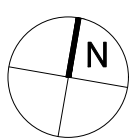




SHEET LIST OF DRAWINGS

- A0** COVER
- A1** SITE STATISTICS AND CONTEXT PLAN
- A2** SITE PLAN
- A3** GROUND FLOOR PLAN
- A4** CONCOURSE LEVEL PLAN
- A5** P1 PLAN
- A6** P2 PLAN
- A7** MEZZANINE LEVEL PLAN
- A8** 2ND FLOOR PLAN
- A9** 3RD FLOOR PLAN
- A10** 4TH FLOOR PLAN
- A11** 5TH FLOOR PLAN
- A12** 6TH FLOOR PLAN
- A13** 7TH FLOOR PLAN
- A14** 8TH FLOOR PLAN
- A15** 9TH FLOOR PLAN
- A16** GREEN ROOF CALCULATION
- A17** EAST-WEST SECTION LOOKING NORTH
- A18** NORTH-SOUTH SECTION LOOKING EAST
- A19** NORTH-SOUTH SECTION LOOKING WEST
- A20** WEST ELEVATION
- A21** SOUTH ELEVATION
- A22** EAST ELEVATION
- A23** NORTH ELEVATION
- A24** GLENCAIRN PERSPECTIVE- LOOKING NORTHWEST
- A25** PERSPECTIVE LOOKING EAST
- A26** PERSPECTIVE VIEW: RESIDENTIAL ENTRANCE
- A27** BATHURST PERSPECTIVE- RETAIL
- A28** BIRD-FRIENDLY CALCULATIONS - WEST ELEVATION
- A29** BIRD-FRIENDLY CALCULATIONS - INSIDE SOUTH ELEVATION
- A30** BIRD-FRIENDLY CALCULATIONS - SOUTH ELEVATION
- A31** BIRD-FRIENDLY CALCULATIONS - INSIDE NORTH ELEVATION
- A32** BIRD-FRIENDLY CALCULATIONS - NORTH ELEVATION
- A33** BIRD-FRIENDLY CALCULATIONS - EAST ELEVATION
- A34** ENLARGED ELEVATION - RESIDENTIAL MAIN ENTRANCE
- A35** MATERIAL BOARD

2795 BATHURST ST
TORONTO, ONTARIO
SITE PLAN APPROVAL APPLICATION
FEBRUARY 25, 2021



Statistics Template - Toronto Green Standard Version 3.0

Mid to High Rise Residential and all New Non-Residential Development

The Toronto Green Standard Version 3.0 Statistics Template is submitted with Site Plan Control Applications and stand alone Zoning Bylaw Amendment applications. Complete the table and copy it directly onto the Site Plan submitted as part of the application.

For Zoning Bylaw Amendment applications: complete General Project Description and Section 1.

For Site Plan Control applications: complete General Project Description, Section 1 and Section 2.

For further information, please visit www.toronto.ca/greendevlopment

General Project Description	Proposed
Total Gross Floor Area	15,720sm
Breakdown of project components (m²)	-
Residential	14,800sm
Retail	920sm
Commercial	
Industrial	
Institutional/Other	
Total number of residential units	165 units

Section 1: For Stand Alone Zoning Bylaw Amendment Applications and Site Plan Control Applications

Automobile Infrastructure	Required	Proposed	Proposed %
Number of Parking Spaces	175	175	100
Number of parking spaces dedicated for priority LEV parking	0	0	
Number of parking spaces with EVSE	35	35	100

Cycling Infrastructure	Required	Proposed	Proposed %
Number of long-term bicycle parking spaces (residential)	149	149	100
Number of long-term bicycle parking spaces (all other uses)	2	2	100
Number of long-term bicycle parking (all uses) located on:			
a) first storey of building			
b) second storey of building			
c) first level below-ground			
d) second level below-ground	151	151	100
e) other levels below-ground			

Cycling Infrastructure	Required	Proposed	Proposed %
Number of short-term bicycle parking spaces (residential)	17	17	100
Number of short-term bicycle parking spaces (all other uses)	6	6	100
Number of male shower and change facilities (non-residential)	N/A	N/A	
Number of female shower and change facilities (non-residential)	N/A	N/A	

Tree Planting & Soil Volume	Required	Proposed	Proposed %
Total Soil Volume (40% of the site area + 66 m² x 30 m³).			

Section 2: For Site Plan Control Applications

Cycling Infrastructure	Required	Proposed	Proposed %
Number of short-term bicycle parking spaces (all uses) at-grade or on first level below grade	23	23	100

UHI Non-roof Hardscape	Required	Proposed	Proposed %
Total non-roof hardscape area (m²)		935	
Total non-roof hardscape area treated for Urban Heat Island (minimum 50%) (m²)	468sqm	875sqm	94%
Area of non-roof hardscape treated with: (indicate m²)			
a) high-albedo surface material		875	
b) open-grid pavement		0	
c) shade from tree canopy		0	
d) shade from high-albedo structures		0	
e) shade from energy generation structures		0	
Percentage of required car parking spaces under cover (minimum 75%)(non-residential only)			

Green & Cool Roofs	Required	Proposed	Proposed %
Available Roof Space (m²)		747	
Available Roof Space provided as Green Roof (m²)	373.5	527	71
Available Roof Space provided as Cool Roof (m²)			
Available Roof Space provided as Solar Panels (m²)			

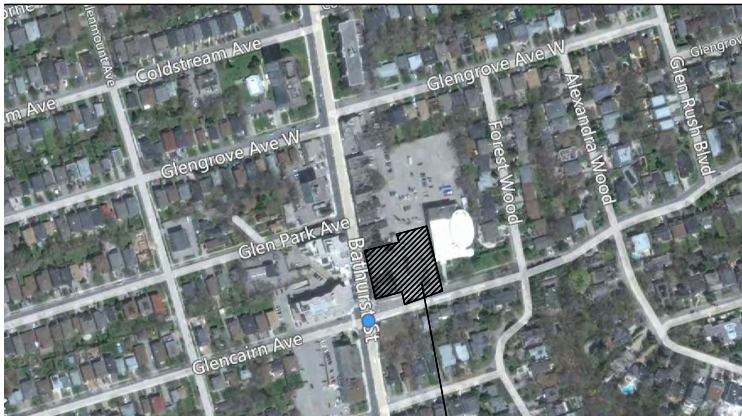
Water Efficiency	Required	Proposed	Proposed %
Total landscaped site area (m²)		247	
Landscaped site area planted with drought-tolerant plants (minimum 50%) (m² and %) (if applicable)	50%	177sqm	72

Tree Planting Areas & Soil Volume	Required	Proposed	Proposed %
Total site area (m²)		3593	
Total Soil Volume (40% of the site area + 66 m³x 30 m³)	653.27m3	440m3	67
Total number of planting areas (minimum of 30m³ soil)		3	
Total number of trees planted	22	10	45
Number of surface parking spaces (if applicable)			
Number of shade trees located in surface parking area interior (minimum 1 tree for 5 parking spaces)			

Native and Pollinator Supportive Species	Required	Proposed	Proposed %
Total number of plants		14	
Total number of native plants and % of total plants (min.50%)	50%	11	79%

Bird Friendly Glazing	Required	Proposed	Proposed %
Total area of glazing of all elevations within 12m above grade (including glass balcony railings)		1984	
Total area of treated glazing (minimum 85% of total area of glazing within 12m above grade) (m²)	1686	1734	87
Percentage of glazing within 12m above grade treated with:			
a) Low reflectance opaque materials		132sqm	7
b) Visual markers		1222sqm	62
c) Shading		380sqm	19

CONTEXT PLAN



SURVEY INFORMATION FROM:
LOT 9, 17, 18, 19 & 20 AND
PART OF LOTS 7, 8 & 10
REGISTERED PLAN 1061
CITY OF TORONTO
Prepared By: LAND SURVEY GROUP
Prepared on: Sept 26, 2011

PROJECT SITE STATISTICS

Proposed Use: Residential Building with Retail at Grade

Site Area: 3,593sm*
Residential FSI: 4.38
Retail FSI: 0.26**(including existing retail area: 228sm)
* Gross Site (Includes 148sm Road Widening)

Proposed GFA: 15,720sm** (including existing retail area: 228sm)
Residential: 14,800sm
Total Non-Residential(Retail): 920 sm (including existing retail area: 228sm & new retail area: 692sm)
** GFA Based on By-law 569-2013.

Proposed Residential Units: 165
1B - 89, 2B- 60, 3B-16

Indoor Amenity Required: 165 x 2.0/Unit = 330 sm
Indoor Amenity Provided: 330 sm
Outdoor Amenity Required: 165 x2.0/Unit = 330sm
Outdoor Amenity Provided: 350 sm

Parking Required: 175

Type	Number	Minimum Ratio	Minimum Spaces
1B	89	0.8	71
2B	60	0.9	54
3B	16	1.1	17
Total Resident:			142
Residential Visitor @.15/unit =			24
Type	Number	Minimum Ratio	Minimum Spaces
Retail	920sm	1/100sm	9

Total Parking Provided: 175
9 Retail
24 Residential Visitor (to be provided in public parking area)
142 Resident

Residential Bike Parking Required:
Residential: (@.9 bike space/unit): 149 bike spaces
Residential Visitor (@ .1 bike space/unit): 17 bike spaces

Retail Bike Parking Required:
Retail Long Term (.2/100sm) = 2 bike spaces
Retail Short Term: 3 spaces + (.3/100sm) = 6 bike spaces

Residential Bike Parking Provided:
Resident: 149 bike spaces (at Concourse Level)
Residential Visitor: 17 bike spaces (17 spaces at Concourse Level)

Retail Bike Parking Provided:
Retail Long Term : 2 bike spaces (at Concourse Level)
Retail Short Term: 6 bike spaces (6 at concourse level)
(4 retail short term spaces provided at ground ROW do not count towards requirements)

Surface Bike Parking: 12 (incl. 4 Retail Short term)
(2% Provided on the Surface)

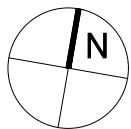
Loading: 1 Space - 1 Type G 4.0m x 13m x 6.1m clear

Height: As shown on Siteplan

Setbacks: As Shown on Siteplan



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SITE STATISTICS & CONTEXT PLAN
ISSUED FOR REZONING APRIL 27-15
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ISSUED FOR COMMENTS JULY 29-19
ISSUED FOR SPA AUGUST 21, 2020
ISSUED FOR SPA FEBRUARY 25, 2021
ISSUED FOR SPA JUNE 1, 2021

SCALE: N/A
JOB-No.: 36143

A1

General Notes:

- i. The waste diversion system is a tri-sorter.
- vi. Refer to traffic drawings from BA Group for auto-turns & P1 level & 3A Autoturns.
- vii. Driveway complies with City of Toronto Standard No. T310-050-01 for combined curb and sidewalk vehicular entrance.
- viii. Ground floor bike spaces: (4 Retail Short Term)(Not counting towards bike space requirements)
- ix. Bike spaces are vertical, horizontal.
- x. The entire path of the collection vehicle will have a vertical clearance of at least 4.4m (including under the overhead door).
- xi. The type G loading space will be maximum 2.0% slope, constructed of 200mm of reinforced concrete and has an unencumbered vertical clearance of at least 6.1 metres over the entire length of 13.0 metres.
- xii. Loading area to be designed in accordance with obc, with a design load supporting city bulk lift vehicles , for an impact factor of 5% for vehicular speeds up to 15 km/h and 30% for higher speeds.
- xiii. A trained on-site staff member will be available to maneuver bins for the collection driver and also act as a flagman when the truck is reversing. In the event the on-site staff is unavailable at the time the city collection vehicles arrive at the site, the collection vehicle will leave the site and not return until the next scheduled collection day.
- xiv. Prior to solid waste collection services are to begin, the city will need to be provided with a letter certified by a professional engineer that in all cases where a collection vehicle is required to drive onto or over a supported structure (such as an underground parking garage) the structure can safely support a fully loaded collection vehicle (35,000 kilograms) and conforms to the following:
- (a) design code - ontario building code.
 - (b) design code - city bulk lift vehicle in addition building code requirements.
 - (c) impact factor - 5% for maximum vehicular speeds to 15 km/h and 30% for higher speeds.

xv. The commercial component of this development being ineligible for city of Toronto collection must store, transport and make arrangement for collection of all materials separately from the residential component. Collection of waste will be in accordance with chapter 841, solid waste of the municipal code. Separate retail waste and recycling containers are to be utilized and it will be necessary for the retail sector to have their bins identified (i.e. "retail waste only").

xvi. The retail component shares type "g" loading space with the residential component. retail management will arrange for waste collection to be scheduled on opposite days to residential collection days.

xvii. Overhead access doors to type 'g' loading space designed with a minimum of 4.4m vertical clearance and a minimum width of 4.0m.

xviii. All ramp slopes to be provided in accordance with by-law 438-86 and provide transition areas at the top and bottom of the ramps leading to individual parking levels with a maximum slope of 7.5% over a minimum distance of 3.0m and where the ramp begins at the property line it must have a maximum slope of 5% over a minimum distance of 6.0m.

xix. Based upon the information available, Solid Waste Management will provide bulk lift compacted garbage, recycling and organic collection services to this component of the development. Collection of waste materials from this component will be in accordance with the "City of Toronto Requirements for Garbage, Recycling and Organics Collection Services for New Developments and Re-Developments" and Chapter 844, Solid Waste of the Municipal Code.

xx. the staging area is level (+/-2%), is constructed of 200mm of reinforced concrete and has a vertical clearance of min. 6.1m'.

xxi. Proper way-finding signs/pavement markings/strategies would be provided on site for all the short-term and long-term bicycle parking spaces, between all the access points (i.e. building entrances, ramps, elevators, and etc.) and the proposed bicycle parking areas.

NOTES:

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2. FOR GRADING AND SERVICING INFORMATION - REFER TO DRAWINGS PREPARED BY RJ BURNSIDE.
3. FOR AUTOTURNS - REFER TO DRAWINGS PREPARED BY BA GROUP, P1 FLOOR PLAN AND 3A AUTOTURN DIAGRAMS
4. FOR CURB RADAIL - REFER TO GROUND FLOOR PLAN
5. THE BUILDING WILL BE SPRINKLERED.

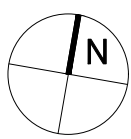
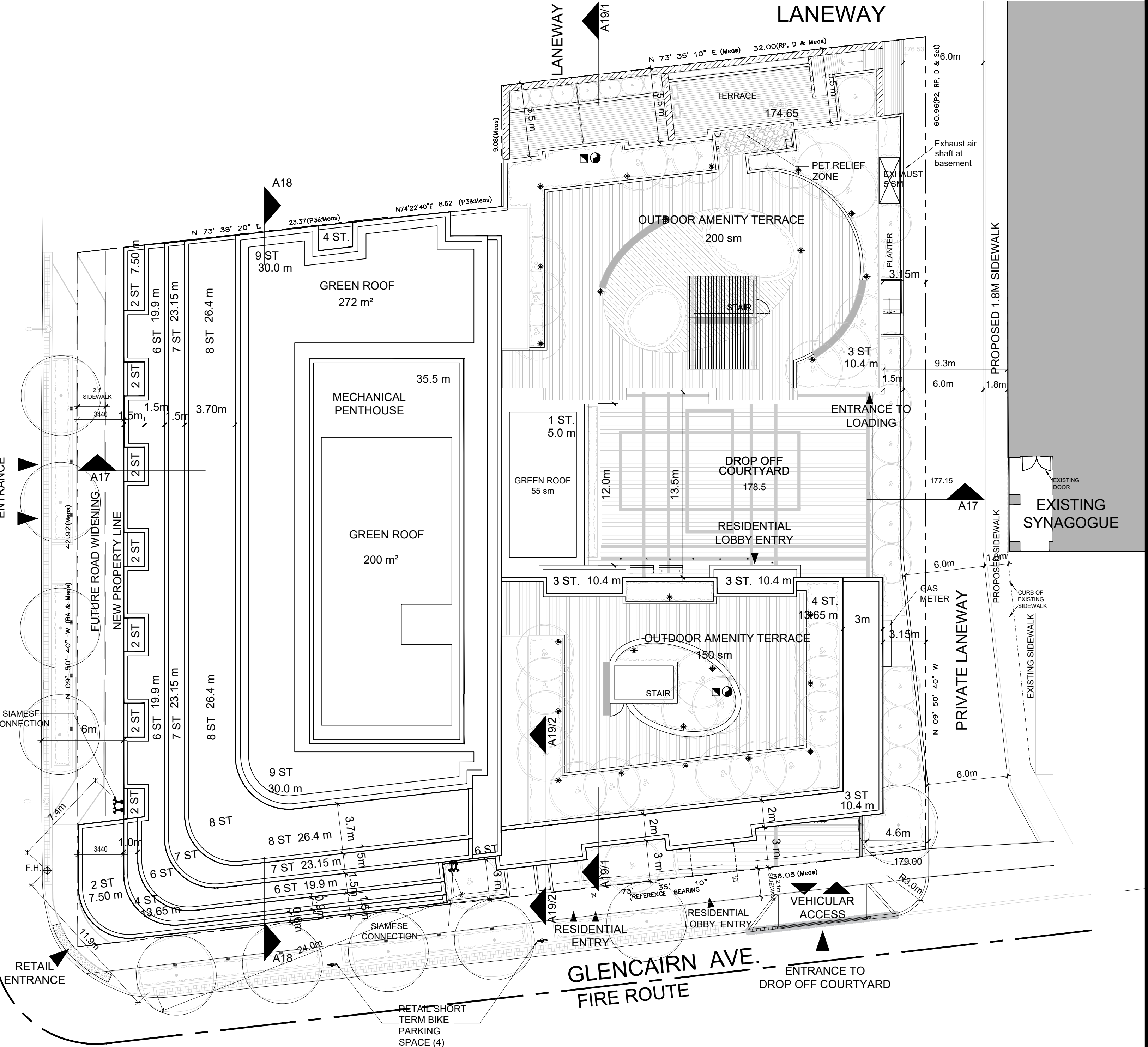


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BATHURST ST.

FIRE ROUTE

RETAIL ENTRANCE



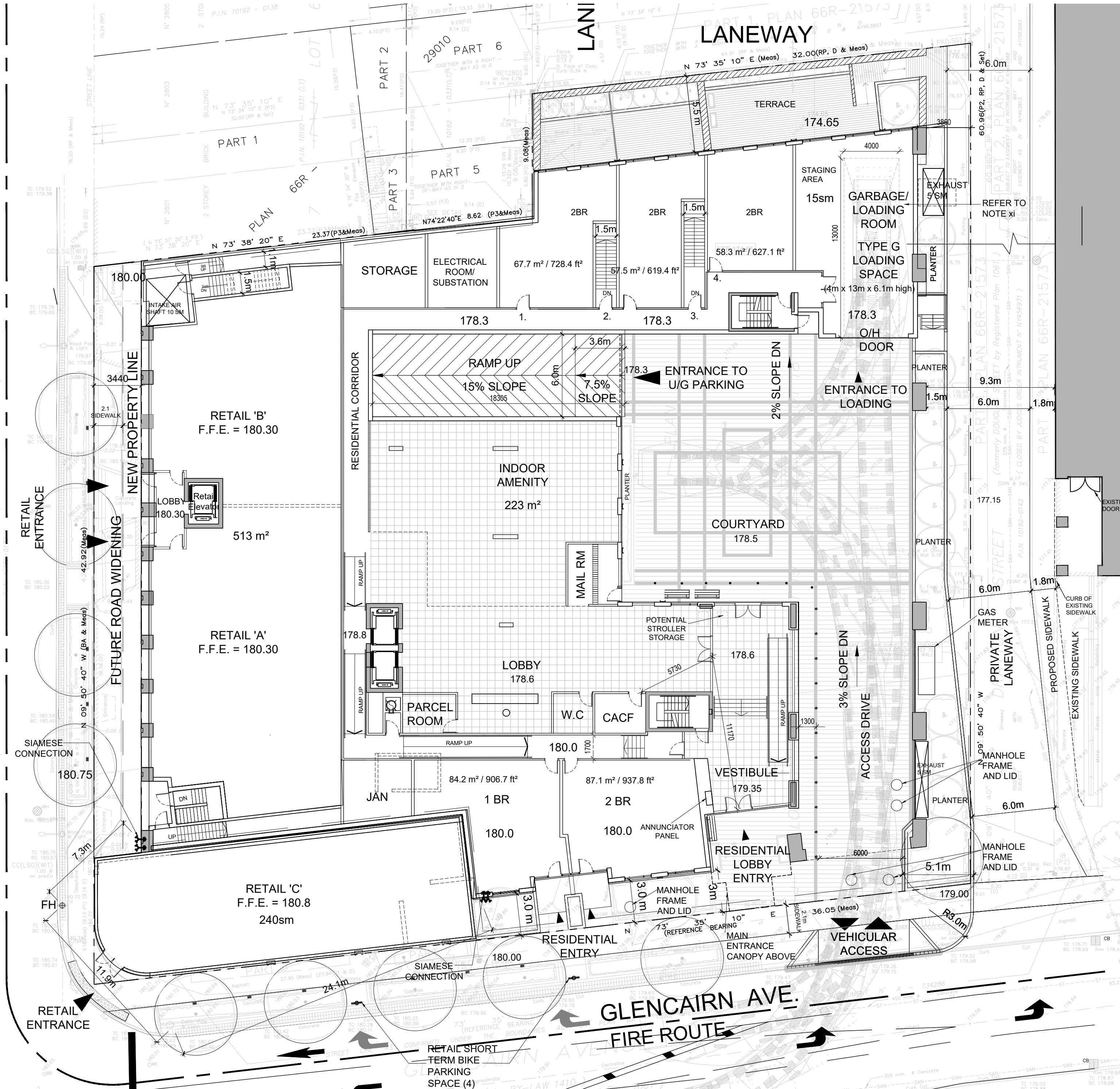
2795 BATHURST STREET, NORTH YORK, ONTARIO
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SCALE: 1/200
JOB-No.: 36143

A2

BATHURST ST.
BATHURST STREET
FIRE ROUTE



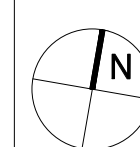
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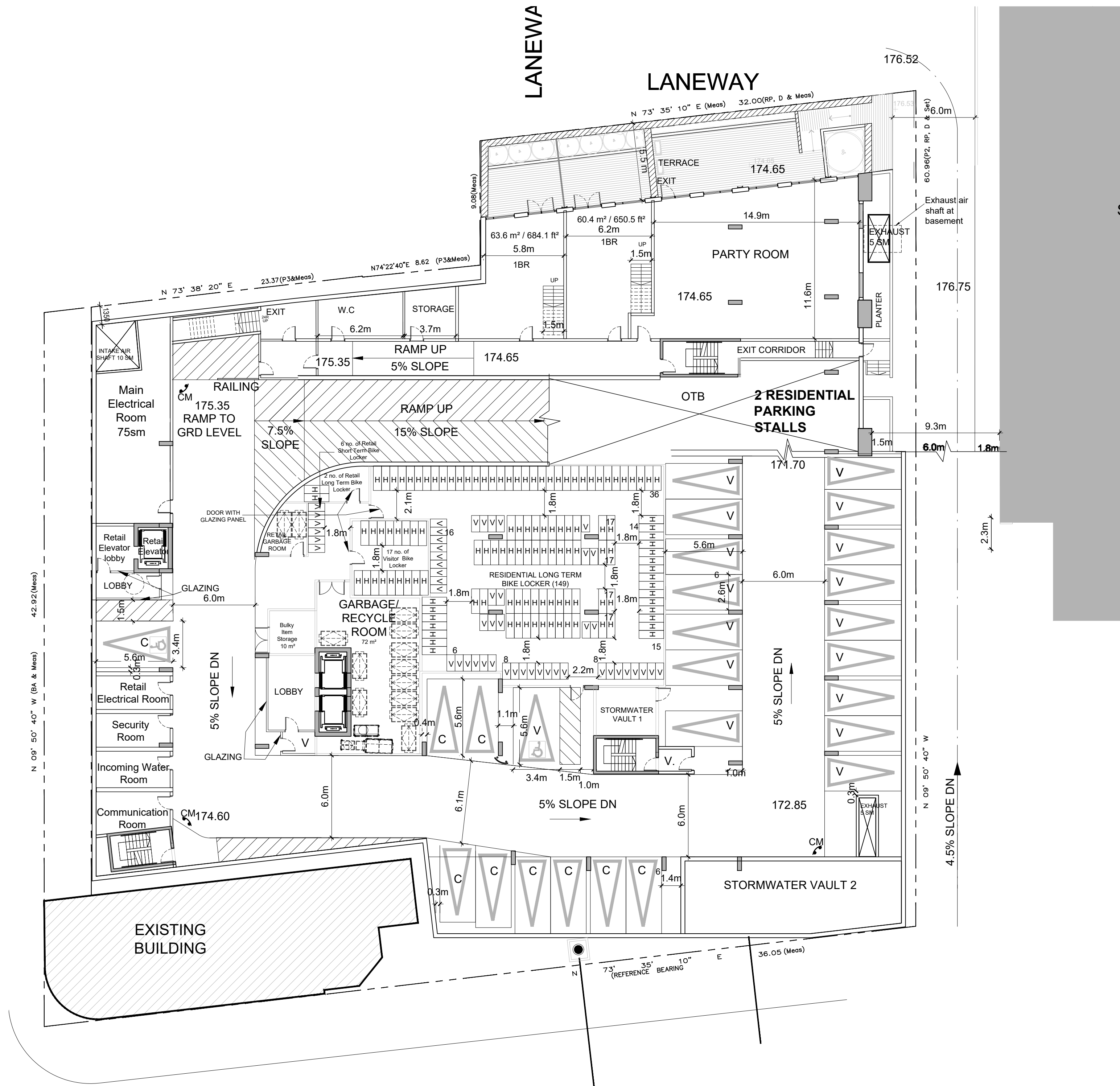


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GROUND FLOOR PLAN
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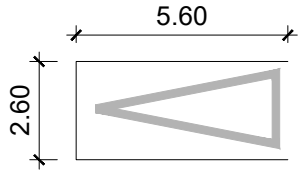
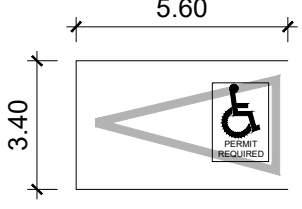
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SCALE: 1:200
JOB-No: 36143

A3



LEGEND

-  5.60 x 2.60
 DENOTES STANDARD PARKING STALL SIZE
-  5.60 x 3.40
 DENOTES STANDARD ACCESSIBLE PARKING STALL SIZE
- C** COMMERCIAL PARKING STALLS
- V** RESIDENTIAL VISITOR'S PARKING STALLS
- EVSE** ELECTRICAL VEHICLE INFRASTRUCTURE
- CM** CONVEX MIRROR

TYPICAL BIKE SPACE DIMENSIONS

H: HORIZONTAL BIKE SPACE: 1.8 x 0.6 M

V: VERTICAL BIKE SPACE: 1.2 x 0.6M

P1 LEVEL PARKING:

9 COMMERCIAL SPACES
 17 RESIDENTIAL VISITOR SPACES
 26 TOTAL PARKING SPACES

P1 LEVEL BIKE PARKING SPACE:

149 RESIDENTIAL BIKE SPACES
 17 RESIDENTIAL VISITOR BIKE SPACES
 2 RETAIL - LONG TERM BIKE SPACES
 6 RETAIL - SHORT TERM BIKE SPACES
 174 TOTAL BIKE SPACES

GARBAGE & RECYCLE ROOM AREA:

Total number of unit: 160 UNITS (9 storey)

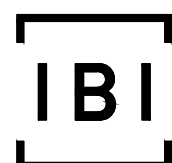
Garbage & Recycle room area required

	AREA REQUIRED
First 50 units	25sm
110 units (13sm per each 50 additional units)	39sm (3 x 13sm)
TOTAL	64sm

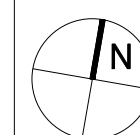
Garbage & Recycle room area required : 64 sm

Garbage & Recycle room area provided (at P1): 69 sm

Separated bulk item storage room provided: 10sm



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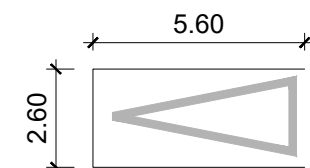
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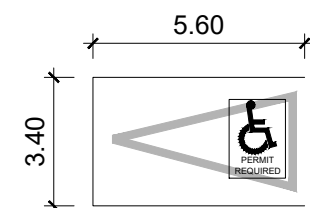
SCALE: 1:200
 JOB-No: 36143

A4

LEGEND



DENOTES STANDARD
PARKING STALL SIZE



DENOTES STANDARD
ACCESSIBLE PARKING
STALL SIZE

C COMMERCIAL PARKING
STALLS

V RESIDENTIAL VISITOR'S
PARKING STALLS

EVSE ELECTRICAL VEHICLE
INFRASTRUCTURE

CM CONVEX MIRROR

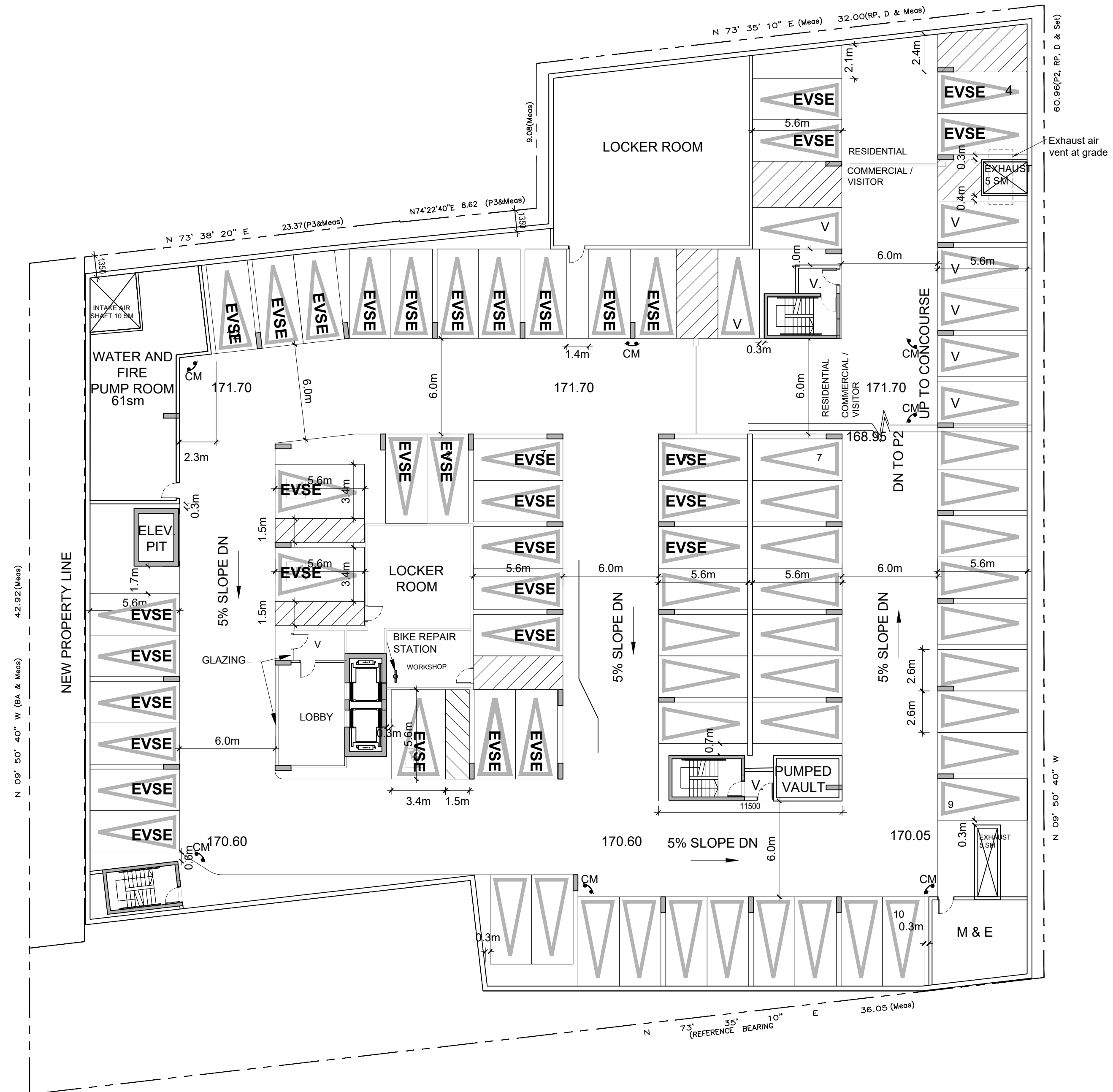
TYPICAL BIKE SPACE DIMENSIONS

HORIZONTAL BIKE SPACE: 1.8 x 0.6 M

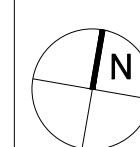
VERTICAL BIKE SPACE: 1.2 x 0.6M

P1 LEVEL PARKING:

65 RESIDENT SPACES
(INCLUDING 35 EVSE SPACES)
7 RESIDENTIAL VISITOR SPACES
72 TOTAL SPACES



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P1 PARKING LEVEL

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A5

C COMMERCIAL PARKING STALLS

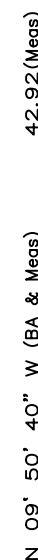
**V RESIDENTIAL VISITOR'S
PARKING STALLS**

CM **CONVEX MIRROR**

HORIZONTAL BIKE SPACE: 1.8 x 0.6 M

VERTICAL BIKE SPACE: 1.2 x 0.6M

P2 LEVEL PARKING:
77 RESIDENT SPACES
77 TOTAL SPACES

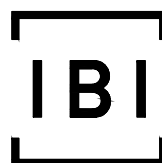
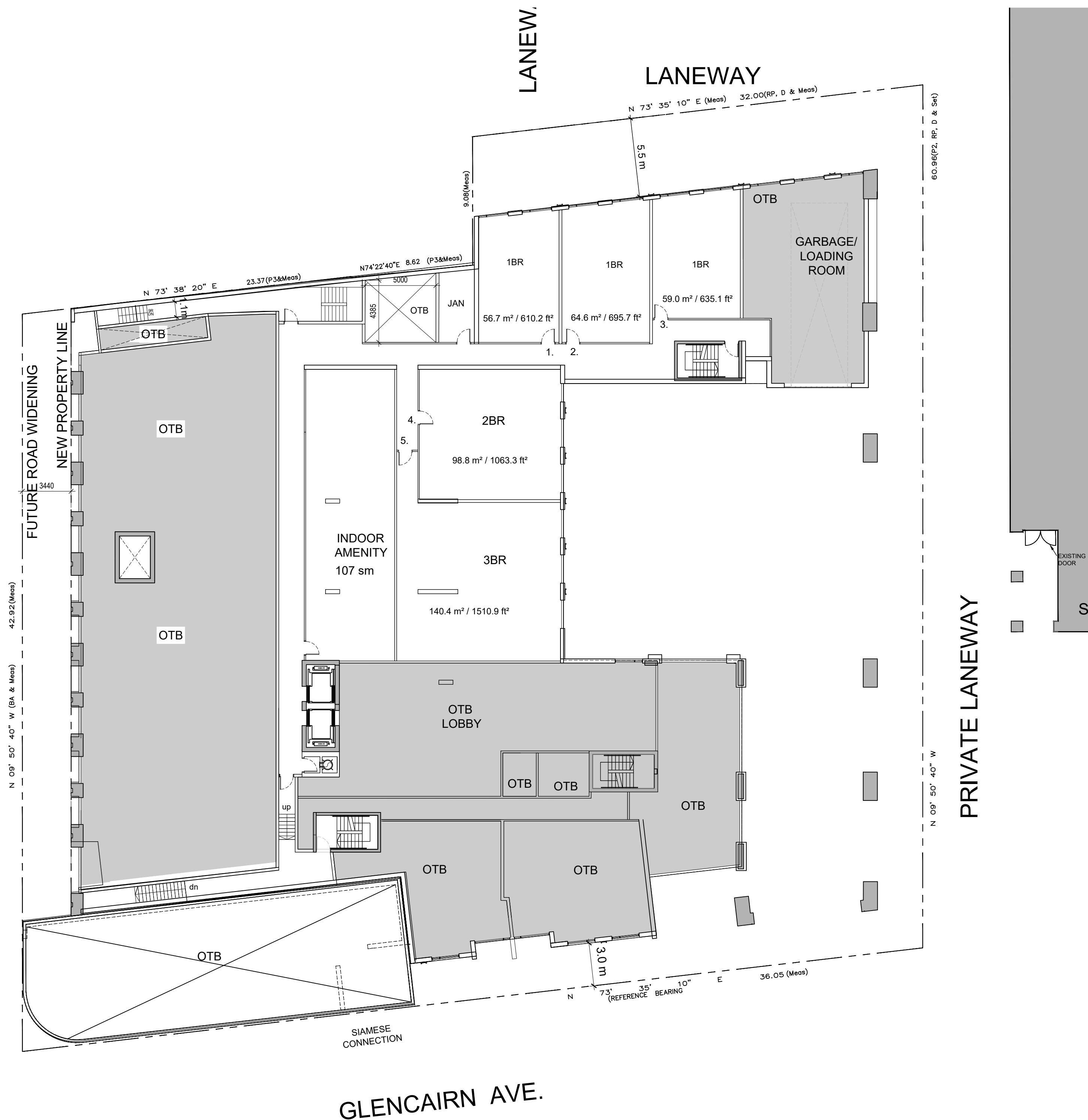


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ISSUED FOR SPA FEBRUARY 25, 2021
ISSUED FOR SPA JUNE 1, 2021

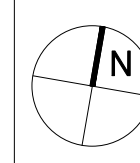
SCALE:	1:200
JOB-No.:	36143

A6

BATHURST ST.



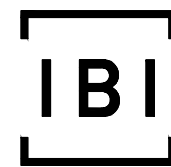
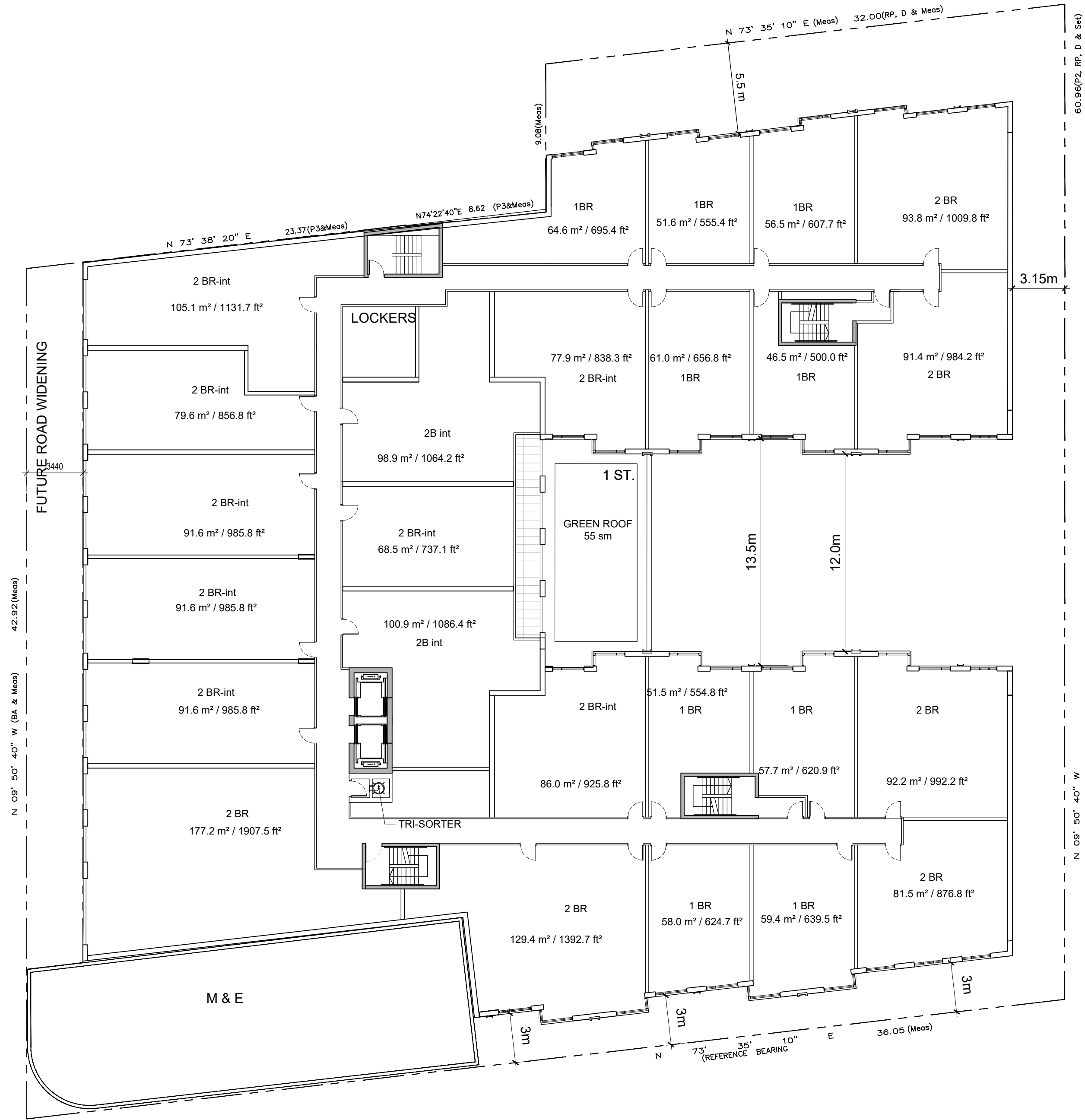
IBI GROUP ARCHITECTS
7th Floor-55 St. Clair Avenue West
Toronto ON M4V 2Y7 Canada
tel 416 596 1930 fax 416 596 0644
ibigroup.com



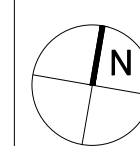
2795 BATHURST STREET, NORTH YORK, ONTARIO
MEZZANINE FLOOR PLAN
ISSUED FOR REZONING MAY 26-17
ISSUED FOR REZONING OCT 01-18
ISSUED FOR MEETING MAY 19

SCALE: 1:200
JOB-No.: 36143

A7



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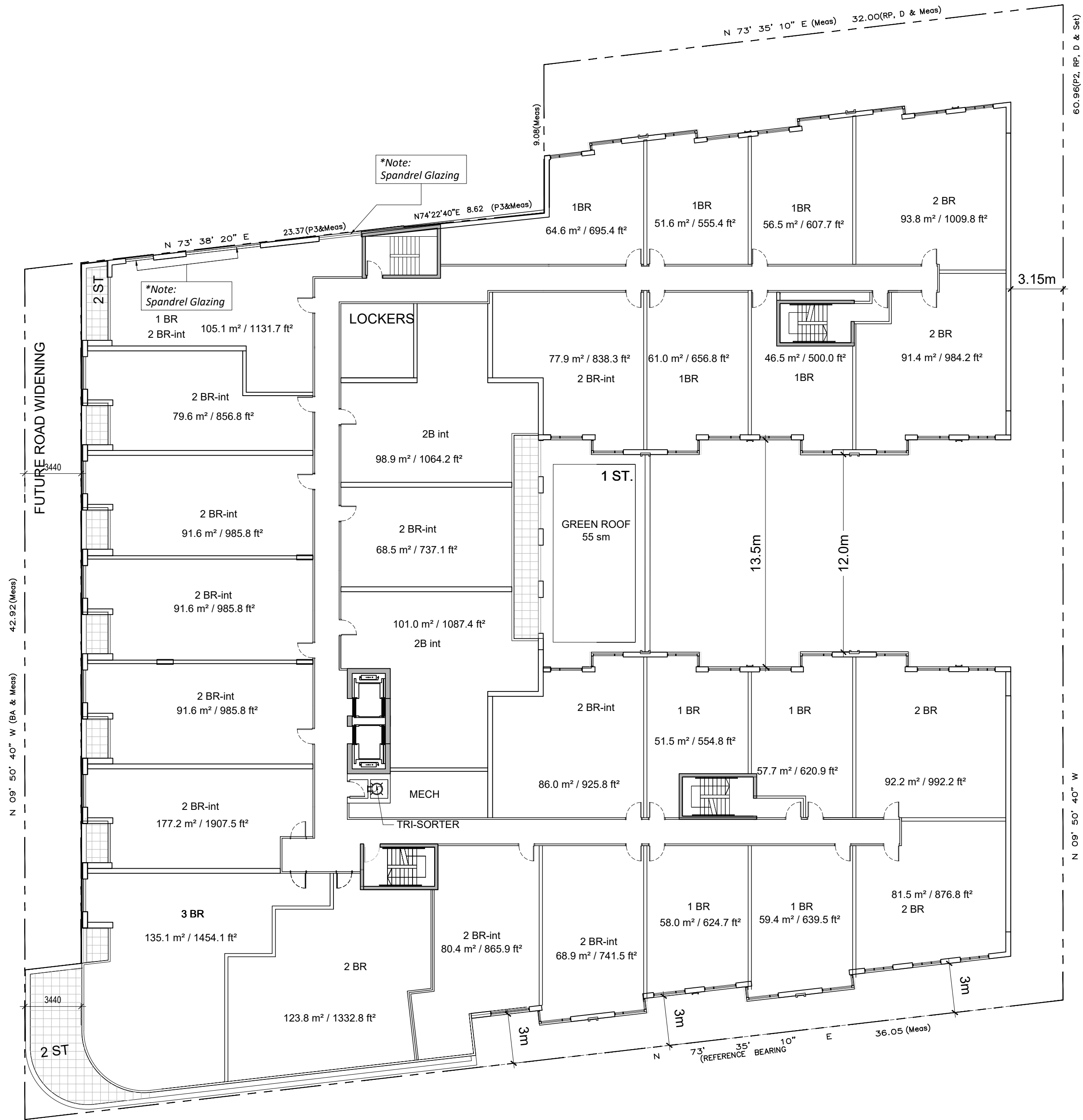
2795 BATHURST STREET, NORTH YORK, ONTARIO

2ND FLOOR PLAN
ISSUED FOR REZONING APRIL 27-15
ISSUED FOR REZONING APRIL 28-16
ISSUED FOR REZONING MAY 26-17
ISSUED FOR REZONING OCT 01-18
ISSUED FOR MEETING MAY 19

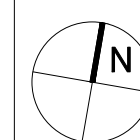
ISSUED FOR SPA AUGUST 21, 2020
ISSUED FOR SPA FEBRUARY 25, 2021
ISSUED FOR SPA JUNE 1, 2021

SCALE: 1:200
JOB-No.: 36143

A8



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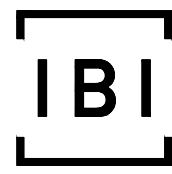
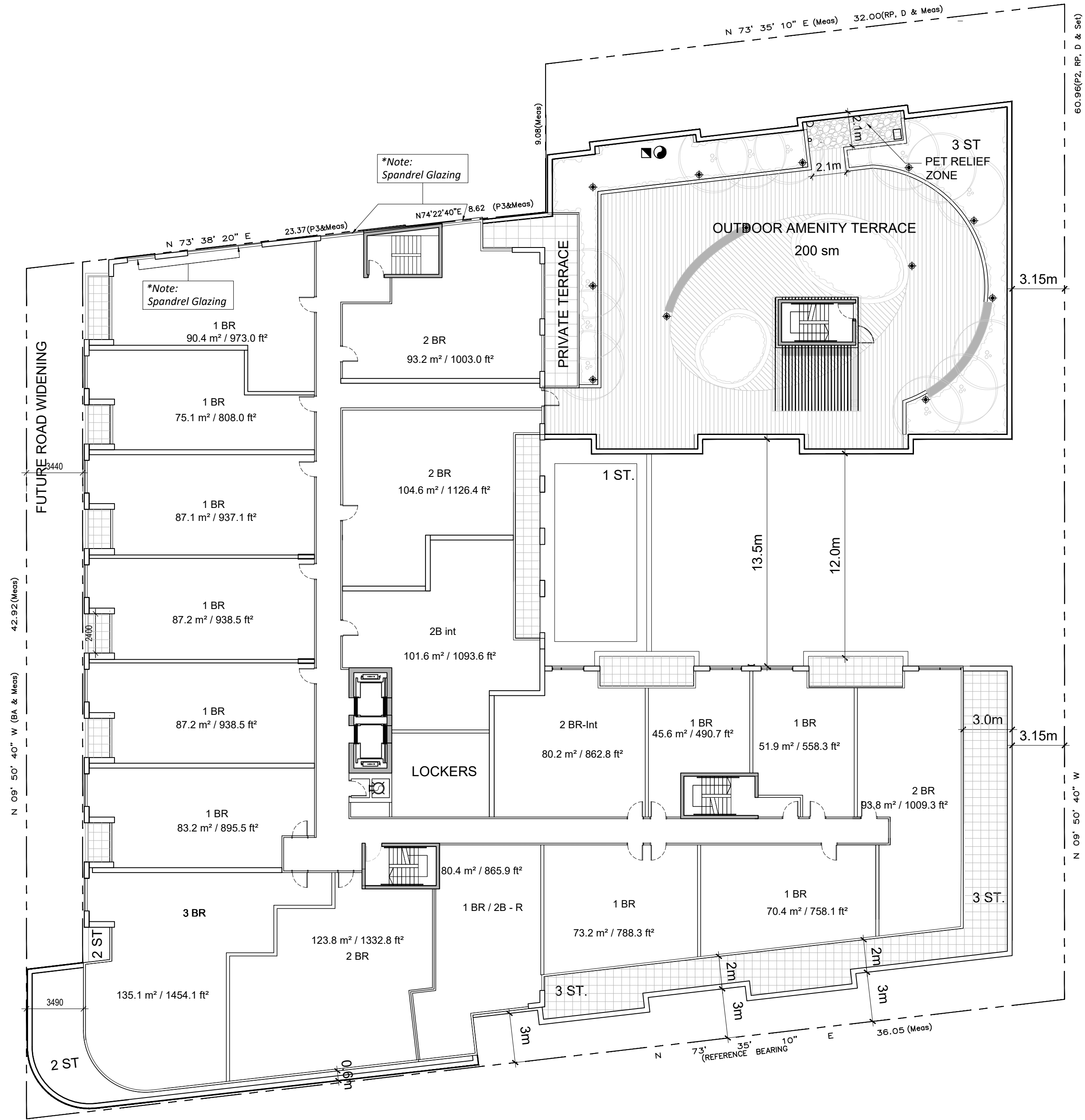
2795 BATHURST STREET, NORTH YORK, ONTARIO

3RD FLOOR PLAN
ISSUED FOR REZONING APRIL 27-15
ISSUED FOR REZONING APRIL 28-16
ISSUED FOR REZONING MAY 26-17
ISSUED FOR REZONING OCT 01-18
ISSUED FOR MEETING MAY 19

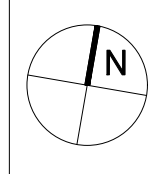
ISSUED FOR SPA AUGUST 21, 2020
ISSUED FOR SPA FEBRUARY 25, 2021
ISSUED FOR SPA JUNE 1, 2021

SCALE: 1:200
JOB-No: 36143

A9



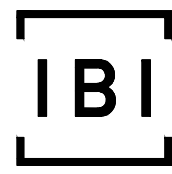
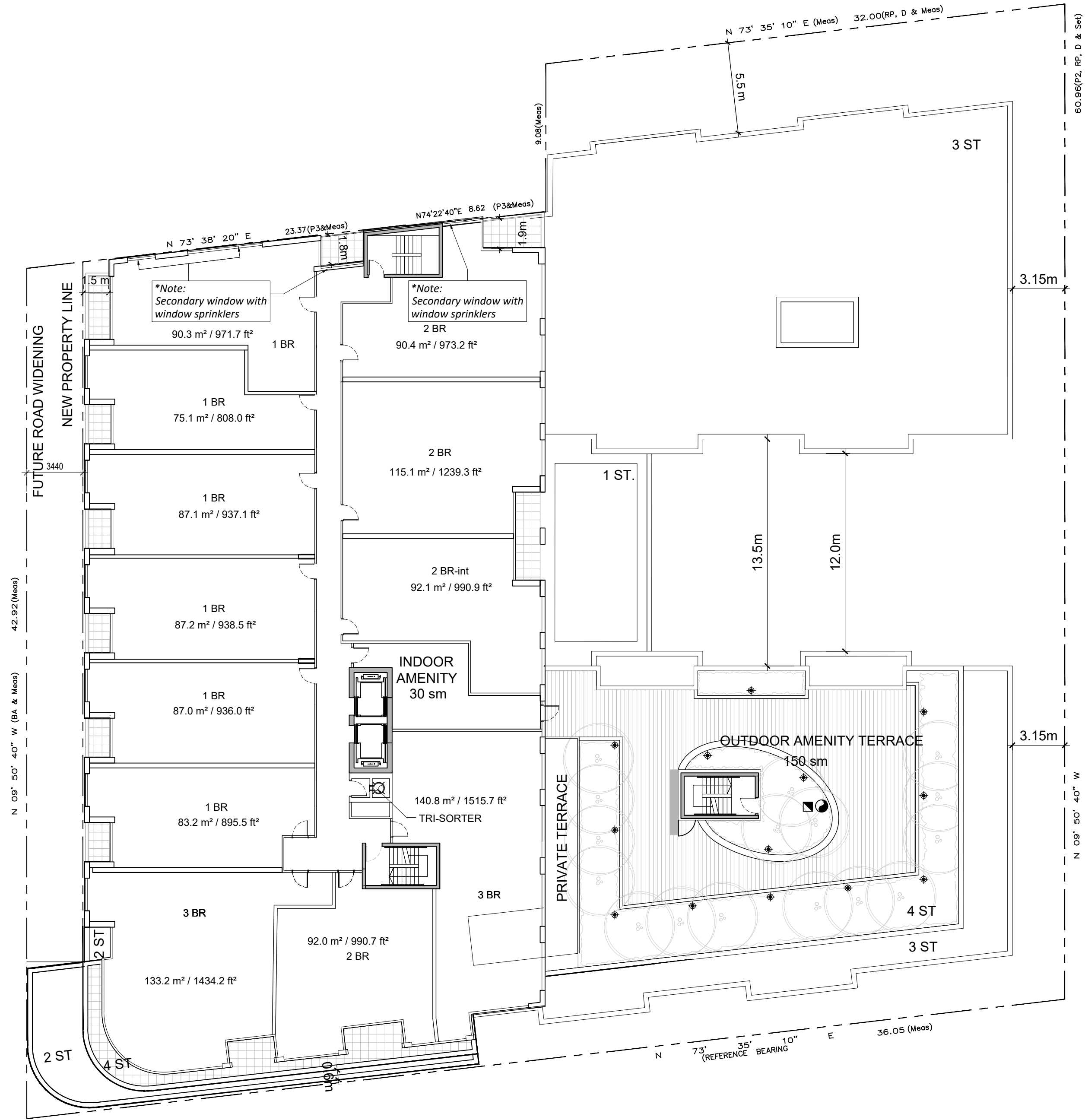
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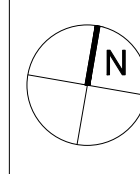
2795 BATHURST STREET, NORTH YORK, ONTARIO
4TH FLOOR PLAN
 ISSUED FOR REZONING APRIL 27-15
 ISSUED FOR REZONING APRIL 28-16
 ISSUED FOR REZONING MAY 26-17
 ISSUED FOR REZONING OCT 01-18
 ISSUED FOR MEETING MAY 19
 ISSUED FOR SPA AUGUST 21, 2020
 ISSUED FOR SPA FEBRUARY 25, 2021
 ISSUED FOR SPA JUNE 1, 2021

SCALE:	1:200
JOB-No:	36143

A10



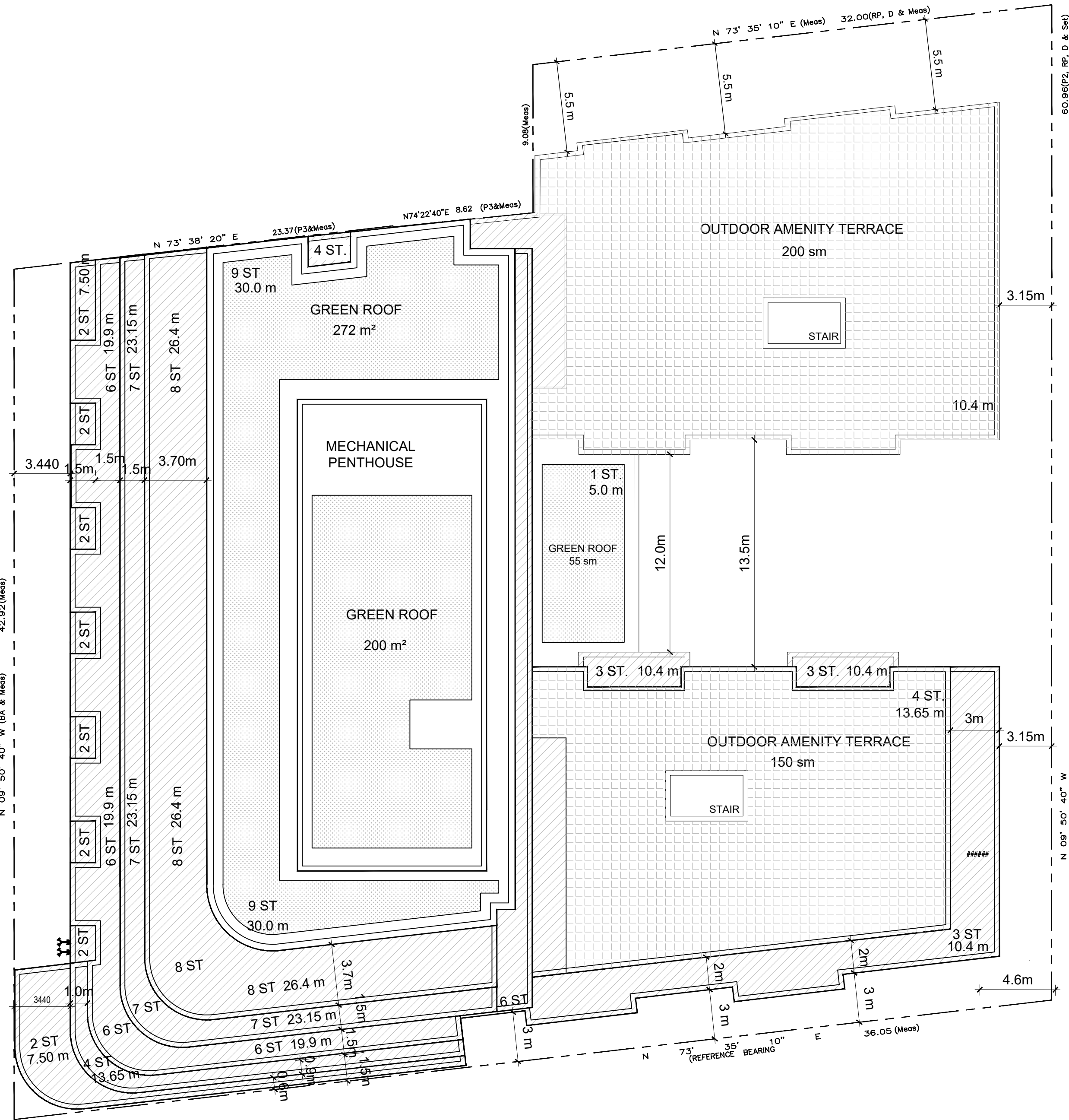
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2795 BATHURST STREET, NORTH YORK, ONTARIO
5TH FLOOR PLAN
 ISSUED FOR REZONING APRIL 27-15
 ISSUED FOR REZONING APRIL 28-16
 ISSUED FOR REZONING MAY 26-17
 ISSUED FOR REZONING OCT 01-18
 ISSUED FOR MEETING MAY 19
 ISSUED FOR SPA AUGUST 21, 2020
 ISSUED FOR SPA FEBRUARY 25, 2021
 ISSUED FOR SPA JUNE 1, 2021

SCALE:	1:200
JOB-No:	36143

A11



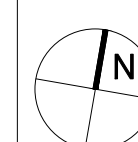
Green Roof Statistics

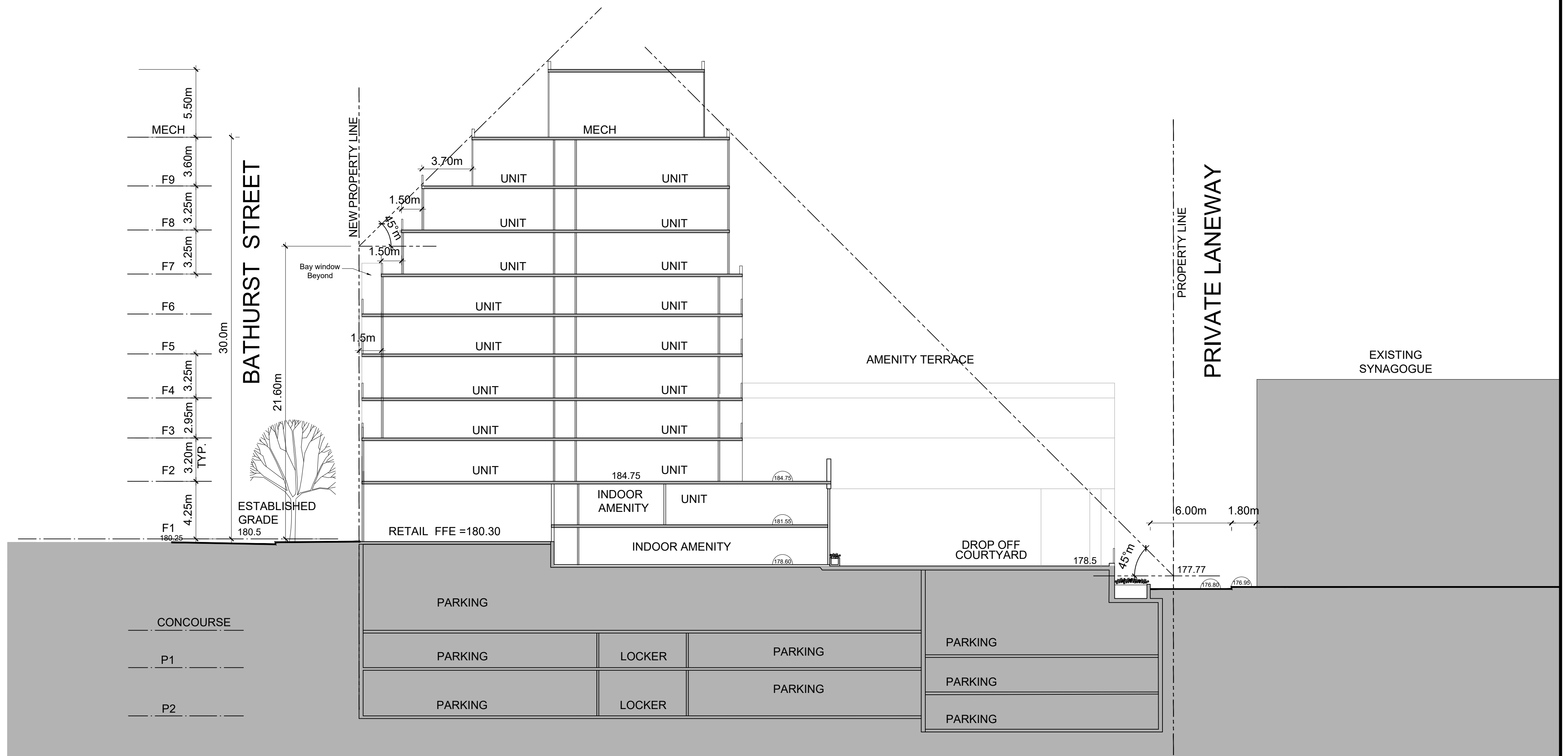
The Green Roof Statistics Template is required to be submitted for Site Plan Control Applications where a green roof is required under the Toronto Municipal Code Chapter 492, Green Roofs. Complete the table below and **copy it directly onto the Roof Plan** submitted as part of any Site Plan Control Application requiring a green roof in accordance with the Bylaw. Refer to Section § 492-1 of the Municipal Code for a complete list of defined terms, and greater clarity and certainty regarding the intent and application of the terms included in the template. The Toronto Municipal Code Chapter 492, Green Roofs can be found online at: http://www.toronto.ca/legdocs/municode/1184_492.pdf

Green Roof Statistics

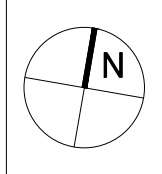
	Proposed
Gross Floor Area, as defined in Green Roof Bylaw (m ²)	15720
Total Roof Area (m ²)	2771
Area of Residential Private Terraces (m ²)	1674
Rooftop Outdoor Amenity Space, if in a Residential Building (m ²)	350
Area of Renewable Energy Devices (m ²)	N/A
Tower (s)Roof Area with floor plate less than 750 m ²	N/A
Total Available Roof Space (m ²)	747
Green Roof Coverage	Required Proposed
Coverage of Available Roof Space (m ²)	373.5 527
Coverage of Available Roof Space (%)	50% 71%

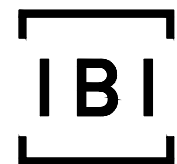
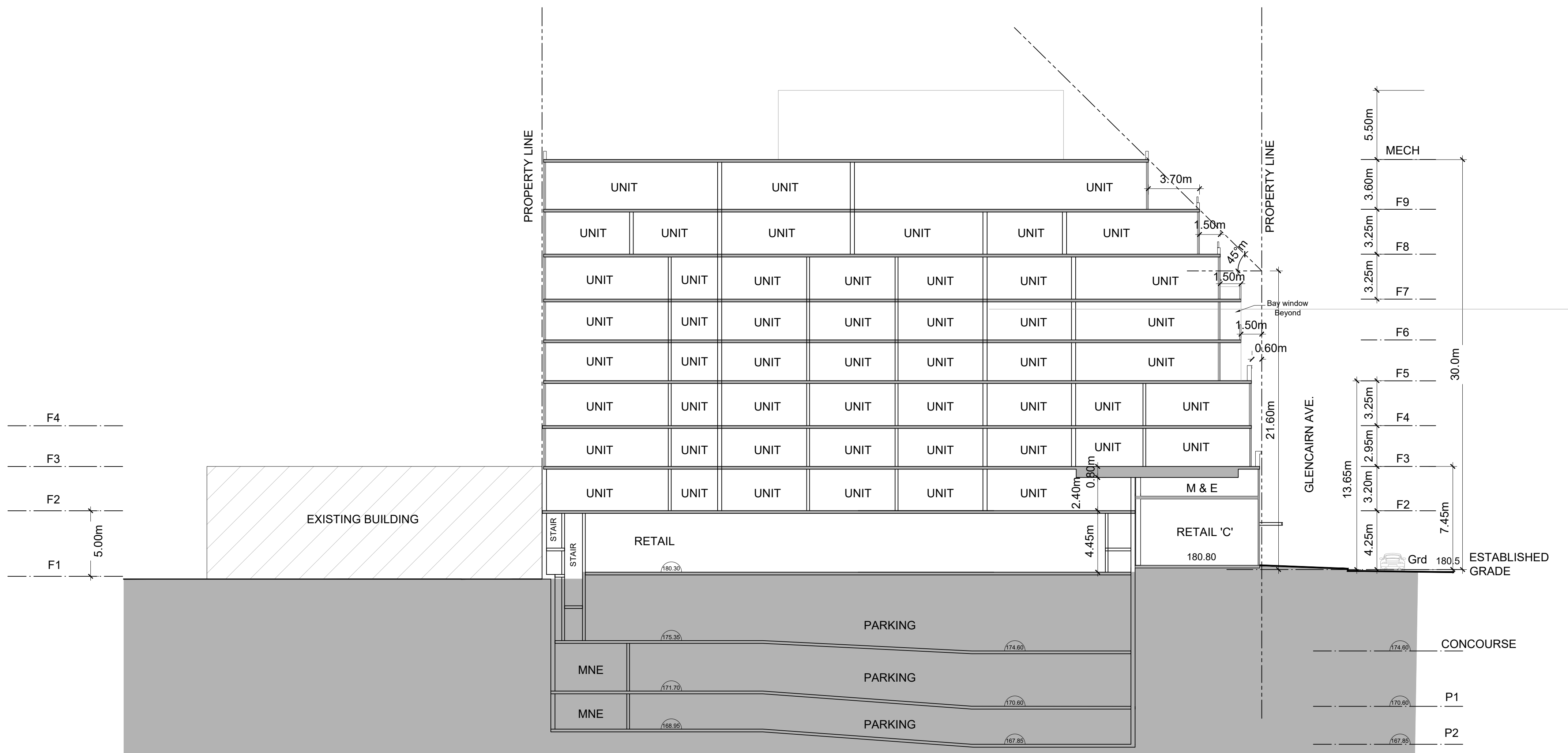
- PRIVATE TERRACE
 - AMENITY
 - PROPOSED GREEN ROOF AREA
- SEE LANDSCAPE FOR DETAILS



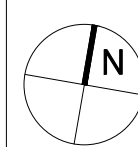


**Note:
Angular plane on the east calculated
as the average of 176.53 + 179.01 = 177.77*





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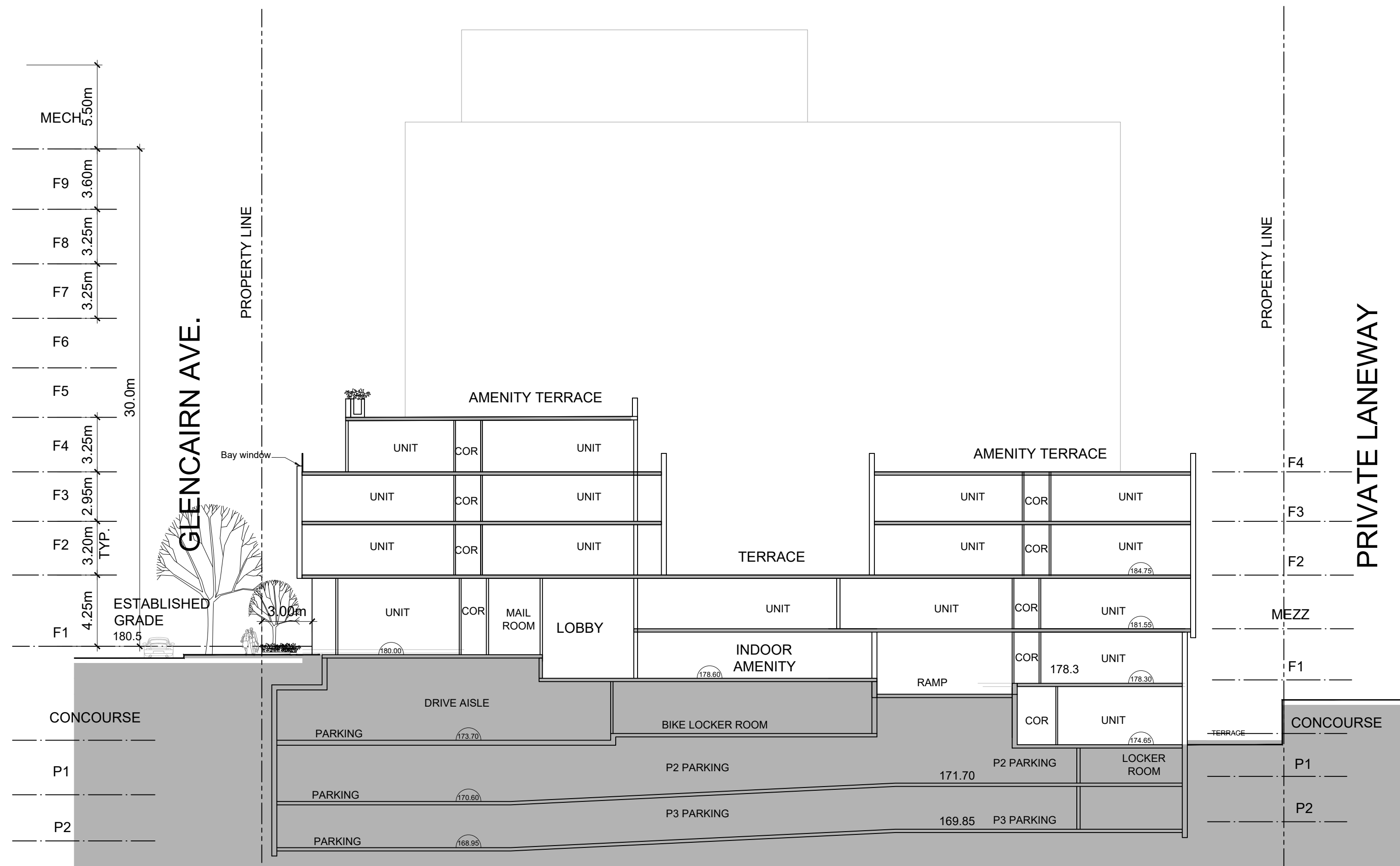
2795 BATHURST STREET, NORTH YORK, ONTARIO
 NORTH-SOUTH SECTION LOOKING EAST

ISSUED FOR SPA AUGUST 21, 2020
 ISSUED FOR SPA FEBRUARY 25, 2021
 ISSUED FOR SPA JUNE 1, 2021

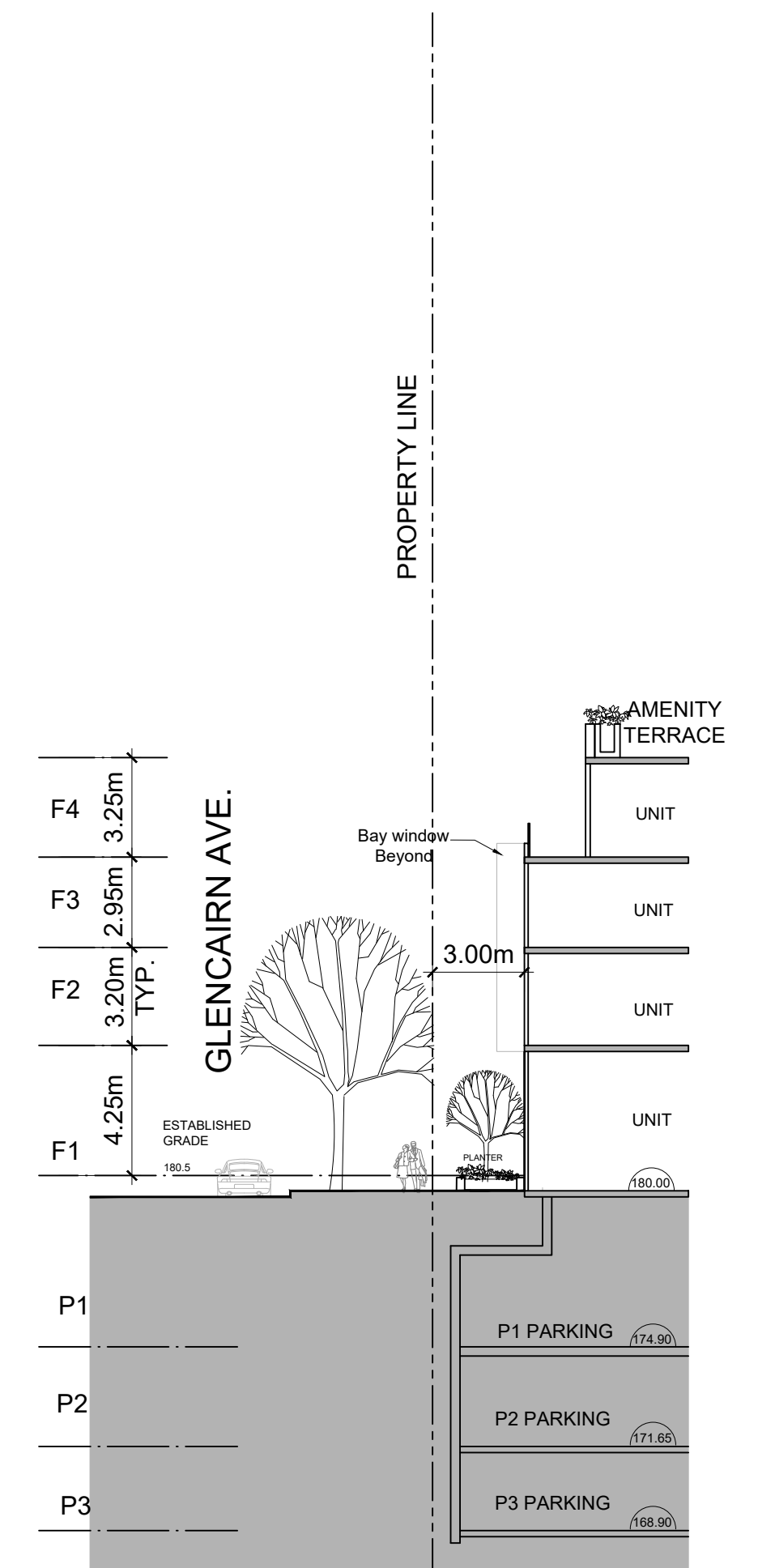
SCALE: 1:200

JOB-No: 36143

A18



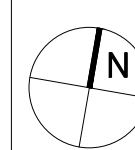
SECTION A19/ 1



SECTION A19/ 2



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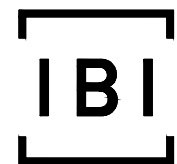


2795 BATHURST STREET, NORTH YORK, ONTARIO
NORTH-SOUTH SECTION LOOKING WEST

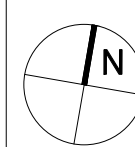
ISSUED FOR REZONING APR 27-15 ISSUED FOR REZONING OCT 01-18 ISSUED FOR SPA AUGUST 21, 2020
ISSUED FOR REZONING APR 28-16 ISSUED FOR REVIEW JUL 29-19 ISSUED FOR SPA FEBRUARY 25, 2021
ISSUED FOR REZONING MAY 26-17 ISSUED FOR REVIEW JAN 22-20 ISSUED FOR SPA JUNE 1, 2021

SCALE: 1:200
JOB-No: 36143

A19



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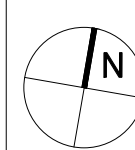
2795 BATHURST STREET, NORTH YORK, ONTARIO
WEST ELEVATION - BATHURST STREET
 ISSUED FOR SPA AUGUST 21, 2020
 ISSUED FOR SPA FEBRUARY 25, 2021
 ISSUED FOR SPA JUNE 1, 2021

SCALE: 1:200
 JOB-No: 36143

A20



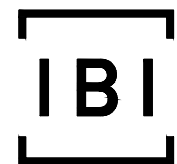
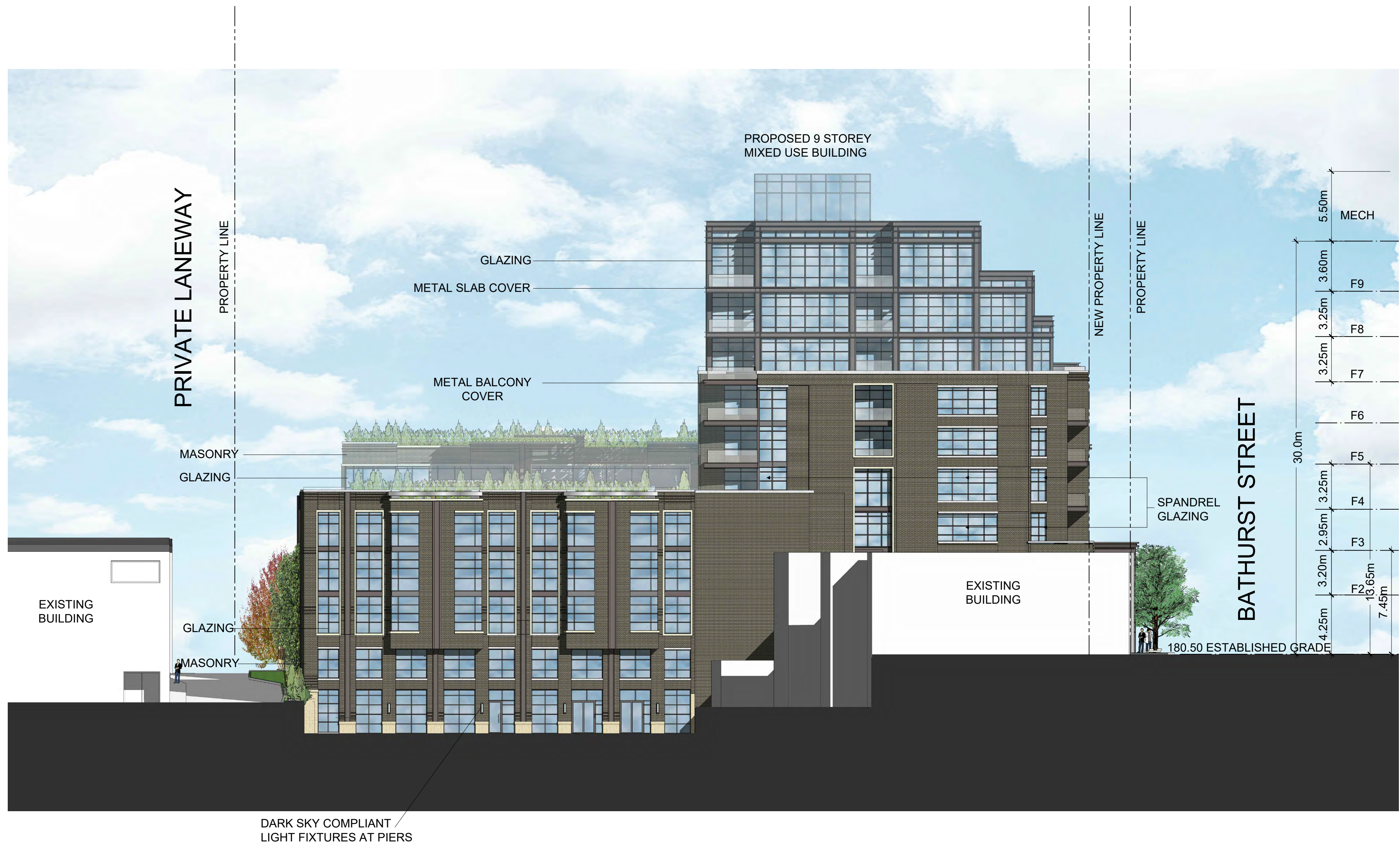
IBI GROUP ARCHITECTS
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 tel 416 596 1930 fax 416 596 0644
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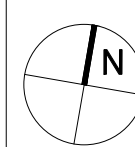
2795 BATHURST STREET, NORTH YORK, ONTARIO
SOUTH ELEVATION-GLENCAIRN
 ISSUED FOR SPA AUGUST 21, 2020
 ISSUED FOR SPA FEBRUARY 25, 2021
 ISSUED FOR SPA JUNE 1, 2021

SCALE: 1:200
 JOB-No: 36143

A21



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 Toronto ON M4V 2Y7 Canada
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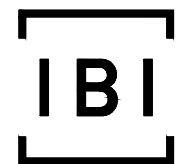
2795 BATHURST STREET, NORTH YORK, ONTARIO
NORTH ELEVATION - LANEWAY
 ISSUED FOR SPA AUGUST 21, 2020
 ISSUED FOR SPA FEBRUARY 25, 2021
 ISSUED FOR SPA JUNE 1, 2021

SCALE: 1:200
 JOB-No: 36143

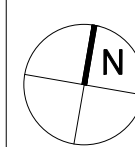
A22



DARK SKY COMPLIANT
LIGHT FIXTURES AT PIERS



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2795 BATHURST STREET, NORTH YORK, ONTARIO
EAST ELEVATION-GLENCAIRN
ISSUED FOR SPA AUGUST 21, 2020
ISSUED FOR SPA FEBRUARY 25, 2021
ISSUED FOR SPA JUNE 1, 2021

SCALE: 1:200
JOB-No: 36143

A23

BIRD FRIENDLY
FRIT GLAZING

PRECAST

MASONRY

BIRD FRIENDLY
FRIT GLAZING

PRECAST

METAL CANOPY

GLAZING

PRECAST

F4

2.95m

F3

3.20m

F2

4.25m

480

DARK SKY COMPLIANT
LIGHT FIXTURE

ESTABLISHED
GRADE
180.50

TOWNHOUSE ENTRANCE

RES. LOBBY ENTRY

LOADING

ARCHITECT'S
PLAQUE

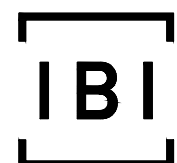
ARCHITECT'S PLAQUE DETAIL



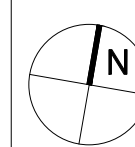
250mm

570mm

10MM THICK STAINLESS STEEL PLATE WITH HORIZONTAL
BRUSHED FINISH ENGRAVED LOGO & LETTERS COLOURED BLACK
OFFSET 10MM FROM STONE BY STAINLESS STEEL SPACERS
(SEE DETAILED ELEVATION ABOVE FOR DIMENSIONS)
ENGRAVED TEXT IS HELVETICA NOW STYLE FONT



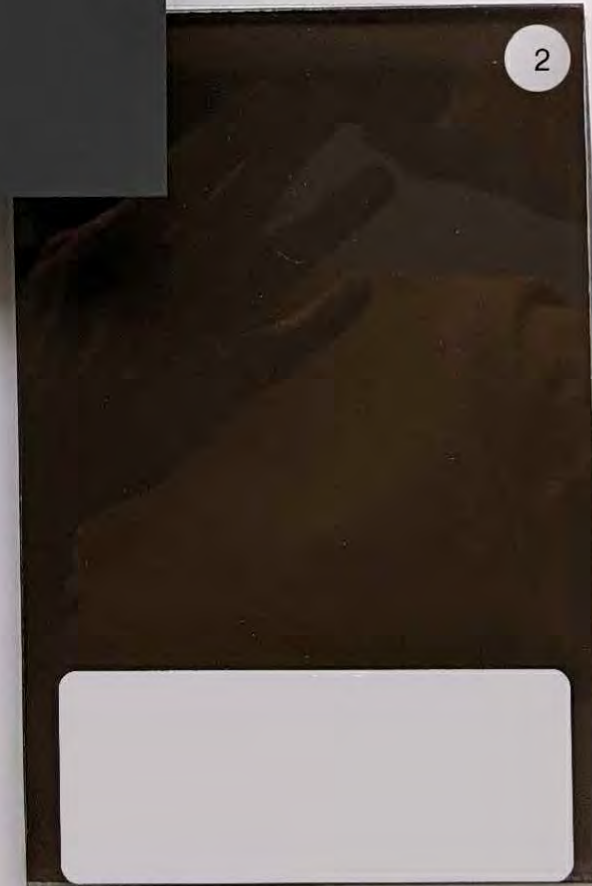
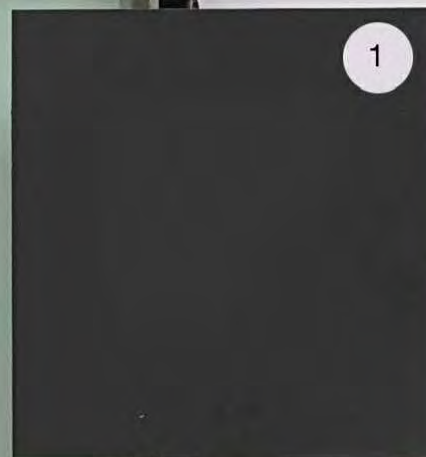
IBI GROUP ARCHITECTS
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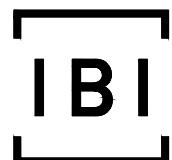
2795 BATHURST STREET, NORTH YORK, ONTARIO
1:50 RESIDENTIAL LOBBY ELEVATION
ISSUED FOR SPA AUGUST 21, 2020
ISSUED FOR SPA FEBRUARY 25, 2021
ISSUED FOR SPA JUNE 1, 2021

SCALE: 1:50
JOB-No: 36143

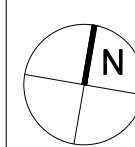
A34



1. Mullions/metal slab edge - Charcoal (Duranar) UC 109852
2. Spandrel
3. Glazing - Regular Clear
4. Retail glazing - Energy Star 40
5. Masonry Brick
6. Stone/Precast



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2795 BATHURST STREET, NORTH YORK, ONTARIO
MATERIAL BOARD
ISSUED FOR SPA AUGUST 21, 2020
ISSUED FOR SPA FEBRUARY 25, 2021
ISSUED FOR SPA JUNE 1, 2021

SCALE: 1:50
JOB-No: 36143

A35