

APPENDIX III

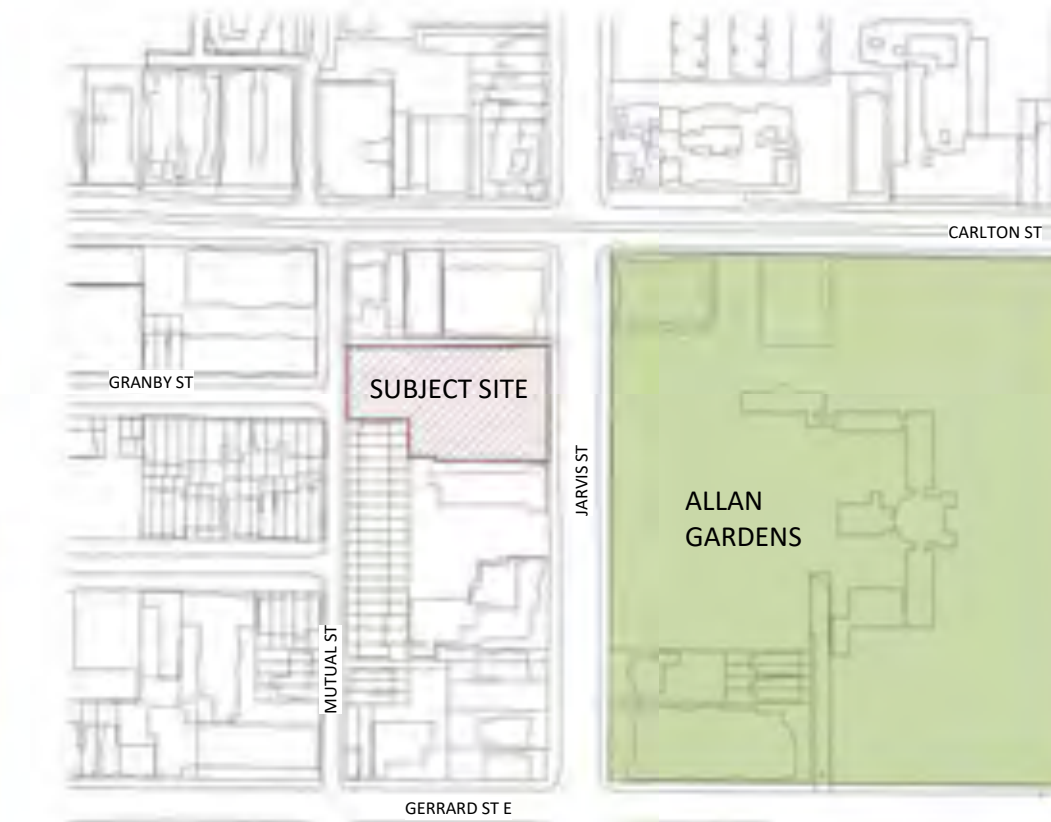
**Select Plans and Drawings
Turner Fleischer Architects**



**PROPOSED MIXED-USE DEVELOPMENT
308-314 JARVIS STREET + 225 MUTUAL STREET
TORONTO, ONTARIO**

CONSULTANT LIST:

DEVELOPER	Phantom Developments 207 Weston Rd Toronto, Ontario, M6N 4Z3 Tel: 416 762 7177 Contact: Rik Dittmer E-mail: Rik@phantom.ca	LANDSCAPE	ALEXANDER BUDREVICS + ASSOCIATES LTD 895 Don Mills Road, Second Tower, Suite 212 Tel: 416 444 5201 Contact: Arnis Budrevics E-mail: arnis@budrevics.ca	TRANSPORTATION	BA CONSULTING GROUP LTD. 45 St. Clair Ave. W. Suite 300 Toronto, Ontario, M4V 1K9 Tel: 416 961 7110 Contact: Steve Krossey E-mail: Krossey@bagroup.com	STRUCTURE	Jablonsky Ast & Partners 1129 Leslie St. North York, Ontario M3C 2K5 Tel: 416 447 7405 Contact: Paul Ast & Jeff Watson E-mail: jap@astint.on.ca jwatson@astint.on.ca
DEVELOPER	Graywood Developments 200 King Street W, Suite 1602 Toronto, Ontario M5H 3T4 Tel: 416 599 2512 Contact: Neil Pattison E-mail: npattison@graywoodgroup.com	SITE SERVICES	The Odan/Detech Group Inc. 701 Rossland Road, Suite 201 Whitby, Ontario, L1N 8Y9 Tel: 905 632 3811 Contact: Daniel Bancroft E-mail: daniel@odantech.com	ENERGY MODEL	EQ Building Performance 20 Floral Pkwy, Concord, Ontario L4K 4R1 Tel: 416 645 1186 Contact: Craig McIntyre E-mail: cmcintyre@eqbuilding.com		
ARCHITECT	Turner Fleischer Architects Inc 67 Lesmill Road Toronto, Ontario, M3B 2T8 Tel: 416 425 2222 Fax: 416 425 6717 Contact: Anita Yu E-mail: anita@turnerfleischer.com	MECHANICAL / ELECTRICAL	M/E - M.V. Shore 402-1200 Eglinton Ave E North York, Ontario, M3C 1H9 Tel: 416 443 1995 Contact: Bill Chan E-mail: bc@mshore.com	SURVEYOR	Krcmar Surveyors Ltd 1137 Centre St Thornhill, Ontario, L4J 3M6 Tel: 905 738 0053 Contact: Sasa Krcmar E-mail: sasa@krcmar.ca		



KEY PLAN
1:3000

SPA DRAWING LIST

Sheet Number	Sheet Name
SPAD000	COVER SHEET
SPAD001A	STATISTICS
SPAD001B	STATISTICS
SPAD002	SURVEY
SPAD003	CONTEXT PLAN
SPAD004	TGS CHECKLIST
SPAD005	SITE PLAN / ROOF PLAN
SPAD006	RESIDENTIAL SOLID WASTE MANAGEMENT
SPA101	UNDERGROUND LEVEL 02
SPA102	UNDERGROUND LEVEL 01
SPA151	FLOOR 01
SPA152	FLOOR 02
SPA153	FLOOR 03
SPA154	FLOOR 04-06
SPA155	FLOOR 07
SPA156	FLOOR 08
SPA157	FLOOR 09
SPA158	FLOOR 10
SPA159	FLOOR 11
SPA160	FLOOR 12-34
SPA301	ELEVATIONS
SPA302	ELEVATIONS
SPA311	1 TO 50 ELEVATIONS
SPA312	1 TO 50 ELEVATIONS
SPA313	1 TO 50 ELEVATIONS
SPA314	1 TO 50 ELEVATIONS
SPA321	BIRD FRIENDLY ELEVATIONS
SPA401	NORTH-SOUTH SECTION
SPA402	WEST-EAST SECTION
SPA801	3D PERSPECTIVES
SPA802	3D PERSPECTIVES
SPA802	3D PERSPECTIVES
SPA811	SHADOW STUDY - MARCH
SPA812	SHADOW STUDY - MARCH
SPA813	SHADOW STUDY - MARCH
SPA814	SHADOW STUDY - JUNE
SPA815	SHADOW STUDY - JUNE
SPA816	SHADOW STUDY - JUNE
SPA817	SHADOW STUDY - SEPTEMBER
SPA818	SHADOW STUDY - SEPTEMBER
SPA819	SHADOW STUDY - SEPTEMBER

TURNER FLEISCHER

Turner Fleischer Architects Inc.
67 Lesmill Road
Toronto, ON, M3B 2T8
T 416 425 2222
turnerfleischer.com

This drawing, as an instrument of service, is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be copied, reproduced, or used for any other purpose without the written consent of Turner Fleischer Architects Inc. Information shown on this drawing refers to the appropriate consultant's drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of applicable governing jurisdiction. The contractor working from drawings not specifically marked 'For Construction' must assume full responsibility and bear costs for any corrections or damages resulting from his work.

1	2019-06-14	ISSUED FOR SPA	AYU
#	DATE	DESCRIPTION	BY



PROJECT
308-314 Jarvis Street & 225 Mutual Street
Toronto, Ontario, Canada

DRAWING
COVER SHEET

PROJECT NO.	18.189CS
PROJECT DATE	2019-04-09
DRAWN BY	MINZ
CHECKED BY	AYU
SCALE	1 : 3000



DRAWING NO.
SPA000

This drawing is an instrument of service, is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be copied, reproduced, or used for any other purpose without the written consent of Turner Fleischer Architects Inc. Information shown on this drawing refers to the appropriate consultant's drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of the jurisdiction having jurisdiction. The contractor working from drawings not specifically marked for construction must assume full responsibility and bear costs for any corrections or damages resulting from his work.

AVERAGE UNIT SIZE PER UNIT TYPE

AVG. UNIT SIZE	STUDIO	1B	2B	3B	TOTAL
m2	36.4	50.2	70.0	105.0	61.4
ft2	391	540	753	1,130	661

UNIT MIX - REQUIRED

	UNIT TYPE					
	1B	1B+D	2B	2B+D	3B	3B+D
RATIO			Min 20%		Min 9.1%	
COUNT			Min 96		Min 42	

* UNIT MIX AS PER SETTLEMENT NOVEMBER 28, 2017.

UNIT MIX - PROVIDED

FLOOR	STUDIO*	UNIT									TOTAL
		1B	1B+D	2B	2B+D	2B (G)	3B	3B (G)	TH (G)		
1	1	0	0	0	0	0	0	0	0	5	6
2	4	2	1	4	1	3	0	5	0	0	20
3	2	4	4	3	1	4	0	4	0	0	22
4	2	4	4	3	2	3	1	3	0	0	22
5	2	4	4	3	2	3	1	3	0	0	22
6	2	3	4	2	2	3	1	4	0	0	21
7	0	2	3	2	2	1	2	2	0	0	14
8	0	4	5	1	3	1	2	2	0	0	18
9	0	4	5	1	3	1	2	2	0	0	18
10	0	1	2	1	2	0	1	1	0	0	8
11	0	4	2	1	3	0	0	1	0	0	11
12	0	5	3	1	3	0	0	0	0	0	12
13	0	5	3	1	3	0	0	0	0	0	12
14	0	5	3	1	3	0	0	0	0	0	12
15	0	5	3	1	3	0	0	0	0	0	12
16	0	5	3	1	3	0	0	0	0	0	12
17	0	5	3	1	3	0	0	0	0	0	12
18	0	5	3	1	3	0	0	0	0	0	12
19	0	5	3	1	3	0	0	0	0	0	12
20	0	5	3	1	3	0	0	0	0	0	12
21	0	5	3	1	3	0	0	0	0	0	12
22	0	5	3	1	3	0	0	0	0	0	12
23	0	5	3	1	3	0	0	0	0	0	12
24	0	5	3	1	3	0	0	0	0	0	12
25	0	5	3	1	3	0	0	0	0	0	12
26	0	5	3	1	3	0	0	0	0	0	12
27	0	5	3	1	3	0	0	0	0	0	12
28	0	5	3	1	3	0	0	0	0	0	12
29	0	5	3	1	3	0	0	0	0	0	12
30	0	5	3	1	3	0	0	0	0	0	12
31	0	5	3	1	3	0	0	0	0	0	12
32	0	5	3	1	3	0	0	0	0	0	12
33	0	5	3	1	3	0	0	0	0	0	12
34	0	5	3	1	3	0	0	0	0	0	12
SUBTOTAL	13	147	103	44	90	19	10	27	5		458
%	2.8%	32.1%	22.5%	9.6%	19.7%	4.1%	2.2%	5.9%	1.1%		
TOTAL UNITS	13	250		153			42				
UNIT MIX	2.8%	54.6%		33.4%			9.2%				97.2%

* INCLUDING 1 GUEST SUITE

AMENITY AREAS - REQUIRED & PROVIDED

TYPE	REQUIRED*			PROVIDED		
	RATIO	m2	ft2	RATIO	m2	ft2
INDOOR	2 sm/unit	916.0	9,859.82	2.1 sm/unit	966.6	10,404.48
OUTDOOR	1.5 sm/unit	687.0	7,394.87	1.5 sm/unit	689.1	7,417.41
TOTAL	3.5 sm/unit	1,603.0	17,254.69	3.6 sm/unit	1,655.7	17,821.89

* AMENITY RATIO AS PER SETTLEMENT NOVEMBER 28, 2017.

BICYCLE PARKING - REQUIRED & PROVIDED

RESIDENTIAL	REQUIRED		PROVIDED	
	RATIO	SPACES	RATIO	SPACES
LONG-TERM	0.9 per unit	413	0.90 per unit	413
SHORT-TERM	0.1 per unit	46	0.10 per unit	46
TOTAL	1.0 per unit	459	1.00 per unit	459
COMMERCIAL				
LONG-TERM	0.2 per 100 m2	1		1
SHORT-TERM	3+0.3 per 100 m2	5		5
TOTAL	per 100 m2	6		6
			TOTAL	465

VEHICULAR PARKING - PROPOSED & PROVIDED

RESIDENTIAL	PROPOSED		PROVIDED	
	RATIO	SPACES	RATIO	SPACES
RESIDENT	0.17 per unit	77	0.17 per unit	77
VISITOR	0.05 per unit	22	0.05 per unit	22
TOTAL	0.22 per unit	99	0.22 per unit	99

* INCLUDING ACCESSIBLE PARKING SPACES

ACCESSIBLE PARKING

REQUIRED	PROVIDED
SPACES	SPACES
4	4
1	1
5	5

GROWING UP TORONTO UNITS - PROVIDED

2B (G) + 3B (G) + TH (G)	UNIT MIX
51	11.1%

LOCKERS - PROVIDED

PROVIDED	LOCKERS
0.31 per unit	144

UNITS WITH BALCONY OR TERRACE

TOTAL	PERCENTAGE
327	71.4%

#	DATE	ISSUED FOR	DESCRIPTION	BY
1	2019-06-14	ISSUED FOR SPA		AYU



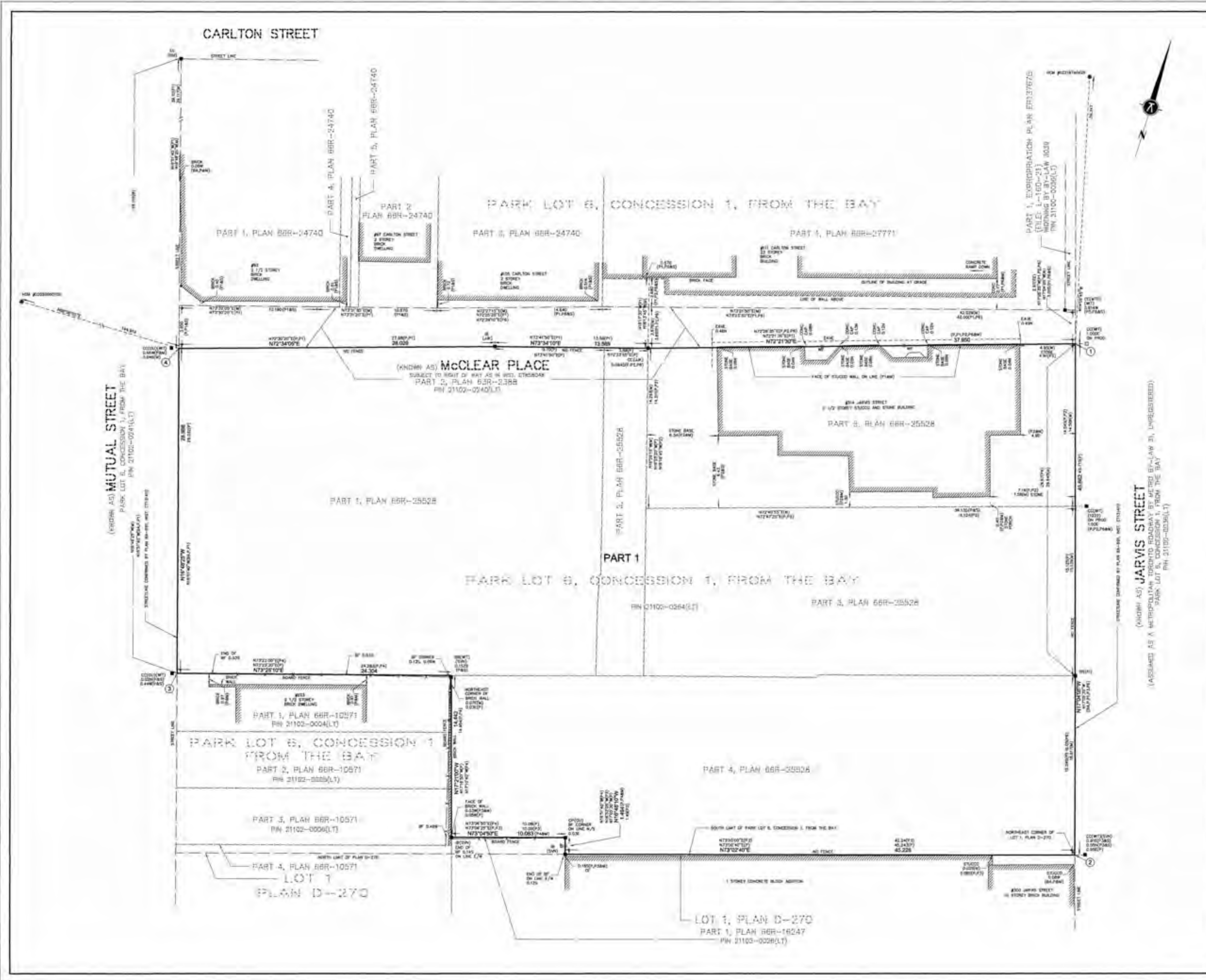
PROJECT
308-314 Jarvis Street & 225 Mutual Street
Toronto, Ontario, Canada

STATISTICS

PROJECT NO.	18.189CS
PROJECT DATE	2019-04-09
DRAWN BY	MINZ
CHECKED BY	AYU
SCALE	



DRAWING NO.
SPA001B



I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TILES ACT:		PLAN 66R-	
DATE: _____, 2019		RECEIVED AND DEPOSITED:	
DATE: _____, 2019		DATE: _____, 2019	
WALDEMAR GOLINSKI TORONTO LAND SURVEYOR		REPRESENTATIVE FOR LAND REGISTRATION FOR THE LAND TILES DIVISION OF THE TORONTO REGISTRY OFFICE (No. 66)	

SCHEDULE				
PART	LOT	CONCESSION	AREA (m ²)	
1	PART OF PARK LOT 6	CONCESSION 1 FROM THE BAY	ALL OF PIN 21102-0264(LT)	5204.7

PLAN OF SURVEY OF
**PART OF PARK LOT 6
CONCESSION 1
FROM THE BAY**
(GEOGRAPHIC TOWNSHIP OF YORK)
CITY OF TORONTO
SCALE 1:150
KRCMAR SURVEYORS LTD. 2019

METRIC: DISTANCES AND COORDINATES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

BEARING
BEARINGS SHOWN HEREON ARE DERIVED FROM HORIZONTAL CONTROL MONUMENTS PIN 0202000100 AND NO. 0221974026, AND ARE REFERRED TO THE 3° MTM COORDINATE SYSTEM, ZONE 18, CENTRAL MERIDIAN 79°30' WEST LONGITUDE.
(7° MODIFIED TRANSVERSE MERCATOR PROJECTION, NAD 83 (CRS) (1987)).
DISTANCES SHOWN HEREON ARE GROUND DISTANCES AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING BY A CORRECTION SCALE FACTOR OF 0.99996.

INTEGRATION DATA

MONUMENT ID.	PUBLISHED VALUES	CALCULATED VALUES
HCM 0202000100	N: 4 835 804.338 E: 314 720.802	N: 4 835 826.401 E: 314 736.585
HCM 0221974026	N: 4 835 541.440 E: 314 509.575	N: 4 835 763.480 E: 314 525.361

3° MTM ZONE 18 COORDINATES
NAD 83 (CRS) (1987) CENTRAL MERIDIAN 79°30' WEST LONGITUDE
THE MTM COORDINATES LISTED BELOW ARE TO SHOWN ACCURACY AND COMPLY WITH SUBSECTION 14(2) OF THE REGULATION PERTAINING TO THE SURVEYORS ACT.

POINT	NORTHING	EASTING
1	4 835 786.25	314 746.18
2	4 835 744.80	314 758.52
3	4 835 764.51	314 870.27
4	4 835 736.72	314 878.65

- LEGEND**
- DENOTES SURVEY MONUMENT FOUND
 - DENOTES SURVEY MONUMENT PLANTED
 - DENOTES HORIZONTAL CONTROL MONUMENT
 - ▬ DENOTES STANDARD IRON BAR
 - ▬ DENOTES SHORT STANDARD IRON BAR
 - ▬ DENOTES IRON BAR
 - ▬ DENOTES CUT STOPS
 - (M) DENOTES MEASURED
 - (S) DENOTES SET
 - (W) DENOTES ORIGIN UNKNOWN
 - (WT) DENOTES WITNESS
 - (BA) DENOTES PLAN BA-891
 - (P1) DENOTES PLAN 66R-2552B
 - (P2) DENOTES PLAN 63R-2388
 - (P3) DENOTES PLAN 66R-12427
 - (P4) DENOTES PLAN 66R-10271
 - (P5) DENOTES EXPROPRIATION PLAN EP12875 (BY-LAW 3039) L-160-21
 - (P6) DENOTES PLAN 66R-27771
 - (L370) DENOTES KRCMAR SURVEYORS LTD. O.L.S.
 - (1222) DENOTES G.E. DOTTERL LTD. O.L.S.
 - (MTO) DENOTES MINISTRY OF TRANSPORTATION OF ONTARIO
 - (SVA) DENOTES SPIDRANT AND VAN ANDERBRAND LIMITED, O.L.S.
 - (AK) DENOTES JOHN J. ADKINS, O.L.S.
 - PROG DENOTES PRODUCTION
 - CF DENOTES CONCRETE FOUNDATION
 - DENOTES FENCE
 - ▬ DENOTES BRICK FENCE
 - ▬ DENOTES WROUGHT IRON FENCE

MUNICIPAL ADDRESSES:
NO. 314 JARVIS STREET, TORONTO
NO. 225 MUTUAL STREET, TORONTO

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TILES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 11th DAY OF MARCH, 2019.

DATE: MARCH 13, 2019

WALDEMAR GOLINSKI
TORONTO LAND SURVEYOR

PLAN AVAILABLE AT www.ProtectYourBoundaries.ca

FILED: 12/31, DRAWN: S.D. CHECKED: W.D. JOB NO: 19-087
DWG NAME: 19-075001/PLT 66R 11/27/2019 WORK ORDER NO: 2223
1127 Oakes Road Thornhill ON L4J 3M8 905.738.0023 F 905.738.0221 www.krcmar.ca



1	2019-06-14	ISSUED FOR SPA	AYU
#	DATE	DESCRIPTION	BY



PROJECT
308-314 Jarvis Street & 225 Mutual Street
Toronto, Ontario, Canada

DRAWING
SURVEY

PROJECT NO: 18.189CS
PROJECT DATE: 2019-04-09
DRAWN BY: As indicated
CHECKED BY: As indicated
SCALE: As indicated

ONTARIO ASSOCIATION OF ARCHITECTS
RUSSELL FLEISCHER
LICENCE 5004

DRAWING NO: SPA002



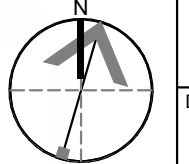
#	DATE	DESCRIPTION	BY
1	2019-06-14	ISSUED FOR SPA	AYU



PROJECT
308-314 Jarvis Street & 225 Mutual Street
Toronto, Ontario, Canada

DRAWING
CONTEXT PLAN

PROJECT NO.
18.189CS
PROJECT DATE
2019-04-09
DRAWN BY
MNZ
CHECKED BY
AYU
SCALE
1 : 1000



DRAWING NO.
SPA003

This drawing is an instrument of service, is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be used for any other project without the written consent of Turner Fleischer Architects Inc. Information shown on this drawing refers to the appropriate consultant's drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of applicable laws, regulations, and bylaws. The contractor working from drawings not specifically marked for construction must ensure full responsibility and bear costs for any corrections or changes resulting from this work.



Mid to High Rise Residential and all New Non-Residential Development

Checklist - Toronto Green Standards Version 3.0

Complete in conjunction with the full Toronto Green Standard Version 3.0 (TGS V3.0) and Specifications.

Tier 1 Performance measures are required by the City and must be included as part of your approved development application.

Tier 2, 3 and 4 Higher performance levels are voluntary and are associated with financial incentives. To determine eligibility for incentives go to: www.toronto.ca/greendevelopment/

Performance Level: Tier 1 (Required) Tier 2 Tier 3 Tier 4

Application Information:

Site Plan Control Zoning Bylaw Amendment Draft Plan of Subdivision

Application Number: _____ Date Received: (yyyy-mm-dd) _____
 Community Planner (Print, Last Name): _____
 Is this checklist revised from an earlier submission? No Yes
 Gross Floor Area (m²): 33,213.8 Number of Storeys: 34 Number of Units: 458
 Non-Residential Gross Floor Area (m²): 407.0
 Proposal Description (include a narrative of your project highlighting green attributes or performance measures):
 The mixed-use development consists of a 34-storey residential tower including a 10-storey podium. The existing 2-storey heritage building which was damaged by fire at the north-east corner of the site will be repaired for commercial use. The proposal will provide 458 units including 5 condos townhouses facing Jarvis Street. Some green attributes or performance measures include: Implementation of bird-friendly guidelines, provision of green roof, energy efficient residential systems, use of sustainable materials and finishes and water efficient appliances.

Property and Applicant Information

Address of Subject Land (Street Number and Name): 308-314 Jarvis Street + 225 Mutual Street, Toronto, ON
 Project Name: Jarvis and Mutual Street
 Applicant/Agent:
 Name (Print, Last Name): Goldberg Group
 Business Email: mchirkow@goldberggroup.ca
 Business Telephone Number: (416) 322-6364
 Business Email: Phantom Developments Jarvis Limited



11-0062 2018-05

Page 1 of 8

Mid to High Rise Residential and all New Non-Residential Development

Checklist - Toronto Green Standards Version 3.0

TGS Documentation includes the submission of the completed Tier 1 TGS Checklist and the Statistics template updated with each planning submission. All sections must be complete for SPA. The TGS Statistics template is provided on the Project Statistics Plan with each submission in addition to the TGS Checklist.

For project pursuing Tier 2, 3 and 4, a separate TGS High Performance checklist must be submitted.

Tier 1: Air Quality

Section	Development Feature	Tier 1 Performance Measure (See full standards and specifications for details and definitions)	Documentation for site plan approval (Sections marked with an asterisk are required for rezoning applications)	Plans and Drawings
IAQ 1.1	Single-Occupant Vehicle (SOV) Trip	Reduce single occupancy vehicle trips by 15%.	<input type="checkbox"/> Transportation Impact Study (TIS) includes TDM analysis (if applicable)	Plan #
IAQ 1.2	LEV and Sustainable Mobility	Designate parking spaces above the minimum required for low-emitting vehicles (LEV).	<input type="checkbox"/> TGS V3.0 statistics template: <input type="checkbox"/> Summary table includes number and location of LEV spaces.	Plan #
IAQ 1.3	Electric Vehicle Infrastructure	Install EVSE for 20% of the parking spaces. Roughed-in conduits for the remaining spaces.	<input type="checkbox"/> TGS V3.0 statistics template: <input type="checkbox"/> Project parking statistics include number and location of EVSE spaces. <input type="checkbox"/> Notations indicate location of EVSE spaces and roughed-in spaces on parking plan.	Plan #
IAQ 2.1	Bicycle Parking (Bike)	Bicycle parking rates in accordance with Zoning Bylaw 569-2015	<input checked="" type="checkbox"/> TGS V3.0 statistics template. Project statistics include meter, number and type (long term/short term) of bicycle parking spaces. <input checked="" type="checkbox"/> Summary table includes number, type and % of total floor area occupied by bicycle parking for each bicycle parking floor and at-grade.	Plan # SPA151
IAQ 2.2	Long-term Bicycle Parking Location	Long-term bicycle parking in accordance with Zoning Bylaw 569-2015	<input checked="" type="checkbox"/> Notations indicate the number of long-term parking spaces in each bicycle parking area.	Plan # SPA151

11-0062 2018-05

Page 2 of 8

Mid to High Rise Residential and all New Non-Residential Development

Checklist - Toronto Green Standards Version 3.0

Section	Development Feature	Tier 1 Performance Measure (See full standards and specifications for details and definitions)	Documentation for site plan approval (Sections marked with an asterisk are required for rezoning applications)	Plans and Drawings
IAQ 2.3	Short-term Bicycle Parking Location	Short-term bicycle parking in accordance with Zoning Bylaw 569-2015	<input checked="" type="checkbox"/> Notations indicate location and the number of short-term spaces in each bicycle parking area.	Plan # SPA151
IAQ 2.4	Shower and Change Facilities	Showers and change facilities in accordance with Zoning Bylaw 569-2015	<input type="checkbox"/> Notations indicate location and number of shower and change facilities.	Plan # N/A
AQ 3.1	Connectivity	Pedestrian walkways	<input checked="" type="checkbox"/> Notations on Plans and Drawings.	Plan # SPA151
AQ 3.2	Sidewalk Space	Minimum 2.1 meter pedestrian clearance	<input checked="" type="checkbox"/> Notified on Plans and Drawings.	Plan # SPA151
AQ 3.3	Weather Protection	Covered outdoor waiting areas	<input type="checkbox"/> Notations on Plans and Drawings.	Plan #
AQ 3.4	Pedestrian Lighting	Pedestrian-scale lighting	<input type="checkbox"/> Notations on Plans and Drawings.	Plan #
AQ 4.1	LEI Non-roof Hardscape	Plant 50% of non-roof hardscape to reduce the urban heat island (75% required for Tier 2). 50% 75% of the required parking spaces under tower (Non-residential only)	<input type="checkbox"/> TGS V3.0 statistics template. <input type="checkbox"/> Materials list includes URI of high albedo paving. <input type="checkbox"/> Materials include location of treated hardscape.	Plan #

11-0062 2018-05

Page 3 of 8

Mid to High Rise Residential and all New Non-Residential Development

Checklist - Toronto Green Standards Version 3.0

Section	Development Feature	Tier 1 Performance Measure (See full standards and specifications for details and definitions)	Documentation for site plan approval (Sections marked with an asterisk are required for rezoning applications)	Plans and Drawings
AG 4.3	Green & Cool Roofs	One of the following is provided (select all that apply): <input checked="" type="checkbox"/> Green Roof required under the Green Roof By-Law <input type="checkbox"/> Green roof for 50% of roof. <input type="checkbox"/> Cool roof installed for 100% of roof. <input type="checkbox"/> A combination of a green roof and cool roof and solar panels for at least 70% of roof.	<input checked="" type="checkbox"/> TGS V3.0 statistics template. <input checked="" type="checkbox"/> Green Roof Statistics Template on roof plan. <input checked="" type="checkbox"/> Notations include green roof sections identified on elevations and roof plans. <input checked="" type="checkbox"/> Notations include 50% of cool roof on roof plan and location of solar panels.	Plan # SPA161 SPA301 SPA302

Tier 1: Energy Efficiency, GHGs & Resilience

Section	Development Feature	Tier 1 Performance Measure (See full standards and specifications for details and definitions)	Documentation for site plan approval (Sections marked with an asterisk are required for rezoning applications)	Plans and Drawings
D&G 1.1	Buildings Energy Performance	Design the building to achieve 15% improvement above CBC/IBC/OSBC/3 (2017) OR TELL, TED and GHG targets by building type (required for Tier 2)	<input type="checkbox"/> Energy (Modeling) Report and Energy Workbook (if applicable)	Plan #

Tier 1: Water Balance, Quality & Efficiency

Section	Development Feature	Tier 1 Performance Measure (See full standards and specifications for details and definitions)	Documentation for site plan approval (Sections marked with an asterisk are required for rezoning applications)	Plans and Drawings
WG 1.1	Erosion & Sediment Control	Apply the Erosion and Sediment Control Guidelines.	<input checked="" type="checkbox"/> Notations on Plans and Drawings.	Plan # Servicing Plan

11-0062 2018-05

Page 4 of 8

Mid to High Rise Residential and all New Non-Residential Development

Checklist - Toronto Green Standards Version 3.0

Section	Development Feature	Tier 1 Performance Measure (See full standards and specifications for details and definitions)	Documentation for site plan approval (Sections marked with an asterisk are required for rezoning applications)	Plans and Drawings
WG 2.1	Stormwater Retention & Infiltration	Retain 5 mm depth of rainfall on-site (10 min required for Tier 2)	<input checked="" type="checkbox"/> Stormwater Report. <input checked="" type="checkbox"/> Plan (Leachages, Grading, Roof and Green Roof Details etc.) consistent with Stormwater Report	Plan # FSR Section 5.0 V1
WG 3.1	Total Suspended Solids (TSS)	Remove 80% of total suspended solids from all runoff leaving the site.	<input checked="" type="checkbox"/> Stormwater Report.	Plan # FSR Section 5.0 V1
WG 3.2	E-Coli Reduction	Combat E. Coli directly entering Lake Ontario and waterfront areas.	<input type="checkbox"/> Stormwater Report.	Plan # N/A
WG 4.1	Drought-Tolerant Landscapes	Drought-tolerant plants used for 30% of the landscaped area.	<input checked="" type="checkbox"/> Plant list identifies drought resistant species (if applicable). <input type="checkbox"/> Notations indicate suitable or non-suitable irrigation system on Landscape Plan.	Plan # 3298-D1-Planting Detail_V1

Tier 1: Ecology

Section	Development Feature	Tier 1 Performance Measure (See full standards and specifications for details and definitions)	Documentation for site plan approval (Sections marked with an asterisk are required for rezoning applications)	Plans and Drawings
EC 1.1	Tree Planting Areas and Soil Volume	Total volume of soil for tree planting areas: 40% of the site area divided by 30 m ² x 30 cm. Each tree planting area has 30m ³ of soil.	<input type="checkbox"/> TGS V3.0 statistics template. <input type="checkbox"/> Notations indicate soil volume (soil depth and area) and quantity for each planting area.	Plan #
EC 1.2	Trees Along Street Frontages	Trees planted along street frontages with access to 30 m ³ of soil/tree.	<input type="checkbox"/> Notations indicate soil volume (soil depth and area) and quantity for each planting area. <input type="checkbox"/> Planting details.	Plan #

11-0062 2018-05

Page 5 of 8

Mid to High Rise Residential and all New Non-Residential Development

Checklist - Toronto Green Standards Version 3.0

Section	Development Feature	Tier 1 Performance Measure (See full standards and specifications for details and definitions)	Documentation for site plan approval (Sections marked with an asterisk are required for rezoning applications)	Plans and Drawings
EC 1.3	Parking Lots	1 shade tree planted per parking lot area for every 5 parking spaces	<input type="checkbox"/> Notations indicate soil volume (soil depth and area), species and quantity on the Planting Plan for parking areas.	Plan #
EC 1.4	Watering Program	Watering program for trees	<input type="checkbox"/> Notations on the Planting Plan include watering program methods and watering schedule.	Plan # Irrigation system and hose bibs will be provided
EC 2.1	Birding Areas and Natural Heritage System	Natural Heritage System and the Revised Protected Area (subject to 100% native plants)	<input type="checkbox"/> Plant list identifies native or non-native species.	Plan #
EC 2.2	Ravine and Protected Area Buffers	Stewardship plan implemented for setbacks	<input type="checkbox"/> Stewardship Plan (if applicable)	Plan #
EC 3.1	Native and Supportive Species	Landscaping includes 50% native plants.	<input checked="" type="checkbox"/> TGS V3.0 statistics template. Plant list includes common name, scientific name, size, quantity, stock type and native or non-native species.	Plan # 3298-D1-Planting Detail_V1
EC 3.2	Invasive Species	No invasive species planted.	<input checked="" type="checkbox"/> Plant list includes common name and scientific name.	Plan # 3298-D1-Planting Detail_V1
EC 4.1	Bird Friendly Glazing	80% of all exterior glazing within the required area is treated to reduce bird collisions. Fly-through conditions treated at all heights of the building.	<input checked="" type="checkbox"/> TGS V3.0 statistics template. <input checked="" type="checkbox"/> Notations include treated area required, type of treatment, density and colour of visual markers. <input checked="" type="checkbox"/> Summary table of bird friendly glazing treatments for each elevation.	Plan # SPA321

11-0062 2018-05

Page 6 of 8

Mid to High Rise Residential and all New Non-Residential Development

Checklist - Toronto Green Standards Version 3.0

Section	Development Feature	Tier 1 Performance Measure (See full standards and specifications for details and definitions)	Documentation for site plan approval (Sections marked with an asterisk are required for rezoning applications)	Plans and Drawings
EC 4.2	Roof-top Vegetation	Glazing 4 m above rooftop vegetation is treated to reduce bird collisions.	<input checked="" type="checkbox"/> Notations indicate required treated area, type of treatment, density and colour of visual markers.	Plan # SPA321
EC 4.3	Grate Porosity	Maximum porosity of ventilatory grates is 20 mm x 20 mm.	<input type="checkbox"/> Notations indicate porosity of ground level grates.	Plan #
EC 5.1	Exterior Lighting	Dark sky compliant fixtures.	<input type="checkbox"/> Notations indicate Dark Sky compliant fixtures.	Plan #

Tier 1: Solid Waste

Section	Development Feature	Tier 1 Performance Measure (See full standards and specifications for details and definitions)	Documentation for site plan approval (Sections marked with an asterisk are required for rezoning applications)	Plans and Drawings
SW 1.1	Waste Collection & Sorting	Waste sorting system for garbage, recycling and organics (if residential)	<input checked="" type="checkbox"/> Notations indicate type and location of waste sorting system.	Plan # SPA006 SPA151
SW 1.2	Waste Storage Space	Waste storage rooms	<input checked="" type="checkbox"/> Notations indicate area and location of waste storage rooms.	Plan # SPA006 SPA151
SW 1.3	Bulky Waste	Provide 10m ³ for bulky and special collection items (if residential)	<input checked="" type="checkbox"/> Notations indicate area and location for bulky items collection.	Plan # SPA006 SPA151
SW 1.4	Composting	Waste storage room with space for containers and the compactor unit (if residential)	<input checked="" type="checkbox"/> Notations indicate area and location of waste storage rooms and compactor unit.	Plan # SPA006 SPA151

11-0062 2018-05

Page 7 of 8

Mid to High Rise Residential and all New Non-Residential Development

Checklist - Toronto Green Standards Version 3.0

Section	Development Feature	Tier 1 Performance Measure (See full standards and specifications for details and definitions)	Documentation for site plan approval (Sections marked with an asterisk are required for rezoning applications)	Plans and Drawings
JW 3.1	Construction Waste Management	Manage construction and demolition waste in accordance with O. Reg. 153/14	<input type="checkbox"/> Documentation in accordance with O. Reg. 153/14	Plan #

11-0062 2018-05

Page 8 of 8

TO BE UPDATED

DATE DESCRIPTION BY



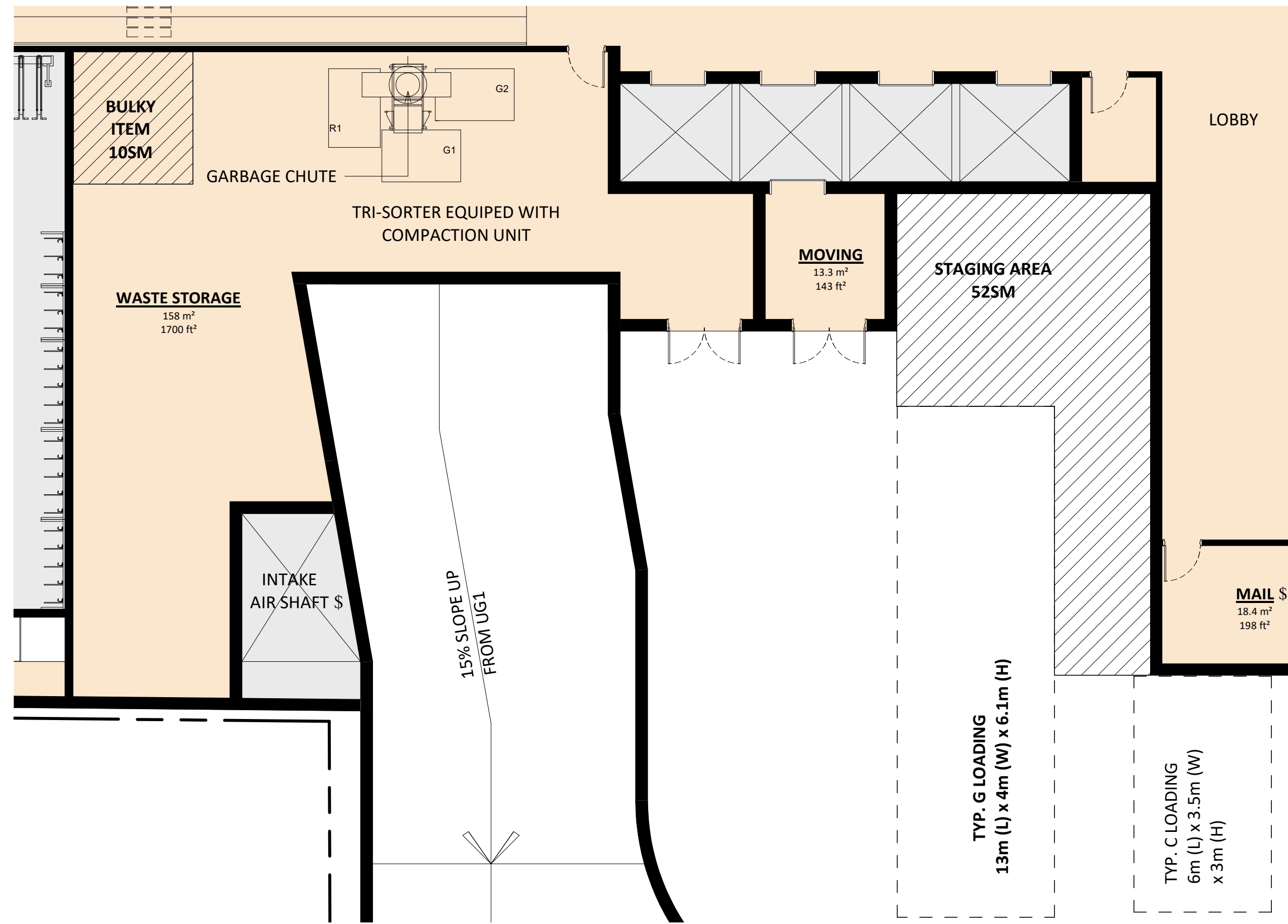
PROJECT
308-314 Jarvis Street & 225 Mutual Street
Toronto, Ontario, Canada

DRAWING
TGS CHECKLIST

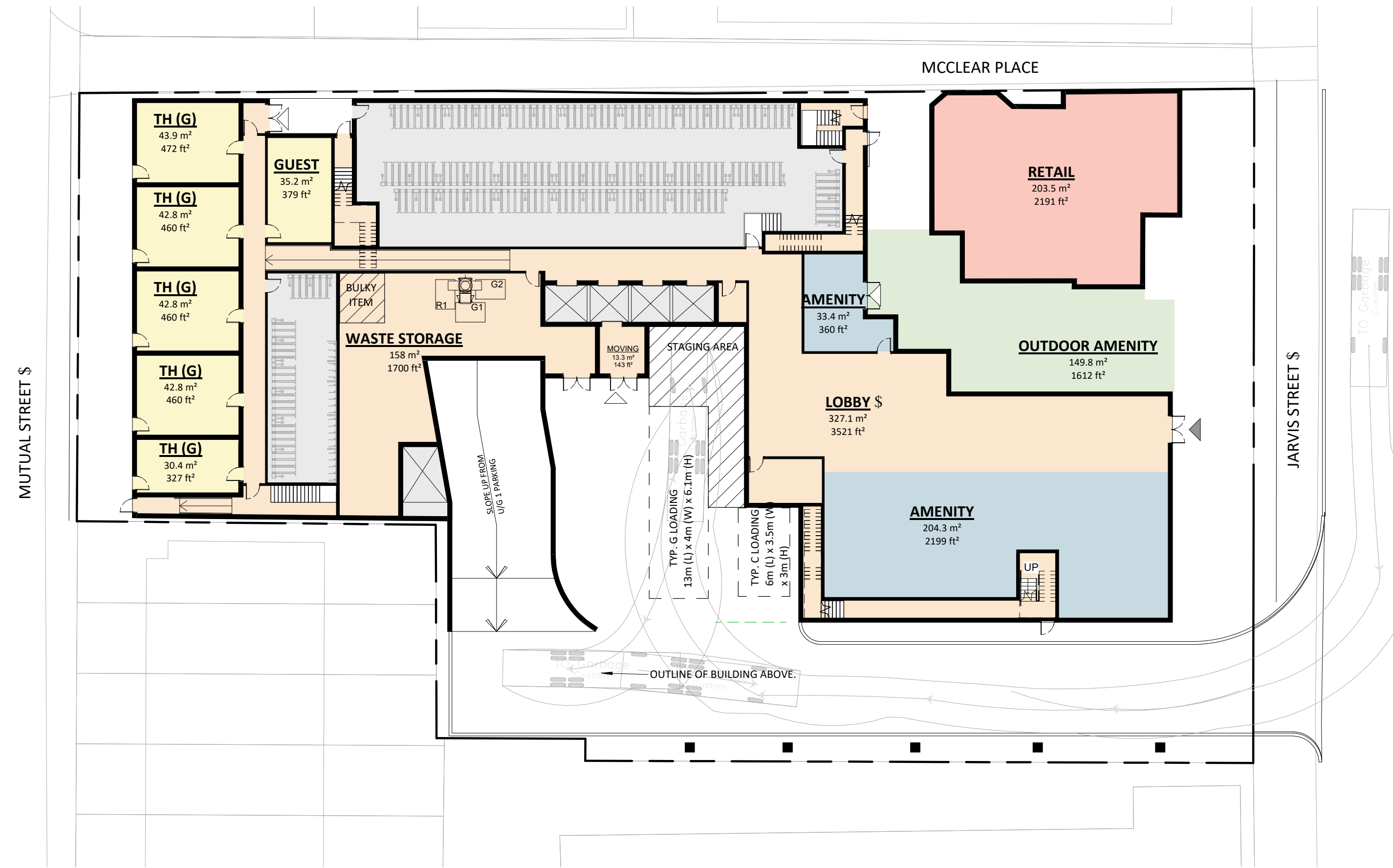
PROJECT NO.
18-189CS
PROJECT DATE
2019-04-09
DRAWN BY
MNZ
CHECKED BY
AYU
SCALE



DRAWING NO.
SPA004



1 GROUND FLOOR - RESIDENTIAL SOLID WASTE MANAGEMENT
1 : 100



2 GROUND FLOOR - TRUCK TURNING DIAGRAM
1 : 250

RESIDENTIAL SOLID WASTE MANAGEMENT NOTES: §

- ALL ACCESS DRIVEWAYS TO BE USED BY THE COLLECTION VEHICLE WILL BE LEVEL (+/-8%), AT LEAST 4.5 METERS WIDE THROUGHOUT THE SITE AND 6 METERS WIDE AT ENTRANCES AND EXITS, AND WILL HAVE A MINIMUM OVERHEAD TRAVELING CLEARANCE OF 4.4 METERS INCLUDING WHEN TRAVELING THROUGH OVER HEAD DOORS.
- TYPE G LOADING SPACE WILL BE AT LEAST 4 METRES WIDE, 13 METRES LONG, WITH AN UNOBSTRUCTED VERTICAL CLEARANCE OF 6.1 METRES, IS LEVEL (+/-2%), AND IS CONSTRUCTED OF AT LEAST 200MM OF REINFORCED CONCRETE.
- A TRAINED ON-SITE STAFF MEMBER WILL BE AVAILABLE TO MANEUVER BIN FOR THE COLLECTION DRIVER AND ALSO ACT AS A FLAG MAN WHEN THE TRUCK IS REVERSING. IN THE EVENT THE ON-SITE STAFF IS UNAVAILABLE AT THE TIME THE CITY COLLECTION VEHICLES ARRIVE AT THE SITE, THE COLLECTION VEHICLE WILL LEAVE THE SITE AND NOT RETURN UNTIL THE NEXT SCHEDULED COLLECTION DAY.
- SHARING OF TYPE G LOADING SPACE - RESIDENTIAL USE OF LOADING SPACE FOR PURPOSES OF MOVING WILL BE SCHEDULED ACCORDING TO GARBAGE PICK UP TIMES. SHOULD THE TYPE G SPACE BE NEEDED FOR USE BY COMMERCIAL SECTORS, THE COMMERCIAL COMPONENT MUST ARRANGE THIS USE SUCH THAT IT DOES NOT CONFLICT WITH ANY RESIDENTIAL USES.
- IF THE LOADING AREA / EGRESS ROUTES ARE OVER SUPPORTED STRUCTURES, IE. OVER AN UNDERGROUND GARAGE OR A MECHANICAL SHAFT, THE FACILITY MUST CONFORM TO THE FOLLOWING:
 - DESIGN CODE- ONTARIO BUILDING CODE.
 - DESIGN LOAD- CITY BULK LIFT VEHICLE IN ADDITION BUILDING CODE REQUIREMENTS.
 - IMPACT FACTOR- 5% FOR MAXIMUM VEHICULAR SPEEDS TO 15 KM/H AND 30% FOR HIGHER SPEEDS.
 - CITY COLLECTION VEHICLE IS REQUIRED TO DRIVE ONTO OR OVER A SUPPORTED STRUCTURE (SUCH AS AN UNDERGROUND PARKING GARAGE). THE UNDERGROUND PARKING GARAGE ROOF SLAB IS TO BE DESIGNED TAKING INTO ACCOUNT THE COLLECTION VEHICLE WEIGHT. THE CITY MUST PROVIDE, PRIOR TO COMMENCEMENT OF CITY SOLID WASTE PICK UP, A LETTER CERTIFIED BY A QUALIFIED ENGINEER THAT THE STRUCTURE CAN SAFELY SUPPORT A FULLY LOADED COLLECTION VEHICLE WEIGHING 35,000 KILOGRAMS.
- PRIVATE CONTRACTOR MUST COLLECT ALL SOLID WASTE FROM THE RETAIL COMPONENT.
- WASTE BINS TO BE JOCKEYED ON COLLECTION DAY, IF REQUIRED. STAFF JOCKEYING THE BINS DURING SOLID WASTE PICK UP AND THE REQUIRED STAGING AREA IS TO BE LOCATED IN CLOSE PROXIMITY TO THE LOADING AREA TO AVOID ANY DELAYS DURING PICK UP.
- NON-RESIDENTIAL COMPONENT WILL ONLY SCHEDULE USE OF THE TYPE G LOADING SPACE ON OPPOSITE DAYS FROM THE COLLECTION DAYS OF THE RESIDENTIAL COMPONENT TO ENSURE THAT THE TYPE G LOADING SPACE WILL BE VACANT FOR CITY WASTE COLLECTION. IF LOADING SPACE IS TO BE SHARED, THE COMMERCIAL BINS MUST BE LABELLED "RETAIL WASTE ONLY"

RESIDENTIAL WASTE MANAGEMENT CALCULATIONS:

AS PER CITY OF TORONTO REQUIREMENTS FOR GARBAGE, RECYCLING, AND ORGANIC COLLECTION SERVICES FOR NEW DEVELOPMENTS AND REDEVELOPMENTS (MAY 2012)

RESIDENTIAL WASTE STORAGE AREA REQUIRED:

MINIMUM 25 m2 FOR THE FIRST 50 UNITS
+ 13 m2 FOR EACH ADDITIONAL 50 UNITS
+ MINIMUM OF 10 m2 FOR BULKY ITEMS

NUMBER OF UNITS = 458

= 458 - 50
= 408 / 50 UNITS
= 8.16 (ROUND UP) = 9 X 13 m2
= 117 m2 + 25 m2
= 142 m2

BULKY ITEMS
= 142 m2 + 10 m2
= 152 m2

TOTAL AREA REQUIRED:
= 152 m2 WASTE STORAGE AREA REQUIRED §

WASTE STORAGE AREA PROVIDED: §

RESIDENTIAL § 158.0 m2

TOTAL RESIDENTIAL WASTE STORAGE AREA PROVIDED:
= 158.0 m2 WASTE STORAGE AREA

STAGING AREA REQUIRED:

IN ADDITION TO THE TYPE "G" LOADING SPACE THE AREA REQUIRED FOR STAGING VARIES WITH THE NUMBER OF UNITS. AS SUCH, 5 SQUARE METRES IS REQUIRED FOR EVERY 50 UNITS OVER 50. §

RESIDENTIAL:
= 458 UNITS - 50 §
= 408 / 50 §
= 8.16 (ROUND UP) = 9 x 5 m2
= 45 m2

STAGING AREA REQUIRED: §
45 m2 §

STAGING AREA PROVIDED:
52 m2

LOADING SPACE(S) REQUIRED:

MINIMUM OF ONE TYPE "G" AND ONE TYPE "C" LOADING SPACE §

DEFINITION IN BY-LAW 569-2013: §

- TYPE "G" LOADING SPACE MUST HAVE A MINIMUM LENGTH OF 13.0 M; MINIMUM WIDTH OF 4.0 M; AND MINIMUM VERTICAL CLEARANCE OF 6.1 M. §
- TYPE "C" LOADING SPACE MUST HAVE A MINIMUM LENGTH OF 6.0 M; MINIMUM WIDTH OF 3.5 AND MINIMUM VERTICAL CLEARANCE OF 3.0 M.

LOADING SPACE(S) PROVIDED: §

RESIDENTIAL 2
TYPE "G" 1
TYPE "C" 1
TOTAL LOADING SPACE(S) 2

NON-RESIDENTIAL WASTE COLLECTION

THE NON-RESIDENTIAL COMPONENT OF THIS DEVELOPMENT WILL BE STORED AND TRANSPORTED SEPARATELY FROM THE RESIDENTIAL COMPONENT.
COLLECTION OF WASTES FROM THE COMMERCIAL SECTOR OF THIS SITE WILL BE IN ACCORDANCE WITH CHAPTER 841, SOLID WASTE OF THE MUNICIPAL CODE.

#	DATE	ISSUED FOR	DESCRIPTION	BY
1	2019-06-14	ISSUED FOR SPA		AYU



PROJECT
308-314 Jarvis Street & 225 Mutual Street
Toronto, Ontario, Canada

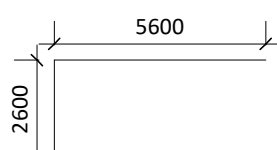
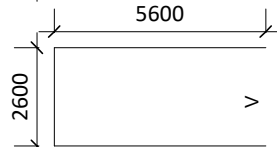
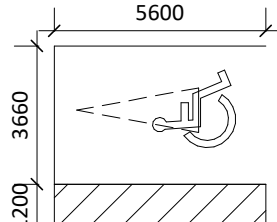


DRAWING
RESIDENTIAL SOLID WASTE MANAGEMENT

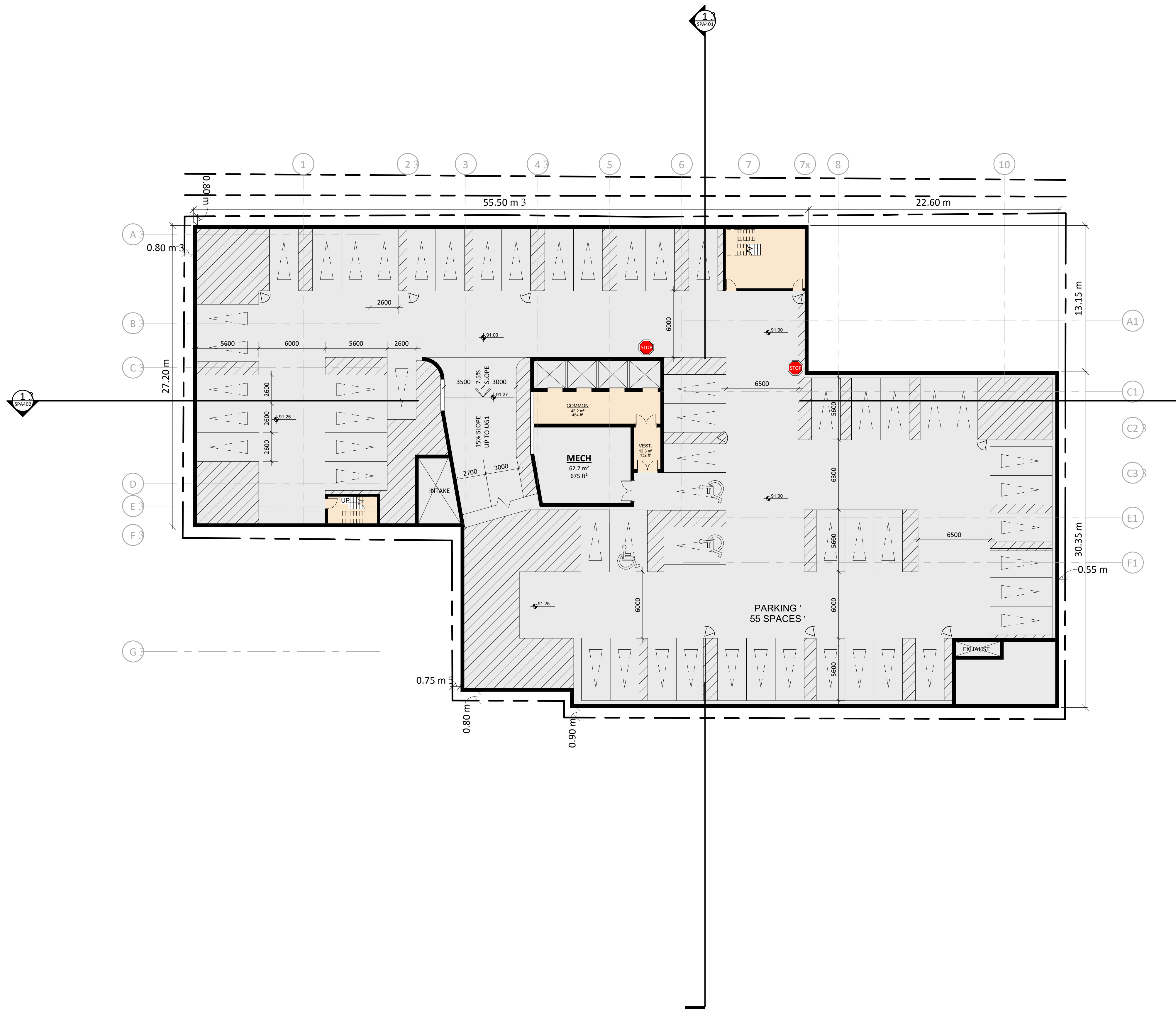
PROJECT NO. 18.189CS	
PROJECT DATE 2019-04-09	
DRAWN BY MNZ	
CHECKED BY AYU	
SCALE As indicated	

DRAWING NO.
SPA006 #

This drawing, as an instrument of service, is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be copied, reproduced, or used for any other project without the written consent of Turner Fleischer Architects Inc. The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of authority having jurisdiction. The contractor working from drawings not specifically marked for Construction must assume full responsibility and bear costs for any corrections or damages resulting from his work.

LEGEND

-  RESIDENT PARKING SPACE
-  VISITOR PARKING SPACE
-  ACCESSIBLE PARKING
-  CONVEX MIRROR
-  STOP SIGN



#	DATE	ISSUED FOR SPA	DESCRIPTION	AYU	BY
1	2019-06-14	ISSUED FOR SPA		AYU	



PROJECT
308-314 Jarvis Street & 225 Mutual Street
 Toronto, Ontario, Canada

DRAWING
UNDERGROUND LEVEL 02

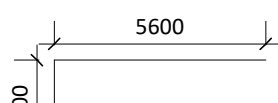
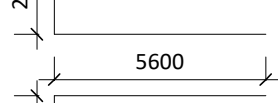

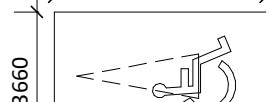
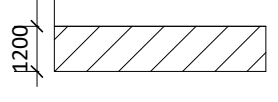
PROJECT NO.
18.189CS
 PROJECT DATE
2019-04-09
 DRAWN BY
MNZ
 CHECKED BY
AYU
 SCALE
1 : 200

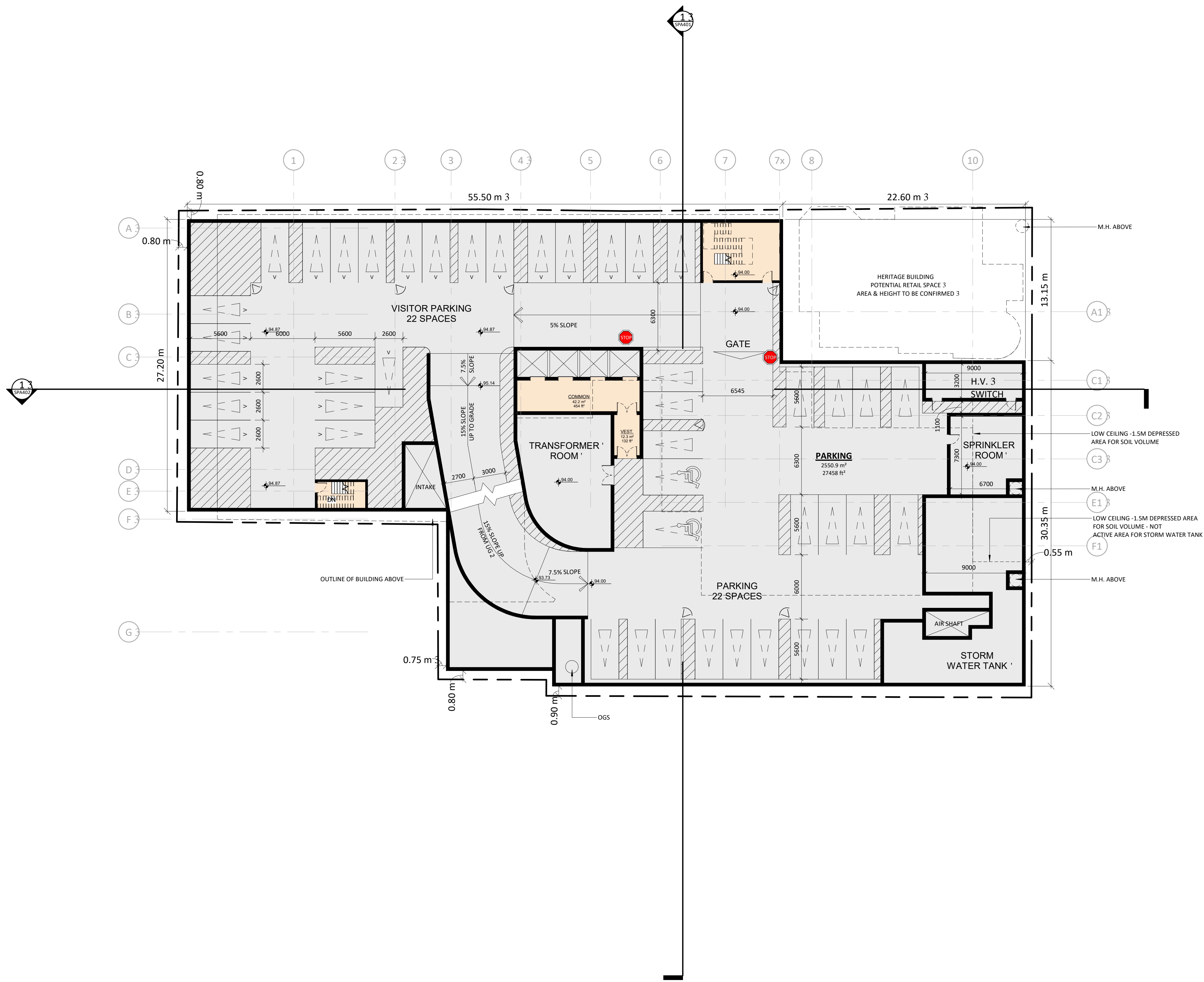


DRAWING NO.
SPA101

This drawing, as an instrument of service, is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be copied, reproduced, or used for any other purpose without the written consent of Turner Fleischer Architects Inc. Information shown on this drawing refers to the appropriate consultant's drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of authority having jurisdiction. The contractor working from drawings not specifically marked 'For Construction' must assume full responsibility and bear costs for any corrections or damages resulting from his work.

LEGEND

-  RESIDENT PARKING SPACE
-  VISITOR PARKING SPACE
-  ACCESSIBLE PARKING
-  CONVEX MIRROR
-  STOP SIGN




#	DATE	ISSUED FOR SPA	DESCRIPTION	AYU	BY
1	2019-06-14	ISSUED FOR SPA		AYU	



PROJECT
308-314 Jarvis Street & 225 Mutual Street
Toronto, Ontario, Canada







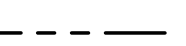
DRAWING
UNDERGROUND LEVEL 01

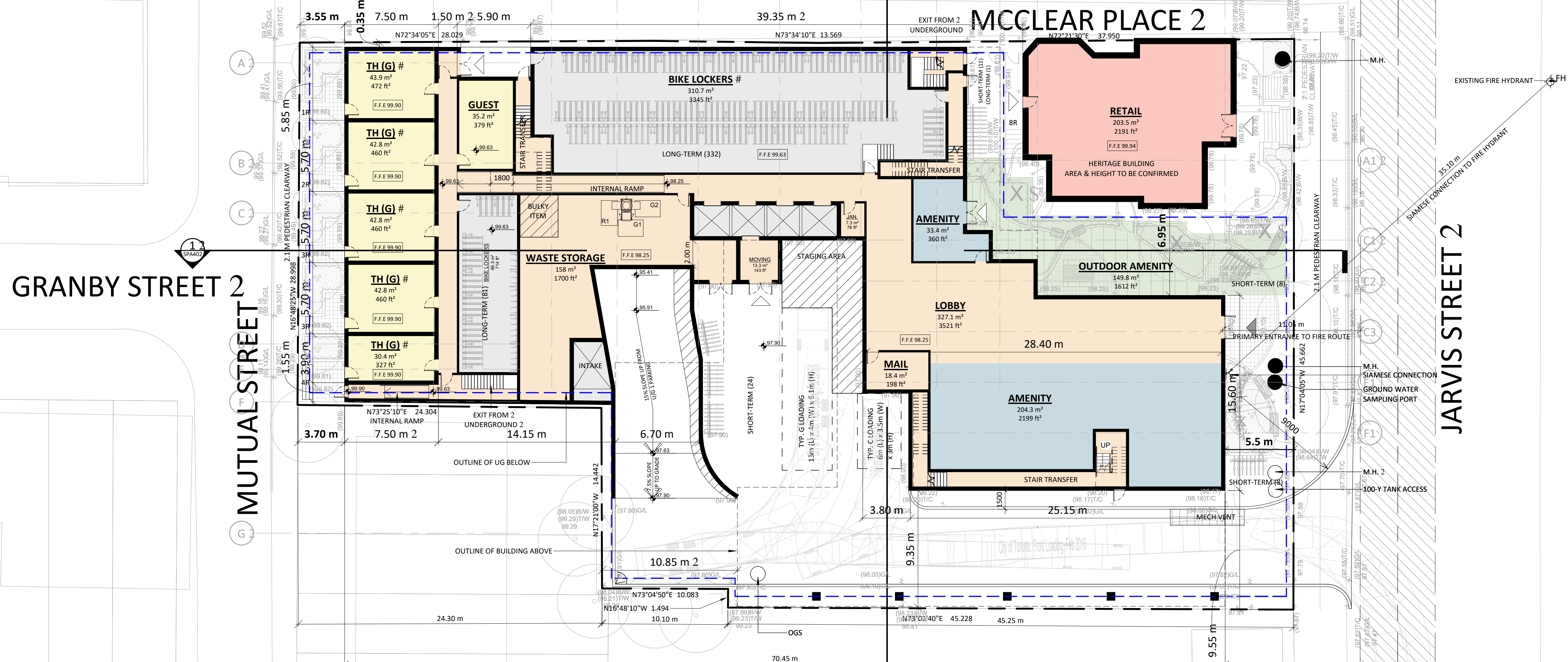
PROJECT NO. 18.189CS	
PROJECT DATE 2019-04-09	
DRAWN BY LLE	
CHECKED BY AYU	
SCALE 1 : 200'	

DRAWING NO.
SPA102'

This drawing, as an instrument of service, is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be copied, reproduced, or used for any other purpose without the written consent of Turner Fleischer Architects Inc. Information shown on this drawing refers to the appropriate consultant's drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of authority having jurisdiction. The contractor working from drawings not specifically marked for construction must assume full responsibility and bear costs for any corrections or damages resulting from his work.

LEGEND

-  PRIMARY ENTRANCE
-  SECONDARY ENTRANCE
-  FIRE HYDRANT
-  CONVEX MIRROR
-  SIAMESE CONNECTION
-  FIRE ROUTE
-  PROPERTY LINE



GRANBY STREET 2

MUTUAL STREET

MCCLELL PLACE 2

JARVIS STREET 2

#	DATE	ISSUED FOR SPA	DESCRIPTION	AVU	BY
1	2019-06-14	ISSUED FOR SPA			



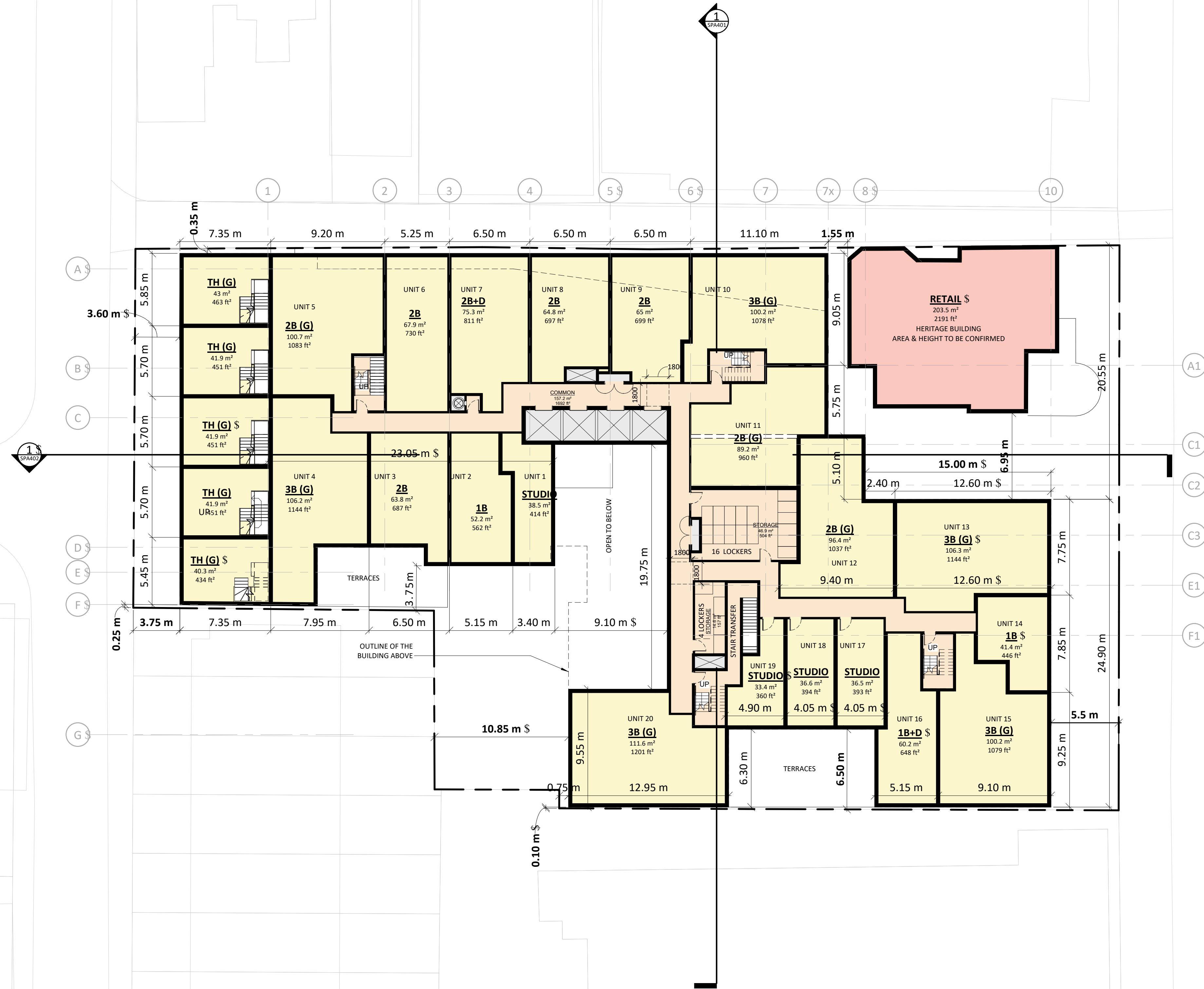
PROJECT
308-314 Jarvis Street & 225 Mutual Street
Toronto, Ontario, Canada

DRAWING
FLOOR 01

PROJECT NO.	18.189CS
PROJECT DATE	2019-04-09
DRAWN BY	LLE
CHECKED BY	AYU
SCALE	1 : 200 S



DRAWING NO.
SPA151 \$



#	DATE	ISSUED FOR SPA	DESCRIPTION	AYU	BY
1	2019-06-14	ISSUED FOR SPA		AYU	



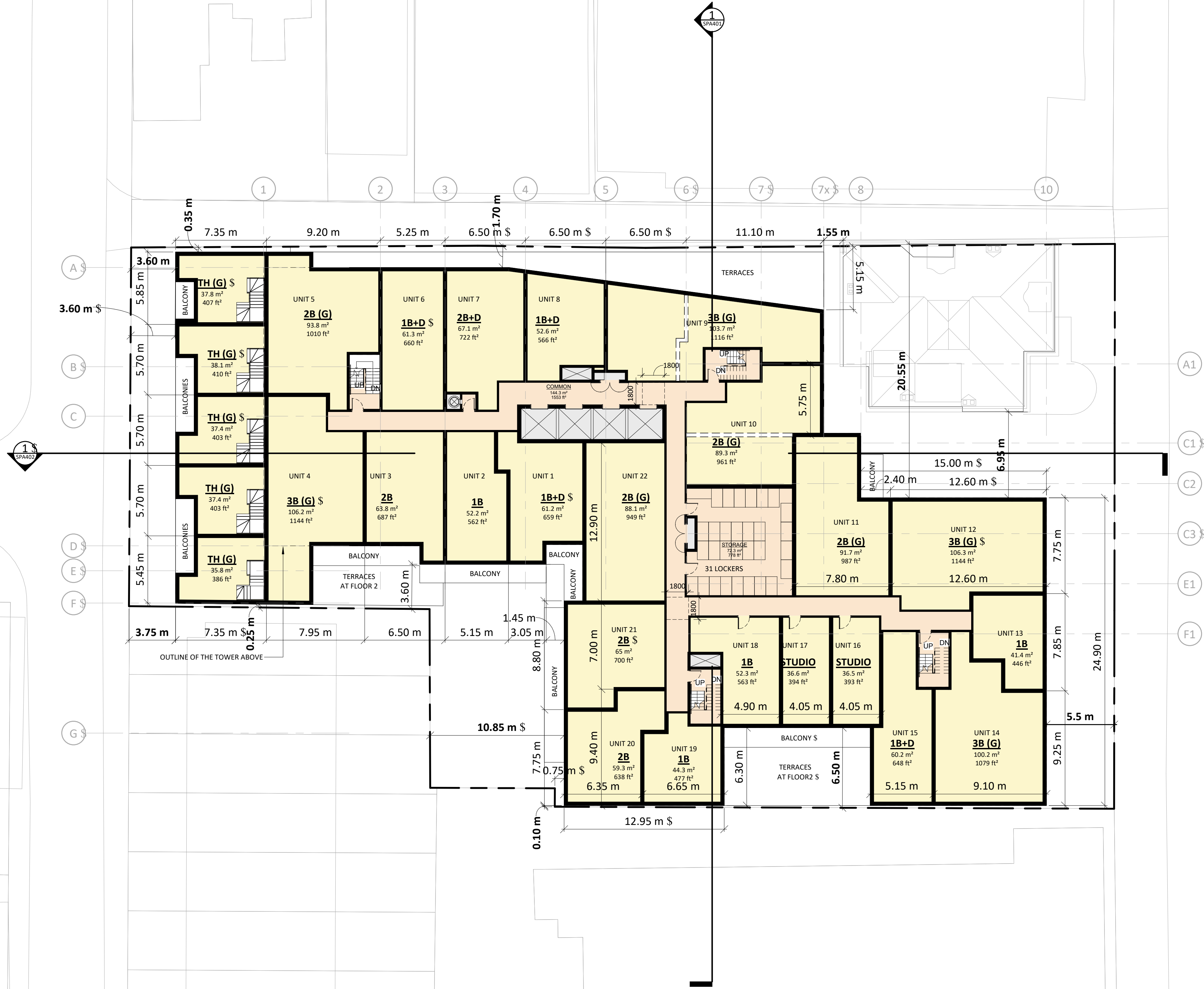
PROJECT
308-314 Jarvis Street & 225 Mutual Street
 Toronto, Ontario, Canada

DRAWING
FLOOR 02

PROJECT NO.	18.189CS
PROJECT DATE	2019-04-09
DRAWN BY	LLE
CHECKED BY	AYU
SCALE	1 : 200 #



DRAWING NO.
SPA152 #



#	DATE	ISSUED FOR	DESCRIPTION	BY
1	2019-06-14	ISSUED FOR SPA		AYU



PROJECT
308-314 Jarvis Street & 225 Mutual Street
Toronto, Ontario, Canada

DRAWING
FLOOR 03

PROJECT NO. 18.189CS	
PROJECT DATE 2019-04-09	
DRAWN BY LLE	
CHECKED BY AYU	
SCALE 1 : 200 #	

DRAWING NO.
SPA153 #

This drawing, as an instrument of service, is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be copied, reproduced, or used for any other purpose without the written consent of Turner Fleischer Architects Inc. The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked for construction must assume full responsibility and bear costs for any corrections or damages resulting from his work.



#	DATE	ISSUED FOR SPA	DESCRIPTION	BY
1	2019-06-14	ISSUED FOR SPA		AYU

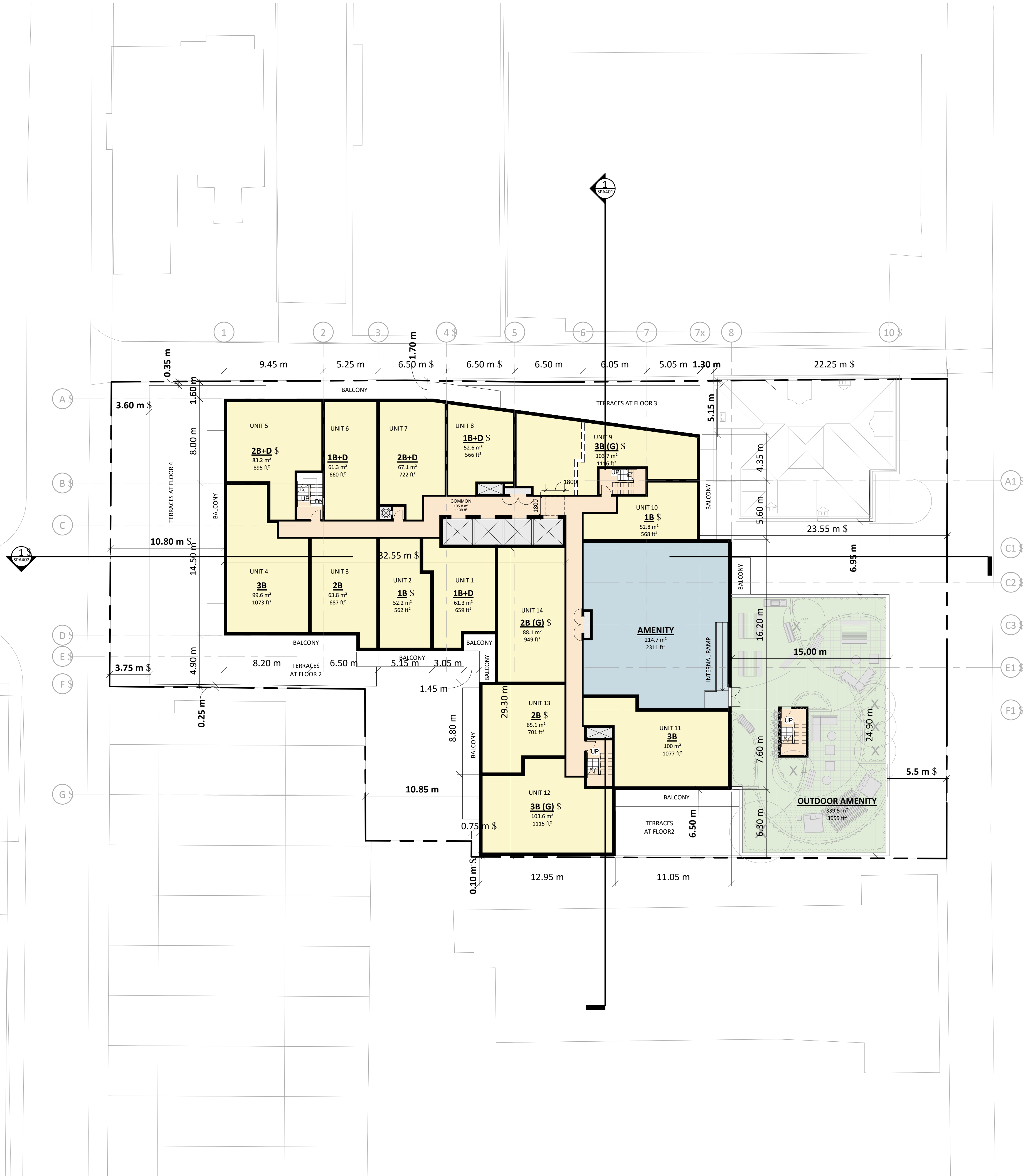


PROJECT
308-314 Jarvis Street & 225 Mutual Street
Toronto, Ontario, Canada

DRAWING
FLOOR 04-06

PROJECT NO. 18.189CS	
PROJECT DATE 2019-04-09	
DRAWN BY LLE	
CHECKED BY AYU	
SCALE 1 : 200	

DRAWING NO.
SPA154



#	DATE	ISSUED FOR SPA	DESCRIPTION	AYU	BY
1	2019-06-14	ISSUED FOR SPA		AYU	



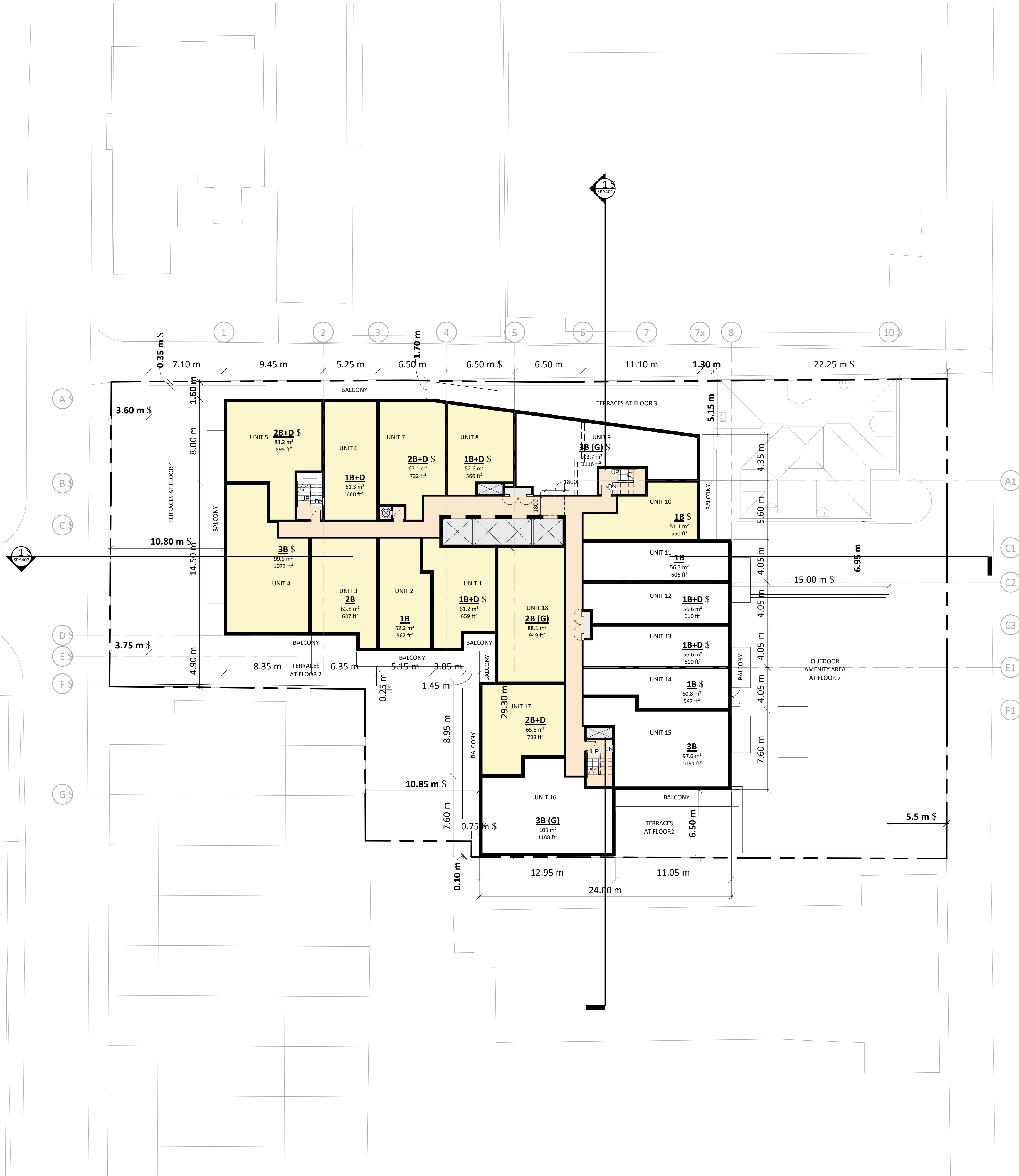
PROJECT
308-314 Jarvis Street & 225 Mutual Street
Toronto, Ontario, Canada

DRAWING
FLOOR 07

PROJECT NO.	18.189CS
PROJECT DATE	2019-04-09
DRAWN BY	LLE
CHECKED BY	AYU
SCALE	1 : 200 #



DRAWING NO.
SPA155 #



#	DATE	ISSUED FOR SPA	DESCRIPTION	AYU	BY
1	2019-06-14	ISSUED FOR SPA		AYU	

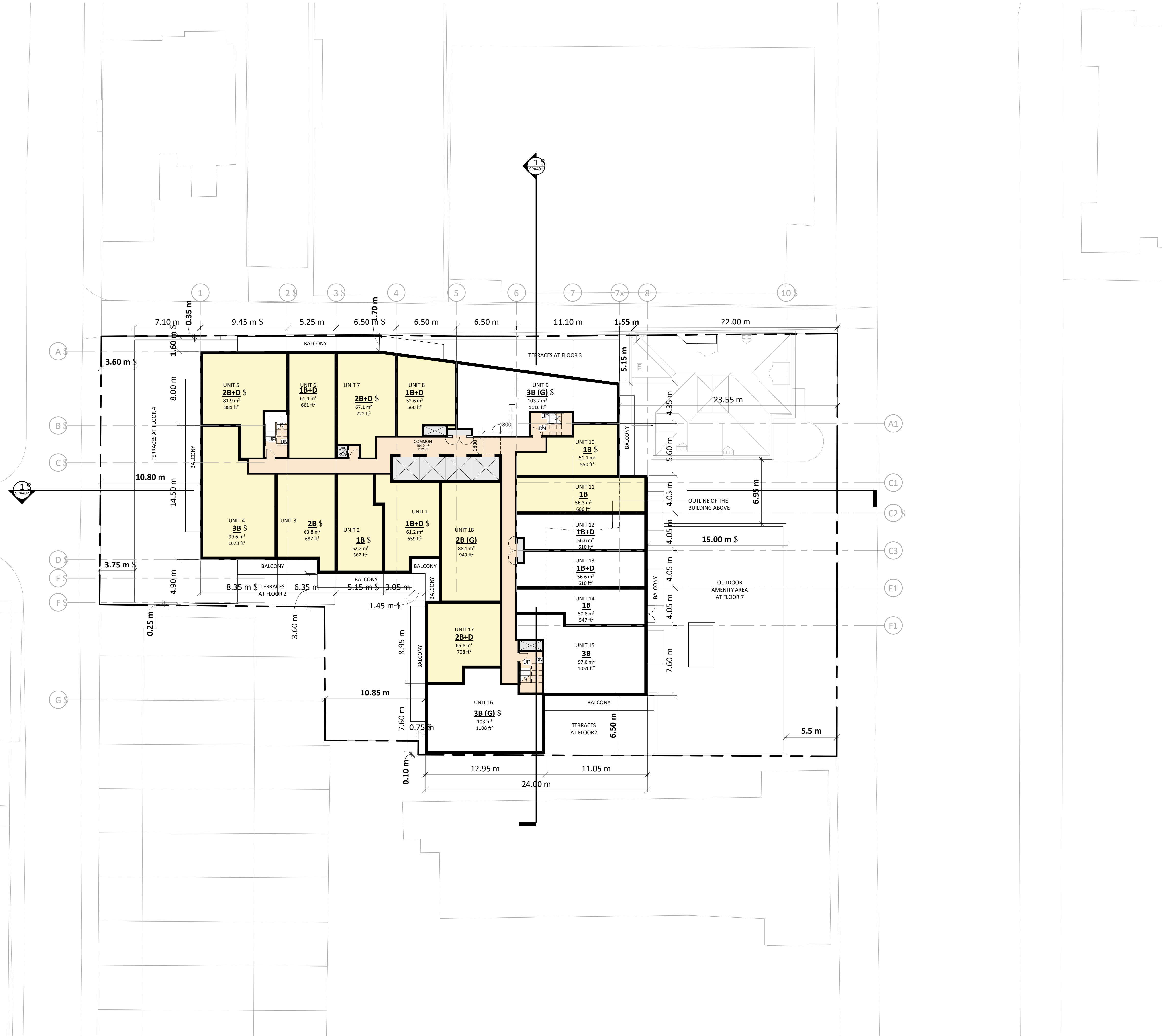


PROJECT
308-314 Jarvis Street & 225 Mutual Street
 Toronto, Ontario, Canada

DRAWING
FLOOR 08

PROJECT NO. 18.189CS	
PROJECT DATE 2019-04-09	
DRAWN BY LLE	
CHECKED BY AYU	
SCALE 1 : 200	

DRAWING NO.
SPA156



#	DATE	ISSUED FOR SPA	DESCRIPTION	AYU	BY
1	2019-06-14	ISSUED FOR SPA			

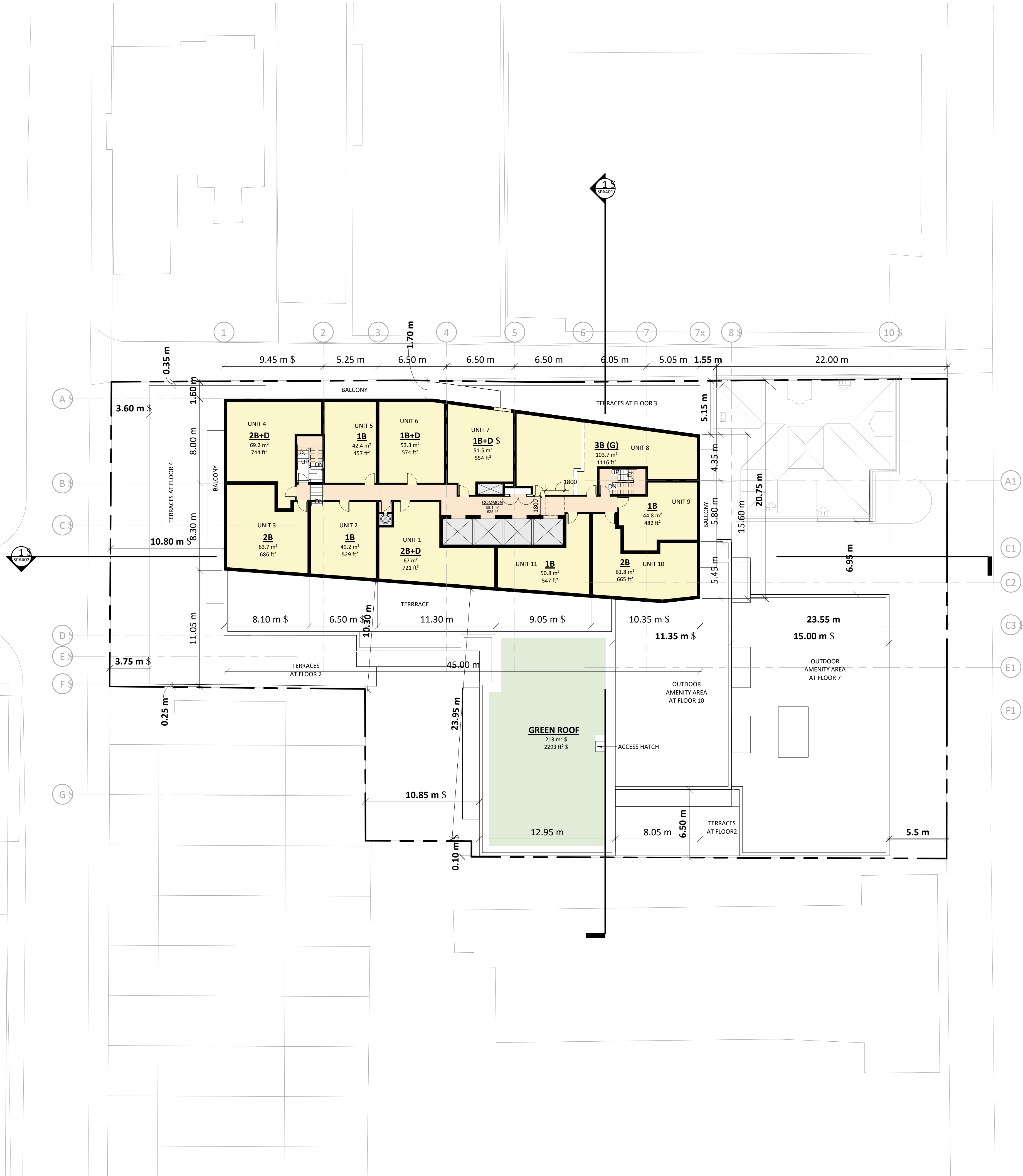


PROJECT
308-314 Jarvis Street & 225 Mutual Street
Toronto, Ontario, Canada

DRAWING
FLOOR 09

PROJECT NO. 18.189CS	
PROJECT DATE 2019-04-09	
DRAWN BY LLE	
CHECKED BY AYU	
SCALE 1 : 200	

DRAWING NO.
SPA157



#	DATE	DESCRIPTION	ISSUED FOR	BY
1	2019-06-14	ISSUED FOR SPA	AYU	



PROJECT
308-314 Jarvis Street & 225 Mutual Street
Toronto, Ontario, Canada

DRAWING
FLOOR 11

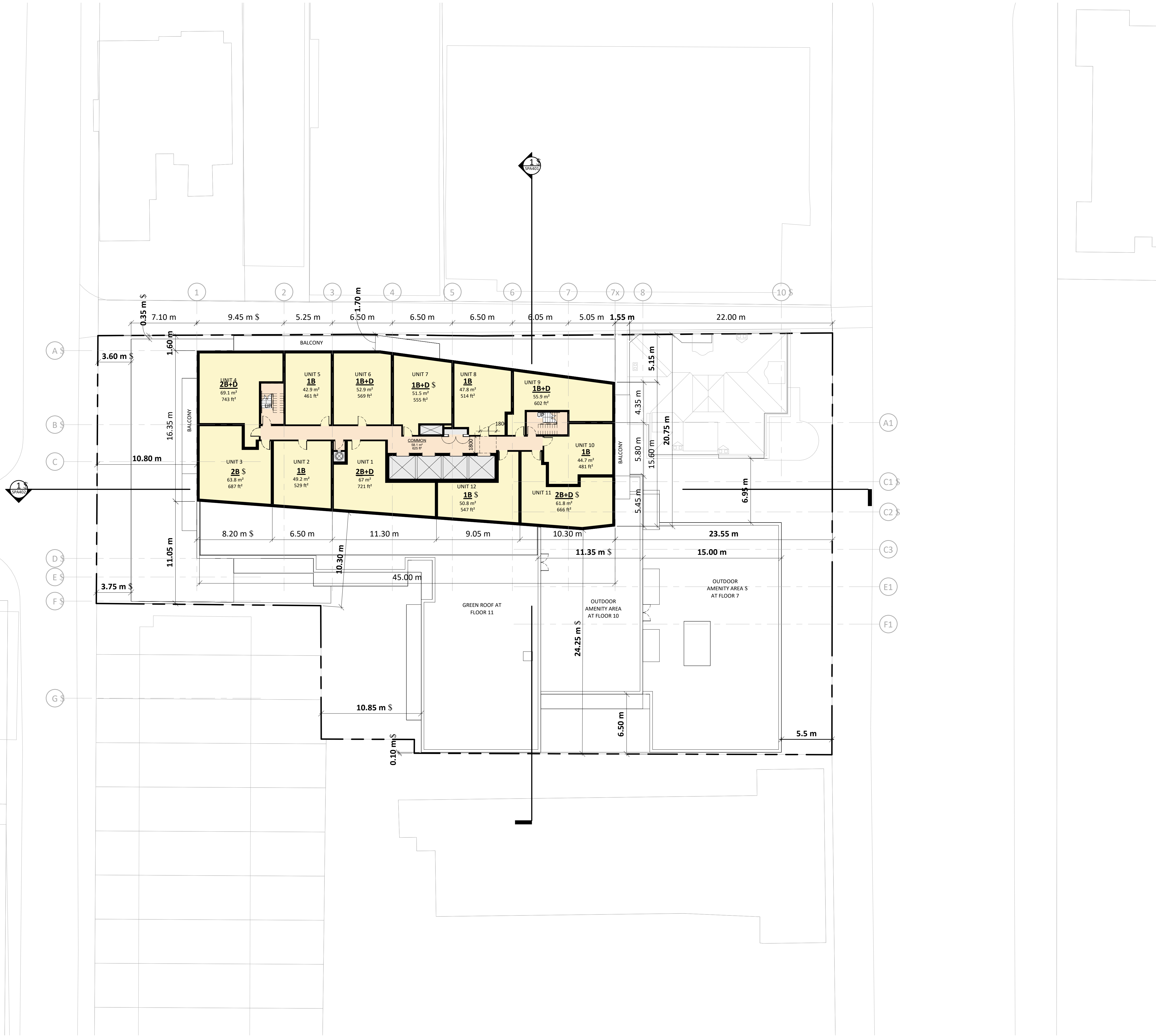
PROJECT NO.	18.189CS
PROJECT DATE	2019-04-09
DRAWN BY	LLE
CHECKED BY	AYU
SCALE	1 : 200



DRAWING NO.
SPA159

This drawing, as an instrument of service, is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be copied, reproduced, or used for any other purpose without the written consent of Turner Fleischer Architects Inc. Information shown on this drawing refers to the appropriate consultant's drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of authority having jurisdiction. The contractor working from drawings not specifically marked 'For Construction' must assume full responsibility and bear costs for any corrections or damages resulting from his work.

OUTLINE OF THE SETTLEMENT SCHEME
(NOVEMBER 28, 2017)



#	DATE	DESCRIPTION	ISSUED FOR SPA	AYU	BY
1	2019-06-14				



PROJECT
308-314 Jarvis Street & 225 Mutual Street
Toronto, Ontario, Canada

DRAWING
FLOOR 12-34

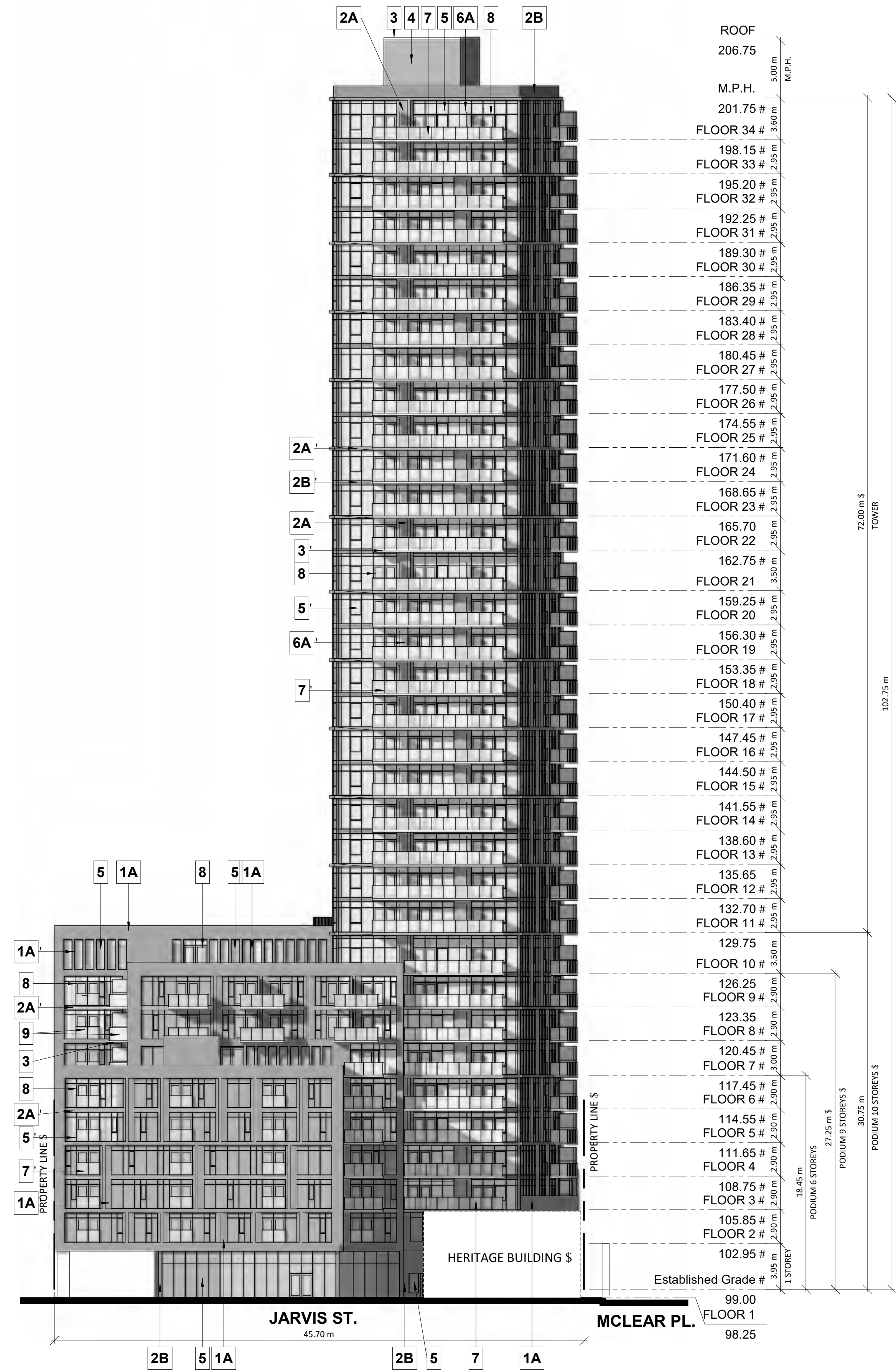
PROJECT NO. 18.189CS	
PROJECT DATE 2019-04-09	
DRAWN BY LLE	
CHECKED BY AYU	
SCALE 1 : 200	

DRAWING NO.
SPA160

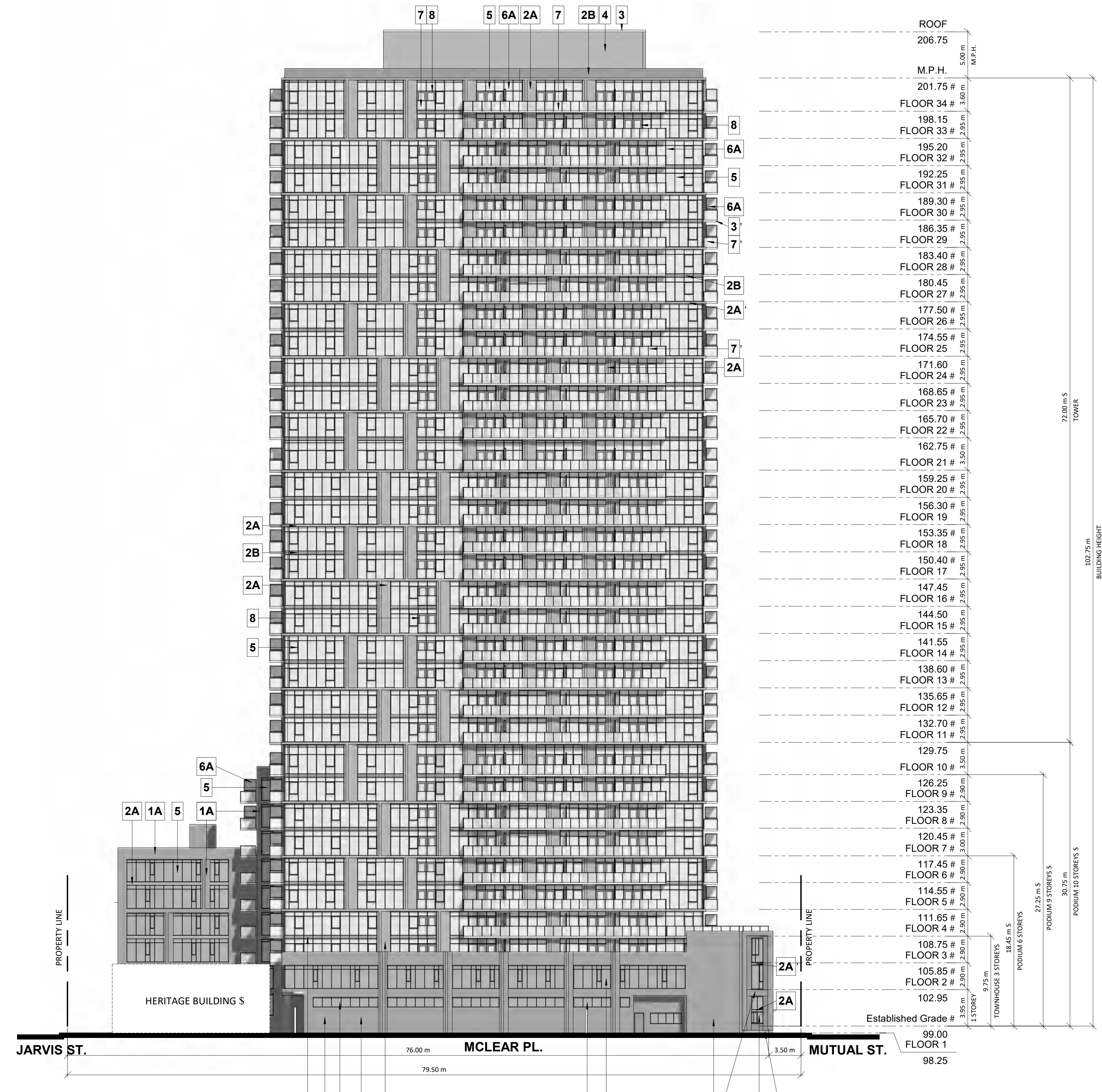
This drawing, as an instrument of service, is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be copied, reproduced, or used for any other purpose without the written consent of Turner Fleischer Architects Inc. The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of applicable governing jurisdiction. The contractor working from drawings not specifically marked for construction must assume full responsibility and bear costs for any corrections or damages resulting from his work.

EXTERIOR FINISHES LEGEND

1A	BRICK - DARK RED (ROSE)
1B	BRICK - GREY
2A	METAL PANEL - PURPLE
2B	METAL PANEL - DARK GREY
3	PRECAST CONCRETE - WHITE
4	EIFS PANEL SANDBLASTED - DARK GREY
5	CLEAR GLAZING
6A	SPANDREL GLASS - LIGHT GREY
6B	SPANDREL GLASS - DARK RED
7	FROSTED RAILING GLASS - WHITE
8	ALUMINIUM WINDOW FRAME - DARK GREY



1 EAST ELEVATION
1:250



2 NORTH ELEVATION
1:250

1	2019-06-14	ISSUED FOR SPA	AYU
#	DATE	DESCRIPTION	BY



PROJECT
308-314 Jarvis Street & 225 Mutual Street
 Toronto, Ontario, Canada

DRAWING
ELEVATIONS

PROJECT NO.	18.189CS
PROJECT DATE	2019-04-09
DRAWN BY	MDL
CHECKED BY	AYU
SCALE	1:250

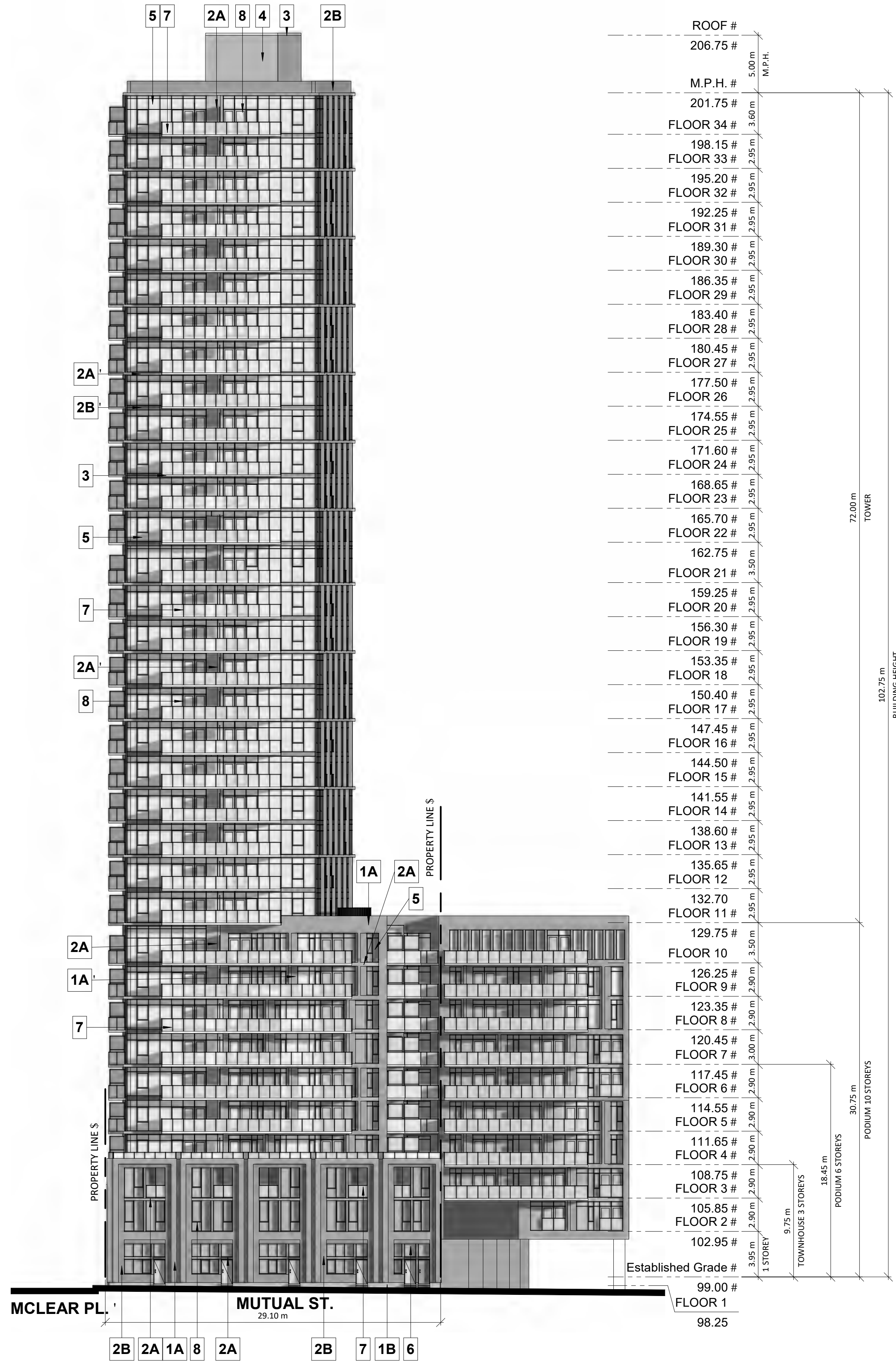


DRAWING NO.
SPA301 #

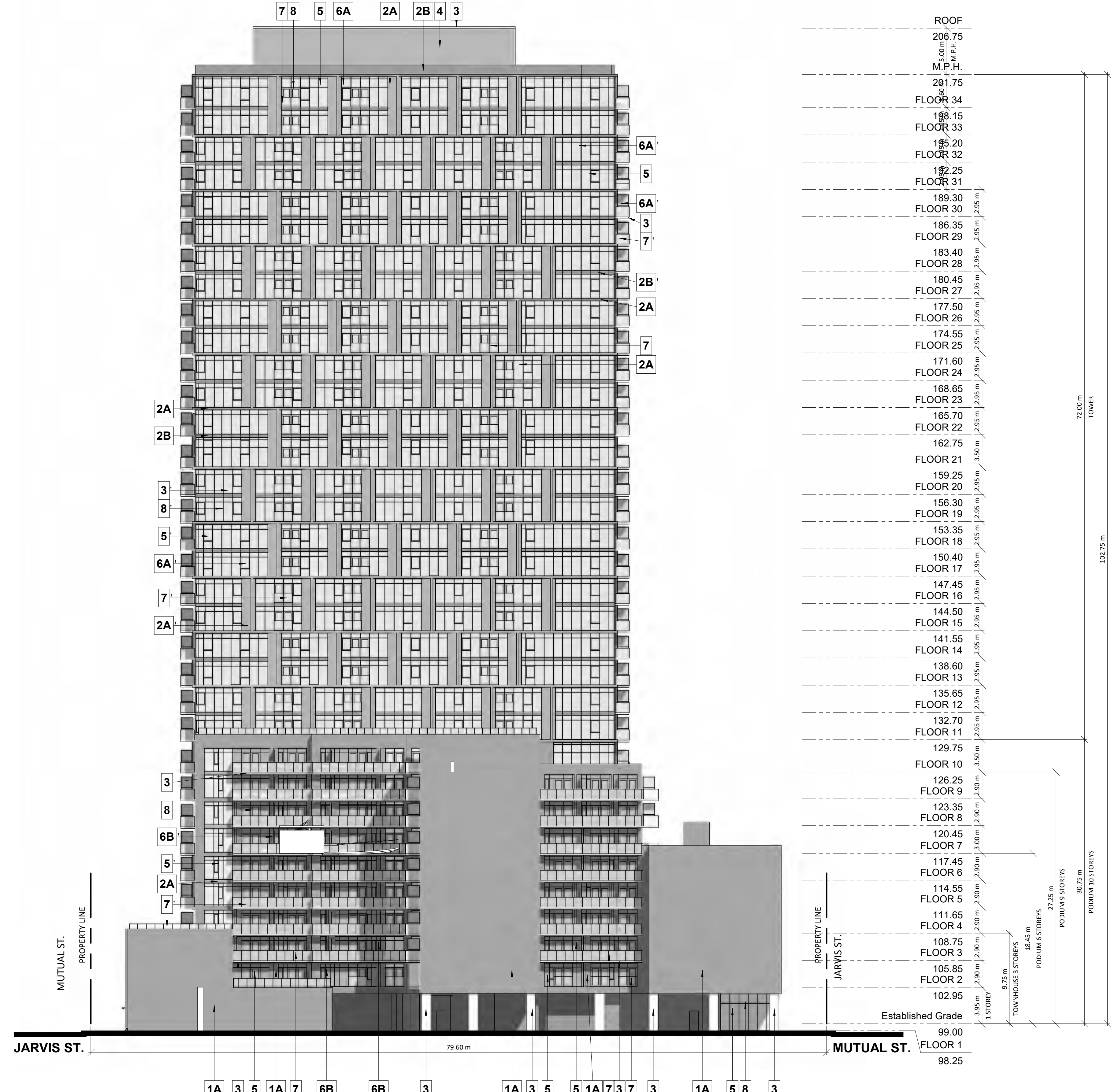
This drawing, as an instrument of service, is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be copied, reproduced, or used for any other purpose without the written consent of Turner Fleischer Architects Inc. Information shown on this drawing refers to the appropriate consultant's drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of authority having jurisdiction. The contractor working from drawings not specifically marked for Construction must assume full responsibility and bear costs for any corrections or damages resulting from his work.

EXTERIOR FINISHES LEGEND

1A	BRICK - DARK RED (ROSE)
1B	BRICK - GREY
2A	METAL PANEL - PURPLE
2B	METAL PANEL - DARK GREY
3	PRECAST CONCRETE - WHITE
4	EIFS PANEL SANDBLASTED - DARK GREY
5	CLEAR GLAZING
6A	SPANDREL GLASS - LIGHT GREY
6B	SPANDREL GLASS - DARK RED
7	FROSTED RAILING GLASS - WHITE
8	ALUMINIUM WINDOW FRAME - DARK GREY



1 WEST ELEVATION S
1:250



2 SOUTH ELEVATION
1:250

#	DATE	DESCRIPTION	BY
1	2019-06-14	ISSUED FOR SPA	AYU



PROJECT
308-314 Jarvis Street & 225 Mutual Street
Toronto, Ontario, Canada

ELEVATIONS

PROJECT NO.	18.189CS
PROJECT DATE	2019-04-09
DRAWN BY	MDL
CHECKED BY	AYU
SCALE	1:250



DRAWING NO. SPA302 #

This drawing, as an instrument of service, is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be copied, reproduced, or used for any other purpose without the written consent of Turner Fleischer Architects Inc. Information shown on this drawing refers to the appropriate consultant's drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of applicable governing jurisdiction. The contractor working from drawings not specifically marked 'For Construction' must assume full responsibility and bear costs for any corrections or damages resulting from his work.

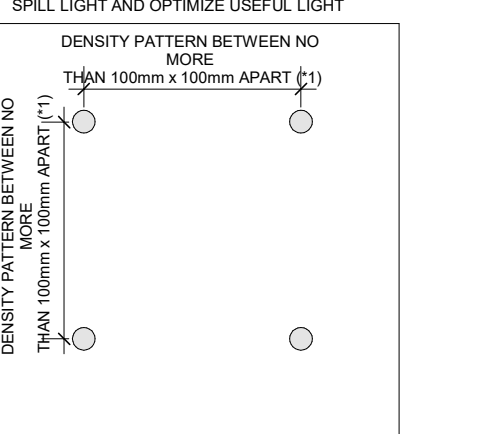
EXTERIOR FINISHES LEGEND

1A	BRICK - DARK RED (ROSE)
1B*	CONCRETE
2A	METAL PANEL - PURPLE
2B	METAL PANEL - DARK GREY
3	PRECAST CONCRETE - WHITE
4	EIFS PANEL SANDBLASTED - DARK GREY
5	CLEAR GLAZING
6A	SPANDREL GLASS - LIGHT GREY
6B	SPANDREL GLASS - DARK RED
7	FROSTED RAILING GLASS - WHITE
8	ALUMINIUM WINDOW FRAME - DARK GREY

GENERAL NOTES IN ACCORDANCE WITH THE BIRD-FRIENDLY DEVELOPMENT GUIDELINES (FIRST 12 METERS ABOVE GRADE AND 4 METERS ABOVE GREEN FEATURE):

PROVISION OF VISUAL MARKERS TO ALERT BIRDS WILL BE PROVIDED. METHODS OF ACHIEVING THIS ARE AS FOLLOWS:
 - VISUAL MARKERS APPLIED TO GLASS WITH A MAXIMUM SPACING OF 100mm x 100mm
 - LOW REFLECTANCE OR OPAQUE MATERIALS
 - BUILDING-INTEGRATED STRUCTURES TO MUTE REFLECTIONS ON GLASS SURFACES

REDUCTION OF LIGHT POLLUTION
 - REDUCTION OF LIGHT POLLUTION FROM INTERIOR LIGHTS, PARTICULARLY DURING MIGRATION PERIODS
 - SELECTION OF APPROPRIATE EXTERNAL LIGHTING FIXTURES TO ELIMINATE DIRECT UPWARDS LIGHT, SKILL LIGHT AND OPTIMIZE USEFUL LIGHT



DETAIL NOTES:
 1. FRITTED GLASS WILL BE TREATED WITH A DENSITY PATTERN OF VISUAL MARKERS NO MORE THAN 100mm x 100mm APART FOR THE FIRST 12M ABOVE GRADE. (TORONTO GREEN STANDARD E6.1)

EXTENT OF BIRD FRIENDLY TREATMENT



FLOOR 7 117.45*
2.90 m
3
FLOOR 6 114.55
2.90 m
6A
8
5
7
FLOOR 5 111.65
2.90 m
2A
FLOOR 4 108.75
2.90 m
FLOOR 3 105.85
2.90 m
FLOOR 2 102.95
3.05 m
Established Grade 99.00
FLOOR 1 98.25

PROPERTY LINE ()
2B 5 1A 7 2B 5 2B 5
JARVIS ST. LOBBY ENTRY

1 EAST ELEVATION 1-50
1:50

1	2019-06-14	ISSUED FOR SPA	AYU
#	DATE	DESCRIPTION	BY



PROJECT
308-314 Jarvis Street & 225 Mutual Street
 Toronto, Ontario, Canada

DRAWING
1 TO 50 ELEVATIONS

PROJECT NO.	18.189CS
PROJECT DATE	2019-04-09
DRAWN BY	MDL
CHECKED BY	AYU
SCALE	As indicated



DRAWING NO.
SPA311 *

This drawing, as an instrument of service, is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be copied, reproduced, or used for any other purpose without the written consent of Turner Fleischer Architects Inc. Information shown on this drawing refers to the appropriate consultant's drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of applicable governing jurisdiction. The contractor working from drawings not specifically marked for construction must assume full responsibility and bear costs for any corrections or damages resulting from his work.

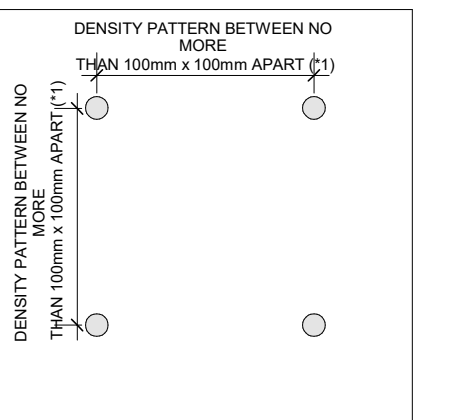
EXTERIOR FINISHES LEGEND

1A	BRICK - DARK RED (ROSE)
1B	CONCRETE
2A	METAL PANEL - PURPLE
2B	METAL PANEL - DARK GREY
3	PRECAST CONCRETE - WHITE
4 *	EIFS PANEL SANDBLASTED - DARK GREY
5	CLEAR GLAZING
6A	SPANDREL GLASS - LIGHT GREY
6B	SPANDREL GLASS - DARK RED
7	FROSTED RAILING GLASS - WHITE
8	ALUMINIUM WINDOW FRAME - DARK GREY

GENERAL NOTES IN ACCORDANCE WITH THE BIRD-FRIENDLY DEVELOPMENT GUIDELINES (FIRST 12 METERS ABOVE GRADE AND 4 METERS ABOVE GREEN FEATURE):

PROVISION OF VISUAL MARKERS
VISUAL MARKERS TO ALERT BIRDS WILL BE PROVIDED. METHODS OF ACHIEVING THIS ARE AS FOLLOWS:
- VISUAL MARKERS APPLIED TO GLASS WITH A SPACING OF 100mm x 100mm
- LOW REFLECTANCE OR OPAQUE MATERIALS
- BUILDING-INTEGRATED STRUCTURES TO MUTE REFLECTIONS ON GLASS SURFACES

REDUCTION OF LIGHT POLLUTION
- REDUCTION OF LIGHT POLLUTION FROM INTERIOR LIGHTS, PARTICULARLY DURING MIGRATION PERIODS
- SELECTION OF APPROPRIATE EXTERNAL LIGHTING FIXTURES TO ELIMINATE DIRECT UPWARDS LIGHT, SPILL LIGHT AND OPTIMIZE USEFUL LIGHT



REDUCE
1. *FRITTED GLASS WILL BE TREATED WITH A DENSITY PATTERN OF VISUAL MARKERS NO MORE THAN 100mm x 100mm APART FOR THE FIRST 12M ABOVE GRADE. (TORONTO GREEN STANDARD EC4.1)



1 WEST ELEVATION 1-50
1:50

1	2019-06-14	ISSUED FOR SPA	AYU
#	DATE	DESCRIPTION	BY



PROJECT
308-314 Jarvis Street & 225 Mutual Street
Toronto, Ontario, Canada

DRAWING
1 TO 50 ELEVATIONS

PROJECT NO.	18.189CS
PROJECT DATE	2019-04-09
DRAWN BY	MDL
CHECKED BY	AYU
SCALE	As indicated



DRAWING NO.
SPA312 *

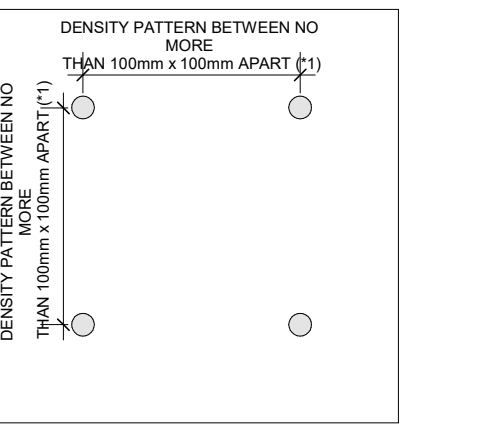
This drawing, as an instrument of service, is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be copied, reproduced, or used for any other purpose without the written consent of Turner Fleischer Architects Inc. The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of authority having jurisdiction. The contractor working from drawings not specifically marked 'For Construction' must assume full responsibility and bear costs for any corrections or damages resulting from his work.

EXTERIOR FINISHES LEGEND

1A	BRICK - DARK RED (ROSE)
1B	CONCRETE
2A	METAL PANEL - PURPLE
2B	METAL PANEL - DARK GREY
3	PRECAST CONCRETE - WHITE
4	EIFS PANEL SANDBLASTED - DARK GREY
5*	CLEAR GLAZING
6A	SPANDREL GLASS - LIGHT GREY
6B	SPANDREL GLASS - DARK RED
7	FROSTED RAILING GLASS - WHITE
8	ALUMINIUM WINDOW FRAME - DARK GREY

GENERAL NOTES IN ACCORDANCE WITH THE BIRD-FRIENDLY DEVELOPMENT GUIDELINES (FIRST 12 METERS ABOVE GRADE AND 4 METERS ABOVE GREEN FEATURE):

- PROVISION OF VISUAL MARKERS
VISUAL MARKERS TO ALERT BIRDS WILL BE PROVIDED. METHODS OF ACHIEVING THIS ARE AS FOLLOWS:
- VISUAL MARKERS APPLIED TO GLASS WITH A MAXIMUM SPACING OF 100mm x 100mm
 - LOW REFLECTANCE OR OPAQUE MATERIALS
 - BUILDING-INTEGRATED STRUCTURES TO MUTE REFLECTANCE ON GLASS SURFACES
- REDUCTION OF LIGHT POLLUTION
- REDUCTION OF LIGHT POLLUTION FROM INTERIOR PARTICULARLY DURING MIGRATION PERIODS
- SELECTION OF APPROPRIATE EXTERNAL LIGHTING FIXTURES TO ELIMINATE DIRECT UPWARDS LIGHT, SPILL LIGHT AND OPTIMIZE USEFUL LIGHT
- REDUCE



DETAIL NOTES:

1. FINISHED GLASS WILL BE TREATED WITH A DENSITY PATTERN OF VISUAL MARKERS NO MORE THAN 100mm x 100mm APART FOR THE FIRST 12M ABOVE GRADE. (TORONTO GREEN STANDARD EC4.1)



EXTENT OF BIRD FRIENDLY TREATMENT

1	2019-06-14	ISSUED FOR SPA	AYU
#	DATE	DESCRIPTION	BY



PROJECT
308-314 Jarvis Street & 225 Mutual Street
Toronto, Ontario, Canada

DRAWING
1 TO 50 ELEVATIONS

PROJECT NO.	18.189CS
PROJECT DATE	2019-04-09
DRAWN BY	MDL
CHECKED BY	AYU
SCALE	As indicated



DRAWING NO.
SPA313*

1 SOUTH ELEVATION 1-50
1:50

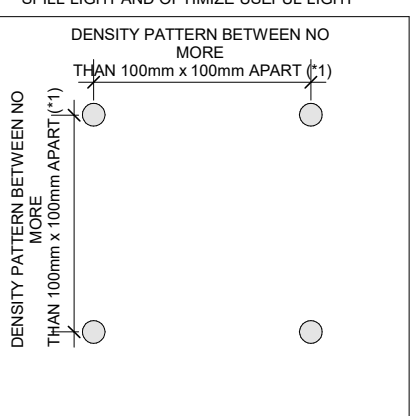
This drawing, as an instrument of service, is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be copied, reproduced, or otherwise used without the written consent of Turner Fleischer Architects Inc. Information shown on this drawing, refer to the appropriate consultant's drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of applicable governing jurisdiction. The contractor working from drawings not specifically marked 'For Construction' must assume full responsibility and bear costs for any corrections or damages resulting from his work.

EXTERIOR FINISHES LEGEND

1A	BRICK - DARK RED (ROSE)
1B	CONCRETE
2A	METAL PANEL - PURPLE
2B	METAL PANEL - DARK GREY
3	PRECAST CONCRETE - WHITE
4	EIFS PANEL SANDBLASTED - DARK GREY
5	CLEAR GLAZING
6A	SPANDREL GLASS - LIGHT GREY
6B	SPANDREL GLASS - DARK RED
7	FROSTED RAILING GLASS - WHITE
8	ALUMINIUM WINDOW FRAME - DARK GREY

GENERAL NOTES IN ACCORDANCE WITH THE BIRD-FRIENDLY DEVELOPMENT GUIDELINES (FIRST 12 METERS ABOVE GRADE AND 4 METERS ABOVE GREEN FEATURE):

- PROVISION OF VISUAL MARKERS
VISUAL MARKERS TO ALERT BIRDS WILL BE PROVIDED. METHODS OF ACHIEVING THIS ARE AS FOLLOWS:
- VISUAL MARKERS APPLIED TO GLASS WITH A MAXIMUM SPACING OF 100mm x 100mm
- LOW REFLECTANCE OR OPAQUE MATERIALS
- BUILDING-INTEGRATED STRUCTURES TO MUTE REFLECTIONS ON GLASS SURFACES
- REDUCTION OF LIGHT POLLUTION
- REDUCTION OF LIGHT POLLUTION FROM INTERIOR LIGHTS, PARTICULARLY DURING MIGRATION PERIODS
- SELECTION OF APPROPRIATE EXTERNAL LIGHTING FIXTURES TO ELIMINATE DIRECT UPWARDS LIGHT, SPILL LIGHT AND OPTIMIZE USEFUL LIGHT
- REDUCE



DETAIL NOTES:

- 1 - FRITTED GLASS WILL BE TREATED WITH A DENSITY PATTERN OF VISUAL MARKERS NO MORE THAN 100mm x 100mm APART FOR THE FIRST 12M ABOVE GRADE. (TORONTO GREEN STANDARD EC4.1)



EXTENT OF BIRD FRIENDLY TREATMENT

1	2019-06-14	ISSUED FOR SPA	AYU
#	DATE	DESCRIPTION	BY



PROJECT
308-314 Jarvis Street & 225 Mutual Street
Toronto, Ontario, Canada

DRAWING
1 TO 50 ELEVATIONS

PROJECT NO.	18.189CS
PROJECT DATE	2019-04-09
DRAWN BY	MDL
CHECKED BY	AYU
SCALE	As indicated



DRAWING NO.
SPA314 *

1 NORTH ELEVATION 1-50
1:50

308-314 JARVIS STREET & 255 MUTUAL STREET BIRD FRIENDLY DIAGRAM

1. Solid / Opaque Surfaces (
On the NORTH ELEVATION, 832.8m² is located within the bird-friendly zone. Of this total surface area, 481.0m² or 58% are opaque surfaces such as precast, brick, metal panel, and aluminum. (

On the SOUTH ELEVATION, 886.2m² is located within the bird-friendly zone. Of this total surface area, 682.4m² or 77% are opaque surfaces such as precast, brick, metal panel, and aluminum.

On the EAST ELEVATION, 484.1m² is located within the bird-friendly zone. Of this total surface area, 208.5m² or 43% are opaque surfaces such as precast, brick, metal panel, and aluminum. (

On the WEST ELEVATION, 506.6 is located within the bird-friendly zone. Of this total surface area, 318.2 or 63% are opaque surfaces such as precast, brick, metal panel, and aluminum.

2. Glass
On the NORTH ELEVATION, 351.8m² of glazed surfaces is located within the bird friendly zone. Of these glazed surfaces 9% is shaded from balcony and canopy overhangs, 0% is spandrel glass, 90% is vision glass with a frit pattern and 0% is vision glass with no treatment. As such, 0% of all glazed surfaces are left untreated.

On the SOUTH ELEVATION, 203.9m² of glazed surfaces is located within the bird friendly zone. Of these glazed surfaces 40% is shaded from balcony and canopy overhangs, 1% is spandrel glass, 58% is vision glass with a frit pattern and 0% is vision glass with no treatment. As such, 0% of all glazed surfaces are left untreated.

On the EAST ELEVATION, 275.6m² of glazed surfaces is located within the bird friendly zone. Of these glazed surfaces 11% is shaded from balcony and canopy overhangs, 1% is spandrel glass, 87% is vision glass with a frit pattern and 0% is vision glass with no treatment. As such, 0% of all glazed surfaces are left untreated. (

On the WEST ELEVATION, 188.4m² of glazed surfaces is located within the bird friendly zone. Of these glazed surfaces 19% is shaded from balcony and canopy overhangs, 0% is spandrel glass, 81% is vision glass with a frit pattern and 0% is vision glass with no treatment. As such, 0% of all glazed surfaces are left untreated.

A breakdown of these areas are shown below: (

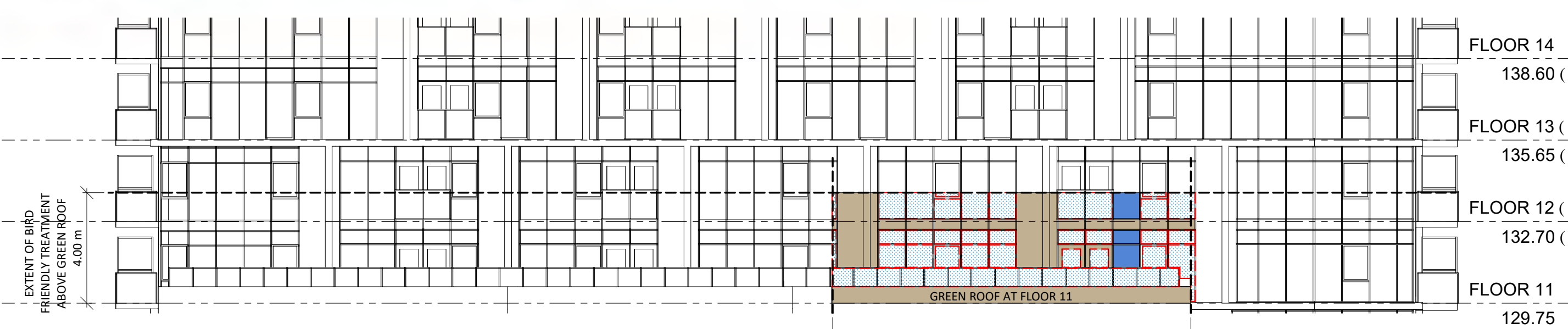
Frit with a pattern which meets the requirements of the City of Toronto 'Bird Friendly Guidelines' will be used.

SURFACE	AREA (m ²)	% OF TOTAL VERTICAL	% FOR TREATMENTS OF GLAZED SURFACES
OPAQUE SURFACES - PRECAST/METAL PANEL/ALUMINUM	477.2	57%	N/A
GLAZED SURFACES WITH FRIT PATTERN	321.8	39%	91%
GLAZED SURFACES WITH SHADING	30.7	4%	9%
GLAZED SURFACES - SPANDREL GLASS	1.7	0%	0%
GLAZED SURFACES (UNTREATED)	0.0	0%	0%
TOTAL	831.4	100%	100%
TOTAL GLAZED SURFACES	354.1		

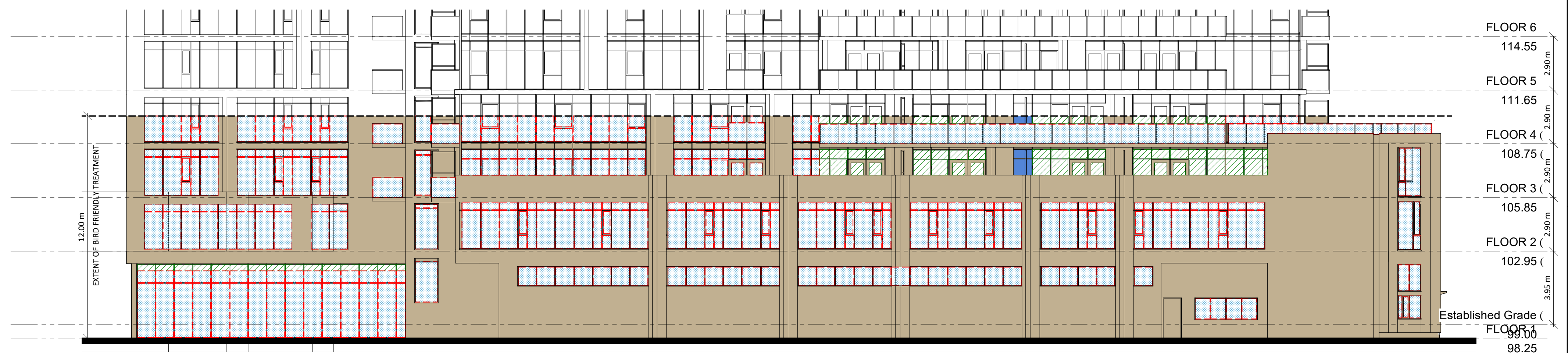
SURFACE	AREA (m ²)	% OF TOTAL VERTICAL	% FOR TREATMENTS OF GLAZED SURFACES
OPAQUE SURFACES - PRECAST/METAL PANEL/ALUMINUM	681.1	77%	N/A
GLAZED SURFACES WITH FRIT PATTERN	122.8	14%	60%
GLAZED SURFACES WITH SHADING	80.2	9%	39%
GLAZED SURFACES - SPANDREL GLASS	2.5	0%	1%
GLAZED SURFACES (UNTREATED)	0.0	0%	0%
TOTAL	886.5	100%	100%
TOTAL GLAZED SURFACES	205.5		

SURFACE	AREA (m ²)	% OF TOTAL VERTICAL	% FOR TREATMENTS OF GLAZED SURFACES
OPAQUE SURFACES - PRECAST/METAL PANEL/ALUMINUM	217.8	45%	N/A
GLAZED SURFACES WITH FRIT PATTERN	231.6	48%	86%
GLAZED SURFACES WITH SHADING	33.2	7%	12%
GLAZED SURFACES - SPANDREL GLASS	3.4	1%	1%
GLAZED SURFACES (UNTREATED)	0.0	0%	0%
TOTAL	485.8	100%	100%
TOTAL GLAZED SURFACES	268.2		

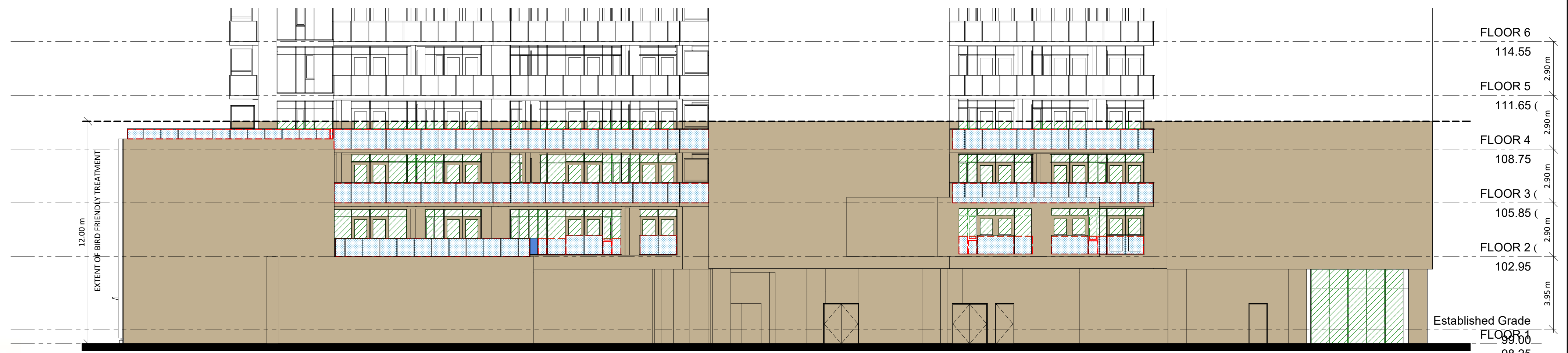
SURFACE	AREA (m ²)	% OF TOTAL VERTICAL	% FOR TREATMENTS OF GLAZED SURFACES
OPAQUE SURFACES - PRECAST/METAL PANEL/ALUMINUM	330.7	64%	N/A
GLAZED SURFACES WITH FRIT PATTERN	153.4	29%	81%
GLAZED SURFACES WITH SHADING	36.0	7%	19%
GLAZED SURFACES - SPANDREL GLASS	0.0	0%	0%
GLAZED SURFACES (UNTREATED)	0.0	0%	0%
TOTAL	520.1	100%	100%
TOTAL GLAZED SURFACES	189.5		



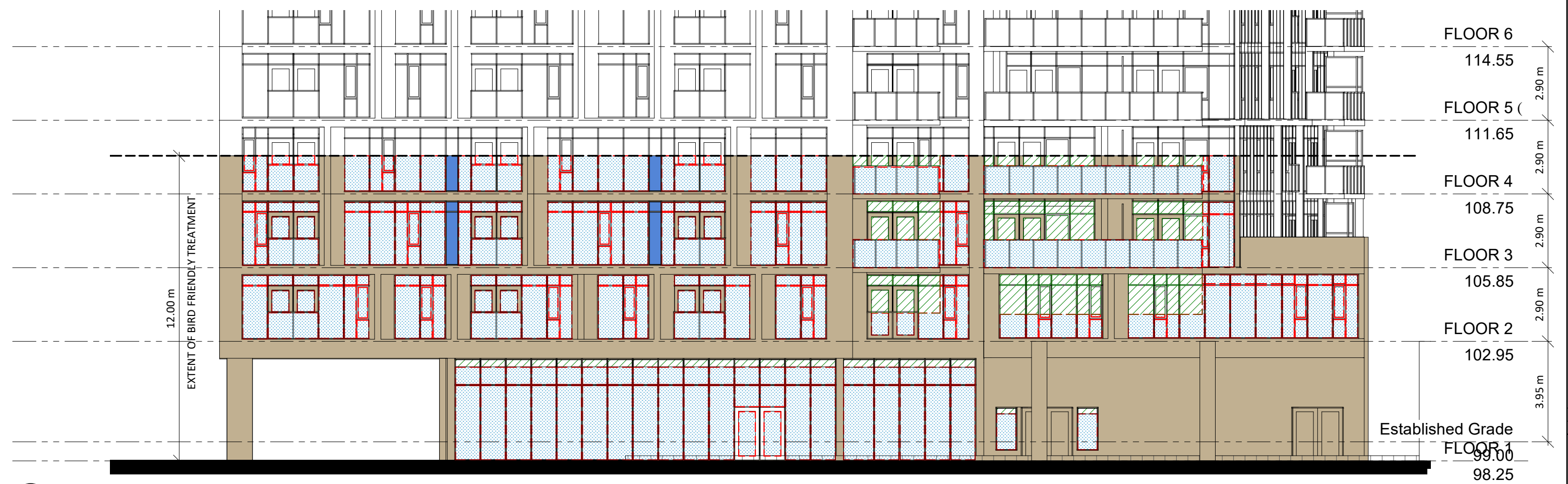
5 SOUTH ELEVATION - BFD (ABOVE GREEN ROOF)
1:150



1 NORTH ELEVATION - BFD
1:150



2 SOUTH ELEVATION - BFD
1:150



3 EAST ELEVATION - BFD
1:150



4 WEST ELEVATION - BFD
1:150

TURNER FLEISCHER

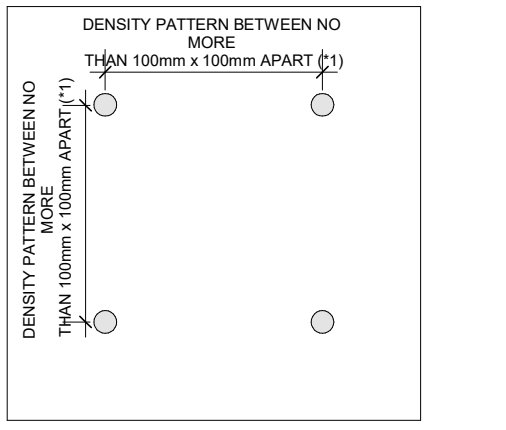
Turner Fleischer Architects Inc.
67 Leslie Road
Toronto, ON, M3B 2T8
416 425 2222
turnerfleischer.com

This drawing is an instrument of service, is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be used for any other project without the written consent of Turner Fleischer Architects Inc. Information shown on this drawing, refer to the appropriate consultant's drawings before proceeding with the work. Contractors must conform to all applicable codes and requirements of advertising, zoning, jurisdiction. The contractor working from drawings not specifically marked for construction must assume full responsibility and bear costs for any corrections or damages resulting from his work.

- GLAZED SURFACES TREATED WITH FRIT PATTERN AS PER THE FRIT PATTERN DETAIL
- GLAZED SURFACES SHADDED BY BALCONY AND CANOPY OVERHANGS
- GLAZED SURFACES - LOW REFLECTIVE SPANDREL PANEL WITH <15% REFLECTANCE
- GLAZED SURFACES - VISION GLASS (UNTREATED)
- OPAQUE SURFACES SUCH AS PRECAST, BRICK, METAL PANEL AND ALUMINUM

GENERAL NOTES IN ACCORDANCE WITH THE BIRD-FRIENDLY DEVELOPMENT GUIDELINES (FIRST 12 METERS ABOVE GRADE AND 4 METERS ABOVE GREEN FEATURE):

- PROVISION OF VISUAL MARKERS: VISUAL MARKERS TO ALERT BIRDS WILL BE PROVIDED. METHODS OF ACHIEVING THIS ARE AS FOLLOWS:
 - VISUAL MARKERS APPLIED TO GLASS WITH A MAXIMUM SPACING OF 100mm x 100mm
 - LOW REFLECTANCE ON OPAQUE MATERIALS
 - BUILDING-INTEGRATED STRUCTURES TO MUTE REFLECTIONS ON GLASS SURFACES
- REDUCTION OF LIGHT POLLUTION:
 - REDUCTION OF LIGHT POLLUTION FROM INTERIOR PARTICULARLY DURING MIGRATION PERIODS
 - SELECTION OF APPROPRIATE EXTERNAL LIGHTING FIXTURES TO ELIMINATE DIRECT UPWARDS LIGHT. SPILL LIGHT AND OPTIMIZE USEFUL LIGHT.
- DENSITY PATTERN BETWEEN NO MORE THAN 100mm x 100mm APART (1)



DETAIL NOTES:
1. FRITTED GLASS WILL BE TREATED WITH A DENSITY PATTERN OF VISUAL MARKERS NO MORE THAN 100mm x 100mm APART FOR THE FIRST 12M ABOVE GRADE. (TORONTO GREEN STANDARD ECK 1)

#	DATE	ISSUED FOR	DESCRIPTION	BY
1	2019-06-14	ISSUED FOR SPA		AYU



PROJECT
308-314 Jarvis Street & 225 Mutual Street
Toronto, Ontario, Canada

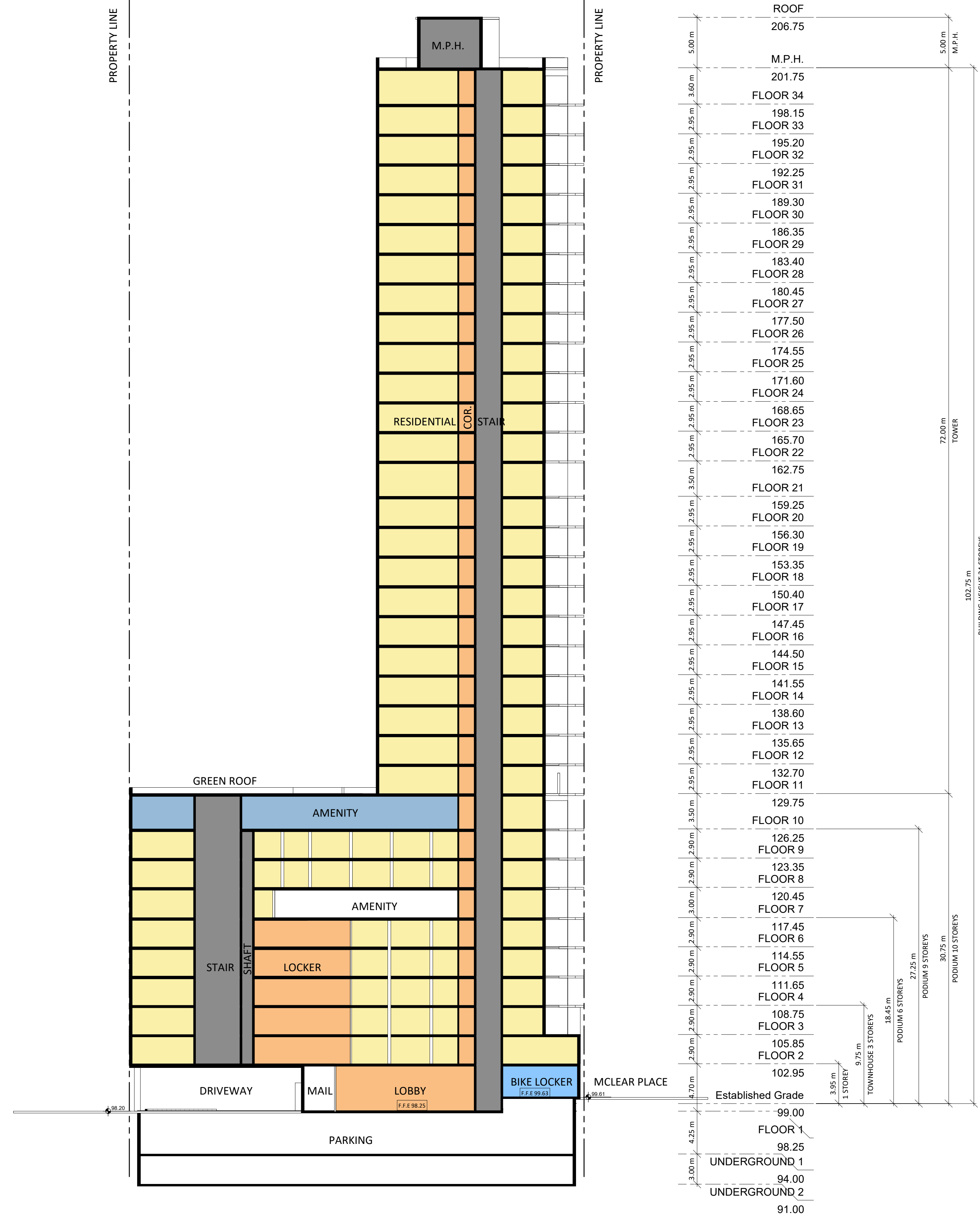
DRAWING
BIRD FRIENDLY ELEVATIONS

PROJECT NO.
18.189CS
PROJECT DATE
2019-04-09
DRAWN BY
MDL
CHECKED BY
AYU
SCALE
As indicated



DRAWING NO.
SPA321

This drawing, as an instrument of service, is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be copied, reproduced, or used for any other purpose without the written consent of Turner Fleischer Architects Inc. Information shown on this drawing refers to the appropriate consultant's drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of authority having jurisdiction. The contractor working from drawings not specifically marked for construction must assume full responsibility and bear costs for any corrections or damages resulting from his work.



#	DATE	DESCRIPTION	BY
1	2019-06-14	ISSUED FOR SPA	AYU



PROJECT
308-314 Jarvis Street & 225 Mutual Street
Toronto, Ontario, Canada

DRAWING
NORTH-SOUTH SECTION

PROJECT NO. 18-189CS	
PROJECT DATE 2019-04-09	
DRAWN BY MNZ	
CHECKED BY AYU	
SCALE 1 : 250	

DRAWING NO.
SPA401

This drawing, as an instrument of service, is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be copied, reproduced, or used for any other purpose without the written consent of Turner Fleischer Architects Inc. Information shown on this drawing refers to the appropriate consultant's drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked for construction must assume full responsibility and bear costs for any corrections or damages resulting from his work.



#	DATE	ISSUED FOR	DESCRIPTION	BY
1	2019-06-14	ISSUED FOR SPA		AYU



PROJECT
308-314 Jarvis Street & 225 Mutual Street
Toronto, Ontario, Canada

DRAWING
WEST-EAST SECTION

PROJECT NO.
18.189CS
PROJECT DATE
2019-04-09
DRAWN BY
MNZ
CHECKED BY
AYU
SCALE
1 : 250



DRAWING NO.
SPA402

This drawing, as an instrument of service, is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be copied, reproduced, or used for any other purpose without the written consent of Turner Fleischer Architects Inc. Information shown on this drawing refers to the appropriate consultant's drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked for Construction must assume full responsibility and bear costs for any corrections or damages resulting from his work.



PEDESTRIAN VIEW LOOKING NORTHWEST FROM ALLAN GARDENS

#	DATE	ISSUED FOR	DESCRIPTION	BY
1	2019-06-14	ISSUED FOR SPA		AYU



PROJECT
308-314 Jarvis Street & 225 Mutual Street
 Toronto, Ontario, Canada

DRAWING
3D PERSPECTIVES

PROJECT NO. 18.189CS	
PROJECT DATE 2019-04-09	
DRAWN BY LLE	
CHECKED BY AYU	
SCALE	

DRAWING NO.
SPA801



PEDESTRIAN VIEW LOOKING WEST FROM JARVIS ST.



PEDESTRIAN VIEW LOOKING SOUTHWEST FROM CARLTON ST. AND ALLAN GARDENS

TURNER FLEISCHER

Turner Fleischer Architects Inc.
 67 Lesmill Road
 Toronto, ON, M3B 2T8
 T 416 425 2222
 turnerfleischer.com

This drawing, as an instrument of service, is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be copied. The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked 'For Construction' must assume full responsibility and bear costs for any corrections or damages resulting from his work.

#	DATE	ISSUED FOR	DESCRIPTION	BY
1	2019-06-14	ISSUED FOR SPA		AYU



PROJECT
308-314 Jarvis Street & 225 Mutual Street
 Toronto, Ontario, Canada

DRAWING
3D PERSPECTIVES

PROJECT NO. 18.189CS	
PROJECT DATE 2019-04-09	
DRAWN BY MDL	
CHECKED BY AYU	
SCALE	

DRAWING NO.
SPA802



PEDESTRIAN VIEW LOOKING NORTHEAST FROM MUTUAL ST.



PEDESTRIAN VIEW LOOKING SOUTHEAST FROM MUTUAL ST. AND MCLEAR PL.

TURNER FLEISCHER

Turner Fleischer Architects Inc.
67 Lesmill Road
Toronto, ON, M3B 2T8
T 416 425 2222
turnerfleischer.com

This drawing, as an instrument of service, is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be copied, reproduced, or used for any other purpose without the written consent of Turner Fleischer Architects Inc. Information shown on this drawing refers to the appropriate consultant's drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked 'For Construction' must assume full responsibility and bear costs for any corrections or damages resulting from his work.

#	DATE	DESCRIPTION	BY
---	------	-------------	----



PROJECT
308-314 Jarvis Street & 225 Mutual Street
Toronto, Ontario, Canada

DRAWING
3D PERSPECTIVES

PROJECT NO. 18.189CS	
PROJECT DATE 2019-04-09	
DRAWN BY MDL	
CHECKED BY AYU	
SCALE	

DRAWING NO.
SPA803