

## **1358-1360 and 1354-1356 Queen Street West and 8-10, 12 and 14 Brock Avenue Official Plan and Zoning By-law Amendment Applications – Preliminary Report**

Date: January 27, 2021

To: Toronto and East York Community Council

From: Director, Community Planning, Toronto and East York District

Ward: Ward 4 - Parkdale-High Park

**Planning Application Number:** 20 200379 STE 04 OZ

**Listed Heritage Building(s) on Site:** Yes

**Current Use(s) on Site:** The site is currently occupied by five buildings along Queen Street West and Brock Avenue. Four two and three-storey mixed-use buildings along Queen Street West and Brock Avenue and one two-storey semi-detached residential building on Brock Avenue. These buildings are occupied by two commercial storefronts and five occupied residential units.

### **SUMMARY**

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This report provides information and identifies a preliminary set of issues regarding the application for a new nine-storey mixed use building located at 1358-1360 and 1354-1356 Queen Street West and 8-10, 12 and 14 Brock Ave. Staff are currently reviewing the application. It has been circulated to all appropriate agencies and City divisions for comment. Staff will proceed to schedule a community consultation meeting for the application with the Ward Councillor.

### **RECOMMENDATIONS**

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The City Planning Division recommends that:

1. Staff schedule a virtual community consultation meeting for the application located at 1358-1360 and 1354-1356 Queen Street West and 8-10, 12 and 14 Brock Ave together with the Ward Councillor.
2. Notice for the community consultation meeting be given to landowners and residents within 120 metres of the application site, and to additional residents, institutions and owners to be determined in consultation with the Ward Councillor, with any additional mailing costs to be borne by the applicant.

## **FINANCIAL IMPACT**

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The City Planning Division confirms that there are no financial implications resulting from the recommendations in this report in the current budget year or in future years.

## **DECISION HISTORY**

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### **Pre-Application Consultation**

Two pre-application meetings were held with the applicant on December 11, 2019 and September 16, 2020 to identify key issues with the proposal. Matters discussed during this meeting included:

- Consistency with the emerging direction of the ongoing West Queen West Planning and Heritage Conservation District Study.
- Response to the in-force policy context for the site and surrounding context.
- Potential issues around height and density and unit mix of the proposal.

A virtual pre-application community consultation meeting, led by the applicant, was held on September 18, 2020. The purpose of this meeting was to share information on the project, including artist renderings and project details with local residents to review and offer opportunities for oral and written feedback on the proposal. Issues raised at this meeting included:

- Height, built form and design of the proposal;
- Maintenance of existing heritage building and preservation of heritage characteristics;
- Parking and traffic issues;
- Status of occupancy of the existing buildings;
- The potential inclusion of community hub space and the impacts or changes to the proposed Parkdale Community Hub project;
- The inclusion of onsite affordable housing; and
- The inclusion of net-zero and green development techniques during construction.

## **ISSUE BACKGROUND**

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### **Application Description**

This application applies to five buildings located along Queen Street West and Brock Avenue: 1354-1356 Queen Street West, 1358-1360 Queen Street West, 8-10 Brock Avenue, 12 Brock Avenue and 14 Brock Avenue.

1354-1356 Queen Street West is a three-storey mixed-use building at the northwest corner of Queen Street West and Brock Avenue. The ground floor retail space along Queen Street West is currently vacant and there are four occupied dwelling units on the second and third floor. The northern portion of the property with frontage along Brock

Avenue is one-storey in height and is currently occupied by commercial uses. The building is also Listed on the Toronto Heritage Register. 1358-1360 Queen Street West is a two-storey brick building. The building occupies the western portion of the subject site along the Queen Street West frontage and is currently vacant. This building is also Listed on the Toronto Heritage Register.

8-10 Brock Avenue is two-storey commercial building. Both properties are currently vacant and were previously occupied by a retail use. 12 Brock Avenue is two-storey commercial building that is currently vacant, and 14 Brock Avenue is a two-storey detached dwelling. This dwelling is currently occupied.

The applicant proposes to amend the Official Plan and Zoning By-law to permit a new nine-storey mixed use building with an overall height of 35.85 metres, including the mechanical penthouse, on the site. The building would include 117 new residential dwelling units, 538.8 square metres of commercial space on the ground floor and 91.2 square metres for a proposed community space. The total gross floor area of the proposed building is 9,699.4 square metres.

The application propose to include 38 resident parking spaces and 0 visitor parking spaces for a total of 38 parking spaces. A total of 118 bicycle parking spaces are also proposed. A Type "G" loading space is also proposed adjacent to a public laneway located on the west side of the site.

Detailed project information is found on the City's Application Information Centre at: <https://aic.to/1354QueenStW>

See Attachments 1 and 2 of this report, for a three-dimensional representation of the project in context, Attachment 3 for the location map, Attachment 4 for the proposed site plan drawing, Attachments 5-8 for building elevations, Attachment 9 for the Official Plan map and Attachment 10 for the application data sheet.

### **Provincial Policy Statement and Provincial Plans**

Any decision of Council related to this application is required to be consistent with the Provincial Policy Statement (2020) (the "PPS"), and to conform with applicable Provincial Plans which, in the case of the City of Toronto, include: A Place to Grow: Growth Plan for the Greater Golden Horseshoe (2020). The PPS and all Provincial Plans may be found on the Ministry of Municipal Affairs and Housing website.

### **Growth Plan for the Greater Golden Horseshoe (2020)**

A Place to Grow: Growth Plan for the Greater Golden Horseshoe (2020) (the "Growth Plan (2020)") came into effect on August 28, 2020. This new plan replaces the previous Growth Plan for the Greater Golden Horseshoe, 2019. The Growth Plan (2020) continues to provide a strategic framework for managing growth and environmental protection in the Greater Golden Horseshoe region, of which the City forms an integral

part. The Growth Plan (2020) establishes policies that require implementation through a Municipal Comprehensive Review (MCR), which is a requirement pursuant to Section 26 of the Planning Act.

Policies not expressly linked to a MCR can be applied as part of the review process for development applications, in advance of the next MCR. These policies include:

- Directing municipalities to make more efficient use of land, resources and infrastructure to reduce sprawl, contribute to environmental sustainability and provide for a more compact built form and a vibrant public realm;
- Directing municipalities to engage in an integrated approach to infrastructure planning and investment optimization as part of the land use planning process;
- Achieving complete communities with access to a diverse range of housing options, protected employment zones, public service facilities, recreation and green space, and better connected transit to where people live and work;
- Retaining viable lands designated as employment areas and ensuring redevelopment of lands outside of employment areas retain space for jobs to be accommodated on site;
- Minimizing the negative impacts of climate change by undertaking stormwater management planning that assesses the impacts of extreme weather events and incorporates green infrastructure; and
- Recognizing the importance of watershed planning for the protection of the quality and quantity of water and hydrologic features and areas.

The Growth Plan (2020), builds upon the policy foundation provided by the PPS and provides more specific land use planning policies to address issues facing the GGH region. The policies of the Growth Plan (2020) take precedence over the policies of the PPS to the extent of any conflict, except where the relevant legislation provides otherwise. In accordance with Section 3 of the Planning Act all decisions of Council in respect of the exercise of any authority that affects a planning matter shall conform with the Growth Plan (2020). Comments, submissions or advice affecting a planning matter that are provided by Council shall also conform with the Growth Plan (2020).

### **Toronto Official Plan Policies and Planning Studies**

The City of Toronto Official Plan is a comprehensive policy document that guides development in the City, providing direction for managing the size, location, and built form compatibility of different land uses and the provision of municipal services and facilities. Authority for the Official Plan derives from The Planning Act of Ontario. The PPS recognizes the Official Plan as the most important document for its implementation. Toronto Official Plan policies related to building complete communities, including heritage preservation and environmental stewardship may be applicable to any application.

The subject site has a mixed Official Plan designation. The Queen Street West frontage and a portion of the Brock Avenue Frontage is designated as *Mixed Use Areas* on Map 18 of the Official Plan. The Abbs Street frontage and a portion of the Brock Avenue Frontage is designated *Neighbourhoods on Map 18 of the Official Plan*. This is also

shown on Attachment 9 of this report. The application is also within the area subject to Official Plan Amendment 445 ("OPA 445") which created the new Site and Area Specific Policy 556 ("SASP 566"). SASP 566 provides design guidelines for the West Queen West Planning and Heritage Conservation District Study Area. OPA 445 and SASP 566 were adopted by Toronto City Council on September 30, 2020. The SASP applies to the site, however, it has also been appealed to the Local Planning Appeal Tribunal and is not yet in full force and effect.

## **Official Plan Amendment 479 and 480 – Public Realm and Built Form Official Plan Policies**

On September 21, 2020, the Ministry of Municipal Affairs and Housing issued Notices of Decision approving OPA 479 and OPA 480. OPA 479 (Public Realm) and OPA 480 (Built Form) were adopted as part of the Five-Year Official Plan Review. The OPAs replace Sections 3.1.1, 3.1.2 and 3.1.3 of the Official Plan with new and revised policies for the public realm, built form and built form types, which respond to Council's direction to amend the urban design policies of the Official Plan.

The Official Plan Amendment can be found here:

<http://app.toronto.ca/tmmis/viewAgendaItemHistory.do?item=2019.PH11.4>

## **Zoning By-laws**

The property is has mixed zoning under the former City of Toronto By-law 438-86. The site is zoned partially Commercial-Residential with a maximum height limit of 14 metres and partially Residential with a maximum height limit of 10 metres. This site is also subject to the City of Toronto Zoning By-law 569-2013 where it also has mixed zoning of Commercial-Residential and Residential. The Commercial-Residential zoning classification permits a broad range of commercial and residential uses and allows for a maximum height limit of 14 metres. The Residential zoning classification permits primarily residential uses and allows for a maximum height limit of 10 metres.

The City's Zoning By-law 569-2013 may be found here: <https://www.toronto.ca/city-government/planning-development/zoning-by-law-preliminary-zoning-reviews/zoning-by-law-569-2013-2/>

## **Design Guidelines**

The City's Mid-Rise Building Performance Standards and Addendum, Growing Up Design Guidelines and SASP 566 will be used in the evaluation of this application.

The City's Design Guidelines may be found here: <https://www.toronto.ca/city-government/planning-development/official-plan-guidelines/design-guidelines/>

## **Site Plan Control**

The application is subject to Site Plan Control. A Site Plan Control application has not been submitted.

## **COMMENTS**

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### **Reasons for the Application**

An amendment to the City of Toronto Official Plan, former City of Toronto Zoning By-law 438-86 and City of Toronto Zoning By-law 569-2013 are required to create appropriate performance standards to facilitate the development, including, but not limited to: maximum permitted height, density, setbacks and parking.

### **ISSUES TO BE RESOLVED**

The application has been circulated to City divisions and public agencies for comment. At this stage in the review, the following preliminary issues have been identified:

### **Provincial Policies and Plans Consistency/Conformity**

Section 2 of the Planning Act requires municipalities to have regard for matters of provincial interest, including the adequate provision of a full range of housing, including affordable housing, the appropriate location of growth and development, and the promotion of a built form that is well designed, encourages a sense of place, and provides for public spaces that are of high quality, safe, accessible, attractive, and vibrant.

The Growth Plan (2020) establishes minimum density targets within strategic growth areas and related policies directing municipalities to make more efficient use of land, resources, and infrastructure to reduce sprawl, cultivate a culture of conservation, and promote compact built form and better-designed communities with high quality built form, and an attractive and vibrant public realm established through site design and urban design standards.

The application proposes residential and commercial uses partially within a built up Mixed Use designated area of the city, but also partially within a low-rise residential Neighbourhoods designated area of the City.

### **Official Plan Conformity**

The application in its current form is not supportable and does not conform the policies of the Official Plan.

Staff will continue to review the materials submitted in support of the application and work with the applicant to achieve a desirable outcome.

### **Built Form, Planned and Built Context**

The surrounding built form context is predominantly low-scale, made up of two and three-storey mixed use buildings along the north and south sides of Queen Street West, a mix of two and three storey residential and mixed use buildings moving north along

Brock Avenue and one and two-storey residential homes along Abbs Street at the north end of the site. The height, massing and design of the proposal in its current form is not appropriate for the site.

Staff will continue to evaluate the application to move towards a more appropriate height and massing including the following:

- Consistency with the policies in OPA 445 and SASP 566.
- Conformity with the criteria found within the Mid-Rise Building Performance Standards.
- The proposals relationship with the surrounding low-scaled mixed use buildings to ensure an appropriate scale of development that fits within the context of the area.
- The proposals relationship with the low-scaled residential Neighbourhoods designated properties along Abbs Street and Brock Avenue to ensure an appropriate scale of development that fits within the context of the area.
- The proposals treatment of the buildings on site that are Listed on the Toronto Heritage Register and the work to ensure that the integrity of the heritage property's cultural heritage value and attributes will be retained.
- The proposals relationship with adjacent heritage buildings and those in close proximity to ensure that the integrity of these heritage properties and their cultural heritage value and attributes will be retained.
- The relationship of the proposed height of the building with the right-of-way width of Queen Street West.

### **Tree Preservation**

The application is subject to the provisions of the City of Toronto Municipal Code, Chapter 813 Articles II (Street Trees By-law) and III (Private Tree By-law). There are no trees located within the boundaries of the site. There are four city-owned trees on the adjacent City boulevard. The applicant proposes to remove two City-owned trees and one additional tree is also likely to be injured during the development process. A Tree Preservation Plan and Arborist Report was submitted with the application is still under review by City Staff.

### **Housing**

The application is proposing 117 residential dwelling units and commercial units at grade. The application proposes 23 (20%) two-bedroom units, 13 (11%) three-bedroom units, and 81 (69%) one-bedroom units. Staff will continue to review the application in order to determine its level of conformity with the Growing Up Guidelines, Official Plan housing policies, and the Growth Plan's growth management and housing policies to accommodate within new development a broad range of households, including families with children.

## **Heritage Impact & Conservation**

1354, 1358 and 1360 Queen Street West are located within the proposed Parkdale Main Street HCD, and are all listed on the City's Heritage Register. The City's Official Plan policies state that properties on the Heritage Register will be conserved and maintained consistent with the Standards and Guidelines for the Conservation of Historic Places in Canada, as revised from time to time and as adopted by Council.

The Official Plan also states that proposed alterations, development, and/or public works on or adjacent to, a property on the Heritage Register will ensure that the integrity of the heritage property's cultural heritage value and attributes will be retained, prior to work commencing on the property and to the satisfaction of the City.

Specifically, the property at 1354 Queen Street is proposed for demolition. Located on the northwest corner of Queen Street West and Brock Avenue, the property contains a three-storey Main Street Commercial Block dating to 1889. The property is both listed on the City's Heritage Register and considered as "contributing" within the proposed Parkdale Main Street HCD. As such, City staff strongly suggests that the applicant revise the scheme to conserve and incorporate the existing building at 1354 Queen Street West into the mixed use development.

A Heritage Impact Assessment was submitted as part of the application and staff will continue to review the application and associated materials to ensure the integrity of the heritage property is retained and Official Plan policies are upheld.

## **Community Services and Facilities**

Community Services and Facilities (CS&F) are an essential part of vibrant, strong and complete communities. CS&F are the lands, buildings and structures used for the provision of programs and services provided or subsidized by the City or other public agencies, boards and commissions. They include recreation, libraries, childcare, schools, public health, human services, cultural services and employment services, etc.

The timely provision of community services and facilities is as important to the livability of the City's neighbourhoods as "hard" services like sewer, water, roads and transit. The City's Official Plan establishes and recognizes that the provision of and investment in community services and facilities supports healthy, safe, liveable, and accessible communities. Providing for a full range of community services and facilities in areas experiencing major or incremental growth, is a responsibility shared by the City, public agencies and the development community.

A CS&F Study was prepared by the applicant to provide a review of the key community services and facilities that are available in proximity to the subject site, and to identify any service gaps based on current capacities. This study is currently being reviewed by City staff to determine the potential need for improvements or expansion of existing community facilities in proximity to the site.



## **Infrastructure/Servicing Capacity**

As part of the internal review process, the Official Plan and Zoning By-law Amendment application has been circulated to the City's Engineering and Construction Services staff for review and comment.

Staff are currently reviewing a Servicing Report provided by the applicant with the submission, the purpose of which is intended to evaluate the effects of a proposed change in land use or development on the City's municipal servicing infrastructure and watercourses and identify and provide the rationale for any new infrastructure and upgrades to existing infrastructure, necessary to provide for adequate servicing to the proposed change in land use or development.

Staff are also reviewing the Transportation Impact Study submitted by the applicant, the purpose of which is to evaluate the effects of a development or re-development on the transportation system, but also to suggest any transportation improvements that are necessary to accommodate the travel demands and impacts generated by the development.

## **Toronto Green Standard**

Council has adopted the four-tier Toronto Green Standard (TGS). The TGS is a set of performance measures for green development. Applications for Zoning By-law Amendments, Draft Plans of Subdivision and Site Plan Control are required to meet and demonstrate compliance with Tier 1 of the Toronto Green Standard. Tiers 2, 3 and 4 are voluntary, higher levels of performance with financial incentives. Tier 1 performance measures are secured on site plan drawings and through a Site Plan Agreement.

City Planning is reviewing the TGS Checklist submitted by the applicant for compliance with Tier 1 performance measures. City Planning staff will encourage the applicant to pursue Tier 2 or higher performance measures throughout the review process.

## **Other Matters**

Additional issues may be identified through the review of the application, agency comments and the community consultation process.

## **CONTACT**

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Patrick.Miller@toronto.ca

## **SIGNATURE**

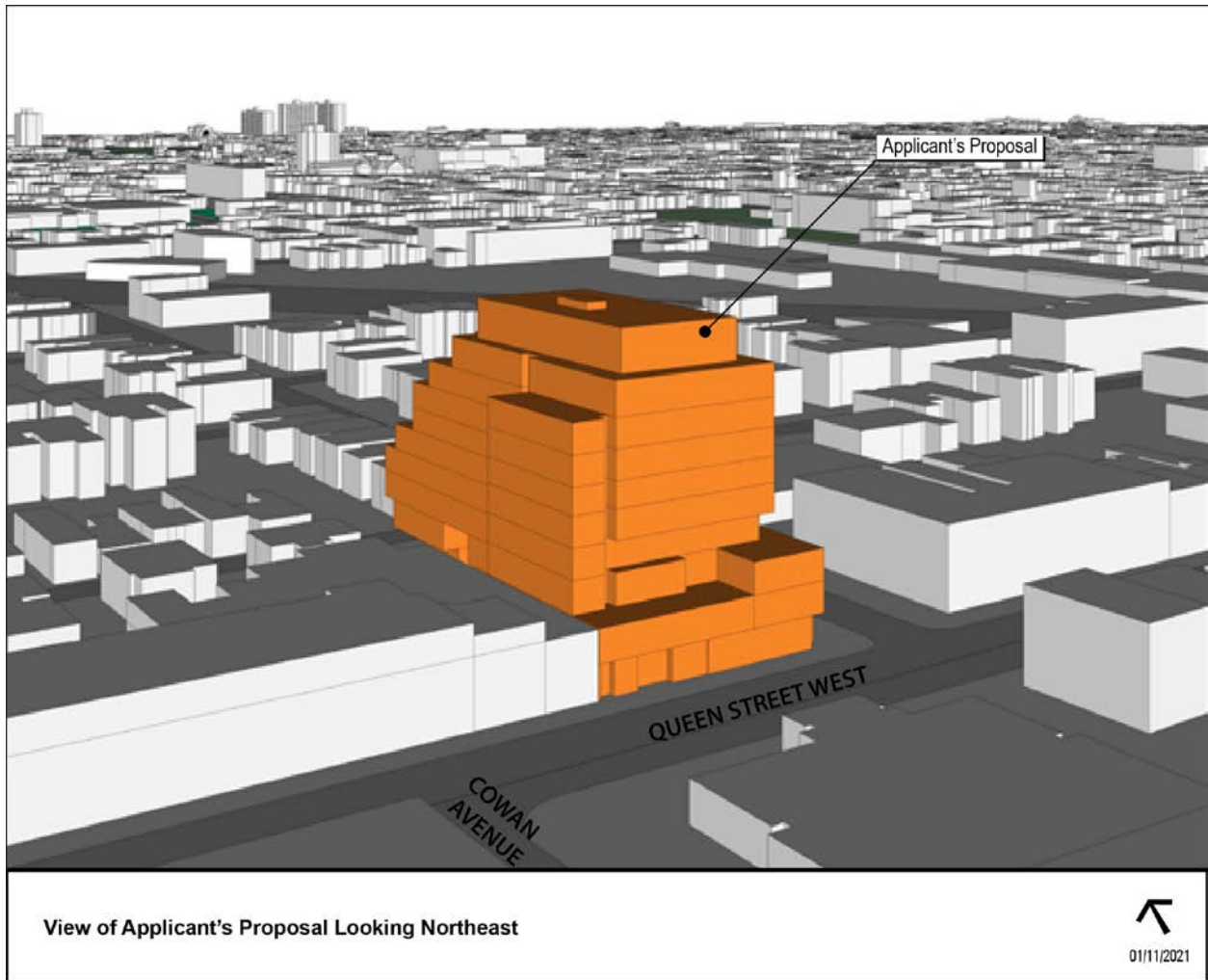
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Lynda H. Macdonald, MCIP, RPP, OALA, FCSLA, Director  
Community Planning, Toronto and East York District

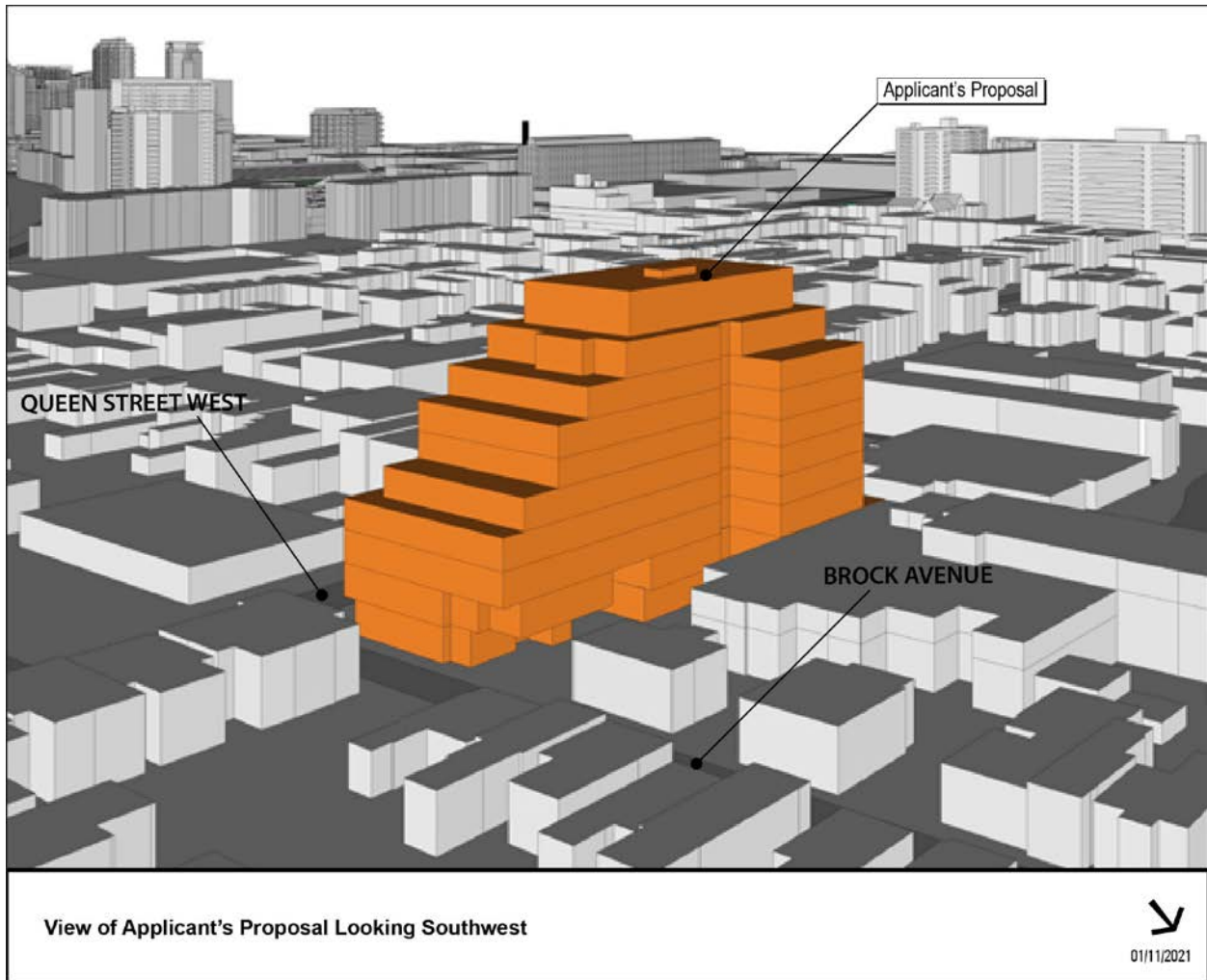
## **ATTACHMENTS**

- Attachment 1: 3D Model of Proposal in Context - Northeast View
- Attachment 2: 3D Model of Proposal in Context - Southwest View
- Attachment 3: Location Map
- Attachment 4: Site Plan
- Attachment 5: North Elevation
- Attachment 6: East Elevation
- Attachment 7: South Elevation
- Attachment 8: West Elevation
- Attachment 9: Official Plan Map
- Attachment 10: Application Data Sheet

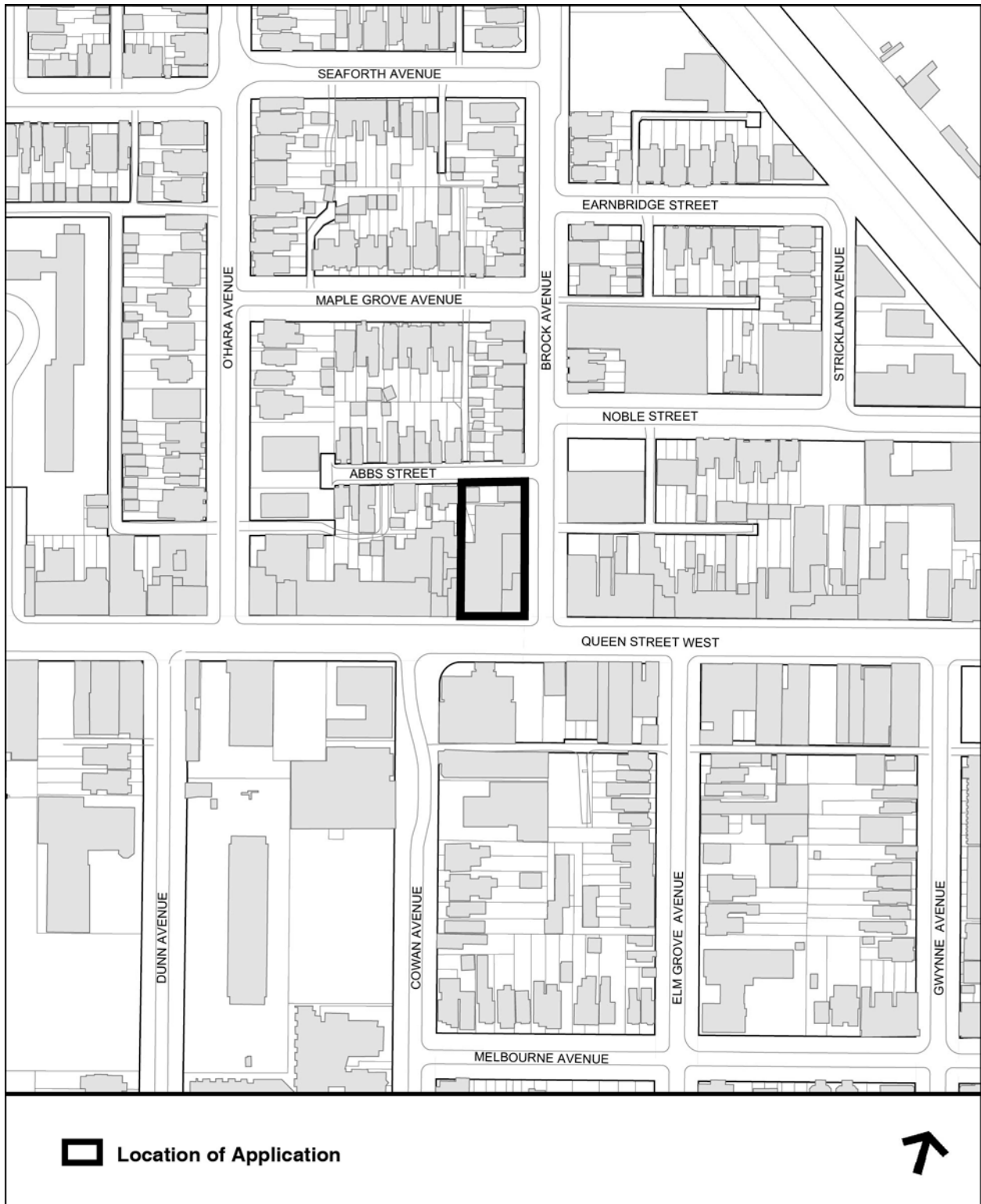
Attachment 1: 3D Model of Proposal in Context - Northeast View



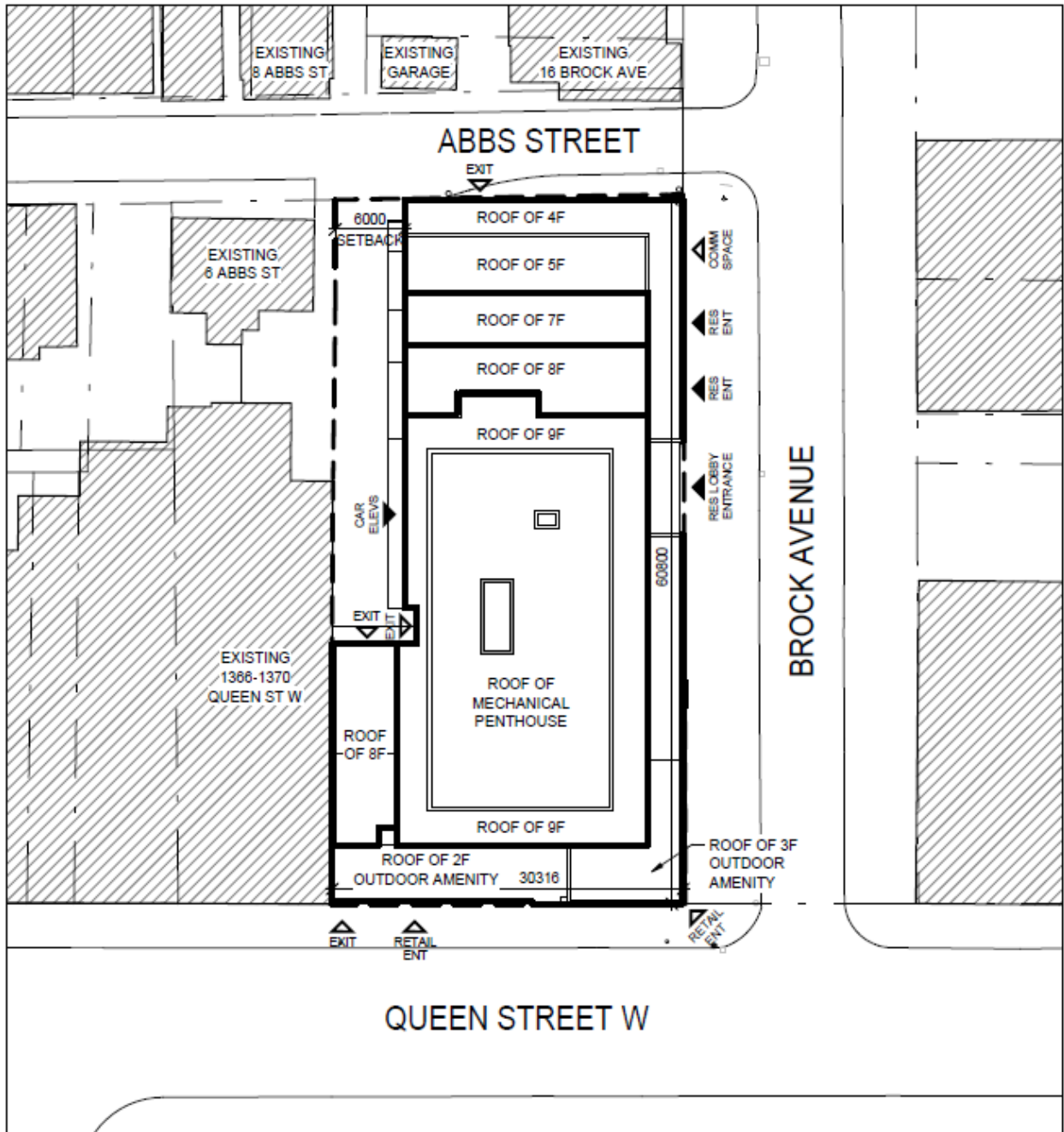
Attachment 2: 3D Model of Proposal in Context - Southwest View



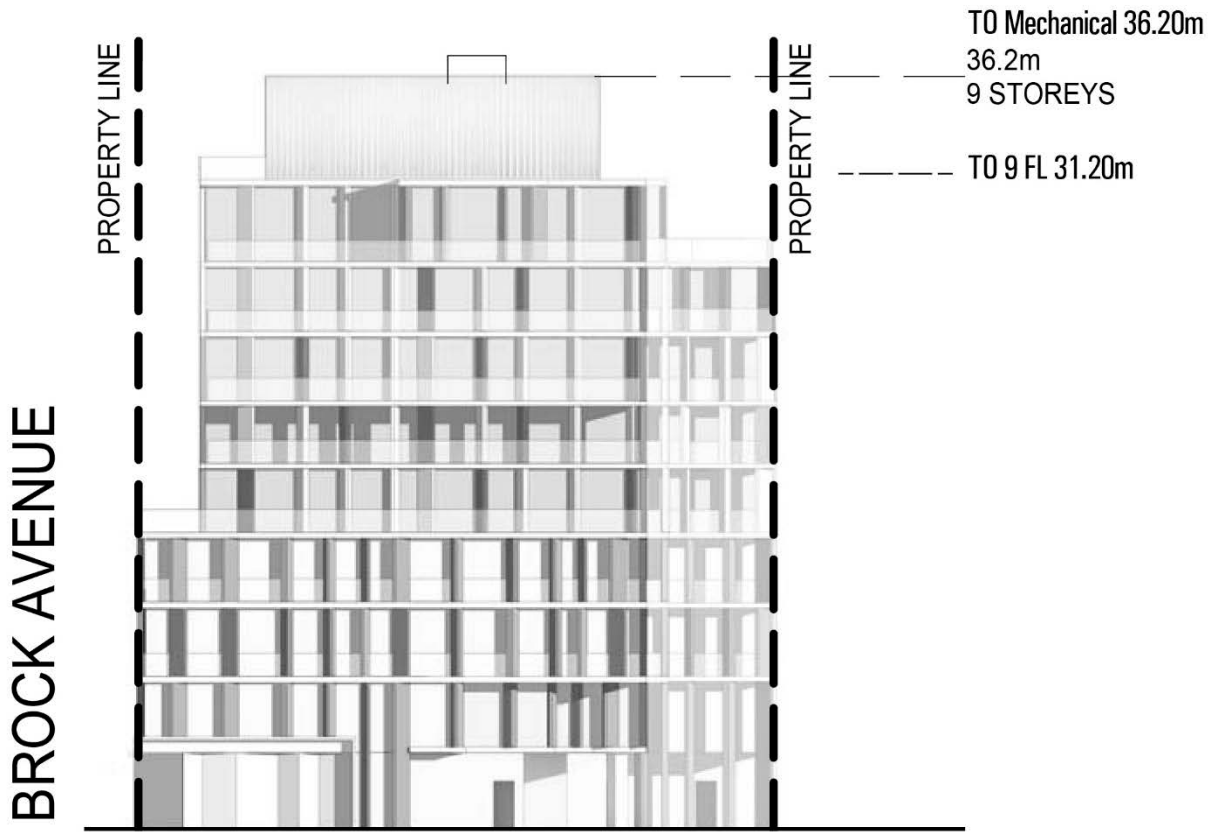
Attachment 3: Location Map



Attachment 4: Site Plan

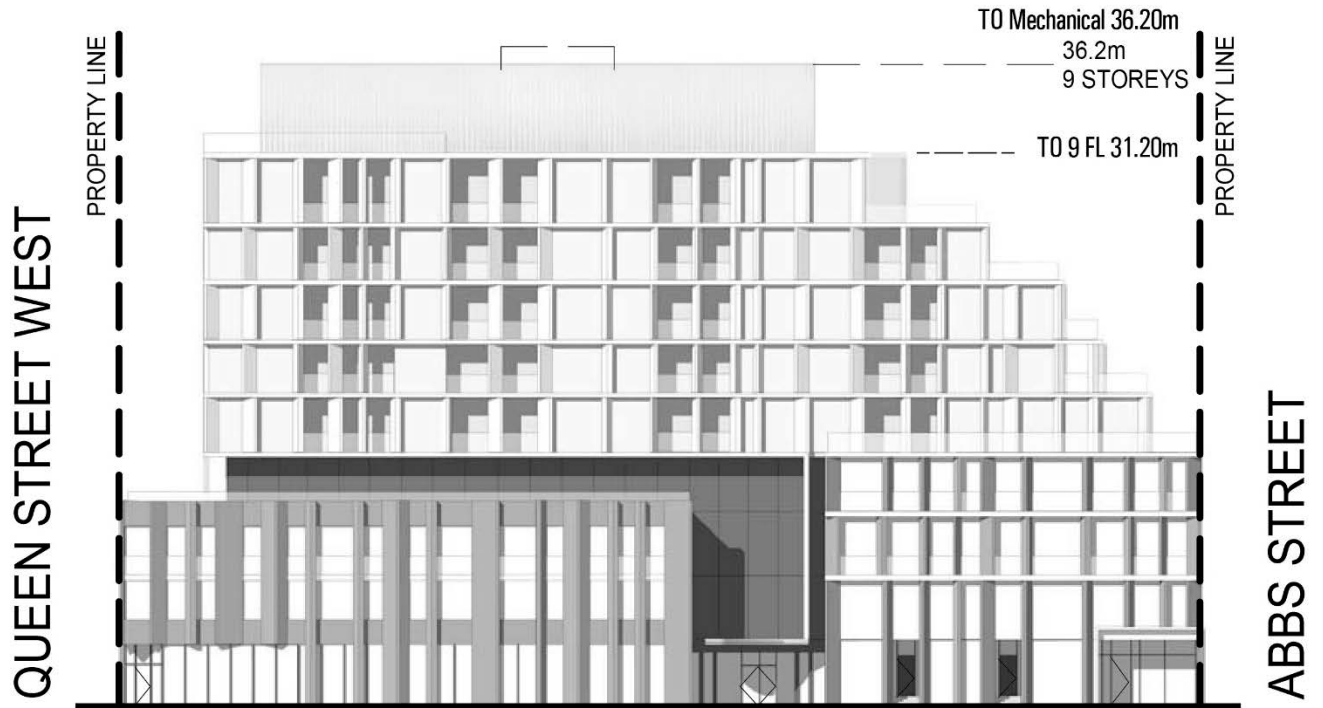


Attachment 5: North Elevation



North Elevation

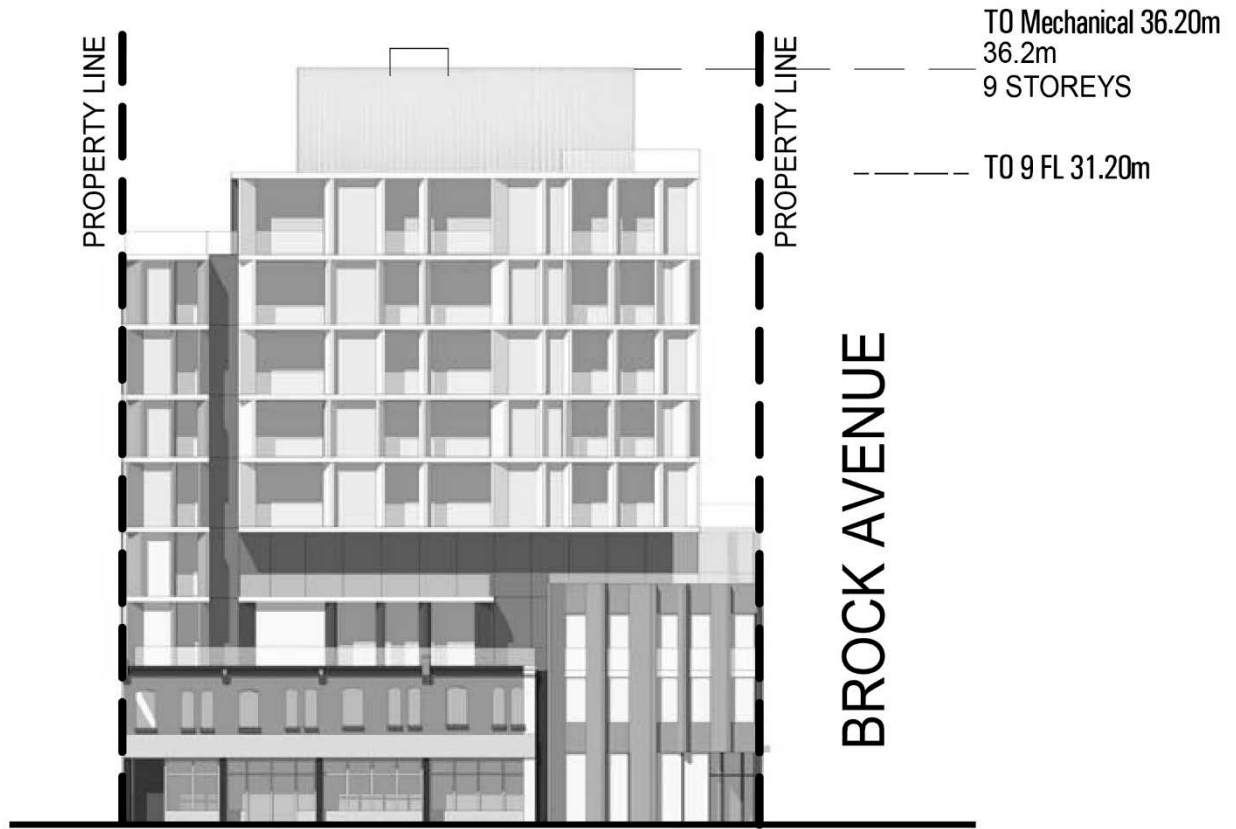
Attachment 6: East Elevation



East Elevation



Attachment 7: South Elevation



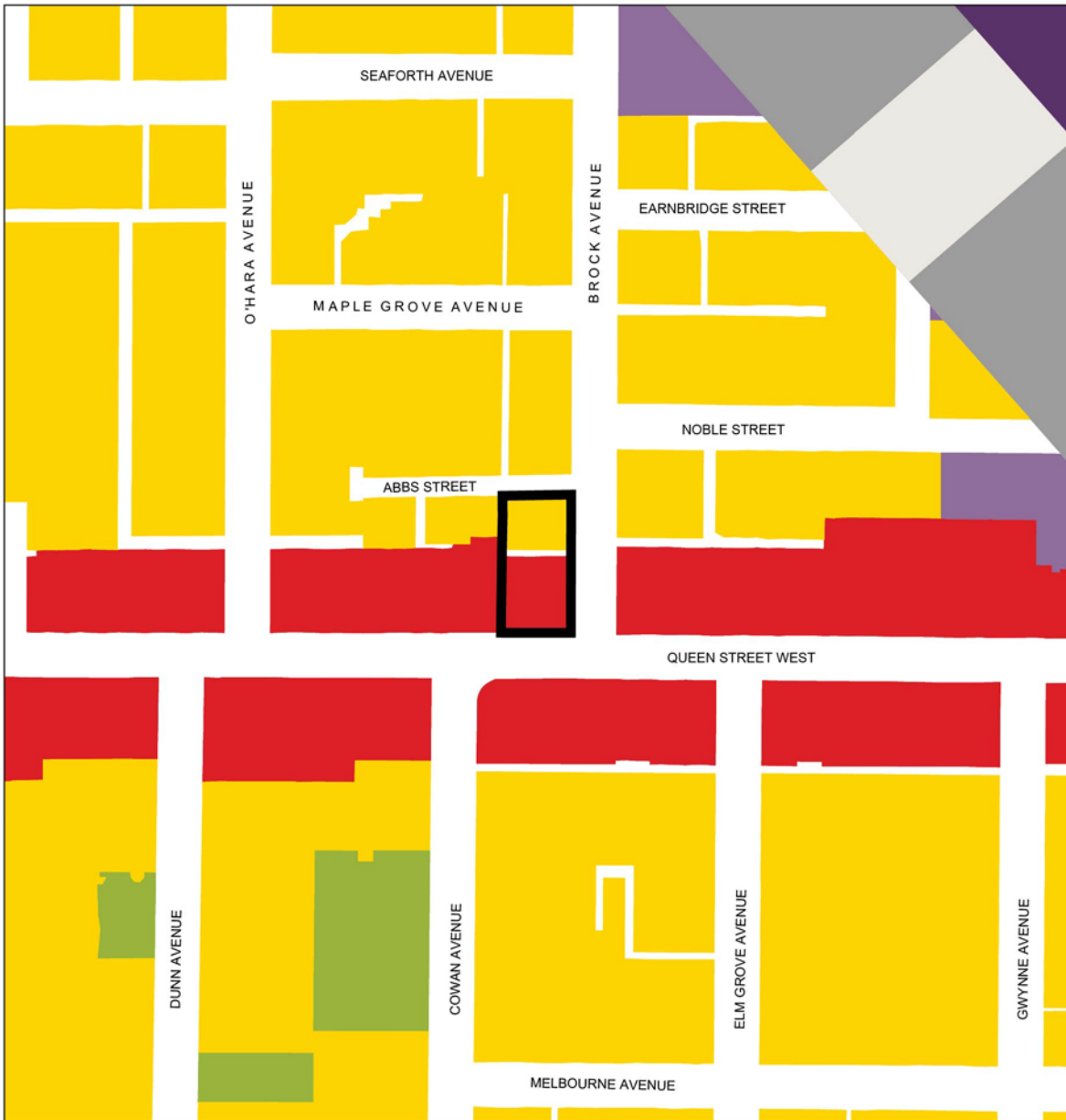
South Elevation

Attachment 8: West Elevation



West Elevation

Attachment 9: Official Plan Map



Official Plan Land Use Map #18

1354 Queen Street West

File # 20 200379 STE 04 0Z



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Not to Scale  
Extracted: 01/05/2021

## Attachment 10: Application Data Sheet

### APPLICATION DATA SHEET

Municipal Address: 1354 QUEEN ST W Date Received: September 29, 2020

Application Number: 20 200379 STE 04 OZ

Application Type: OPA / Rezoning, OPA & Rezoning

Project Description: Application to amend the Official Plan and Zoning By-law to allow for the development of a new 9-storey mixed-use building (31.20 metres plus 5.0 metre mechanical penthouse). The proposal contains a total gross floor area of 9,699.4 square metres, including 9,160.6 square metres of residential gross floor area and 447.6 square metres of retail/commercial gross floor area, and 91.2 square metres of community space, resulting in an overall density of 5.2 FSI. A total of 117 new residential units are proposed including 81 one-bedroom units (69%), 23 twobedroom units (20%) and 13 three-bedroom units (11%).

Applicant	Agent	Architect	Owner
EILEEN COSTELLO			QUEEN AND BROCK HOLDINGS INC.

### EXISTING PLANNING CONTROLS

Official Plan Designation:	Mixed Use Areas	Site Specific Provision:
Zoning:	CR2.5 (c1.0; r2.0) SS2 (x1766)	Heritage Designation:
Height Limit (m):	14	Site Plan Control Area: Y

### PROJECT INFORMATION

Site Area (sq m):	1,850	Frontage (m):	31	Depth (m):	61
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Building Data	Existing	Retained	Proposed	Total
Ground Floor Area (sq m):	1,600		1,236	1,236
Residential GFA (sq m):	614		9,161	9,161
Non-Residential GFA (sq m):	3,066		539	539
Total GFA (sq m):	3,680		9,699	9,699

Height - Storeys:	2	9	9
Height - Metres:	7	31	31

Lot Coverage Ratio (%):	66.82	Floor Space Index:	5.24
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Floor Area Breakdown	Above Grade (sq m)	Below Grade (sq m)
Residential GFA:	9,136	25
Retail GFA:	539	
Office GFA:		
Industrial GFA:		
Institutional/Other GFA:		

Residential Units by Tenure	Existing	Retained	Proposed	Total
Rental:	5			
Freehold:				
Condominium:			117	117
Other:				
Total Units:	5		117	117

Total Residential Units by Size

	Rooms	Bachelor	1 Bedroom	2 Bedroom	3+ Bedroom
Retained:					
Proposed:	6	75	23	13	
Total Units:	6	75	23	13	

Parking and Loading

Parking Spaces:	38	Bicycle Parking Spaces:	118	Loading Docks:	1
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