0 %
PERCENTAGE OF REQUIRED CAR PARKING SPACES UNDER COVER (MINIMUM 75%) (NON-RESIDENTIAL ONLY)	N/A	N/A	N/A
Green and Cool Roofs	Required	Proposed	Percentage
AVAILABLE ROOF SPACE (M2)		26 m²	
AVAILABLE ROOF SPACE PROVIDED AS GREEN ROOF (M2)	16 m²	336 m²	1300 %
AVAILABLE ROOF SPACE PROVIDED AS COOL ROOF (M2)		0 m²	N/A
AVAILABLE ROOF SPACE PROVIDED AS SOLAR PANELS (M2)		0 m²	N/A
Water Efficiency	Required	Proposed	Percentage
TOTAL LANDSCAPED SITE AREA (M2)		3 m²	
LANDSCAPED SITE AREA PLANTED WITH DROUGHT-TOLERANT PLANTS (MINIMUM 50%) (M2 AND %) (IF APPLICABLE)	1.5 m²	3 m²	100.0 %
Tree Planting and Soil Volume	Required	Proposed	Percentage
TOTAL SITE AREA (M2)		1,892 m²	
TOTAL SOIL VOLUME (40% OF THE SITE AREA / 66 m2 X 30 m3)	344 m³	5 m³	1.5 %
TOTAL NUMBER OF PLANTED AREAS (MINIMUM 30 m3 SOIL)		0	
TOTAL NUMBER OF TREES PLANTED		0	
NUMBER OF SURFACE PARKING SPACES (IF APPLICABLE)	N/A	N/A	N/A
NUMBER OF SHADE TREES LOCATED IN SURFACE PARKING AREA INTERIOR (MINIMUM 1 TREE FOR 5 PARKING SPACES)	N/A	N/A	N/A
Native and Pollinator Supportive Species	Required	Proposed	Percentage
TOTAL NUMBER OF PLANTS		0	
TOTAL NUMBER OF NATIVE PLANTS AND % OF TOTAL PLANTS (MINIMUM 50%)	0	0	
Bird Friendly Glazing	Required	Proposed	Percentage
TOTAL AREA OF GLAZING OF ALL ELEVATIONS WITHIN 16M ABOVE GRADE (INCLUDING GLASS BALCONY RAILINGS) - EAST BUILDING			
TOTAL AREA OF TREATED GLAZING (MINIMUM 85% OF TOTAL AREA OF GLAZING WITHIN 16M ABOVE GRADE) (M2%) - EAST BUILDING			
PERCENTAGE OF GLAZING WITHIN 16M ABOVE GRADE TREATED WITH:			
A) LOW REFLECTANCE OPAQUE MATERIALS			
B) VISUAL MARKERS			
C) SHADING			

4.0 AMENITY

4.1 AMENITY					
Total Units		Amenity			
	Outdoor	Outdoor / Unit	Indoor	Indoor / Unit	
399	863 m²	2.16 m²	840 m²	2.11 m²	

5.0 PARKING

5.1 CAR PARKING											
Level	Residential Car Parking			Visitor Car Parking			Retail Car Parking			Car Share Parking	Total Car Parking
	Regular	BF	Total	Regular	BF	Total	Regular	BF	Total		
P1	0	0	0	12	1	13	9	1	10	0	23
P2	28	2	30	10	0	10	0	0	0	1	41
P3	43	2	45	0	0	0	0	0	0	0	45
TOTAL	71	4	75	22	1	23	9	1	10	1	109

Car Parking Rates

- 0.19 Residential Parking Spaces per Unit
- 0.06 Residential Visitor Parking Spaces per Unit (3 Spaces Designated for Short-Term Use)
- 1 Retail Parking Space per 100 m² Retail GFA

5.2 BICYCLE PARKING			
Level	Bicycle Parking		Total Bicycle Parking
	Long-Term	Short-Term	
P1	24	26	50
1st	0	28	28
2nd	148	0	148
3rd	148	0	148
4th	114	0	114
TOTAL	434	54	488

Bicycle Parking Rates

- 1.08 Long-Term Parking Spaces per Unit
- 0.12 Short-term Parking spaces per Unit
- 2 Long-Term Parking Spaces Designated for Retail
- 6 Short-Term Parking Spaces Designated for Retail

6.0 STORAGE

6.1 LOCKERS	
STORAGE LOCKER	23

7.0 LOADING

7.1 LOADING		
Level	Count	Type
Level 1	1	TYPE G LOADING
Level 1	1	TYPE B LOADING

8.0 WASTE

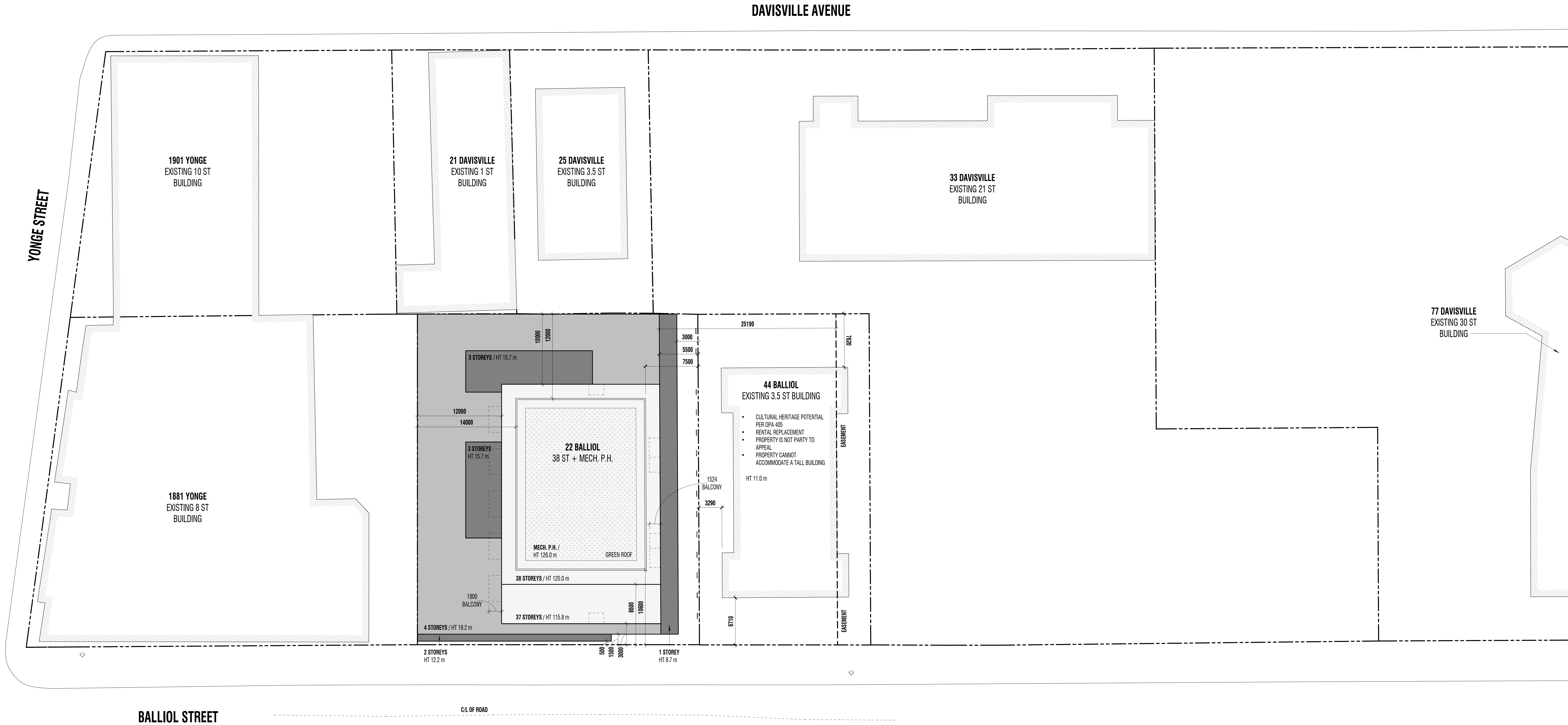
8.1 WASTE STORAGE AREA		
Level	Area Type	Area
P1	BULKY STORAGE	10 m²
P1	REFUSE	115 m²
		125 m²

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STATISTICS

A102



1 ROOF SITE PLAN - C
A301 A103 1 : 200

GREEN ROOF STATISTICS		
	PROPOSED	
GROSS FLOOR AREA, AS DEFINED IN GREEN ROOF BYLAW (m²)	28,238 m²	
TOTAL ROOF AREA (m²)	1,518 m²	
AREA OF RESIDENTIAL PRIVATE TERRACES (m²)	194 m²	
ROOFTOP OUTDOOR AMENITY SPACE, IF IN A RESIDENTIAL BUILDING (m²)	554 m²	
AREA OF RENEWABLE ENERGY DEVICES (m²)	0 m²	
TOWER(S) ROOF AREA WITH FLOOR PLATE LESS THAN 750 m² (m²)	743 m²	
TOTAL AVAILABLE ROOF SPACE (m²)	26 m²	
GREEN ROOF COVERAGE	REQUIRED	PROPOSED
COVERAGE OF AVAILABLE ROOF SPACE (m²)	16 m²	343 m²
COVERAGE OF AVAILABLE ROOF SPACE (%)	60%	1300%

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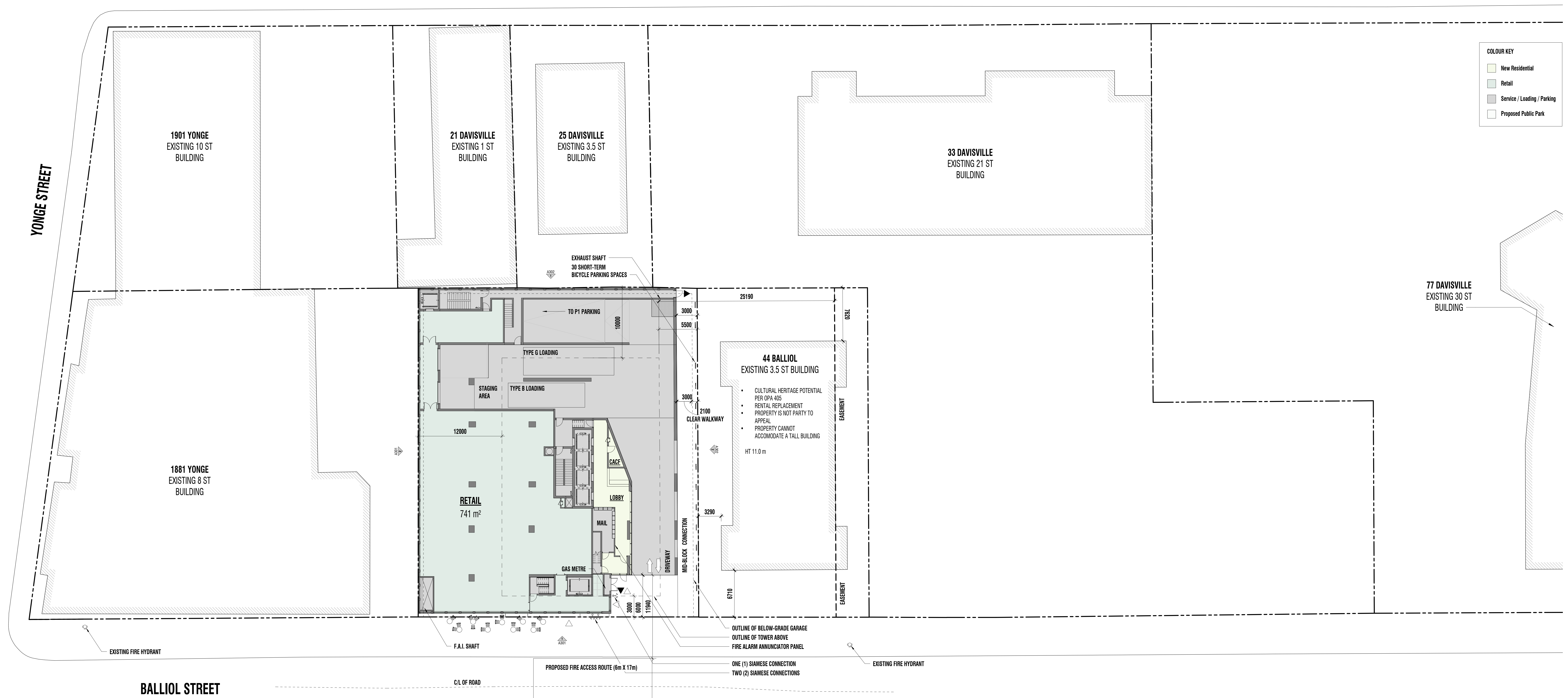
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ROOF SITE PLAN

A103

DAVISVILLE AVENUE

1
A01 A104

GROUND FLOOR SITE PLAN

1 : 200


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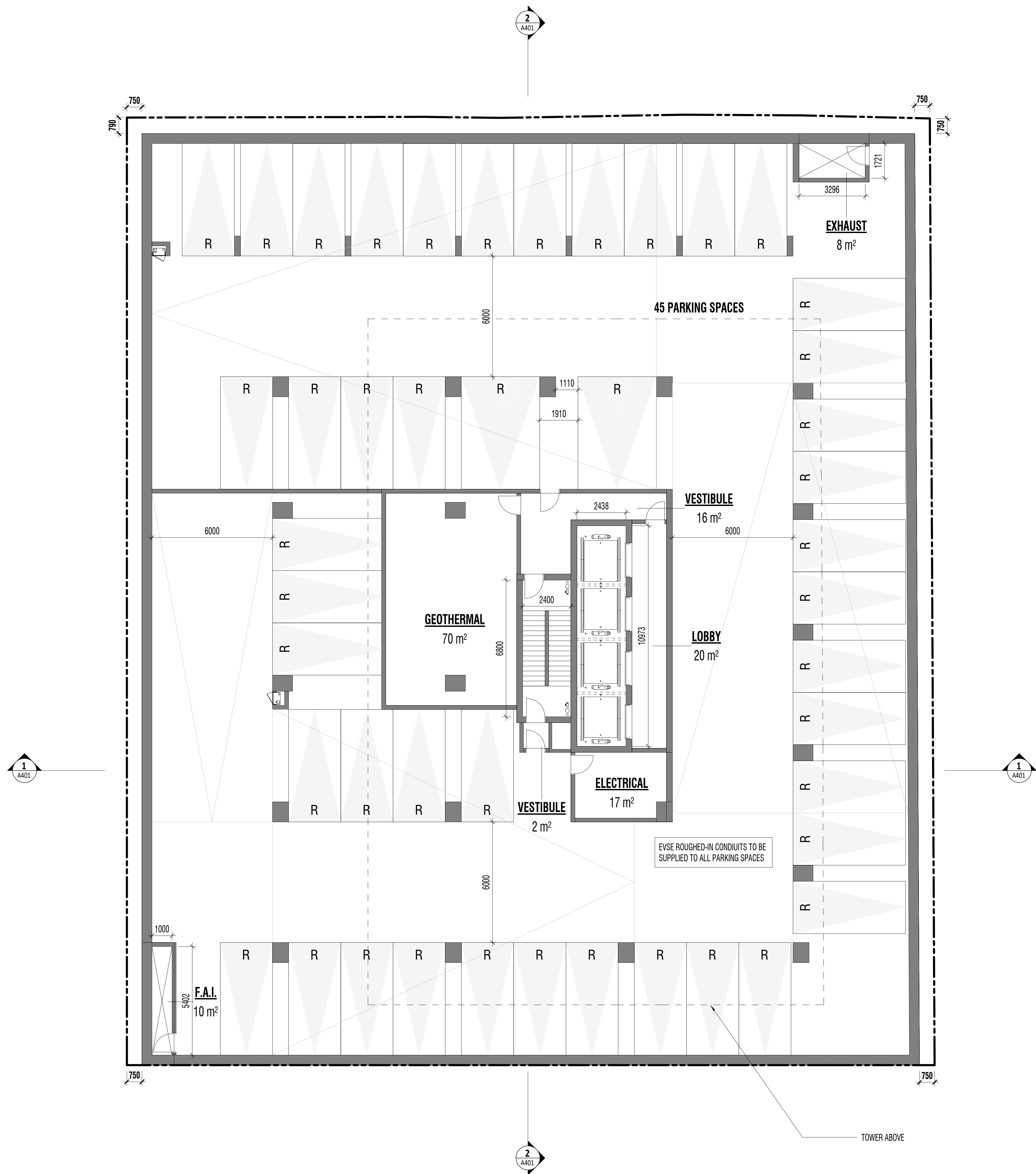
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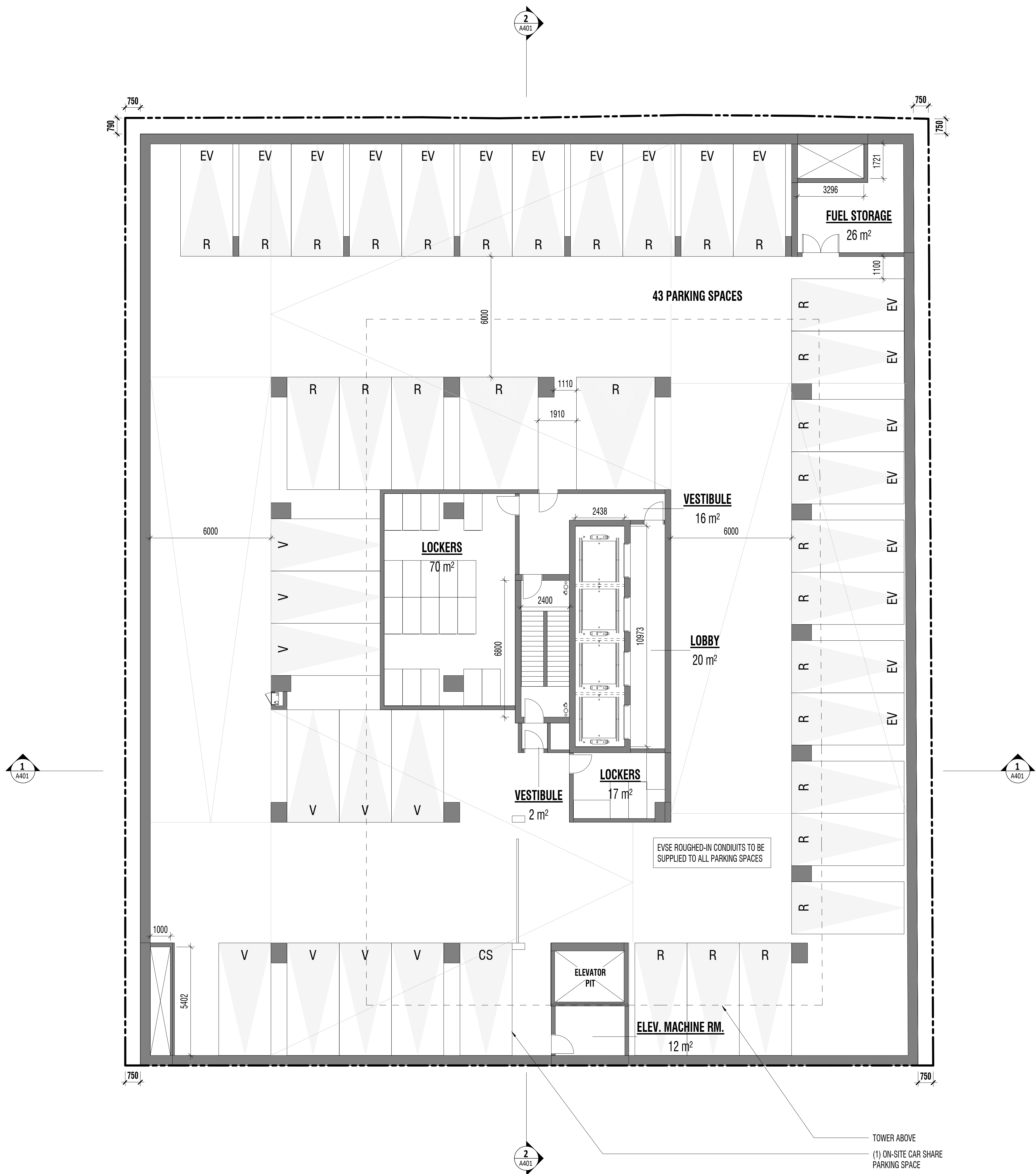
GROUND FLOOR SITE PLAN

A104



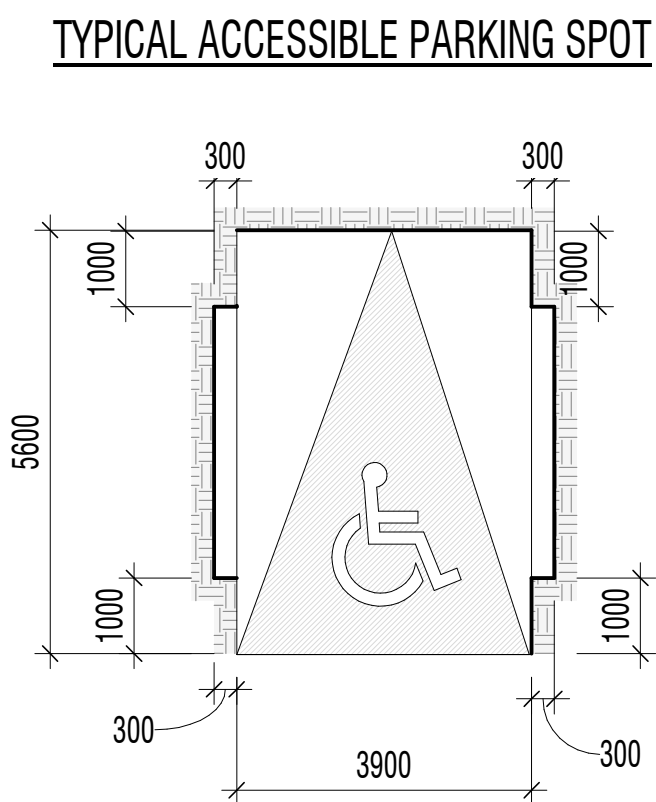
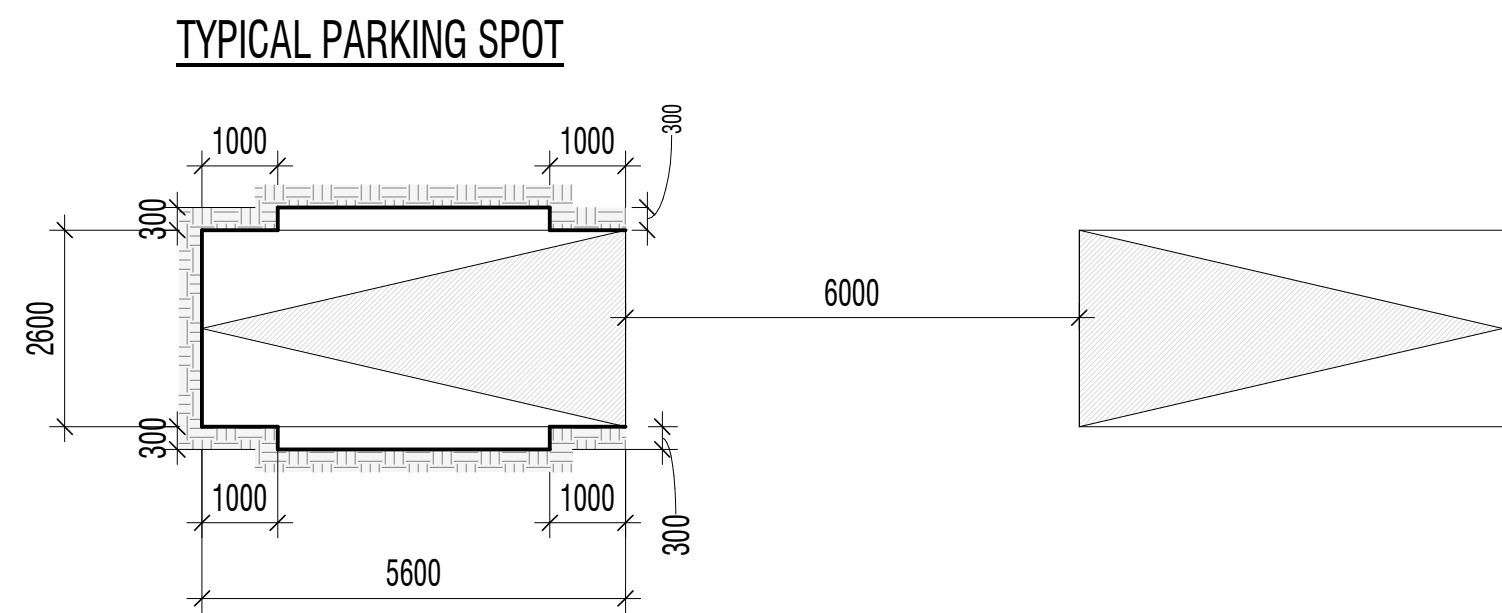
2 LEVEL P3 FLOOR PLAN
A01 A105 1:100

5.1 CAR PARKING										
Level	Residential Car Parking			Visitor Car Parking			Retail Car Parking			Total Car Parking
	Regular	BF	Total	Regular	BF	Total	Regular	BF	Total	
P1	0	0	0	12	1	13	9	1	10	23
P2	28	2	30	10	0	10	0	0	0	41
P3	43	2	45	0	0	0	0	0	0	45
TOTAL	71	4	75	22	1	23	9	1	10	109



1 LEVEL P2 FLOOR PLAN
A01 A105 1:100

- R RESIDENT PARKING STALLS
- V VISITOR PARKING STALLS
- C RETAIL PARKING STALLS
- EV ELECTRICAL VEHICAL CHARGING STATION



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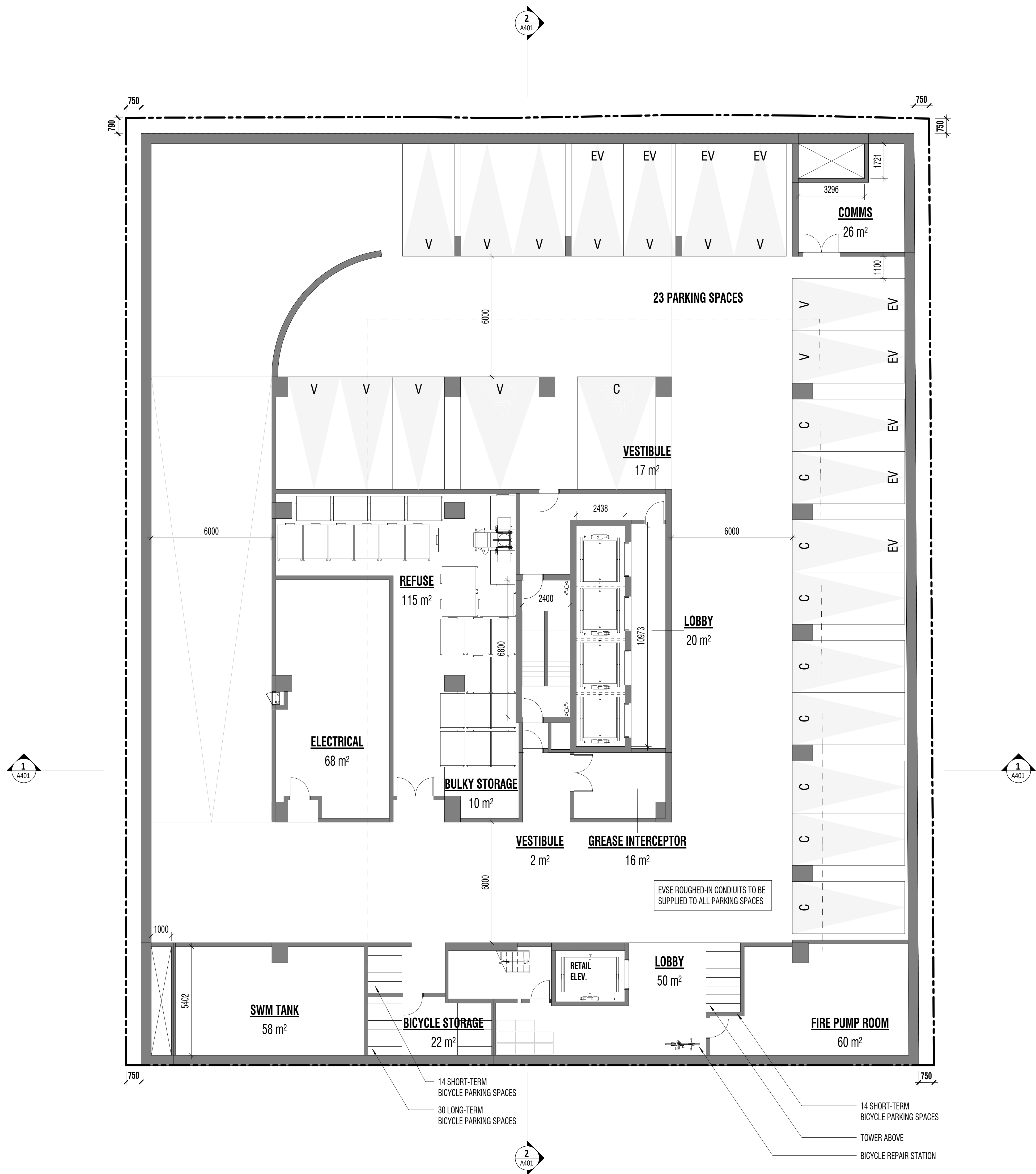
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LEVEL P3, P2
FLOOR PLAN

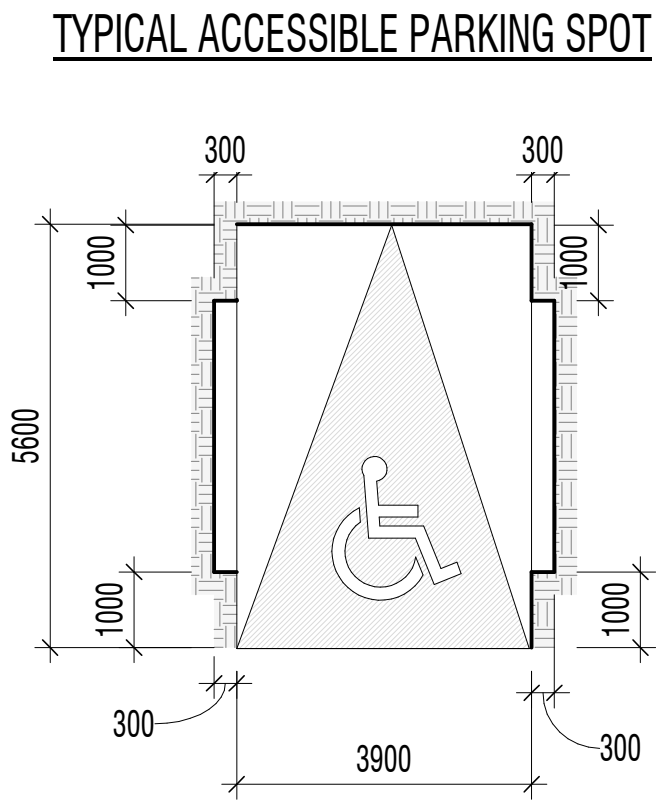
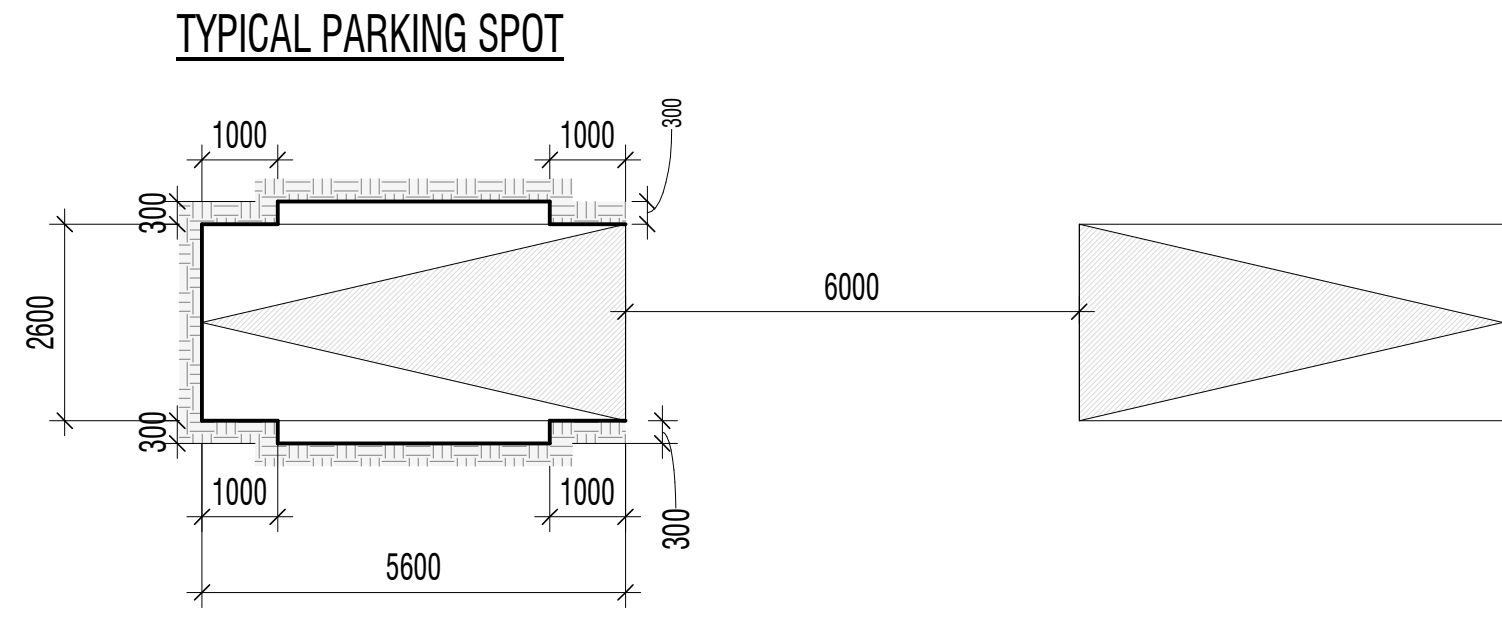
A105



2
A01 A106
LEVEL P1 FLOOR PLAN
1 : 100

Level	5.1 CAR PARKING										
	Residential Car Parking			Visitor Car Parking			Retail Car Parking			Car Share Parking	Total Car Parking
	Regular	BF	Total	Regular	BF	Total	Regular	BF	Total		
P1	0	0	0	12	1	13	9	1	10	0	23
P2	28	2	30	10	0	10	0	0	0	1	41
P3	43	2	45	0	0	0	0	0	0	0	45
TOTAL	71	4	75	22	1	23	9	1	10	1	109

- R RESIDENT PARKING STALLS
- V VISITOR PARKING STALLS
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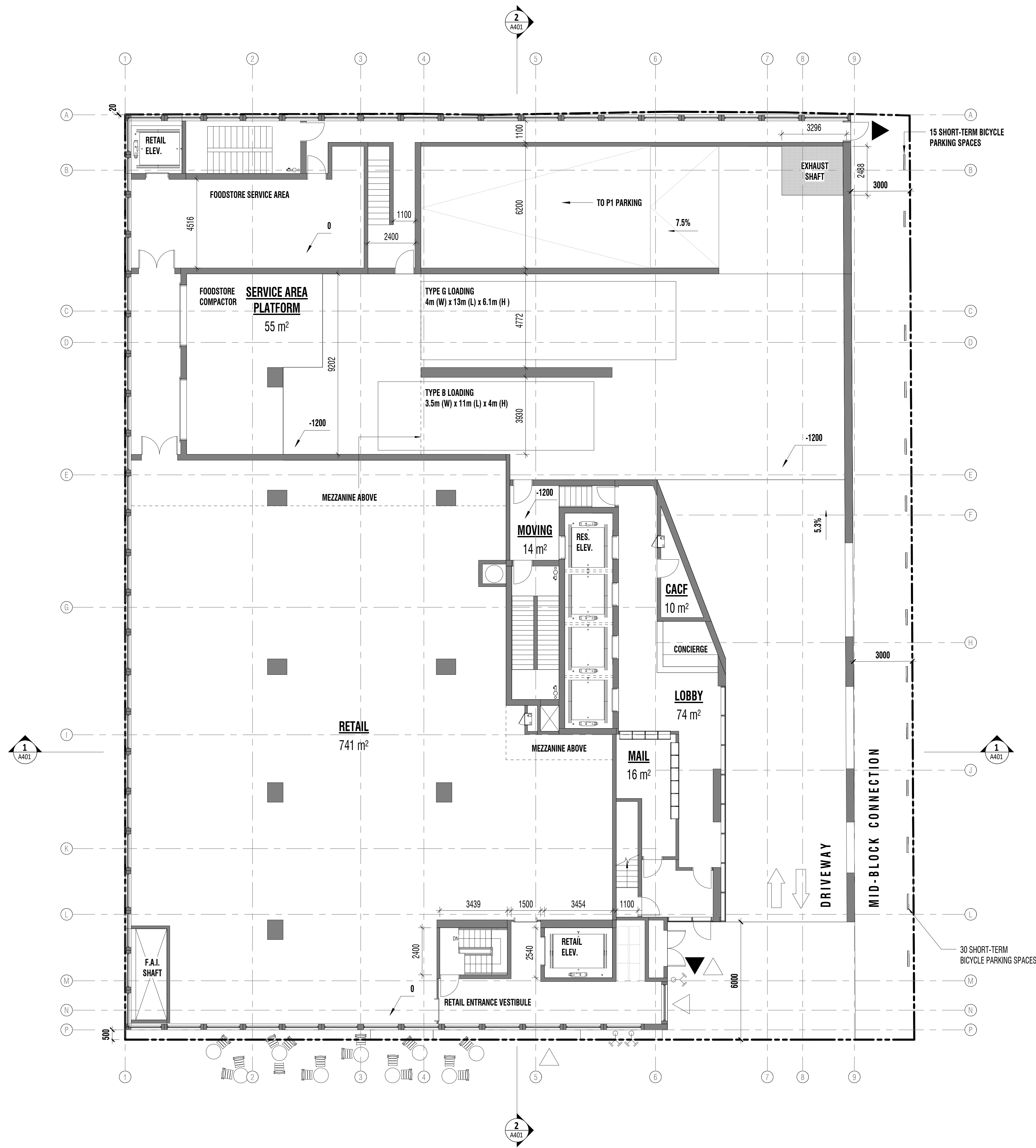
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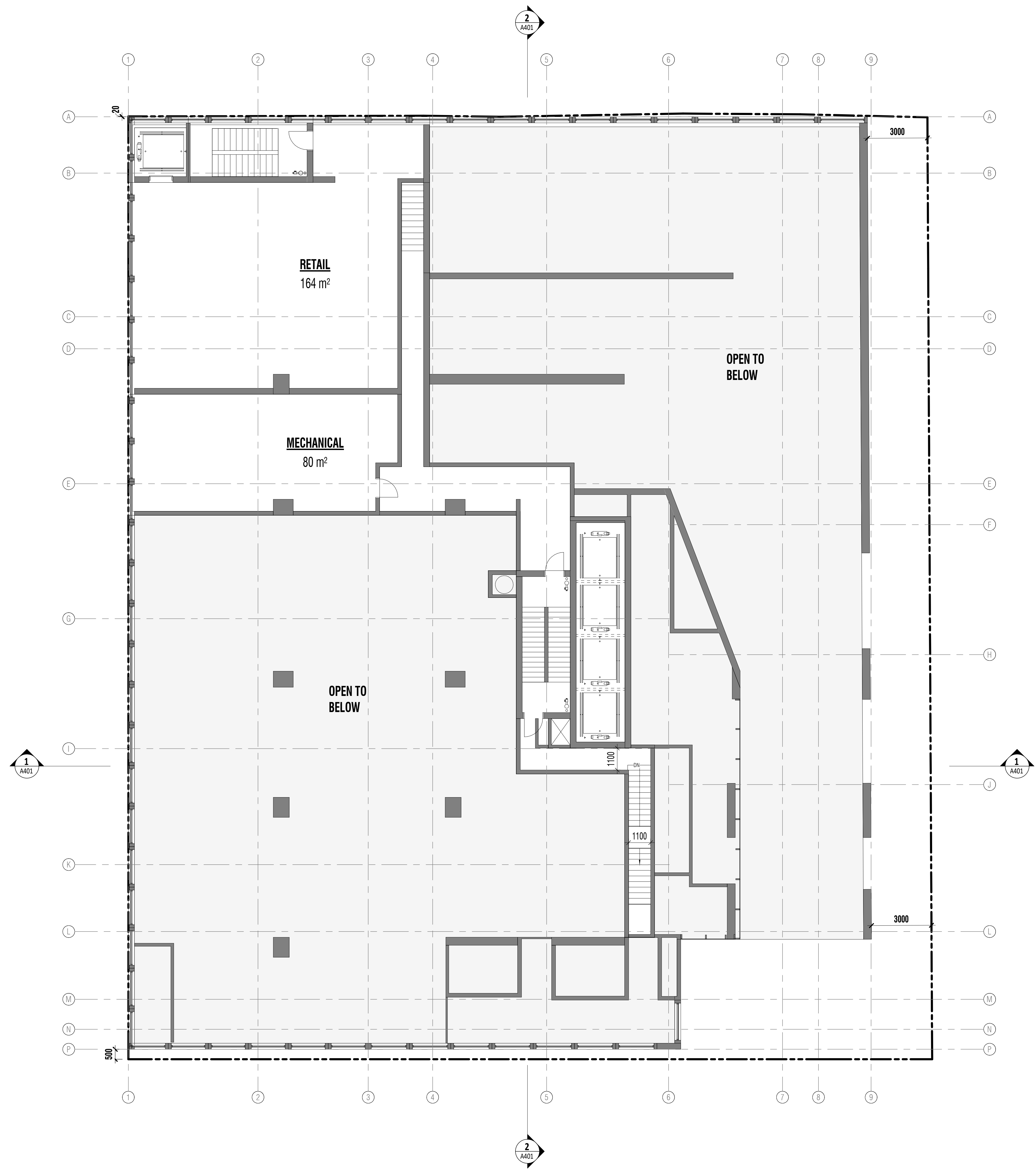
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LEVEL P1
FLOOR PLAN

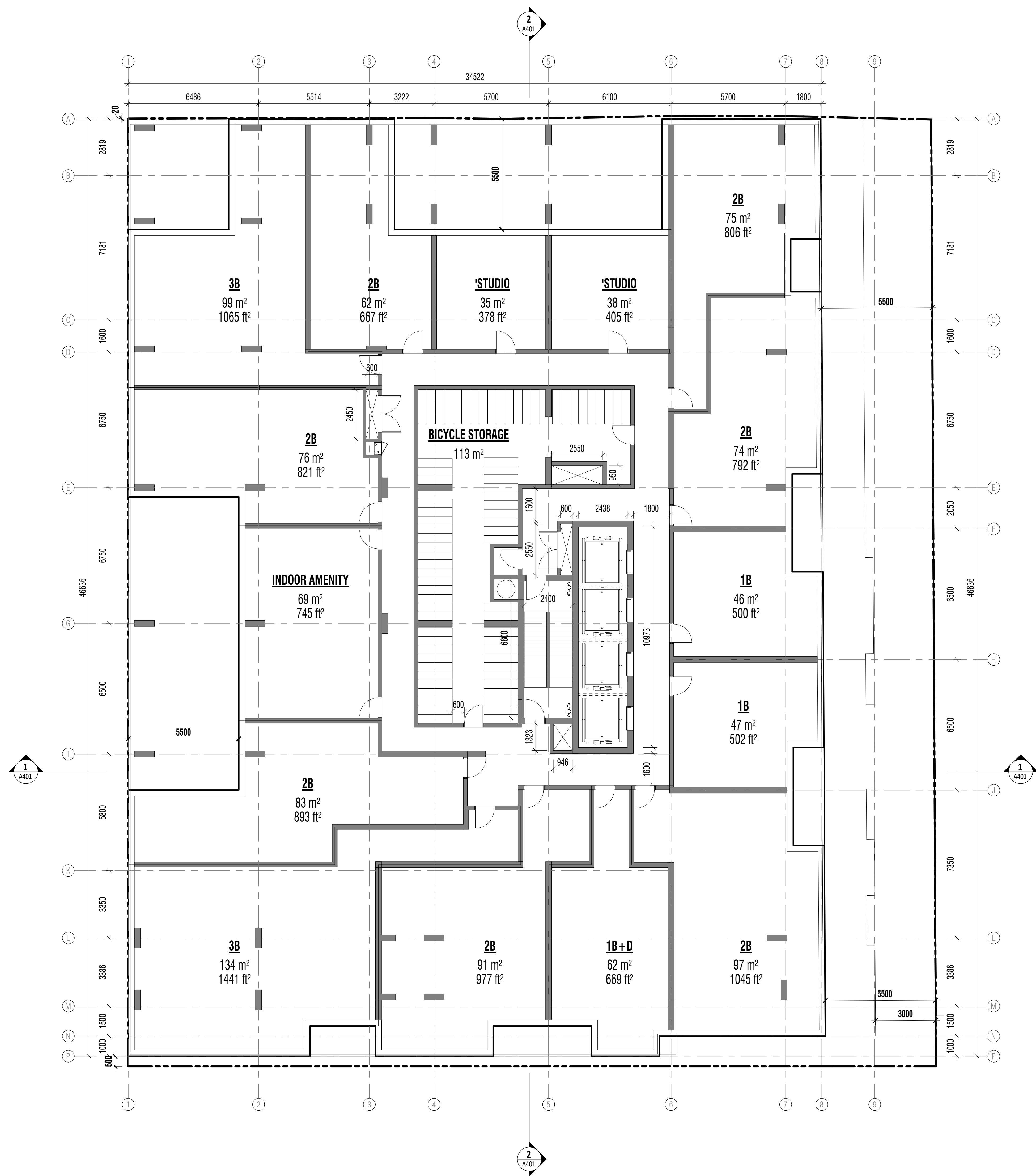
A106



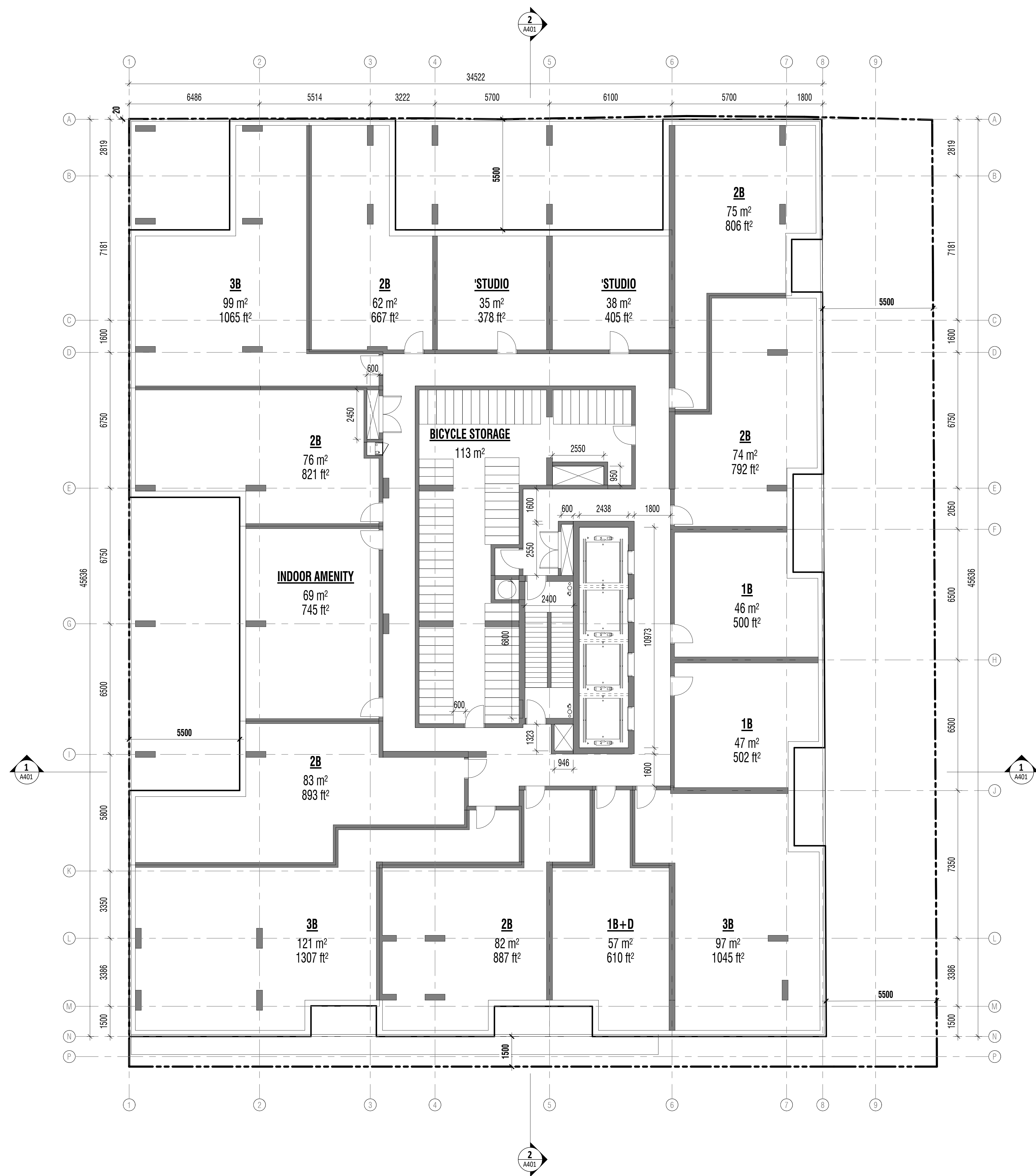
1 LEVEL 1 FLOOR PLAN
A01 | A201 1 : 100



2 LEVEL 1 MEZZANINE FLOOR PLAN
A01 | A201 1 : 100



1 LEVEL 2 FLOOR PLAN
A01 | A202 1 : 100



2 LEVEL 3 FLOOR PLAN
A01 | A202 1 : 100

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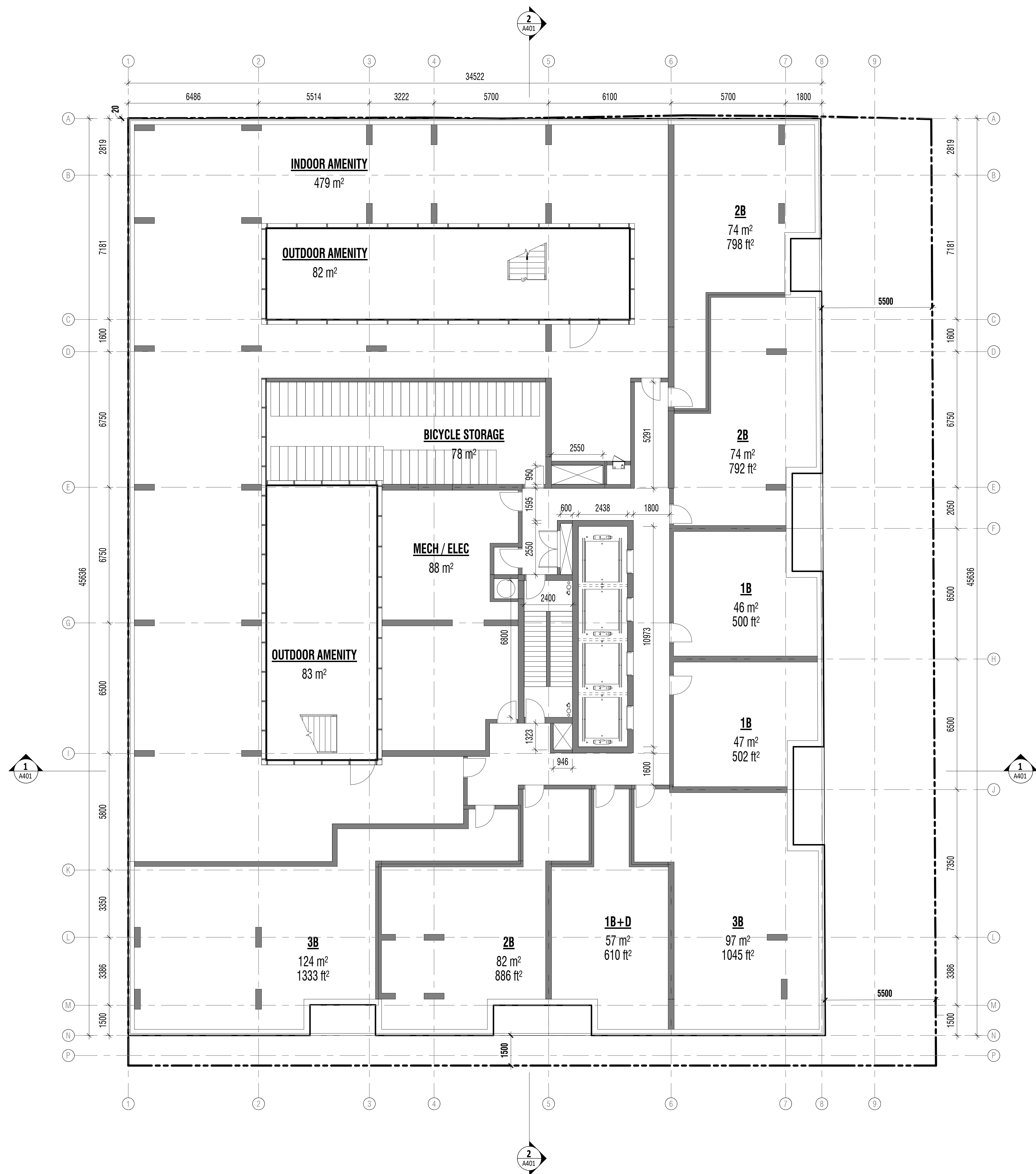
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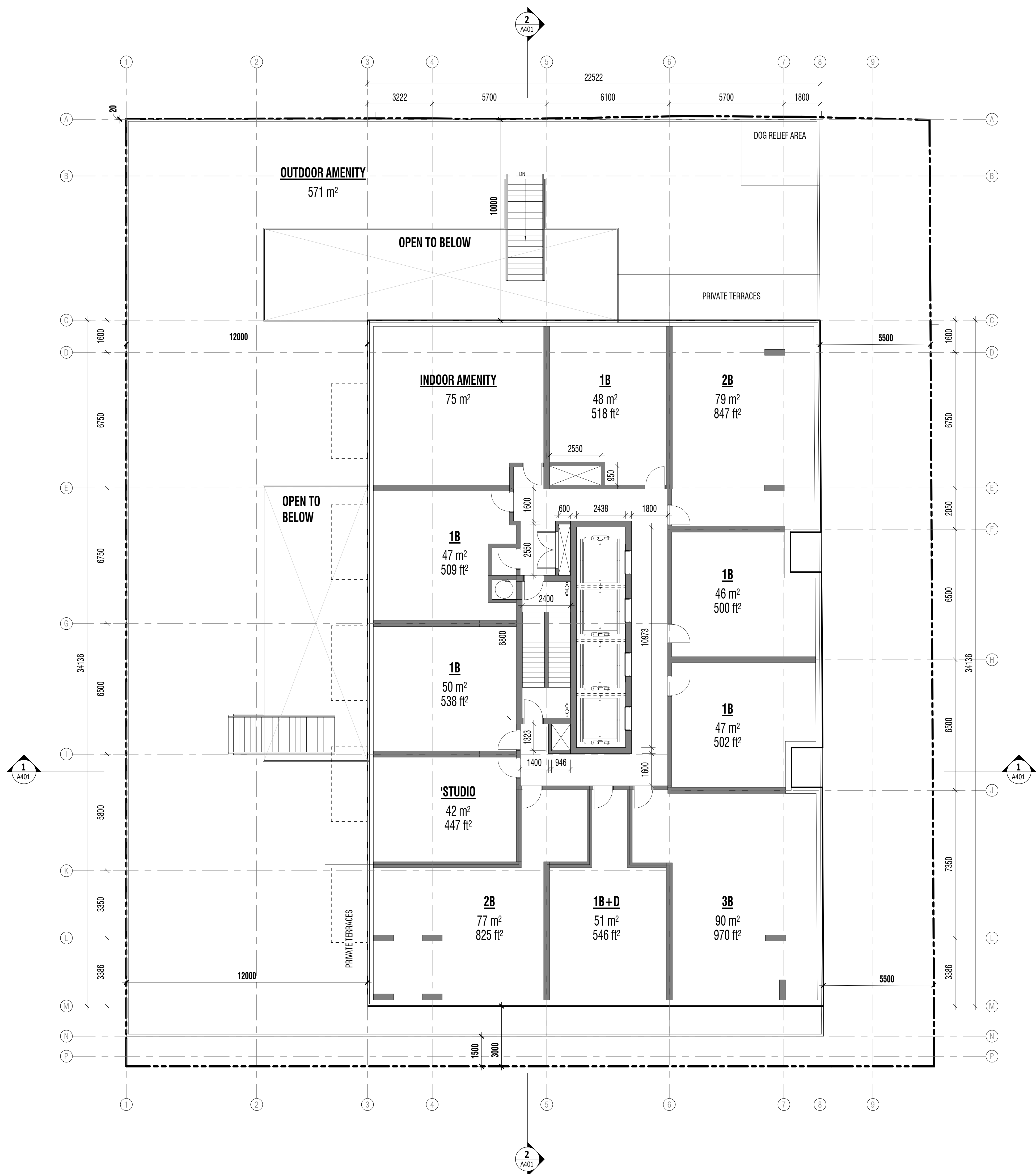
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LEVEL 2,3
FLOOR PLANS

A202



2 LEVEL 4 FLOOR PLAN
A01 | A203 1 : 100



1 LEVEL 5 FLOOR PLAN
A01 | A203 1 : 100

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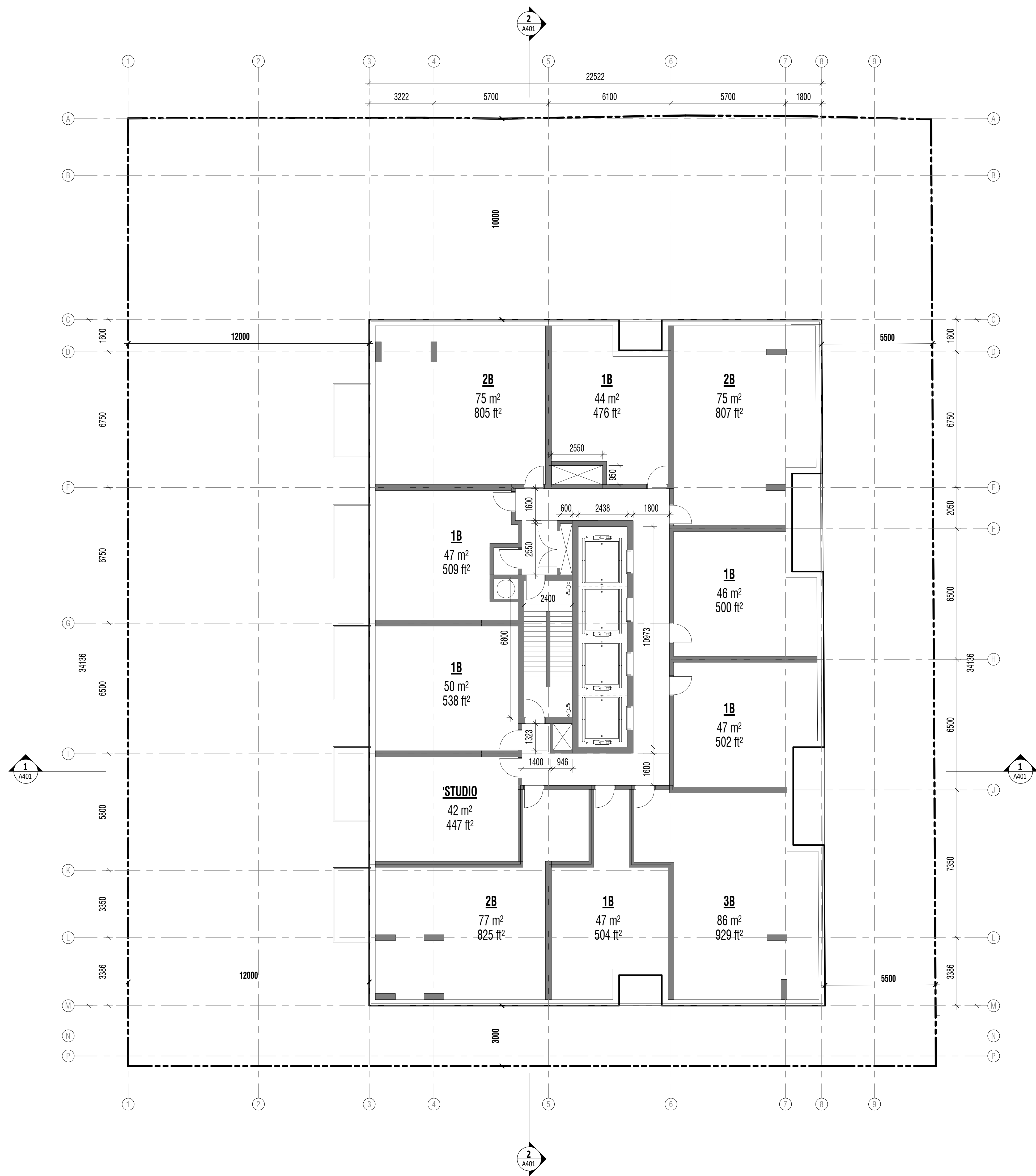
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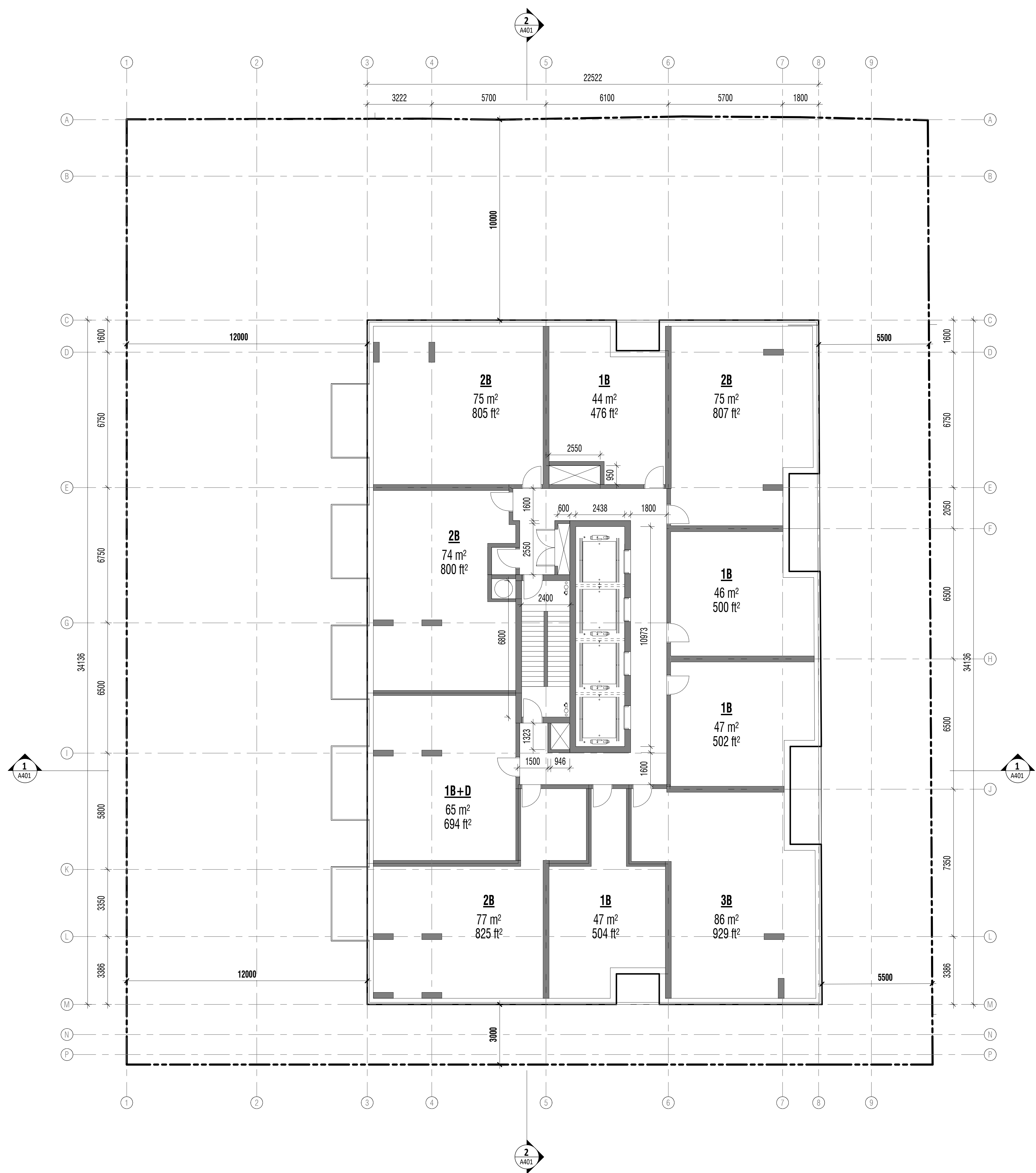
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LEVEL 4,5
FLOOR PLANS

A203



2 LEVEL 6-32 FLOOR PLAN
A01 | A204 1 : 100



1 LEVEL 33-37 FLOOR PLAN
A301 | A204 1 : 100

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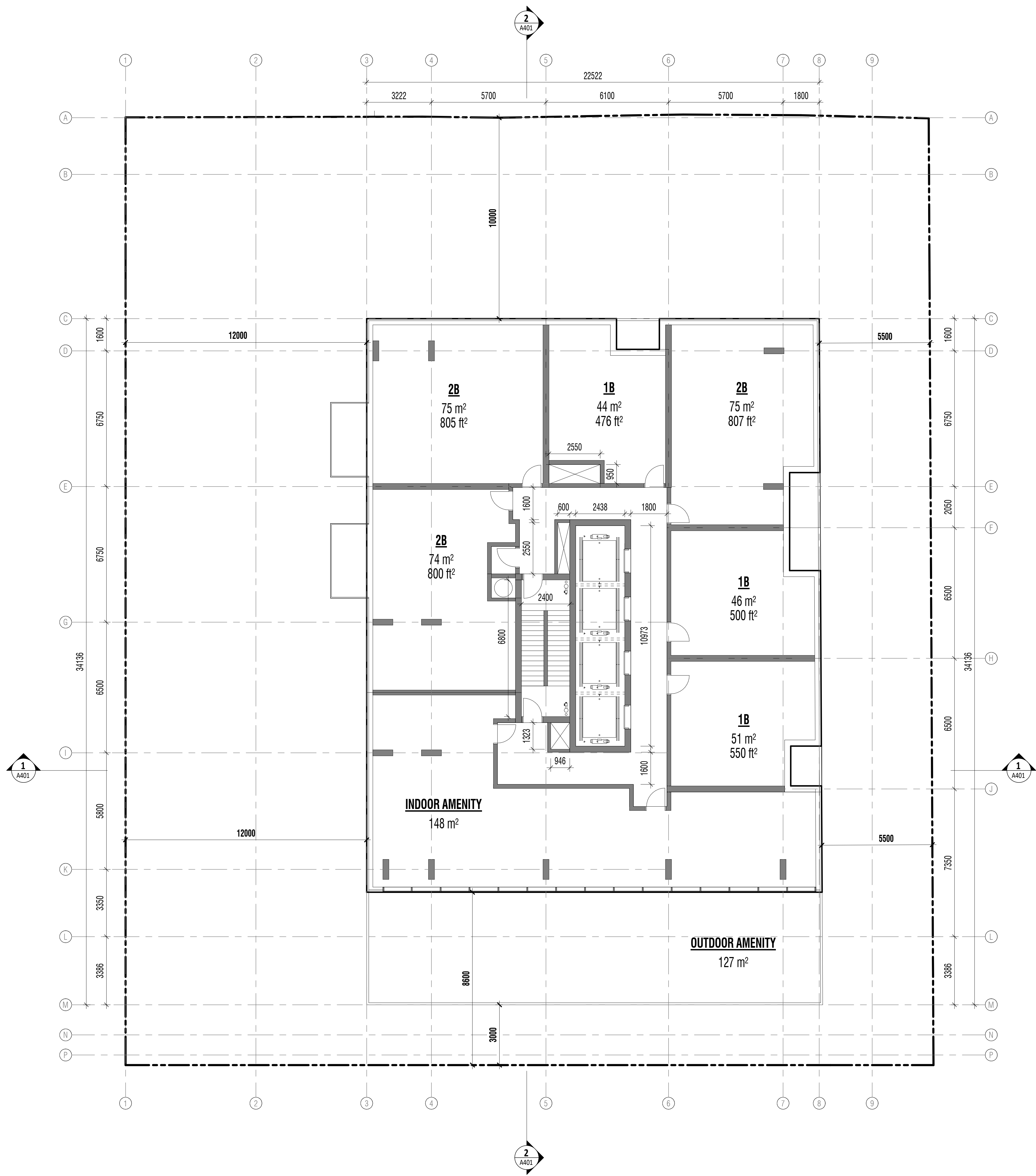
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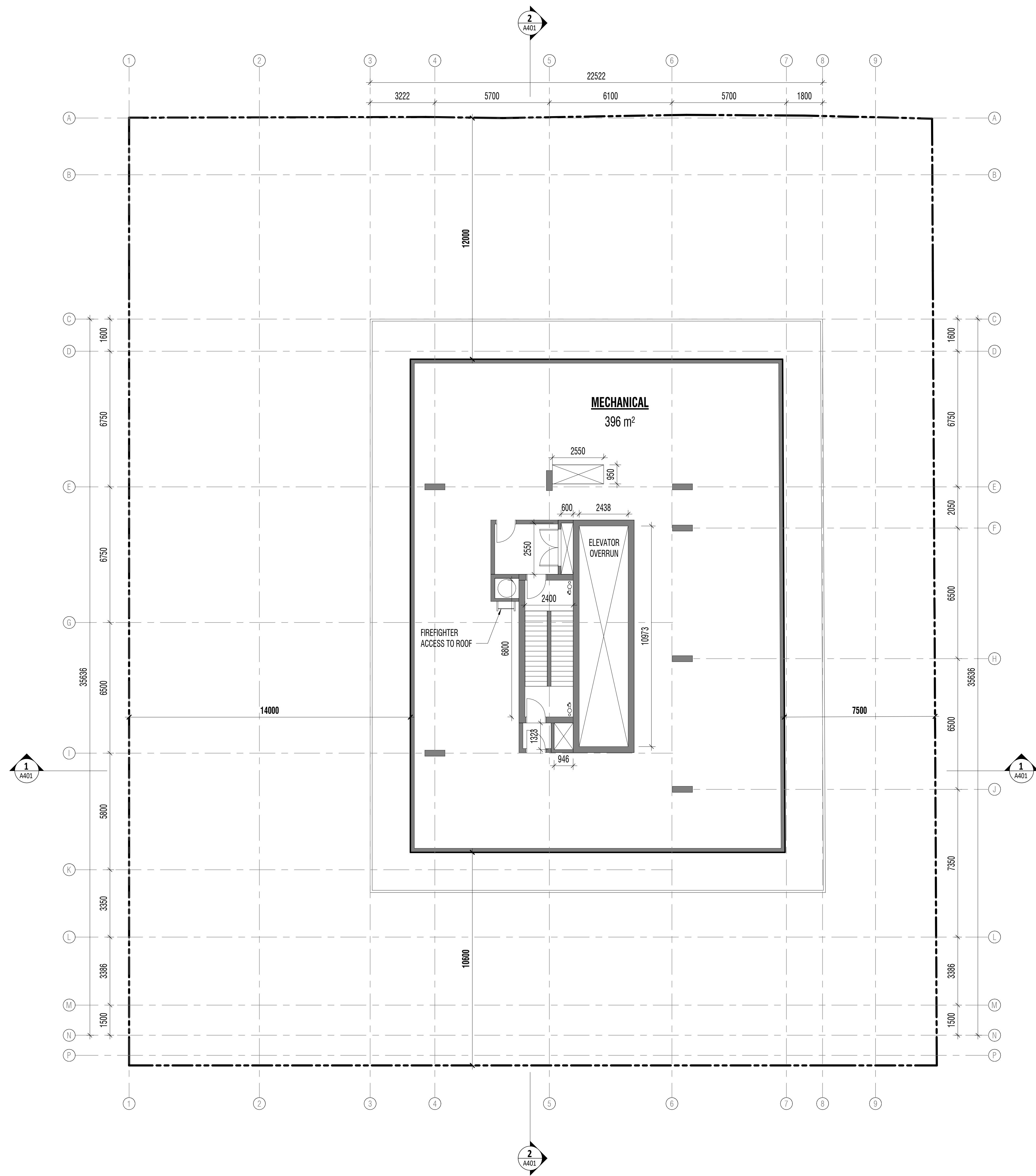
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LEVEL 6-32,
33-37 FLOOR
PLANS
A204



1 LEVEL 38 FLOOR PLAN
A301 | A205 1 : 100

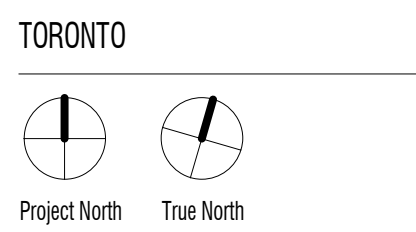


2 MECH. P.H. FLOOR PLAN
A301 | A205 1 : 100

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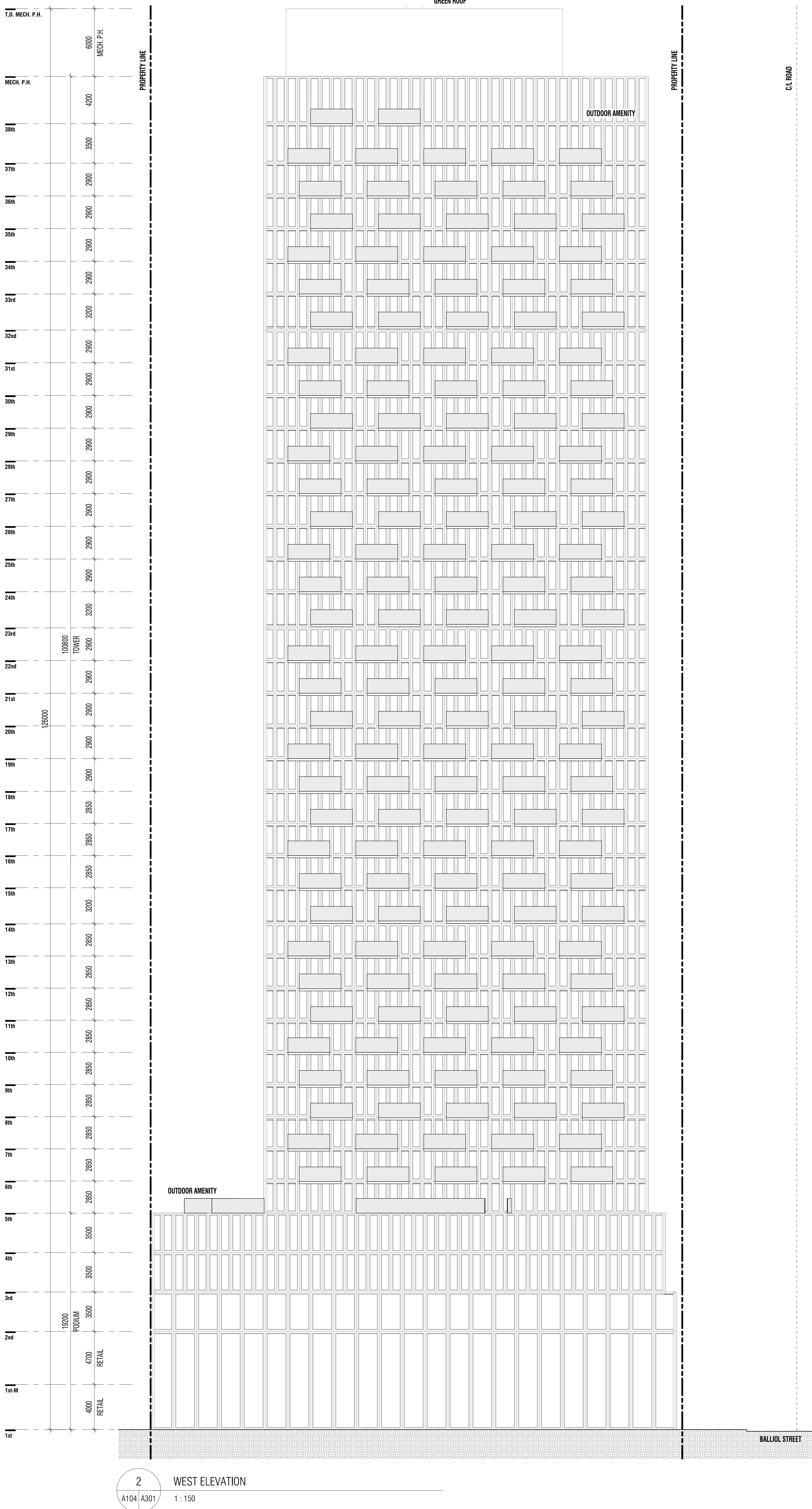
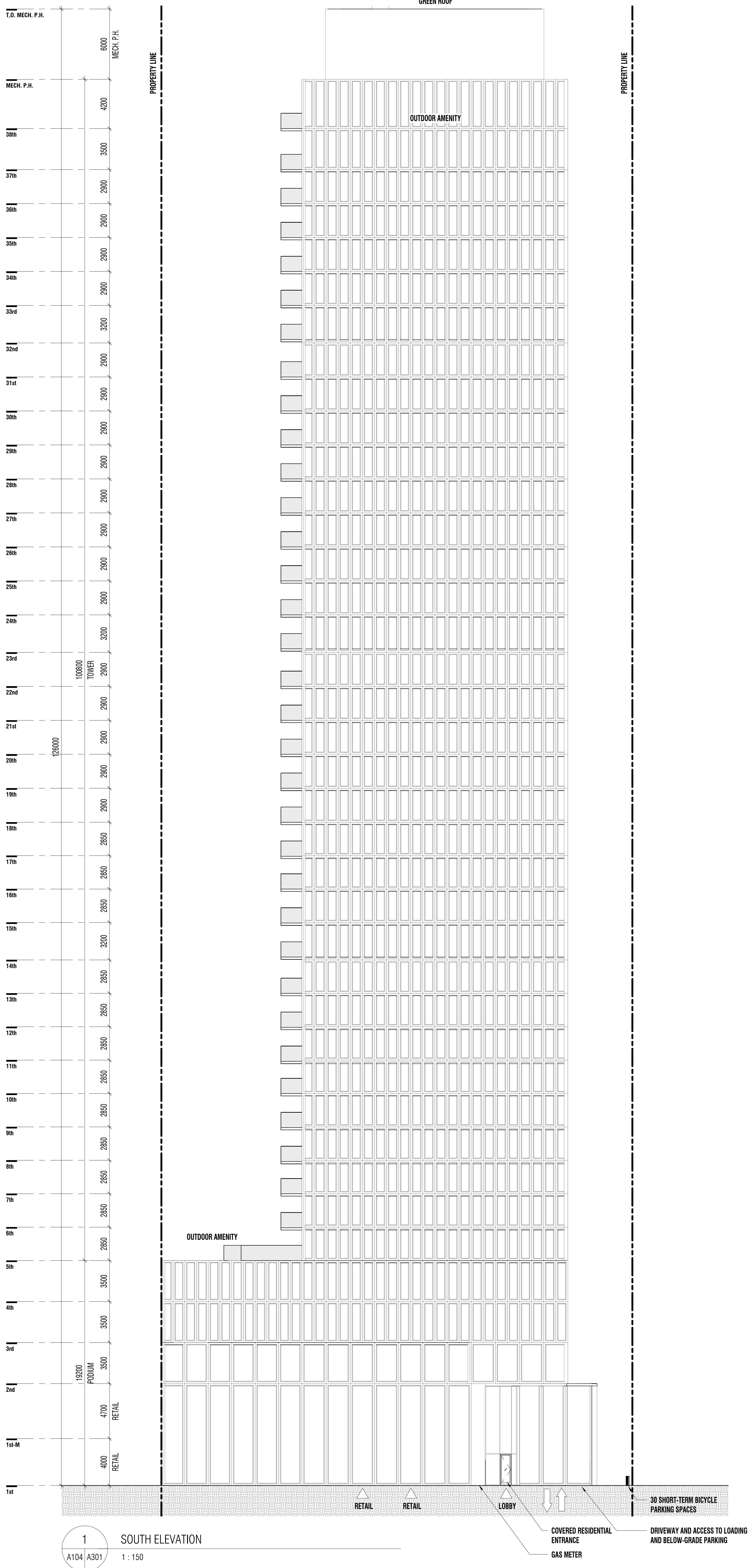
gh3
gh3*
55 OSSINGTON AVE, SUITE 100
TORONTO, ON, CANADA M6J 2Y9
416 915 1791

SHIPLAKE / COLLECDEV
22 BALLIOL STREET



SCALE 1 : 100
PROJECT NO. 201301
ISSUE DATE JULY 6, 2021

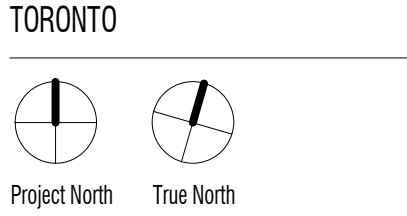
LEVEL 38,
MECH. P.H.
FLOOR PLANS
A205



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gh3
gh3*
55 OSSINGTON AVE, SUITE 100
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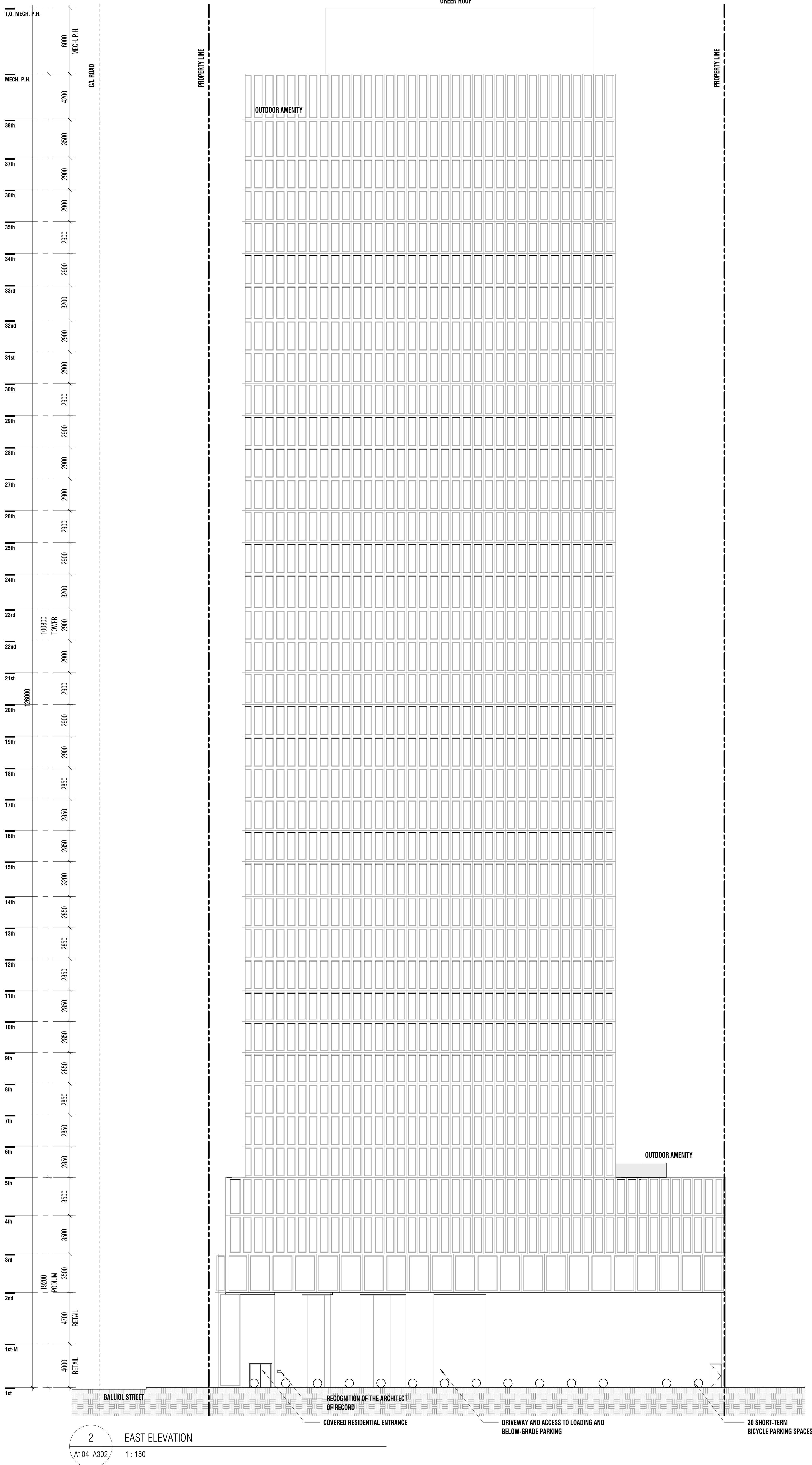
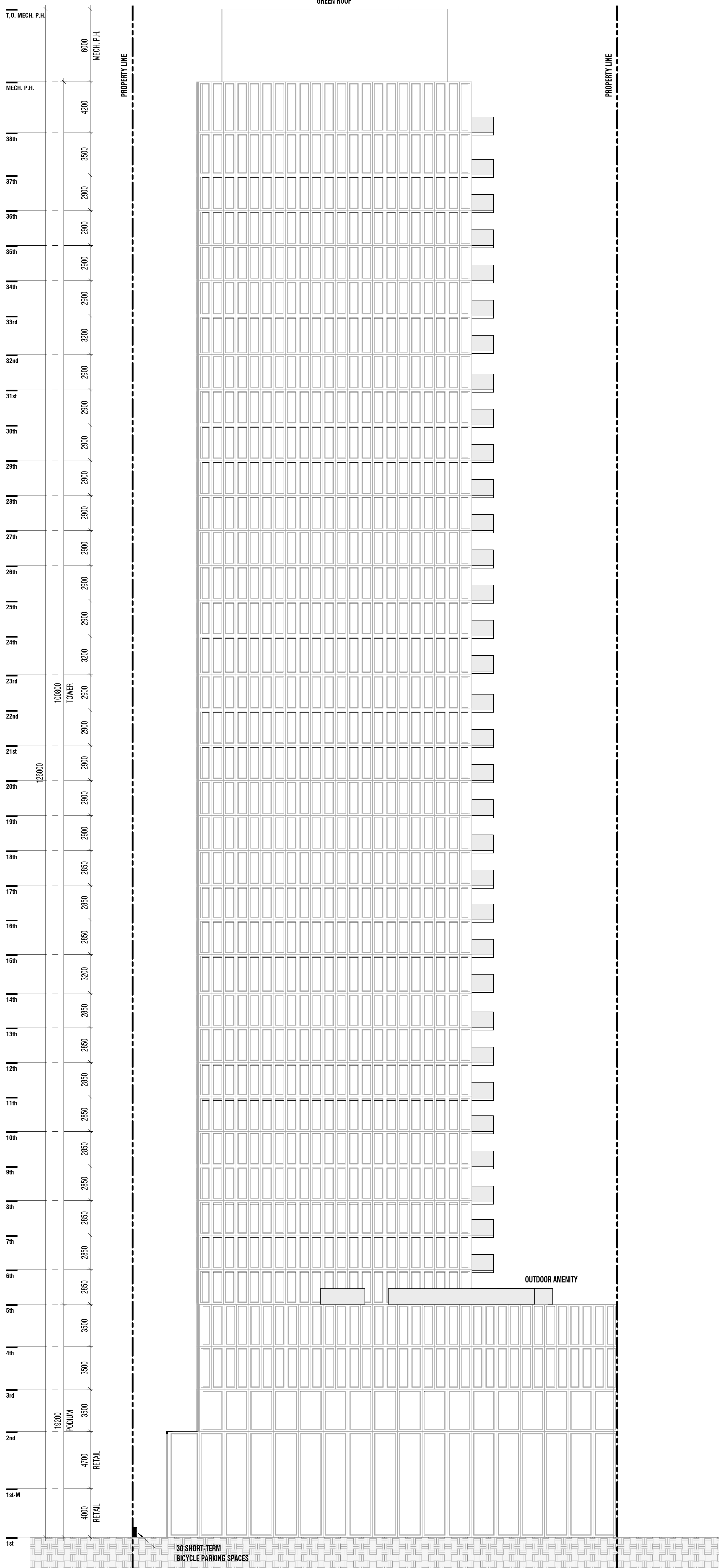
SHIPLAKE / COLLECDEV
22 BALLIOL STREET



SCALE 1:150
PROJECT NO. 201301
ISSUE DATE JULY 6, 2021

SITE
ELEVATIONS

A301



1	JULY 6, 2021	ISSUED FOR OLT
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gh3
gh3*
55 OSSINGTON AVE, SUITE 100
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416 915 1791

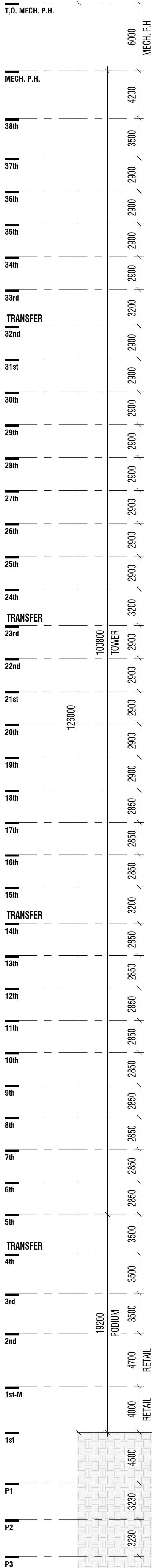
SHIPLAKE / COLLECDEV
22 BALLIOL STREET

TORONTO
Project North True North

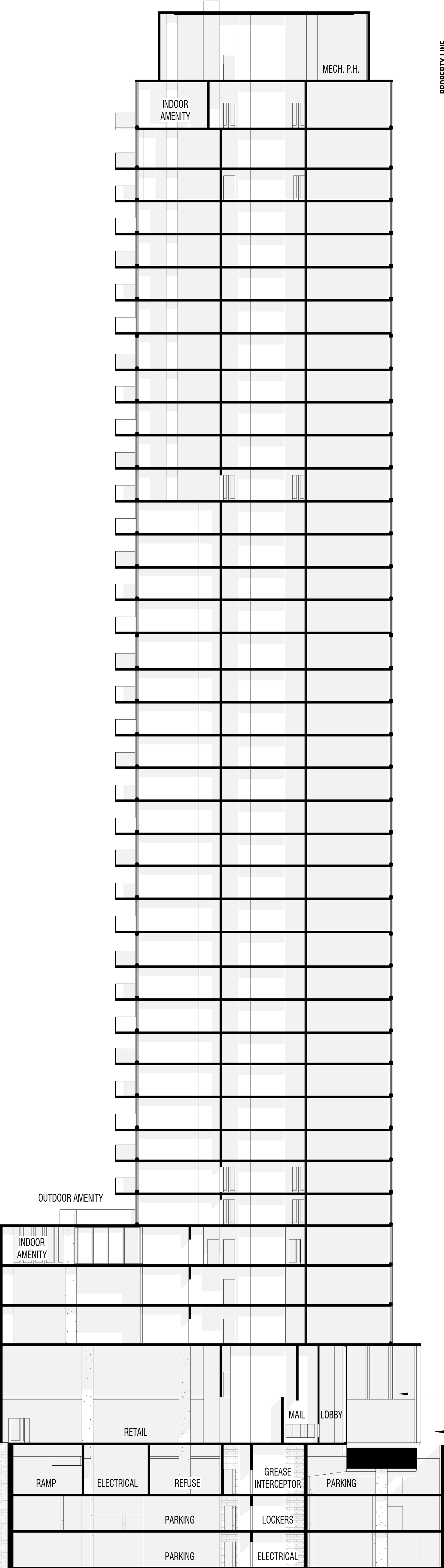
SCALE 1:150
PROJECT NO. 201301
ISSUE DATE JULY 6, 2021

**SITE
ELEVATIONS**

A302



PROPERTY LINE

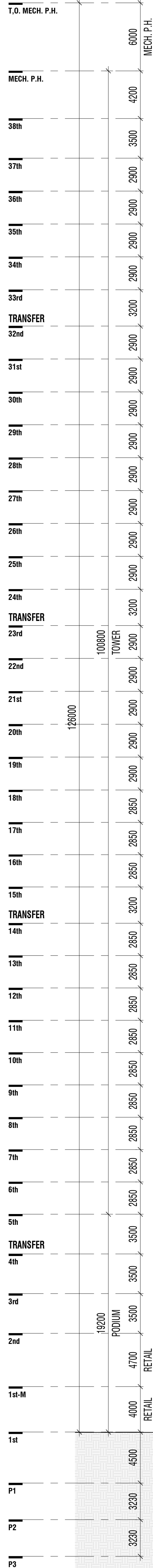


PROPERTY LINE

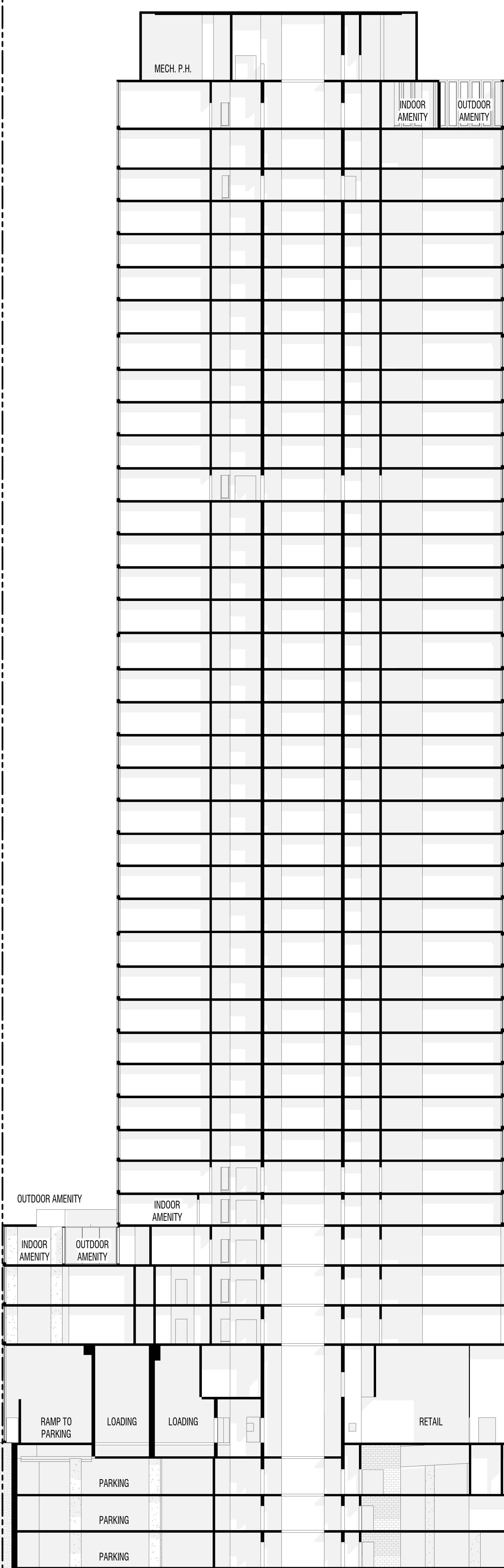
DRIVEWAY AND ACCESS TO LOADING AND BELOW-GRADE PARKING

MID-BLOCK CONNECTION

1 Section 1
A105 A401 1:200



PROPERTY LINE



PROPERTY LINE

PROPERTY LINE

BALLIOL STREET

2 Section 2
A105 A401 1:200

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SHIPLEAKE / COLLEGEDEV
22 BALLIOL STREET

TORONTO
Project North True North

SCALE 1:200
PROJECT NO. 201301
ISSUE DATE JULY 6, 2021

SITE SECTIONS

A401