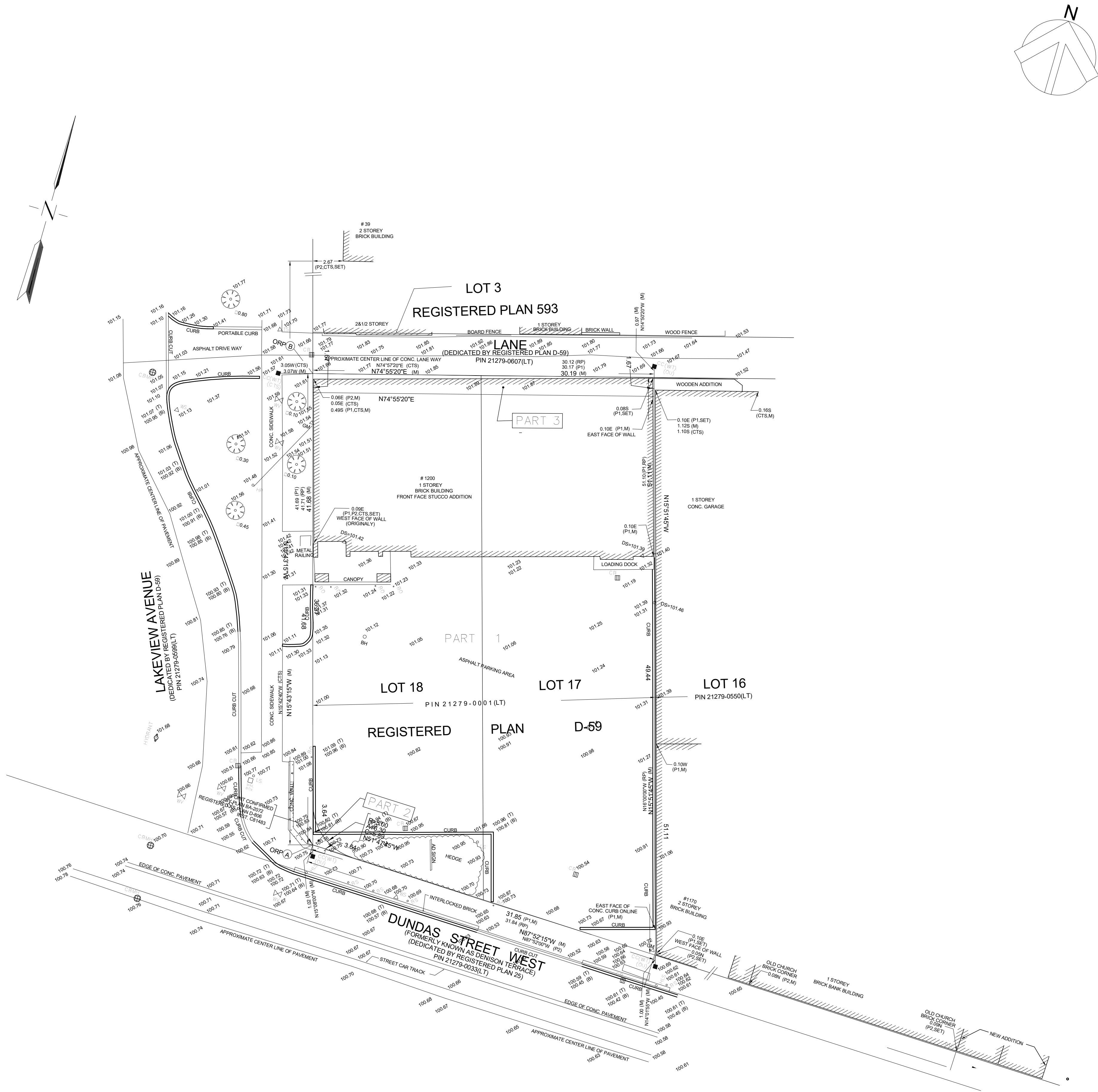




DRAWING LIST	
A000	COVER PAGE
A100	SITE SURVEY
A101	SITE PLAN AND CONTEXT PLAN
A102	SITE STATISTICS
A150	LEVEL P1
A201	GROUND FLOOR
A202	LEVEL 2
A203	LEVEL 3
A204	LEVEL 4
A205	LEVEL 5
A206	LEVEL 6
A207	LEVEL 7
A208	LEVEL 8
A209	MPH
A210	ROOF PLAN
A301	EAST ELEVATION
A302	NORTH ELEVATION
A303	SOUTH ELEVATION
A304	WEST ELEVATION
A305	PARTIAL WEST ELEVATION
A306	PARTIAL SOUTH ELEVATION
A307	EXTERIOR CLADDING MATERIALS
A401	SECTIONS
A402	SECTIONS
A403	SECTIONS
A601	AXONOMETRIC VIEWS

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1200 Dundas Street West	<div><div></div><div></div></div>	<div><div>IBI GROUP ARCHITECTS</div><div>7th Floor-55 St. Clair Avenue West Toronto ON M4V 2Y7 Canada tel 416 596 1930 fax 416 596 0644 ibigroup.com</div></div>																					
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		DRAWN BY:	CHECKED BY:																				
		PROJECT MGR:	APPROVED BY:																				
		SCALE:	DATE:	2021-08-26																			
						A000	4																





BOUNDARY AND TOPOGRAPHIC SURVEY OF  
ALL OF LOTS 17 AND 18  
(NORTH SIDE OF DUNDAS STREET WEST)  
REGISTERED PLAN D-59  
CITY OF TORONTO



R. AVIS SURVEYING INC.

METRIC : DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

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NOTES AND LEGEND

BEARINGS ARE MTM GRID, DERIVED FROM RTK GPS OBSERVATIONS FROM ORP A AND ORP B, HAVING A BEARING OF N15° 43'15"W, MTM ZONE 10, (NAD-1983) (CSRS-2014)

OBSERVED REFERENCE POINTS (ORPs) DERIVED FROM RTK GPS OBSERVATIONS, MTM 10, NAD 83(CSRS) (2014).		
POINT ID	NORTHING	EASTING
ORP A	4834393.911	311046.146
ORP B	4834434.032	311034.852
COORDINATES CANNOT IN THEMSELVES BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN		

ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE REFERRED TO CITY OF TORONTO BENCH MARK No.12219741638, HAVING AN ELEVATION = 100.959 metres.

DISTANCES SHOWN HEREON ARE ADJUSTED GROUND DISTANCES AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING BY A COMBINED SCALE FACTOR OF 0.9998827

■	DENOTES SURVEY MONUMENT FOUND
▣	DENOTES SURVEY MONUMENT PLANTED
SIB	DENOTES STANDARD IRON BAR
SSIB	DENOTES SHORT STANDARD IRON BAR
IB	DENOTES IRON BAR
CC	DENOTES CUT CROSS
WT	DENOTES WITNESS
OU	DENOTES ORIGINAL UNKNOWN
MEAS/W	DENOTES MEASURED
N,S,E,W	DENOTES NORTH, SOUTH, EAST, WEST
P1	DENOTES PLAN OF SURVEY FROM SPEIGHT,VAN NOSTRAND,ANDERSON&CURRIE,O.L.S. DATED NOVEMBER 12, 1965
P2	DENOTES PLAN B-A-2072
CTS	DENOTES CITY SURVEYORS' NOTES DATED APRIL 01, 1975 AND FEBRUARY 13, 1976
RD	DENOTES REGISTERED PLAN D-59

AREA: 1403.4 sq. m.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 16TH DAY OF FEBRUARY, 2016

FEBRUARY 29, 2016

DATE

PIRATHEEPAN RAMACHANDRAN  
Ontario Land Surveyor



R. AVIS SURVEYING INC.

SUITE 203  
235 YORKLAND BOULEVARD  
TORONTO, ONTARIO  
M2J 4Y8

TEL: (416) 490-8352 FAX: (416) 491-6206  
EMAIL: office@ravissurveying.com

CHECKED BY : PR

CALCULATED BY : PR/BL

DRAWN BY : RL

PROJECT No. : 2981-0

DRAWING No. : 2981-01.DWG

LEGEND

HLS	DENOTES HYDRO LIGHT STAND
DS	DENOTES DOOR SILL
BM	DENOTES BENCH MARK
TS	DENOTES TRAFFIC SIGN
BS	DENOTES BIKE STAND
BO	DENOTES BOLLARD
OH	DENOTES OVER HEAD WIRE
BH	DENOTES BOREHOLE
CB	DENOTES CATCH BASIN
FH	DENOTES FIRE HYDRANT
GM	DENOTES GAS METER
WS	DENOTES WARNING SIGN
HP	DENOTES HYDRO POLE
LS	DENOTES LIGHT STANDARD
MH	DENOTES MANHOLE
HW	DENOTES HAND WELL
TL	DENOTES TRAFFIC LIGHT
WM	DENOTES WATER VALVE
CRMH	DENOTES CATCH BASIN MANHOLE
CONC.	DENOTES CONCRETE
(T)	DENOTES TOP
(B)	DENOTES BOTTOM

0.109



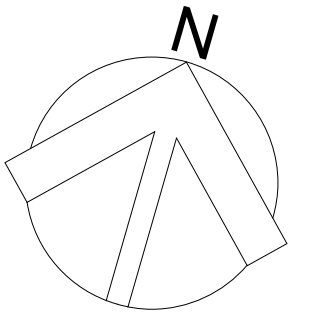
DENOTES DECIDUOUS TREE WITH TRUNK DIAMETER 0.10 metres



DENOTES SPOT ELEVATION

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			2	REISSUED FOR SPA	2020-12-11						
			3	REISSUED FOR SPA	2021-05-28						
			4	REISSUED FOR SPA	2021-08-26						
Dundas Ossington Developments Limited			is a member of the IBI Group of companies					PROJECT NO:  121632		SHEET TITLE	
								DRAWN BY:	CHECKED BY:	SITE SURVEY	
								PROJECT MGR:	APPROVED BY:		
								SCALE: 1 : 200	DATE: 2021-08-26		SHEET NUMBER
										A100	4





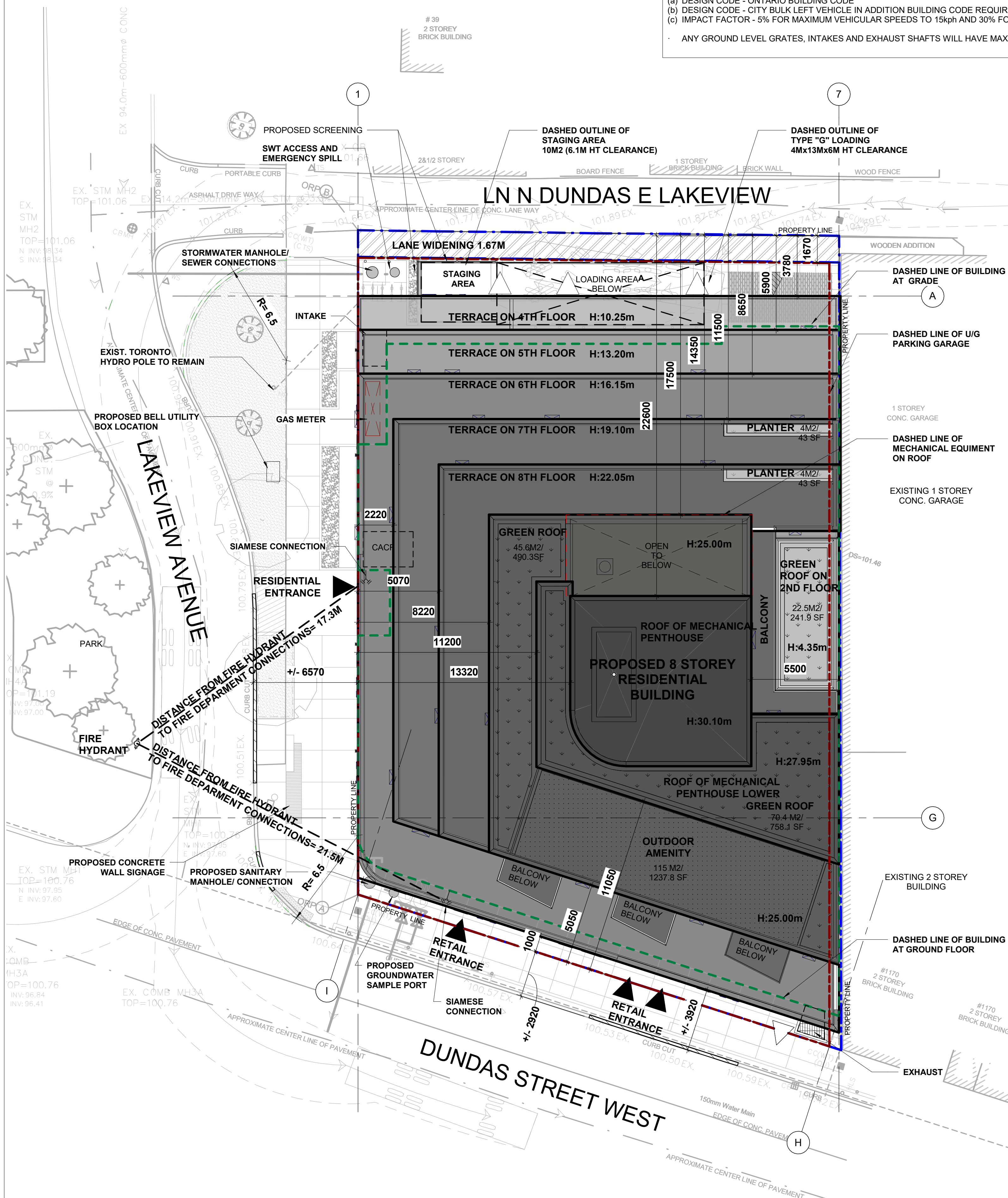
## 2 CONTEXT PLAN

A101 Scale: 1 : 2000

NOTES:

- LOADING AREA TO BE DESIGNED IN ACCORDANCE WITH OBC, WITH A DESIGN LOAD SUPPORTING CITY BULK LIFT VEHICLES, FOR AN IMPACT FACTOR OF 5% FOR VEHICULAR SPEEDS UP TO 15kph AND 30% FOR HIGHER SPEEDS. TYPE "G" LOADING SPACE AND STAGING AREA TO BE CONSTRUCTED OF AT LEAST 200mm REINFORCED CONCRETE, WITH A MAXIMUM SLOPE OF 2%

- A TRAINED ON-SITE STAFF MEMBER WILL BE AVAILABLE TO MANUEVER BINS FOR THE COLLECTION DRIVER AND ALSO ACT AS A FLAGMAN WHEN THE TRUCK IS REVERSING
- IN THE EVENT THE ON-SITE STAFF IS UNAVAILABLE AT THE TIME THE CITY COLLECTION VEHICLES ARRIVE AT THE SITE, THE COLLECTION VEHICLE WILL LEAVE THE SITE AND NOT RETURN UNTIL THE NEXT SCHEDULED COLLECTION DAY
- BINS USED FOR NON-RESIDENTIAL WASTE WILL BE LABELED SEPARATELY FROM THE BINS FOR THE RESIDENTIAL WASTE.
- PRIOR TO SOLID WASTE COLLECTION SERVICES ARE TO BEGIN THE CITY WILL NEED TO BE PROVIDED WITH A LETTER CERTIFIED BY A PROFESSIONAL ENGINEER THAT IN ALL CASES WHERE A COLLECTION VEHICLE IS REQUIRED TO DRIVE ONTO OR OVER A SUPPORTED STRUCTURE (SUCH AS AN UNDERGROUND PARKING GARAGE) THE STRUCTURE CAN SAFELY SUPPORT A FULLY LOADED COLLECTION VEHICLE (35,000kg) AND CONFORMS TO THE FOLLOWING:
  - (a) DESIGN CODE - ONTARIO BUILDING CODE
  - (b) DESIGN CODE - CITY BULK LEFT VEHICLE IN ADDITION BUILDING CODE REQUIREMENTS
  - (c) IMPACT FACTOR - 5% FOR MAXIMUM VEHICULAR SPEEDS TO 15kph AND 30% FOR HIGHER SPEEDS
- ANY GROUND LEVEL GRATES, INTAKES AND EXHAUST SHAFTS WILL HAVE MAXIMUM POROSITY OF 20mm X 20mm OR 40mm X 10mm.



## 1 SITE PLAN

A101 Scale: 1 : 150

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		1	ISSUED FOR SPA	2019-11-19				SITE PLAN AND CONTEXT PLAN
		2	REISSUED FOR SPA	2020-12-11				
		3	REISSUED FOR SPA	2021-05-28				
Dundas Ossington Developments Limited	is a member of the IBI Group of companies					PROJECT NO: 121632	SHEET NUMBER	ISSUE
						DRAWN BY: CHECKED BY:		
						PROJECT MGR: APPROVED BY:	A101	3
						SCALE: As indicated DATE: 2021-08-26		



1200 Dundas Street West SITE STATISTICS	Project No: 121632
--	--------------------

AREA						
Floor	GBA per floor		RGFA(RESIDENTIAL) (569-13)		NRGFA(NON-RESIDENTIAL) (569-13)	
	m²	ft²	m²	ft²	m²	ft²
Mechanical Penthouse	223.5	2,405.7	0.0	0.0		
Level 8	474.0	5,102.1	423.5	4,558.3		
Level 7	624.0	6,716.7	577.4	6,214.9		
Level 6	768.9	8,276.4	724.9	7,802.5		
Level 5	1,006.8	10,837.1	962.8	10,363.3		
Level 4	1,089.7	11,729.4	1,045.7	11,255.6		
Level 3	1,108.4	11,930.7	1,064.4	11,456.9		
Level 2	1,108.4	11,930.7	1,064.4	11,456.9		
Ground Floor	1,114.1	11,992.1	384.2	4,135.2	355.0	3,821.2
P1	1,317.9	14,186.1	0.0	0.0		
Total (Above Grade)	7,517.8	80,920.9	6,247.1	67,243.5	355.0	3,821.2
Total (Below Grade)	1,317.9	14,186.1	0.0			

TOTAL	8,835.7	95,107.0	GFA (569-13)			
			m²	ft²		
			6,602.1	71,064.7		

DENSITY	
Site Area (sm)*	1,403.4
FSI (569-13)	4.70

\*Site Area from R.Avis Survey dated February 29, 2016

UNITS										
Floor	STUDIO	STUDIO BF	1B	1B BF	1B+D	2B	2B BF	3B	3B BF	Total
Level 8		1	3				1	1	1	7
Level 7	2		2		1	3		2		10
Level 6	3		2	2	1	2		2	1	13
Level 5	3	1	6		5	1	2	1		19
Level 4	7	1	4	2	5	2		1		22
Level 3	7	1	3	2	5	3		1		22
Level 2	6	2	3	2	5	3		1		22
Totals	28	6	23	8	22	14	3	9	2	115
Total Units	34		53			17		11		115

Unit Type	TOTAL	Provided (%)	BARRIER FREE	
			REQD(15%)	Provided
Studio	34	29.6%	6	6
1 Bedroom	53	46.1%	8	8
2 Bedroom	17	14.8%	3	3
3 Bedroom	11	9.6%	2	2
Total	115		19	19

AMENITY		
Floors	Indoor m²	Outdoor m²
Ground Floor	62.6	
Roof	110.8	115.0
Total Indoor amenity Provided	173.4	
Total Indoor Amenity Required @ 1.5sm/unit	172.5	
Total Outdoor Amenity Provided		115.0
Total Outdoor Amenity Required @ 1sm/unit		115.0

PARKING					
Floor	Resident	Visitor	Small Cars	Accessible	Electric Plug-ins
Level P1	25	3	6	1	6
Total Spaces Provided	28				

Small Cars, Accessible Spaces and Electric Plug-ins are **included** in Total Spaces Provided

Use	Required	Provided
Resident	25	25
Visitor	3	3
Total	28	28

BICYCLE PARKING		
	Required	Provided
Residential (Long term)	104	104
Visitor (Short term)	12	12
Total Spaces Provided	116	116
Loading Provided	TYPE "G " (L13m,W4m,H6.1m)	

### Green Roof Statistics

		Proposed	
Gross Floor Area, as defined in Green Roof Bylaw (m <sup>2</sup> )		7,657	
Total Roof Area (m <sup>2</sup> )		1,213	
Area of Residential Private Terraces (m <sup>2</sup> )		709	
Rooftop Outdoor Amenity Space, if in a Residential Building (m <sup>2</sup> )		115	
Area of Renewable Energy Devices (m <sup>2</sup> )		0	
Tower (s)/Roof Area with floor plate less than 750 m <sup>2</sup>		0	
Total Available Roof Space (m <sup>2</sup> )		389	
Green Roof Coverage		Required	Proposed
Coverage of Available Roof Space (m <sup>2</sup> )		116	146.5
Coverage of Available Roof Space (%)		30%	38%

Deductions (569-2013)								
Amenity	Elevator Shaft	Garbage Shaft	Exit Stairs	MPH	Ramp to P1	Parking	Bicycle Parking	Total
				223.5				223.5
	15.7	0.4	34.4					50.5
	15.7	0.4	30.5					46.6
	15.7	0.4	27.9					44.0
	15.7	0.4	27.9					44.0
	15.7	0.4	27.9					44.0
	15.7	0.4	27.9					44.0
62.6	15.7		67.8		125.3		103.5	374.9
						1,317.9		1,317.9

Statistics Template - Toronto Green Standard Version 3.0

### Mid to High Rise Residential and all New Non-Residential Development

The Toronto Green Standard Version 3.0 Statistics Template is submitted with Site Plan Control Applications and stand alone Zoning Bylaw Amendment applications. Complete the table and copy it directly onto the Site Plan submitted as part of the application.  
For Zoning Bylaw Amendment applications: complete General Project Description and Section 1.  
For Site Plan Control applications: complete General Project Description, Section 1 and Section 2.  
For further information, please visit [www.toronto.ca/greendevlopment](http://www.toronto.ca/greendevlopment).

General Project Description	Proposed
Total Gross Floor Area	6,602.1sm
Breakdown of project components (m²)	
Residential	6,247.1sm
Retail	355m
Commercial	
Industrial	
Institutional/Other	
Total number of residential units	115

### Section 1: For Stand Alone Zoning Bylaw Amendment Applications and Site Plan Control Applications

Automobile Infrastructure	Required	Proposed	Proposed %
Number of Parking Spaces	28	28	100%
Number of parking spaces dedicated for priority LEV parking	0	0	0
Number of parking spaces with EVSE	6	6	100%

Cycling Infrastructure	Required	Proposed	Proposed %
Number of long-term bicycle parking spaces (residential)	104	104	100%
Number of long-term bicycle parking spaces (all other uses)	0	0	0
Number of long-term bicycle parking (all uses) located on:			
a) first storey of building		104	100%
b) second storey of building	N/A		
c) first level below-ground	N/A		
d) second level below-ground	N/A		
e) other levels below-ground	N/A		



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Page 1 of 3

Statistics Template - Toronto Green Standard Version 3.0

### Mid to High Rise Residential and all New Non-Residential Development

Cycling Infrastructure	Required	Proposed	Proposed %
Number of short-term bicycle parking spaces (residential)			
Number of short-term bicycle parking spaces (all other uses)	12	12	100%
Number of male shower and change facilities (non-residential)			
Number of female shower and change facilities (non-residential)			

Tree Planting & Soil Volume	Required	Proposed	Proposed %
Total Soil Volume (40% of the site area = 66 m² x 30 m³)	246m2	150m2	61%

### Section 2: For Site Plan Control Applications

Cycling Infrastructure	Required	Proposed	Proposed %
Number of short-term bicycle parking spaces (all uses) at-grade or on first level below grade	12	12	100%

UHI Non-roof Hardscape	Required	Proposed	Proposed %
Total non-roof hardscape area (m²)		147m2	
Total non-roof hardscape area treated for Urban Heat Island (minimum 50%) (m²)	50%	73.5m2	99%
Area of non-roof hardscape treated with: (indicate m²)			
a) high-albedo surface material	50%	146m2	99%
b) open-grid pavement			
c) shade from tree canopy			
d) shade from high-albedo structures			
e) shade from energy generation structures			
Percentage of required car parking spaces under cover (minimum 75%)(non-residential only)			

Green & Cool Roofs	Required	Proposed	Proposed %
Available Roof Space (m²)		389	
Available Roof Space provided as Green Roof (m²)	194.5	146.5	38%
Available Roof Space provided as Cool Roof (m²)			
Available Roof Space provided as Solar Panels (m²)			

11-0063 2016-05

Page 2 of 3

Statistics Template - Toronto Green Standard Version 3.0

### Mid to High Rise Residential and all New Non-Residential Development

Water Efficiency	Required	Proposed	Proposed %
Total landscaped site area (m²)		149m2	
Landscaped site area planted with drought-tolerant plants (minimum 50%) (m² and % (if applicable))	74.5m2	138m2	92%

Tree Planting Areas & Soil Volume	Required	Proposed	Proposed %
Total site area (m²)		1351.1	
Total Soil Volume (40% of the site area = 66 m² x 30 m³)	245.6m3	120m3	48%
Total number of planting areas (minimum of 30m² soil)		1	
Total number of trees planted		2	
Number of surface parking spaces (if applicable)			
Number of shade trees located in surface parking area interior (minimum 1 tree for 5 parking spaces)			

Native and Pollinator Supportive Species	Required	Proposed	Proposed %
Total number of plants		32	
Total number of native plants and % of total plants (min 50%)	50%	18	56%

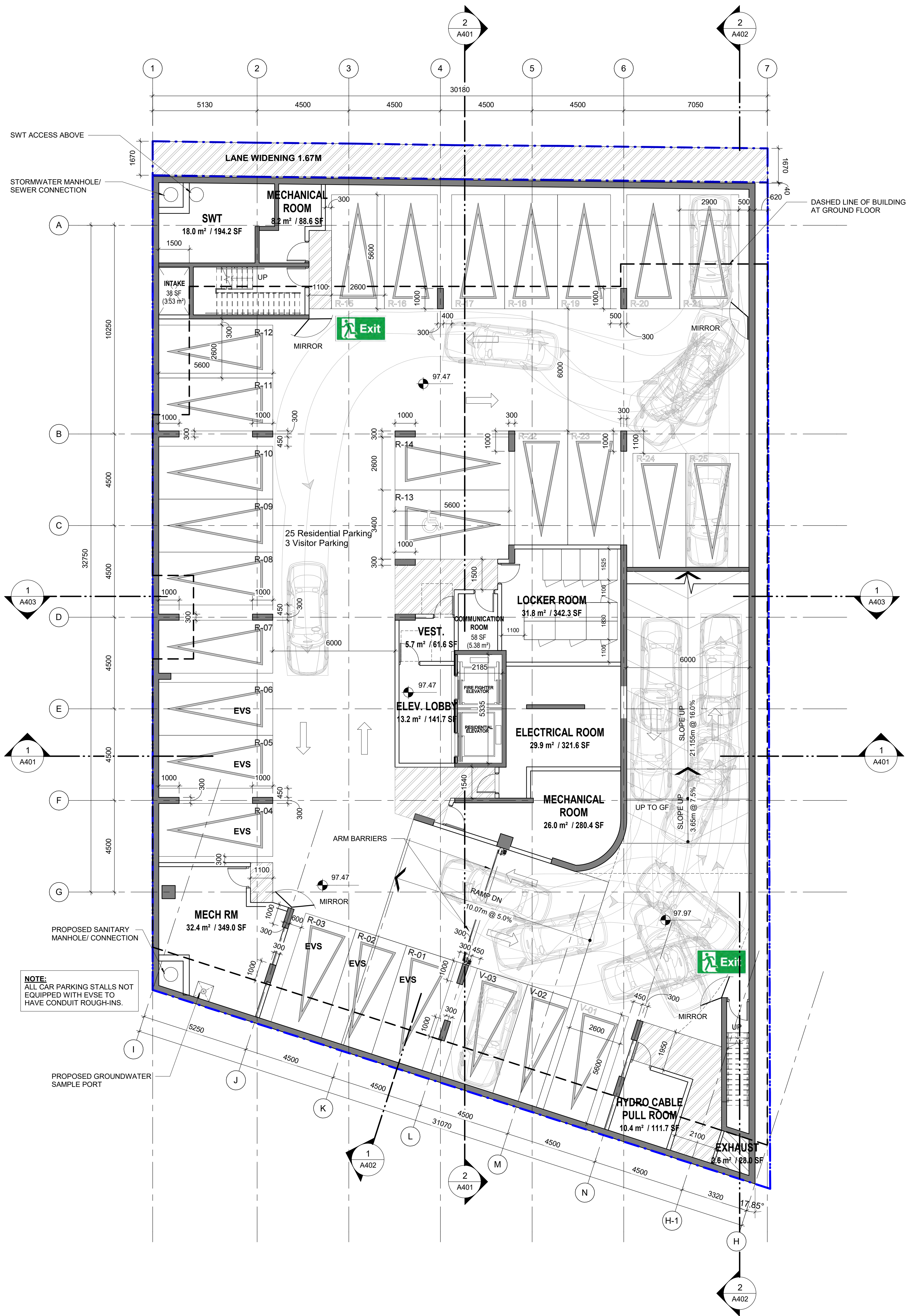
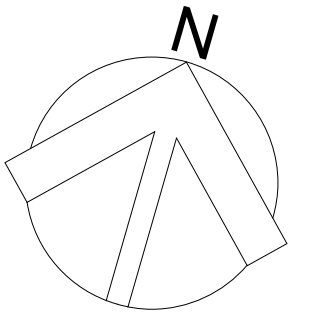
Bird Friendly Glazing	Required	Proposed	Proposed %
Total area of glazing of all elevations within 12m above grade (including glass balcony railings)		702.7	
Total area of treated glazing (minimum 85% of total area of glazing within 12m above grade) (m²)	597.3	654.1	93.1
Percentage of glazing within 12m above grade treated with:			
a) Low reflectance opaque materials		48.6	6.9
b) Visual markers		654.1	93.1
c) Shading		0	0

11-0063 2016-05

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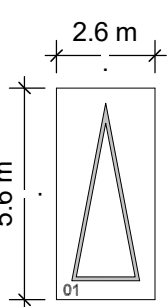
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						4		



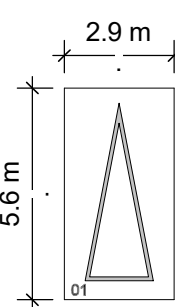


**NOTE:**  
ALL CAR PARKING STALLS NOT  
EQUIPPED WITH EVSE TO  
HAVE CONDUIT ROUGH-INS.

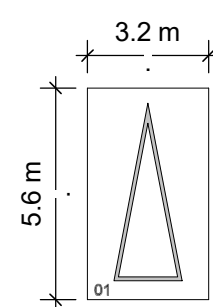
**LEGEND**  
**PARKING SIZE**



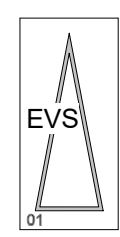
No side obstructed-  
6.0m wide Aisle



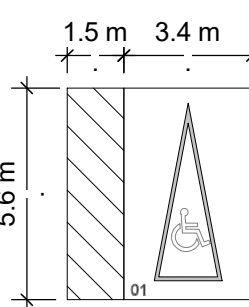
One side obstructed-  
6.0m wide Aisle



Two sides obstructed-  
6.0m wide Aisle

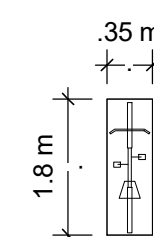


Electric Vehicle Infrastructure  
Parking Spaces

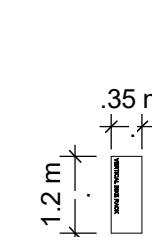


Accessible Parking Spaces

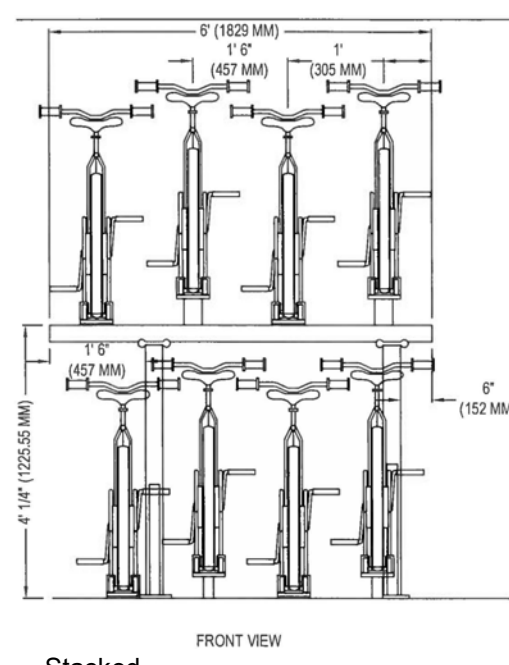
**BICYCLE PARKING SIZE**



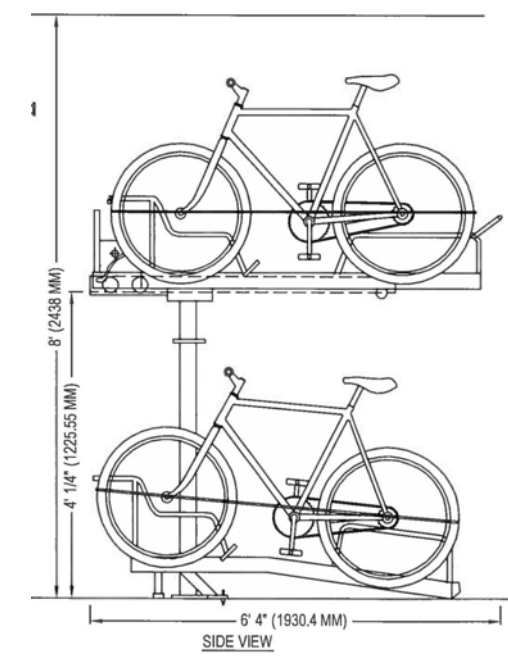
Horizontal



Vertical



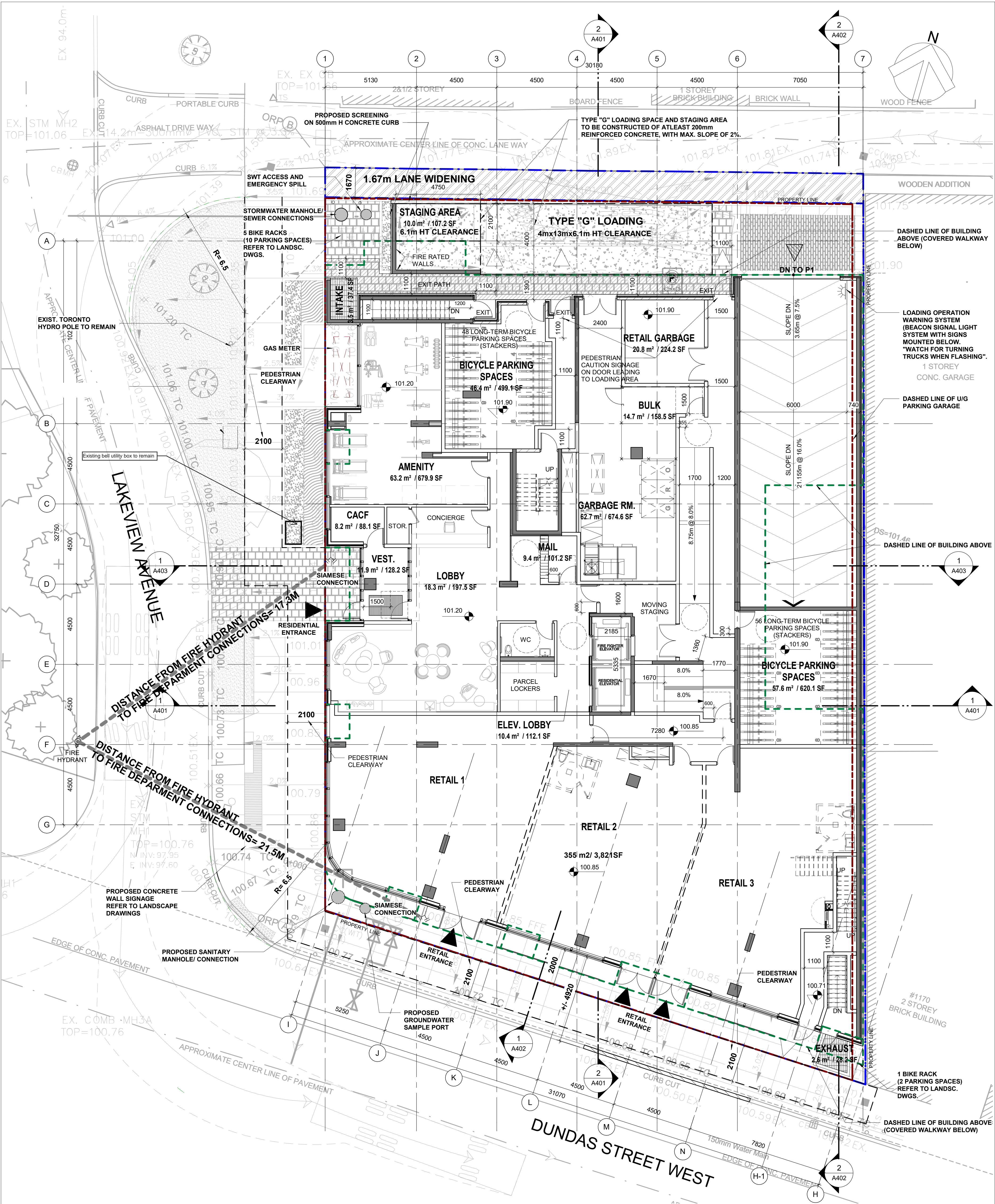
Stacked



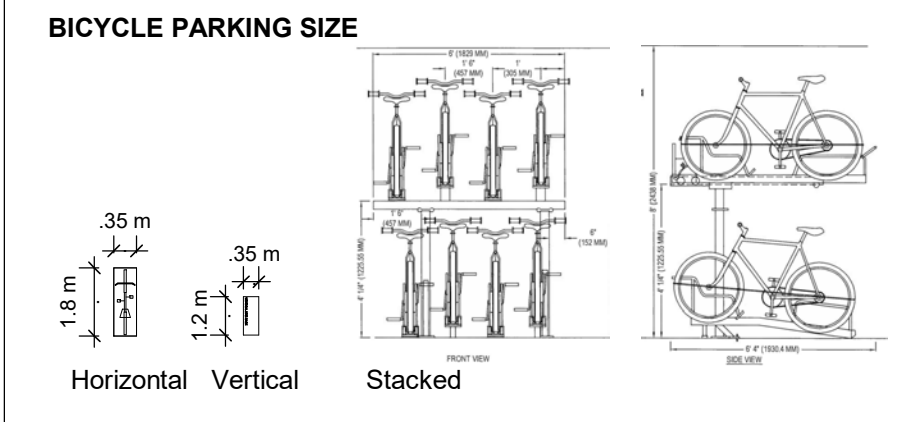
Side View

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		No.	DESCRIPTION	DATE																	
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		3	REISSUED FOR SPA	2021-05-28																	
		4	REISSUED FOR SPA	2021-08-26																	
						PROJECT NO:	121632	SHEET TITLE													
						DRAWN BY:	CHECKED BY:	LEVEL P1													
						PROJECT MGR:	APPROVED BY:	SHEET NUMBER	ISSUE												
				SCALE: As indicated	DATE: 2021-08-26	A150	4														





- NOTES:
- LOADING AREA TO BE DESIGNED IN ACCORDANCE WITH OBC, WITH A DESIGN LOAD SUPPORTING CITY BULK LIFT VEHICLES, FOR AN IMPACT FACTOR OF 5% FOR VEHICULAR SPEEDS UP TO 15kph AND 30% FOR HIGHER SPEEDS. TYPE "G" LOADING SPACE AND STAGING AREA TO BE CONSTRUCTED OF AT LEAST 200mm REINFORCED CONCRETE, WITH A MAXIMUM SLOPE OF 2%
  - A TRAINED ON-SITE STAFF MEMBER WILL BE AVAILABLE TO MANEUVER BINS FOR THE COLLECTION DRIVER AND ALSO ACT AS A FLAGMAN WHEN THE TRUCK IS REVERSING
  - IN THE EVENT THE ON-SITE STAFF IS UNAVAILABLE AT THE TIME THE CITY COLLECTION VEHICLES ARRIVE AT THE SITE, THE COLLECTION VEHICLE WILL LEAVE THE SITE AND NOT RETURN UNTIL THE NEXT SCHEDULED COLLECTION DAY
  - BINS USED FOR NON-RESIDENTIAL WASTE WILL BE LABELED SEPARATELY FROM THE BINS FOR THE RESIDENTIAL WASTE.
  - PRIOR TO SOLID WASTE COLLECTION SERVICES ARE TO BEGIN THE CITY WILL NEED TO BE PROVIDED WITH A LETTER CERTIFIED BY A PROFESSIONAL ENGINEER THAT IN ALL CASES WHERE A COLLECTION VEHICLE IS REQUIRED TO DRIVE ONTO OR OVER A SUPPORTED STRUCTURE (SUCH AS AN UNDERGROUND PARKING GARAGE) THE STRUCTURE CAN SAFELY SUPPORT A FULLY LOADED COLLECTION VEHICLE (35,000kg) AND CONFORMS TO THE FOLLOWING:
    - DESIGN CODE - ONTARIO BUILDING CODE
    - DESIGN CODE - CITY BULK LEFT VEHICLE IN ADDITION BUILDING CODE REQUIREMENTS
    - IMPACT FACTOR - 5% FOR MAXIMUM VEHICULAR SPEEDS TO 15kph AND 30% FOR HIGHER SPEEDS
  - ANY GROUND LEVEL GRATES, INTAKES AND EXHAUST SHAFTS WILL HAVE MAXIMUM POROSITY OF 20mm X 20mm OR 40mm X 10mm.



BICYCLE PARKING		
RESIDENTIAL		
LEVEL	LONG TERM	SHORT TERM
GROUND	104	12
TOTAL	116	

- LEGEND
- DASHED LINE OF U/G PARKING GARAGE
  - PROPERTY LINE
  - RESIDENTIAL/ RETAIL ACCESS
  - VEHICULAR ACCESS
  - FIRE EXIT
  - FINISHED FLOOR ELEVATION
  - EXISTING TREES
  - EXISTING FIRE HYDRANT
  - LAND TO BE CONVEYED

CLIENT

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3	REISSUED FOR SPA	2021-05-28
4	REISSUED FOR SPA	2021-08-26

CONSULTANTS

SEAL

PROJECT

1200 Dundas Street  
West

PROJECT NO: 121632

DRAWN BY: CHECKED BY:

PROJECT MGR: APPROVED BY:

SCALE: As indicated

DATE: 2021-08-26

PRIME CONSULTANT

IBI GROUP ARCHITECTS  
7th Floor-55 St. Clair Avenue West  
Toronto ON M4V 2Y7 Canada  
tel 416 596 1930 fax 416 596 0644  
ibigroup.com

SHEET TITLE

GROUND FLOOR

SHEET NUMBER

A201

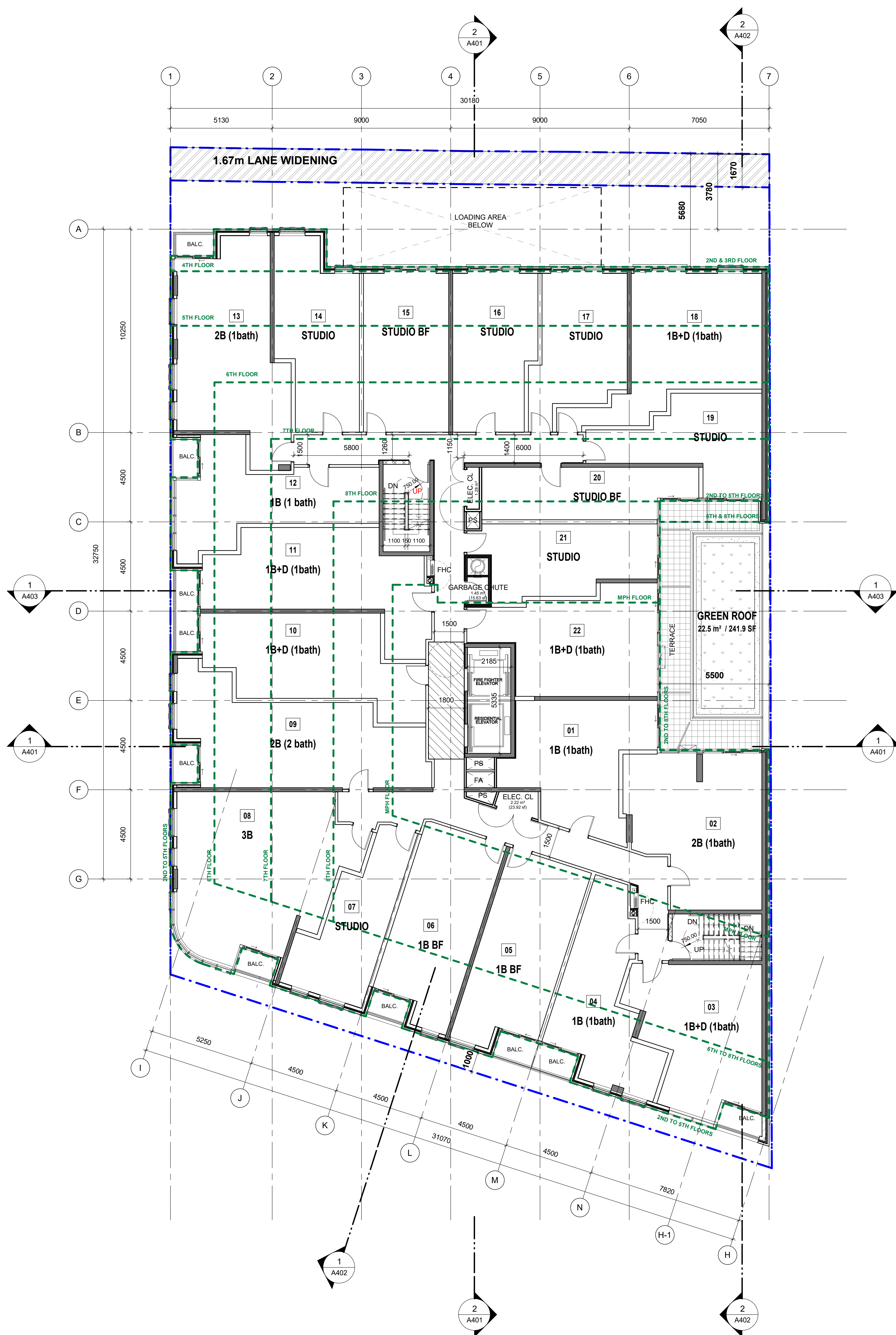
ISSUE

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SCALE CHECK

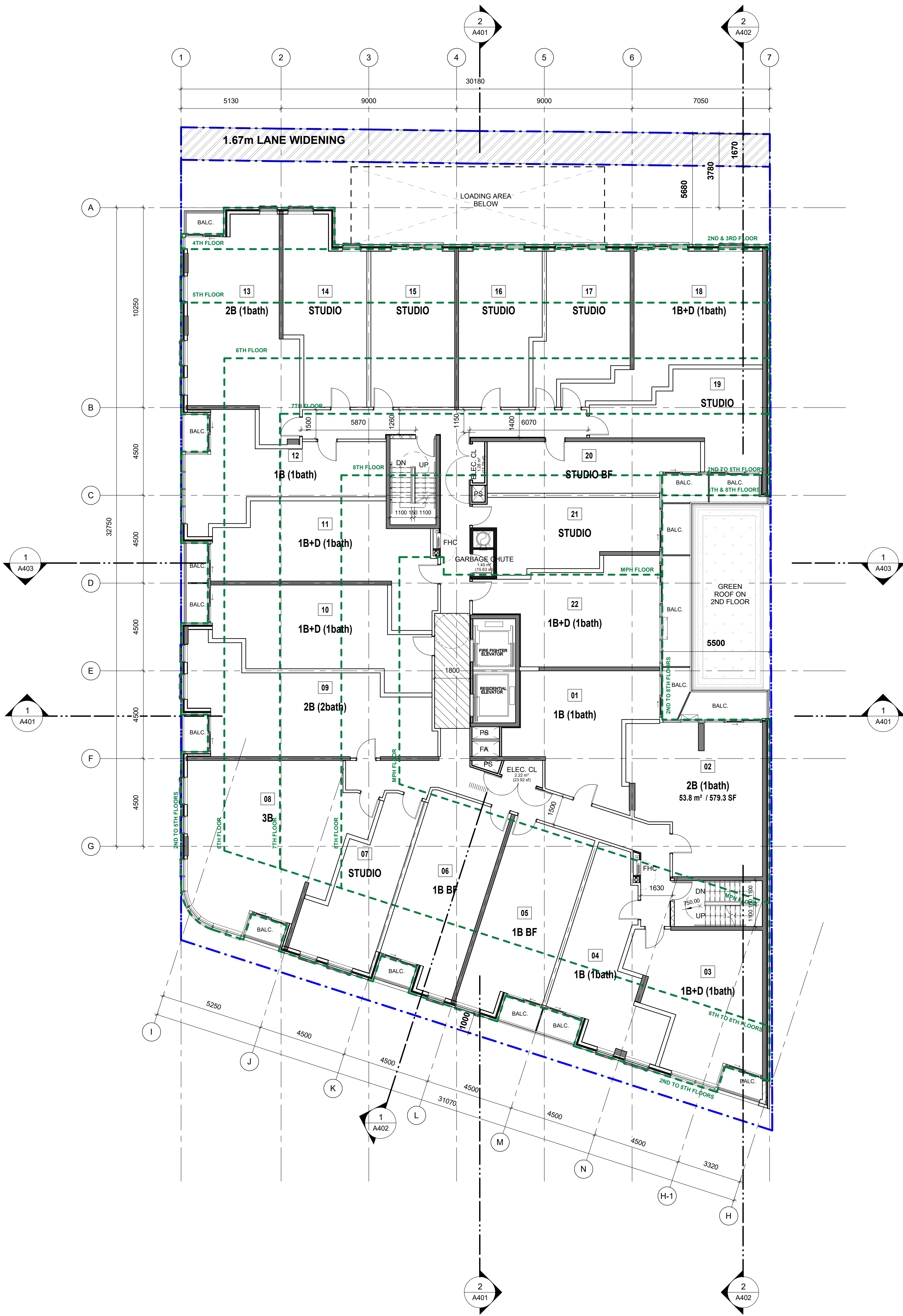
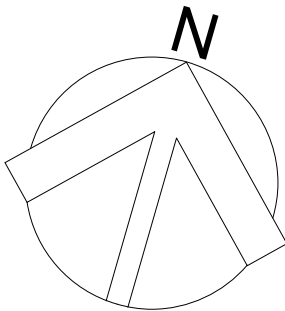
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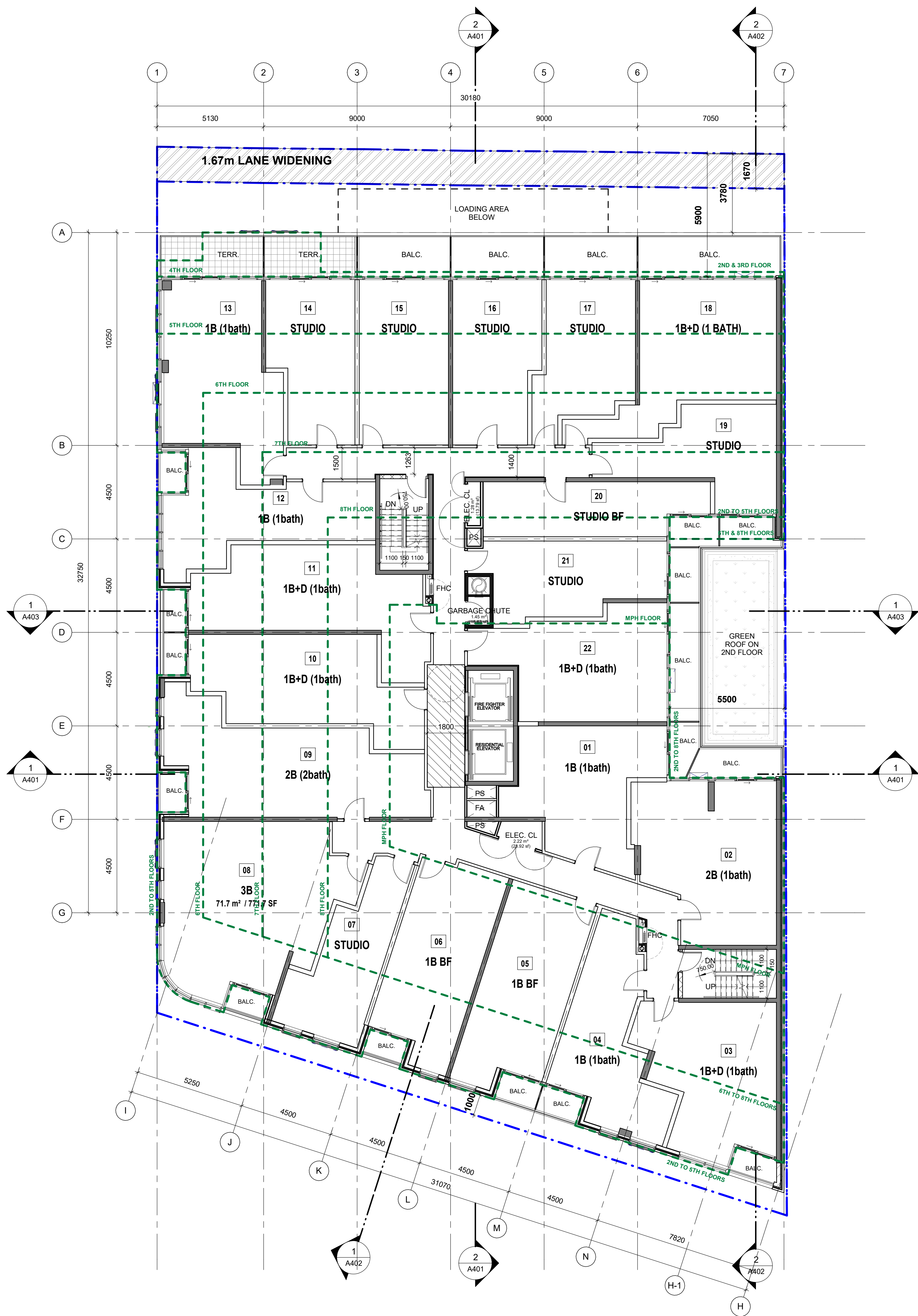
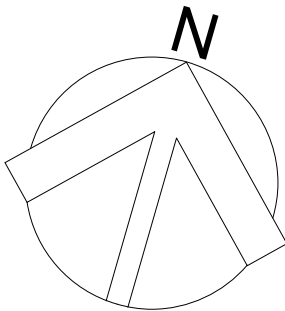
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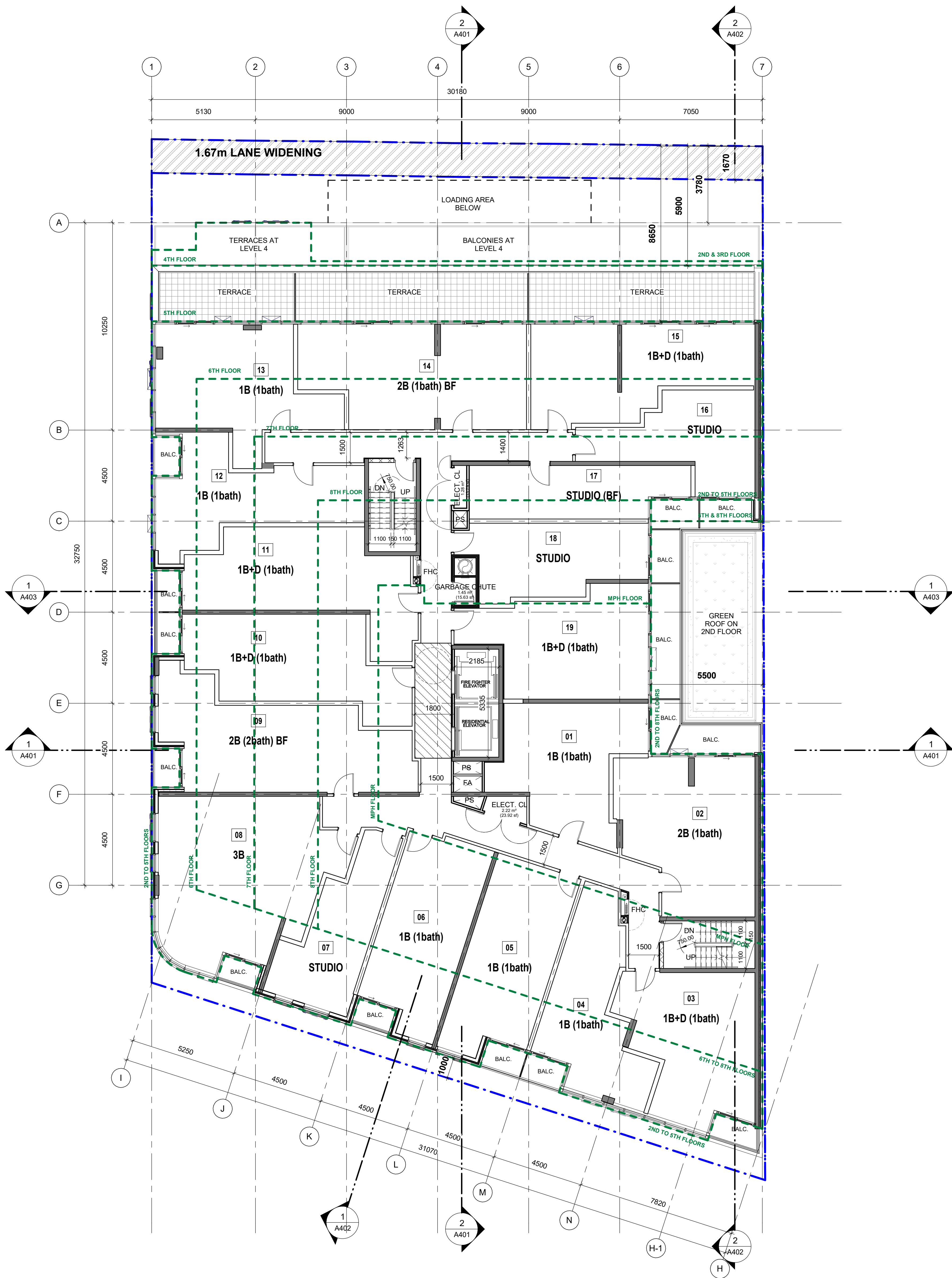
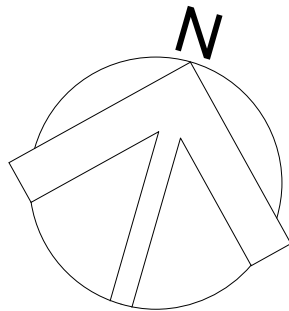
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		<table><tr><th>No.</th><th>DESCRIPTION</th><th>DATE</th></tr><tr><td>1</td><td>ISSUED FOR SPA</td><td>2019-11-19</td></tr><tr><td>2</td><td>REISSUED FOR SPA</td><td>2020-12-11</td></tr><tr><td>3</td><td>REISSUED FOR SPA</td><td>2021-05-28</td></tr><tr><td>4</td><td>REISSUED FOR SPA</td><td>2021-08-26</td></tr></table>	No.	DESCRIPTION	DATE	1	ISSUED FOR SPA	2019-11-19	2	REISSUED FOR SPA	2020-12-11	3	REISSUED FOR SPA	2021-05-28	4	REISSUED FOR SPA	2021-08-26			PROJECT NO:  121632		SHEET TITLE  LEVEL 3	
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	3	REISSUED FOR SPA	2021-05-28																				
	4	REISSUED FOR SPA	2021-08-26																				
			DRAWN BY:		CHECKED BY:		SHEET NUMBER  A203																
			PROJECT MGR:		APPROVED BY:		ISSUE  4																
			SCALE: 1 : 100		DATE: 2021-08-26																		






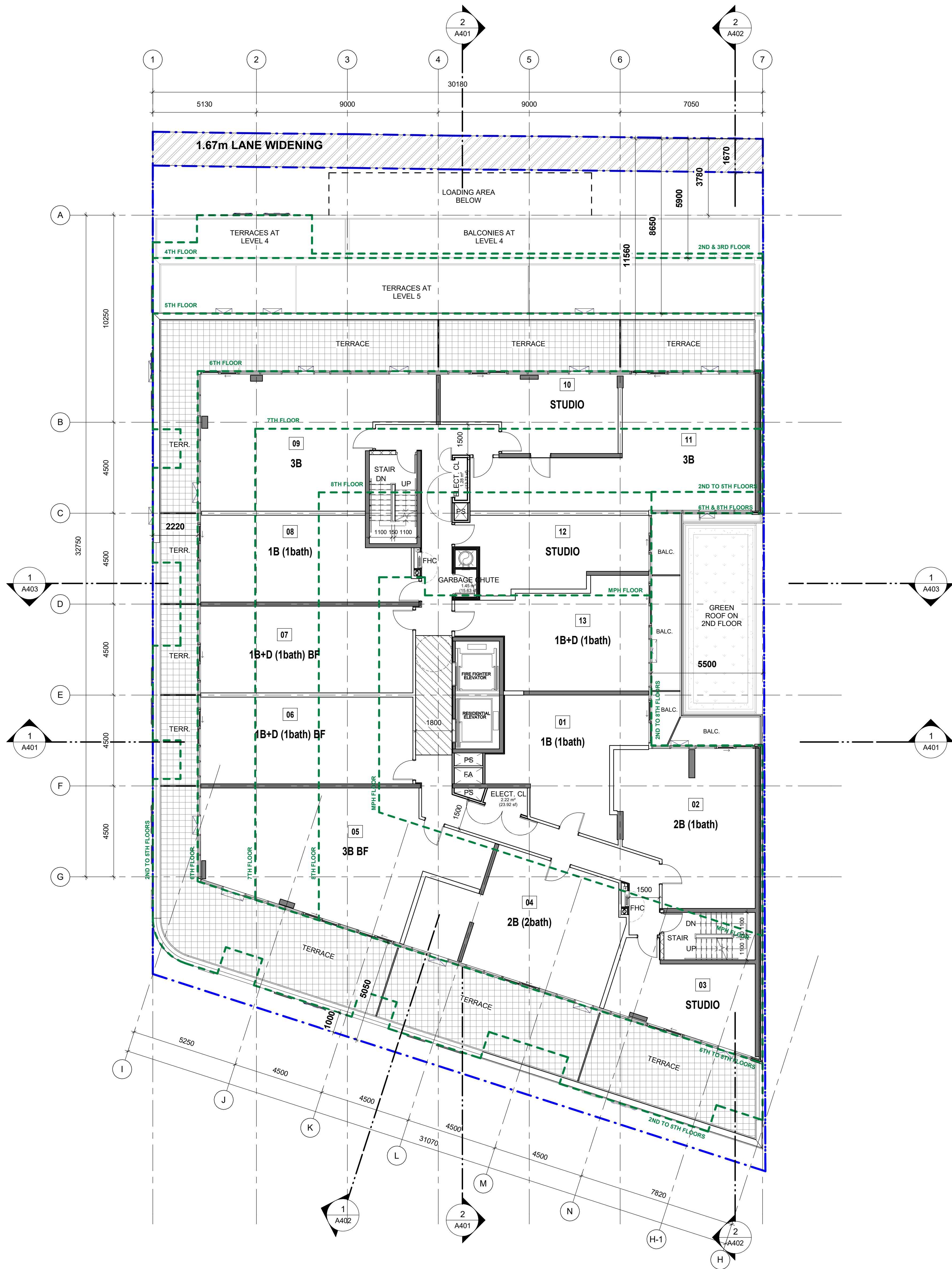
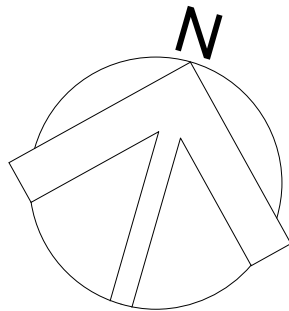
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		3	REISSUED FOR SPA			2021-05-28			
	4	REISSUED FOR SPA	2021-08-26						
			PROJECT NO:  121632			LEVEL 4			
	DRAWN BY:		CHECKED BY:						
	PROJECT MGR:		APPROVED BY:						
			SCALE: 1 : 100			DATE: 2021-08-26	SHEET NUMBER  A204	ISSUE  4	





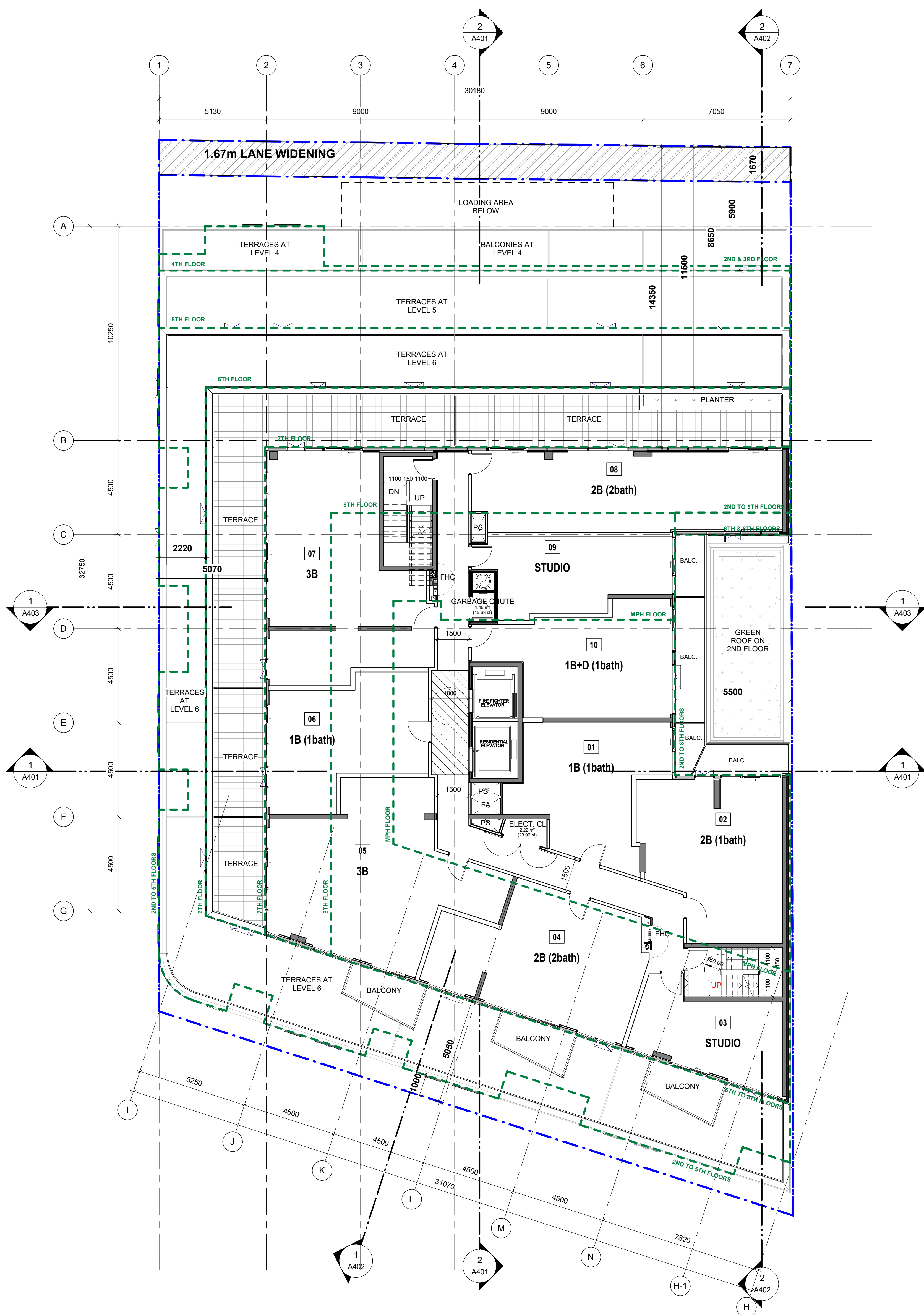
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		No.	DESCRIPTION			DATE		IBI GROUP ARCHITECTS 7th Floor-55 St. Clair Avenue West Toronto ON M4V 2Y7 Canada tel 416 596 1930 fax 416 596 0644 ibigroup.com		
		1	ISSUED FOR SPA			2019-11-19		SHEET TITLE		
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	4	REISSUED FOR SPA	2021-08-26	DRAWN BY:		CHECKED BY:		A205		
			PROJECT MGR:	APPROVED BY:		1 : 100	DATE: 2021-08-26			





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		No. DESCRIPTION DATE				PROJECT NO: 121632		SHEET TITLE  LEVEL 6	
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		2	REISSUED FOR SPA	2020-12-11			PROJECT MGR:		APPROVED BY:
		3	REISSUED FOR SPA	2021-05-28			SCALE: 1 : 100		DATE: 2021-08-26
		4	REISSUED FOR SPA	2021-08-26			A206		4





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## CONSULTANTS

PROJECT

1200 Dundas Street  
West

PRIME CONSULTANT

**IBI**

**IBI GROUP ARCHITECTS**  
7th Floor-55 St. Clair Avenue West  
Toronto ON M4V 2Y7 Canada  
tel 416 596 1930 fax 416 596 0644  
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## LEVEL 7

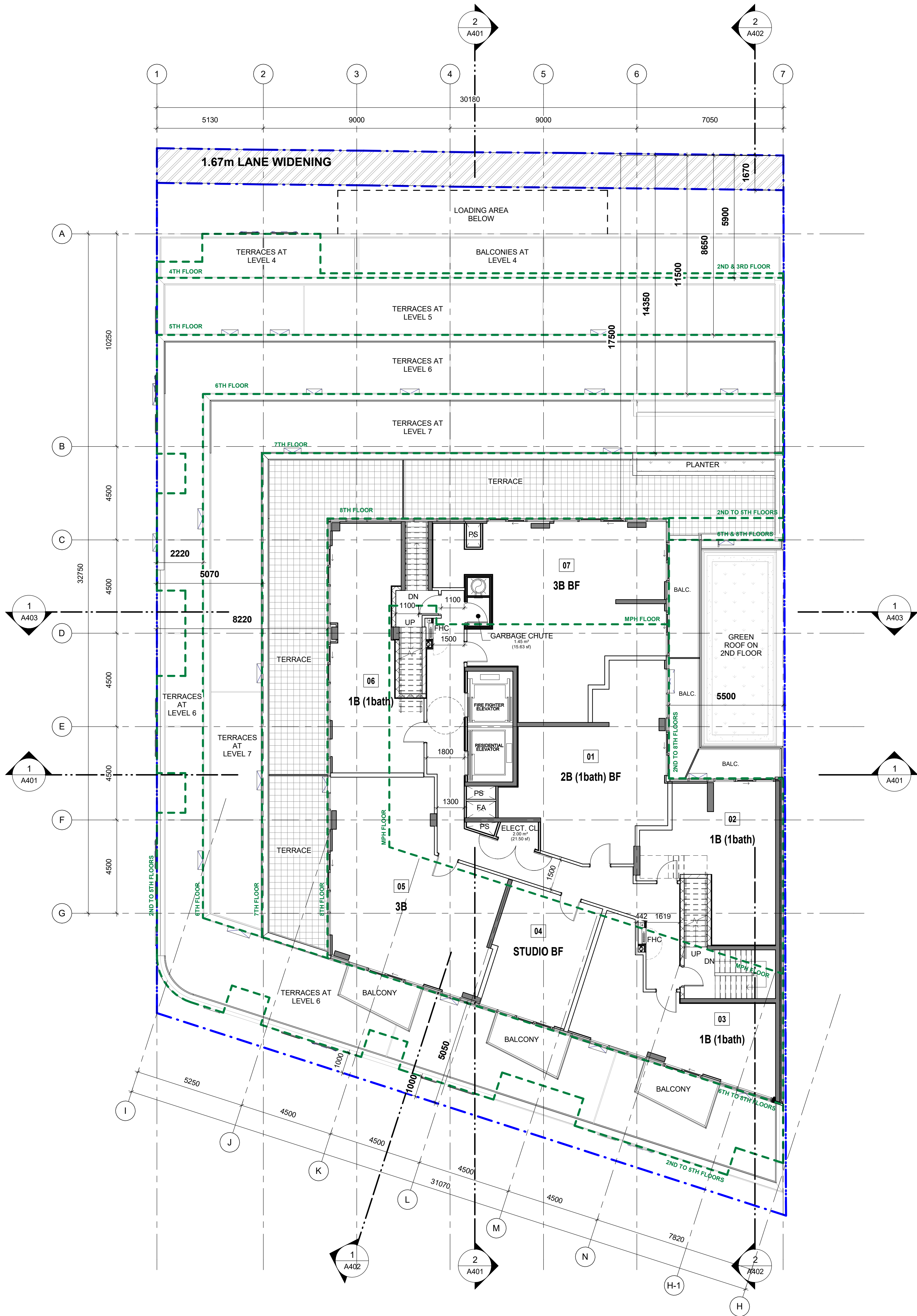
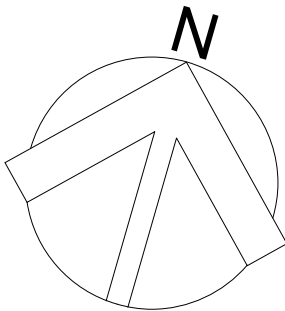
SHEET NUMBER

A207

4

SCALE CHECK		
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3	REISSUED FOR SPA	2021-05-28
4	REISSUED FOR SPA	2021-08-26

CONSULTANTS

SEAL

PROJECT

1200 Dundas Street  
West

PROJECT NO:  
121632

DRAWN BY:  
CHECKED BY:

PROJECT MGR:  
APPROVED BY:

SCALE:  
1 : 100

DATE:  
2021-08-26

PRIME CONSULTANT

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Toronto, ON M4V 2Y7, Canada  
tel 416 596 1930 fax 416 596 0644  
ibigroup.com

SHEET TITLE

LEVEL 8

SHEET NUMBER

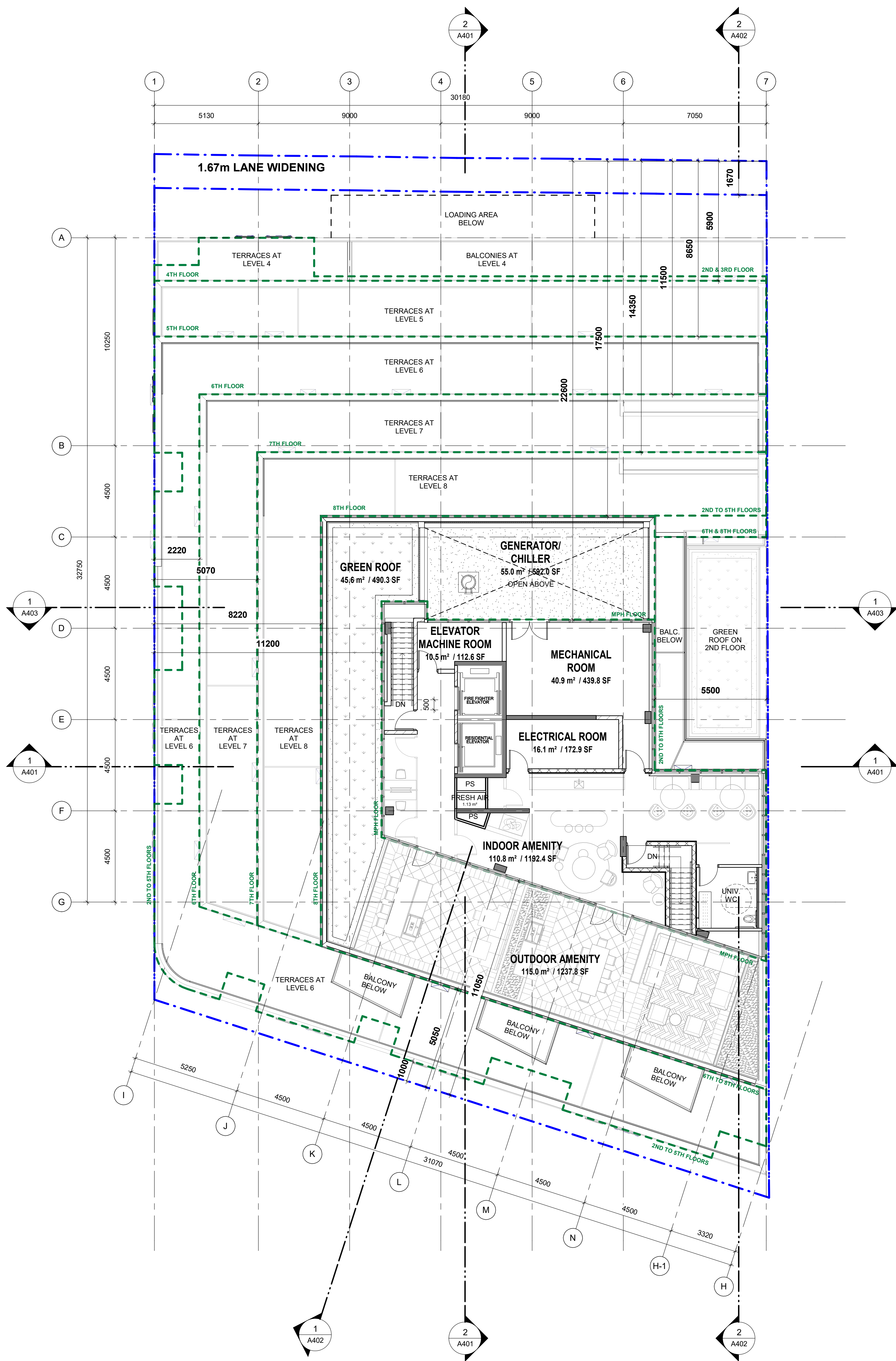
A208

ISSUE

4

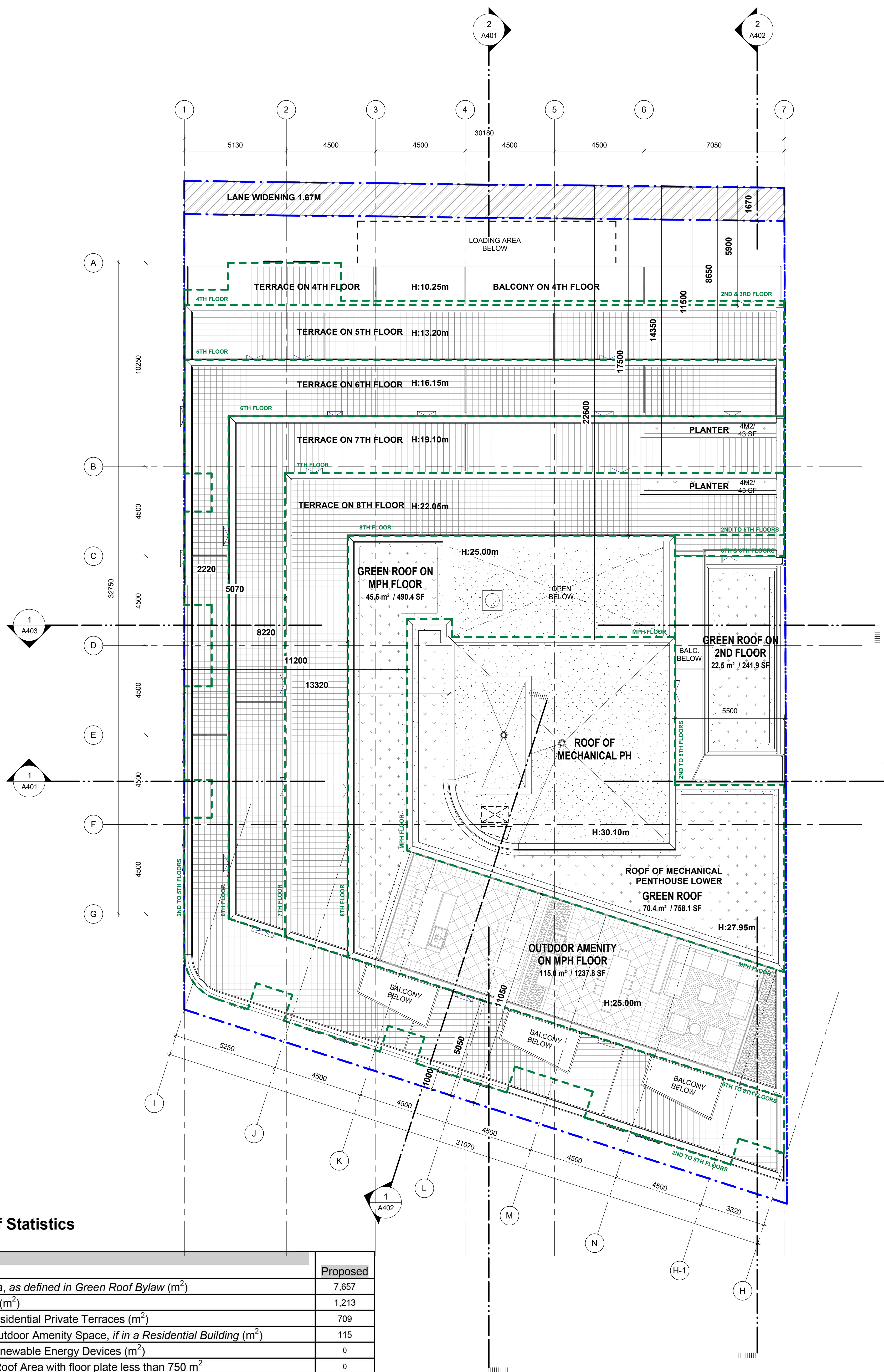
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SCALE CHECK	
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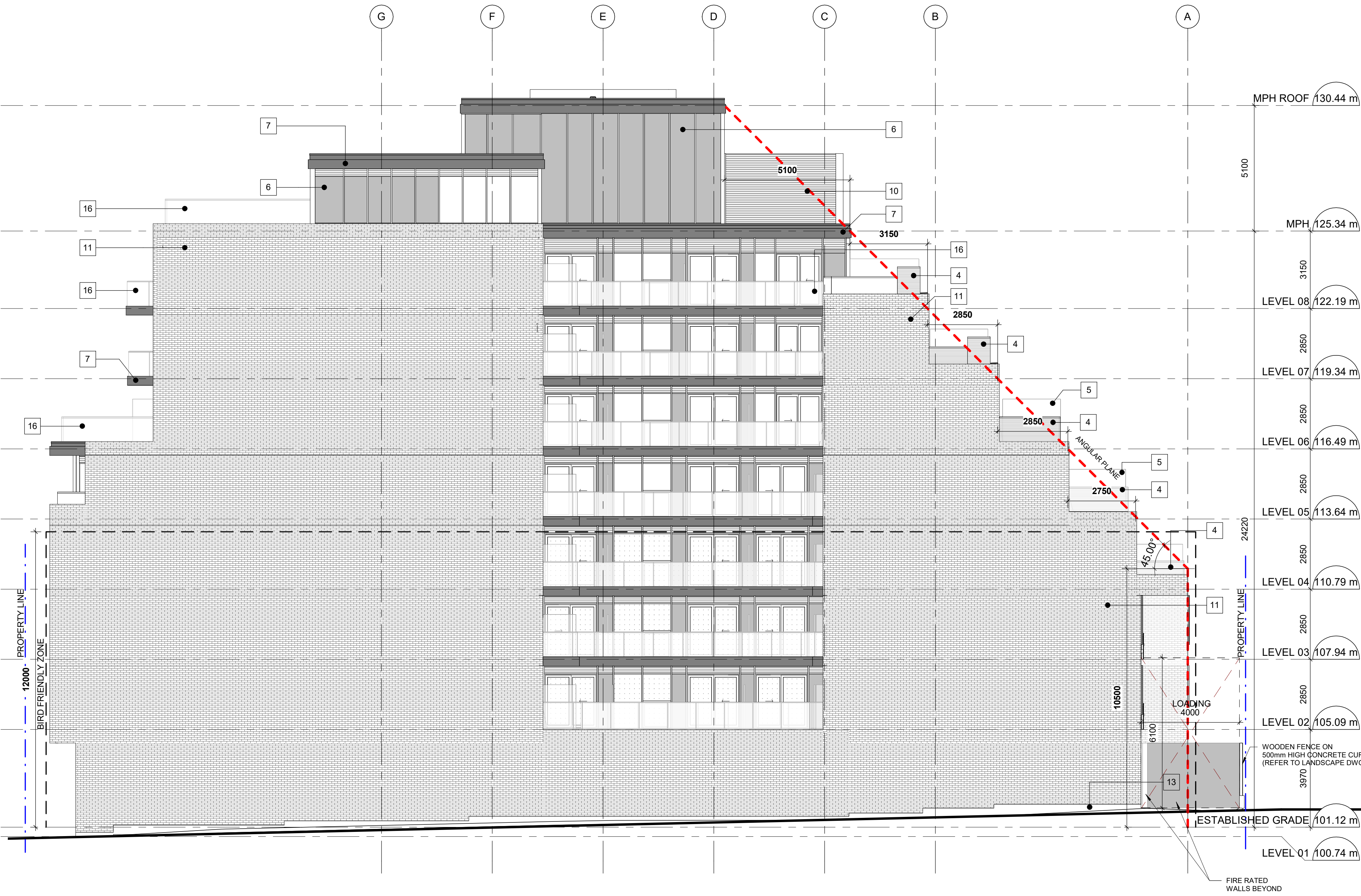




		Proposed
Gross Floor Area, as defined in Green Roof Bylaw (m <sup>2</sup> )		7,657
Total Roof Area (m <sup>2</sup> )		1,213
Area of Residential Private Terraces (m <sup>2</sup> )		709
Rooftop Outdoor Amenity Space, if in a Residential Building (m <sup>2</sup> )		115
Area of Renewable Energy Devices (m <sup>2</sup> )		0
Tower (s)Roof Area with floor plate less than 750 m <sup>2</sup>		0
Total Available Roof Space (m <sup>2</sup> )		389
<b>Green Roof Coverage</b>	<b>Required</b>	<b>Proposed</b>
Coverage of Available Roof Space (m <sup>2</sup> )	116	146.5
Coverage of Available Roof Space (%)	30%	38%

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			1	ISSUED FOR SPA	2019-11-19	<div><div>IBI</div><div>IBI GROUP ARCHITECTS 7th Floor-55 St. Clair Avenue West Toronto ON M4V 2Y7 Canada tel 416 596 1930 fax 416 596 0644 ibi@group.com</div></div>				SHEET TITLE		
			2	REISSUED FOR SPA	2020-12-11					ROOF PLAN		
			3	REISSUED FOR SPA	2021-05-28					SHEET NUMBER		ISSUE
4	REISSUED FOR SPA	2021-08-26	A210		4							
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					PROJECT MGR:	APPROVED BY:						
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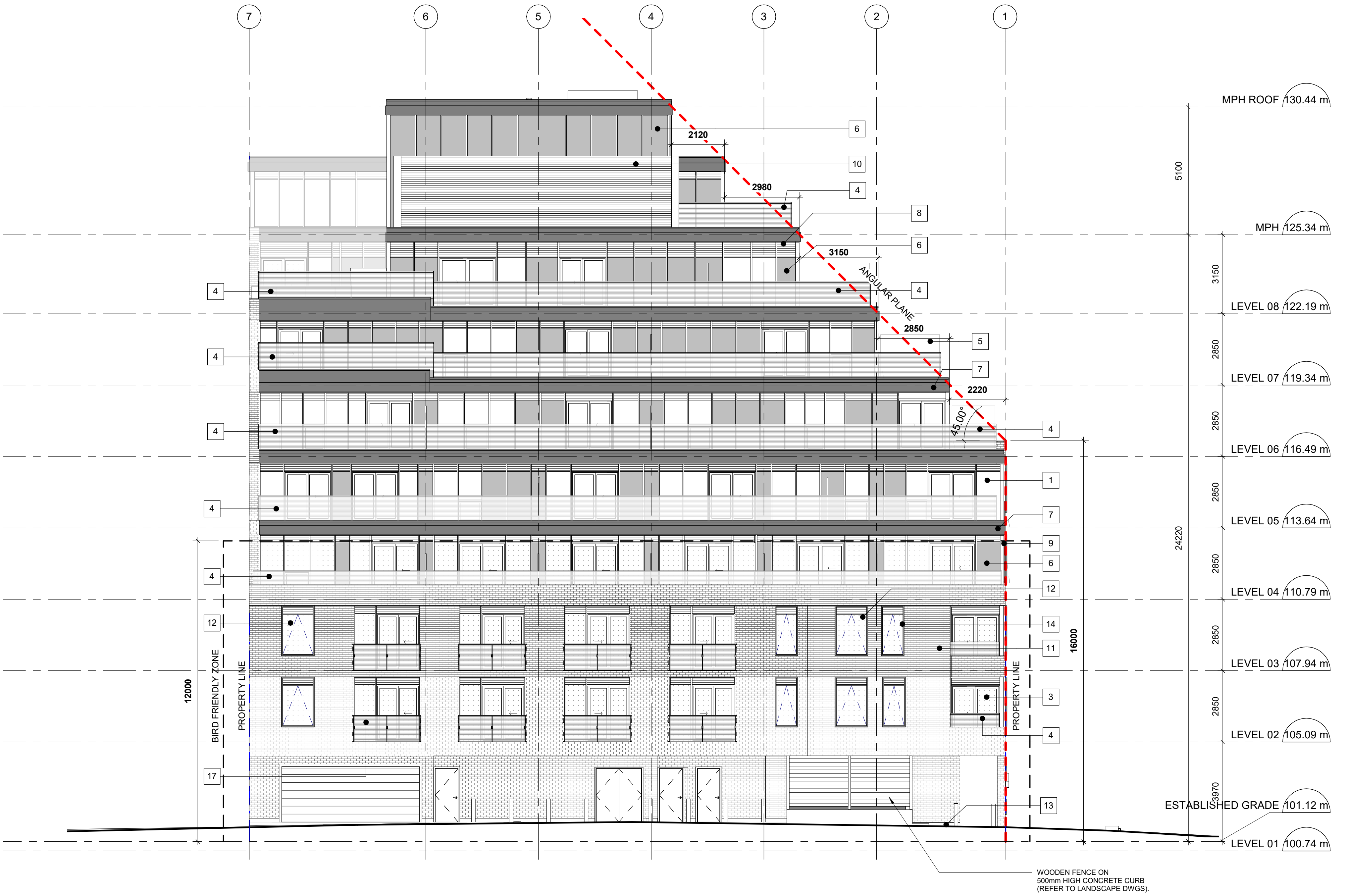


- NOTES:**
1. NUMBER AND LOCATION OF EXTERIOR LIGHTS TO BE DETERMINED.
  2. ALL LIGHTS WILL BE DARK SKY COMPLIANT FIXTURES.
  3. FRIT ON BIRD FRIENDLY GLASS TO HAVE MIN. DIA. OF 5 MM AND MAXIMUM SPACING OF 100MM X 100MM.
  4. ALL BALCONY GUARDS FACING THE NORTH SIDE WILL HAVE FRITTED GLASS FOR PRIVACY.

- MATERIAL LEGEND**
- 1 WINDOW WALL GLAZING - VISION GLASS
  - 2 CURTAIN WALL GLAZING - VISION GLASS
  - 3 BIRD FRIENDLY GLAZING - FRITTED GLASS
  - 4 BALCONY GUARD - FRITTED GLASS
  - 5 GLASS BALCONY DIVIDERS
  - 6 SPANDREL GLASS PANEL
  - 7 METAL SLAB COVER
  - 8 ALUMINUM LOUVER
  - 9 ALUMINUM MULLIONS
  - 10 METAL SCREEN
  - 11 BRICK
  - 12 GLASS AWNING
  - 13 STONE BASE
  - 14 CHARCOAL GREY WINDOW FRAMES
  - 15 BRICK REVEAL
  - 16 BALCONY GUARD - CLEAR GLASS
  - 17 JULIET BALCONY - FRITTED GLASS
  - 18 RETAIL SIGNAGE ON SUSPENDED METAL FRAMES

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		No.	DESCRIPTION	DATE	PROJECT NO:  121632			SHEET TITLE  EAST ELEVATION	
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		2	REISSUED FOR SPA	2020-12-11	PROJECT MGR:			APPROVED BY:	
		3	REISSUED FOR SPA	2021-05-28	SCALE: As indicated			DATE: 2021-08-26	
4	REISSUED FOR SPA	2021-08-26	PROJECT MGR:			APPROVED BY:			
							SHEET NUMBER  A301		ISSUE  4





**NOTES:**

1. NUMBER AND LOCATION OF EXTERIOR LIGHTS TO BE DETERMINED.
2. ALL LIGHTS WILL BE DARK SKY COMPLIANT FIXTURES.
3. FRIT ON BIRD FRIENDLY GLASS TO HAVE MIN. DIA. OF 5 MM AND MAXIMUM SPACING OF 100MM X 100MM.
4. ALL BALCONY GUARDS FACING THE NORTH SIDE WILL HAVE FRITTED GLASS FOR PRIVACY.

**MATERIAL LEGEND**

- 1 WINDOW WALL GLAZING - VISION GLASS
- 2 CURTAIN WALL GLAZING - VISION GLASS
- 3 BIRD FRIENDLY GLAZING - FRITTED GLASS
- 4 BALCONY GUARD - FRITTED GLASS
- 5 GLASS BALCONY DIVIDERS
- 6 SPANDREL GLASS PANEL
- 7 METAL SLAB COVER
- 8 ALUMINUM LOUVER
- 9 ALUMINUM MULLIONS
- 10 METAL SCREEN
- 11 BRICK
- 12 GLASS AWNING
- 13 STONE BASE
- 14 CHARCOAL GREY WINDOW FRAMES
- 15 BRICK REVEAL
- 16 BALCONY GUARD - CLEAR GLASS
- 17 JULIET BALCONY - FRITTED GLASS
- 18 RETAIL SIGNAGE ON SUSPENDED METAL FRAMES

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					NORTH ELEVATION																
					PROJECT NO:	121632															
					DRAWN BY:	CHECKED BY:															
					PROJECT MGR:	APPROVED BY:															
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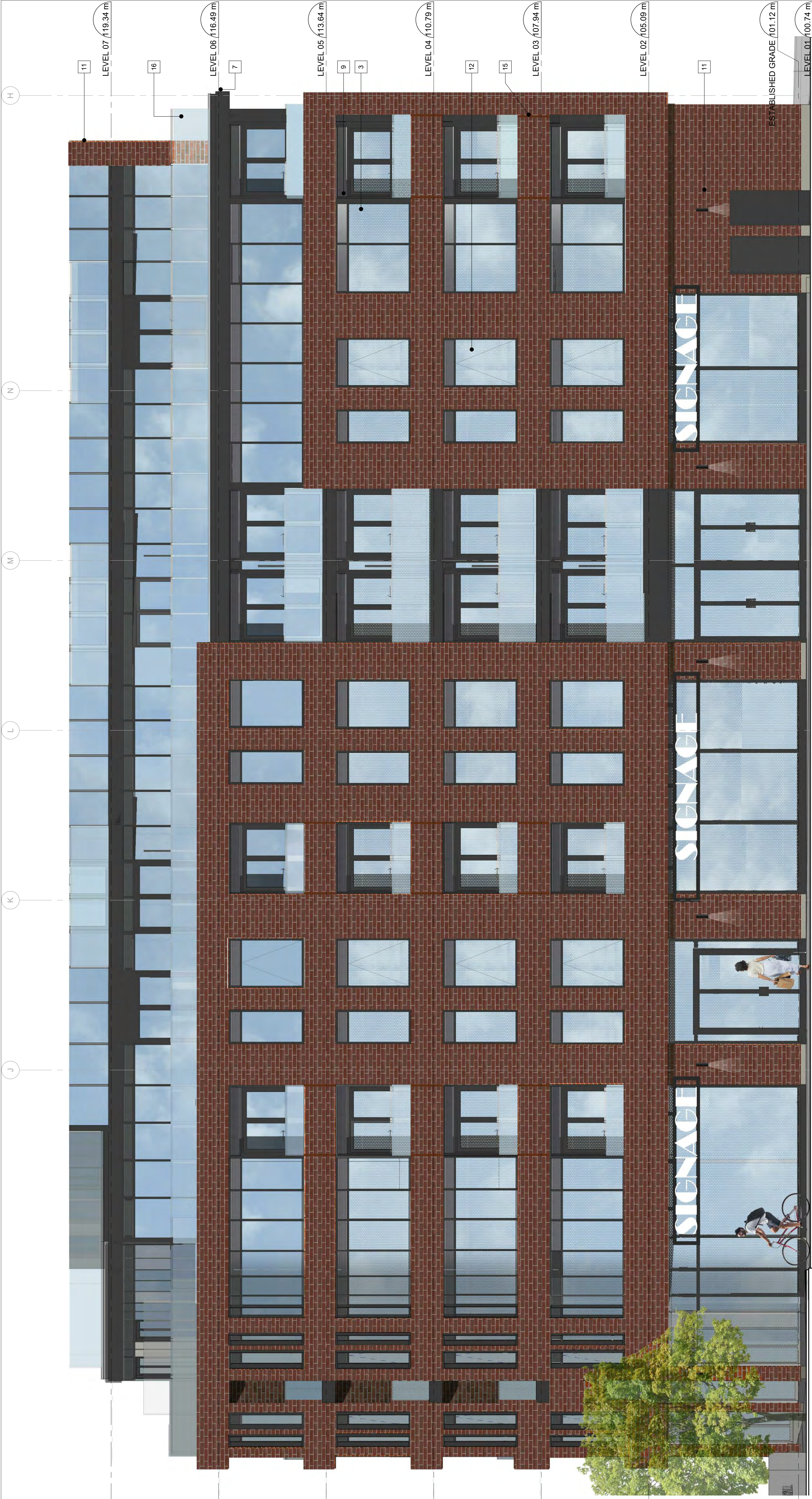


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CONSULTANTS

SEAL

PROJECT

1200 Dundas Street  
West

PROJECT NO:

121632

DRAWN BY:

CHECKED BY:

PROJECT MGR:

APPROVED BY:

SCALE:

As indicated

DATE:

2021-08-26

PRIME CONSULTANT

**IBI** **IBI GROUP ARCHITECTS**  
7th Floor-55 St. Clair Avenue West  
Toronto ON M4V 2Y7 Canada  
tel 416 596 1930 fax 416 596 0644  
ibigroup.com

SHEET TITLE

**PARTIAL SOUTH  
ELEVATION**

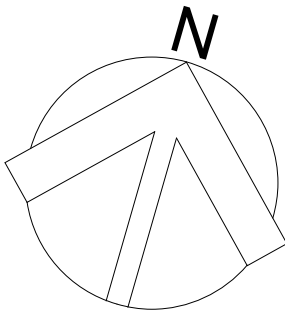
SHEET NUMBER

**A306**


ISSUE

**4**





1200 Dundas - Exterior Material - Details				
MATERIALS	LOCATION	COLOUR	DETAIL	REFERENCE
BRICK	Walls	Crimson Creek	Hebron Brick Company	
VISION GLASS	Window Glass	Clear	AGC R34 (Low-E Insulating Glass Units)	
SPANDREL GLASS	Window Glass	Deep Space Opaci Coat	STOPSOL Super Silver with Solid Coloured Coating	
METAL	Mullions / Louvers / Screen / Slab Cover / Window Frame	PPG UC109851 Charcoal	Duranar Sunstorm Solid Colours	
BIRD FRIENDLY GLASS	First 12m of Building Above Grade		Frit on Bird Friendly Glass to have min dia. of 5mm & max spacing of 100mm x 100mm	
LINEAR FRITTED GLASS	Balcony / Terrace		Clear Glass with 70% Horizontal Ceramic Band Frit	
GLASS GUARD	Balcony / Terrace	White	Balustrade Glass with 70% Ceramic Band Frit	
GLASS DIVIDERS	Balcony / Terrace			
STONE	Base	Sepia Veined - Fine Dressed	Adair Limestone	

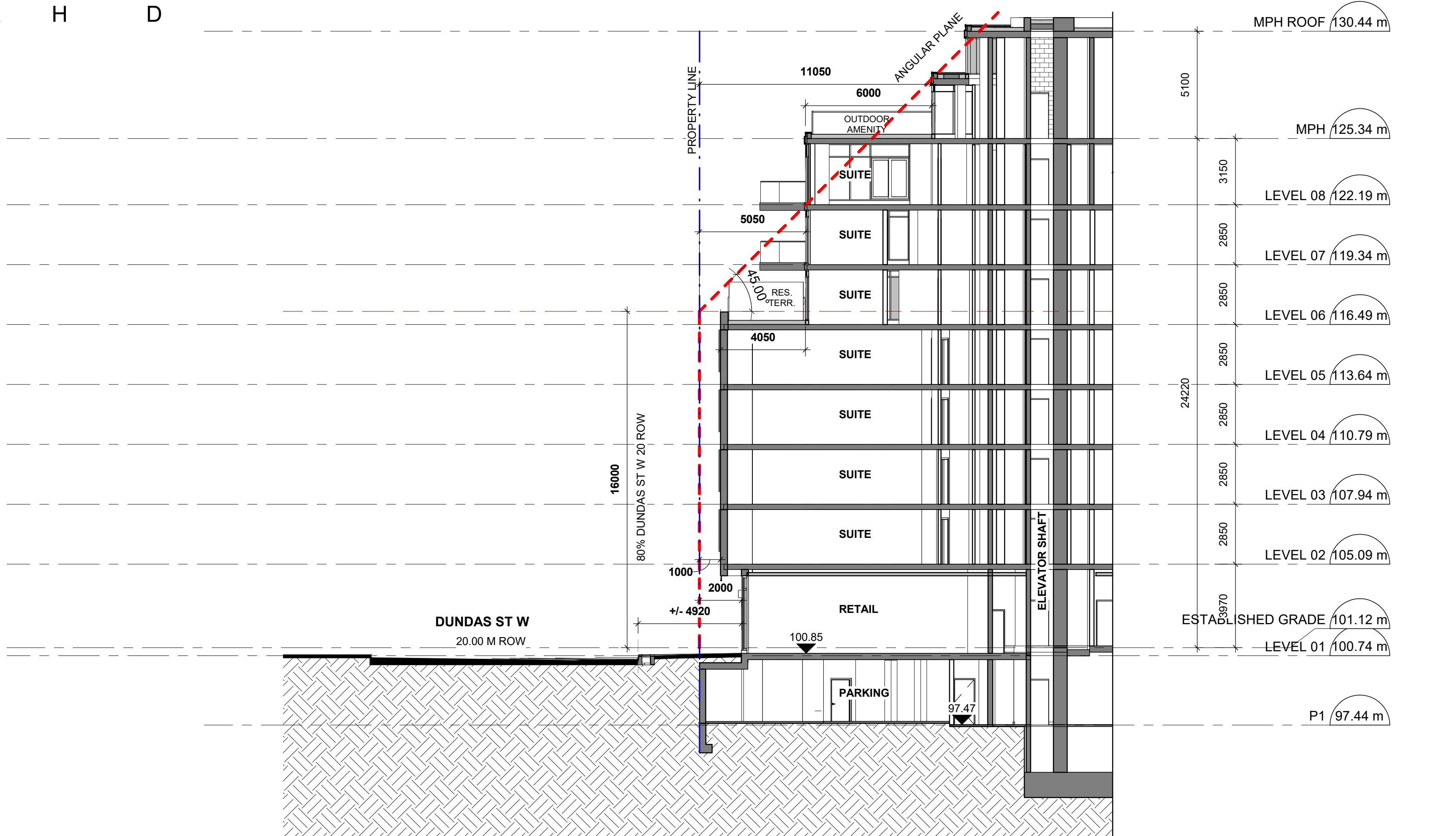
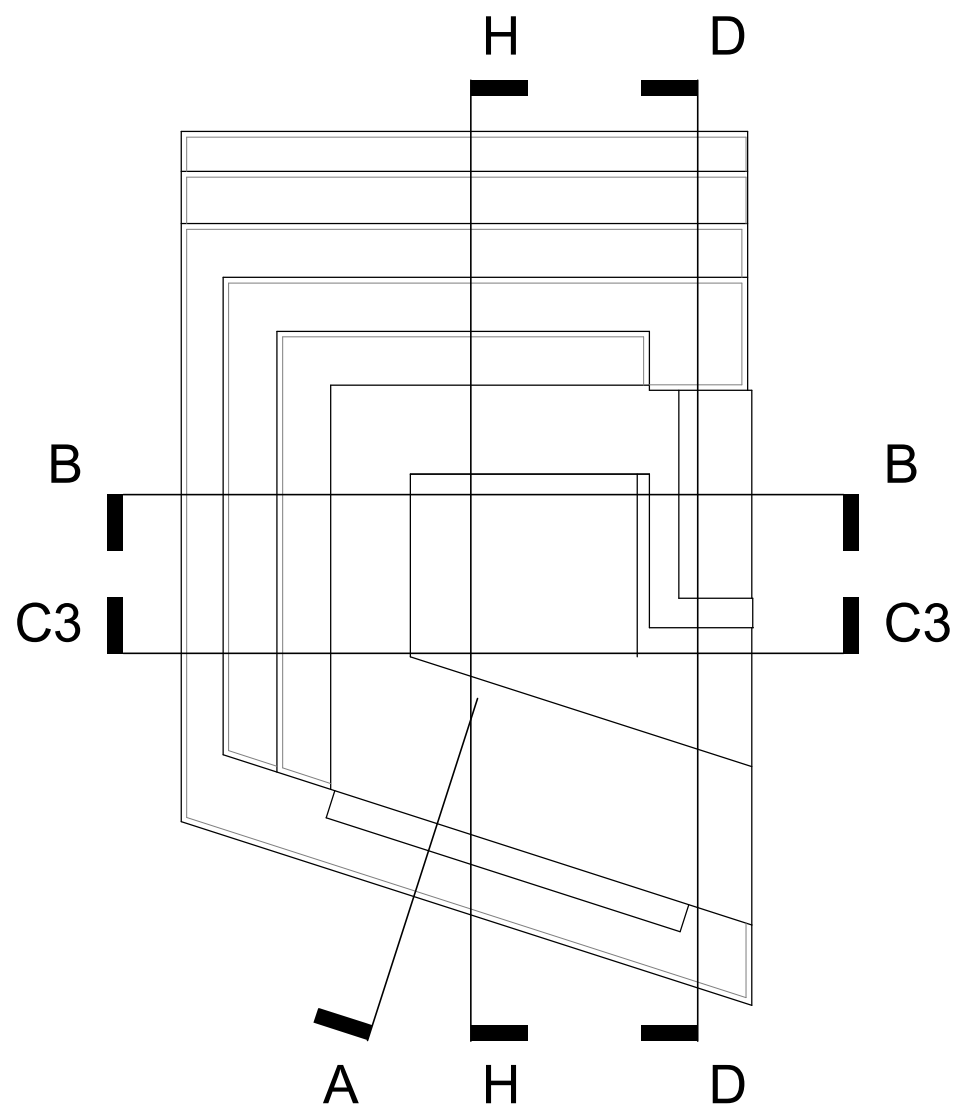
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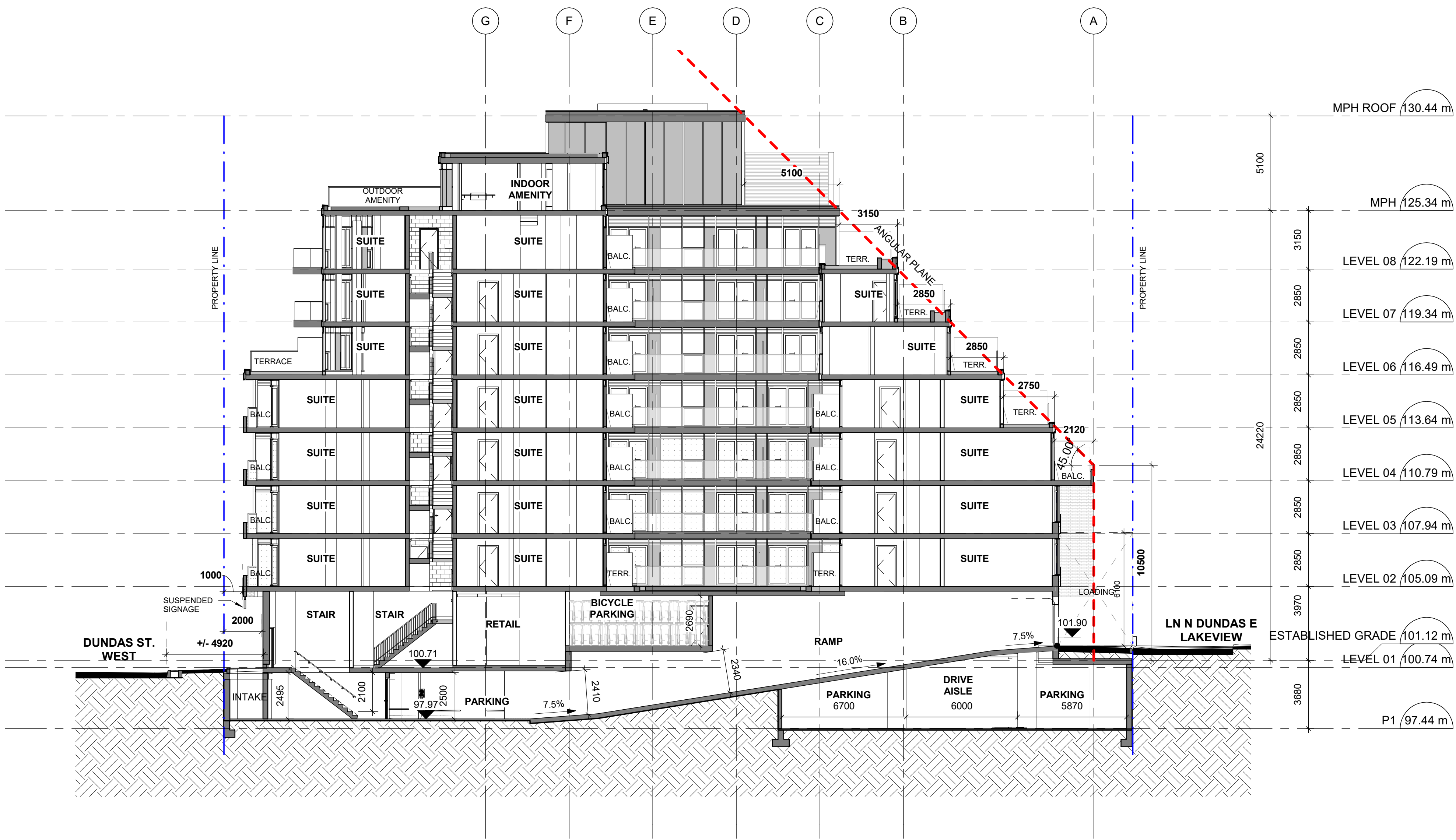


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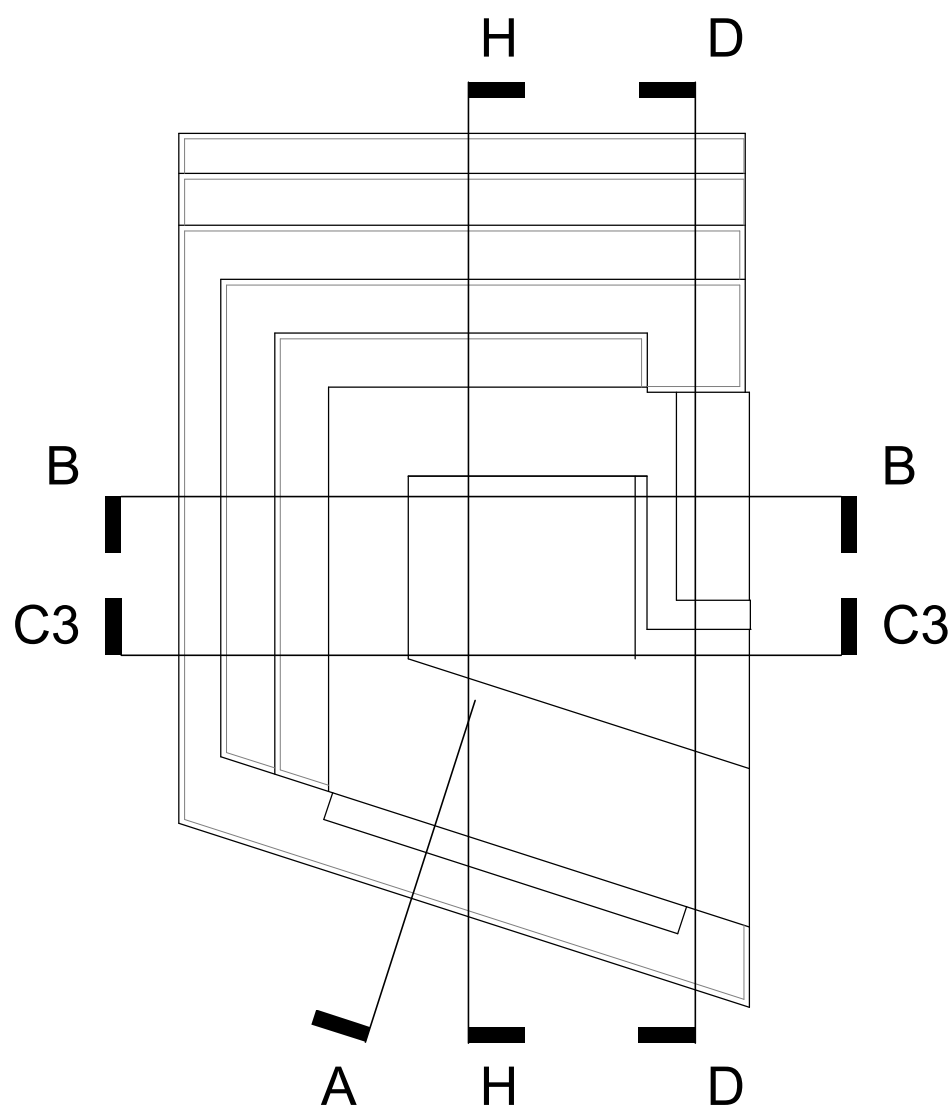
1 Section A  
A402 Scale: 1 : 150



2 Section D  
A402 Scale: 1 : 150

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1 Section B  
A403 Scale: 1 : 150

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						DRAWN BY:	CHECKED BY:	
						PROJECT MGR:	APPROVED BY:	
						SCALE:	DATE: 2021-08-26	<div>SHEET NUMBER</div> <div>A601</div> <div>ISSUE</div> <div>4</div>