

APPENDIX IV
Landscape Plan

TREE PLANTING NOTE:

HIGH QUALITY PLANTING SOIL TO THE FOLLOWING SPECIFICATION:

SANDY LOAM SOIL MIXTURE WITH A PH OF 7.5 OR LESS TO BE COMPRISED OF:

- 50 - 60% SAND
- 20 - 40% SILT
- 6 - 10% CLAY
- 2 - 5% ORGANIC MATTER

GRADING NOTE:

SEE ENGINEERING DRAWINGS FOR ALL GRADING INFORMATION AND ARCHITECT DRAWINGS FOR ALL WALL ELEVATIONS.

WATERING PROGRAM:

SEE MAINTENANCE SECTION IN SPECIFICATIONS ON SHEET D-1, WHICH CALLS FOR CONTRACTOR TO WATER FOR 4 GROWING MONTHS. THEN OWNER ASSUMES WATERING RESPONSIBILITY FOR THE REMAINING 20 MONTHS OF THE 2 YEAR TREE / SHRUB ESTABLISHMENT PERIOD BY PROVIDING WATERING AS REQUIRED, USING HOSE BIBS AT THE FRONT OF EACH UNIT.

MIGRATORY BIRD NOTE

PRIOR TO SITE DISTURBANCE THE OWNER MUST CONFIRM THAT NO MIGRATORY BIRDS ARE MAKING USE OF THE SITE FOR NESTING. THE OWNER MUST ENSURE THAT THE WORKS ARE IN CONFORMANCE WITH THE MIGRATORY BIRD CONVENTION ACT AND THAT NO MIGRATORY BIRD NESTS WILL BE IMPACTED BY THE PROPOSED WORK.

IRRIGATION DESIGN, SPECIFICATIONS AND IRRIGATION WATER RE-USE CALCULATIONS, IN PROGRESS

LANDSCAPE LIGHTING FIXTURE LAYOUT AND PHOTOMETRICS PLAN IN PROGRESS.

FOR ELECTRICAL INFORMATION REFER TO ENGINEERING DRAWINGS.

PAVING SPECIFICATIONS:

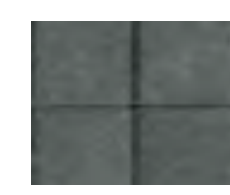
UNIT PAVING - TYPE 1

MANUFACTURE: UNILOCK
STYLE: SERIES
SIZE: T.B.D.
PATTERN: SQUARE CUT
MINERAL ICE GREY
[SRI VALUE] 55



UNIT PAVING - TYPE 2

MANUFACTURE: UNILOCK
STYLE: UMBRIANO
SIZE: T.B.D.
PATTERN: LINEAR
COLOUR: BLACK
[SRI VALUE] 15



CONCRETE PAVING - TYPE 1

FINISH: BROOM SWEEP
COLOUR: NATURAL CONCRETE
INSTRUCTION: NO TROWELLED BORDER.
[SRI VALUE] 24 MIN.

KEY PLAN



LEGEND

- PROPERTY LINE
- TREE PROTECTION HOARDING LIMITS PER ARBORIST REPORT
- EXISTING DECIDUOUS TREE TO REMAIN
- EXISTING TREE TO BE REMOVED (DECIDUOUS / CONIFEROUS)
- PROPOSED DECIDUOUS STREET TREE
- PROPOSED SHRUBS, PERENNIALS & ORNAMENTAL GRASS
- CONCRETE UNITE PAVER TYPE 1
- CONCRETE UNITE PAVER TYPE 2
- CONCRETE PAVING
- WOODEN FENCE

BASE INFORMATION OBTAINED ELECTRONICALLY FROM DIAMOND SCHMITT ARCHITECTS (PROJECT NO. 1613 - TEL.416.862.8800)

| no. | date | version | by |
|-----|-------------|--------------------------------|----|
| 3 | AUG 22 2019 | REISSUED FOR S.P.A NO.1 | RS |
| 2 | JUN 14 2019 | ISSUED FOR S.P.A NO.1 | RS |
| 1 | JUN 7 2019 | ISSUED FOR DRAFT SUBMISSION #1 | RS |

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MEMBER

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ASSOCIATES LIMITED
LANDSCAPE ARCHITECTS

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416.444.5208

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project
308-314 JARVIS STREET & 225 MUTUAL STREET
TORONTO, ONTARIO
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drawing
OVERALL GROUND LEVEL PLAN

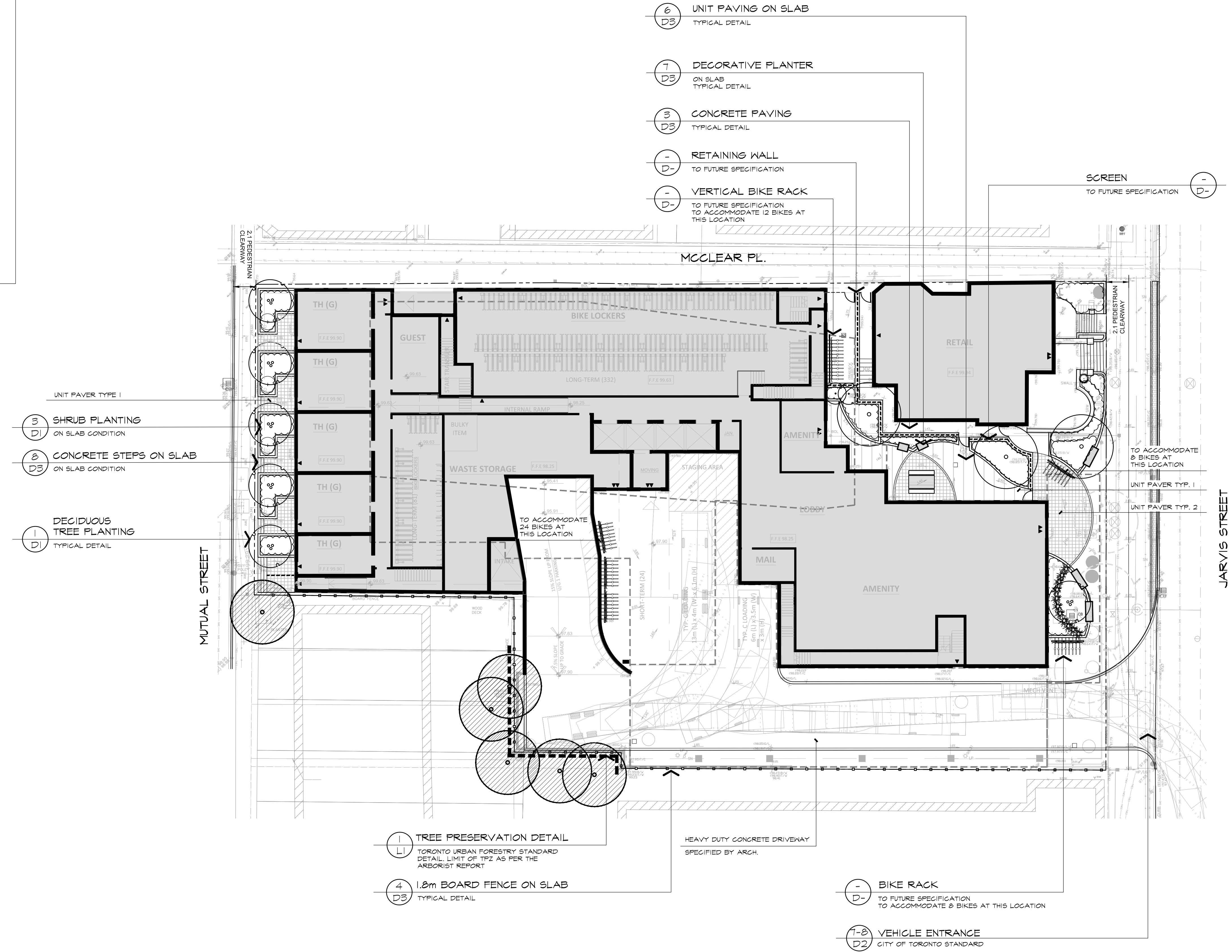
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|-----------|--------------|-------------|-------------------|
| date | MAY 30, 2019 | drawn | RS |
| scale* | 1:200 | file | 3298 L1 V3-190822 |
| direction | | project no. | 3298 |
| | | sheet no. | L-1 |



- Tree Protection Barriers**
- 1 Tree protection barriers must be a plywood or plastic web hoarding or equivalent as approved by Urban Forestry.
 - 2 Tree protection barriers for trees situated on the City road allowance where visibility must be maintained can be 1.2m (4ft) high and consist of orange plastic web snow fencing on a wood frame made of 2" x 4"s.
 - 3 Where some excavate or fill has to be temporarily located near a tree protection barrier, plywood must be used to ensure no material enters the Tree Protection Zone.
 - 4 All supports and bracing should be outside the Tree Protection Zone. All such supports should minimize damaging roots outside the Tree Protection Barrier.
 - 5 No construction activity, grade changes, surface treatment or excavations of any kind is permitted within the Tree Protection Zone.
 - 6 Sediment control fencing shall be installed in locations indicated in an Urban Forestry approved Tree Protection Plan. The sediment control fencing must be installed to Ontario Provincial Standards (OP80-215.115) and to the satisfaction of Urban Forestry.

Parks, Forestry and Recreation
Urban Forestry Sept 2008 **Detail TP-1**

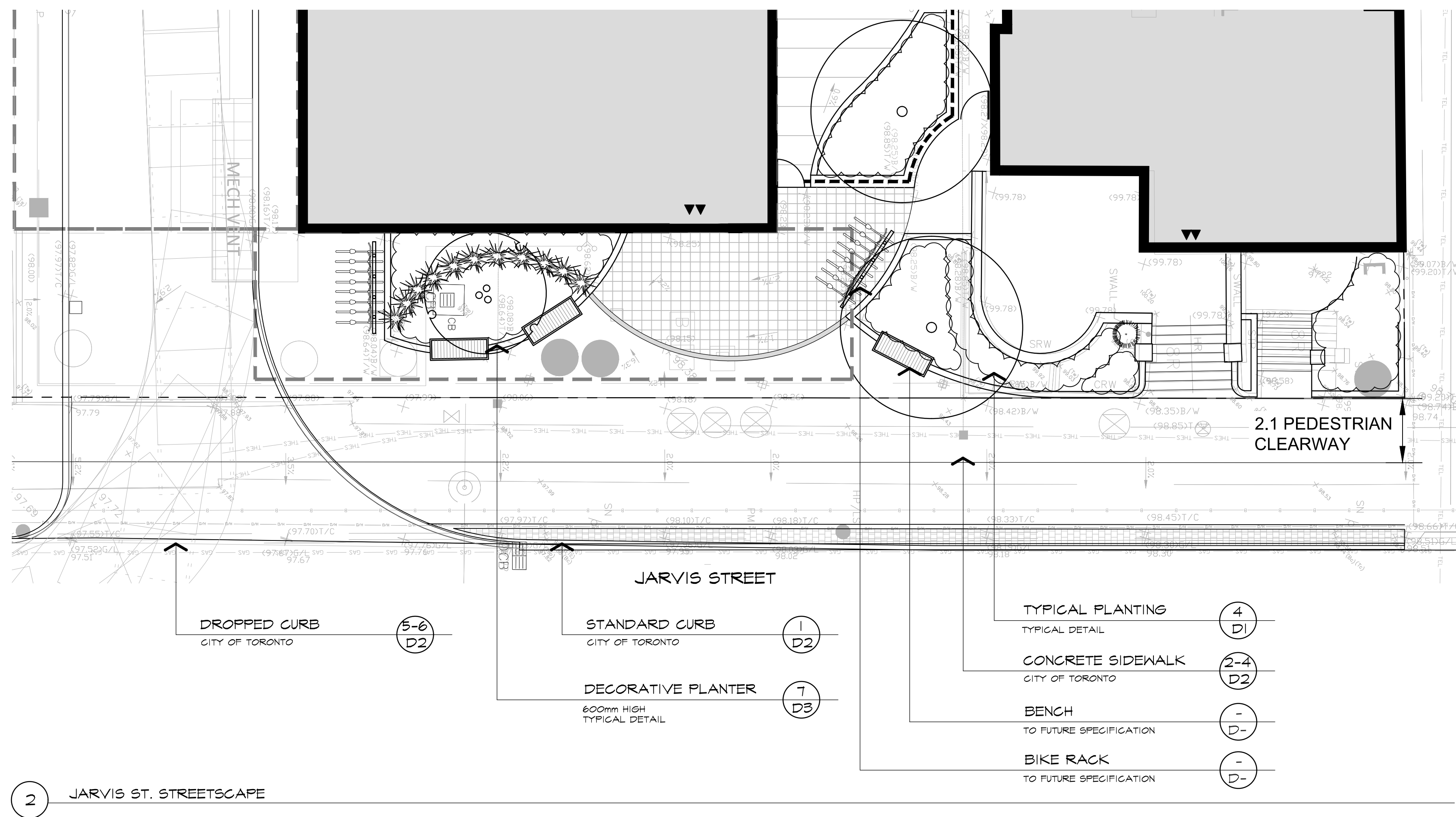
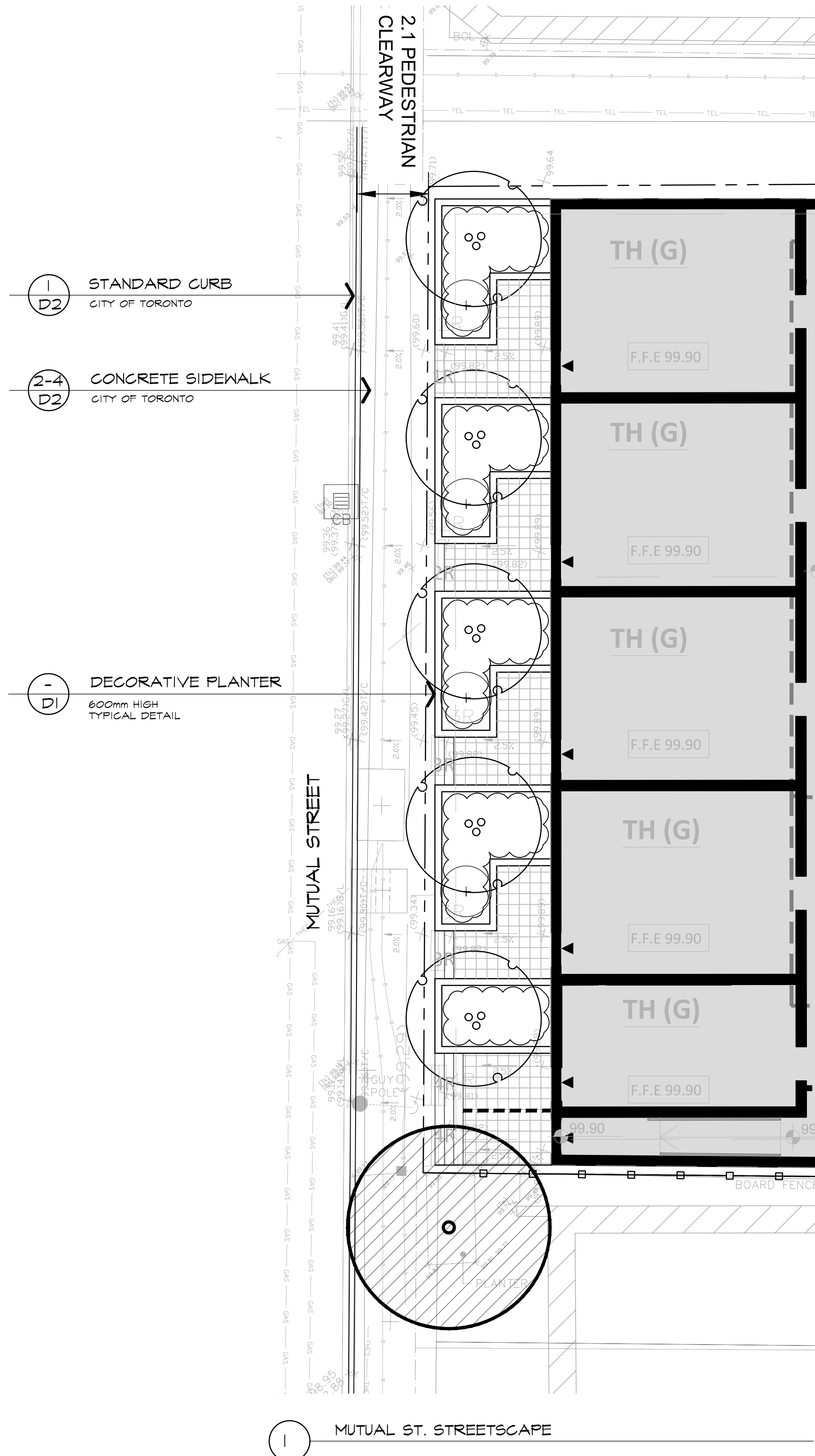
1 TREE PRESERVATION DETAIL
CITY OF TORONTO - URBAN FORESTRY



JARVIS STREET

MUTUAL STREET

*NOTED SCALE IS APPLICABLE ONLY WHEN PRINTED ON ARCH D (34"x36") SIZE SHEET



LEGEND

- PROPERTY LINE
- EXISTING DECIDUOUS TREE TO REMAIN
- PROPOSED DECIDUOUS STREET TREE
- PROPOSED SHRUBS, PERENNIALS & ORNAMENTAL GRASS
- CONCRETE UNITE PAVER TYPE 1
- CONCRETE UNITE PAVER TYPE 2
- CONCRETE PAVING
- WOODEN FENCE

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project
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TORONTO, ONTARIO
GRAYWOOD DEV.'S / ALTERRA GROUP

drawing
STREETSCAPE ENLARGEMENT PLANS

| | | | |
|-----------|--------------|-------------|-------------------|
| date | MAY 30, 2019 | drawn | RS |
| scale* | 1:100 | file | 3298 L2 V3-190822 |
| direction | | project no. | 3298 |
| | | sheet no. | L-2 |

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PAVING SPECIFICATIONS:

UNIT PAVING - TYPE 1

MANUFACTURE: UNILOCK
 STYLE: SERIES
 SIZE: T.B.D.
 PATTERN: SQUARE CUT
 MINERAL ICE GREY
 [SRI VALUE] 33



UNIT PAVING - TYPE 2

MANUFACTURE: UNILOCK
 STYLE: UBERIANO
 SIZE: T.B.D.
 PATTERN: LINEAR
 COLOUR: BLACK
 [SRI VALUE] 15



IRRIGATION DESIGN, SPECIFICATIONS AND IRRIGATION WATER RE-USE CALCULATIONS, IN PROGRESS

LANDSCAPE LIGHTING FIXTURE LAYOUT AND PHOTOMETRICS PLAN IN PROGRESS.

FOR ELECTRICAL INFORMATION REFER TO ENGINEERING DRAWINGS.

NOTE: TERRACES FURNISHINGS AND ACCESSORIES TO BE SPECIFIED AS PART OF TENDER PACKAGE

LEGEND

- PROPOSED DECIDUOUS TREE
- PROPOSED CONIFEROUS TREES
- PROPOSED SHRUBS, PERENNIALS & ORNAMENTAL GRASS
- PROPOSED SCREEN
- ARTIFICIAL TURF
- CONCRETE UNIT PAVER TYPE 1
- CONCRETE UNIT PAVER TYPE 2
- DECORATIVE PLANTER 1000mm HIGH
- DECORATIVE PLANTER 600mm HIGH

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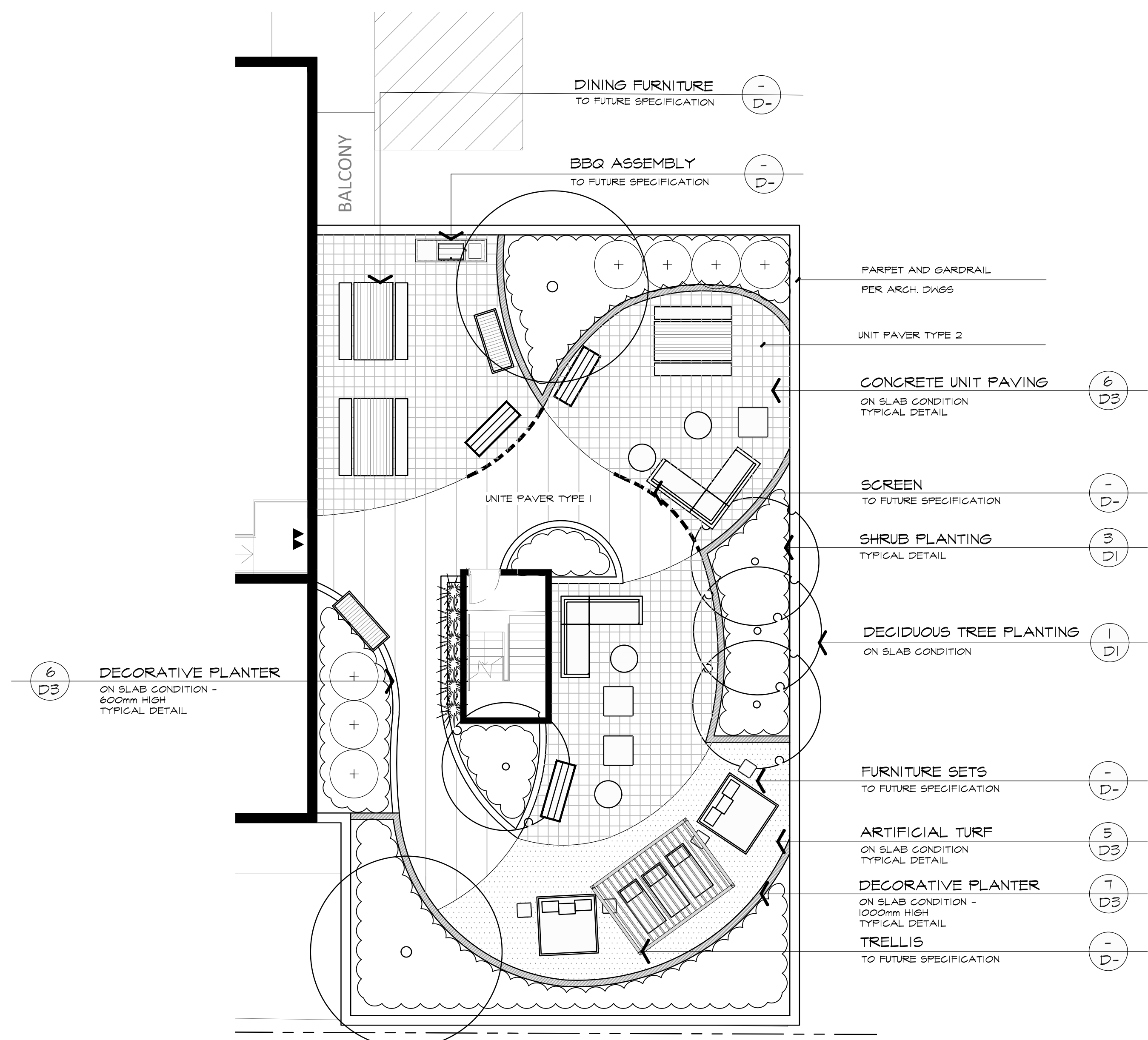
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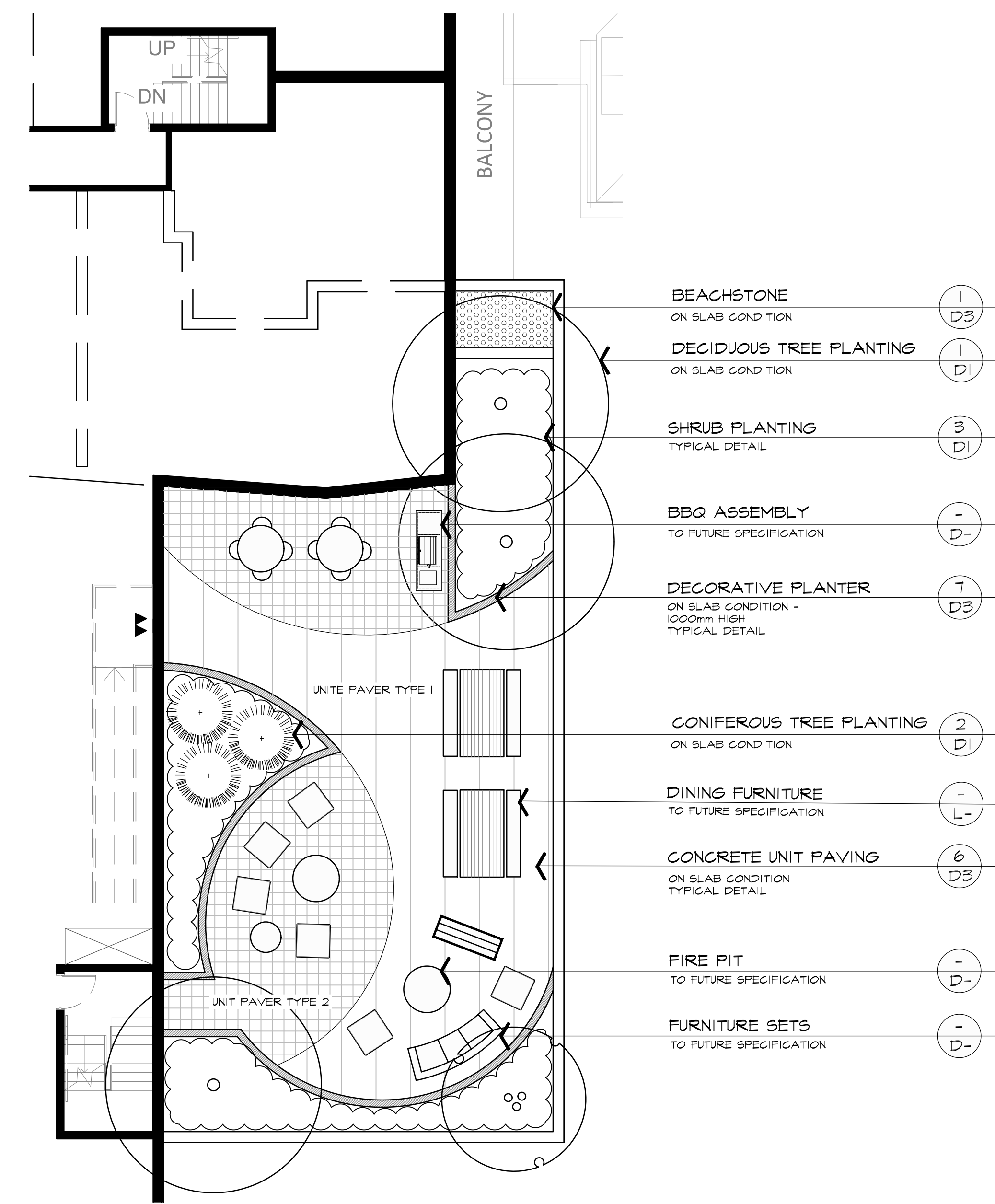
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1 7th FLOOR AMENITY TERRACE 1:100



2 10th FLOOR AMENITY TERRACE 1:100

project
308-314 JARVIS STREET & 225 MUTUAL STREET
 TORONTO, ONTARIO
 GRAYWOOD DEV.'S / ALTERRA GROUP

drawing
LANDSCAPE PLAN
7th & 10th FLOOR
AMENITY TERRACES

| | | | |
|-----------|--------------|-------------|-------------------|
| date | MAY 30, 2019 | drawn | RS |
| scale* | AS SHOWN | file | 3298 L3 V3-190822 |
| direction | | project no. | 3298 |
| | | sheet no. | L-3 |

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BIO-ROOF ECO-SYSTEM 4 ASSEMBLY (PRE-VEGETATED)
image provided by BIOROOF

GENERAL NOTES:

- GREEN ROOF INSTALLER TO ENSURE ANCHORAGE OF SYSTEM TO ROOF
- NO ACCESS TO TENANTS
- REFER TO ENGINEERING PLAN FOR ROOF DRAIN DETAILS AND SPECIFICATIONS
- GREENROOF SUPPLIER TO PROVIDE WIND UPLIFT REPORT AND MAINTENANCE PLAN
- GREEN ROOF TO COMPLY WITH THE REQUIREMENTS OF THE GREEN ROOF DESIGNER CHECKLIST AND CITY OF TORONTO BY-LAW NO. 503-2004
- FALL ARREST ANCHOR SYSTEM TO BE INSTALLED FOR OSHA AND CBC STANDARDS.

PRE-VEGETATED PERENNIAL MAT SPECIFICATIONS:

TOTAL GREEN ROOF AREA: 234.6m²

TYPE:

- BIOROOF, URBAN MEADOW MIX PRE-VEGETATED PERENNIAL MAT
- Anise Creeping Red Fescue
 - J-S Chewings Fescue
 - Ecostar Hard Fescue
 - Beebalm - Wild Bergamot
 - Mixed Columbine
 - Black Eyed Susan
 - Viola (mixed colours)
 - Purple Coneflower
 - Pale Purple Coneflower
 - Shasta Daisy



Green Roof Statistics

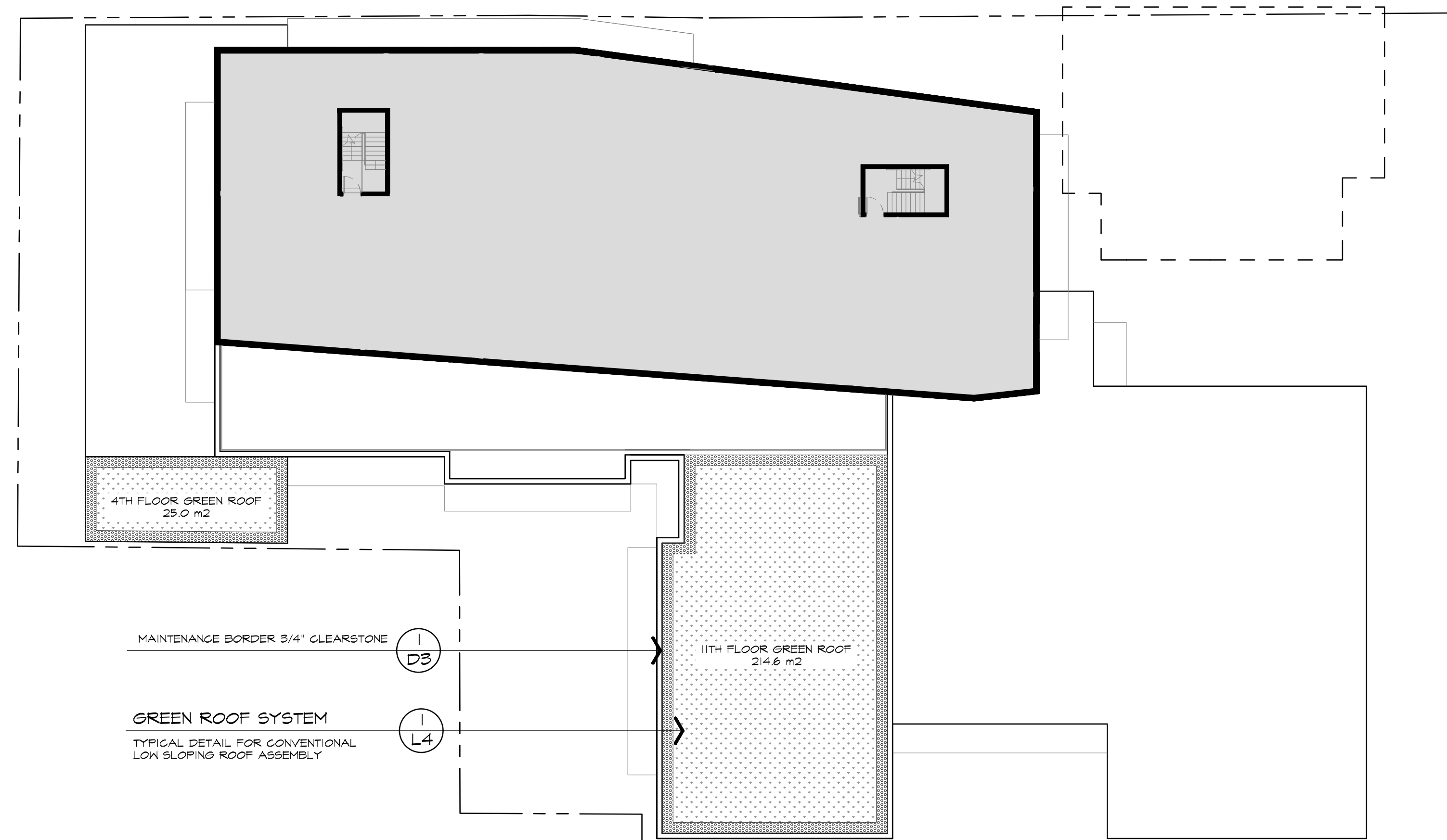
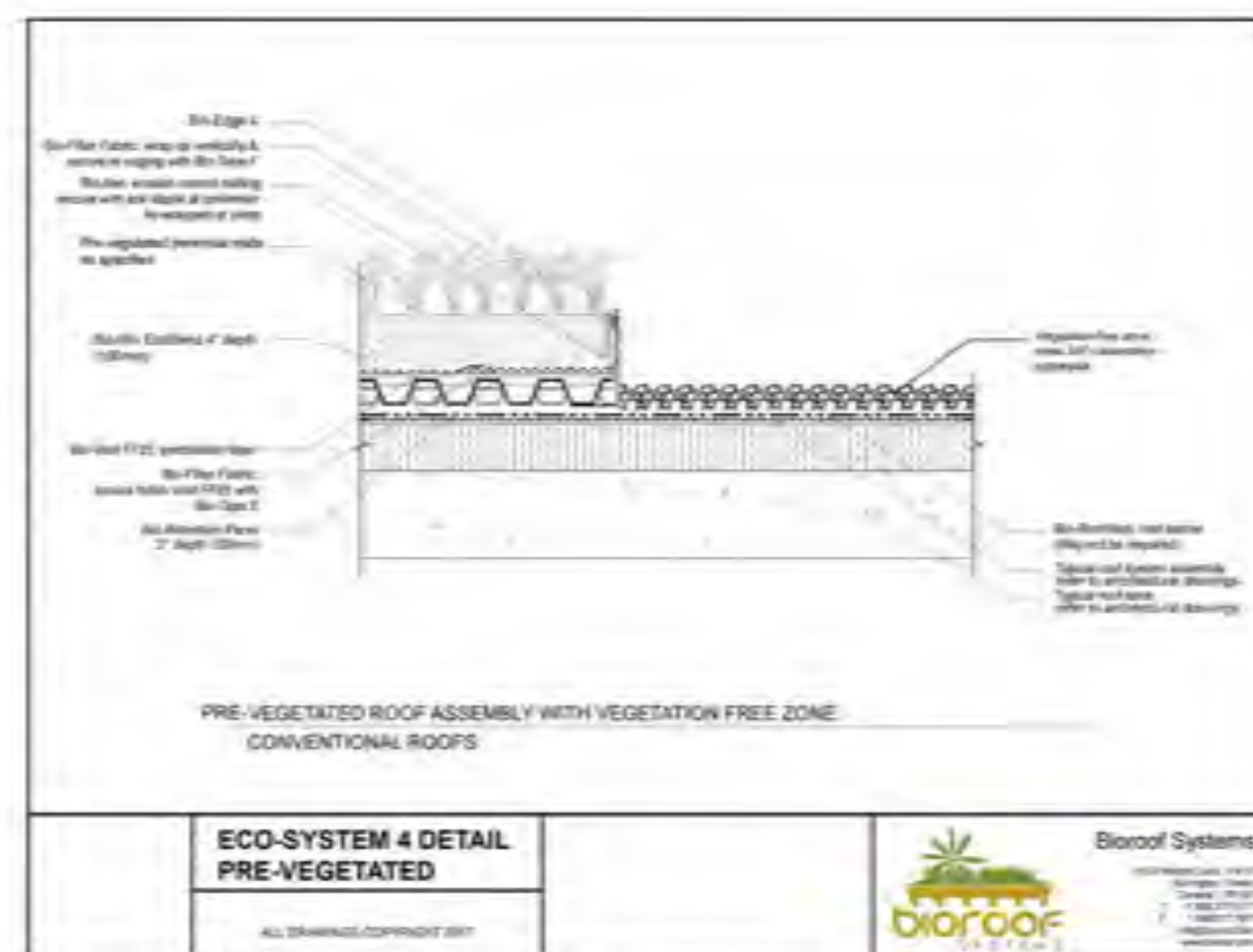
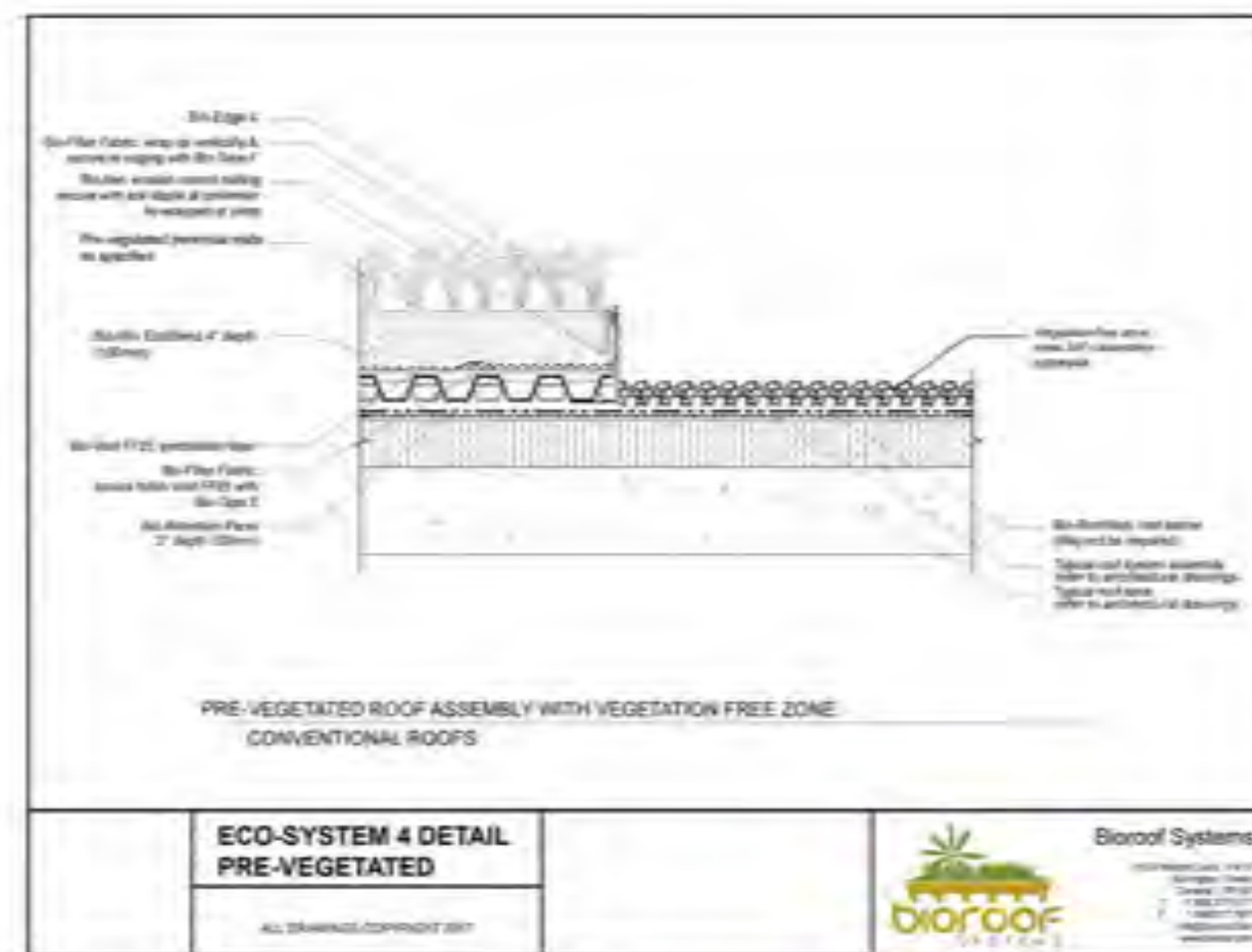
The Green Roof Statistics Template is required to be submitted for Site Plan Control Applications where a green roof is required under the Toronto Municipal Code Chapter 482, Green Roofs. Complete the table below and copy it directly onto the Roof Plan submitted as part of any Site Plan Control Application requiring a green roof in accordance with the By-law. Refer to Section 4.402.1 of the Municipal Code for a complete list of defined terms, and greater clarity and certainty regarding the intent and application of the terms included in the template. The Toronto Municipal Code Chapter 482, Green Roofs can be found online at: http://www.toronto.ca/bylaws/municipalcode/1184_482.pdf

Green Roof Statistics

| | Required | Provided |
|--|-----------------|-----------------|
| Gross Floor Area, as defined in Green Roof Bylaw (m ²) | 15,866.4 | 15,866.4 |
| Total Roof Area (m ²) | 2,400.0 | 2,400.0 |
| Area of Residential Private Terraces (m ²) | 484.5 | 484.5 |
| Roofing Outdoor Amenity Spaces, if in a Residential Building (m ²) | 484.5 | 484.5 |
| Area of Renewable Energy Devices (m ²) | | |
| Tower (s) Roof Area with floor joist less than 750 mm ² | 160.0 | 160.0 |
| Total Available Roof Space (m ²) | 160.0 | 160.0 |
| Green Roof Coverage | Required | Provided |
| Coverage of Available Roof Space (m ²) | 100% | 100% |
| Coverage of Available Roof Space (%) | 100% | 100% |

LEGEND

- GREEN ROOF - VEGETATED AREA
- 3/4" CLEAR STONE MAINTENANCE AREA



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drawing
ROOF PLAN GREEN ROOF & DETAIL

| | | | |
|--------|--------------|-------|-------------------|
| date | MAY 30, 2019 | drawn | RS |
| scale* | 1:200 | file | 3298 L4 V3-190822 |

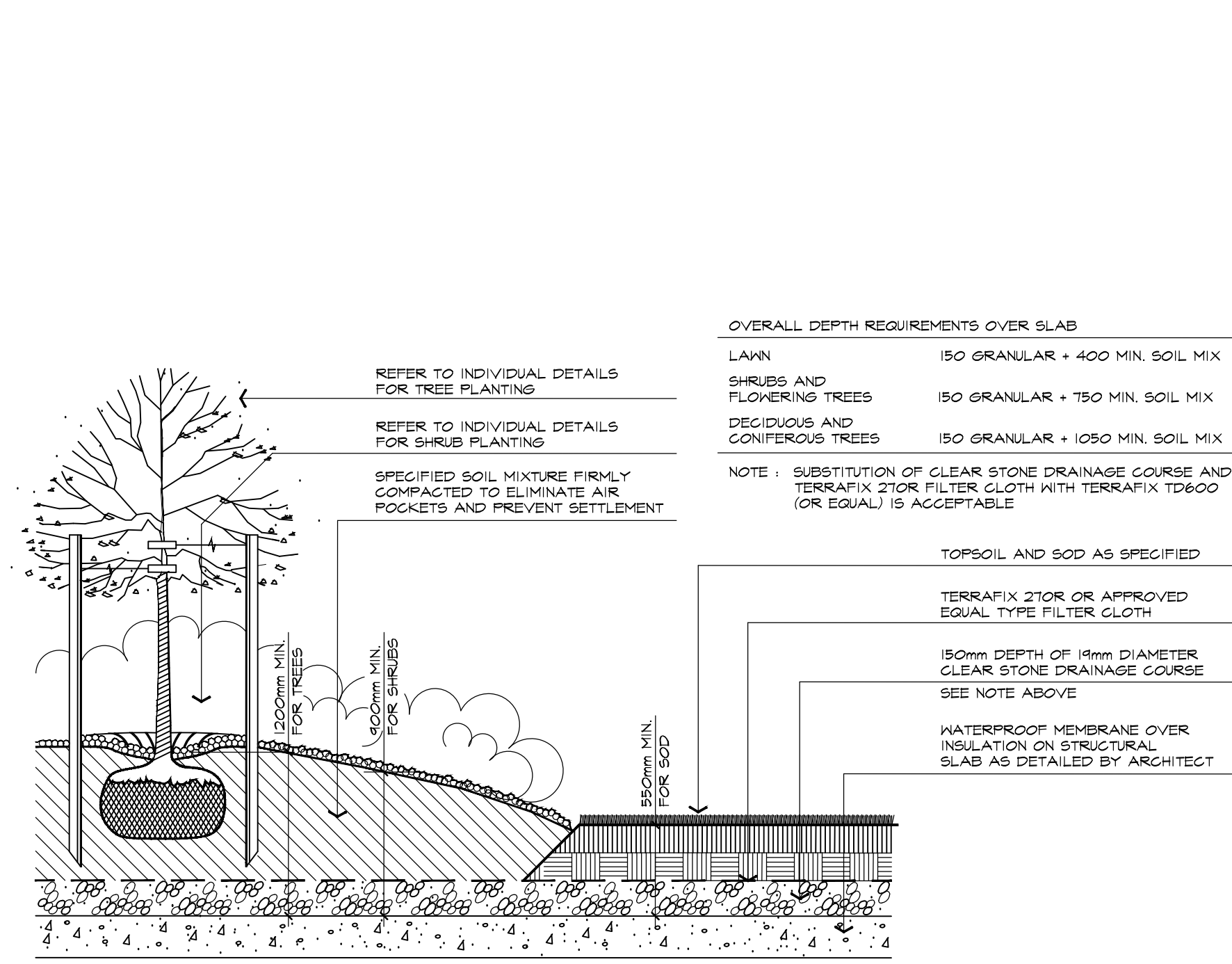
| | | | |
|-----------|--|-------------|------|
| direction | | project no. | 3298 |
| | | sheet no. | L-4 |

GREEN ROOF, ECO-SYSTEM 4 (PRE-VEGETATED) NTS

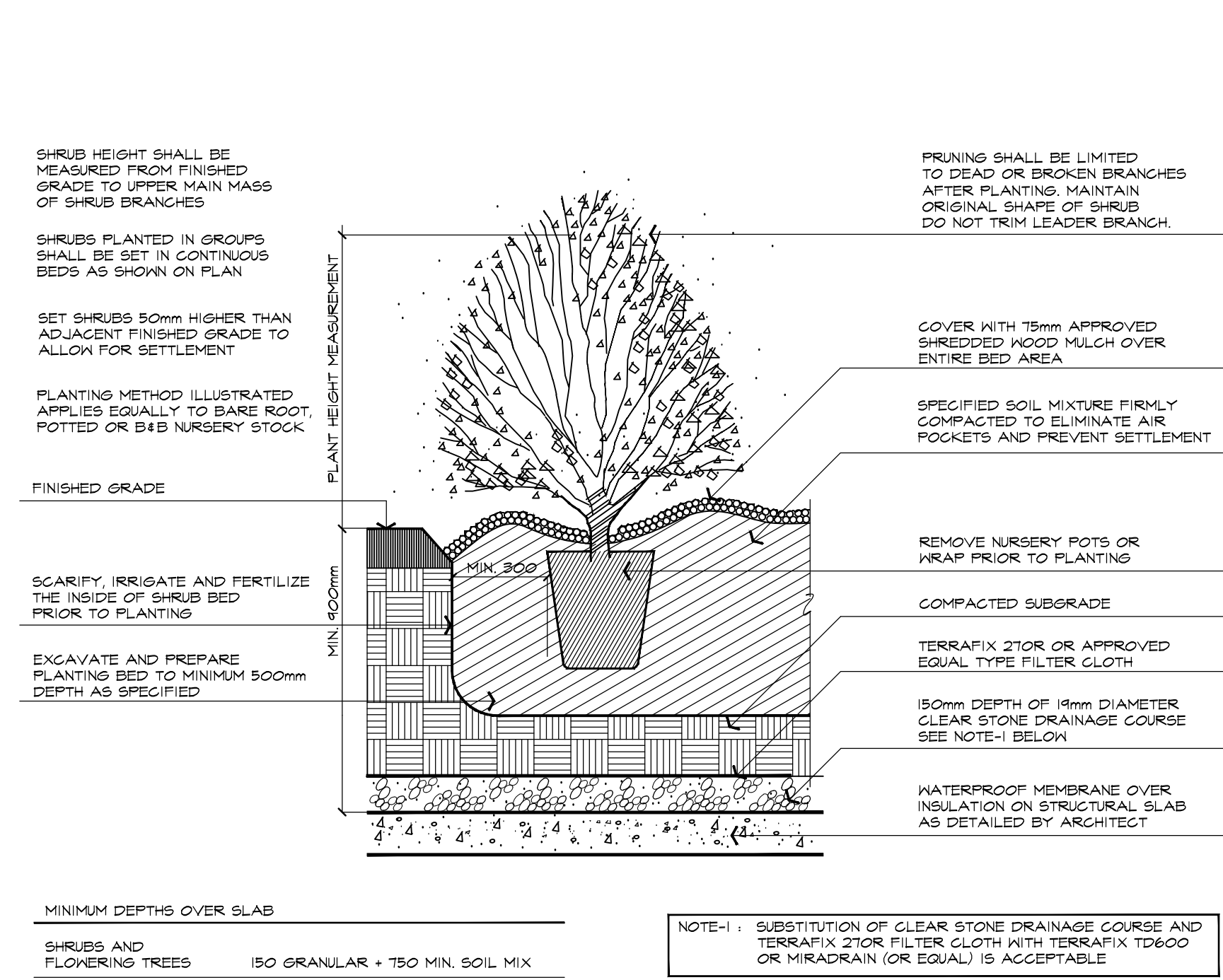
GREEN ROOF SYSTEM MANUFACTURED AND SUPPLIED BY: BIOROOF SYSTEMS, (OR APPROVED EQUAL)

CONTACT: KEN MCGOWAN
PHONE: 408.975.1721
EMAIL: KEN@BIOROOF.COM

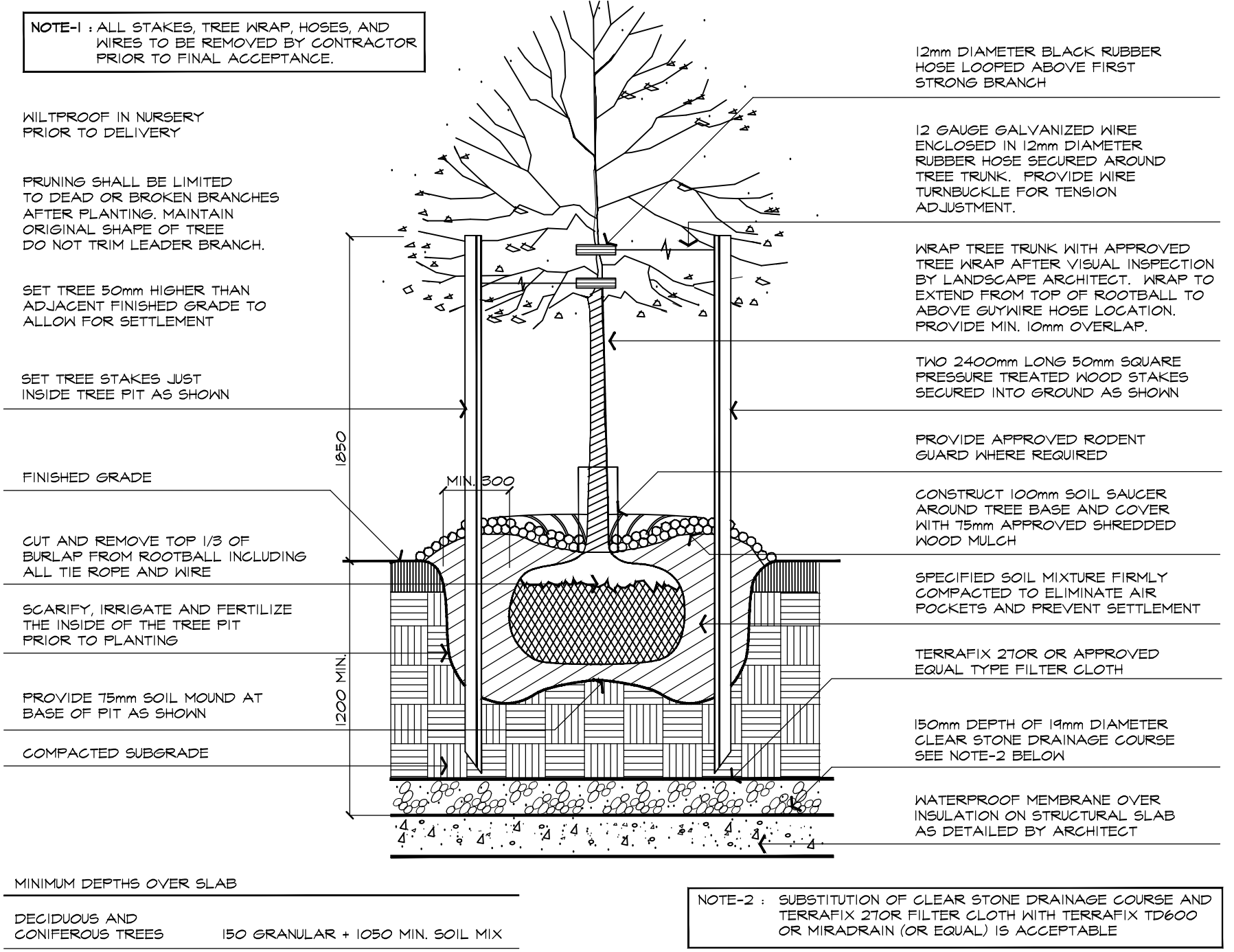
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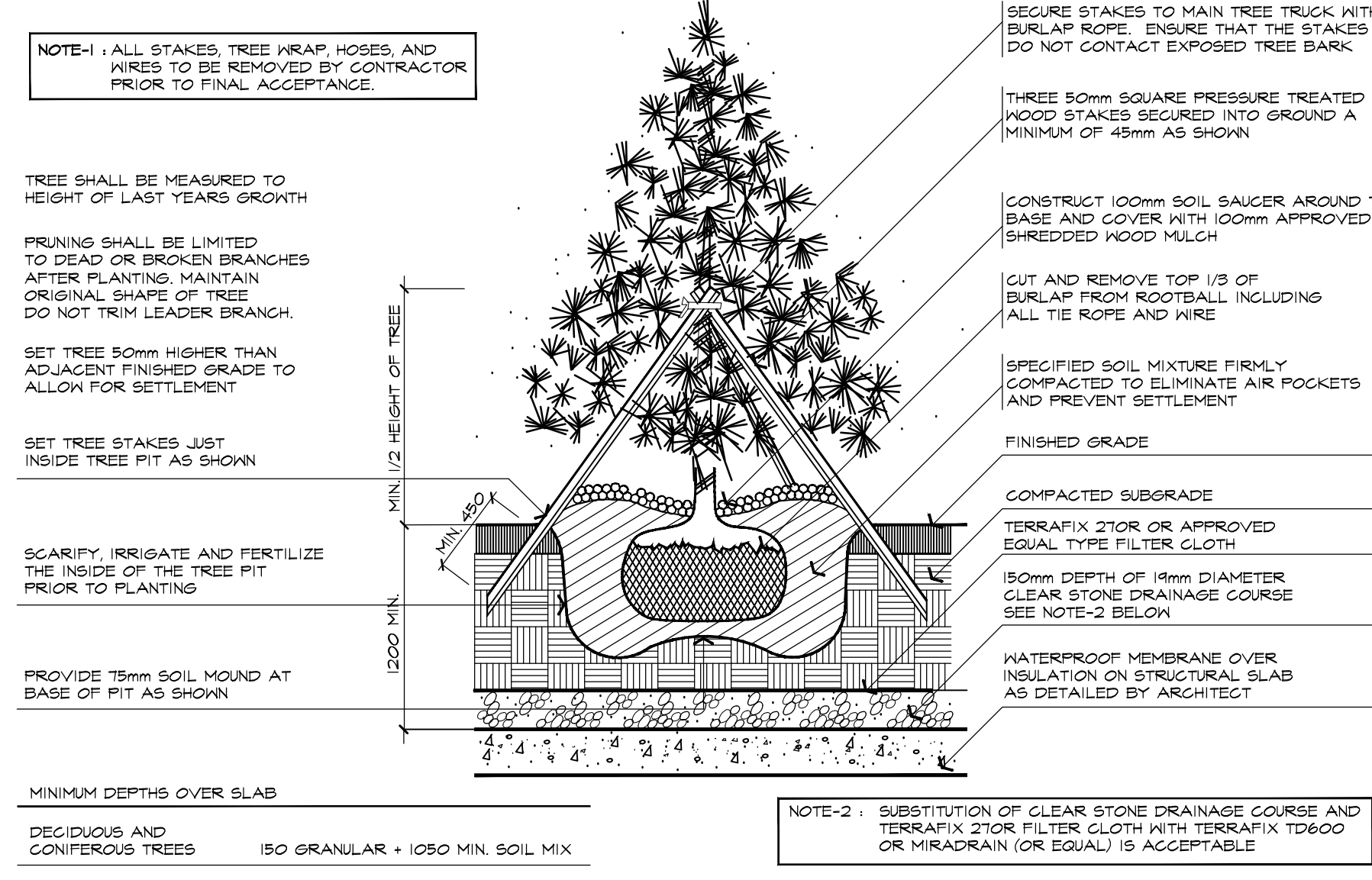
4 TYPICAL PLANTING ON SLAB DETAIL NTS ABAL 05101-07104



3 SHRUB PLANTING ON SLAB DETAIL NTS ABAL 05101-07101



1 DECIDUOUS TREE PLANTING ON SLAB DETAIL NTS ABAL 05111-07101



2 CONIFEROUS TREE PLANTING ON SLAB DETAIL NTS ABAL 05112-07101

MASTER PLANT LIST

IN THE EVENT OF A DISCREPANCY BETWEEN THE PLANTING PLAN AND THE PLANT LIST QUANTITIES, THE PLANTING PLAN SHALL GOVERN.

| KEY | QUANTITY | BOTANICAL NAME | COMMON NAME | NATIVE | DROUGHT TOLERANT | GALIPER | HEIGHT | SPREAD | ROOT | REMARKS | O.C. SPACING |
|--|----------|-------------------------------------|------------------------------|--------|------------------|---------|--------|--------|------------|------------------|--------------|
| DECIDUOUS SHADE TREES | | | | | | | | | | | |
| A | - | CERIS CANADENSIS | EASTERN REDBUD | ✓ | ✓ | 70mm | 2500mm | 1200mm | B4B | SPECIMEN | N/A |
| B | - | AMELANCHIER CANADENSIS | SERVICEBERRY | ✓ | ✓ | 70mm | 2500mm | 1200mm | B4B | SPECIMEN | N/A |
| C | - | CORNUS ALTERNIFOLIA | PAGODA DOGWOOD | ✓ | ✓ | 70mm | 2500mm | 1200mm | B4B | SPECIMEN | N/A |
| D | - | ULMUS AMERICANA | AMERICAN ELM | ✓ | ✓ | 70mm | 2500mm | 1200mm | B4B | SPECIMEN | N/A |
| CONIFEROUS (EVERGREEN) TREES | | | | | | | | | | | |
| E | - | PINUS STROBUS 'FASTIGIATA' | COLUMNAR EASTERN WHITE PINE | ✓ | ✓ | 1500mm | 1000mm | S.B. | SPECIMEN | ---- | ---- |
| CONIFEROUS & BROADLEAF (EVERGREEN) SHRUBS | | | | | | | | | | | |
| F | - | TAXUS X MEDIA DENSIFORMIS | DENSE YEW | ---- | ---- | ---- | 2500mm | 1200mm | B4B | EVEN FORM | 1200mm |
| G | - | BUXUS 'GREEN GEM' | GREEN GEM BOXWOOD | ---- | ✓ | ---- | ---- | 400mm | 3 gal. POT | MIN. 2 YRS. 6TH. | 500mm |
| H | - | EUONYMUS FORTUNEI 'SARCOXIE' | SARCOXIE EUONYMUS | ---- | ✓ | ---- | ---- | 500mm | POTTED | MIN. 2 YRS. 6TH. | 600mm |
| DECIDUOUS SHRUBS | | | | | | | | | | | |
| aa | - | ASTER ALPINUS | ALPINE ASTER | ---- | ✓ | ---- | ---- | 100mm | 1 gal. POT | MIN. 2 YRS. 6TH. | ---- |
| bb | - | HYDRANGEA PANICULATA 'LIMELIGHT' | LIMELIGHT HYDRANGEA | ---- | ---- | ---- | 500mm | ---- | POTTED | MIN. 10 STEMS | 650mm |
| ORNAMENTAL GRASSES | | | | | | | | | | | |
| cc | - | HAKONECHLOA MACRA 'ALBOSTRIATA' | JAPANESE FOREST GRASS | ---- | ---- | ---- | ---- | ---- | 1 gal. POT | ---- | 500mm |
| PERENNIALS AND GROUND COVERS | | | | | | | | | | | |
| aaa | - | CORNUS CANADENSIS | BUNCHBERRY | ✓ | ---- | ---- | ---- | ---- | 1 GAL. POT | ---- | 200mm |
| bbb | - | DELOSPHERMA X FIRE SPINNER' | FIRE SPINNER ICE PLANT | ---- | ---- | ---- | ---- | ---- | 1 GAL. POT | ---- | PER PLAN |
| ccc | - | GUACAMOLE HOSTA | GUACAMOLE HOSTA | ---- | ✓ | ---- | ---- | ---- | 1 GAL. POT | ---- | 500mm |
| ddd | - | ATHYRIUM FILIX-FEMINA | LADY FERN | ✓ | ---- | ---- | ---- | ---- | 1 GAL. POT | ---- | PER PLAN |
| eee | - | PARTHENOCISSUS QUINQUEFOLIA 'ENGEL' | ENGELMANN'S VIRGINIA CREEPER | ✓ | ✓ | ---- | ---- | ---- | 2 GAL. POT | ---- | ---- |
| fff | - | RUDBECKIA HIRTA | GLORIOSA DAISY | ✓ | ✓ | ---- | ---- | 100mm | 1 GAL. POT | MIN. 2 YRS. 6TH. | ---- |
| ggg | - | EGHINACEA PURPUREA | PURPLE CONE FLOWER | ✓ | ✓ | ---- | ---- | 100mm | 1 GAL. POT | MIN. 2 YRS. 6TH. | ---- |

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project

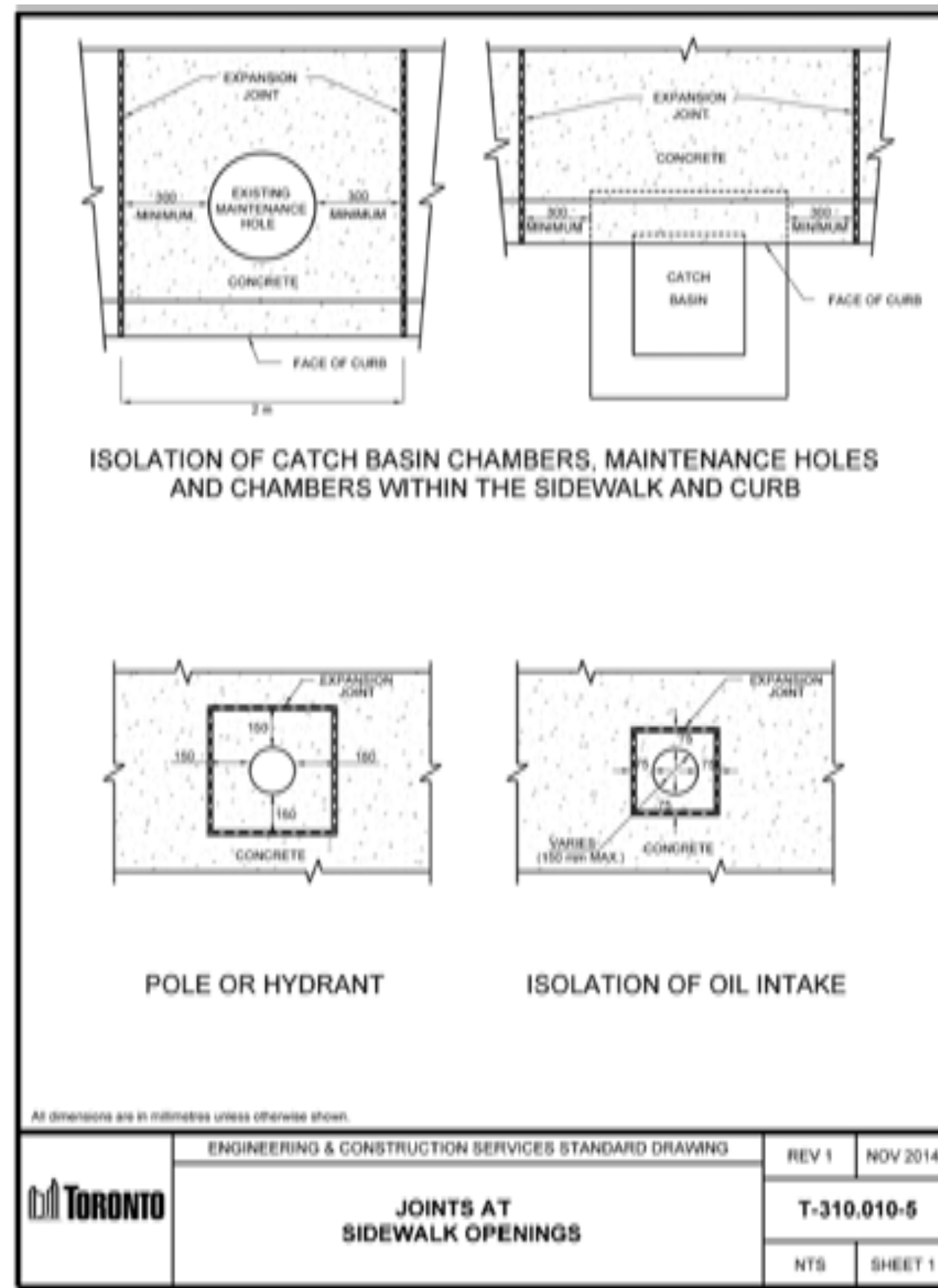
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TORONTO, ONTARIO
GRAYWOOD DEV.'S / ALTERRA GROUP

drawing

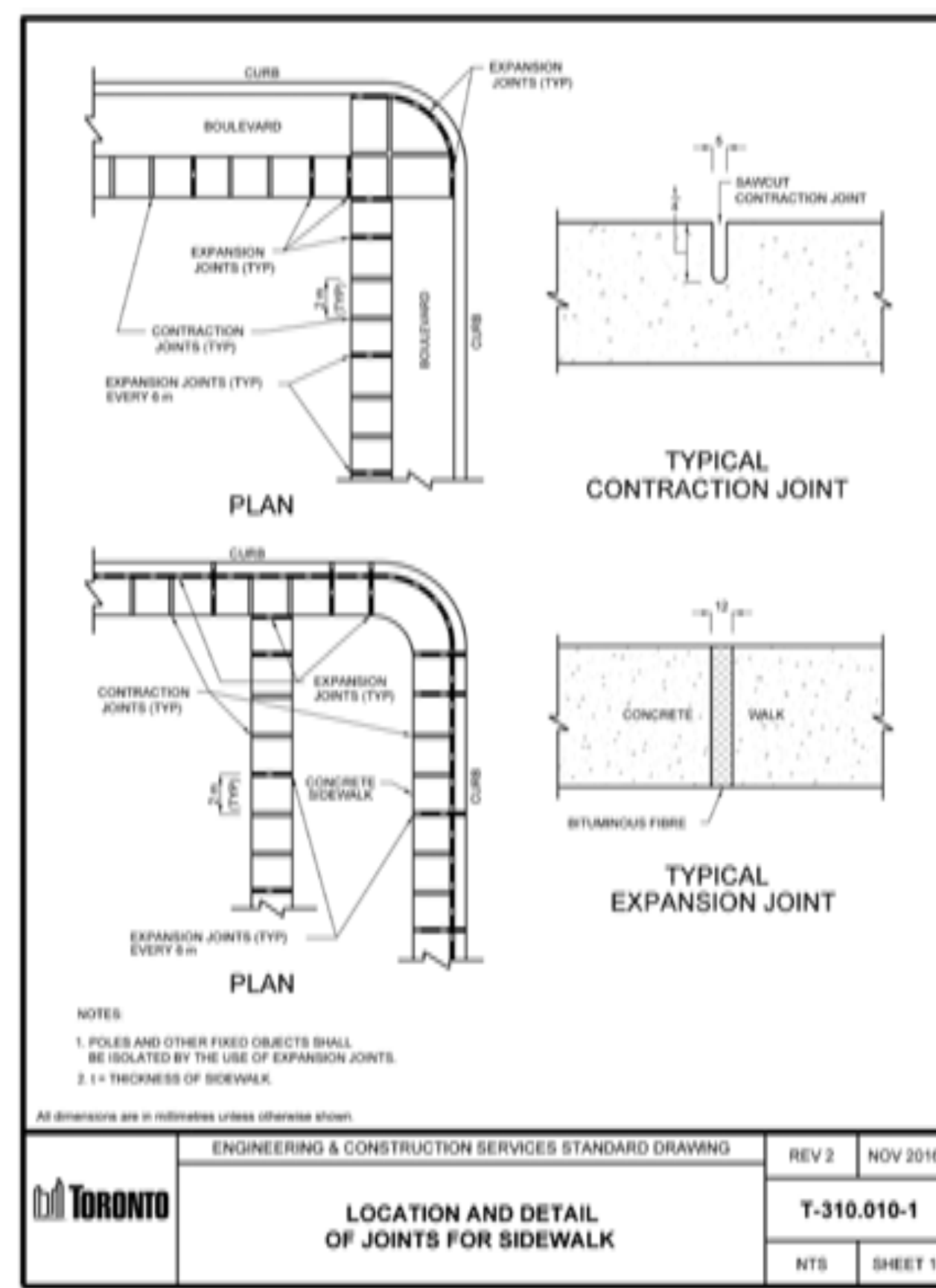
PLANTING DETAILS

| | | | |
|-----------|--------------|-------------|-------------------|
| date | MAY 30, 2019 | drawn | RS |
| scale | NTS | file | 3298 D1 V3-190822 |
| direction | | project no. | 3298 |
| | | sheet no. | D1 |

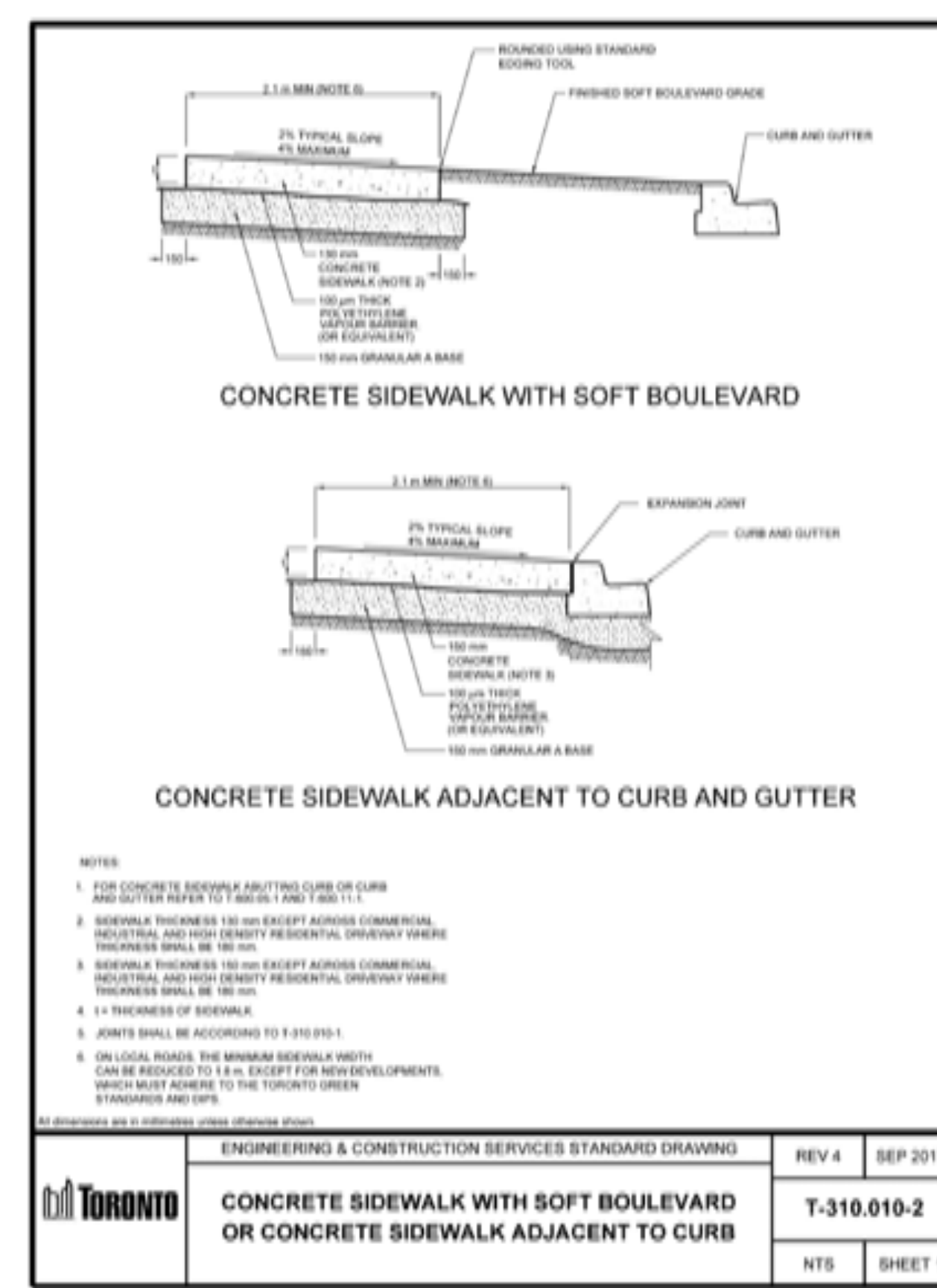
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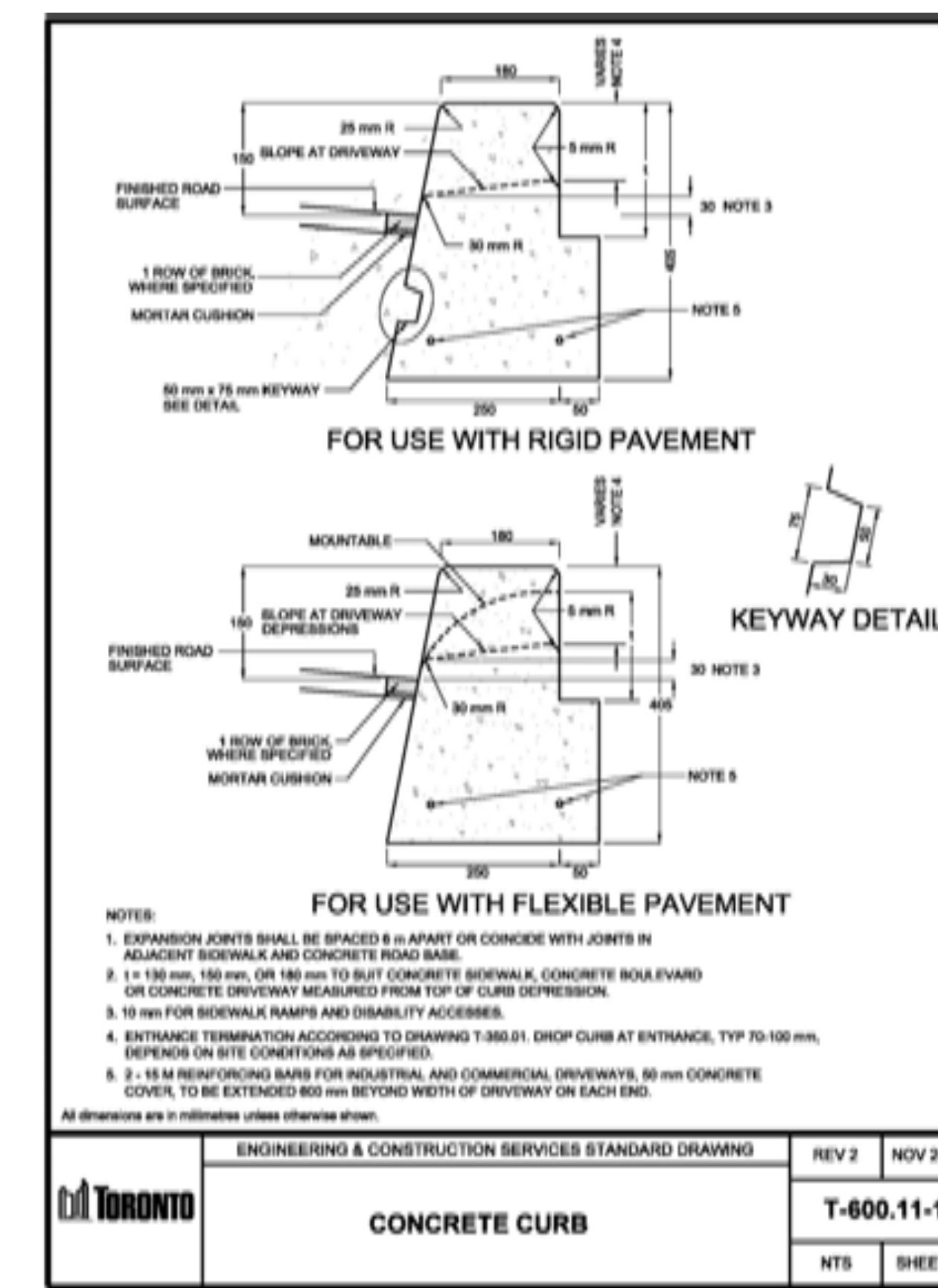
4 JOINTS FOR SIDEWALK OPENINGS
CITY OF TORONTO STANDARD



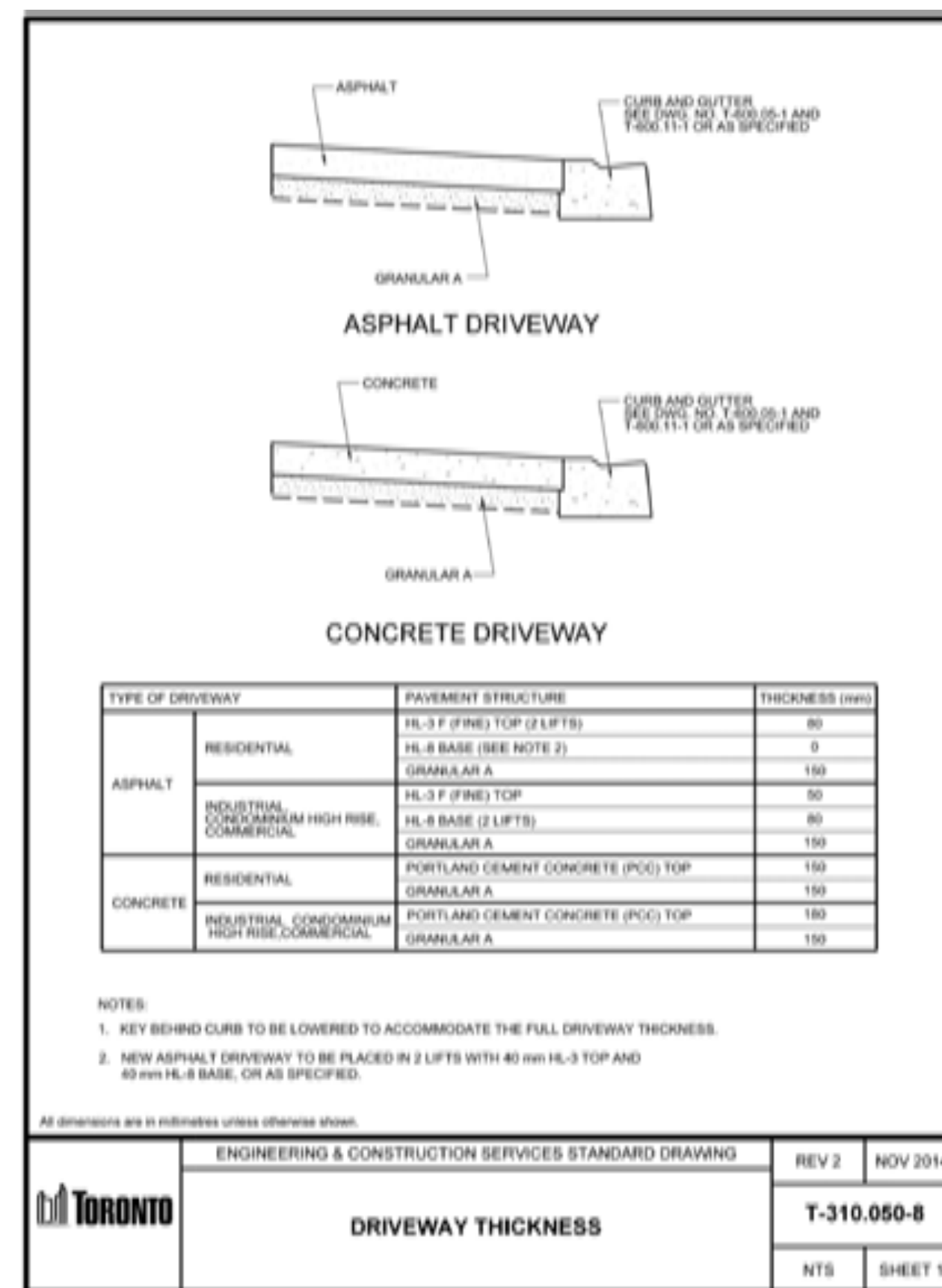
3 JOINTS FOR SIDEWALK
CITY OF TORONTO STANDARD



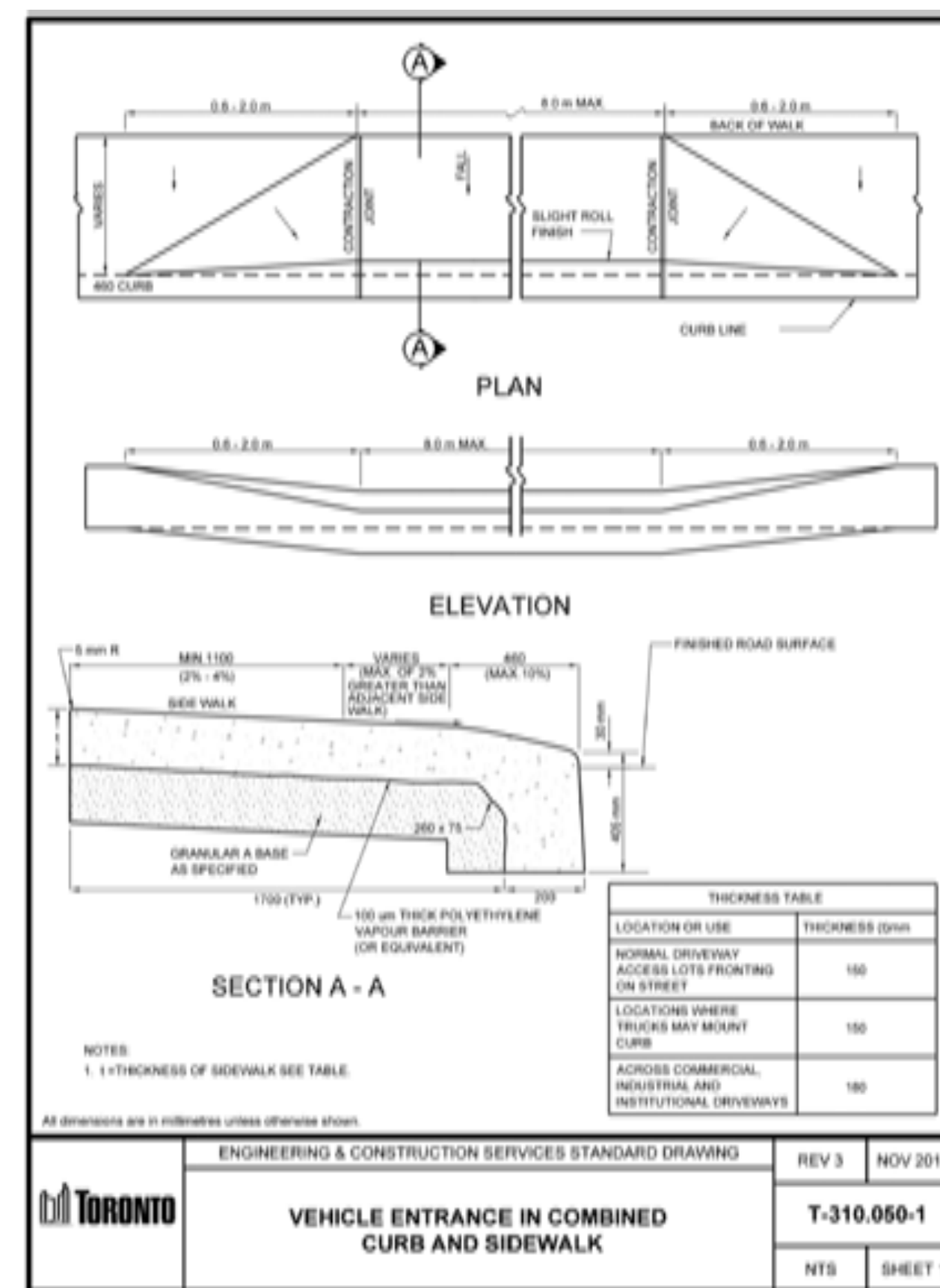
2 CONCRETE SIDEWALK CONDITIONS
CITY OF TORONTO STANDARD



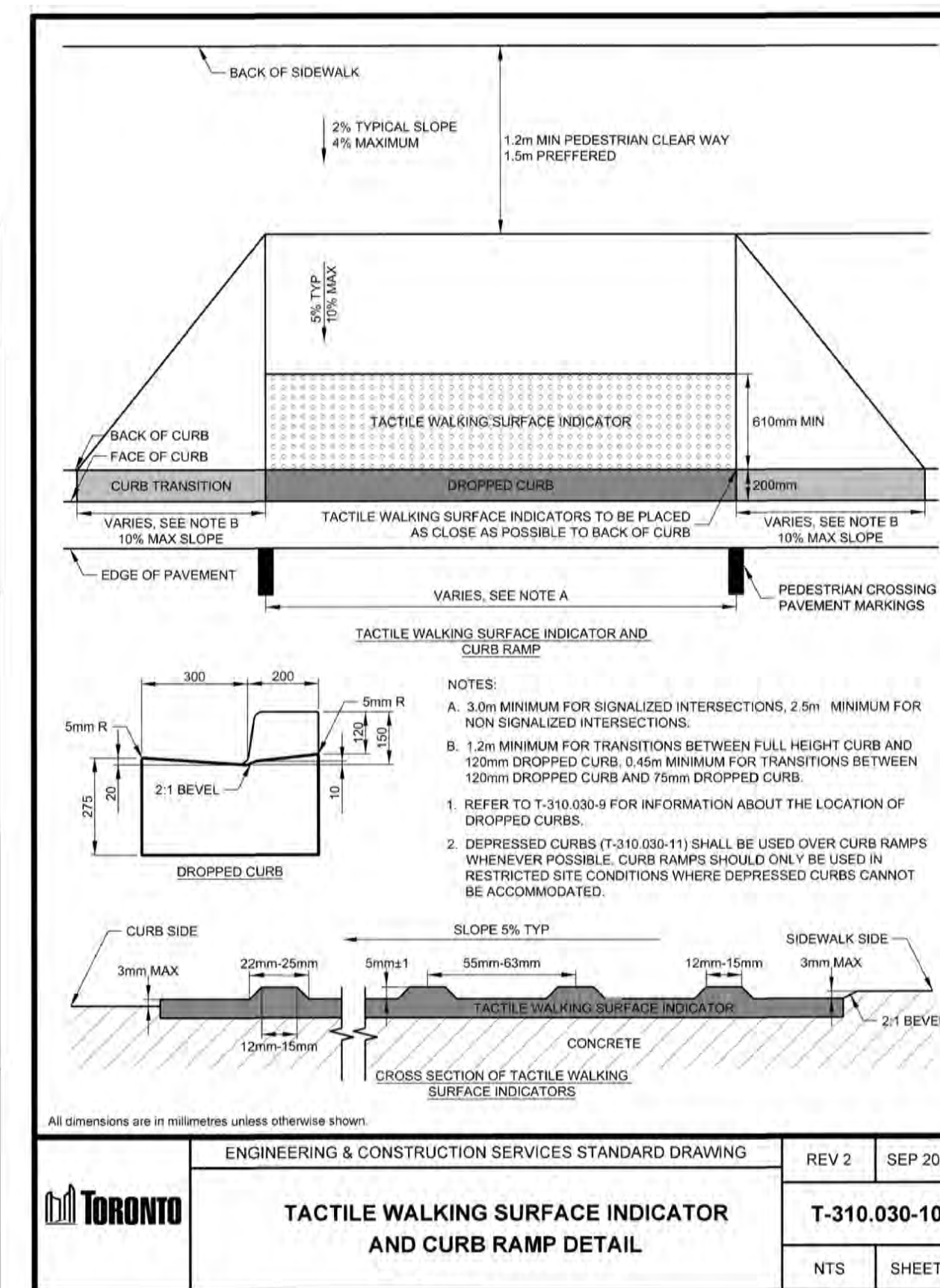
1 CONCRETE CURB
CITY OF TORONTO STANDARD
REFER TO ENGINEERING DRAWINGS FOR CURB AND GUTTER DETAIL WHERE APPLICABLE



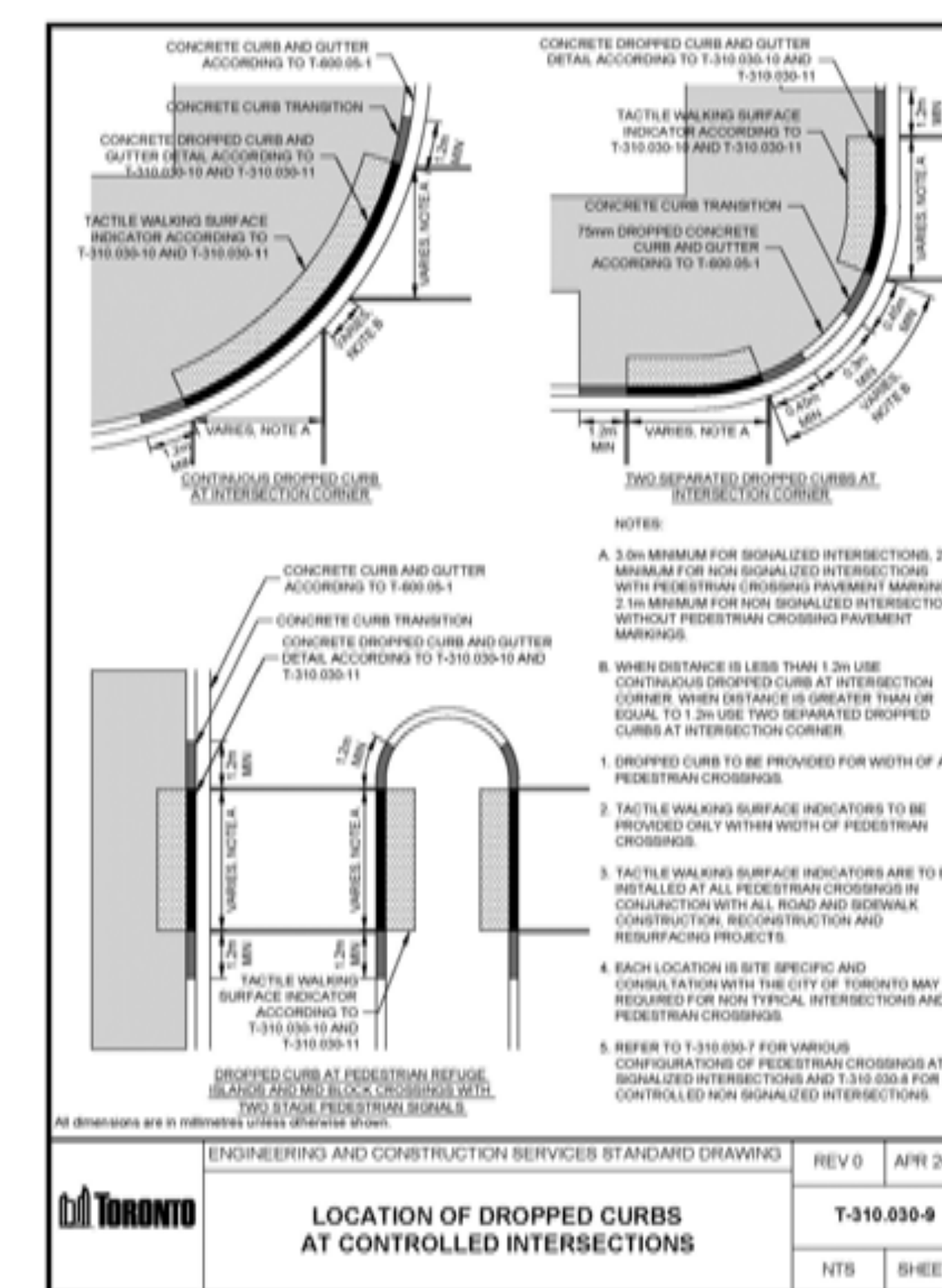
8 DRIVEWAY THICKNESS
CITY OF TORONTO STANDARD



7 VEHICLE ENTRANCE
CITY OF TORONTO STANDARD



6 TACTILE SURFACE INDICATOR
CITY OF TORONTO STANDARD



5 DROPPED CURBS
CITY OF TORONTO STANDARD

| no. | date | version | by |
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| 3 | AUG 22 2019 | REISSUED FOR S.P.A NO.1 | RS |
| 2 | JUN 14 2019 | ISSUED FOR S.P.A NO.1 | RS |
| 1 | JUN 7 2019 | ISSUED FOR DRAFT SUBMISSION #1 | RS |

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project
308-314 JARVIS STREET & 225 MUTUAL STREET
TORONTO, ONTARIO
GRAYWOOD DEV./S / ALTERRA GROUP

drawing
STREETSCAPE DETAILS
R.O.W HARDSCAPING

| | | | |
|-----------|--------------|-------------|-------------------|
| date | MAY 30, 2019 | drawn | RS |
| scale | NTS | file | 3298 D2 V3-190822 |
| direction | | project no. | 3298 |
| | | sheet no. | D2 |

*NOTED SCALE IS APPLICABLE ONLY WHEN PRINTED ON ARCH D (345x367) SIZE SHEET

SPECIFICATIONS

GENERAL
 THESE SPECIFICATIONS ARE TO BE READ IN CONJUNCTION WITH THE GENERAL CONDITIONS OF THE CONTRACT AS PREPARED BY AND AVAILABLE AT THE OFFICE OF ALEXANDER BUDREVICS & ASSOCIATES LTD.
 PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL:
 1. FAMILIARIZE HIMSELF WITH THE PLANS, DETAILS, AND SPECIFICATIONS OF THIS PROJECT.
 2. VISIT THE SITE TO ASCERTAIN AND TAKE ACCOUNT OF EXISTING CONDITIONS AND ANY DEVIATIONS FROM THE PLANS IN WORK BY OTHERS, AND
 3. FINALIZE ALL DESIGN ALTERNATIVES IN CONSULTATION WITH THE LANDSCAPE ARCHITECT.
 PRIOR TO ENCAVATING, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES. IN THE EVENT OF A CONFLICT BETWEEN A PROPOSED TREE LOCATION AND AN UNDERGROUND SERVICE, THE EXACT LOCATION OF THE TREE SHALL BE DETERMINED ON SITE BY THE LANDSCAPE ARCHITECT.
 THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR ANY DAMAGE TO EXISTING UTILITIES, STRUCTURES, FACILITIES, ETC. DONE IN THE PERFORMANCE OF HIS WORK.
 ALL SITE WORK SHALL CONFORM TO THE CANADIAN NATIONAL MASTER CONSTRUCTION SPECIFICATIONS A COPY OF WHICH CAN BE OBTAINED FROM CONSTRUCTION SPECIFICATIONS CANADA.
 THE 1484 (77-208 Pgs.) (4th) (11-2018) ENCL. MANDATORY 2018, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BE THOROUGHLY FAMILIAR WITH THESE SPECIFICATIONS AND THEIR IMPLICATIONS FOR THIS PROJECT.

SOFT LANDSCAPING
PLANT MATERIALS
 ALL PLANTS SHALL BE INSTALLED TRUE TO SPECIFIED NAMES, SIZES, GRADES, ETC. AND SHALL CONFORM TO THE STANDARDS OF THE CANADIAN NURSERY TRADES ASSOCIATION.
 ALL PLANTS SHALL BE NURSERY GROWN.
 IN THE EVENT OF A DISCREPANCY IN PLANT QUANTITY BETWEEN THE PLANTING PLAN AND THE PLANT LIST, THE PLANTING PLAN SHALL GOVERN.
 THE CONTRACTOR SHALL MAKE PLANTS AVAILABLE FOR INSPECTION BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. MATERIAL NOT CONFORMING TO THE SPECIFICATIONS SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.
 PLANT SUBSTITUTIONS MUST BE APPROVED IN WRITING BY THE OWNER OR THE LANDSCAPE ARCHITECT PRIOR TO DELIVERY OF THE MATERIAL ON SITE.
 THE LANDSCAPE ARCHITECT MAY, UPON COMPLETION OF THE WORK AND NOTWITHSTANDING PRIOR APPROVAL AT SOURCE, REJECT PLANT MATERIAL NOT CONFORMING TO THE SPECIFICATIONS.
 THE CONTRACTOR SHALL USE STANDARD INDUSTRY METHODS FOR PLANTING TREES. TREES SHALL BE TURNED TO GIVE THE BEST APPEARANCE. THEY SHALL ALSO BE WEDGED AND STAKED IMMEDIATELY AFTER PLANTING AND AS DETAILED ON THE DRAWINGS.

BED PREPARATION
 THE CONTRACTOR SHALL BACKFILL TREE PITS AND PLANTING BEDS TO SPECIFIED DEPTHS WITH EITHER PRE-MIXED TOPSOIL (VIZ. 'TRIPLE-MIX') OR A MIXTURE COMPRISED OF:
 6 PARTS SANDY LOAM
 1 PART FINELY MULCHIZED CANADIAN PEAT MOSS
 1 PART WELL-ROTTED FARM MANURE WITH 'AGRIFORM' 20-10-5 TABLETS (OR APPROVED EQUAL) ADDED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS.
 THE CONTRACTOR SHALL CONSTRUCT TREE PITS AND SHRUB BEDS WITH SOIL SAUCERS, HALF, AND SUBSURFACE DRAINAGE AS DETAILED.
 THE CONTRACTOR SHALL CONSTRUCT SHRUB BEDS IN CONTINUOUS FORMS. THE SHAPE OF WHICH SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND/OR OWNER. ON SLOPES, SHRUB BEDS SHALL BE FASHIONED TO ALLOW FOR PROPER DRAINAGE.

TOPSOIL & FINE GRADING
 THE CONTRACTOR SHALL PLACE 300mm OF HIGH TOPSOIL ON APPROVED SUBGRADES. TOPSOIL SHALL BE IMPORTED WHERE REQUIRED. 10-4-4 FERTILIZER SHALL BE APPLIED ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS AT A RATE OF 125 kg/100m² FOR SODDED AREAS. THE MIXTURE AND RATE OF APPLICATION SHALL BE ADJUSTED FOR SODDED AREAS.
 MINOR GRADE DEFICIENCIES AND IRREGULARITIES SHALL BE ELIMINATED PRIOR TO SODDING.
SODDING
 THE CONTRACTOR SHALL SOD ALL AREAS SO INDICATED ON THE DRAWINGS. SOD SHALL BE FRESHLY CUT NO.1 GRADE NURSERY-GROWN TURF 50-75mm THICK.
 SOD FOR SUNNY EXPOSED AREAS SHALL BE 50% KENTUCKY BLUEGRASS AND 50% MERION BLUEGRASS. SOD FOR SHADDED AREAS SHALL BE 50% NUSSLET KENTUCKY BLUEGRASS AND 50% GREENING TESSIE.
 SOD SHALL BE PLACED ON PREPARED TOPSOIL WITH JOINTS STAGGERED AND SECTIONS ADJUTED TIGHTLY. IMMEDIATELY AFTER LAYING, IRRIGATION SUFFICIENT TO ENSURE MOISTURE PENETRATION TO A DEPTH OF 100mm SHALL BE APPLIED.
 SOD SHALL BE MACHINE ROLLED TO ENSURE UNIFORM CONTACT WITH TOPSOIL. SOD ON ALL SLOPES SHALL BE PEGGED WHERE REQUIRED.

HARD LANDSCAPING
POURED-IN-PLACE CONCRETE WORK
 THE CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL OF FORMWORK PRIOR TO POURING CONCRETE. ALL CONCRETE, STEEL REINFORCING AND FORMWORK SHALL BE AS DETAILED AND SPECIFIED ON THE DRAWINGS.
 THE STYLE, COLOUR AND FINISH OF CONCRETE ELEMENTS SHALL BE APPROVED BY THE OWNER AND/OR LANDSCAPE ARCHITECT PRIOR TO THE COMMENCEMENT OF CONCRETE WORK.
 ALL STRUCTURAL CONCRETE WORK SHALL CONFORM TO LOCAL BUILDING CODES AND REGULATIONS.

BRICKWORK, STONEMWORK & CONCRETE UNIT PAVING
 WHERE APPLICABLE, THE CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT OF ALL STRUCTURAL CONCRETE WORK BEFORE COMMENCING BRICKWORK, STONEMWORK, OR PAVING WORK.
 ALL BRICKWORK, STONEMWORK, AND CONCRETE UNIT PAVING SHALL BE AS DETAILED AND SPECIFIED ON THE DRAWINGS, UNLESS THE LANDSCAPE ARCHITECT AND/OR OWNER APPROVE SUBSTITUTIONS IN WRITING.
 PRIOR TO STARTING THIS PORTION OF WORK, THE CONTRACTOR SHALL SUBMIT SAMPLES OF ALL PROPOSED BRICKWORK, STONEMWORK, AND CONCRETE UNIT PAVING FOR APPROVAL BY THE LANDSCAPE ARCHITECT AND/OR THE OWNER WITH RESPECT TO STYLE, COLOUR AND FINISH. THE CONTRACTOR MAY ALSO BE ASKED TO SUBMIT SAMPLES OF ALTERNATIVES TO THE MATERIALS SPECIFIED ON THE DRAWINGS.
 ALL BRICKWORK, STONEMWORK, AND CONCRETE UNIT PAVING SHALL CONFORM TO LOCAL BUILDING CODES AND OTHER MUNICIPAL REQUIREMENTS.

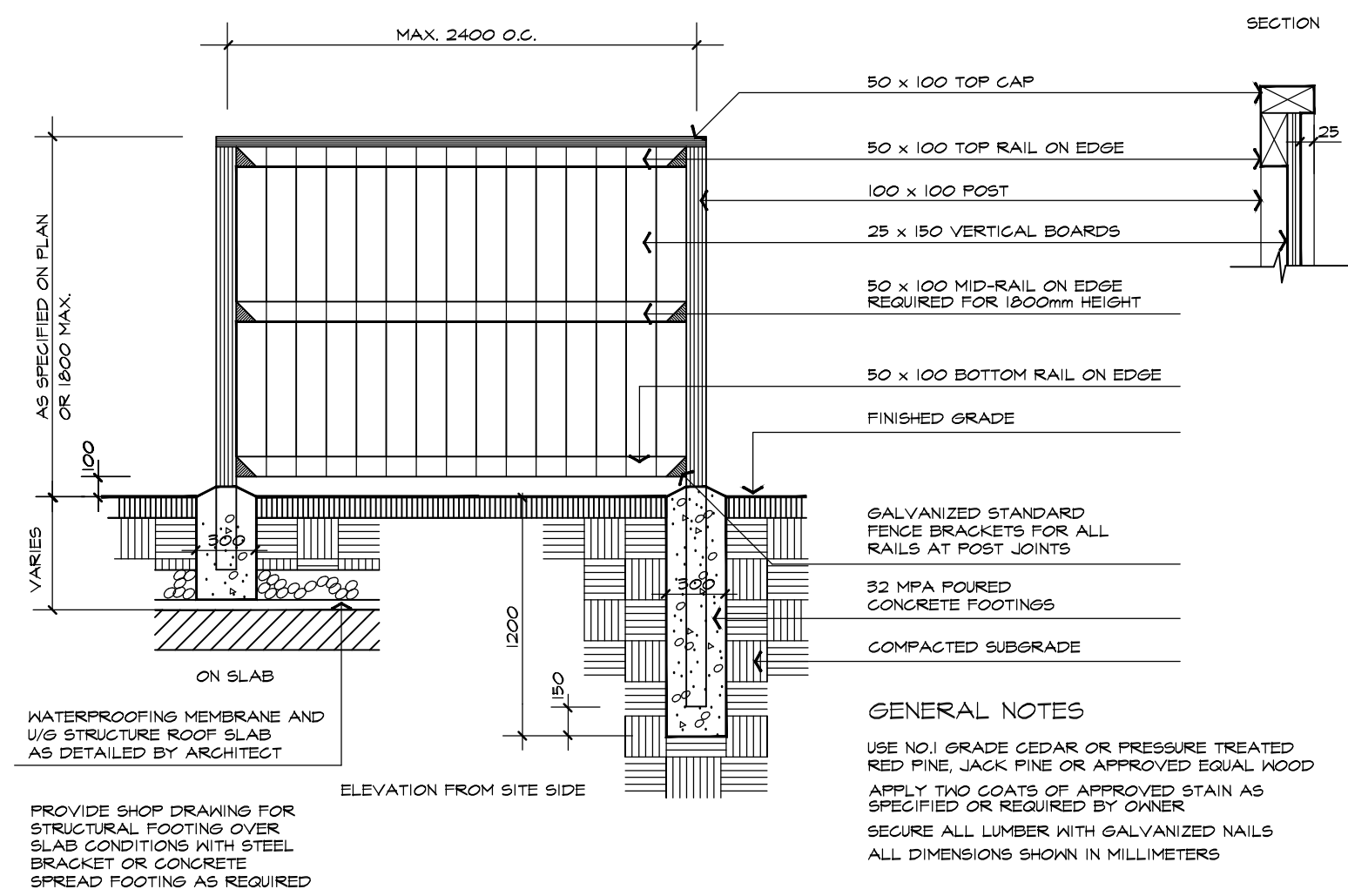
WOODWORK
 ALL WOOD SHALL BE NO. 1 GRADE DRESSED CLEAR CEDAR, PRESSURE-TREATED RED PINE OR PRESSURE-TREATED JACK PINE, AS SPECIFIED ON THE DRAWINGS.
 PRESSURE TREATMENT SHALL BE FACTORY-APPLIED COPPER CHROME ARSENATE OR EQUAL, AS PER CSA-080 SPECIFICATIONS.
 CLEAR CEDAR OR SPECIALTY WOODS SHALL BE STAINED WITH TWO (2) COATS OF STAIN PAINT OR PRESERVATIVE.
 THE CONTRACTOR SHALL SUBMIT SAMPLES OF ALL PROPOSED FINISHES FOR APPROVAL BY THE LANDSCAPE ARCHITECT AND/OR THE OWNER PRIOR TO ITS APPLICATION. THE CONTRACTOR MAY ALSO BE ASKED TO SUBMIT SAMPLES OF ALTERNATIVES TO THE MATERIALS OR FINISHES SPECIFIED ON THE DRAWINGS.

MAINTENANCE
 THE CONTRACTOR SHALL MAINTAIN ALL LANDSCAPED AREAS FOR A PERIOD OF FOUR (4) GRADING MONTHS FROM THE DATE OF SUBSTANTIAL COMPLETION.
 MAINTENANCE SHALL INCLUDE:
 - PROPER IRRIGATION TO ENSURE OPTIMUM GROWTH OF TREES, SHRUBS, AND SOD
 - GRASS MOWING TO MAINTAIN AN APPROXIMATE HEIGHT OF 50mm
 - THE CULTIVATION AND WEEDING OF TREE PITS AND PLANTING BEDS
 - INSECT AND DISEASE CONTROL
 AT THE END OF THE SPECIFIED MAINTENANCE PERIOD, PROVIDED ALL PLANT MATERIAL IS ALIVE AND IN A HEALTHY GROWING CONDITION, THE OWNER WILL ASSUME THE RESPONSIBILITY OF MAINTAINING THE LANDSCAPE WORK.

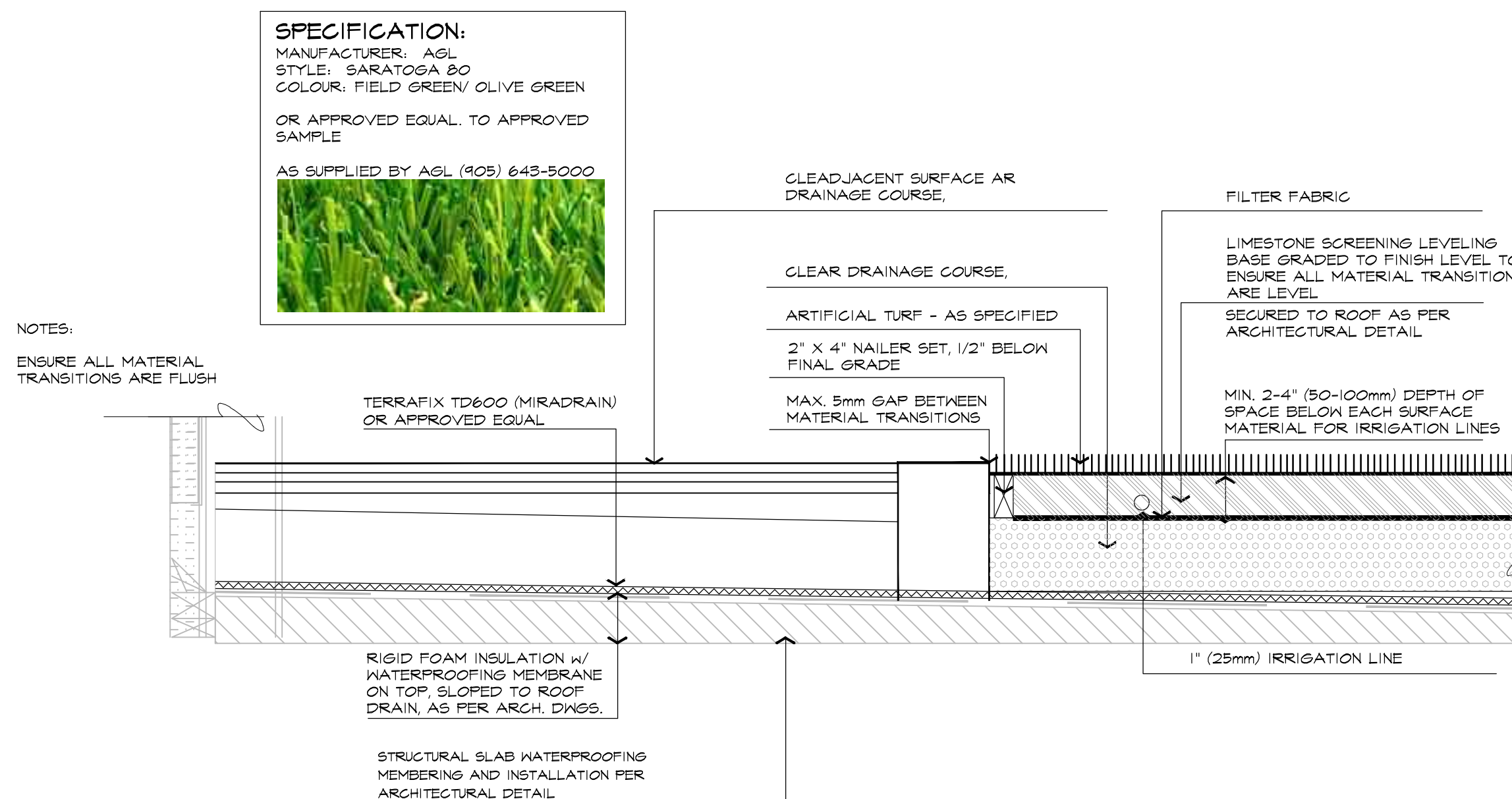
PERFORMANCE ACCEPTANCE (SUBSTANTIAL COMPLETION)
 WRITTEN NOTICE OF PERFORMANCE ACCEPTANCE BY THE LANDSCAPE ARCHITECT FOR SUBSTANTIAL COMPLETION OF THE PROJECT LANDSCAPE WORKS SHALL MARK THE START OF THE GUARANTEE PERIOD.
 SHOULD LOCAL LAW REQUIRE MUNICIPAL ACCEPTANCE, THE LANDSCAPE ARCHITECT SHALL SUBMIT THE SUBSTANTIAL COMPLETION CERTIFICATE TO THE MUNICIPALITY SO THAT THEY MAY PROCEED TO INSPECT THE WORK, ISSUE THEIR PERFORMANCE ACCEPTANCE CERTIFICATE, AND REDUCE THE AMOUNT OF SECURITIES.

GUARANTEE
 ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE (1) YEAR FROM THE DATE ON THE PERFORMANCE ACCEPTANCE CERTIFICATE ISSUED BY THE LANDSCAPE ARCHITECT. PLANTS THAT EXPIRE OR OTHERWISE FAIL TO THRIVE DURING THE GUARANTEE PERIOD SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.
 SIMILARLY, ALL OTHER LANDSCAPE WORK PERFORMED UNDER THIS CONTRACT SHALL BE FULLY GUARANTEED FOR ONE (1) YEAR FROM THE DATE OF PERFORMANCE ACCEPTANCE BY THE LANDSCAPE ARCHITECT.

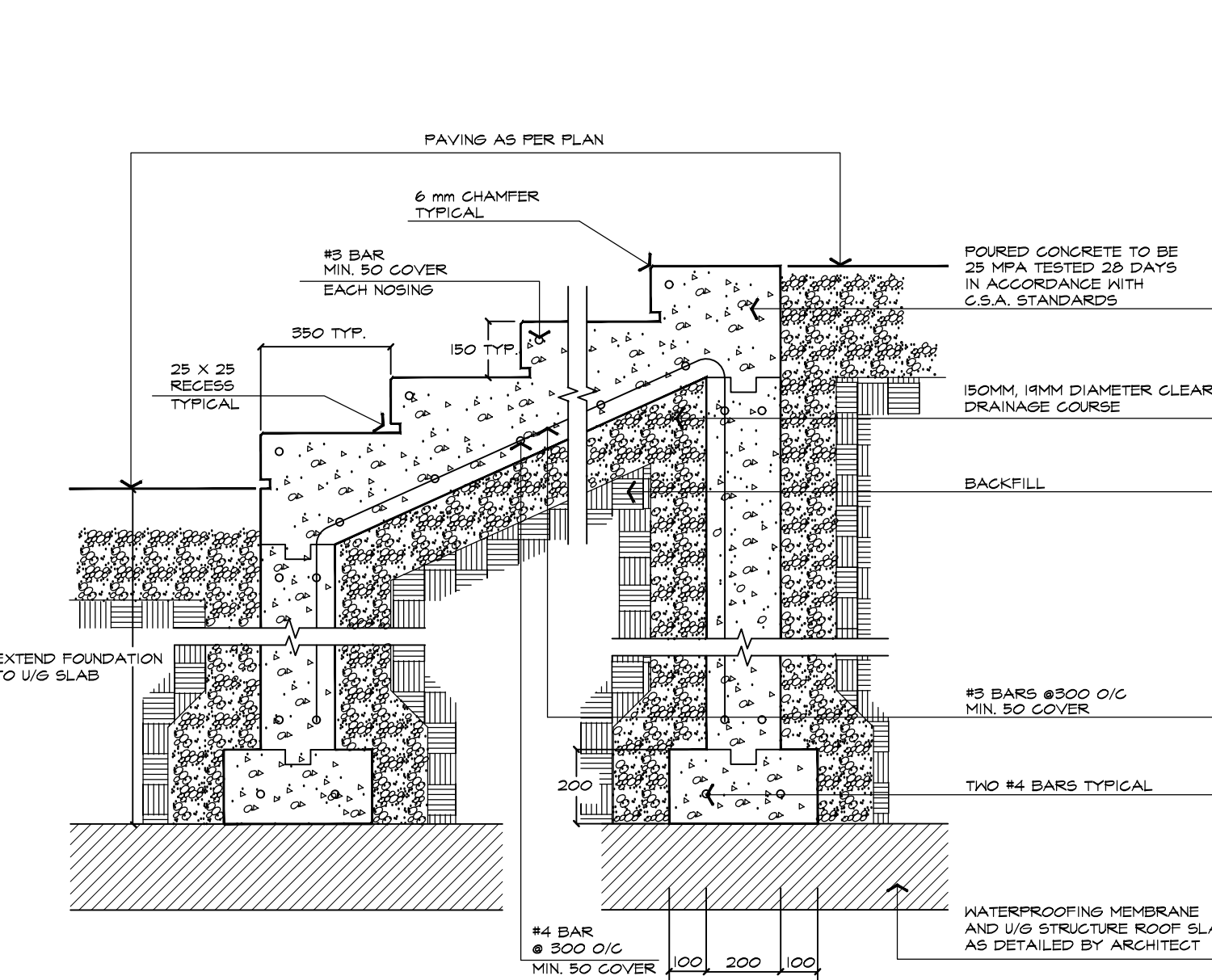
FINAL ACCEPTANCE
 ALL WORK SHALL BE INSPECTED AT THE END OF THE GUARANTEE PERIOD BY THE LANDSCAPE ARCHITECT. ANY DEFICIENCIES SHALL BE RECTIFIED BY THE CONTRACTOR TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT AND THE OWNER. THE LANDSCAPE ARCHITECT WILL THEN ISSUE A FINAL ACCEPTANCE CERTIFICATE.
 SHOULD LOCAL LAW REQUIRE MUNICIPAL ACCEPTANCE, THE LANDSCAPE ARCHITECT SHALL SUBMIT THE FINAL ACCEPTANCE CERTIFICATE TO THE MUNICIPALITY SO THAT THEY MAY PROCEED TO INSPECT THE WORK, GIVE FINAL APPROVAL, AND RELEASE ALL OUTSTANDING LANDSCAPE SECURITIES.



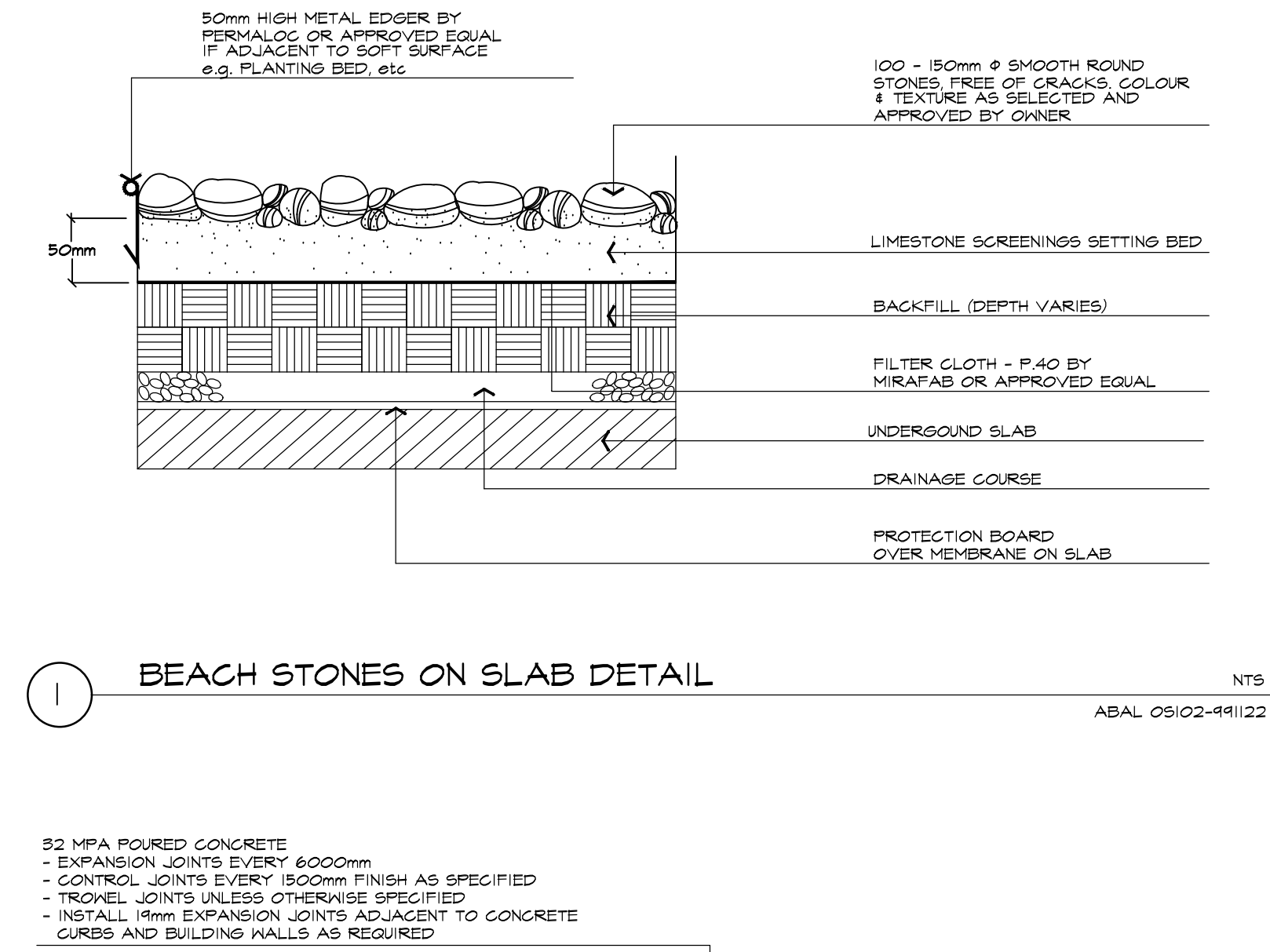
4 WOOD FENCE DETAIL ON/OFF SLAB
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 NTS
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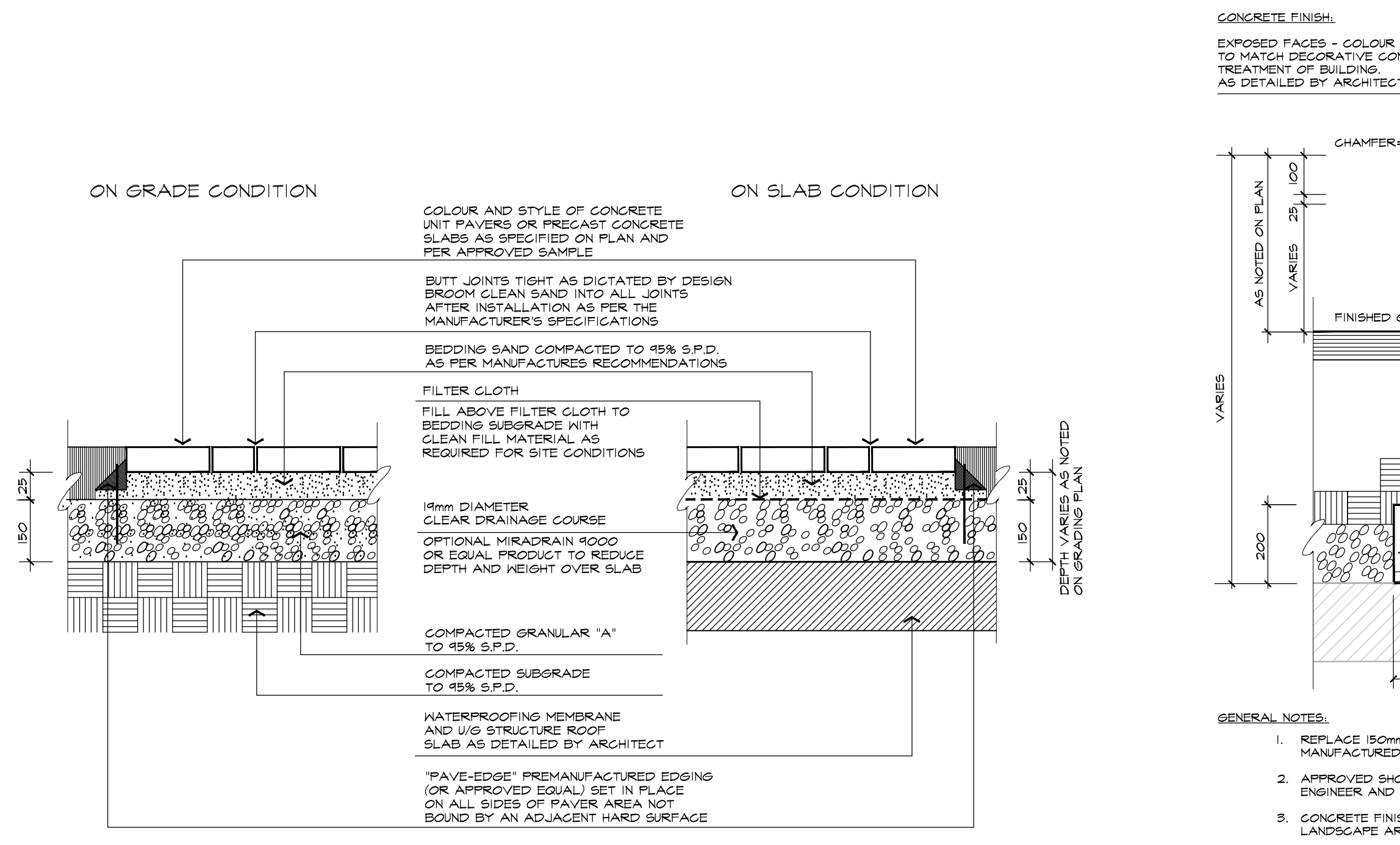
5 ARTIFICIAL TURF
 TYPICAL DETAIL
 NTS



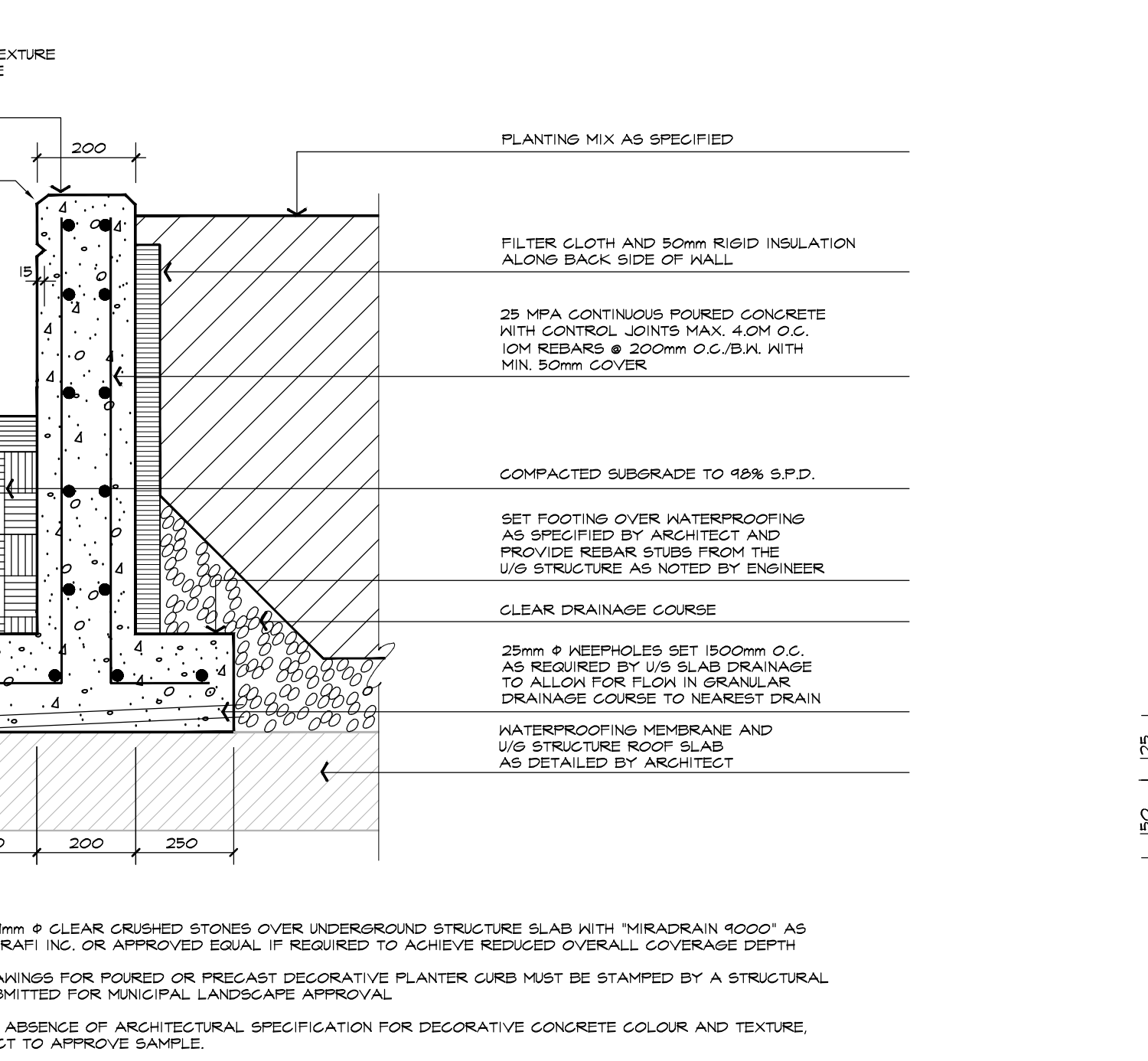
6 CONCRETE STEPS ON SLAB DETAIL
 NTS
 ABAL 05804-020411



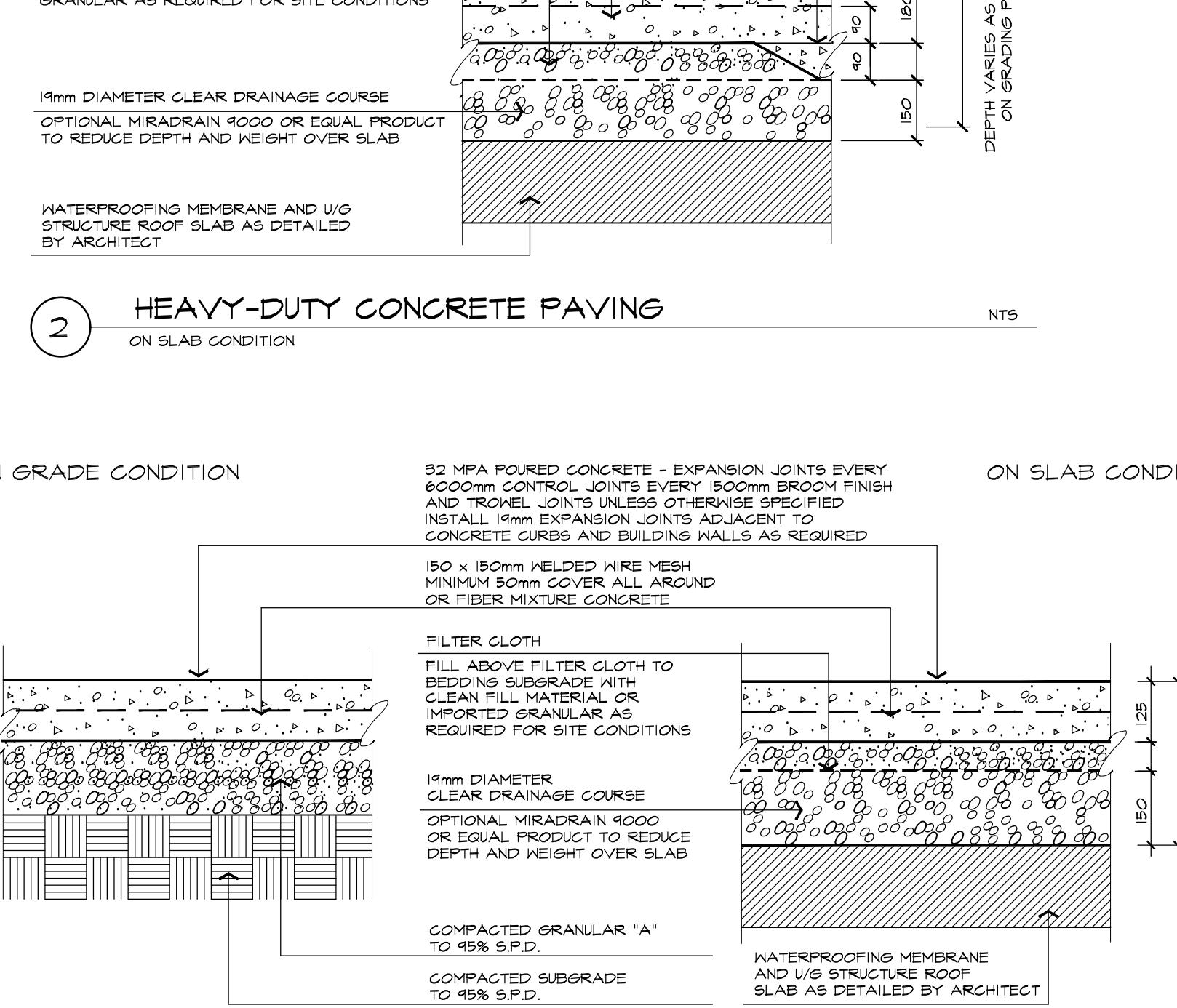
7 BEACH STONES ON SLAB DETAIL
 NTS
 ABAL 09102-491122



8 CONCRETE UNIT PAVER
 TYPICAL INSTALLATION
 NTS
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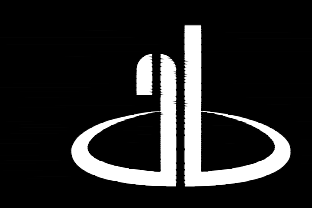
9 DECORATIVE PLANTER
 NTS
 ABAL 05601X-10421




10 HEAVY-DUTY CONCRETE PAVING
 ON SLAB CONDITION
 NTS
 ABAL 05202X-10424

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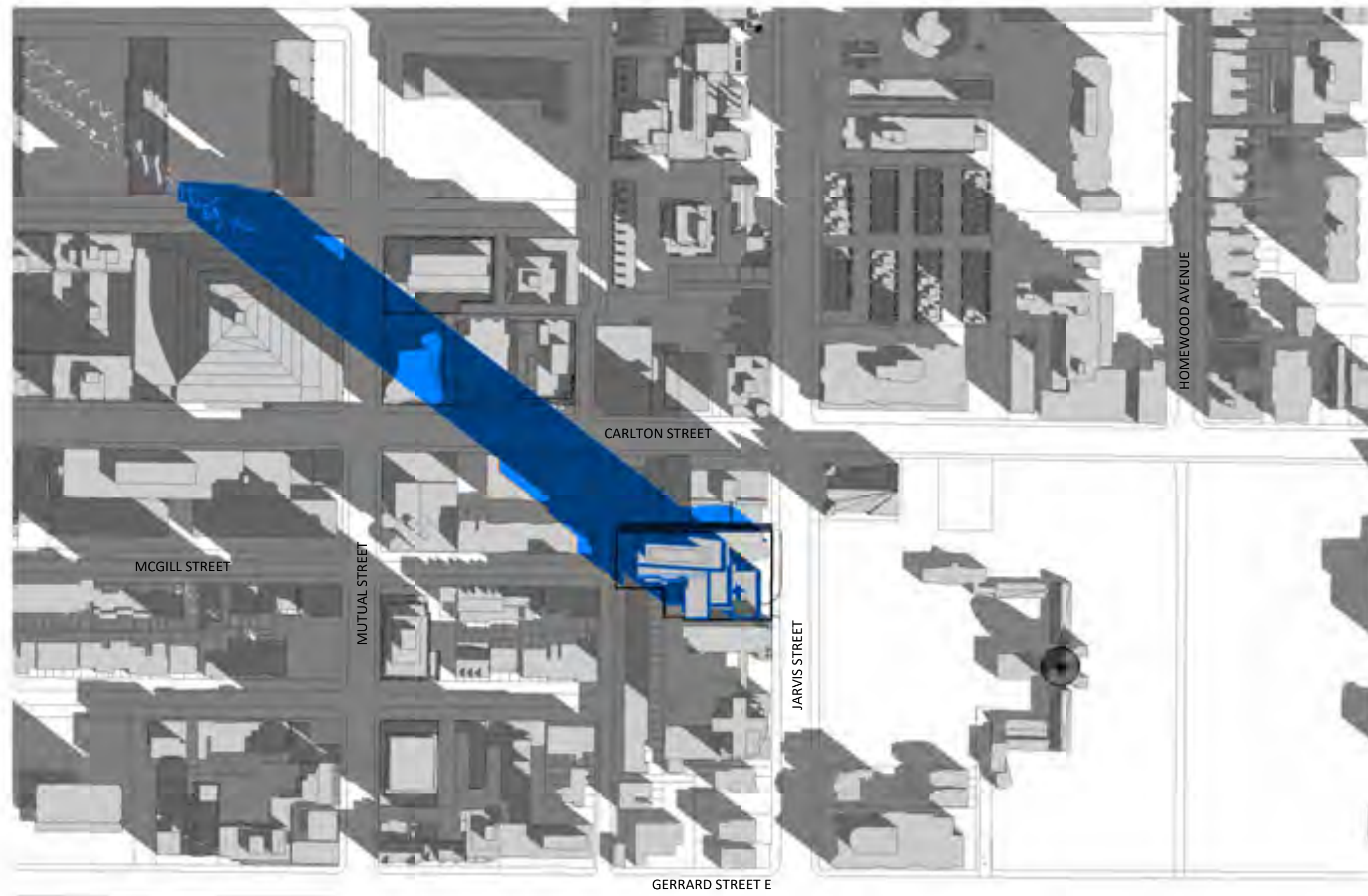
drawing
HARDSCAPING DETAILS

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| date | MAY 30, 2019 | drawn | RS |
| scale | 1:200 | file | 3298 D3 V3-190822 |
| direction | | project no. | 3298 |
| | | sheet no. | D3 |

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APPENDIX V
Sun Shadow Study

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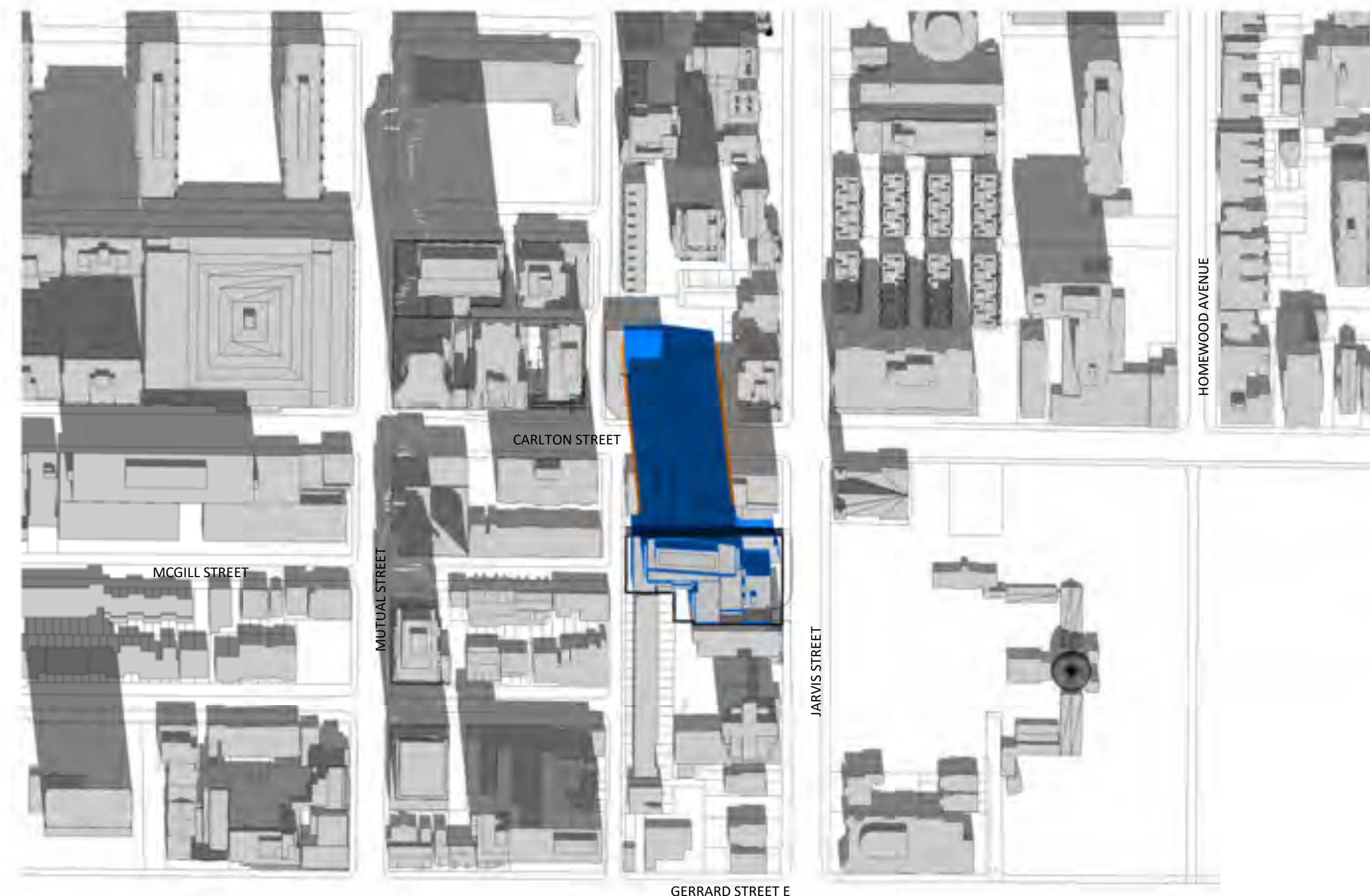
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2 MARCH 21-1018 AM
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3 MARCH 21-1118 AM
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4 MARCH 21-1218 PM
1:2000



LEGEND

- Shadow of the Proposed Scheme (June 14, 2019)
- Shadow of Proposed Scheme that exceeds boundary of Settlement Scheme (November 28, 2017)
- Shadow of the Settlement Scheme (November 28, 2017)

| # | DATE | ISSUED FOR SPA | DESCRIPTION | AYU | BY |
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| 1 | 2019-06-14 | ISSUED FOR SPA | | AYU | |

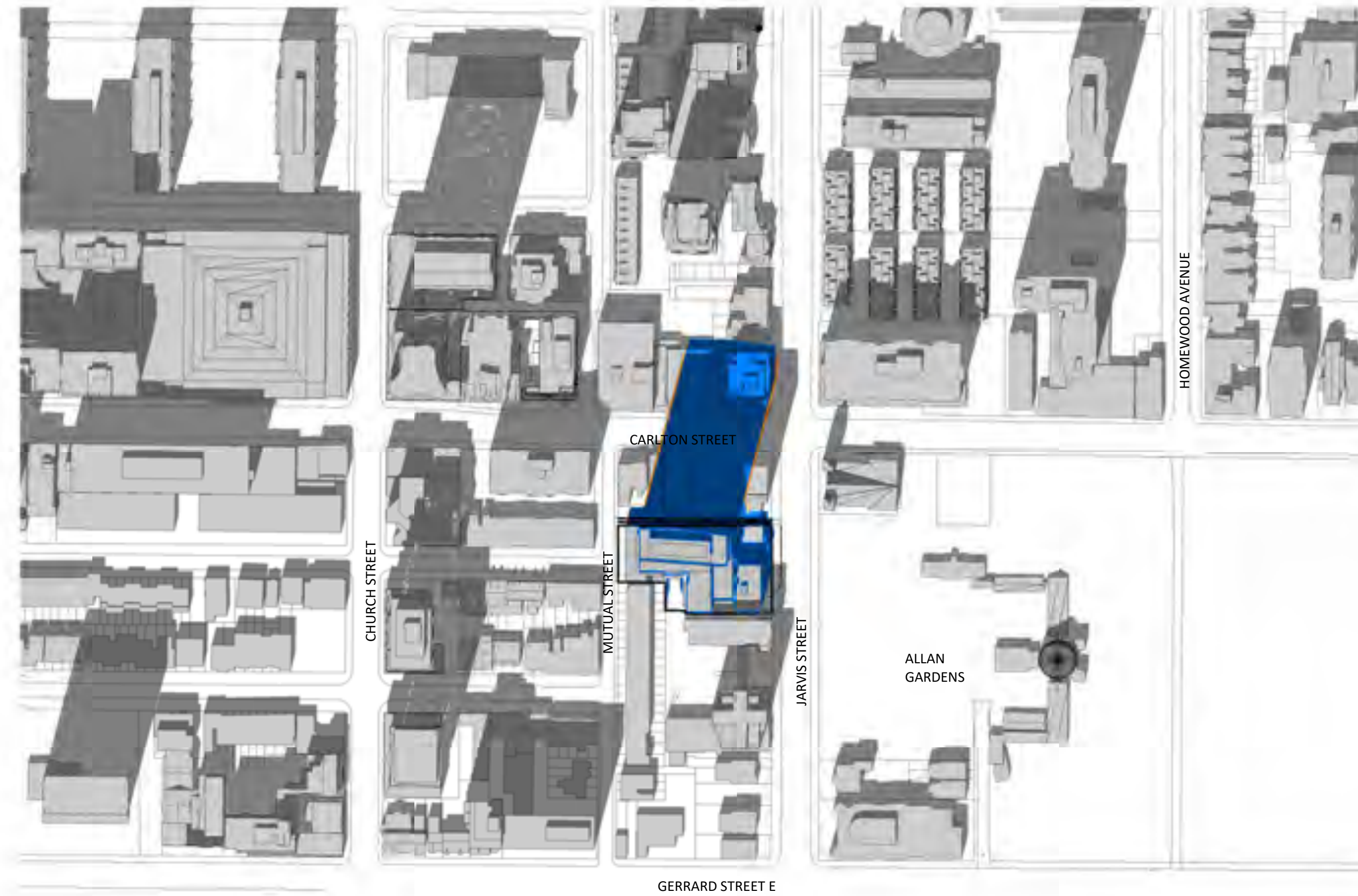


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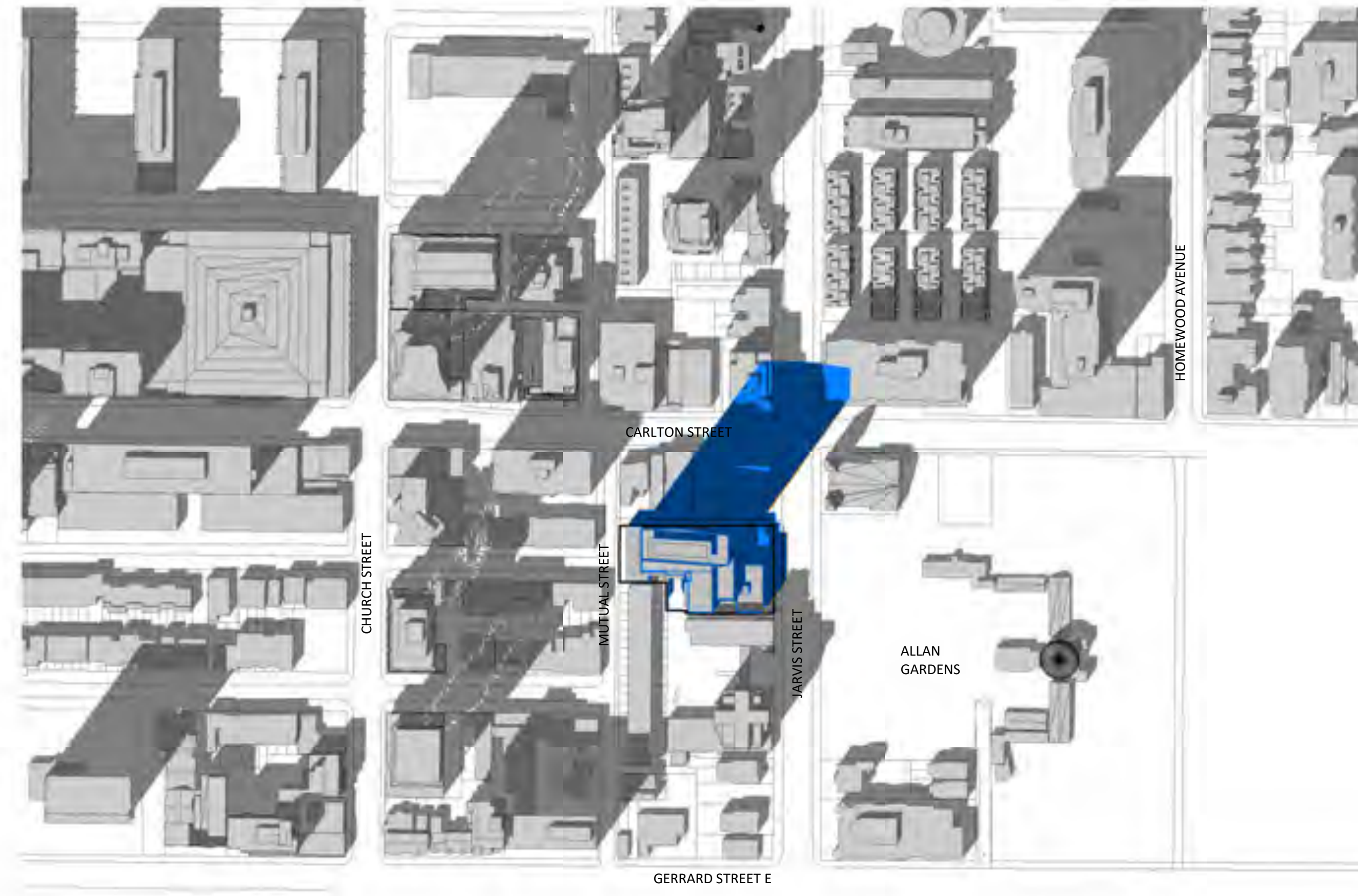
DRAWING
SHADOW STUDY - MARCH
(DAYLIGHT SAVING TIME)

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| PROJECT DATE 2019-04-09 | |
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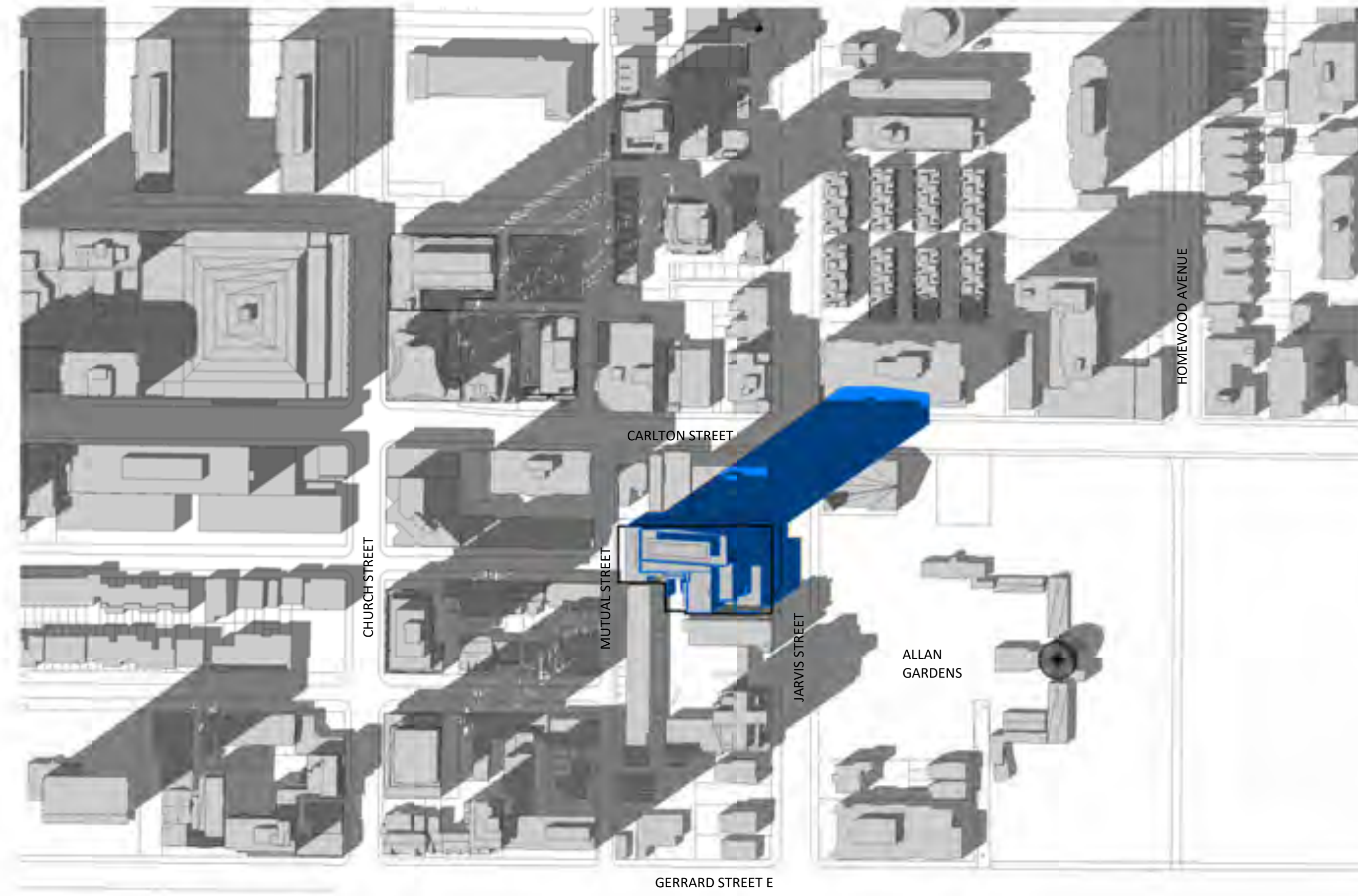
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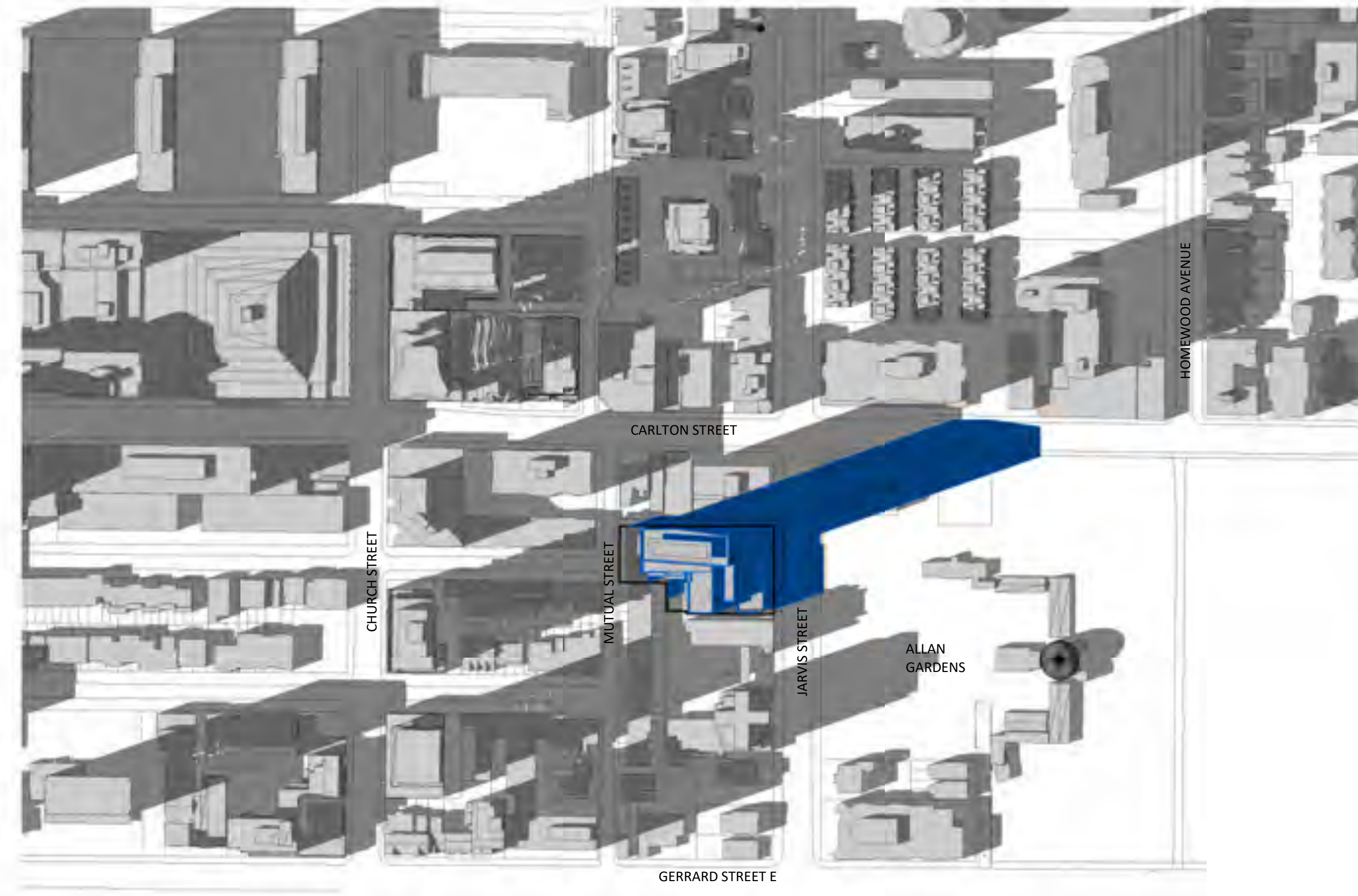
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LEGEND

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SHADOW STUDY - MARCH
(DAYLIGHT SAVING TIME)

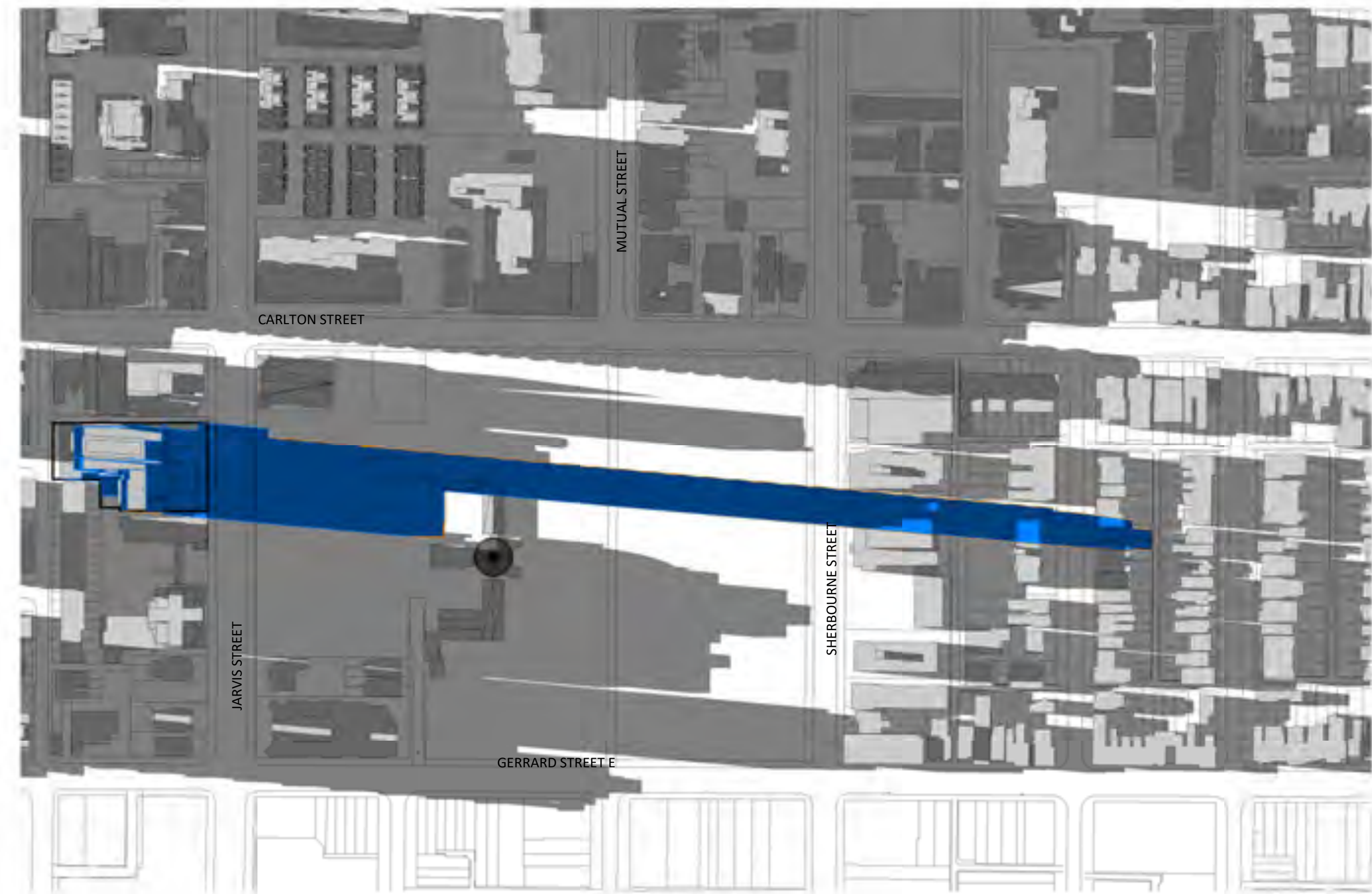
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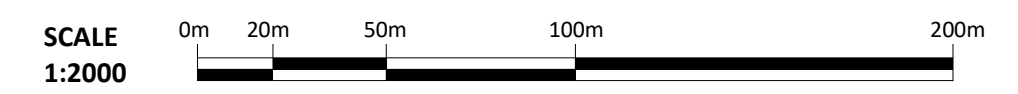
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1 MARCH 21-1718 PM
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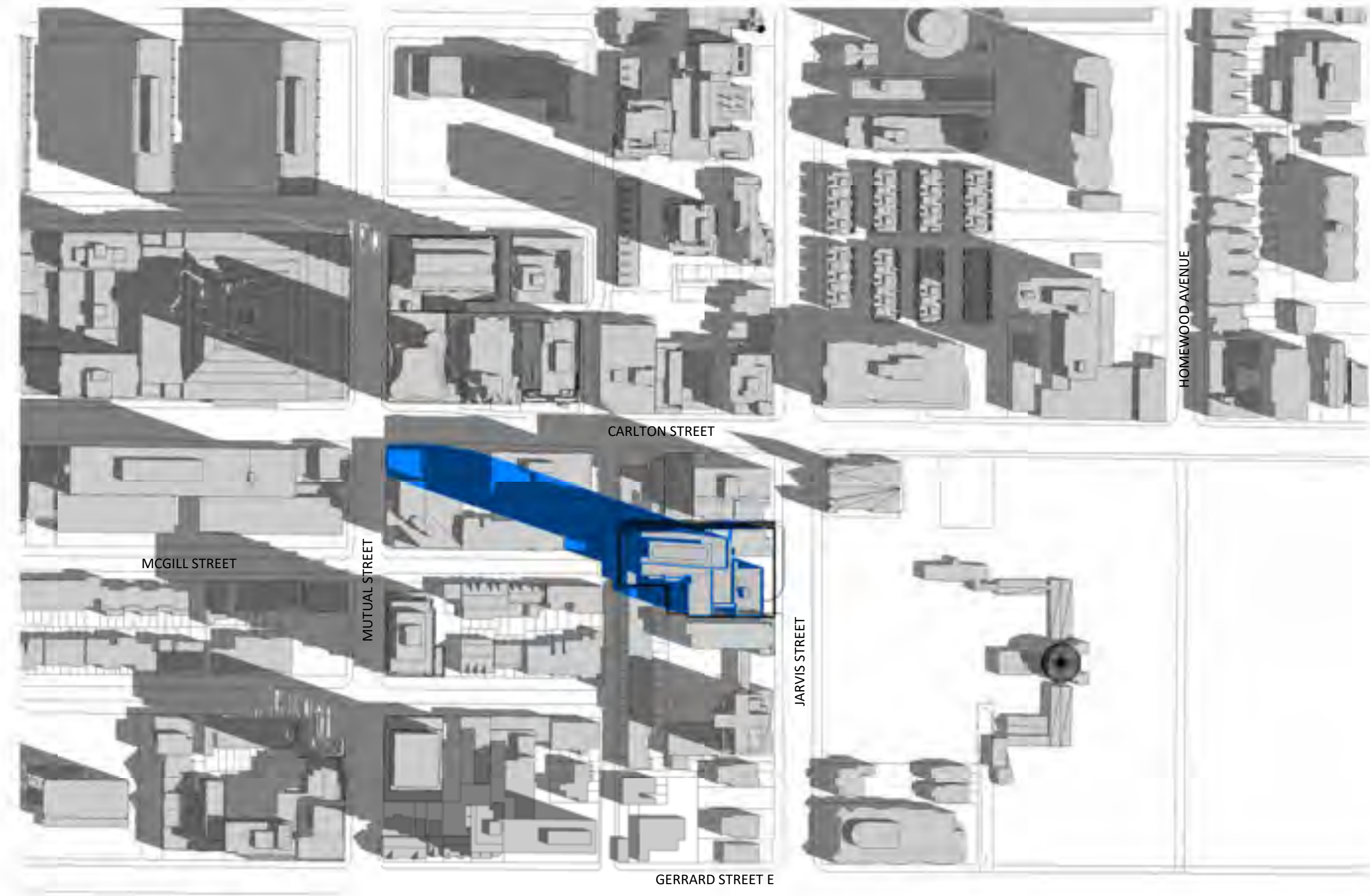
DRAWING
SHADOW STUDY - MARCH
(DAYLIGHT SAVING TIME)

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PROJECT DATE
2019-04-09
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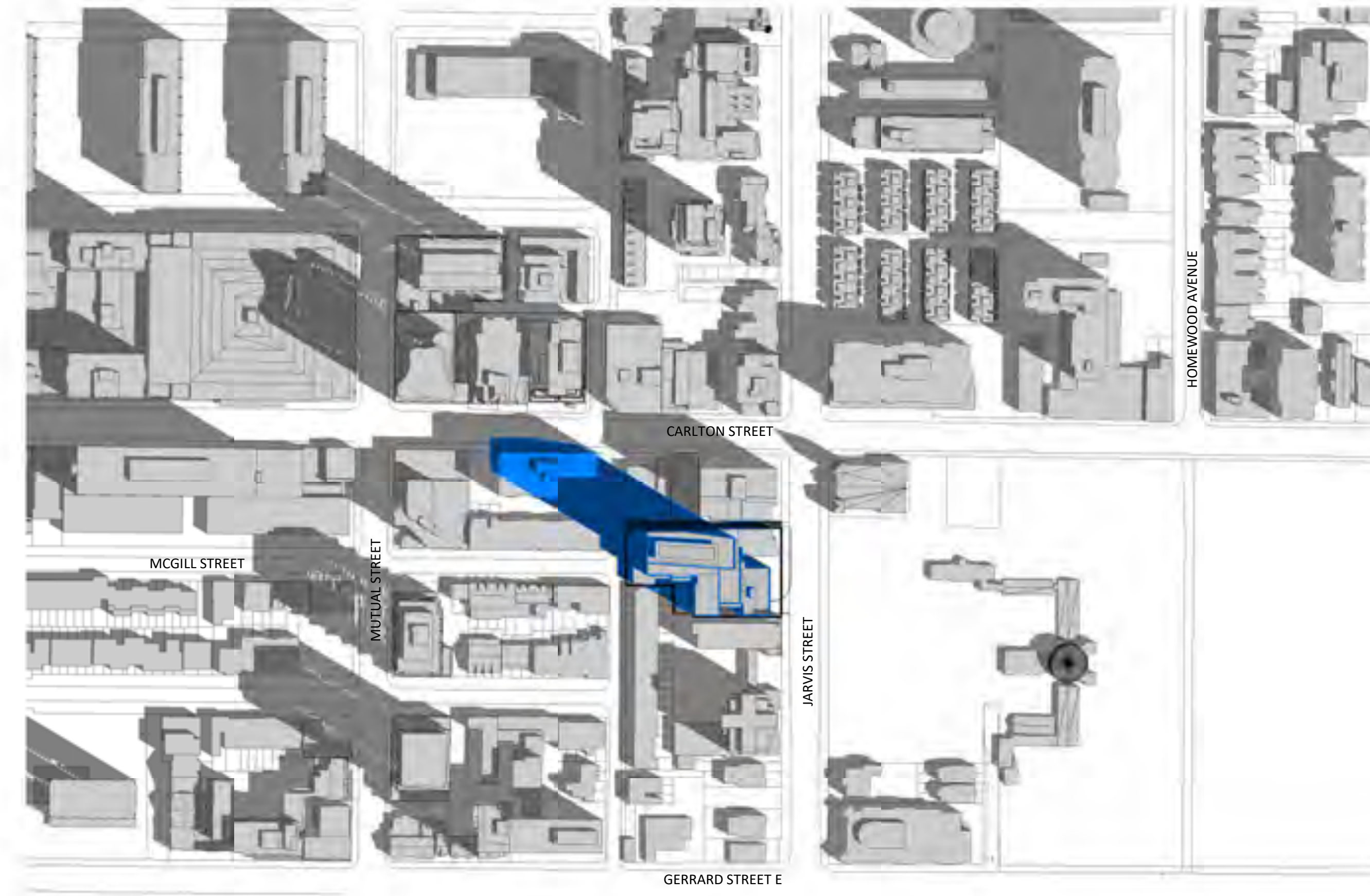


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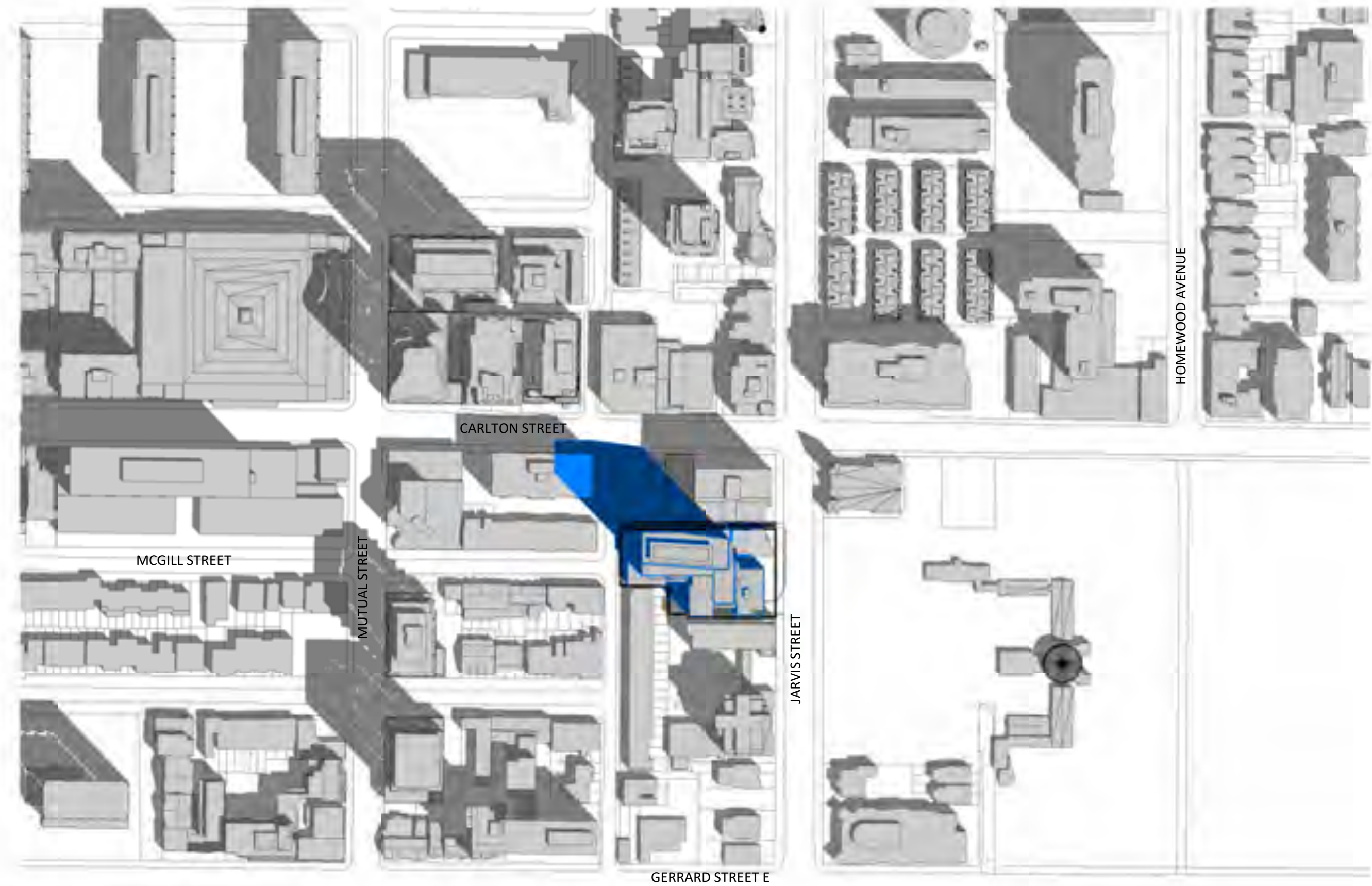
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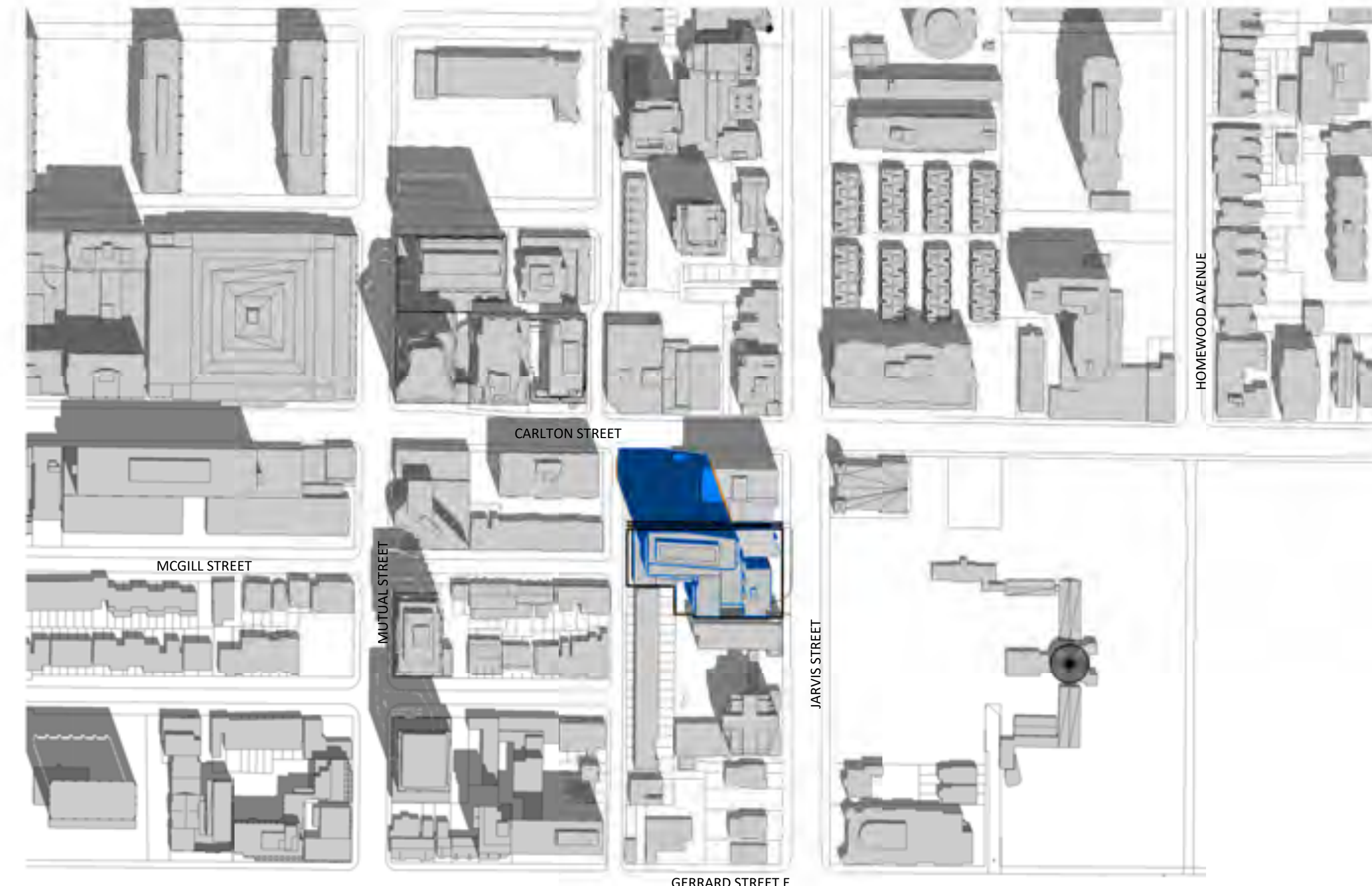
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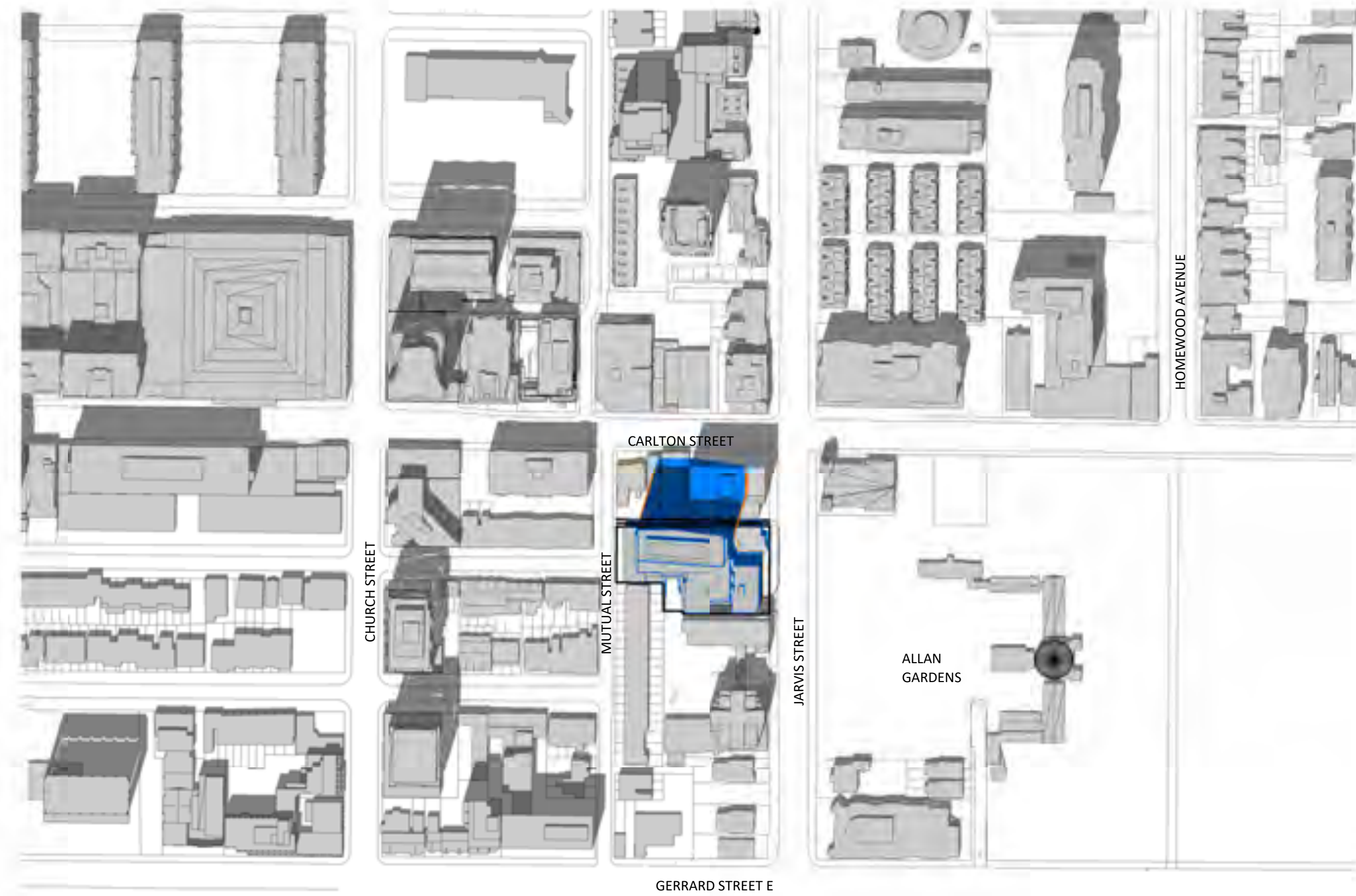


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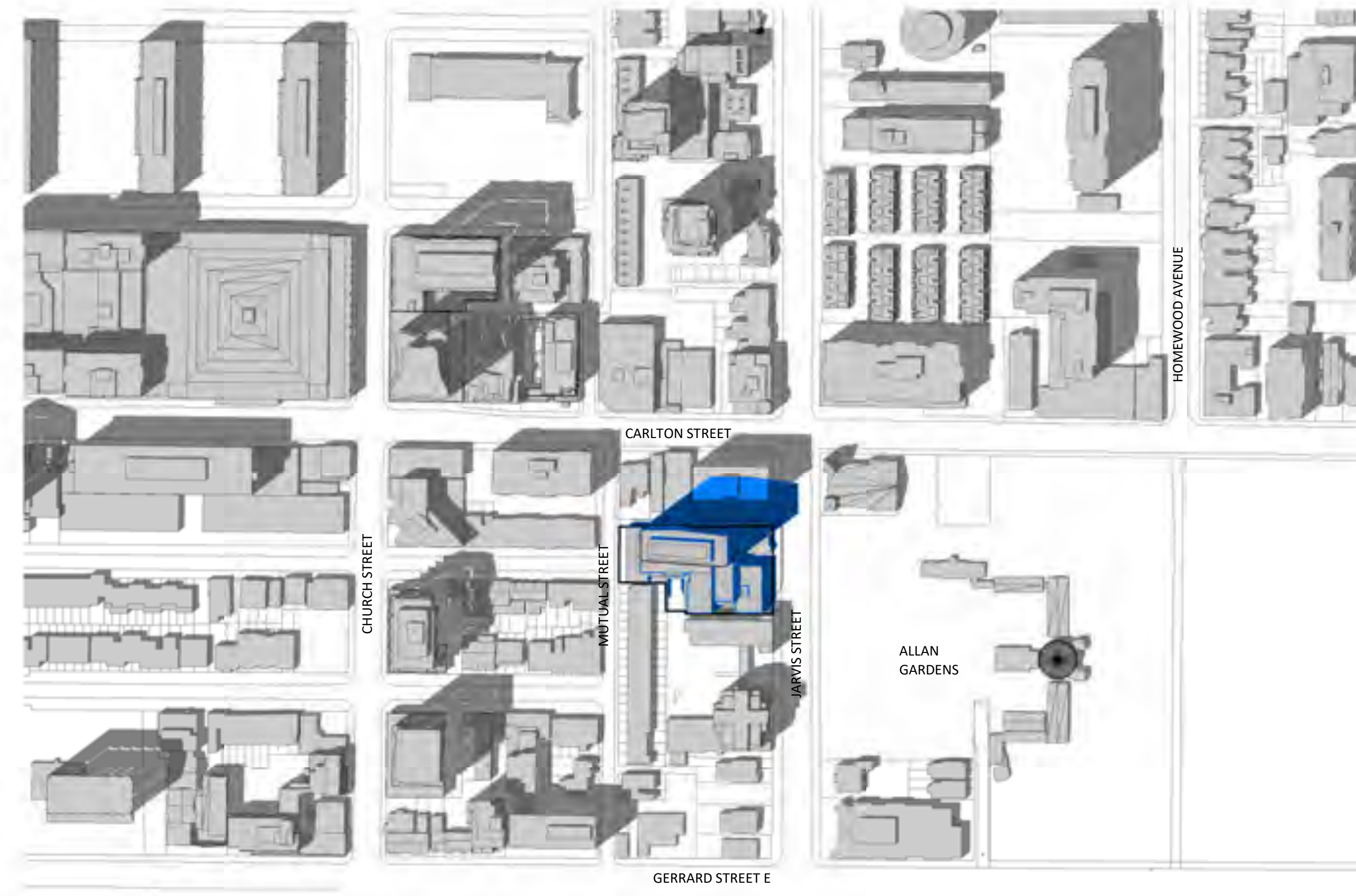
DRAWING
SHADOW STUDY - JUNE
(DAYLIGHT SAVING TIME)

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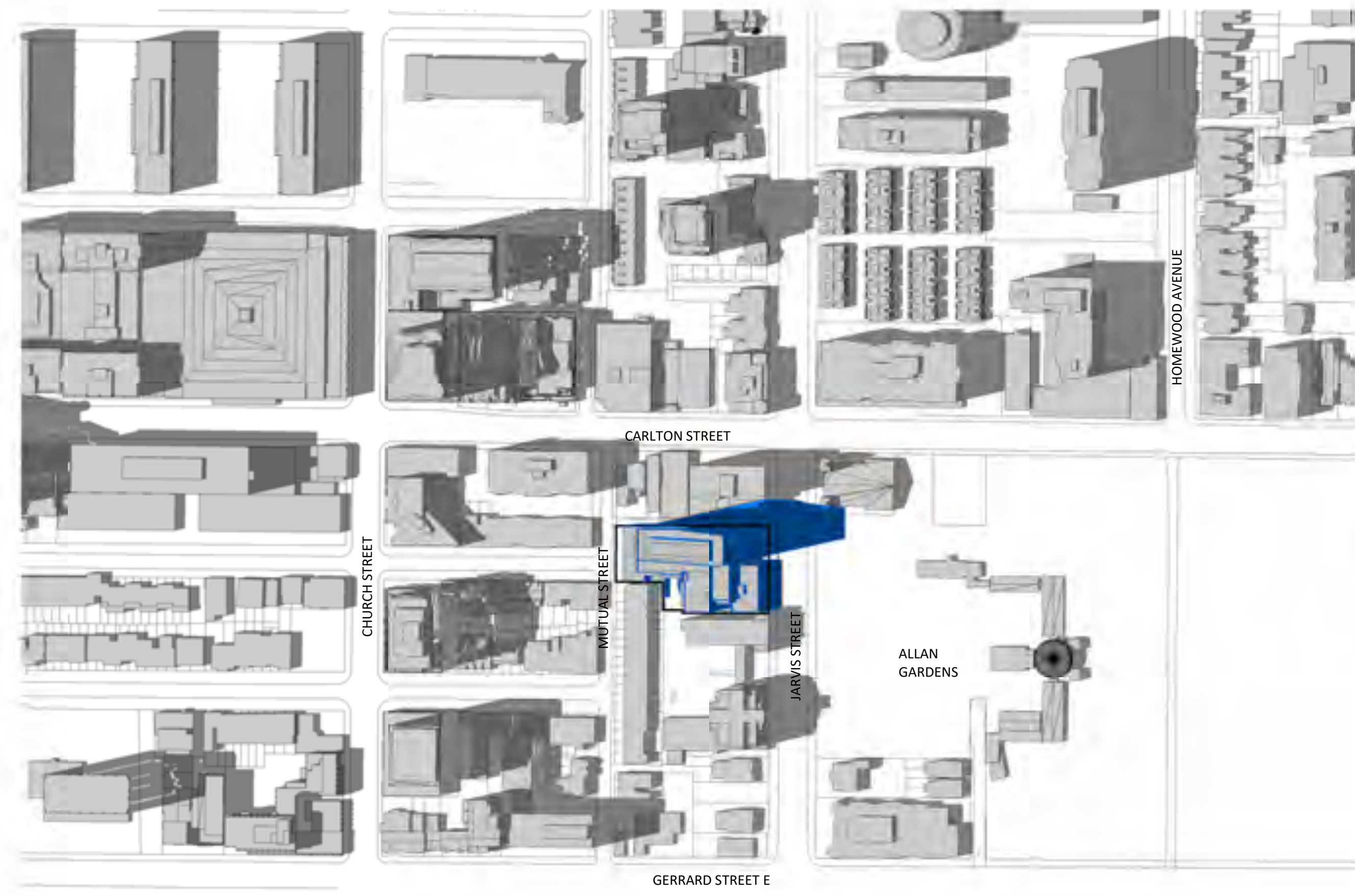
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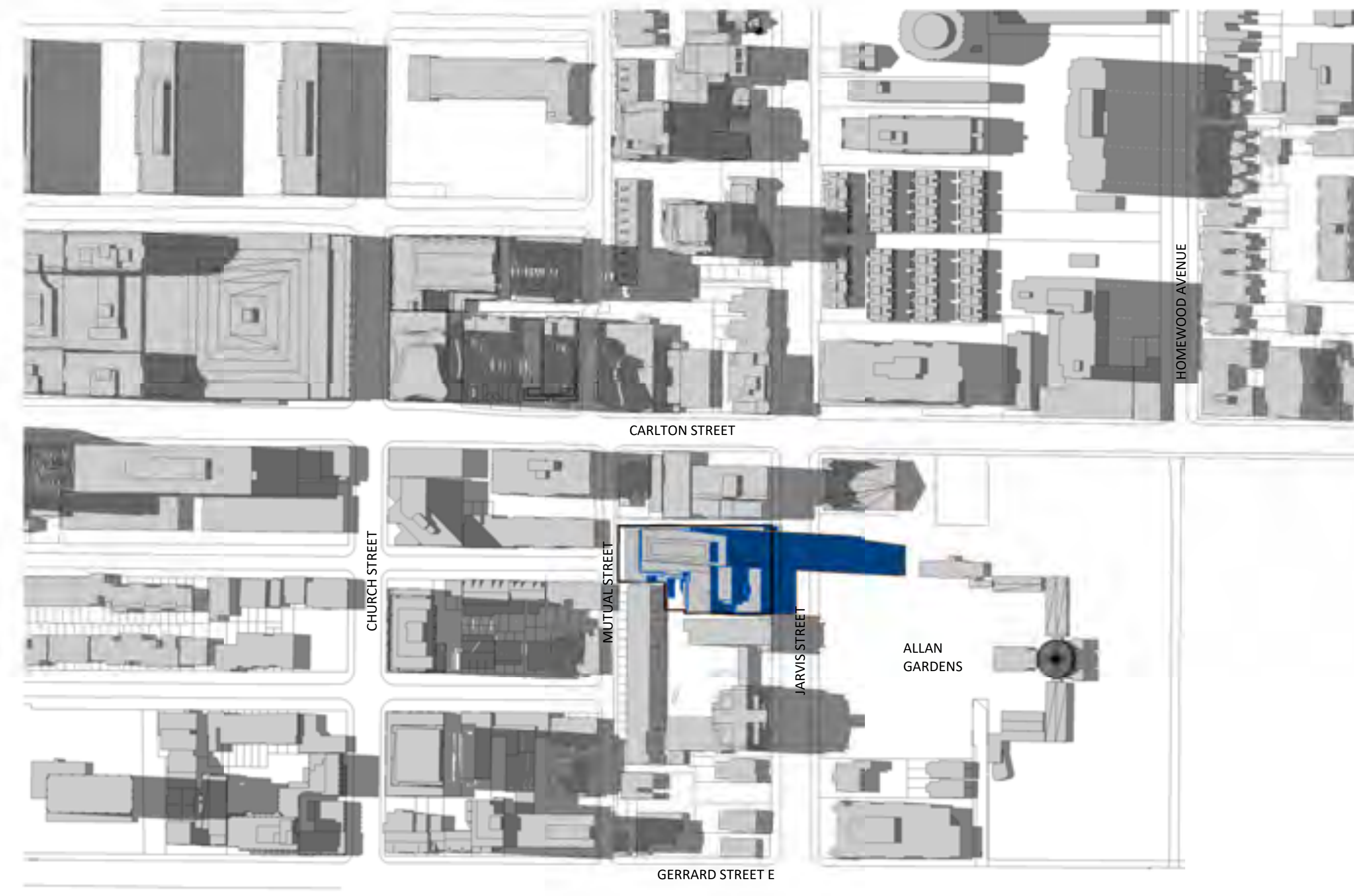
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1 JUNE 21-1718 PM
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2 JUNE 21-1818 PM
SPA816 1:2000

SCALE 1:2000
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LEGEND

- Shadow of the Proposed Scheme (June 14, 2019)
- Shadow of Proposed Scheme that exceeds boundary of Settlement Scheme (November 28, 2017)
- Shadow of the Settlement Scheme (November 28, 2017)

| # | DATE | DESCRIPTION | BY |
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| 1 | 2019-06-14 | ISSUED FOR SPA | AYU |



PROJECT
308-314 Jarvis Street & 225 Mutual Street
Toronto, Ontario, Canada

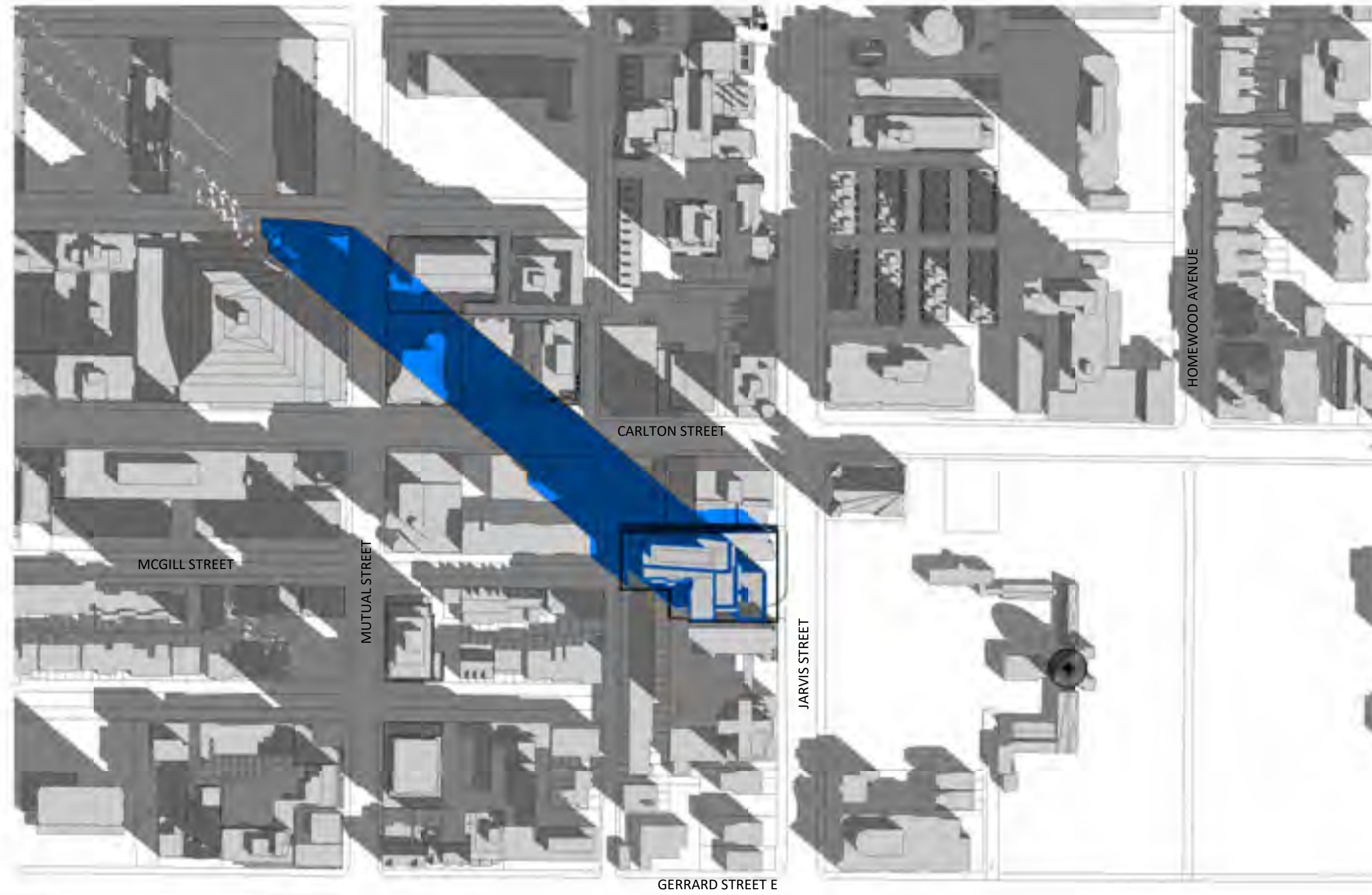
DRAWING
SHADOW STUDY - JUNE
(DAYLIGHT SAVING TIME)

PROJECT NO.
18.189CS
PROJECT DATE
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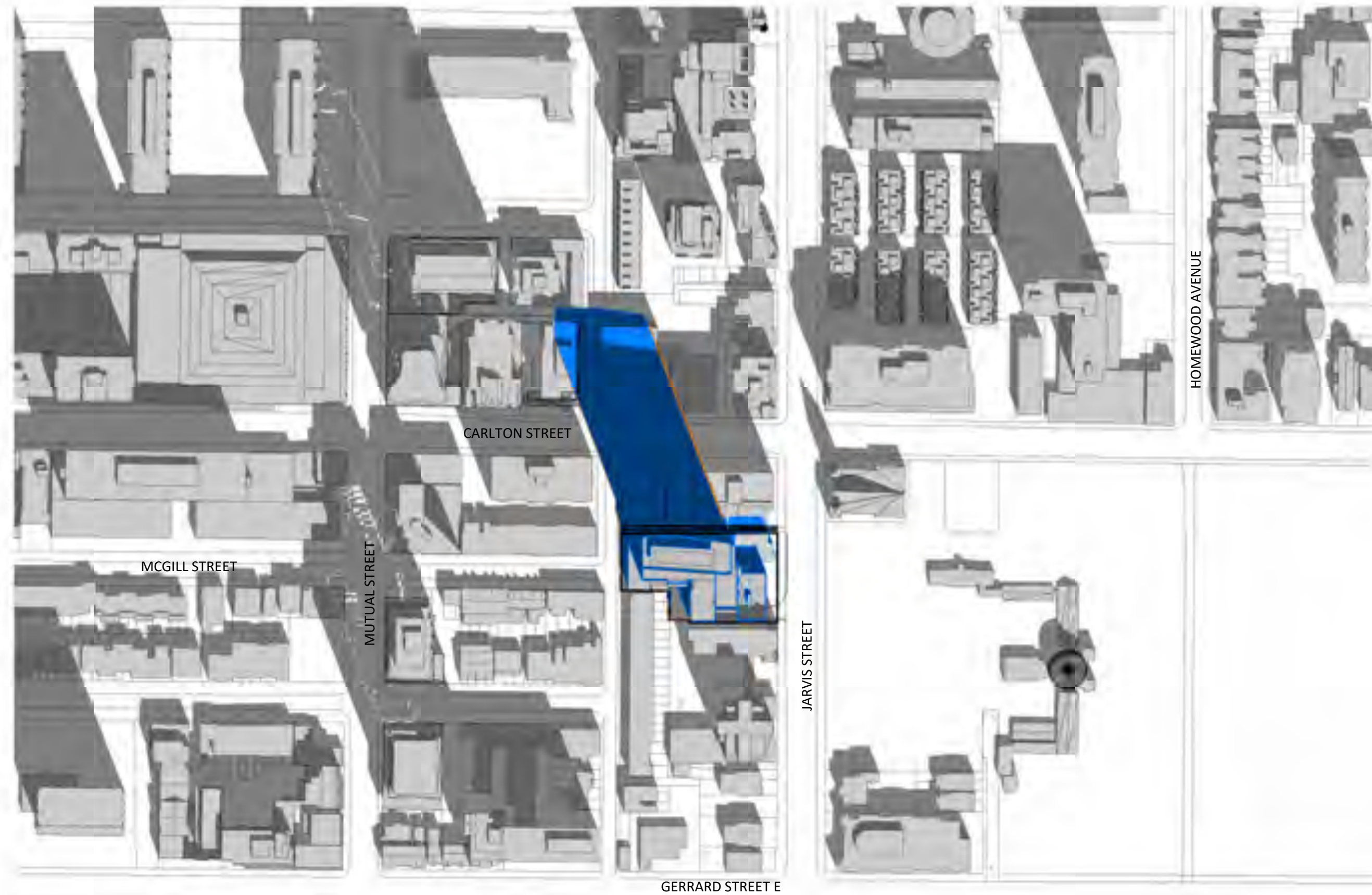
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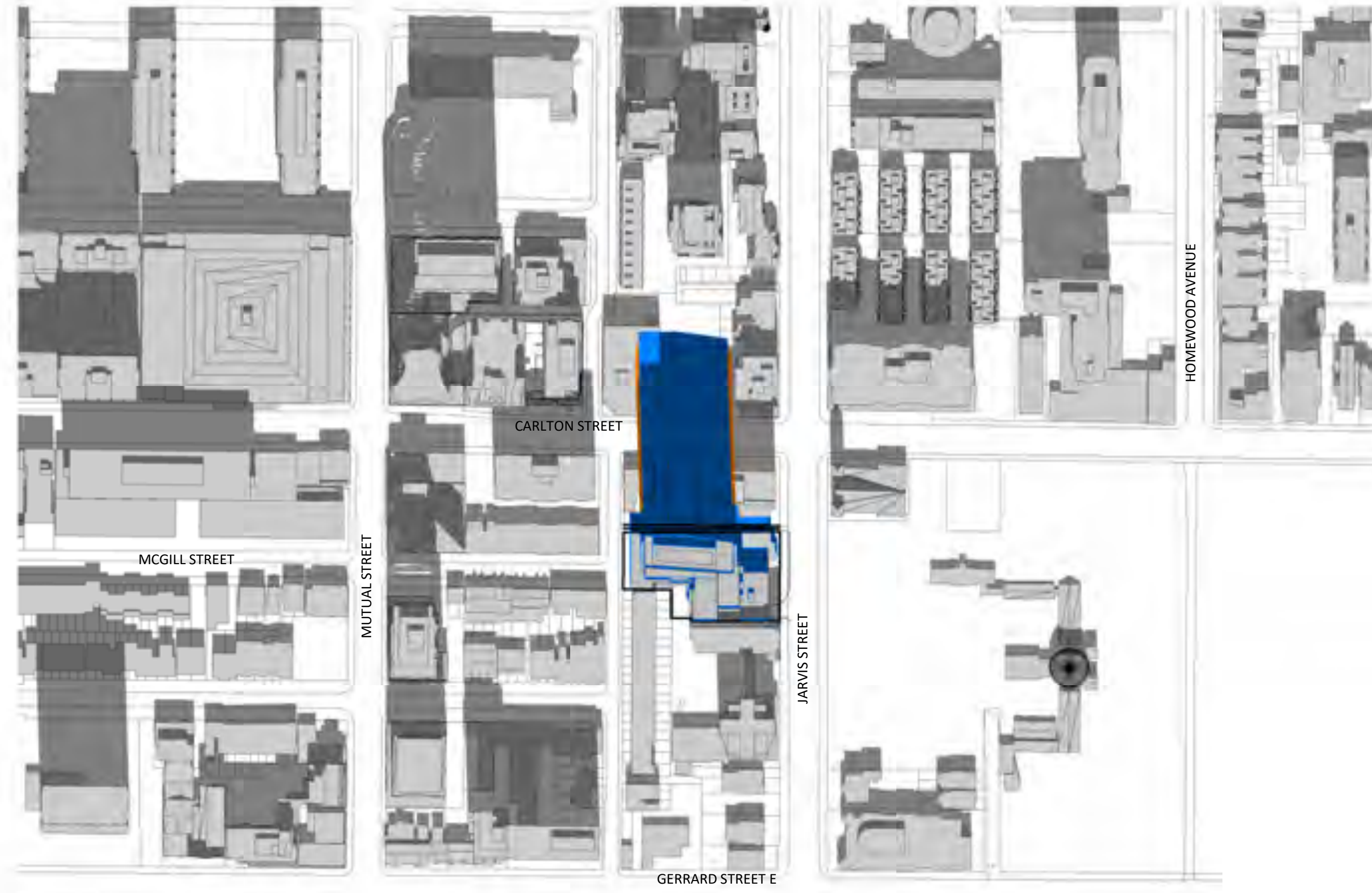
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LEGEND

- Shadow of the Proposed Scheme (June 14, 2019)
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- Shadow of the Settlement Scheme (November 28, 2017)

| # | DATE | ISSUED FOR SPA | DESCRIPTION | AYU | BY |
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| 1 | 2019-06-14 | ISSUED FOR SPA | | AYU | |

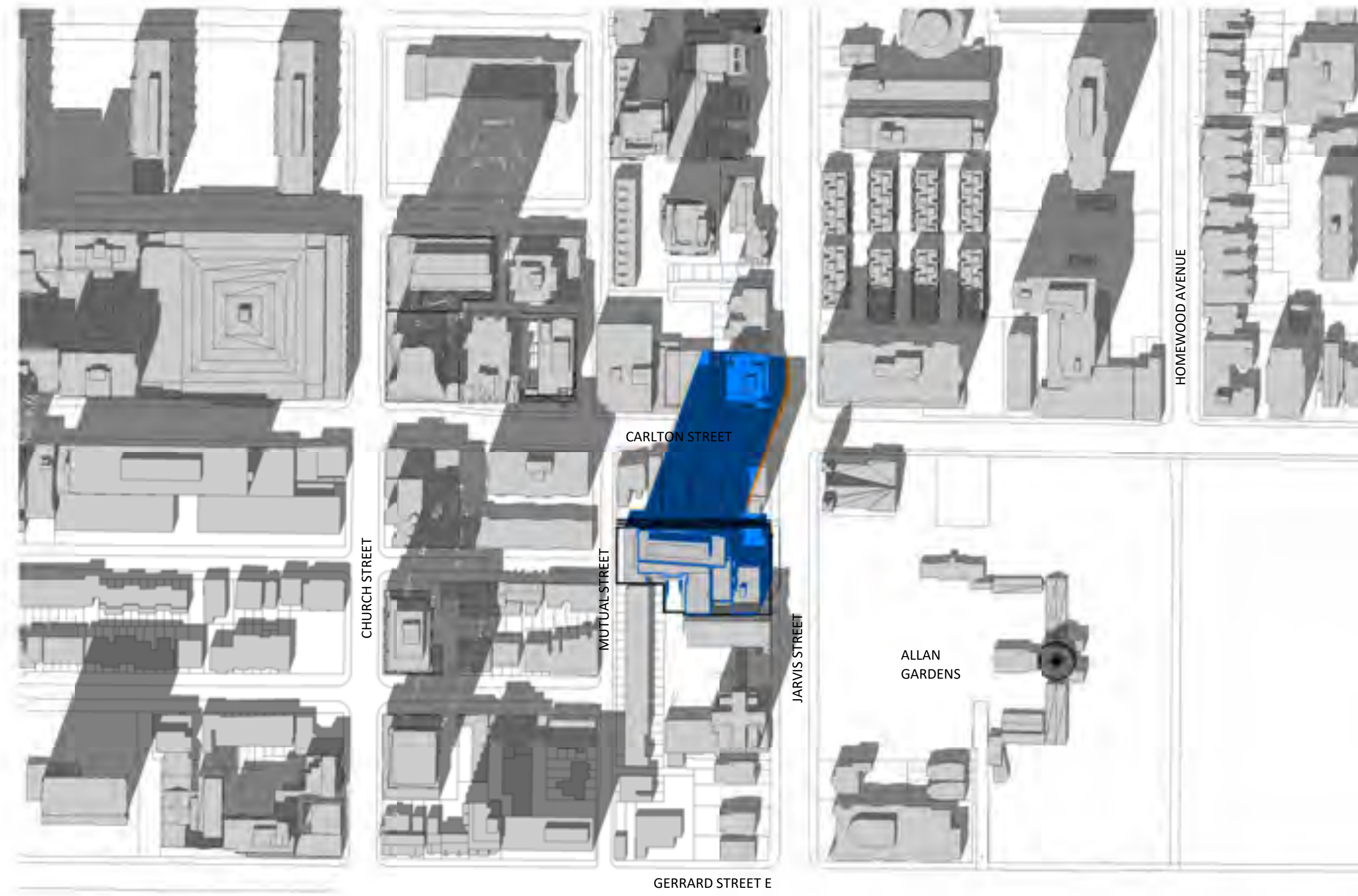


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308-314 Jarvis Street & 225 Mutual Street
Toronto, Ontario, Canada

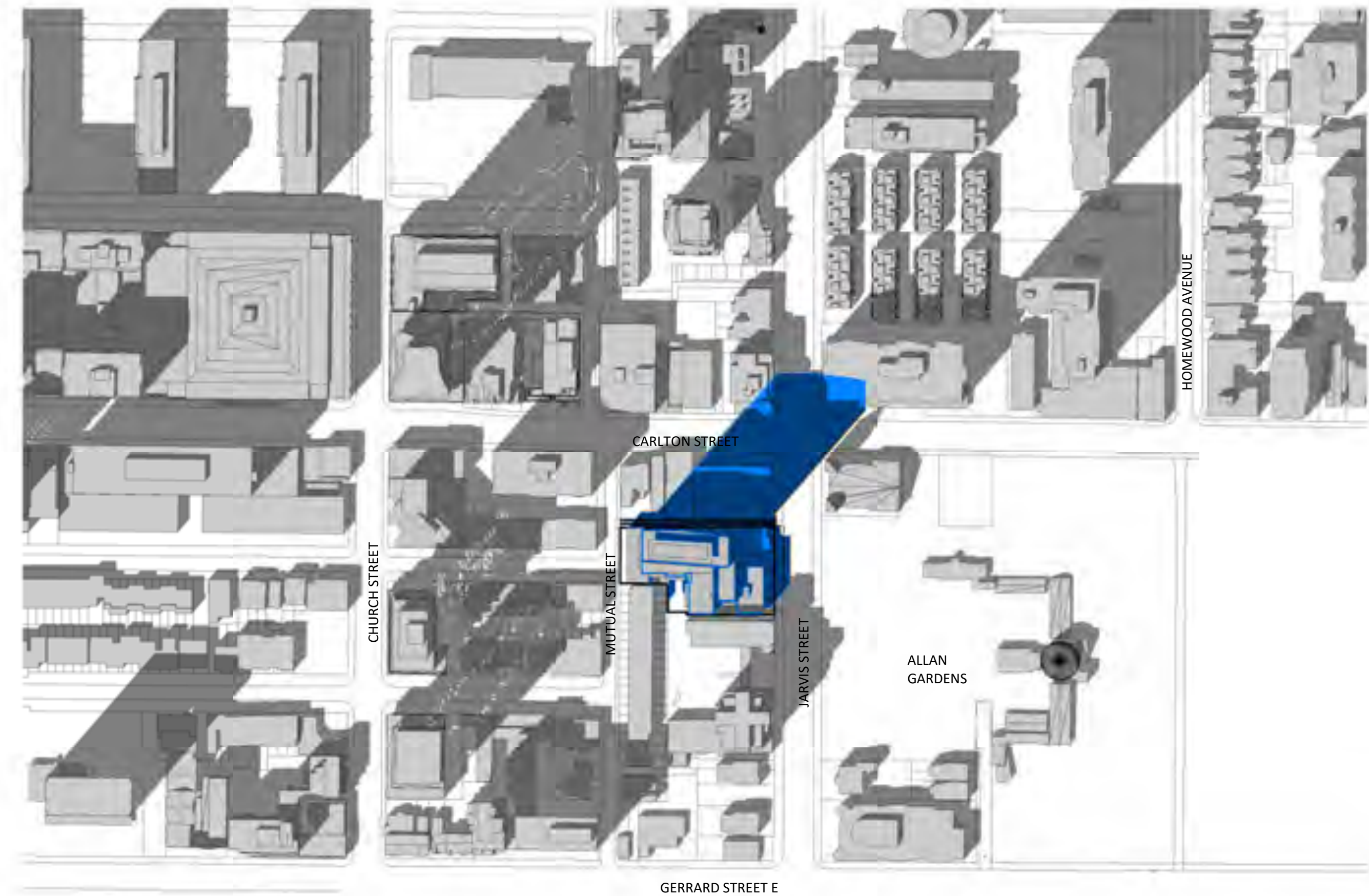
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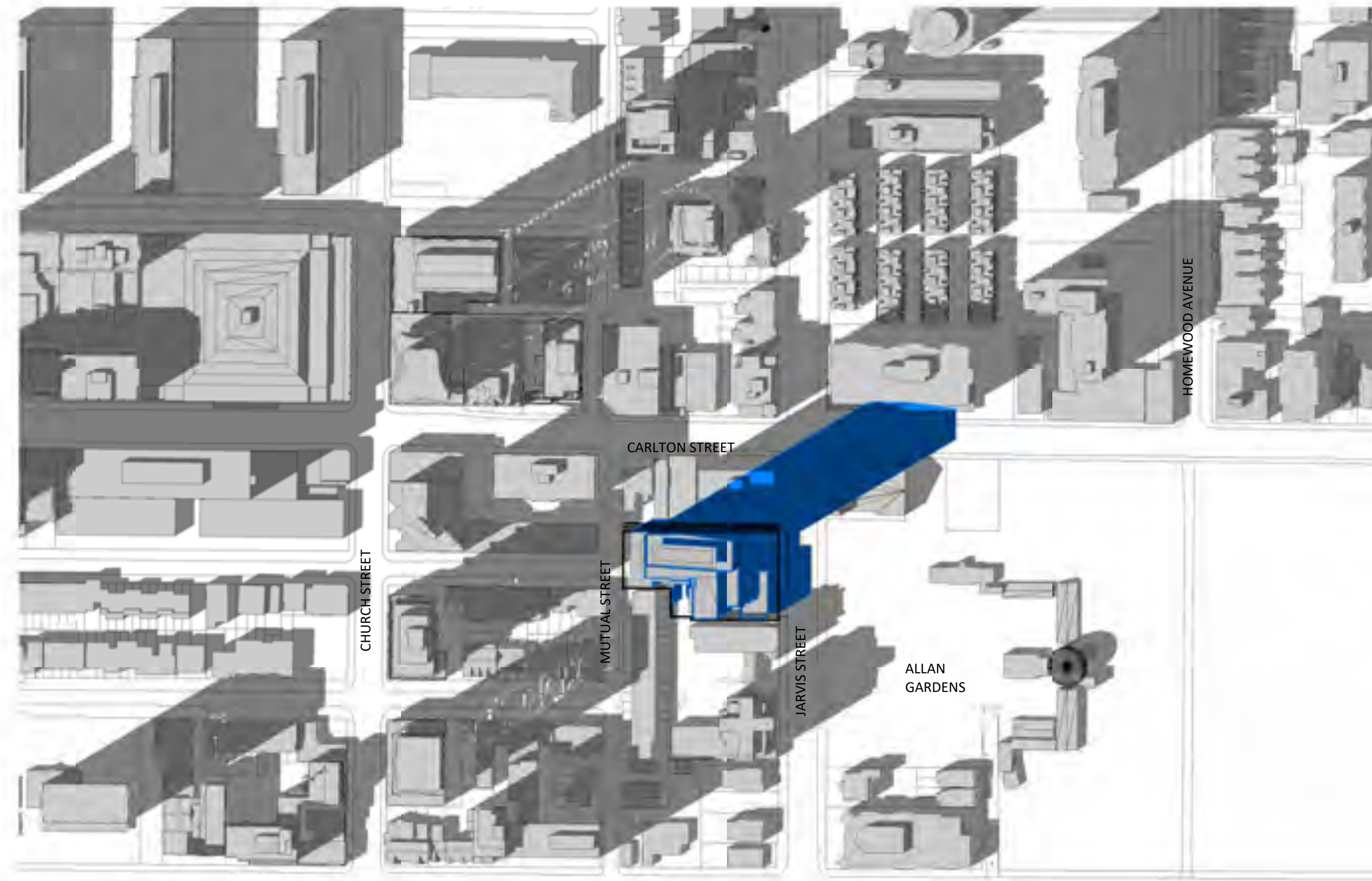
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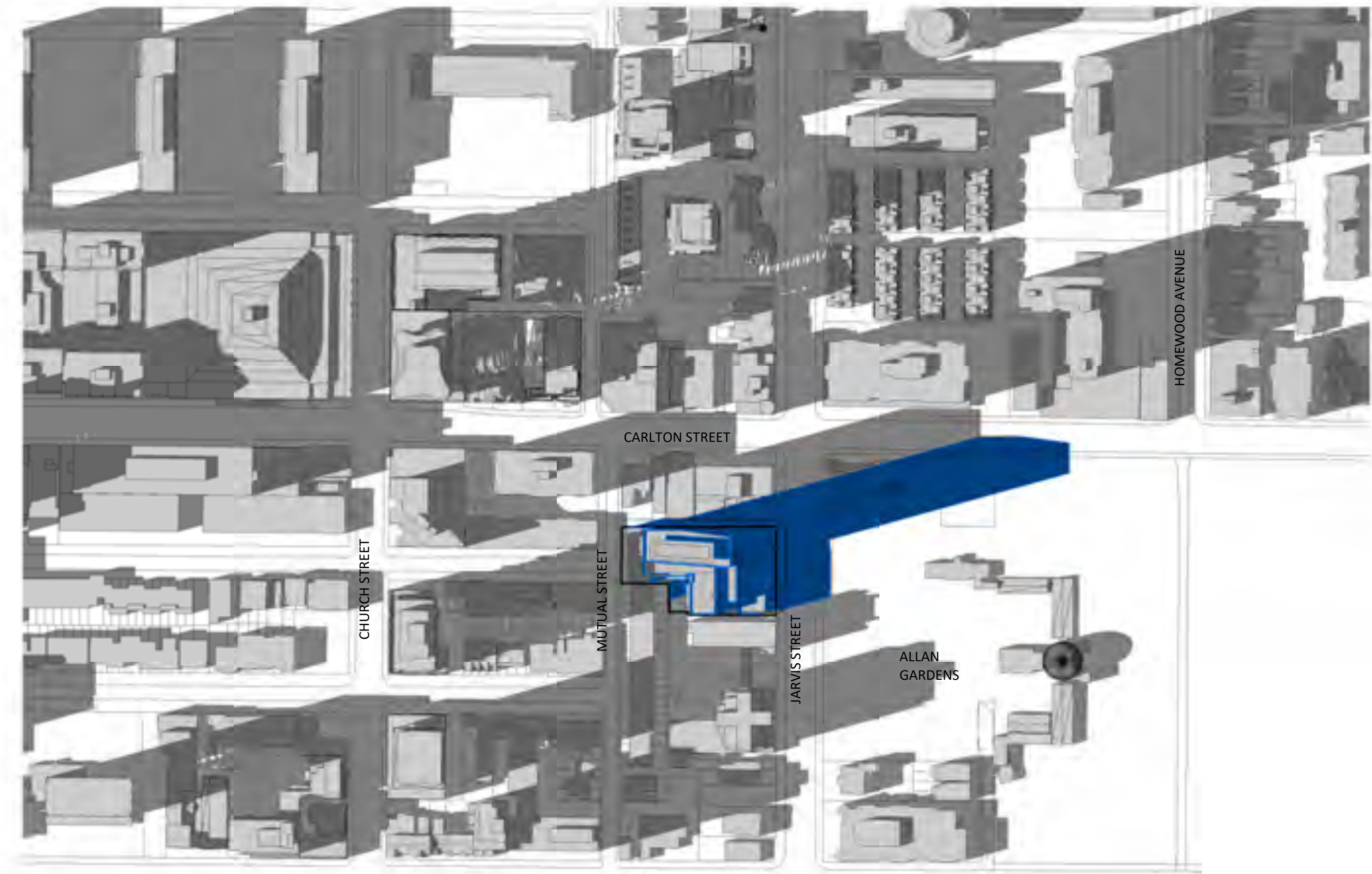
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LEGEND

- Shadow of the Proposed Scheme (June 14, 2019)
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| # | DATE | ISSUED FOR SPA | DESCRIPTION | AYU | BY |
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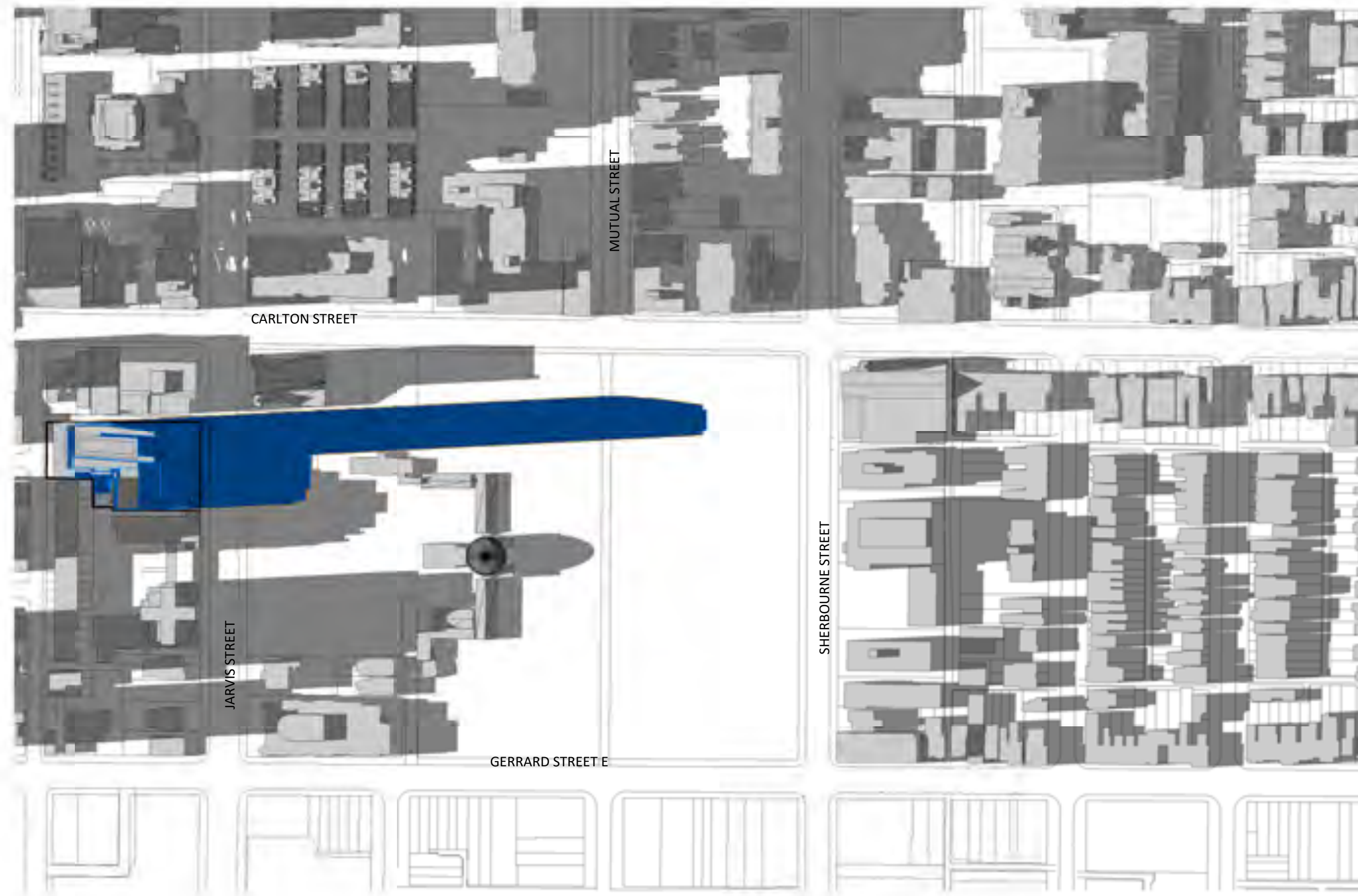


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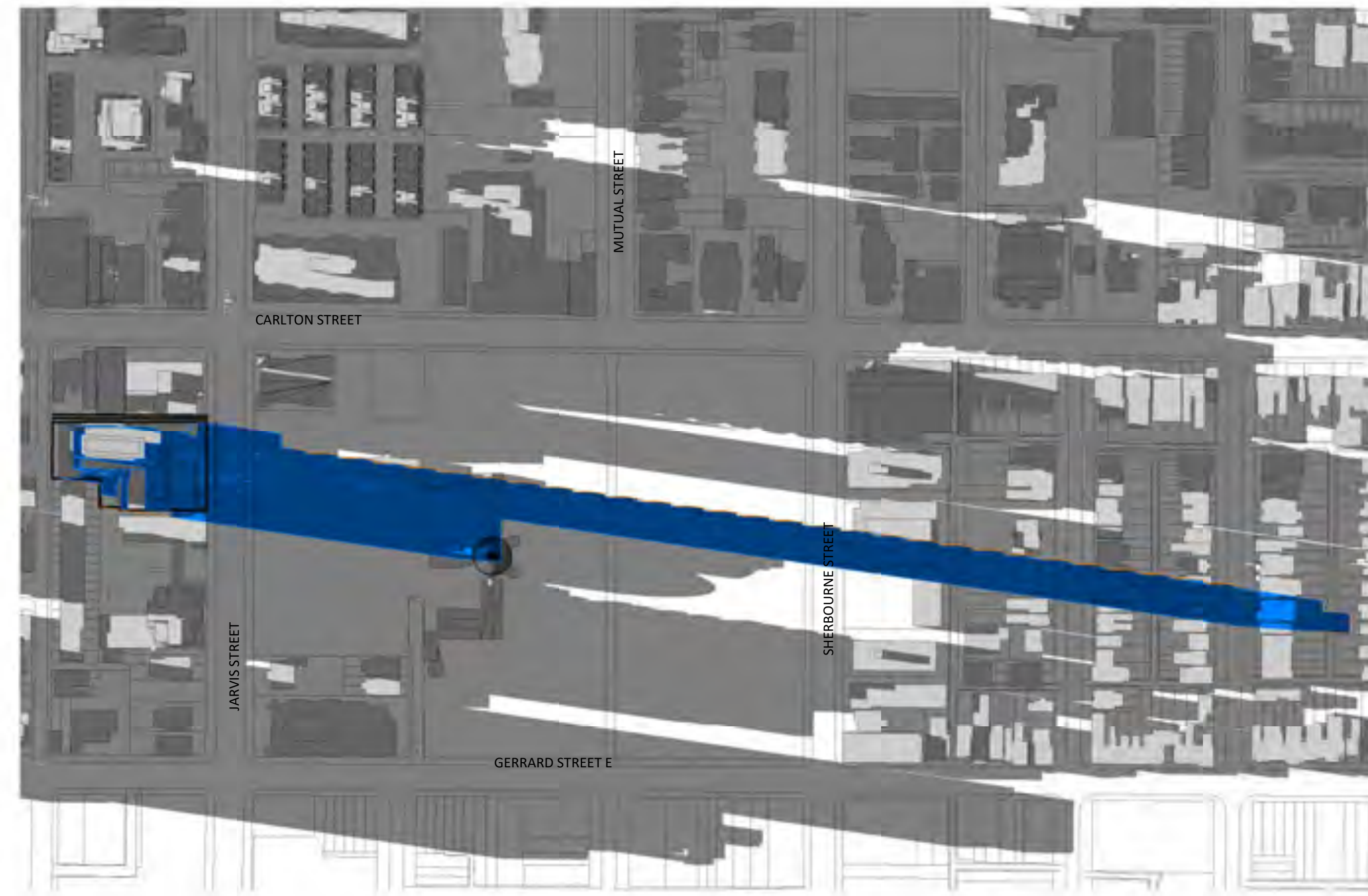
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LEGEND

- Shadow of the Proposed Scheme (June 14, 2019)
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APPENDIX VI

**City of Toronto
Heritage Impact Assessment
Terms of Reference**

| Title | Heritage Impact Assessment |
|-------|--|
| | Updated October 2018 |
| | <p>(ii) Description of the Proposed Development or Use Operation</p> <ul style="list-style-type: none"> A summary and brief description of the proposed development or use proposed. <p>(iii) Impact of Development on this Identifier</p> <ul style="list-style-type: none"> An assessment describing any impact the proposed development or use changes may have on the cultural heritage identifier. Negative impacts on a cultural heritage identifier are stated as follows: (i) minor, (ii) moderate, (iii) significant, but not precluded, or (iv) major. Discussion of any on-site or off-site significant heritage conflicts or threats. <ul style="list-style-type: none"> Assessing the fit and compatibility, or its incompatibility, with the historic character elements. Assessing potential for any the appearance of a heritage identifier or place (i.e. visibility of an associated heritage feature or structure, such as a plaque) because of a heritage identifier that is associated (i.e. associated, related or is significant to) the identifier. Identify any heritage identifier or heritage value or value element, such as an artefact and historic feature. It should be noted that the impact of a change to a heritage identifier is not the impact of the property's existing heritage value. List considerations such as a change in grade, the street profile, and drainage patterns that adversely affect a cultural heritage feature, including archaeological resources. <p>(iv) Considered Alternatives and Mitigation Strategies</p> <ul style="list-style-type: none"> An overview of potential options, mitigation measures, and development impacts that may be considered in order to avoid or limit the negative impacts on the cultural heritage identifier. Mitigation or measures for avoiding a negative impact on a cultural heritage identifier are stated as follows: (i) minor, (ii) moderate, (iii) significant, but not precluded, or (iv) major. <ul style="list-style-type: none"> Alternative development alternatives. Limiting development and use activities from adjacent, back and lateral streets, and signs. Minimizing potential for new construction, parking, paving, and signage. Limiting height and density. Addressing any compatibility and fit and address. Resourcing resources. <p>(v) Conservation Strategy</p> <ul style="list-style-type: none"> The preferred strategy recommended to best preserve and enhance any cultural heritage value and heritage attributes of the cultural heritage identifier including, but not limited to: <ul style="list-style-type: none"> A conservation strategy including the proposed methods. A conservation plan of work including the proposed methods and Ay implementation and monitoring plan. Recommendations for additional conditions related to that not limited to conservation that specify design guidelines, implementation considerations (timing, scope), monitoring requirements, additional conservation and documentation plans or activities, and heritage management. Additional conservation planning and proposals. <p>(vi) Appendix</p> <ul style="list-style-type: none"> A list of supporting documents, photographs and other materials (attached) to provide the data. |

| Title | Heritage Impact Assessment |
|-------|--|
| | Updated October 2018 |
| | <p>Hyperlinks</p> <ul style="list-style-type: none"> City of Toronto's Division of Planning - 2018 Heritage Inventory of Toronto: Inventory of Heritage Resources - Toronto, Ontario Ontario Heritage Program Website: Ontario Heritage Program Website Parks Canada National Historic Site of Canada - Parks Canada National Historic Site of Canada Canadian Register of Historic Places: Canadian Register of Historic Places Parks Canada National Historic Site of Canada - Parks Canada National Historic Site of Canada Ontario Ministry of Culture & Sport - Ontario Ministry of Culture & Sport Ontario Ministry of Culture & Sport - Ontario Ministry of Culture & Sport Ontario Heritage Inventory: Ontario Heritage Inventory Ontario Heritage Inventory: Ontario Heritage Inventory |