

## **73 Queen's Park Crescent East – Official Plan and Zoning Amendment Application – Final Report**

Date: June 2, 2021

To: Toronto and East York Community Council

From: Director, Community Planning, Toronto and East York District

Ward: 11 - University-Rosedale

**Planning Application Number:** 19 205018 STE 11 OZ

### **SUMMARY**

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This application proposes to permit a five-storey, 7,024 square metre institutional building at 73 Queen's Park Crescent East.

The proposed development is consistent with the Provincial Policy Statement (2020), conforms with the Growth Plan for the Greater Golden Horseshoe (2020) and conforms with the intent of the Official Plan.

This report reviews and recommends approval of the application to amend the Official Plan and Zoning By-law. The application proposes a compact built form on a site that is appropriate for further intensification, within a built-up area, that would take advantage of existing infrastructure, provide new institutional uses, allocate approximately 67 percent of the site as open space and contribute to the vitality of the campus and surrounding area. It would advance policy objectives to create complete communities, provide a range of institutional uses and employment opportunities, and ensure a form of development that makes efficient use of land while limiting impacts on the character and function of the surrounding area and enhancing the public realm.

### **RECOMMENDATIONS**

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The City Planning Division recommends that:

1. City Council amend the Official Plan for the lands at 73 Queen's Park Crescent East substantially in accordance with the draft Official Plan Amendment attached as Attachment No. 6 to this report (June 2, 2021) from the Director, Community Planning, Toronto and East York District.

2. City Council amend Zoning By-law 438-86 for the lands at 73 Queen's Park Crescent East substantially in accordance with the draft Zoning By-law Amendment attached as Attachment No. 7 to this report (June 2, 2021) from the Director, Community Planning, Toronto and East York District.

3. City Council authorizes the City Solicitor to make such stylistic and technical changes to the draft Official Plan Amendment and draft Zoning By-law Amendment as may be required.

4. Before introducing the necessary Bills to City Council for enactment, City Council require the owner to:

- a) Provide a revised Functional Servicing and Stormwater Management Report to demonstrate that the existing municipal infrastructure is adequate to service the proposed development and to determine whether any upgrades may be required to the existing infrastructure to support the proposed development, to the satisfaction of the Chief Engineer and Executive Director, Engineering and Construction Services; and
- b) Enter into a financially secured agreement to secure the design and construction of any improvements to the municipal infrastructure identified in the accepted Functional Servicing and Stormwater Management Report, to the satisfaction of the Chief Engineer and Executive Director, Engineering and Construction Services, should it be determined that improvements to such infrastructure are required to support this development.

## **FINANCIAL IMPACT**

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The City Planning Division confirms that there are no financial implications resulting from the recommendations included in this report in the current budget year or in future years.

## **DECISION HISTORY**

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Pre-application meetings were held on November 1, 2017 and May 11, 2018. The current application was submitted on August 13, 2019 and deemed complete on September 11, 2019. A Preliminary Report on the application was adopted by Toronto and East York Community Council on October 10, 2019 authorizing staff to conduct a community consultation meeting with an expanded notification area. The issues raised during the community consultation are summarized in this report. The Community Council decision and Preliminary Report are available at:

<http://app.toronto.ca/tmmis/viewAgendaItemHistory.do?item=2019.TE9.35>

At its meeting on April 22, 2021, the Planning and Housing Committee adopted the Draft Delineations for the Protected Major Transit Station Areas within the Downtown Secondary Plan and Draft Citywide Major Transit Station Areas (MTSA) Policy Directions as a basis for consultation. The draft sixteen Site and Area Specific Policies under consultation contain individual delineations, policies, and minimum density targets for each station area. The Minister of Municipal Affairs and Housing is the approval authority for the delineation of Protected Major Transit Stations Areas and the Minister's decision is not appealable. The proposed PMTSAs for Bay Station (SASP 599) and

Museum Station (SASP 612) include the subject property. The staff report (Item PH22.6) can be accessed here:

<https://www.toronto.ca/legdocs/mmis/2021/ph/bgrd/backgroundfile-165469.pdf>

and the draft SASPs can be accessed here:

<https://www.toronto.ca/legdocs/mmis/2021/ph/bgrd/backgroundfile-165470.pdf>.

## **PROPOSAL**

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This application proposes to amend the Official Plan and Zoning By-law for the property at 73 Queen's Park Crescent East to permit a five-storey building with a height of approximately 25.5 metres, including the mechanical penthouse, and a gross floor area of approximately 7,024 square metres. The building would contain institutional uses including classroom, lab and student spaces, offices and a cafe. No vehicle parking spaces and 90 bicycle parking spaces are proposed. Approximately 2,353 square metres of open space is proposed across the site.

See Attachment 2 of this report for application data, Attachment 8 for the proposed Site Plan, Attachments 9-12 for the proposed Elevations and Attachments 13-14 for three dimensional representations of the project in context.

### **Site and Surrounding Area**

The subject property is located within the University of Toronto St. George Campus, on the east side of Queen's Park, south of Charles Street West and north of St. Joseph Street. The triangular site has an area of approximately 3,504 square metres with a frontage on Queen's Park Crescent East of approximately 118 metres and a depth of approximately 85 metres along the north boundary and 73 metres along the east boundary of the site.

The site currently contains Northrop Frye Hall, a four-storey, 4,213 square metre institutional building, surrounded by landscaped open space.

The buildings and uses surrounding the subject site include the following:

North: Emmanuel College and Victoria College, both three-storey institutional buildings, are located immediately north of the site, surrounded by primarily low-rise institutional buildings and a range of low-rise to tall buildings containing a mix of uses along both sides of Bloor Street West and Avenue Road beyond.

East: E.J. Pratt Library, a four-storey institutional building, is located immediately east of the site, with primarily low-rise institutional buildings beyond and taller mixed-use buildings located closer to Bay Street.

South: To the south is Queen's Park, the Ontario Legislative Building and a mix of generally low- to mid-rise institutional buildings, interspersed with taller institutional and office buildings along Queen's Park Crescent East and south towards College Street.

West: To the west is a mix of low and mid-rise institutional buildings, and a proposed nine-storey institutional building (File No. 19 118245 SET 11 OZ), with Philosopher's Walk and the Trinity College complex beyond.

See Attachment 1 of this report for the location map.

### **Reasons for Application**

The Official Plan Amendment is required because the proposed building exceeds the maximum additional gross floor area of 4,311 square metres permitted by Site and Area Specific Policy 3 in Section 7 of the University of Toronto Secondary Plan.

While the proposed institutional land use is permitted under existing zoning provisions, an amendment to the former City of Toronto Zoning By-law 438-86 is required to establish appropriate performance standards to regulate the built form on the site, such as site layout, setbacks, height and density.

## **APPLICATION BACKGROUND**

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### **Application Submission Requirements**

The following reports/studies were submitted in support of the application:

- Planning Rationale
- Heritage Impact Assessment
- Urban Design Guidelines
- Arborist Report
- Sun/Shadow Study
- Pedestrian Level Wind Study
- Toronto Green Standards Checklist
- Energy Efficiency Report
- Public Consultation Plan
- Functional Servicing and Stormwater Management Report
- Geotechnical Report
- Hydrogeological Report
- Transportation Impact Assessment
- Noise and Vibration Impact Study

These reports/studies can be viewed through the Application Information Centre (AIC) here:

<https://www.toronto.ca/city-government/planning-development/application-information-centre/>.

## **Agency Circulation Outcomes**

The application, together with the applicable reports noted above, has been circulated to all appropriate agencies and City Divisions. Responses received have been used to assist in evaluating the application and to formulate appropriate Official Plan amendments and Zoning By-law standards.

## **Statutory Public Meeting Comments**

In making their decision with regard to this application, Council members have had an opportunity to view the oral submissions made at the statutory public meeting held by the Toronto and East York Community Council for this application, as these submissions are broadcast live over the internet and recorded for review.

## **POLICY CONSIDERATIONS**

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### **Planning Act**

Section 2 of the Planning Act sets out matters of provincial interest, to which City Council shall have regard in carrying out its responsibilities, including the:

- conservation of features of significant architectural, cultural, historical, archaeological or scientific interest;
- adequate provision and efficient use of communication, transportation, sewage and water services and waste management systems;
- orderly development of safe and healthy communities;
- adequate provision and distribution of educational, health, social, cultural and recreational facilities;
- adequate provision of a full range of housing, including affordable housing;
- adequate provision of employment opportunities;
- appropriate location of growth and development;
- supply, efficient use and conservation of energy and water;
- promotion of development that is designed to be sustainable, to support public transit and to be oriented to pedestrians; and
- promotion of a built form that is well designed, encourages a sense of place, and provides for public spaces that are of high quality, safe, accessible, attractive and vibrant.

### **Provincial Land-Use Policies: Provincial Policy Statement and Provincial Plans**

Provincial Policy Statements and geographically specific Provincial Plans, along with municipal Official Plans, provide a policy framework for planning and development in the Province. This framework is implemented through a range of land use controls such as zoning by-laws, plans of subdivision and site plans.

Provincial Plans are intended to be read in their entirety and relevant policies are to be applied to each situation. The policies of the Plans represent minimum standards.

Council may go beyond these minimum standards to address matters of local importance, unless doing so would conflict with any policies of the Plans.

All decisions of Council in respect of the exercise of any authority that affects a planning matter shall be consistent with the PPS and shall conform with Provincial Plans. All comments, submissions or advice affecting a planning matter that are provided by Council shall also be consistent with the PPS and conform with Provincial Plans.

### **The Provincial Policy Statement (2020)**

The Provincial Policy Statement (2020) (the "PPS") provides policy direction province-wide on land use planning and development to promote strong communities, a strong economy, and a clean and healthy environment. It includes policies on key issues that affect communities, such as:

- the efficient use and management of land and infrastructure;
- ensuring the sufficient provision of housing to meet changing needs including affordable housing;
- ensuring opportunities for job creation;
- ensuring the appropriate transportation, water, sewer and other infrastructure is available to accommodate current and future needs; and
- protecting people, property and community resources by directing development away from natural or human-made hazards.

The provincial policy-led planning system recognizes and addresses the complex inter-relationships among environmental, economic and social factors in land use planning. The PPS supports a comprehensive, integrated and long-term approach to planning, and recognizes linkages among policy areas.

The PPS is issued under Section 3 of the Planning Act and all decisions of Council in respect of the exercise of any authority that affects a planning matter shall be consistent with the PPS. Comments, submissions or advice affecting a planning matter that are provided by Council shall also be consistent with the PPS.

The PPS recognizes and acknowledges the Official Plan as an important document for implementing the policies within the PPS. Policy 4.6 of the PPS states that, "The official plan is the most important vehicle for implementation of this Provincial Policy Statement. Comprehensive, integrated and long-term planning is best achieved through official plans."

### **A Place to Grow: Growth Plan for the Greater Golden Horseshoe (2020)**

A Place to Grow: Growth Plan for the Greater Golden Horseshoe (2020) (the "Growth Plan") came into effect on August 28, 2020. This was an amendment to the Growth Plan for the Greater Golden Horseshoe, 2019. The Growth Plan (2020) continues to provide a strategic framework for managing growth and environmental protection in the Greater Golden Horseshoe region, of which the City forms an integral part. The Growth Plan,

establishes policies that require implementation through a Municipal Comprehensive Review (MCR), which is a requirement pursuant to Section 26 of the Planning Act.

Policies not expressly linked to a MCR can be applied as part of the review process for development applications, in advance of the next MCR. These policies include:

- Directing municipalities to make more efficient use of land, resources and infrastructure to reduce sprawl, contribute to environmental sustainability and provide for a more compact built form and a vibrant public realm;
- Directing municipalities to engage in an integrated approach to infrastructure planning and investment optimization as part of the land use planning process;
- Achieving complete communities with access to a diverse range of housing options, protected employment zones, public service facilities, recreation and green space, and better connected transit to where people live and work;
- Retaining viable lands designated as employment areas and ensuring redevelopment of lands outside of employment areas retain space for jobs to be accommodated on site;
- Minimizing the negative impacts of climate change by undertaking stormwater management planning that assesses the impacts of extreme weather events and incorporates green infrastructure; and
- Recognizing the importance of watershed planning for the protection of the quality and quantity of water and hydrologic features and areas.

The Growth Plan contains policies pertaining to population and employment densities that should be planned for in major transit station areas (MTSAs) along priority transit corridors or subway lines. MTSAs are generally defined as the area within an approximately 500 to 800 metre radius of a transit station, representing about a 10-minute walk. The Growth Plan requires that, at the time of the next MCR, the City update its Official Plan to delineate MTSA boundaries and demonstrate how the MTSAs plan for the prescribed densities.

The Growth Plan builds upon the policy foundation provided by the PPS and provides more specific land use planning policies to address issues facing the Greater Golden Horseshoe region. The policies of the Growth Plan take precedence over the policies of the PPS to the extent of any conflict, except where the relevant legislation provides otherwise. In accordance with Section 3 of the Planning Act, all decisions of Council in respect of the exercise of any authority that affects a planning matter shall conform with the Growth Plan. Comments, submissions or advice affecting a planning matter that are provided by Council shall also conform with the Growth Plan.

Staff have reviewed the proposed development for consistency with the PPS (2020) and for conformity with the Growth Plan (2020). The outcome of staff analysis and review are summarized in the Comments section of this report.

## Toronto Official Plan

The City of Toronto Official Plan is a comprehensive policy document that guides development in the City, providing direction for managing the size, location and built form compatibility of different land uses and the provision of municipal services and facilities. Toronto Official Plan policies related to building complete communities, including heritage conservation and environmental stewardship may be applicable to any application.

This application has been reviewed against the policies of the City of Toronto Official Plan, including the Downtown Plan and University of Toronto Secondary Plan. The City of Toronto Official Plan can be found here:

<https://www.toronto.ca/city-government/planning-development/official-plan-guidelines/official-plan/>.

### *Chapter 2 - Shaping the City*

Policy 2.2.2 directs growth to the Downtown, Centres, Avenues, and Employment Areas in order to efficiently use existing infrastructure, create a concentration of jobs and people in areas well served by transit, and facilitate cultural and economic activity. The site is identified as part of the Downtown and Central Waterfront on Map 2 of the Official Plan. The Official Plan states that the Downtown will continue to evolve as a healthy and attractive place to live and work as new development that supports the reurbanization strategy and the goals for the Downtown is attracted to the area. While the Downtown is identified as an area offering opportunities for substantial employment and residential growth, this growth is not anticipated to be uniform. Design guidelines specific to districts of historic or distinct character will be implemented to ensure new development respects the context of such districts in terms of the development's fit with existing streets, setbacks, heights and relationship to landmark buildings.

### *Chapter 3 - Building a Successful City*

Chapter Three of the Official Plan identifies that most of the City's future development will be infill and redevelopment and, as such, will need to fit in, respect and improve the character of the surrounding area. On September 21, 2020, the Minister of Municipal Affairs and Housing Issued Notices of Decision approving Official Plan Amendments (OPA) 479 and 480. OPA 479 (Public Realm) and 480 (Built Form) were adopted as part of the Five-Year Official Plan Review. The OPAs replace Sections 3.1.1, 3.1.2, and 3.1.3 of the Official Plan with new and revised policies for the public realm, built form and built form types respectively, which respond to Council's direction to amend the urban design policies of the Official Plan. The Official Plan Amendments can be found at: <http://app.toronto.ca/tmmis/viewAgendaItemHistory.do?item=2019.PH11.4>

Section 3.1.1 of the Official Plan contains Public Realm policies, which recognize that all public and private spaces to which the public has access play an essential role in supporting overall quality of life, are a fundamental organizing element of the city and its neighbourhoods, and are a key shared asset that draws people together and creates strong social bonds. These policies aim to ensure that development will enhance and extend a high quality public realm and support the creation of complete communities, and that elements of the public realm will be designed together to form a well-connected, walkable, attractive, safe, functional and accessible network.



Section 3.1.2 of the Official Plan contains Built Form policies, which state that development will be located, organized and massed to fit harmoniously with the existing and planned context, and to frame and support adjacent streets, lanes, parks and open spaces. Development will limit its impacts on neighbouring properties and the public realm by respecting street proportions, creating appropriate transitions in scale, providing for adequate light and privacy, minimizing impacts of servicing and vehicular access, and limiting shadow and wind impacts.

Section 3.1.5 of the Official Plan addresses the identification and evaluation of properties of cultural heritage value or interest. It provides for conservation of heritage resources and includes policies that state that Heritage Impact Assessments will evaluate the impact of a proposed alteration to a property on the Heritage Register and/or to properties adjacent to a property on the Heritage Register, to the satisfaction of the City.

#### *Chapter 4 - Land Use Designations*

The subject site is designated Institutional Areas on Map 18 of the Official Plan. Institutional Areas are made up of major educational, health and governmental uses with their ancillary uses, cultural, parks and recreational uses, religious, commercial and institutional residence facilities, including the full range of housing associated with a health institution, as well as utility uses.

See Attachment 3 of this report for the land use map.

### **The Downtown Plan**

Official Plan Amendment 406 (the "Downtown Plan") was adopted by City Council on May 22, 2018 and modified and approved by the Ministry of Municipal Affairs and Housing on June 5, 2019. OPA 406 includes amendments to Section 2.2.1 and Map 6 of the Official Plan, as well as a new Downtown Plan. It applies to all applications deemed complete after June 5, 2019. This application was deemed complete after June 5, 2019 and as such, the plan is in full force and effect for this application.

The Plan – in conjunction with the associated infrastructure strategies that address water, energy, mobility, parks and public realm, and community services and facilities – provides a comprehensive and integrated policy framework to shape growth in Toronto's fast-growing Downtown over the next 25 years. It provides the City with a blueprint to align growth management with the provision of infrastructure, sustain liveability, achieve complete communities and ensure there is space for the economy to grow. The Plan area is generally bounded by Lake Ontario to the south, Bathurst Street to the west, the mid-town rail corridor and Rosedale Valley Road to the north and the Don River to the east.

Queen's Park Crescent East is identified as a Great Street on Map 41-7 of the Downtown Plan. Policy 7.17 states that Great Streets will be prioritized for public realm improvements due to their location, scale and historic role in the city, existing civic significance and their potential contribution to the public realm network.

The site located in the Queen's Park Precinct on Map 41-9 of the Downtown Plan, which, as outlined in Policy 7.25, comprises a collection of civic buildings and parks, public spaces and streets of provincial and city-wide importance.

The Downtown Plan can be found here:

<https://www.toronto.ca/legdocs/mmis/2019/cc/bgrd/backgroundfile-135953.pdf>

### **University of Toronto Secondary Plan (1997)**

The site is subject to the existing University of Toronto Secondary Plan, which was adopted in 1997 under the former City of Toronto Official Plan and was brought forward into the current Official Plan. The objectives for the Secondary Plan Area are to:

- Recognize and protect the Area primarily as an Institutional District;
- Provide planning regulations that give the institutions flexibility to adjust to changing program, technological and funding constraints; and
- Preserve, protect and enhance the unique built form, heritage and landscape character of the Area.

Section 3.3 of the Secondary Plan outlines Built Form policies, which are intended to guide development in the area. These policies direct that:

- new buildings will be sited in a manner that clearly defines and gives form to the edges of streets, open spaces and mid-block pedestrian routes;
- the height and mass of new buildings will achieve an appropriate relationship to the scale of adjacent streets and open spaces, ensuring access to sunlight and sky view and shelter from prevailing winds;
- new buildings will achieve a harmonious relationship to their built form context through consideration of matters such as, but not limited to, the building massing and setbacks, roof line and profile, scale, texture, architectural detail and expression, including fenestration and materials; and
- high quality usable open spaces which continue the pattern of university open space types and are physically and visually linked to the streets, parks and mid-block pedestrian routes will be provided in conjunction with new developments

The Secondary Plan identifies certain sub-areas within the University of Toronto Area that have a unique character, which should be protected and enhanced by additional regulations specific to the sub-area. The site is located in the Institutional Area of Special Identity. Section 4.1 of the Secondary Plan describes this as a unique and valuable environment characterized by distinctive nineteenth-century, institutional development patterns and a traditional and spacious campus character created by unique heritage buildings, monuments and open spaces, which form the traditional core of the University of Toronto Area. The value of the Institutional Area of Special Identity includes the concentration of unique heritage buildings, the relationships between the buildings and their settings, and the quality of open spaces defined by the buildings. Secondary Plan objectives for the Institutional Area of Special Identity are to:

- preserve and enhance the built and open space environment;

- encourage the usefulness of, but limit physical changes to, existing buildings within this area; and
- ensure that any infill development is carefully designed to be compatible with and supportive of the area's patterns and heritage character.

Policy 3.1.1 of the Secondary Plan states that the preservation, maintenance, and where possible, the extension and enhancement of the role and function of the significant open space systems shown on Map 20-2 will be encouraged. The site is located partly within the Queen's Park and adjacent open space and the Victoria College Quadrangle and St. Michael's College Campus significant open spaces.

Policy 3.2.1 of the Secondary Plan directs that consideration be given towards preserving and enhancing existing important views within, at the edges of, and into the University of Toronto Area from surrounding areas, as indicated on Map 20-4. The site is adjacent to the local view terminus at Victoria College from Queen's Park Crescent East.

The site is subject to Site and Area Specific Policy 3 in Section 7 of the Secondary Plan, which applies to properties at 73-111 Queen's Park Crescent East, 85 Charles Street West and 153 Bloor Street West, and permits an additional 4,311 square metres of gross floor area on those lands beyond what existed as of December 31, 2001.

The University of Toronto Secondary Plan can be found here:

<https://www.toronto.ca/city-government/planning-development/official-plan-guidelines/official-plan/>.

See Attachment 4 of this report for a map of the Secondary Plan Area.

### **Site and Area Specific Policy 398 - Ontario Legislative Assembly Building View Corridor**

Lands to the North of the Ontario Legislative Assembly Building are subject to Site and Area Specific Policy 398. No structure shall be permitted to be erected:

- that can be seen above any part of the silhouette of the Ontario Legislative Assembly Building (including the domed Centre Block and both the ridgeline of the East Block Connector and the ridgeline of the West Block Connector) when viewed, by eyes at a height of 1.75 metres above grade, from the east/west sidewalk located on the north side of College Street at any point between the north/south sidewalk on the west side of University Avenue and the north/south sidewalk on the east side of University Avenue; or
- that can be seen above the silhouette of the domed Centre Block of the Ontario Legislative Assembly Building when viewed, by eyes at a height of 1.75 metres above grade, from the east/west sidewalk located on the north side of Queen Street West at any point between the north/south sidewalk on the west side of University Avenue and the north/south sidewalk on the east side of University Avenue.

## University of Toronto Secondary Plan Review

The site is within the University of Toronto Secondary Plan area, which is subject to an Official Plan Amendment application (File No. 16 221931 STE 20 OZ) to establish a new University of Toronto St. George Campus Secondary Plan. This new Secondary Plan would replace the existing Secondary Plan that was adopted in 1997. The purpose of the new Secondary Plan is to provide an updated policy framework that would manage change and guide new development in the area. Additional information about the application may be found here: [www.toronto.ca/planning/UofTSecondaryPlan](http://www.toronto.ca/planning/UofTSecondaryPlan). On July 23, 2018, City Council adopted a Status Report on the University of Toronto St. George Campus - Official Plan Amendment, and endorsed a series of principles for the Secondary Plan Area, including:

- protect the Secondary Plan area for predominantly institutional land uses along with ancillary uses that support the functioning of the area as an institutional district;
- prioritize the movement of pedestrians and cyclists;
- conserve built heritage resources and cultural heritage landscapes;
- enhance and expand the existing open space and public realm network;
- affirm that the institutional uses, collection of heritage resources and public realm network are character-defining elements of the area; and
- ensure that the Secondary Plan area will continue to grow and evolve in a way that positively contributes to the character-defining elements of the area.

City Council's decision may be found here:

<http://app.toronto.ca/tmmis/viewAgendaItemHistory.do?item=2018.TE34.88>

City Council has not made a decision, as of the date of this report, to adopt an Official Plan Amendment to amend the University of Toronto Secondary Plan. Staff anticipate preparing a Final Report for the new Secondary Plan and Urban Design Guidelines for the area in late 2021. The existing University of Toronto Secondary Plan remains in force and effect.

The outcome of staff analysis and review of relevant Official Plan policies and designations, the University of Toronto Secondary Plan, the Downtown Plan, Site and Area Specific Policy 398 and the emerging direction of the University of Toronto St. George Campus Secondary Plan noted above are summarized in the Comments section of the report.

## Zoning

The site is zoned Institutional (Q) in the former City of Toronto Zoning By-law 438-86, as amended. This zoning category permits a range of institutional uses, including universities, educational, cultural, hospital and government uses. The site has a maximum height limit of 18 metres. It is subject to area-specific zoning exception 12(2)309, which limits any increase in gross floor area for new buildings and structures to a maximum of five percent of that which existed on June 3, 1997, and exception 12(2)310, which requires a minimum setback of nine metres from Queen's Park Crescent East to any new building.

The site is not subject to City of Toronto Zoning By-law 569-2013.

### **Design Guidelines**

Policy 5.2.5.6 of the Growth Plan indicates supporting documents, such as design guidelines, will direct the development of a high quality public realm and compact built form in achieving minimum intensification and density targets of the Plan. Official Plan Policy 5.3.2.1 states that guidelines will be adopted to advance the vision, objectives and policies of the Plan. Urban design guidelines are intended to provide a more detailed framework for built form and public improvements. The following design guidelines that have been adopted by City Council apply to the proposed development.

The City's Design Guidelines may be found here:

<https://www.toronto.ca/city-government/planning-development/official-plan-guidelines/design-guidelines/>

### **University of Toronto (Main Campus) Urban Design Guidelines**

The University of Toronto (Main Campus) Urban Design Guidelines are intended to be read in conjunction with the policies of the Official Plan and the University of Toronto Secondary Plan. The guidelines may be found here:

<https://www.toronto.ca/wp-content/uploads/2017/08/8f36-Toronto-Urban-Design-Guidelines-University-of-Toronto-Main-Campus.pdf>.

### **Site Plan Control**

The application is subject to Site Plan Control. A Site Plan Control application has not been submitted.

## **COMMUNITY CONSULTATION**

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Planning staff have compiled feedback from residents from community meetings, the City's Application Information Centre, and direct phone and e-mail correspondence. On January 15, 2020, staff hosted a Community Consultation Meeting to discuss the proposed development. Ten members of the public were in attendance as well as the Ward Councillor and the applicant. Issues raised include:

- concerns about tree removals and planting opportunities;
- the provision of and enhancement to the open spaces proposed across the site;
- environmental sustainability features of the proposal;
- programming for the building and the need for additional student space;
- general support for the design approach to set the building back and open up views to Victoria College, but some suggestion to bring the building closer to the street and have a continuous form run along the street edge with a larger enclosed courtyard;
- accessibility of the building and landscape design; and
- potential heritage value of the existing Northrop Frye Hall building.

These issues are addressed in the Comments section below.

## **COMMENTS**

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### **Planning Act**

Section 2 of the Planning Act requires municipalities to have regard for matters of provincial interest, including the conservation of features of significant architectural, cultural, historical, archeological or scientific interest, the adequate provision of employment opportunities, and the promotion of a built form that is well designed, encourages a sense of place, and provides for public spaces that are of high quality, safe, accessible, attractive and vibrant. The proposed development has regard for relevant matters of provincial interest, as the proposed development conserves adjacent heritage resources, the built form is well-designed with a height, scale and massing that is appropriate for its context and the proposed institutional uses, the development provides generous new open spaces, and will expand institutional space and employment opportunities at the campus.

### **Provincial Policy Statement and Provincial Plans**

The proposal has been reviewed and evaluated against the PPS (2020) and the Growth Plan (2020). Staff have determined that the proposal is consistent with the PPS and conforms with the Growth Plan.

The PPS, through policy 1.1.1, establishes that healthy, liveable and safe communities are sustained by, among other matters, promoting efficient development and land use patterns and accommodating an appropriate range and mix of residential, employment, institutional, parks and open spaces and other uses to meet long-term needs. The proposed development addresses these objectives by adding new institutional uses and intensifying the site with an appropriate built form for the site that has been designed to limit potential impacts on surrounding properties. It also expands and enhances the public realm along Queen's Park Crescent East and the open spaces on the site with new planting, seating, lighting and bike parking, and provides on-site outdoor amenity areas.

Policy 1.3.1 states that planning authorities shall promote economic development and competitiveness by, among other approaches, providing for an appropriate mix and range of employment, institutional and broader mixed uses to meet long-term needs and encouraging compact, mixed-use development that incorporates compatible employment uses to support liveable and resilient communities. Policy 1.6.7.4 states that a land use pattern, density and mix of uses should be promoted that minimizes the length and number of vehicle trips and supports current and future use of transit and active transportation. Policy 1.8.1 expands on this by directing planning authorities to support energy conservation and efficiency, improved air quality, reduced greenhouse

gas emissions, and to prepare for the impacts of a changing climate through land use and development patterns which promote the use of active transportation and transit in and between residential, employment and institutional uses and other areas.

The proposed development is consistent with this policy direction. It provides a range of institutional uses and amenities including lecture halls, labs, offices, student gathering and study areas, and a cafe, and contributes to the enhancement and vitality of the campus and surrounding areas through new public service facilities, in an appropriate built form at a location that is in close proximity to the Museum, Queen's Park, Bay, Wellesley and St. George subway stations, the cycle tracks on Bloor Street West, Hoskin Avenue, Wellesley Street West and Queen's Park/University Avenue, and the bike lanes on St. George Street, Bedford Road and College Street, and will expand and enhance the pedestrian network and public realm.

Policy 1.7.1 states that long-term economic prosperity should be supported in part by encouraging a sense of place, by promoting well-designed built form and cultural planning, and by conserving features that help define character, including built heritage resources and cultural heritage landscapes. Policy 2.6.3 directs that planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved. The proposal has been designed to sensitively intensify the site and conserve the adjacent heritage resources.

Section 2.2.3 of the Growth Plan (2020) identifies the Downtown as an Urban Growth Centre, which is a regional focal point for accommodating population and employment growth in complete communities that are well designed to meet people's needs for daily living throughout an entire lifetime. Policy 2.2.2.3 of the Growth Plan directs municipalities to develop a strategy to achieve minimum intensification targets, which will encourage intensification generally throughout the delineated built up area, recognize strategic growth areas as the key focus for development, and identify the appropriate type and scale of development in strategic growth areas and transition of built form towards adjacent areas. Policy 5.2.5.6 states that, in planning to achieve the minimum intensification and density targets of the Plan, municipalities will develop and implement urban design and Official Plan policies, including other supporting documents, which direct the development of a high quality public realm and compact built form.

The site is located in the Downtown Urban Growth Centre. The planning framework that governs this site includes the Official Plan, Downtown Plan, University of Toronto Secondary Plan and University of Toronto Urban Design Guidelines, which contain policies and guidelines that support a high quality public realm and compact built form. The Downtown Urban Growth Centre is on track to meet its density target of 400 residents and workers per hectare, as set out in Policy 2.2.3.2.a. Policy 5.2.5.4 notes that the target is the average of the entire Urban Growth Centre and it is not for any one particular area within the Centre, such as the University of Toronto Secondary Plan Area, to meet this target. While the proposed development is not required for the City to meet the density target of 400 people and jobs per hectare in the Downtown Urban Growth Centre, it will contribute toward meeting and/or exceeding this specific target.

The application conforms to the policy direction to target growth to the Downtown Urban Growth Centre (Section 2.2.3), supports the achievement of complete communities by contributing to the mix of land uses on the site and in the area, investing in public service facilities, creating a vibrant public realm, including on-site open spaces (Policy 2.2.1.4 and Section 3.2.8), and is located on a campus where institutional growth is anticipated and encouraged (Policy 2.2.5.2). The proposal represents a form of contextually appropriate intensification that makes efficient use of land and existing services, including proximity to public and active transportation options. The proposal provides for a high quality, compact built form that meets applicable urban design standards, conserves adjacent cultural heritage resources and incorporates sustainable development principles.

## **Land Use**

The proposed institutional uses are permitted in both the Official Plan and Zoning By-law. The uses are compatible with the adjacent institutional and office uses and nearby residential uses, and conform to the development criteria in the Official Plan as well as the policies of the Official Plan as a whole.

## **Massing, Height, Density**

This application has been reviewed against the policies and direction contained in the Official Plan, Downtown Plan and University of Toronto Secondary Plan, University of Toronto Urban Design Guidelines and the emerging direction of the new University of Toronto St. George Campus Secondary Plan described in the Policy Consideration Section of this report. Given the existing and planned context of the subject property and the surrounding area, the proposed massing, height and density are appropriate and can be supported by staff.

Section 3.1.2 of the Official Plan identifies that development must be considered not only in terms of the individual building and site, but also in terms of how the building and site fit within the larger existing and planned context of the surrounding area. Policy 3.1.2.1 requires that new development frame and support adjacent streets, lanes, parks and open spaces to promote civic life and the use of the public realm, and to improve the safety, pedestrian comfort, interest and experience, and casual views to these spaces. This is achieved by locating buildings parallel to the street or along the edge of a park or open space; providing additional setbacks or open spaces at key locations; locating main building entrances so that they front onto a public street, park or open space, are clearly visible and directly accessible from a public street; providing ground floor uses, clear windows and entrances that allow views from, and where possible, access to adjacent streets, parks and open spaces; preserving mature trees; and providing comfortable wind conditions and air circulation to preserve the utility and intended use of the public realm.

Section 3.3 of the University of Toronto Secondary Plan identifies that new buildings will be sited in a manner that clearly defines and gives form to the edges of streets, open spaces and mid-block pedestrian routes; the height and mass of new buildings will



achieve an appropriate relationship to the scale of adjacent streets and open spaces ensuring access to sunlight and sky view and shelter from prevailing winds; and new buildings will achieve a harmonious relationship to their built form context.

The subject site is located within the Institutional Area of Special Identity in section 4.1 of the Secondary Plan. This area is identified as a unique and valuable environment characterized by distinctive nineteenth century institutional development patterns, and a traditional and spacious campus character. The objectives for the Institutional Area of Special Identity are to preserve and enhance the built and open space environment, to encourage the usefulness of, but limit physical changes to, existing buildings, and to ensure that any infill development is carefully designed to be compatible with and supportive of the area's patterns and heritage character.

The proposed setbacks from the property lines and the resulting separation distances from the adjacent properties, in combination with the proposed building height, serve to ensure an appropriate fit within the existing and planned built form context. The building is proposed to be set back from Queen's Park Crescent East by approximately 10.1 metres on the ground floor, which would result in a minimum sidewalk zone width of 15.1 metres along Queen's Park Crescent East, measured from the sidewalk curb to the building face. A two metre cantilever is proposed above the first floor to provide weather-protected entrances and pathways, and architectural interest, resulting in a minimum clear setback of approximately 8.1 metres from the street and a 13.1 metre sidewalk zone. This exceeds the direction of Downtown Plan Policies 9.5 and 9.6, which suggest a six metre sidewalk zone. This generous setback area would maintain the overall landscape character of the area along the street and provide sufficient room for tree planting and other streetscape enhancements while introducing a building that would better address the street edge with areas on the first floor including sufficient glazing and publicly accessible areas, such as the café, flexible common spaces and work spaces, which would allow views to and enhanced activity along the street. Additionally, the curvilinear form of Queen's Park Crescent would be reinforced through the design of the south façade of the building, which is proposed to run parallel to the curve of the street. This configuration also references the design approach of other buildings that frame the curved corners of the street in the larger area, including the University of Toronto Jackman Law Building to the west and the Provincial Frost Building to the south.

On the east side of the site, the building is proposed to be shifted approximately six metres to the west of the existing Northrop Frye Hall footprint on the site, which would open up views to the Victoria College building and the interior open space from the street. This would enhance the visual prominence of the historic property by allowing the full width of the south facade of the listed heritage building to be seen from Queen's Park Crescent. This would meet the intent of Policy 3.2.1 of the existing University of Toronto Secondary Plan to enhance the view corridor and terminus at the Victoria College building from the street, as shown on Map 20-4. Shifting the location of the new building to the west would also provide for increased open space between the existing E. J. Pratt Library to the east and the proposed building. This would satisfy the direction to expand the Victoria College Quadrangle and St. Michael's College Campus significant open space shown on Map 20-2 of the existing University of Toronto Secondary Plan.

The siting and configuration of the proposed building would provide sufficient separation distance from adjacent properties given the predominantly low-rise heights of the adjacent heritage buildings, which are planned to be maintained through the updated Secondary Plan. The separation distance between the proposed building and E.J. Pratt Library to the east would be 35.6 metres, 19.3 metres to Victoria College to the northeast and the angled north façade of the proposed building would result in a separation of 7.1 to 10 metres to Emmanuel College to the north. The west side of the building would be set back 31 to 38 metres from the street edge, which would maintain the open space character of this portion of the site and maintain views to the south façade of the listed Emmanuel College building from the street.

The proposed building, at a maximum height of 25.5 metres, including the mechanical penthouse, would be consistent with the existing predominant low- and mid-rise heights in the immediate area of the campus, would retain the existing street scale and profile, and would be compatible with the adjacent low-rise heritage buildings. The building would include stepbacks on the fifth floor of approximately three metres on the south, east and west sides of the building and approximately six metres on the north side of the building to further mitigate any impression of height and reference the scale of the adjacent buildings.

The proposed height would comply with Site and Area Specific Policy 398 - Ontario Legislative Assembly Building View Corridor. The building would not be visible above any part of the silhouette of the Legislative Building when viewed from the sidewalk located on the north side of College Street at any point between the east and west sides of University Avenue, or above the silhouette of the domed Centre Block of the Legislative Building when viewed from the north side of Queen Street West at any point between the east and west sides of University Avenue.

The proposal would result in an overall density of approximately two times the area of the site. Staff are of the opinion that the proposed density represents an appropriate level of intensification for the site, achieving it through an acceptable built form, building height, massing and site organization, and in a way that is compatible with the height and massing of buildings in the immediate area.

The proposal is contextually appropriate and fits with the existing and planned context. The position, height, massing and stepbacks of the proposed institutional building, as well as its impact on and separation from adjacent properties, and provision of open space are appropriate for the site.

## **Sun and Shadow**

The Shadow Study submitted in support of the application is satisfactory to staff. Official Plan Policies 3.1.2.5 and 3.1.2.8 require that new development be located and massed to ensure access to direct sunlight and daylight on the public realm. Downtown Plan Policy 9.17 requires development to adequately limit shadows to preserve the utility of sidewalks, parks, open spaces, natural areas and institutional open spaces. The building's massing and height have been designed to minimize shadow impacts on the public realm and adjacent sites.

The proposed building would be one-storey higher and shifted to the west of the existing building. The upper storey would include three metre setbacks along the west, south and east sides of the building, and a six metre setback along the north side of the building, which would assist in minimizing shadows from the higher portion of the proposed building. Shadows from the proposed building would be off of the east side of Queen's Park before 10 a.m. during the spring and fall equinoxes, and the incremental shadows that would be cast on the open spaces surrounding the building would be largely within those that already exist or are permitted by current zoning permissions for the property. The proposal conforms with the policy direction of the Official Plan by ensuring the development would not create undesirable shadow impacts on the public realm.

### **Pedestrian Level Wind**

Policy 9.21 of the Downtown Plan states that developments will reasonably limit wind impacts on the public realm, including streets and open spaces. The Pedestrian Level Wind Study submitted in support of the application concludes that all wind impacts created by the proposal will be minimal and of a tolerable level for the anticipated uses of the spaces, including for sitting, standing, strolling and walking outdoors. Suitable wind conditions are predicted at all building entrances, open spaces, sidewalks and mid-block connections. The wind safety criterion is expected to be met at all areas both on-site and surrounding the proposed development.

### **Heritage Impact and Conservation**

As part of the update to the existing University of Toronto Secondary Plan, Heritage Planning staff evaluated all properties in the area for their value as potential heritage resources. In July 2018, Northrop Frye Hall on the site and the adjacent E.J. Pratt Library to the east were identified in the Status Report for the proposed Secondary Plan as having potential heritage value. Through further review of the properties, Heritage Planning staff determined that Northrop Frye Hall would not merit inclusion on the City's Heritage Register and that E.J. Pratt Library will be recommended for inclusion on the Heritage Register. Staff intend to bring forward a report on the potential inclusion of properties in the Secondary Plan Area on the Heritage Register in late 2021.

The subject site is adjacent to the following properties that are listed on the City's Heritage Register:

- Victoria College and Men's Residence to the northeast at 91 Charles Street West
- Emmanuel College to the north at 75 Queen's Park Crescent East
- Birge-Carnegie Library to the north at 75A Queen's Park Crescent East
- Burwash Hall to the east at 89 Charles Street West
- 48th Highlanders' Memorial to the south at 110 Wellesley Street West
- Ontario Legislative Building to the south at 1 Queen's Park

Heritage Planning staff have reviewed the Heritage Impact Assessment submitted with the application and agree that the proposal would not adversely impact the integrity of the adjacent cultural heritage resources. The proposed building location, setbacks and

massing would mitigate any visual impacts to the scale and form of the adjacent heritage properties. The proposed development would conserve the cultural heritage value of the adjacent existing and potential heritage properties, and conforms with the Official Plan.

## **Public Realm and Streetscape**

Official Plan policies require that attention be given to the streetscape by ensuring that these areas are attractive, comfortable and functional for pedestrians through landscaping and setbacks, and that new development frames and supports the public realm (Policies 3.1.1.2, 3.1.1.6, 3.1.1.12, 3.1.1.13, 3.1.2.1 and 3.1.2.10). Policy 3.1.2.2 directs that development will provide accessible open space, where appropriate. Policy 3.3.1 of the University of Toronto Secondary Plan directs that high quality usable open spaces, which continue the pattern of university open space types and are physically and visually linked to the streets, parks and mid-block pedestrian routes, will be provided in conjunction with new development.

Approximately 2,353 square metres of landscaped open space is proposed across the site, concentrated on the east and west sides of the building along the street frontage, which is approximately 67 percent of the site. The open space on the east side of the building would be enlarged through shifting the building footprint six metres west of its current location and redesigned to be more usable and connected with the surrounding landscape. The space would be framed by the Victoria College Building to the north, E.J. Pratt Library to the east and the proposed building to the west, which would complement and extend the courtyard and forecourt spaces that define the landscape character of the surrounding area and enhance the relationship between the new and existing buildings. The larger and enhanced open space would also improve views from the street into the interior of this part of the campus. The space would include preserved mature trees, a new plaza with both integrated and movable seating, new pathways, paving, planting, lighting and bike parking. The open space on the west side of the building would be maintained and enhanced through new planting, paving, bike parking and lighting.

The existing east-west mid-block connection on the north side of the site that runs between Emmanuel College and the proposed building and the north-south mid-block connection through the open space east of the proposed building, which connects Queen's Park through the site to St. Mary Street and Charles Street West, are proposed to be improved through new ramps, paving, lighting, planting and bike parking to make them more accessible, visible, attractive and safe, and contribute to the overall pedestrian network and permeability of the block.

The Downtown Plan identifies Queen's Park and University Avenue as a Great Street. Policy 7.17 identifies that Great Streets will be prioritized for public realm improvements and Policies 7.18 and 7.19 direct that public realm improvements on the Great Streets will enhance their civic role and setting for public life; promote economic vitality; create a unified streetscape while reinforcing the identity, distinct characteristics and heritage value and attributes of each segment of each street; improve the scale of pedestrian clearways, transit stops and space for public gathering; implement and maintain a high standard of design and materials; and prioritize tree planting and

investment in infrastructure to support the growth of a healthy tree canopy, wherever reasonable. The proposed 15.1 metre wide setback area along Queen's Park Crescent East, measured from the sidewalk curb to the building face, would provide space to maintain mature trees, provide additional planting, widen the sidewalk and provide new bike parking and lighting.

The subject site is located in the Queen's Park Precinct in the Downtown Plan, which is a collection of civic buildings and parks, public spaces and streets of provincial and citywide importance. Policy 7.26 directs that the precinct should be expanded and improved through development and capital investment to increase the public prominence, identity and function of the area's parks and public realm. The proposal would contribute to the expansion and overall quality and character of the precinct. It would enhance the prominence of the adjacent heritage properties as a result of the proposed site layout and public realm improvements, it would connect into and enhance the larger network of open spaces and mid-block connections, and has a strong focus on the pedestrian realm.

The proposed development would help animate the streetscape and larger public realm, create more usable and improved open spaces, provide an attractive, comfortable and safe pedestrian environment, and enhance the pedestrian and cycling network in the area. The design details of the enhancements to the public realm and streetscape treatment would be further evaluated and secured through the Site Plan Approval process.

### **Tree Preservation**

The application is subject to the provisions of the City of Toronto Municipal Code, Chapter 813 Articles II (Street Trees By-law) and III (Private Tree By-law). The Arborist Report and Tree Preservation Plan submitted in support of the application indicate there are 32 trees both within and immediately adjacent to the subject site that qualify for protection under the Tree By-laws. Of these, 11 trees on the site that qualify for protection are proposed to be removed and all others are proposed to be preserved. Currently, 33 large growing shade trees are proposed to be planted on the site, one large growing shade tree is proposed to be planted in the municipal right-of-way and three trees that do not qualify for protection are proposed to be transplanted. Urban Forestry requires the applicant to submit a tree planting deposit to ensure the planting and survival of the new trees. Additional tree planting opportunities and injury mitigation measures would be further reviewed and secured through the Site Plan Approval process.

### **Toronto Green Standard**

Council has adopted the four-tier Toronto Green Standard (TGS). The TGS is a set of performance measures for green development. Applications for Zoning By-law Amendments, Draft Plans of Subdivision and Site Plan Control are required to meet and demonstrate compliance with Tier 1 of the Toronto Green Standard. Tiers 2, 3 and 4 are voluntary, higher levels of performance with financial incentives. Tier 1 performance measures are secured on site plan drawings and through a Site Plan Agreement or Registered Plan of Subdivision.

The applicant is required to meet Tier 1 of the TGS. The site-specific Zoning By-law would secure performance measures for the following Tier 1 development features: the wider sidewalk space, open spaces and mid-block connections, covered outdoor waiting areas and bicycle parking spaces. Other applicable TGS performance measures would be secured through the Site Plan Approval process. Staff will continue to work with the applicant to encourage them to exceed the minimum requirements and achieve greater sustainability.

### **Traffic Impact, Access, Parking**

Official Plan Policy 2.4.4, Downtown Plan Policy 8.2, and University of Toronto Secondary Plan Policies 3.1.3 and 3.1.4 encourage reduced automobile dependency and promote active modes of transportation. The policies are intended to increase the opportunities for better walking and cycling conditions. Pedestrian access is proposed at the southwest corner of the building facing the street, the east side of the building adjacent to the open space and on the north side of the building along the mid-block connection. No vehicle parking spaces and 90 short-term bicycle parking spaces are proposed at grade on the site. A secure, weather protected pavilion containing 20 long-term bicycle parking spaces is proposed northeast of the site adjacent to Burwash Hall.

The Transportation Impact Study submitted in support of the application to evaluate the parking, loading and person trips generated by the proposal concludes that the impacts of the site are anticipated to be negligible and will not negatively influence the area transportation network. The proposed building would use Victoria University's existing centralized loading facilities. Transportation Services and Solid Waste Services staff have reviewed the proposal and found the anticipated transportation impacts, proposed parking and loading to be acceptable.

### **Road Widening**

In order to satisfy the Official Plan requirement of a 45 metre right-of-way width for this segment of Queen's Park Crescent East, Transportation Services staff require a 1.19 metre road widening dedication along the street frontage of the south side of the subject site to be conveyed to the City. In order to satisfy the Official Plan requirement of a 45 metre right-of-way width for this segment of Queen's Park, Transportation Services staff require a 7.26 metre road widening dedication along the street frontage of the west side of the subject site to be conveyed to the City. This land would be conveyed to the City through the Site Plan Approval process.

### **Servicing**

Engineering and Construction Services staff reviewed the Functional Servicing and Stormwater Management Report submitted with the application. Revisions to the report are required prior to final acceptance by staff to demonstrate that the existing municipal infrastructure is adequate to service the proposed development and to determine the nature of any upgrades that may be required to the existing infrastructure to support the proposed development. The owner would be responsible to pay for and construct any improvements to the municipal infrastructure in connection with the Functional Servicing

and Stormwater Management Report, should it be determined that improvements to such infrastructure are required to support the development. Staff recommend that a revised Functional Servicing and Stormwater Management Report be submitted to the satisfaction of the Chief Engineer and Executive Director of Engineering and Construction Services prior to introducing the necessary bills to City Council.

## **Conclusion**

The proposal has been reviewed against the policies of the PPS (2020), the Growth Plan (2020), the Toronto Official Plan, the Downtown Plan, the University of Toronto Secondary Plan, applicable urban design guidelines and the emerging direction of the updated Secondary Plan. Staff are of the opinion that the proposal is consistent with the PPS (2020), conforms with the Growth Plan (2020) and conforms with the intent of the Official Plan. The proposal represents an appropriate level of intensification at a suitable location and in an appropriate built form based on the existing and planned context of the site. The proposed building location, height and massing would be appropriate for the site and compatible with the surroundings, would introduce new institutional uses on the campus and contribute to the mix of uses in the larger area, and would result in an expanded and enhanced public realm. Staff recommend that Council approve the application.

## **CONTACT**

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E-mail: Paul.M.Johnson@toronto.ca

## **SIGNATURE**

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Lynda H. Macdonald, MCIP, RPP, OALA, FCSLA  
Director, Community Planning, Toronto and East York District

## **ATTACHMENTS**

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### **City of Toronto Data/Drawings**

Attachment 1: Location Map

Attachment 2: Application Data Sheet

Attachment 3: Official Plan Land Use Map

Attachment 4: University of Toronto Secondary Plan Area

Attachment 5: Existing Zoning By-law Map

Attachment 6: Draft Official Plan Amendment

Attachment 7: Draft Zoning By-law Amendment to Amend By-law 438-86

### **Applicant Submitted Drawings**

Attachment 8: Site Plan

Attachment 9: South Elevations

Attachment 10: East Elevations

Attachment 11: West Elevations

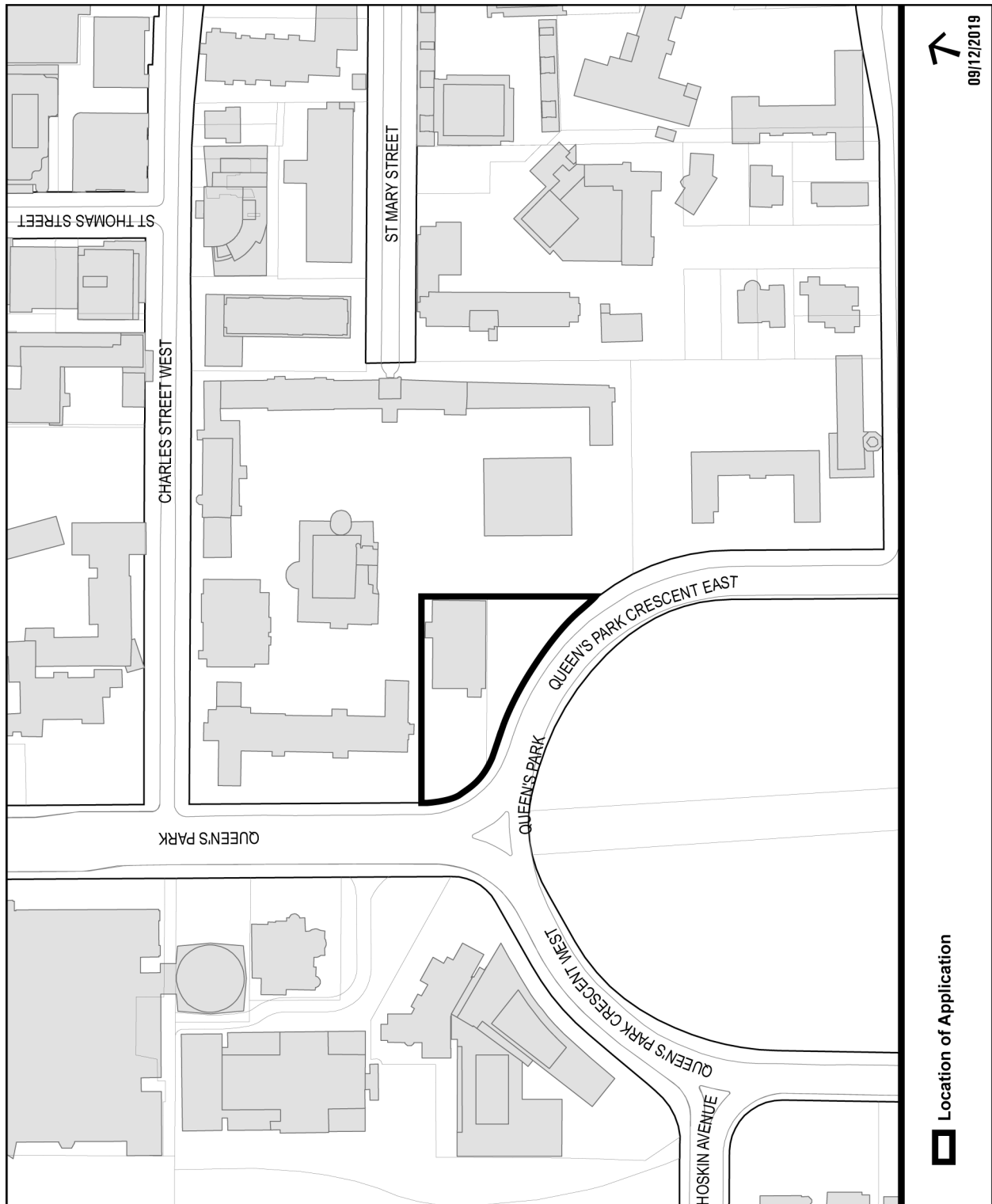
Attachment 12: North Elevations

Attachment 13: 3D Model of Proposal in Context - Northwest

Attachment 14: 3D Model of Proposal in Context - Southeast



## Attachment 1: Location Map



## Attachment 2: Application Data Sheet

Municipal Address: 73 Queen's Park Crescent East Date Received: August 13, 2019

Application Number: 19 205018 STE 11 OZ

Application Type: OPA and Rezoning

Project Description: Official Plan and Zoning By-law Amendment application for a five-storey building that would contain 7,024 square metres of institutional uses

Applicant	Architect	Owner
Brook McIlroy Inc.	Brook McIlroy Inc.	University of Toronto

### EXISTING PLANNING CONTROLS

Official Plan Designation:	Institutional Areas	Site Specific Provision:	Y
Zoning:	Former City of Toronto By-Law No. 438-86	Heritage Designation:	N
Height Limit (m):	18	Site Plan Control Area:	Y

### PROJECT INFORMATION

Site Area (sq m):	3,504	Frontage (m):	118	Depth (m):	73 (east), 85 (north)
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Building Data	Existing	Retained	Proposed	Total
Ground Floor Area (sq m):	949		1,151	1,151
Non-Residential GFA (sq m):	4,213		7,024	7,024
Total GFA (sq m):	4,213		7,024	7,024
Height - Storeys:	4		5	5
Height - Metres:	16		26	26

Lot Coverage Ratio (%)	30.4	Floor Space Index:	2.0
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Floor Area Breakdown	Above Grade (sq m)	Below Grade (sq m)
Institutional/Other GFA:	5,937	1,087

## Parking and Loading

Parking Spaces: 0      Bicycle Parking Spaces: 90      Loading Docks: 0

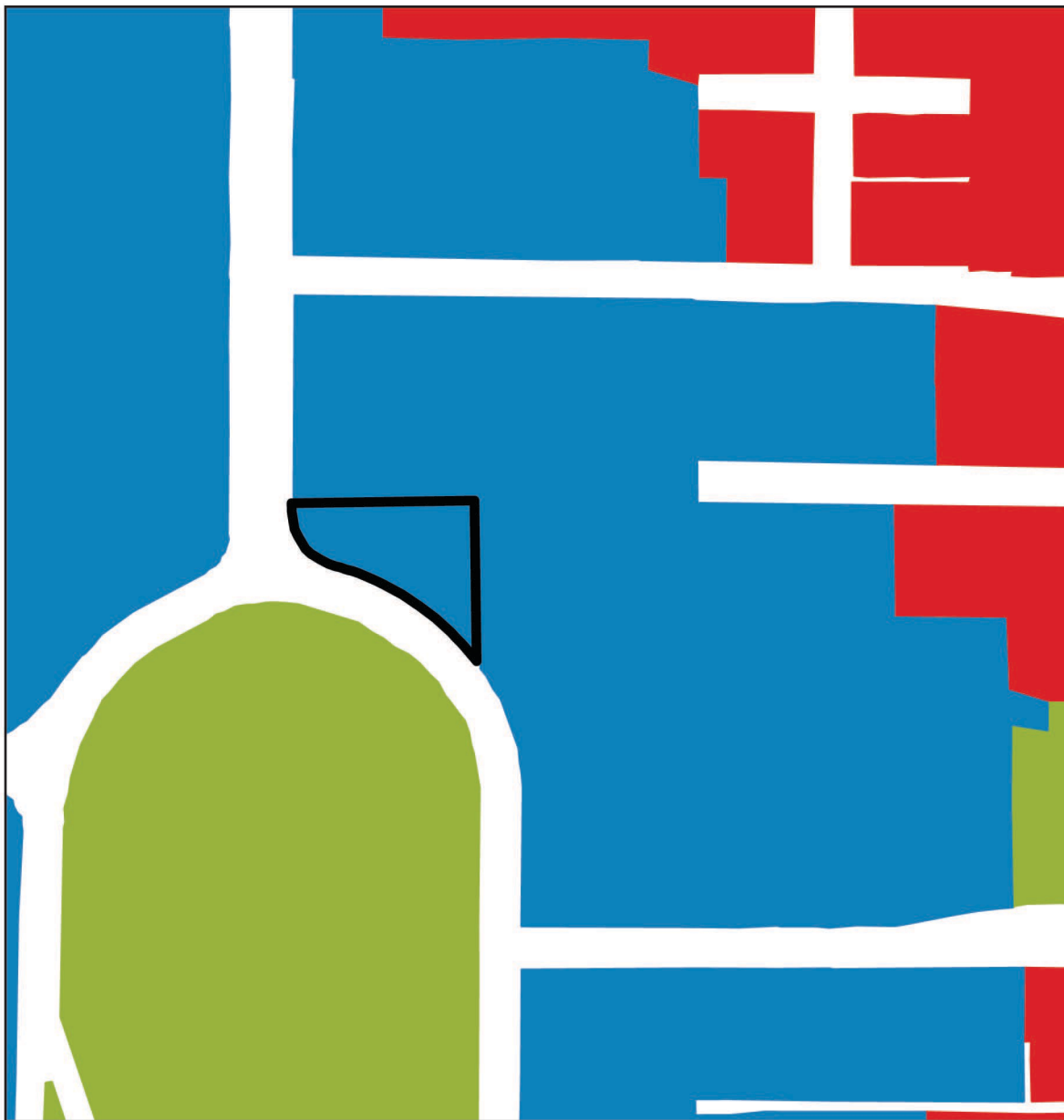
## CONTACT:

Paul Johnson, Senior Planner

416-397-0259

[Paul.M.Johnson@toronto.ca](mailto:Paul.M.Johnson@toronto.ca)

### Attachment 3: Official Plan Land Use Map



 **TORONTO**

73 Queen's Park Crescent East

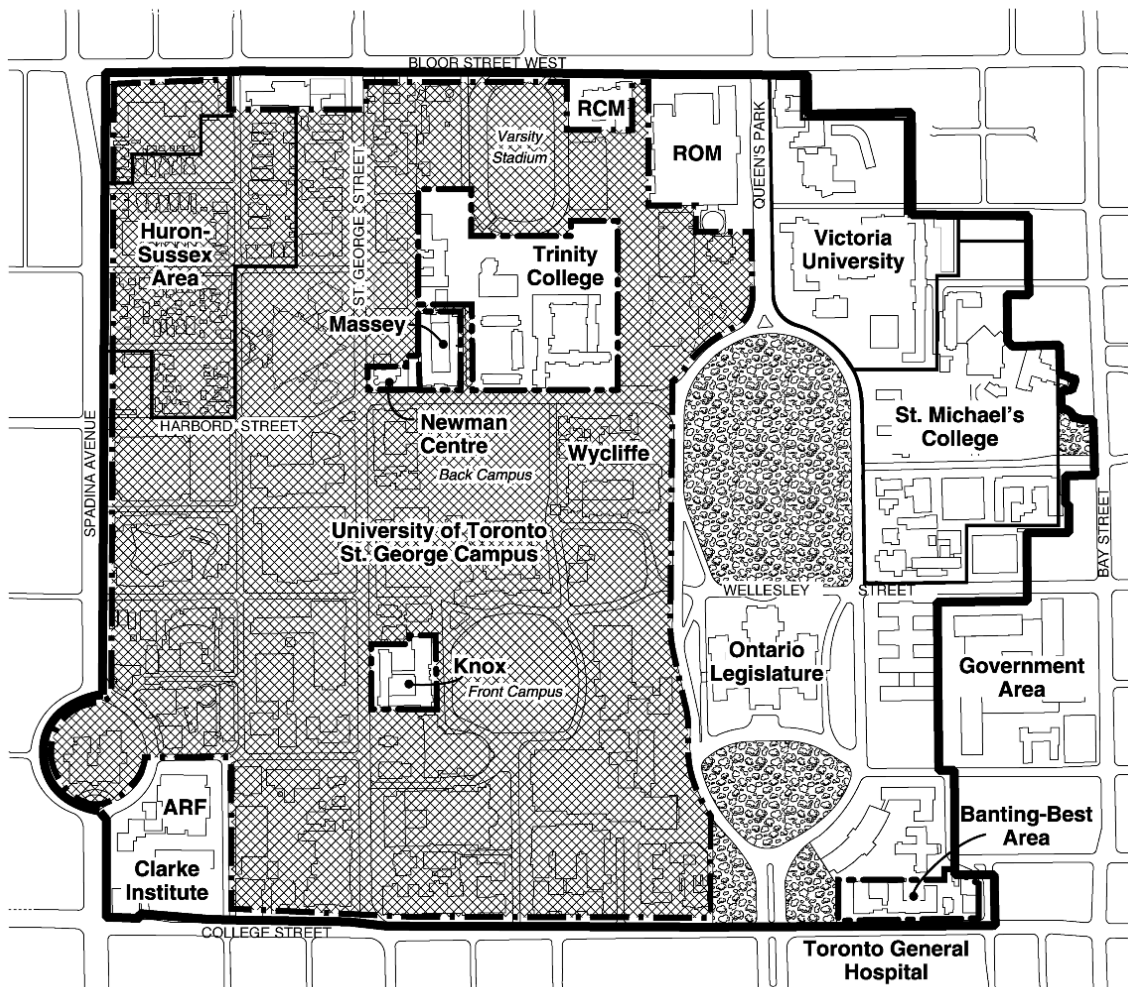
Official Plan Land Use Map

File # 19 205018 STE 11 0Z



  
Not to Scale  
05/18/2021

## Attachment 4: University of Toronto Secondary Plan Area

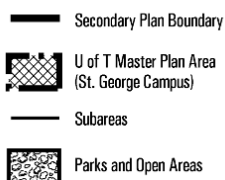


Not to Scale



## University of Toronto Secondary Plan

MAP 20-1 Area Institutions and Subareas



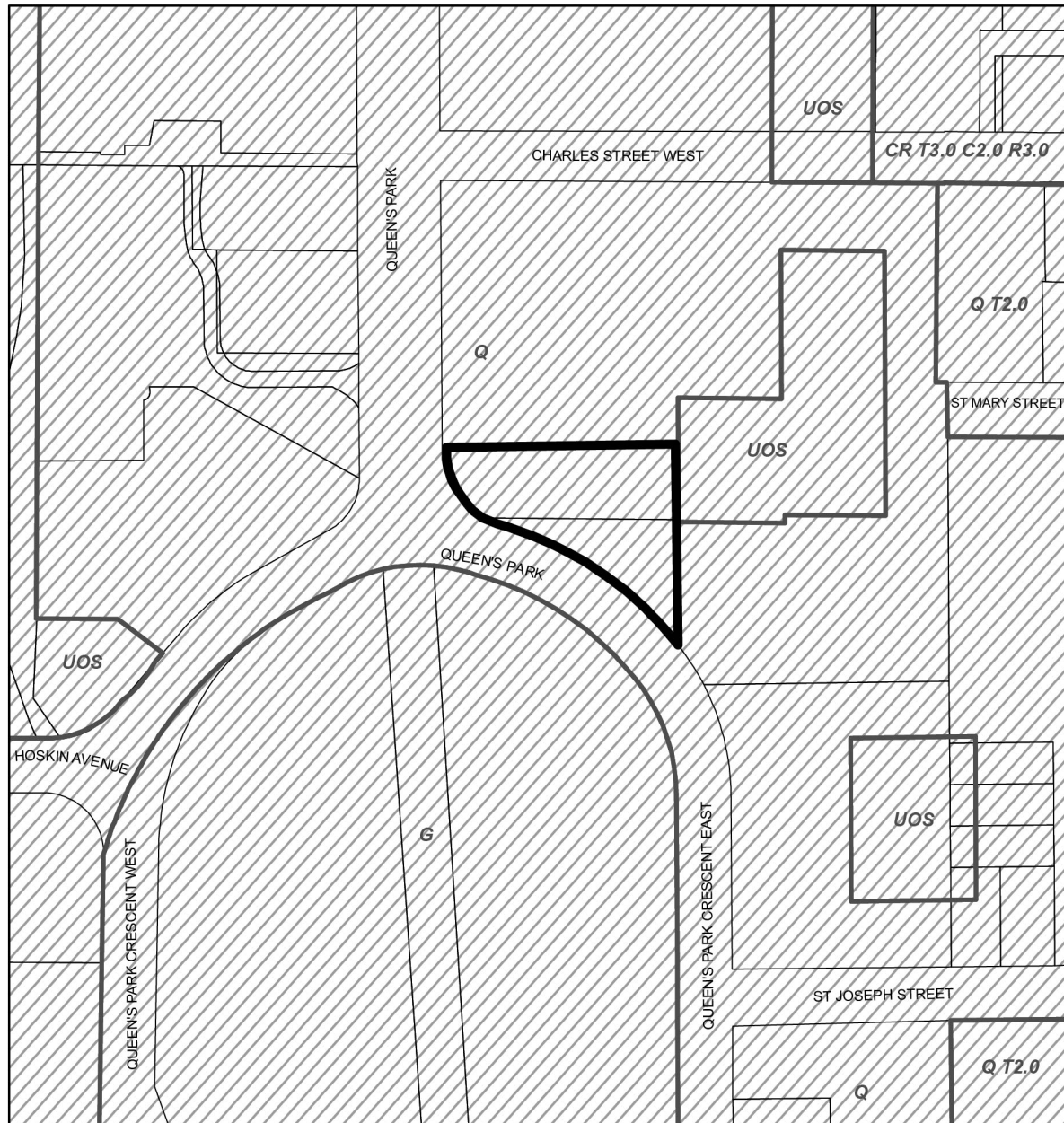
**ARF** Addiction Research Foundation

**RCM** Royal Conservatory of Music

**ROM** Royal Ontario Museum

Note:  
Properties of Knox College, Massey College,  
Trinity College and the Newman Centre are not  
included in the University of Toronto Master Plan

## Attachment 5: Existing Zoning By-law Map



**Zoning By-law 569-2013**

**73 Queen's Park Crescent East**

**File # 19 205018 STE 11 0Z**



Location of Application



See Former City of Toronto By-law No. 438-86

CR Mixed-Use District  
Q Mixed-Use District  
G Parks District  
UOS Parks District



Not to Scale  
Extracted: 05/19/2021

Attachment 6: Draft Official Plan Amendment

Authority: Toronto and East York Community Council Item ~ as adopted by City of Toronto Council on ~, 20~

Enacted by Council: ~, 20~

**CITY OF TORONTO**  
**Bill XXX**  
**BY-LAW XXX**

**To adopt an amendment to the Official Plan for the City of Toronto respecting the lands known municipally in the year 2021, as 73 Queen's Park Crescent East**

Whereas authority is given to Council under the Planning Act, R.S.O. 1990, c.P. 13, as amended, to pass this By-law;

Whereas Council of the City of Toronto has provided adequate information to the public and has held at least one public meeting in accordance with the Planning Act;

The Council of the City of Toronto enacts:

1. The attached Amendment No. 535 to the Official Plan is hereby adopted pursuant to the Planning Act, as amended.

Enacted and Passed this ~ day of ~, A.D. 20~.

Frances Nunziata,  
Speaker

JOHN D. ELVIDGE,  
City Clerk

(Seal of the City)

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## AMENDMENT NO. 535 TO THE OFFICIAL PLAN

### LANDS MUNICIPALLY KNOWN IN THE YEAR 2021 AS 73 QUEEN'S PARK CRESCENT EAST

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The Official Plan of the City of Toronto is amended as follows:

1. Chapter 6, Section 20, University of Toronto Secondary Plan, is amended by deleting subsection Section 7, Site and Area Specific Policy 3, and replacing it with the following:

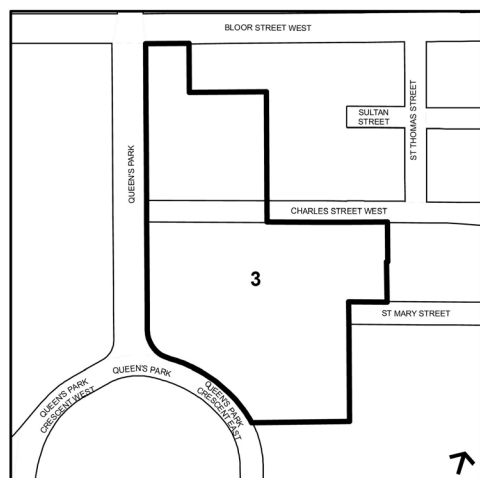
3. 73 Queen's Park Crescent East, 95 and 111 Queen's Park, 85 Charles Street West and 153 Bloor Street West

For the lands shown as 3 on Map 20-5:

New buildings and structures are permitted provided that the following existing buildings remain erected:

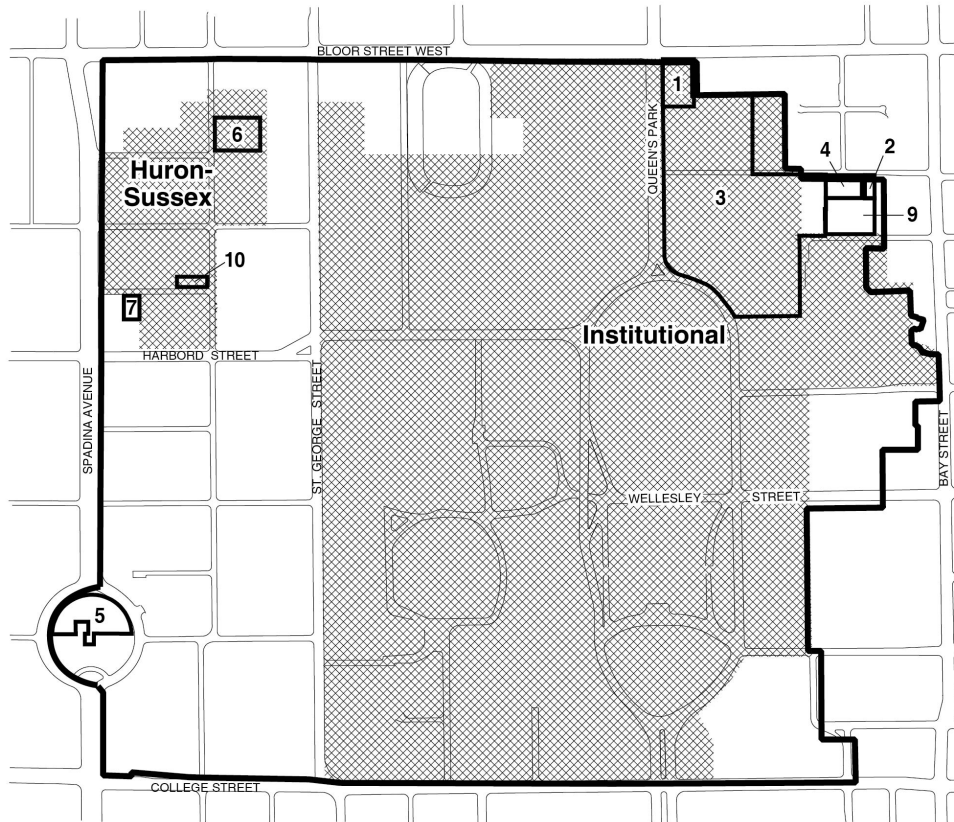
- a) buildings known as Emmanuel College, as the Birge-Carnegie Library, as Victoria College, as Burwash Hall and as the Victoria Men's Residence, on lands known municipally as 73 Queen's Park Crescent East;
- b) the building known as Annesley Hall, on lands known municipally as 95 Queen's Park; and
- c) the building known as the Lillian Massey Building, on lands known municipally as 153 Bloor Street West.

2. Map 20-5, Areas of Special Identity and Location Site and Area Specific Policies, is amended to adjust the boundaries of Site and Area Specific Policy Area Number 3, as shown on the attached Schedule 1.





## Schedule 1



Not to Scale ↑



### University of Toronto Secondary Plan MAP 20-5 Areas of Special Identity and Location Site and Area Specific Policies

- Secondary Plan Boundary
- ▨ Areas of Special Identity
- 1 Site and Area Specific Policies

May, 2021

Attachment 7: Draft Zoning By-law Amendment to Amend By-law 438-86

Authority: Toronto and East York Community Council Item ~ as adopted by City of  
Toronto Council on ~, 20~

Enacted by Council: ~, 20~

**CITY OF TORONTO**

**Bill No. ~**

**BY-LAW No. ~-20~**

**To amend Zoning By-law No. 438-86, as amended, with respect to the lands municipally known as 73 Queen's Park Crescent East**

WHEREAS authority is given to Council by Section 34 of the *Planning Act*, R.S.O. 1990, c. P. 13, as amended, to pass this By-law; and

WHEREAS Council of the City of Toronto has provided adequate information to the public and has held at least one public meeting in accordance with the *Planning Act*;

The Council of the City of Toronto HEREBY ENACTS as follows:

1. Section 12(2)310 of Zoning By-law No. 438-86, as amended, is further amended by deleting from paragraph (b)(2) the number "175" and substituting the number "160".

2. None of the provisions of Section 2(1) with respect to the definition of *grade*, *height*, and *lot*, and Sections 4(2)(a), 4(5), 4(8), 8(3) Part I, 12(2)309, 12(2)310(a) and 12(2)310(b)(2) of Zoning By-law No. 438-86, being "A By-law to regulate the use of land and the erection, use, bulk, height, spacing of and other matters relating to buildings and structures and to prohibit certain uses of lands and the erection and use of certain buildings and structures in various areas of the City of Toronto", as amended, shall apply to prevent the erection and use of a *non-residential building* on the *lot*, provided that:

a. the *lot* on which the building is to be located comprises at least those lands within the heavy line on Map 1, attached to and forming part of this By-law;

b. the maximum *non-residential gross floor area* shall not exceed 7,100 square metres;

c. no portion of any building or structure erected and used above *grade* is located otherwise than wholly within the areas delineated by heavy lines on Map 2, attached to and forming part of this By-law, except for cornices, canopies, awnings, skylights, ornamental elements, trellises, lighting fixtures, balconies, fences, landscape planters and seating areas, retaining walls, stairways and railings, which may extend beyond the heavy lines by 3.0 metres;

d. the *height* of any building or structure to be erected shall not exceed the *height* limit, in metres, specified by the numbers following the symbol "H", shown on Map 2, attached to and forming part of this By-law, except for the following;

- i. the structures, elements and enclosures set out in 2.c. above, up to a maximum *height* of 3.0 metres;
  - ii. parapets, railings, roof drainage, thermal insulation and roof ballast terraces, terraces, terrace or balcony guards and dividers, planters, stairs, stair enclosures, walls or structures enclosing such elements and railings, up to a maximum *height* of 1.5 metres; and
  - iii. window washing equipment, stair towers, elevator enclosures, elevator overruns, partitions, landscape elements, green roof elements, lighting fixtures, vents, flues, pipes, access roof hatch, outdoor furniture, heating, cooling or ventilating equipment or a fence, and structures located on the roof used for outside or open air recreation, safety or wind protection purposes, up to a maximum *height* of 5.0 metres;
- e. the portion of any building or structure erected above *grade* within the hatched area identified and shown on Map 2, attached to and forming part of this By-law, shall have:
- i. a minimum setback of 10.0 metres from the property line of the *lot* adjacent to the frontage of Queen's Park Crescent (East Branch) up to a *height* of 4.0 metres above *grade*;
  - ii. a minimum setback of 8.0 metres from the property line of the *lot* adjacent to the frontage of Queen's Park Crescent (East Branch) from a *height* of 4.0 metres above *grade* up to a *height* of 20.0 metres above *grade*; and
  - iii. a minimum setback of 10.5 metres from the property line of the *lot* adjacent to the frontage of Queen's Park Crescent (East Branch) from a *height* of 20.0 metres above *grade*.
- f. zero *parking spaces* shall be provided on the *lot*;
- g. a minimum of 90 *bicycle parking spaces - visitor* shall be provided on the *lot*;
- h. any building or structure erected above *grade* or below *grade* on the lands shown on Map 1, attached to and forming part of this By-law, shall maintain a minimum setback of 3.0 metres from all TTC infrastructure; and
- i. the provisions of the By-law shall continue to apply to the lands shown on Map 1, attached to and forming part of this By-law, notwithstanding their division into one or more parcels.

3. For the purpose of this By-law, the terms set forth in italics shall have the same meaning as such terms have for the purposes of By-law 438-86, as amended, except that the following definitions shall apply:

a. "*grade*" shall mean 111.5 metres Canadian Geodetic Datum;

b. "*height*" shall mean the vertical distance between *grade* and the upper limit specified by the numbers following the symbol "H" as shown on Map 2, attached to and forming part of this By-law, except for those elements prescribed by this By-law; and

c. "*lot*" shall mean the lands delineated by heavy lines on Map 1, attached to and forming part of this By-law.

4. Within the lands shown on Map 1, attached to this By-law, no person shall use any land or erect or use any building or structure unless the following municipal services are provided to the lot line and the following provisions are complied with:

a. all new public roads have been constructed to a minimum of base curb and base asphalt and are connected to an existing public highway; and

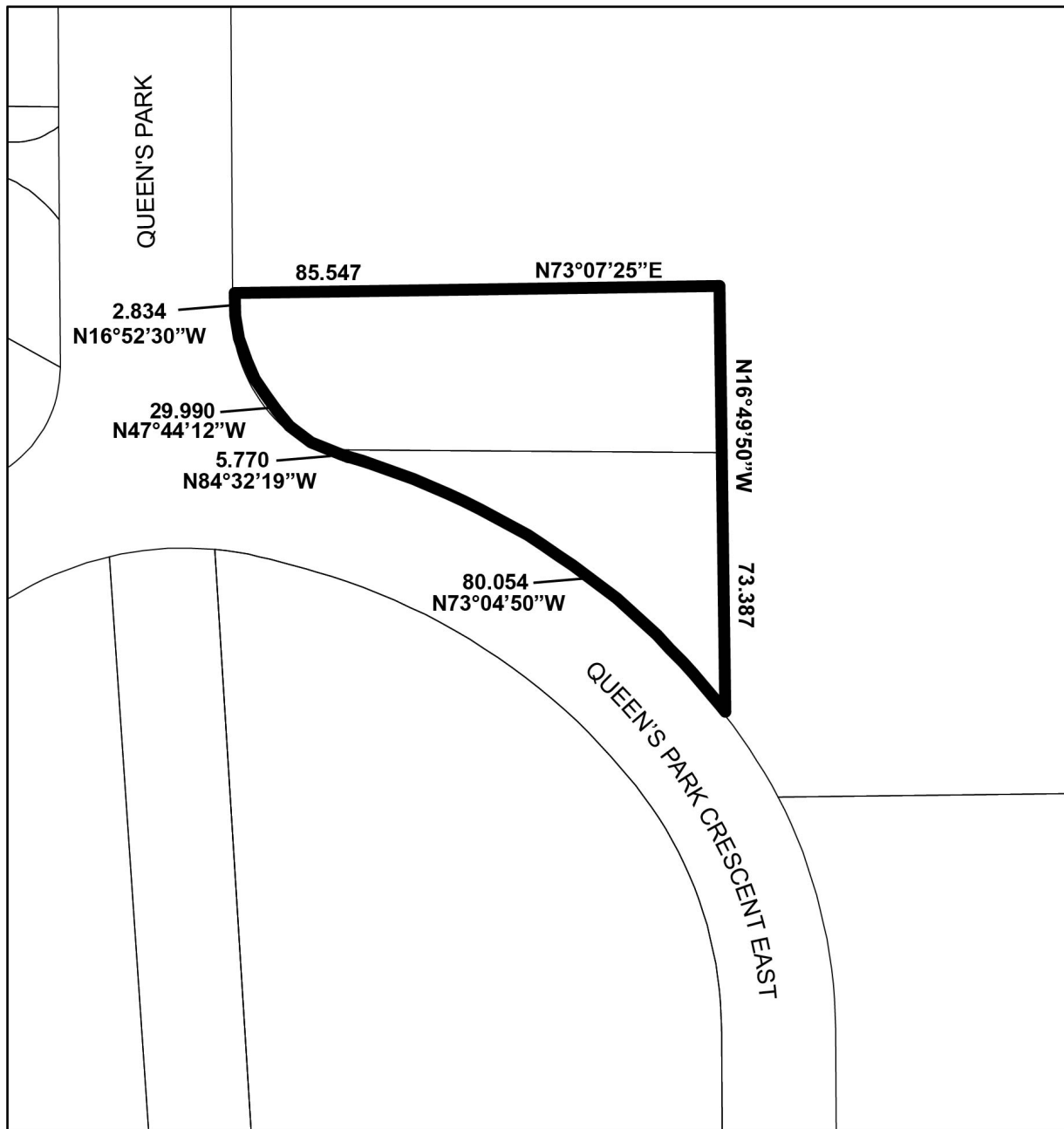
b. all water mains and sanitary sewers, and appropriate appurtenances, have been installed and are operational.

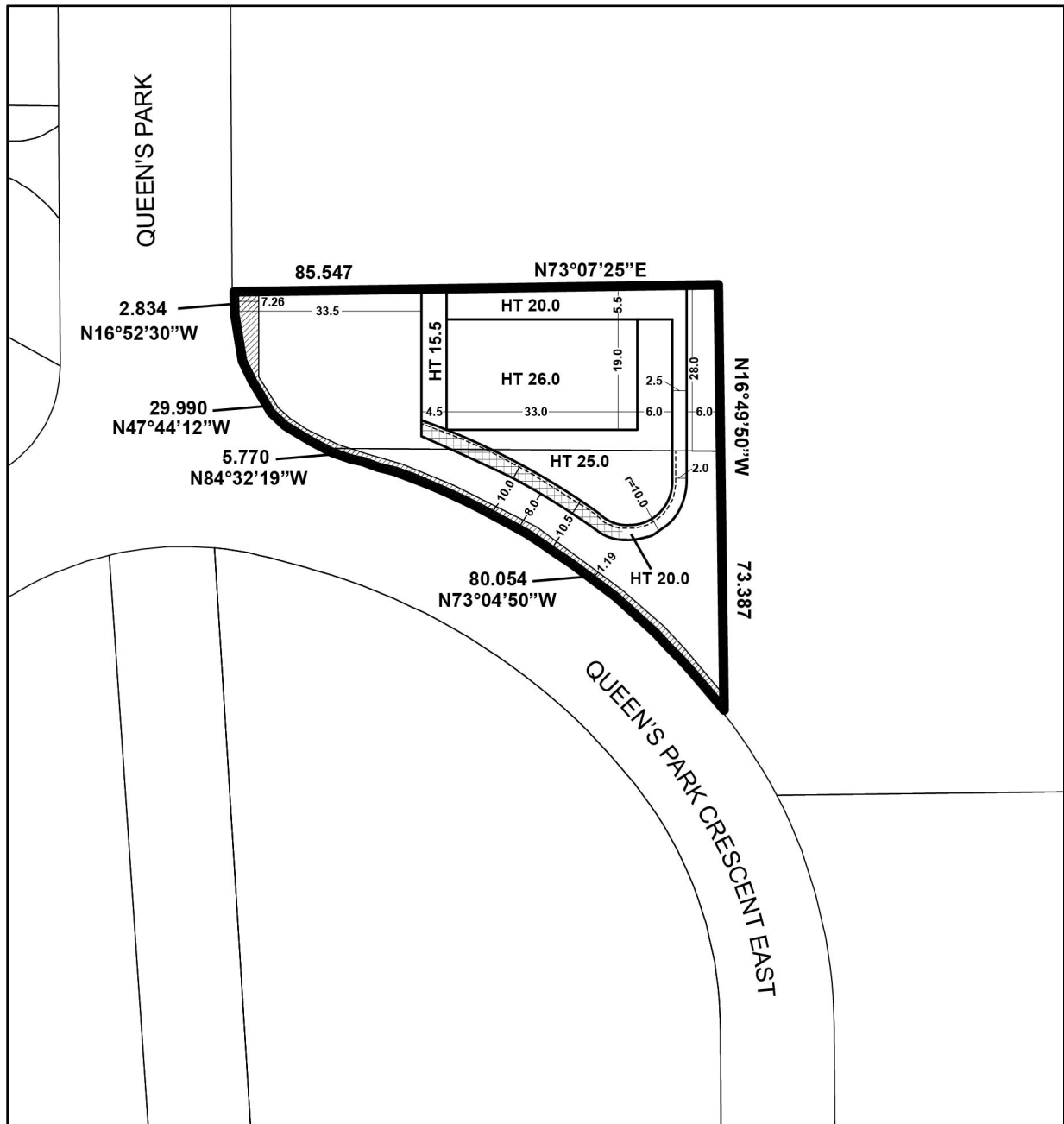
ENACTED AND PASSED this ~ day of ~, A.D. 20~.

JOHN TORY,  
Mayor

JOHN D. ELVIDGE,  
City Clerk

(Corporate Seal)







**Toronto**  
Map 2

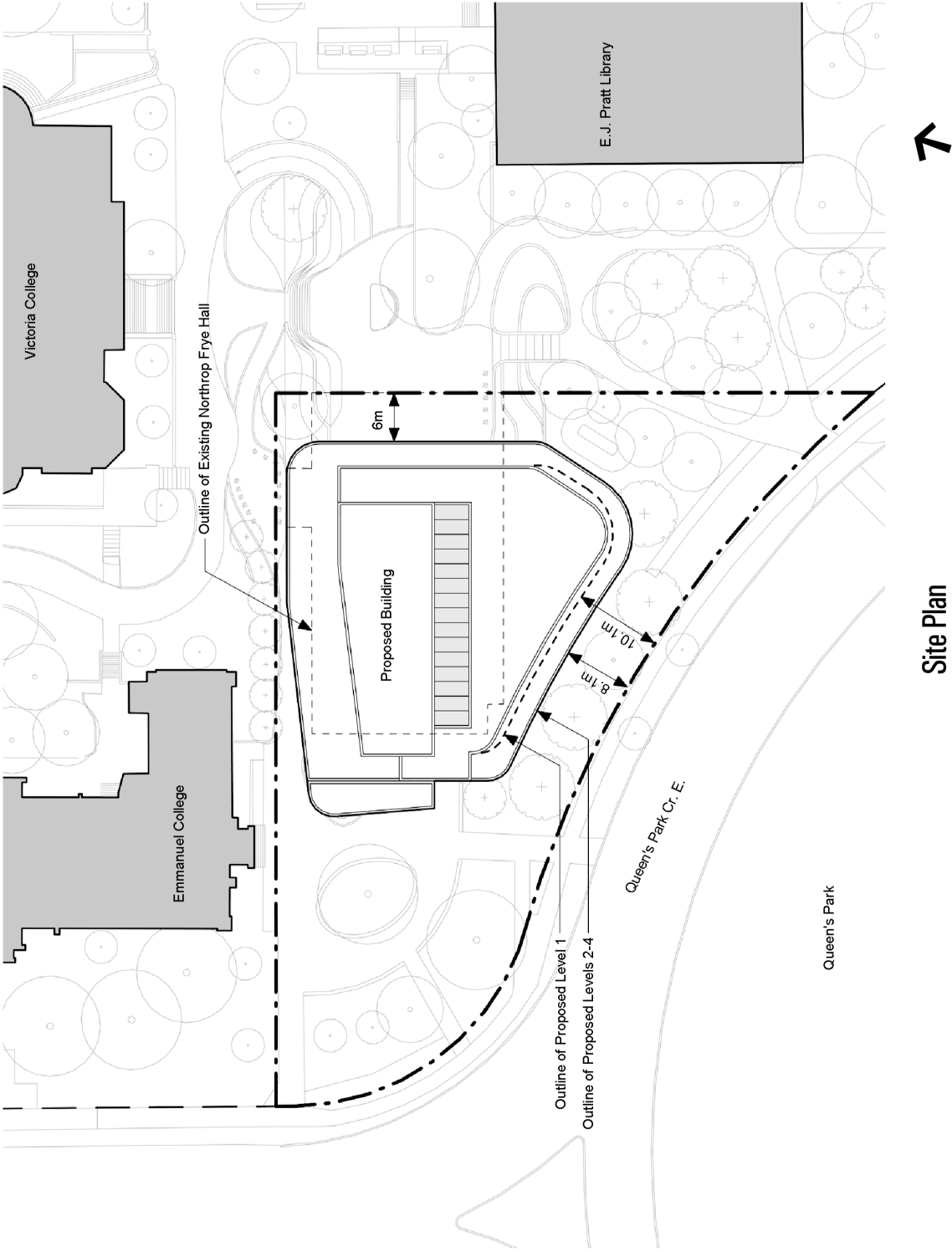
**73 Queen's Park Crescent East**

File # 19 205018 STE 11 0Z

 Area of road widening to be conveyed to the City of Toronto

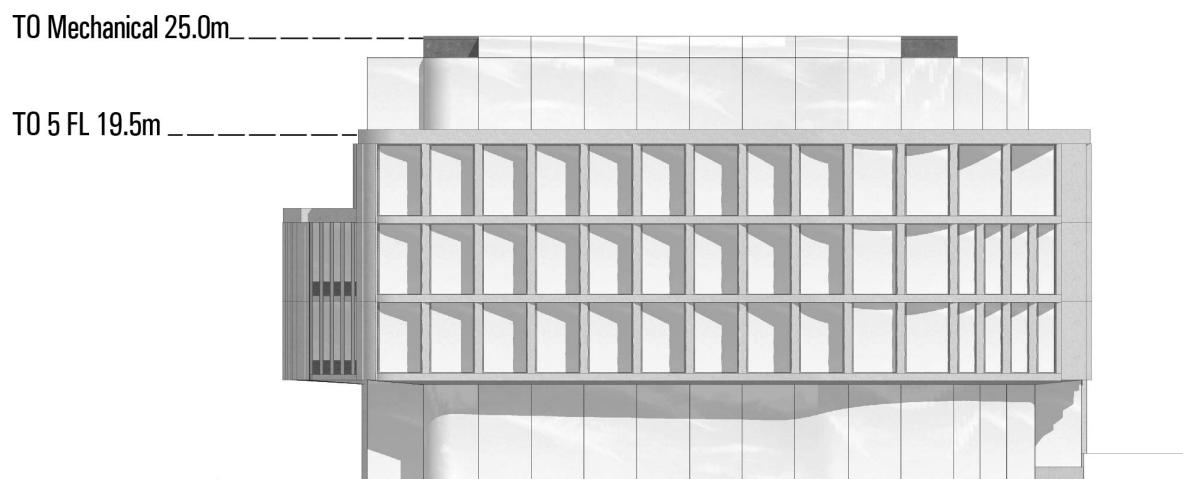
 Minimum Setbacks are referred to in 2(e) of this by-law

  
City of Toronto By-law 438-86  
Not to Scale  
05/25/2021



Site Plan

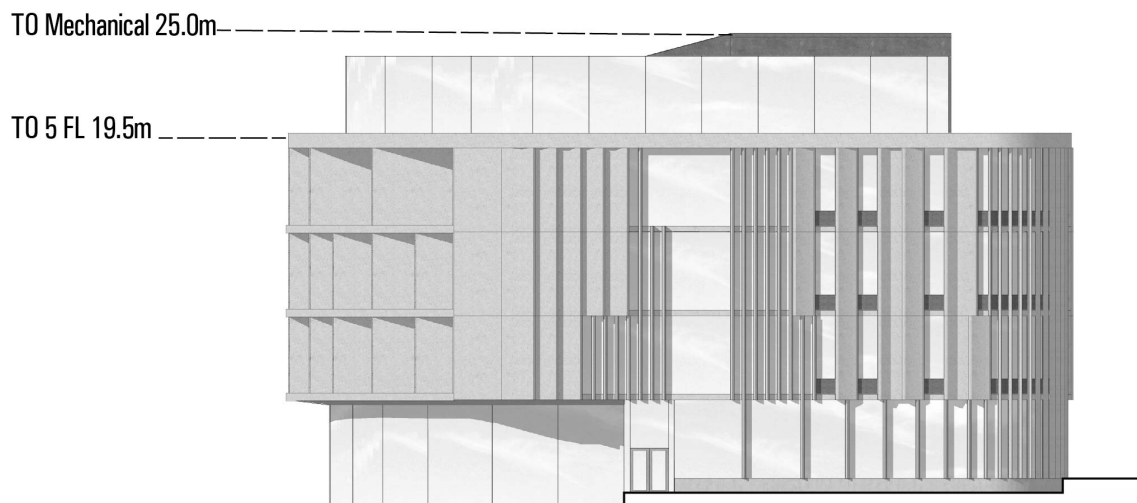
## Attachment 9: South Elevation



**South Elevation**



## Attachment 10: East Elevation



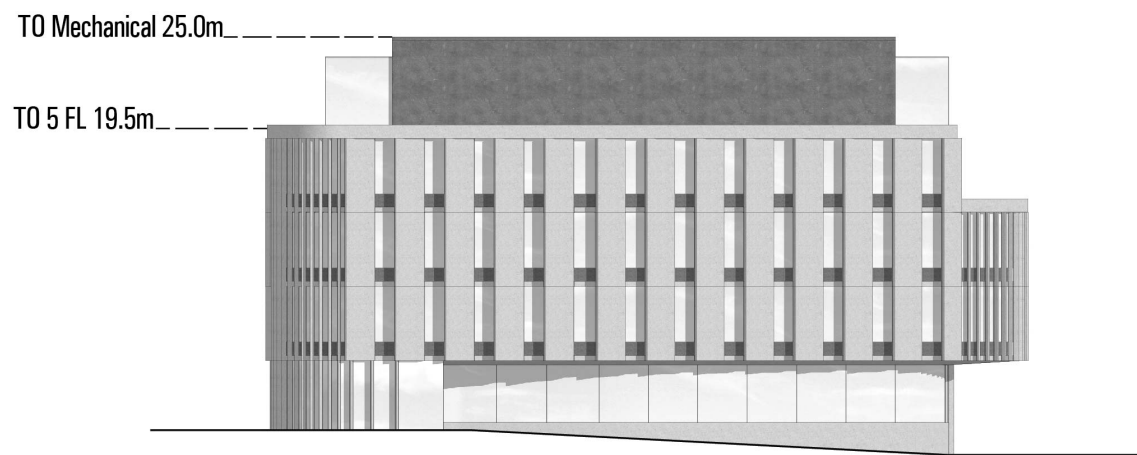
East Elevation

## Attachment 11: West Elevation



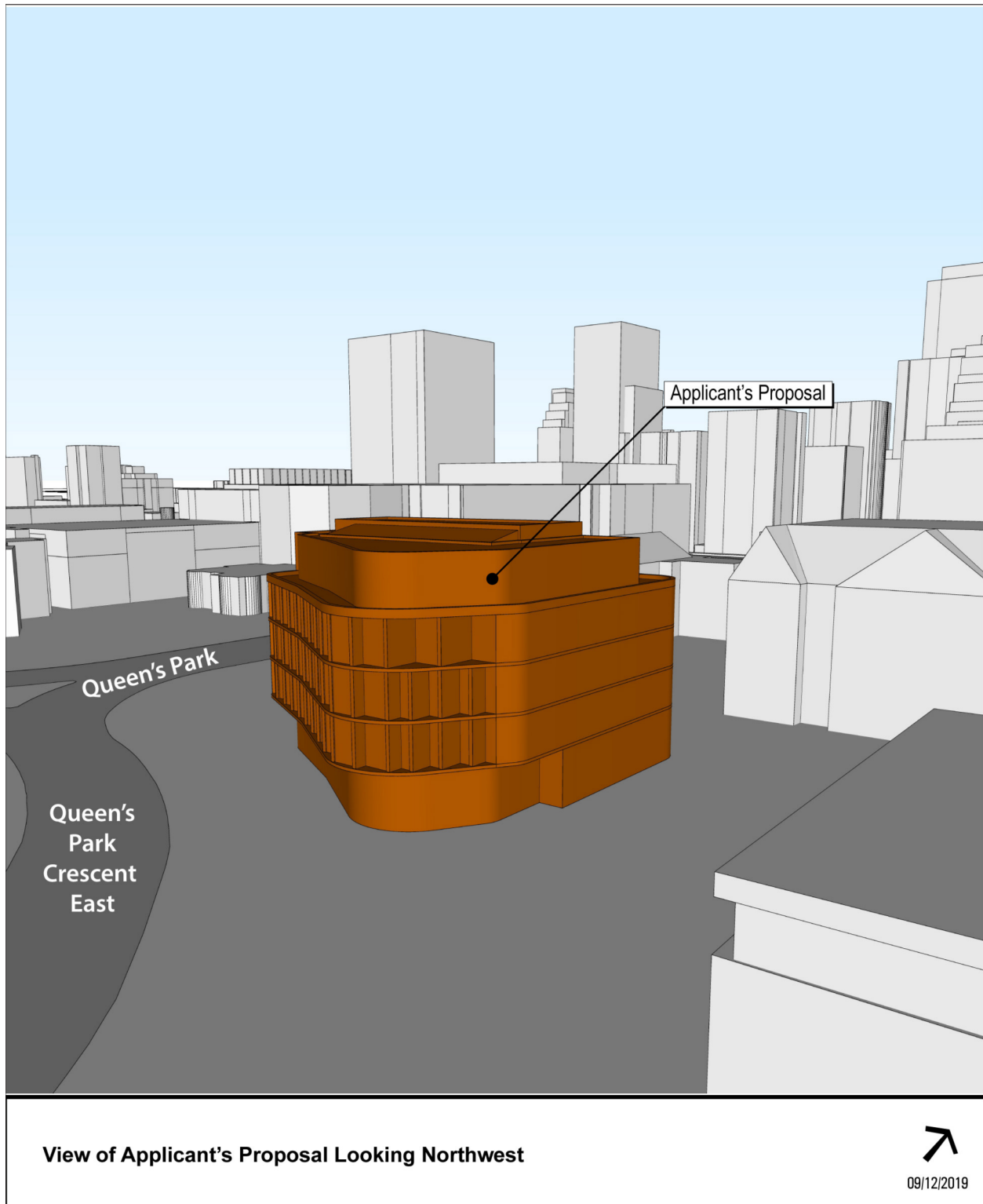
**West Elevation**

## Attachment 12: North Elevation

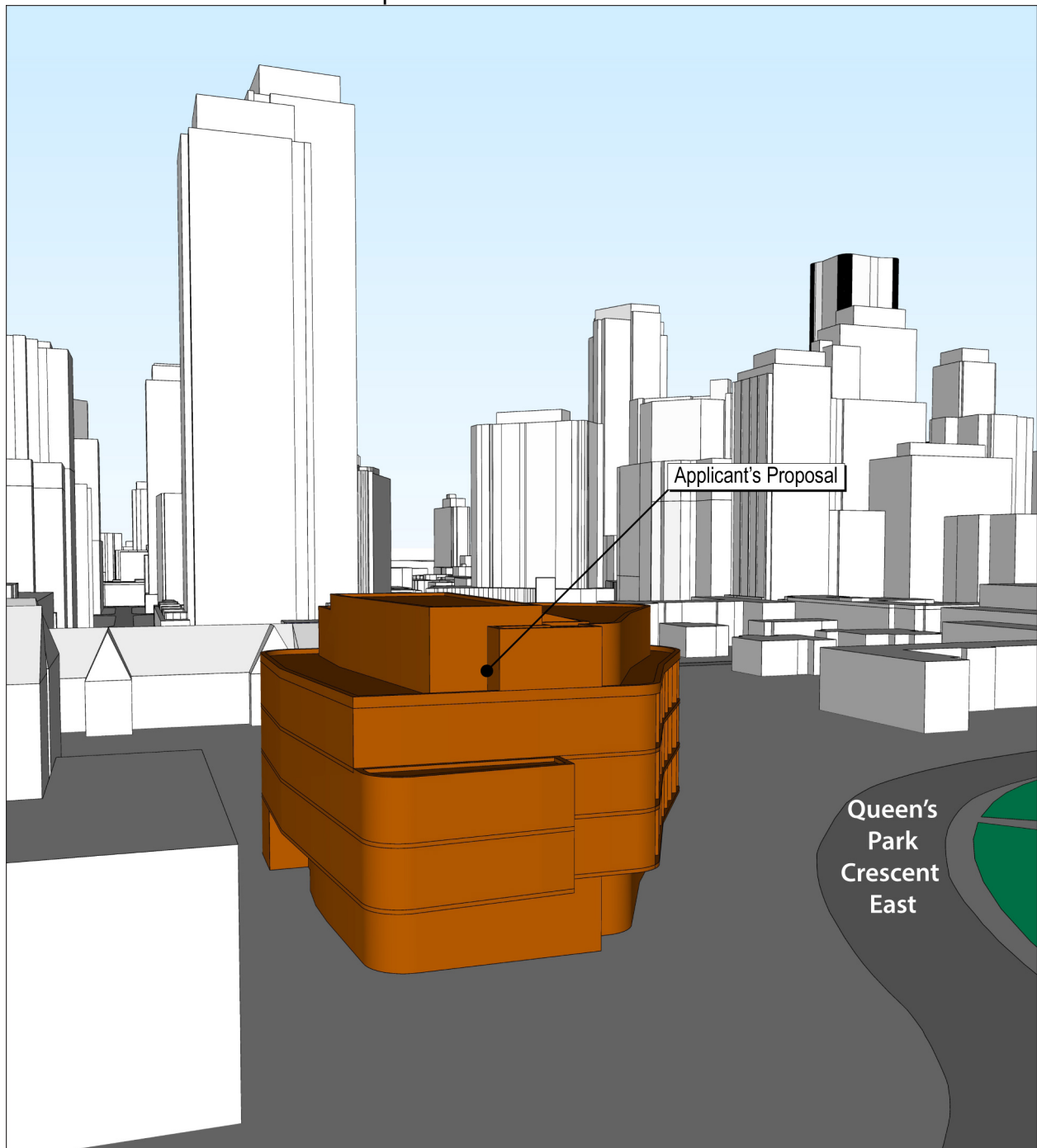


North Elevation

### Attachment 13: 3D Model of Proposal in Context - Northwest



## Attachment 14: 3D Model of Proposal in Context - Southeast



**View of Applicant's Proposal Looking Southeast**

MO/DA/2019