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WITHOUT PREJUDICE

March 25, 2022

VIA EMAIL

Sara Amini
Solicitor, Planning & Administrative Tribunal Law
City of Toronto, Legal Services Division
Metro Hall, 26th Floor
55 John Street
Toronto, ON M5V 3C6

Dear Ms. Amini:

**RE: 2810-2814 Bayview Avenue
Applications for Official Plan Amendment and Zoning By-law Amendment
City File Nos. 19150397 NNY 18 OZ
OLT Case Nos. OLT-21-001387, OLT-21-001388
** Offer to Settle ****

We are the lawyers for Dormer Bay Inc. ("**Dormer**"), being the owner of the properties municipally known as 2810, 2812 and 2814 Bayview Avenue (collectively, the "**Property**").

This Offer to Settle is being made in respect of the above-noted applications filed by Dormer for an Official Plan Amendment and Zoning By-law Amendment, which are the subject of the above-noted appeals (OLT Case Nos. OLT-21-001387, OLT-21-001388, collectively the "**Appeals**"), before the Ontario Land Tribunal (the "**Tribunal**"). Dormer made an application for Site Plan Control Approval, which was deemed complete as of February 8, 2022 (City File No. 22 110426 NNY 18 SA, the "**Site Plan**").

A Request for Directions Report dated October 25, 2021 was prepared by City Staff recommended supporting the Official Plan and Zoning By-law Amendments at the Tribunal hearing, and to continue discussions with the Applicant and the Ministry of Transportation in respect of securing site access from Bayview Avenue. However, on December 15, 2021, City Council made the decision to direct the City Solicitor to attend the Tribunal hearing in opposition to the vehicular access and parking spaces proposed, and to retain outside consultants if necessary.

The Appeals are scheduled to proceed to a first Case Management Conference on May 3, 2022 (the "**CMC**").

In response to comments from area residents and the local Councillor, our client is prepared to settle the Appeals and resolve the Site Plan in principle on the basis of the following matters described below:

1. The Proposal may contain a maximum of 30 residential parking spaces and an additional 6 visitor parking spaces;
2. Vehicular access will be located from Irvington Crescent, as depicted in the Site Plan;
3. The provision of a \$70,000 Section 37 contribution for community improvements payable upon the issuance of the first above grade building permit;
4. The City will support in principle the Development, generally in accordance with the attached plans submitted with the Site Plan (with necessary revisions to pages d A2.01, dA2.02, and dA2.03 to depict 30 residential and 6 visitor parking spaces in the underground levels), consisting of:
 - a. A 7-storey apartment building containing 67 apartment dwelling units, including 35 one-bedroom units (52%), 21 two-bedroom units (31%) and 11 three-bedroom units (16%). The general building envelope does not differ materially from the development that was contemplated at the time of the Appeals. Minor changes in height were made to accommodate mechanical components and the 7th storey footprint was revised in an effort to create larger 3-bedroom units to more closely meet the 3-bedroom unit size objectives in the City's Growing Up Guidelines.
 - b. A gross floor area of approximately 5,123 square metres, and a floor space index of 2.89.
 - c. A connected indoor and outdoor amenity space at ground floor, with a total area of 238 square metres.
 - d. Bicycle parking with 64 spaces, including 8 bicycle spaces at grade.
5. The City and Dormer will cooperate to finalize the Zoning By-law Amendments to 569-2013 and former City of North York Zoning By-law 7625, including the Section 37 obligations prior to any changes in legislation regarding Section 37 of the Planning Act or other changes regarding an additional community benefits charge;
6. The City Solicitor will advise the Tribunal of the City's support for the Official Plan Amendment and Zoning By-law Amendments at their earliest opportunity, including the upcoming CMC.

(collectively, the “**Settlement Offer**”)

We note that the Settlement Offer is being put forward as an entire package for consideration, and must be accepted by Council in its entirety.

If the Settlement Offer is accepted by the City, the parties agree that Dormer (as the Applicant) will lead land use planning evidence in support thereof at the OLT CMC scheduled on May 3, 2022, or as soon thereafter as directed by the Tribunal and the parties will write to the case coordinator advising of the Settlement Offer and requesting the May 3, 2022 CMC date be transformed into a settlement hearing.

In advance of the CMC, the parties will work together to resolve the final form of implementing instruments (Official Plan Amendment and Zoning By-law Amendments).

This Settlement Offer is open until the conclusion of the City's April 2022 Council Meeting, following which it will become null and void if not accepted. If the Settlement Offer is accepted, Dormer consents to the Settlement Offer and City Council's consideration thereof being made public. The City acknowledges that in the event of acceptance of the Settlement Offer, Dormer may publicly refer to the terms of the settlement.

Yours truly,
Overland LLP



Per: Christopher J. Tanzola
Partner

Encl.



**2810 - 2814 BAYVIEW AVENUE,
NORTH YORK, ONTARIO**
PROPOSED RESIDENTIAL DEVELOPMENT

DRAWING LIST - RZ

C	Sheet Name	Nov 30 2018	July 31 2020	Nov 20 2020	Jan 21 2021	Jan 13 2022
11 REZONING						
A0						
dA0.00	Cover Sheet					
A1						
dA1.01	Context Plan					
dA1.02	Survey					
dA1.03	Site Plan					
dA1.04	Site Statistics					
dA1.05	Toronto Green Standard					
A2						
dA2.01	Underground Parking Level P2 Floor Plan					
dA2.02	Underground Parking Level P1 Floor Plan					
dA2.03	Ramp Access Lower Level 174.30					
dA2.04	Ground Floor Plan L1					
dA2.05	Level 2-5 Floor Plan					
dA2.06	Level 6- Top of MPH Floor Plan					
A4						
dA4.01	West Elevation					
dA4.02	East Elevation					
dA4.03	South Elevation					
dA4.04	North Elevation					
dA4.05	1.50 East Elevation					
A5						
dA5.01	Transverse Cross Section					
dA5.02	Transverse Cross Section					
dA5.04	Longitudinal Cross Section					
A6						
dA6.01	Perspective Views					
A7						
dA7.01	Sun Shadow Study - June					
dA7.02	Sun Shadow Study - March/September					
dA7.03	Sun Shadow Study - December					

CONSULTANT TEAM

2810-2814 Bayview Ave. - 18069

CLIENT: NAME: DORMER BAY INC. ADDRESS: UNIT 204-255 DUNCAN MILL RD. TORONTO, ON TEL: 647 429 7090 x 103 www.dormerhomes.ca	SURVEY: NAME: ERTL SURVEYORS ADDRESS: 1234 REID ST. UNIT 10, RICHMOND HILL, ON TEL: 905 731 7834 www.es-ols.com
PROJECT ARCHITECT: NAME: KIRKOR ARCHITECTS & PLANNERS ADDRESS: 20 DE BOERS DR. SUITE #400, TORONTO, ON TEL: 416 665 6060 www.kirkorarchitects.com	PLANNER: NAME: EVANS PLANNING INC. ADDRESS: 8481 KEELE ST. UNIT 12, VAUGHAN, ON TEL: 905 669 6992 x 102 www.evansplanning.com
CIVIL ENGINEER: NAME: COLE ENGINEERING ADDRESS: 70 VALLEYWOOD DR. MARKHAM, ON TEL: 416 987 6161 www.coleengineering.ca	NOISE: NAME: HGC ENGINEERING ADDRESS: 2000 ARGENTIA RD. PLAZA 1, SUITE 203, MISSISSAUGA, ON TEL: 905 826 4044 www.acoustical-consultants.com
LANDSCAPE ARCHITECT: NAME: NAK DESIGN STRATEGIES ADDRESS: 421 RONCESVALLES AVE, TORONTO, ON TEL: 416 340 6724 www.nakdesignstrategies.com	ARBORIST: NAME: DILLON CONSULTING ADDRESS: 800-235 YORKLAND BLVD. TORONTO, ON TEL: 416 229 4647 x 2350 www.dillon.ca
HYDROGEOLOGICAL ENGINEER: NAME: EDWARD WONG & ASSOCIATES INC. ADDRESS: 441 ESNA PARK DR. UNIT 19, MARKHAM, ON TEL: 416 903 4288 www.edwardwongassociates.com	GEOTECHNICAL ENGINEER: NAME: EDWARD WONG & ASSOCIATES INC. ADDRESS: 441 ESNA PARK DR. UNIT 19, MARKHAM, ON TEL: 416 903 4288 www.edwardwongassociates.com
TRAFFIC: NAME: TRANS-PLAN INC. ADDRESS: 785 DUNDAS ST. W. TORONTO, ON. M6J 1V2 TEL: 647 931 7383 www.trans-plan.com	PEDESTRAIN LEVEL WIND STUDY: NAME: GRADIENTWIND ENGINEERING ADDRESS: 127 WALGREEN RD. OTTAWA, ON TEL: 613 836 0934 x 113 www.gradientwind.com
AIR QUALITY ANALYSIS: NAME: NOVUS ENVIRONMENTAL ADDRESS: 150 RESEARCH LANE, SUITE 105, GUELPH, ON TEL: 226 706 8080 x 216 www.novusenv.com	ELECTRICAL / LIGHTING: NAME: GHD ADDRESS: 184 FRONT ST. EAST. SUITE 302 M55A 4N3 TORONTO, ON TEL: 416 360 1600 www.ghd.com/en-ca/index.aspx
MECHANICAL ENGINEER: NAME: NOVATREND ADDRESS: 54 West Beaver Creek Rd #200, Richmond Hill, ON L4B 3M1 TEL: 905 885 5445 X 222 epun@novatrend.ca / tmui@novatrend.ca	STRUCTURAL ENGINEER: NAME: JABLONSKY, AST AND PARTNERS ADDRESS: 400-3 CONCORDE GATE M3C 3N7 TORONTO, ON TEL: 416 447 7405 www.astint.on.ca
ENERGY EFFICIENCY: NAME: EDGECOM ADDRESS: 90 Centurian Dr Unit 1C, Richmond Hill, ON L3R 8C5 TEL: 416 500 2090 ashans@edgecomenergy.ca	

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KIRKOR ARCHITECTS AND PLANNERS
20 De Boers Dr. # 400 Toronto ON M3J 0H1
TEL 416 665 6060 kirkorarchitects.com

No.: Revision: Date:

5	Site Plan Control Application	JAN 13, 2022
4	Re-zoning	JAN 21, 2021
3	Re-zoning	NOV 20, 2020
2	Re-zoning	JULY 31, 2020
1	Re-zoning	MAY 1, 2019

No.: Issued For: Date:

Drawing Title:

Cover Sheet

Client:

Dormer Homes

Project:

2810-2814 Bayview Ave.

Related File:
OPA/ZBA: 19 150397NMY 18 OZ
January 13, 2022

2810-2814 Bayview Ave.
Scale:

A.I. Drawn by:

D.S. Checked by:

18069 Project No.:

January 13, 2022 Date:

January 13, 2022 Drawing No.:

dA0.00

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**PROPOSED 7 STOREY
APARTMENT USE
BUILDING**



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1	Re-zoning	MAY 1, 2019

No.: Issued For: Date:

Drawing Title:

Context Plan

Client:

Dormer Homes

Project:

2810-2814 Bayview Ave.

Related File:
OPA/ZBA: 19 150397NNY 18 OZ
January 13, 2022

2810-2814 Bayview Ave.

Scale:
1 : 1000

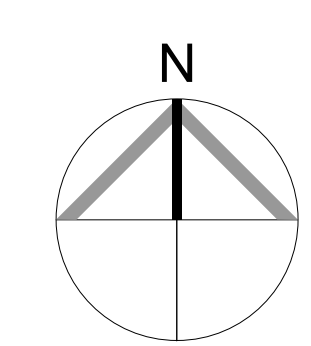
Drawn by:
A.I.

Checked by:
D.S.

Project No.:
18069

Date:
January 13, 2022

Drawing No.:

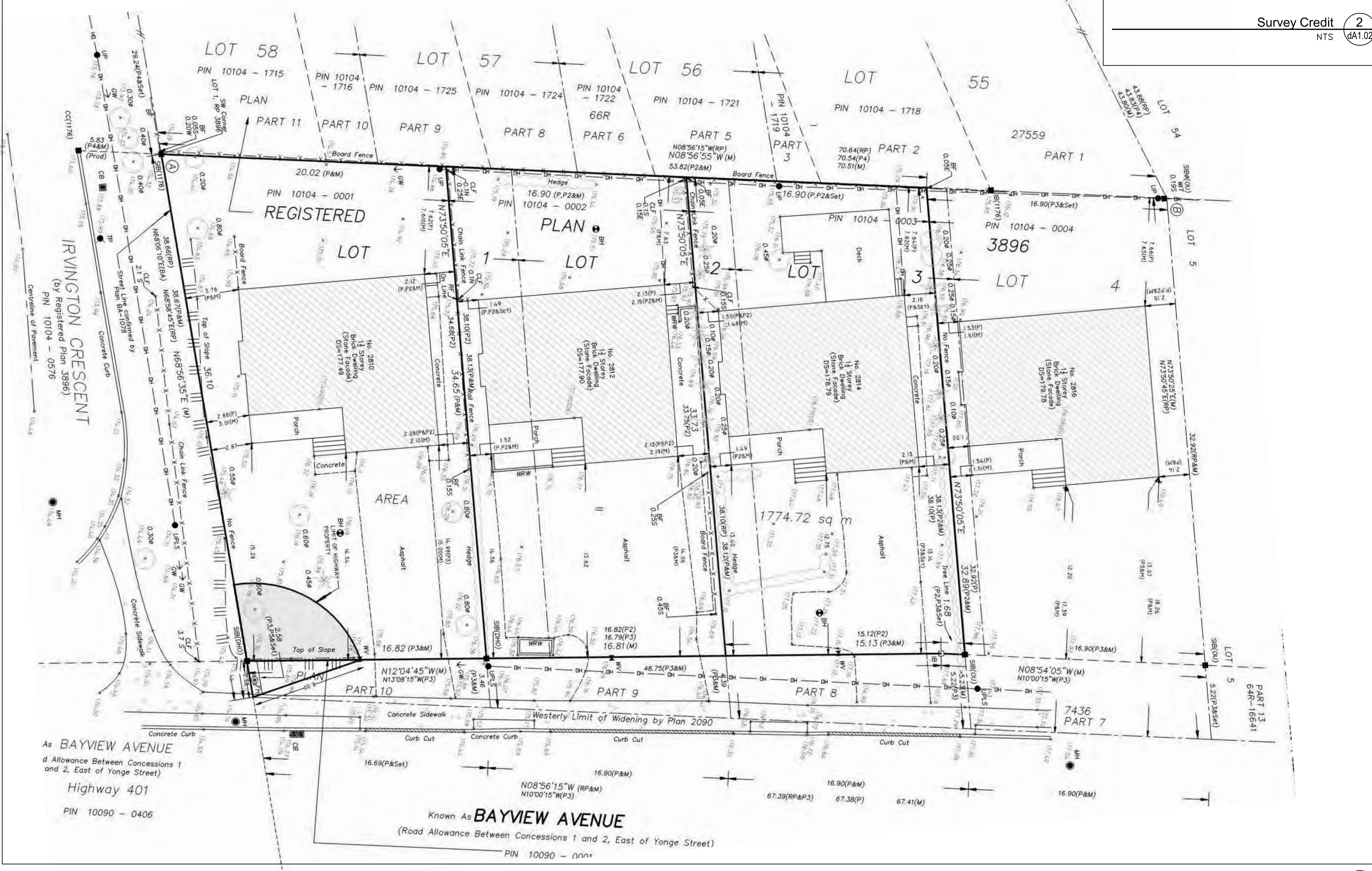


SITE CONTEXT PLAN 1
NTS dA1.01

dA1.01

SURVEY INFORMATION TAKEN FROM PLAN OF SURVEY OF:
 PLAN OF LOTS 1 AND 2, AND PART OF LOT 3 REGISTERED PLAN 3896
 CITY OF TORONTO
 (FORMERLY CITY OF NORTH YORK)
 PREPARED BY ERTL SURVEYORS, ONTARIO LAND SURVEYORS.
 1234 Reid Street, Unit 10, Richmond Hill L4B 1C1.
 Tel: (905) 731-7834 Fax: (905) 731-7852 www.es-ols.com
 Calc. by AL. Drawn by DH, Checked by GT.

Survey Credit **2**
 NTS dA1.02



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No.:	Revision:	Date:
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No.:

Issued For:

Date:

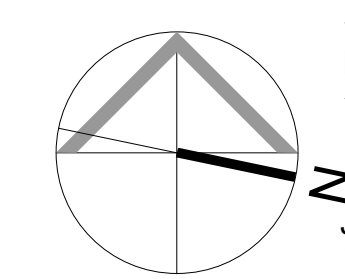
Survey

Client:
Dormer Homes

Project:
2810-2814 Bayview Ave.

Related File:
 OPA/ZBA: 19 150397NMY 18 OZ
 January 13, 2022
2810-2814 Bayview Ave.

Scale:
1 : 200
 Drawn by:
A. I.
 Checked by:
D.S.
 Project No.:
18069
 Date:
January 13, 2022
 Drawing No.:



Survey **1**
 NTS dA1.02

dA1.02

Per the information provided to Staff by the applicant, Staff have reviewed this application on the understanding it will comprise one condominium corporation upon completion. If any party, including the applicant or any subsequent owner, submits an application for condominium approval or for any form of land division for this development not in accordance with this information, different servicing connections, including all associated stormwater management facilities and any necessary revised plans and studies, may be required by the City at the sole cost to the condominium applicant.

Fire access routes shall have a change of gradient not more than 1 in 12.5 over a minimum distance of 15 meter. Load support shall be sufficient to support the expected loads imposed by firefighting equipment, meet the requirements of the Canadian Highway Bridge Design Code, CAN/CSA-S6, and shall be surfaced in order to be accessible under all climatic conditions.

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TEL 416 665 6060 kirkorarchitects.com

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No.: Issued For: Date:

Site Plan

Client:
Dormer Homes

Project:
2810-2814 Bayview Ave.

Related File:
OPA/ZBA: 19 150397NMY 18 OZ
January 13, 2022
2810-2814 Bayview Ave.

Scale:
1 : 100

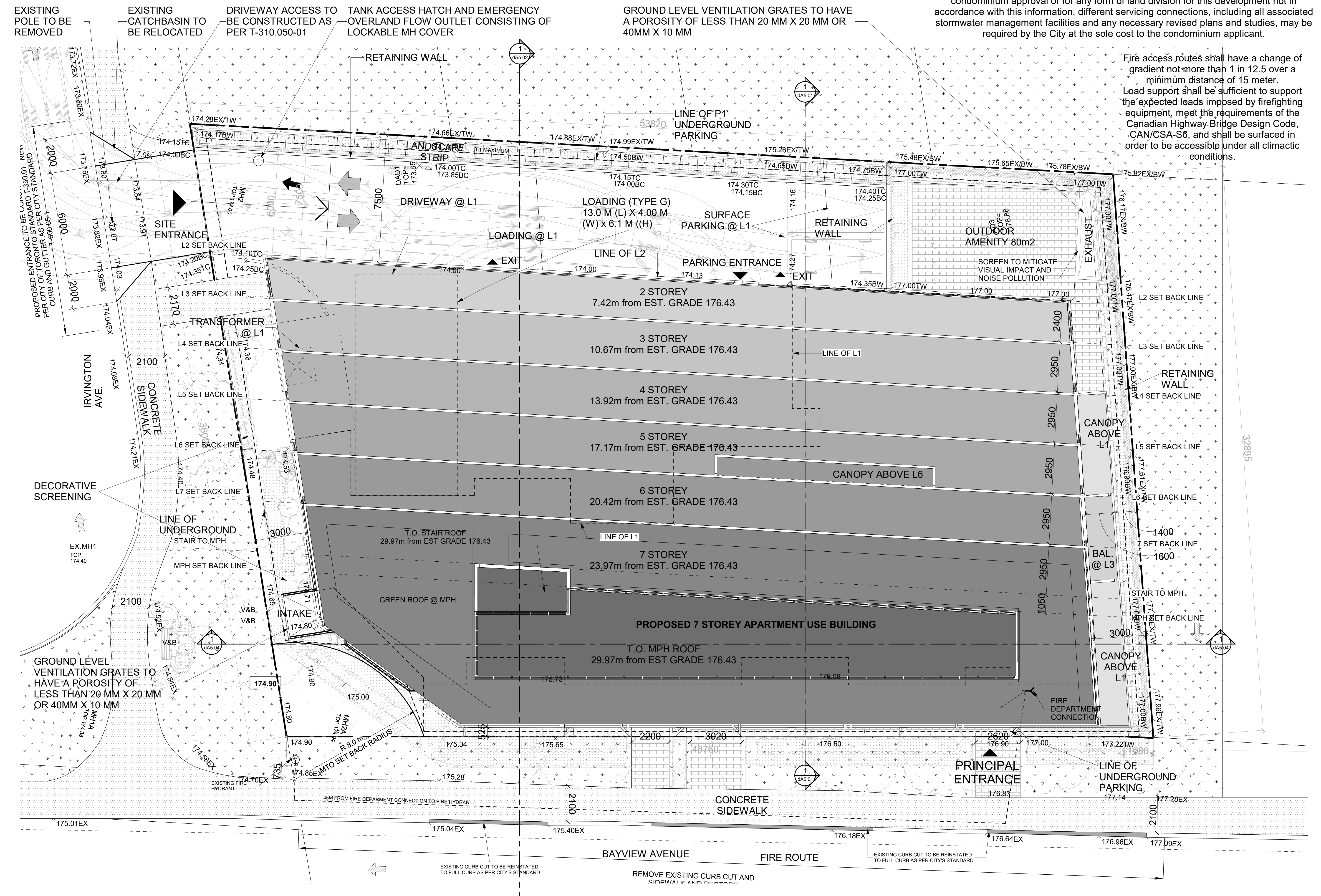
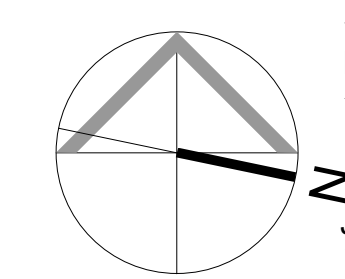
Drawn by:
A.I.

Checked by:
D.S.

Project No.:
18069

Date:
January 13, 2022

Drawing No.:
dA1.03



Site Plan **1**
Scale: 1 : 100 **dA1.03**

Plot Date: 2022-01-14 4:35:00 PM File Path: C:\Revt\2019\18069\10-Model-2810-2814 Bayview-Dormer_RV2019_cahomeEN.dwg

CONSULTANTS CREDIT

1. SURVEY CREDIT: PLEASE REFER TO ERTL SURVEYORS DWG FOR SURVEY INFORMATION
2. SITE SERVICING: PLEASE REFER TO COLE ENGINEERING DWG FOR SITE SERVICING INFORMATION
3. LANDSCAPE: PLEASE REFER TO NAK DWG FOR LANDSCAPE INFORMATION
4. TRAFFIC: PLEASE REFER TO NEXTRANS CONSULTING DWG FOR TRAFFIC INFORMATION

General Notes **6**
NTS dA1.04

OBC Matrix 2 - Site Plan Approval

<p>Kirkor Architects & Planners 20 De Boers Dr. Suite #400 Toronto, Ontario M3J 0H1 T: 416-665-6060 F: 416-665-1234</p> <p>Name of Project: 2810-2816 BAYVIEW</p> <p>Location: 2810-2816 BAYVIEW AVE., NORTH YORK, ONTARIO <i>Seal must be signed to be valid</i></p>		
Item	The Ontario Building Code 2012 Containing the Building Code Act and O. Reg 332/12 in effect Jan 1, 2014 Data Matrix Part 3 High Rise Residential Buildings	OBC Reference
1	Project Description: New Residential Apartment Bldg with retail at grade and 2 levels of underground parking	1.1.2.
2	Major Occupancy(s): Group C - Residential occupancies	3.1.2.1.(1)
3	Subsidiary Occupancy(s): Group A2 - Assembly occupancies (Amenity Areas)	3.1.2.1.(1)
4	Building Area (m ²) 1175 m ²	1.4.1.2.
5	Gross Area (m ²) 5137 m ²	1.4.1.2.
6	Number of Storeys 7 Above grade 7 Below grade 2	1.4.1.2. & 3.2.1.1.
7	Number of streets/Fire Fighter Access 1	3.2.2.10. & 3.2.5.
8	Building Classification: C	
9	Sprinkler System Proposed <ul style="list-style-type: none"> ■ Building Classification ■ Selected compartments ■ Selected floor areas ■ Basement ■ In lieu of roof rating 	3.2.2.20. - 83 3.2.1.5. 3.2.2.17.
10	Standpipe required	Yes 3.2.9.
11	Fire Alarm required	Yes 3.2.4.
12	Water Service/Supply is Adequate	Yes 3.2.5.7.
13	High Building	Yes 3.2.6.
14	Construction Restrictions	Non-combustible required 3.2.2.20. - 83.
15	Barrier Free Design	Yes 3.8

OBC Matrix **5**
NTS dA1.04

Project Statistics **3**
NTS dA1.04

**2810-2816 Bayview Ave.
RESIDENTIAL DEVELOPMENT
North York, ON**

Project Statistics		Project No. 18-009	
January 13, 2022			
1.0	LEGAL DESCRIPTION		
PLAN OF LOTS 1 AND 2, AND PART OF LOT 3 REGISTERED PLAN 5996 CITY OF TORONTO (FORMERLY CITY OF NORTH YORK)			
2.0	SITE INFORMATION		
1.1	Total Site Area	hectare	acres
Total Site Area		0.18	0.4385
Total Site Area		0.18	0.4385
Total Site Area		1,774.75	19,103
3.0	ESTABLISHED GRADE & BUILDING HEIGHT	Geodetic	Meters
Established Grade		174.9+177.86j2 =	206.40
Building Height (to top of Residential Roof)			206.40
Building Height (to top of MPH)			23.97m
4.0	SETBACKS	min provided	
NORTH			3M
EAST (FRONT) - BAYVIEW			0.3M
SOUTH			3M
WEST (REAR)			7.5M
MTO (FRONT LEFT BAYVIEW AVE. CORNER)			8M Radius
5.0	LOADING SPACE	Type	No.
Required (31 to 399 dwelling units)		G	1
Provided		G	1
7.0	Proposed GFA		
In the Residential Apartment Zone category, the gross floor area of an apartment building is indicated by the area in the building used for: (A) Parking, loading and bicycle parking below ground; (B) Required loading spaces at the ground level and required bicycle parking spaces at or above ground; (C) Storage rooms, washrooms, electrical, utility, mechanical and ventilation rooms in the basement; (D) Shower and change facilities required by any City of Toronto By-law for required bicycle parking spaces; (E) Amenity space required by this By-law; (F) Elevator shafts; (G) Garbage shafts; (H) Mechanical penthouse; and (I) Exit stairwells in the building.			
7.1	Building A	Roofs	sq. m
Level P2		1 x	22.00
Level P1		1 x	22.00
Level 1		1 x	464.57
Level 2		1 x	1,051.92
Level 3		1 x	970.53
Level 4		1 x	810.23
Level 5		1 x	689.72
Level 6		1 x	582.75
Level 7		1 x	479.17
Total Proposed Building A Residential Floor Area		9	5,122.89
*GFA deduction for required indoor amenity (Item E) as per Zoning By-law 569-2013		ratio = 2 sqm/unit	134.00
Total Proposed Building A Residential Floor Area			5,142.89
8.0	Density / FSI		
Site Area		1,774.75	19,103
Proposed Total GFA		5,122.89	55,142
FSI			2.89
9.0	Residential Unit Count		
9.1	Building A	Roofs	units/floor
Level 1		1 x	0 0 2
Level 2		1 x	8 9 0
Level 3		1 x	10 5 0
Level 4		1 x	9 4 0
Level 5		1 x	8 3 0
Level 6 & 7		1 x	2 0 0
Sub-Total		6	0 35 21
Avg Unit Size			51.8m ² 71.87m ² 98.27m ²
			0% 52% 31% 3% 13%
10.0	Parking		
10.1	Parking Required - Including Accessible Spaces	MINIMUM	MAXIMUM
Residential		Number of Units per Type	
Bachelor up to 45 m ²		0.80 per unit	0.90 per unit
Bachelor over 45 m ²		1.00 per unit	1.30 per unit
1 Bed		0.70 per unit	1.00 per unit
2 Bed		0.90 per unit	1.30 per unit
3 Bed		1.00 per unit	1.50 per unit
Visitor		0.10 per unit	0.10 per unit
Sub-total Residents		53	79
Sub-total Visitors		6	6
Grand Total Parking Required		59	84
10.2	Parking Proposed - Including Accessible Spaces	MINIMUM	MAXIMUM
Residential		Number of Units per Type	
Bachelor up to 45 m ²		0.80 per unit	0
Bachelor over 45 m ²		1.00 per unit	0
1 Bed		0.70 per unit	35
2 Bed		0.90 per unit	21
3 Bed		1.00 per unit	11
Visitor		0.10 per unit	67
Total Parking Provided		6	53
10.3	Parking Provided - Including Accessible Spaces	Visitor	Residential
Surface		2	0
P1		4	18
P2		0	35
Total Parking Provided		6	53
10.4	LEV / EV Spaces		
P1 LEV Spaces			0
P1 Level EVSE Spaces 20% of the total			12
Total Parking Provided			12
11.0	Amenity		
11.1	Amenity Required		
Indoor Amenity Required		2.00 sq.m. / unit	134.00
Outdoor Amenity Required		2.00 sq.m. / unit	134.00
Total Amenity Required			268.00
11.2	Amenity Proposed		
Indoor Amenity Proposed		2.00 sq.m. / unit	188.83
Outdoor Amenity Proposed		1.20 sq.m. / unit	80.00
Total Amenity Proposed			268.83
12.0	Lot Coverage		
12.1	Lot Coverage		
Lot Coverage		sqm	19,103
Site Area		1,774.75	19,103
Building Area		1,178.85	12,700
Paved Surface Area		250.60	2,697
Shaft Area		9.00	97
Landscape/Open Space Area		333.30	3,609
Lot Coverage		66%	
13.0	Bike Parking		
13.1	Bike Parking Required (Toronto Green Standard)		
Onewheel Long Term		Ratio	Residential
Visitor/Short Term		0.08	Units
Total Residential Parking Required		0.07	Spaces
			Total
			45
			4
			49
13.2	Bike Parking Provided		
Surface (Ground Floor/L1)			Residential
Underground Parking P1		0	Short Term
Total Bike Parking Provided		56	Total
			8
			56
			64

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3	Re-zoning	NOV 20, 2020
2	Re-zoning	JULY 31, 2020
1	Re-zoning	MAY 1, 2019

No.: Issued For: Date:

Drawing Title:

Site Statistics

Client:

Dormer Homes

Project:

2810-2814 Bayview Ave.

Related File:
OPA/ZBA: 19 150397NNY 18 OZ
January 13, 2022
2810-2814 Bayview Ave.
Scale:

Drawn by:

A.I.

Checked by:

D.S.

Project No.:

18069

Date:

January 13, 2022

Drawing No.:

dA1.04

Statistics Template - Toronto Green Standard Version 3.0
Mid to High Rise Residential and all New Non-Residential Development

The Toronto Green Standard Version 3.0 Statistics Template is submitted with Site Plan Control Applications and stand alone Zoning Bylaw Amendment applications. Complete the table and copy it directly onto the Site Plan submitted as part of the application.
 For Zoning Bylaw Amendment applications: complete General Project Description and Section 1.
 For Site Plan Control applications: complete General Project Description, Section 1 and Section 2.
 For further information, please visit www.toronto.ca/greendevelopment

General Project Description	Proposed
Total Gross Floor Area	5122.89 s.m
Breakdown of project components (m ²)	
Residential	5122.89 s.m
Retail	n/a
Commercial	n/a
Industrial	n/a
Institutional/Other	n/a
Total number of residential units	67

Section 1: For Stand Alone Zoning Bylaw Amendment Applications and Site Plan Control Applications

Automobile Infrastructure	Required	Proposed	Proposed %
Number of Parking Spaces	59	59	100
Number of parking spaces dedicated for priority LEV parking	0	0	100
Number of parking spaces with EVSE	20%=11.8	12	101.69

Cycling Infrastructure	Required	Proposed	Proposed %
Number of long-term bicycle parking spaces (residential)	45	56	124.44
Number of long-term bicycle parking spaces (all other uses)	n/a	n/a	n/a
Number of long-term bicycle parking (all uses) located on:			
a) first storey of building	n/a	n/a	n/a
b) second storey of building	n/a	n/a	n/a
c) first level below-ground	6	56	933.33
d) second level below-ground	8	0	0
e) other levels below-ground	n/a	n/a	n/a



Statistics Template - Toronto Green Standard Version 3.0
Mid to High Rise Residential and all New Non-Residential Development

Cycling Infrastructure	Required	Proposed	Proposed %
Number of short-term bicycle parking spaces (residential)	4	8	200
Number of short-term bicycle parking spaces (all other uses)	n/a	n/a	n/a
Number of male shower and change facilities (non-residential)	n/a	n/a	n/a
Number of female shower and change facilities (non-residential)	n/a	n/a	n/a

Tree Planting & Soil Volume	Required	Proposed	Proposed %
Total Soil Volume (40% of the site area = 66 m ² x 30 m ³)	323	420	130

Section 2: For Site Plan Control Applications

Cycling Infrastructure	Required	Proposed	Proposed %
Number of short-term bicycle parking spaces (all uses) at-grade or on first level below grade	4	8	200

UHI Non-roof Hardscape	Required	Proposed	Proposed %
Total non-roof hardscape area (m ²)		654	
Total non-roof hardscape area treated for Urban Heat Island (minimum 50%) (m ²)		367	56
Area of non-roof hardscape treated with: (indicate m ²)			
a) high-albedo surface material		367	
b) open-grid pavement			
c) shade from tree canopy			
d) shade from high-albedo structures			
e) shade from energy generation structures			
Percentage of required car parking spaces under cover (minimum 75%)(non-residential only)			

Green & Cool Roofs	Required	Proposed	Proposed %
Available Roof Space (m ²)		1073.98	
Available Roof Space provided as Green Roof (m ²)	147.97	207.24	140
Available Roof Space provided as Cool Roof (m ²)	0	0	100
Available Roof Space provided as Solar Panels (m ²)	0	0	100

Statistics Template - Toronto Green Standard Version 3.0
Mid to High Rise Residential and all New Non-Residential Development

Water Efficiency	Required	Proposed	Proposed %
Total landscaped site area (m ²)			
Landscaped site area planted with drought-tolerant plants (minimum 50%) (m ² and %) (if applicable)			

Tree Planting Areas & Soil Volume	Required	Proposed	Proposed %
Total site area (m ²)		1774.75	
Total Soil Volume (40% of the site area = 66 m ² x 30 m ³)	426	685	161
Total number of planting areas (minimum of 30m ² soil)			
Total number of trees planted	15	50	333
Number of surface parking spaces (if applicable)		2	
Number of shade trees located in surface parking area interior (minimum 1 tree for 5 parking spaces)		2	

Native and Pollinator Supportive Species	Required	Proposed	Proposed %
Total number of plants			
Total number of native plants and % of total plants (min.50%)			

Bird Friendly Glazing	Required	Proposed	Proposed %
Total area of glazing of all elevations within 12m above grade (including glass balcony railings)			
Total area of treated glazing (minimum 85% of total area of glazing within 12m above grade) (m ²)			
Percentage of glazing within 12m above grade treated with:			
a) Low reflectance opaque materials			
b) Visual markers			
c) Shading			

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Toronto Green Standard Statistics **3**
 NTS dA1.05

No.:	Revision:	Date:
5	Site Plan Control Application	JAN 13, 2022
4	Re-zoning	JAN 21, 2021
3	Re-zoning	NOV 20, 2020
2	Re-zoning	JULY 31, 2020
1	Re-zoning	MAY 1, 2019

No.: Issued For: Date:
 Drawing Title:

Toronto Green Standard

Client:
Dormer Homes

Project:
2810-2814 Bayview Ave.

Related File:
 OPA/ZBA: 19 150397NMY 18 OZ
 January 13, 2022
2810-2814 Bayview Ave.
 Scale:

1 : 200

A. I. Drawn by:

D.S. Checked by:

18069 Project No.:

January 13, 2022 Date:

Drawing No.:

dA1.05



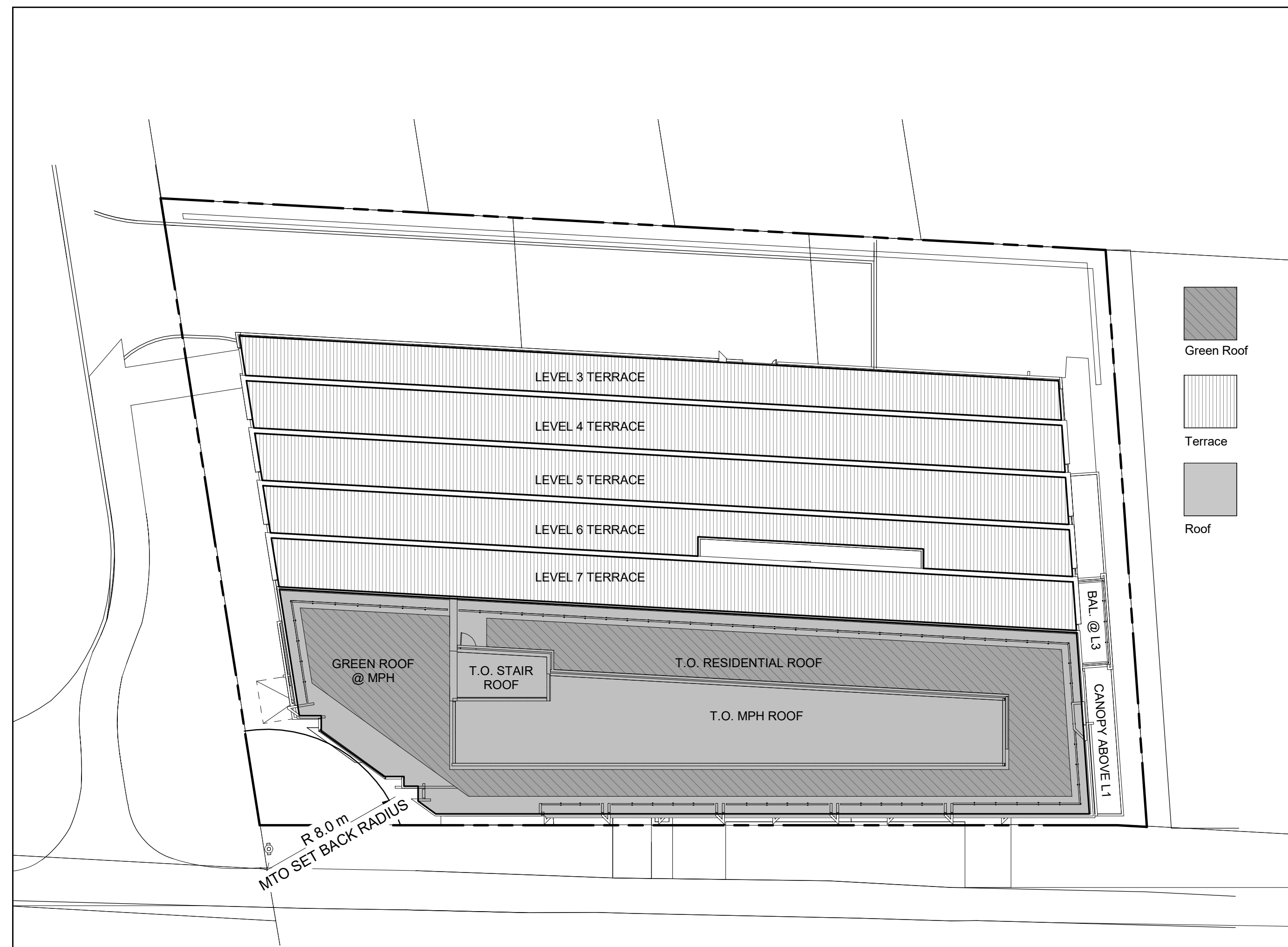
Green Roof Statistics

The Green Roof Statistics Template is required to be submitted for Site Plan Control Applications where a green roof is required under the Toronto Municipal Code Chapter 492, Green Roofs. Complete the table below and **copy it directly onto the Roof Plan** submitted as part of any Site Plan Control Application requiring a green roof in accordance with the Bylaw. Refer to Section § 492-1 of the Municipal Code for a complete list of defined terms, and greater clarity and certainty regarding the intent and application of the terms included in the template. The Toronto Municipal Code Chapter 492, Green Roofs can be found online at: http://www.toronto.ca/legdocs/municode/1184_492.pdf

Green Roof Statistics

	Proposed	
Gross Floor Area, as defined in Green Roof Bylaw (m ²)	5122.89	
Total Roof Area (m ²)	1073.98	
Area of Residential Private Terraces (m ²)	580.74	
Rooftop Outdoor Amenity Space, if in a Residential Building (m ²)	0	
Area of Renewable Energy Devices (m ²)	0	
Tower (s)Roof Area with floor plate less than 750 m ²	0	
Total Available Roof Space (m ²)	493.24	
Green Roof Coverage	Required	Proposed
Coverage of Available Roof Space (m ²)	147.97	207.24
Coverage of Available Roof Space (%)	30	42

Green Roof Bylaw Statistics **2**
 NTS dA1.05

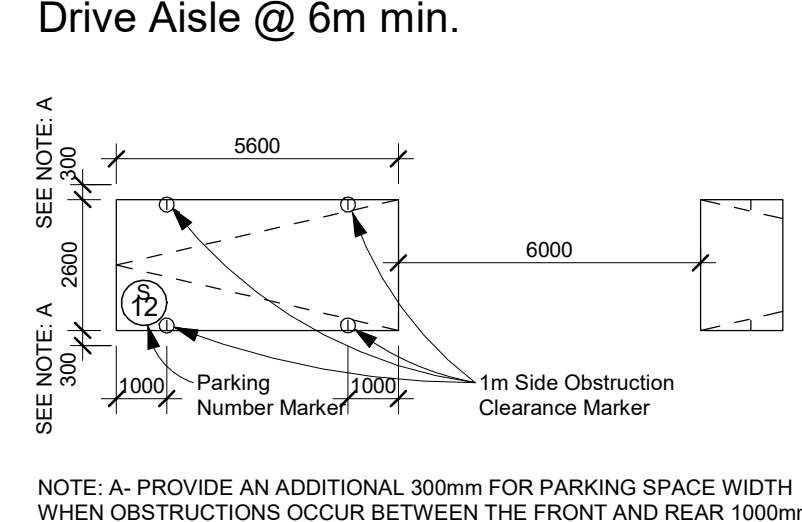


Green Roof Layout **1**
 NTS dA1.05

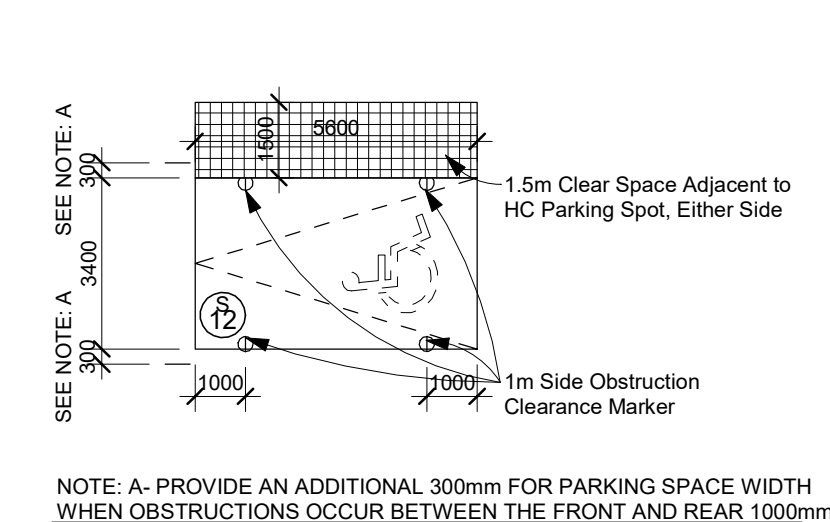
VEHICULAR PARKING SPACE LEGEND:

LEGEND	DESCRIPTION	QUANTITY	LEGEND	DESCRIPTION	QUANTITY
	ASSIGNED RESIDENTIAL PARKING SPACES IN RESIDENTIAL GARAGE WITH ROUGH-IN PROVISIONS FOR FUTURE EVSE INSTALLATION	51+3 BARRIER FREE		ASSIGNED RESIDENTIAL PARKING SPACES WITH PRIORITY FOR LOW-EMITTING VEHICLES, CARPOOLING, OR RIDE-SHARING VEHICLES	0
	UNASSIGNED VISITOR PARKING SPACES IN RESIDENTIAL GARAGE	6		ASSIGNED RESIDENTIAL PARKING SPACES WITH ELECTRIC VEHICLE SUPPLY EQUIPMENT (LEVEL 2 CHARGING CAPABILITY OR ELECTRIC VEHICLE ENERGY MANAGEMENT SYSTEM)	12

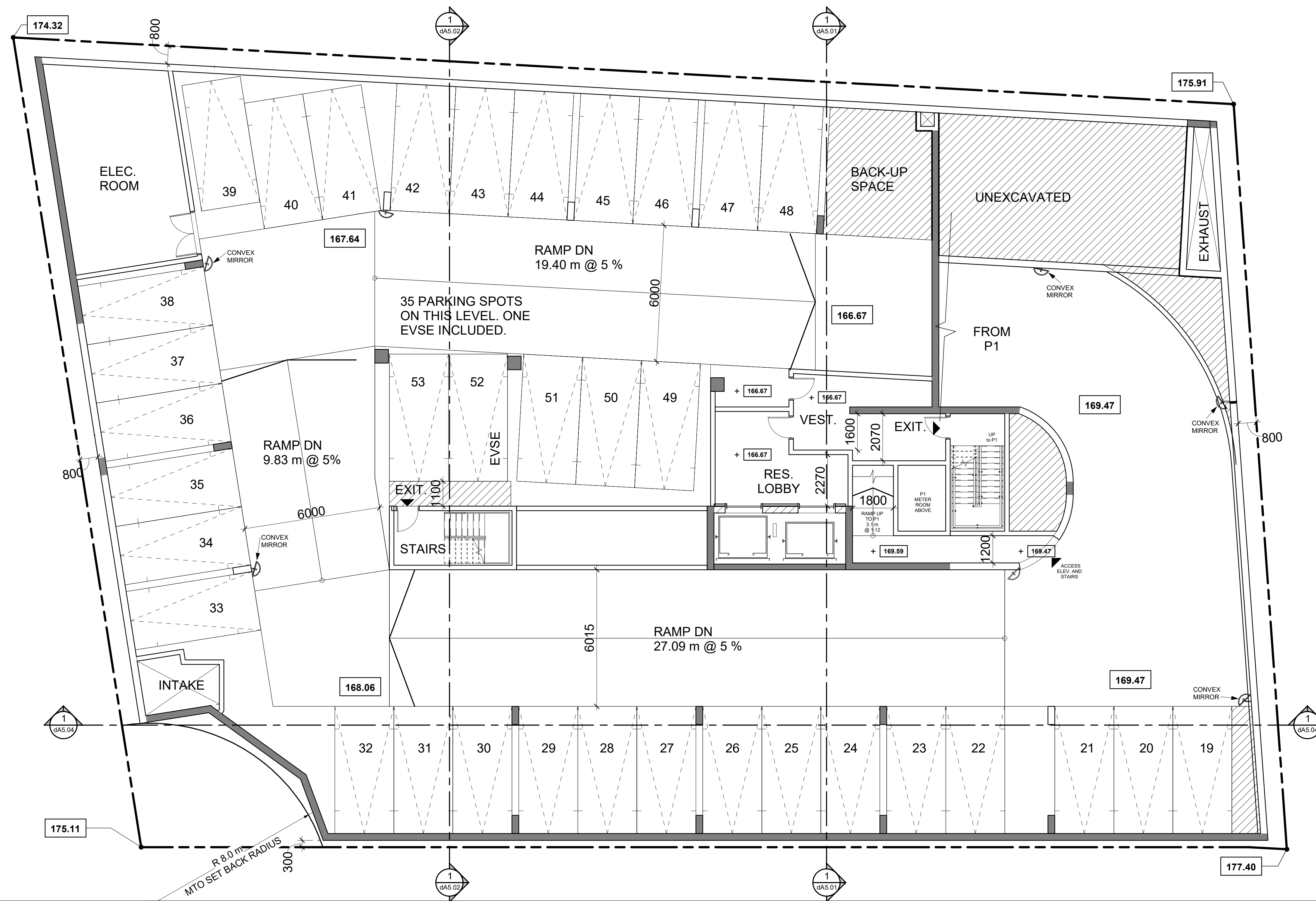
TYPICAL PARKING SPACE:



ACCESSIBLE PARKING SPACE:



General Parking Notes **1**
NTS **dA2.01**



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1	Re-zoning	MAY 1, 2019

No.:

Issued For:

Date:

Drawing Title:

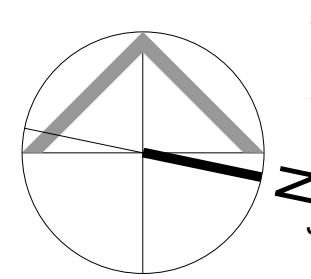
Underground Parking Level P2 Floor Plan

Client:
Dormer Homes

Project:
2810-2814 Bayview Ave.

Related File:
OPA/ZBA: 19 150397NMY 18 OZ
January 13, 2022
2810-2814 Bayview Ave.

Scale:
As indicated
Drawn by:
A.I.
Checked by:
D.S.
Project No.:
18069
Date:
January 13, 2022
Drawing No.:



Underground Parking Level P2 Floor Plan **1**
Scale: 1 : 100 **dA2.01**

dA2.01

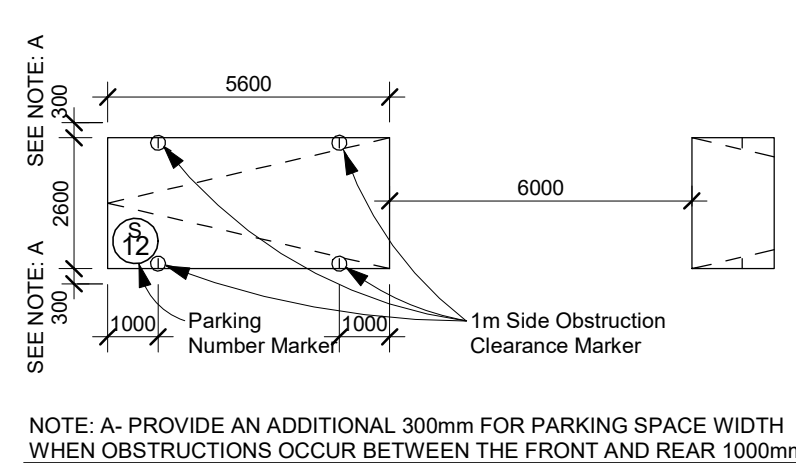
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VEHICULAR PARKING SPACE LEGEND:

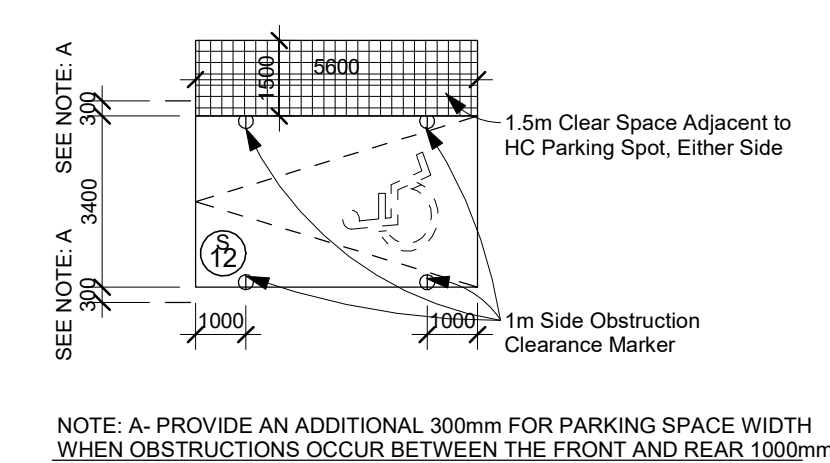
LEGEND	DESCRIPTION	QUANTITY
	ASSIGNED RESIDENTIAL PARKING SPACES IN RESIDENTIAL GARAGE WITH ROUGH-IN PROVISIONS FOR FUTURE EVSE INSTALLATION	51+3 BARRIER FREE
	UNASSIGNED VISITOR PARKING SPACES IN RESIDENTIAL GARAGE	6

LEGEND	DESCRIPTION	QUANTITY
	ASSIGNED RESIDENTIAL PARKING SPACES WITH PRIORITY FOR LOW-EMITTING VEHICLES, CARPOOLING, OR RIDE-SHARING VEHICLES	0
	ASSIGNED RESIDENTIAL PARKING SPACES WITH ELECTRIC VEHICLE SUPPLY EQUIPMENT (LEVEL 2 CHARGING CAPABILITY OR ELECTRIC VEHICLE ENERGY MANAGEMENT SYSTEM)	12

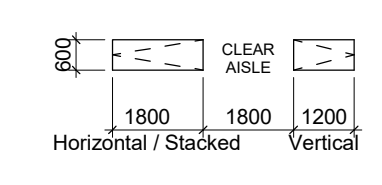
TYPICAL PARKING SPACE:
Drive Aisle @ 6m min.



ACCESSIBLE PARKING SPACE:



BICYCLE PARKING SPACE LEGEND



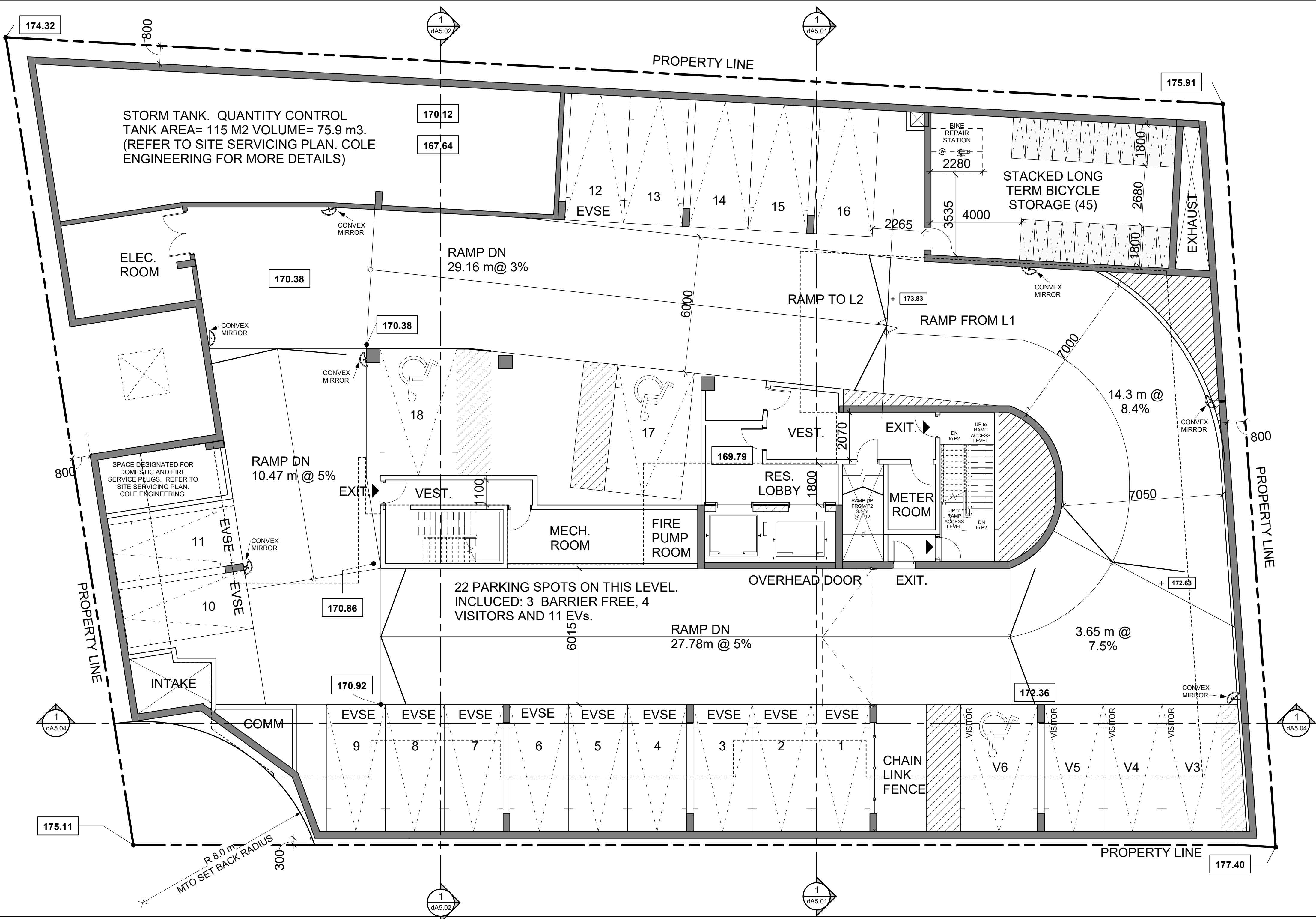
General Parking Notes **1**
NTS **dA2.02**

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1	Re-zoning	MAY 1, 2019

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Underground Parking Level P1 Floor Plan

Client:
Dormer Homes

Project:
2810-2814 Bayview Ave.

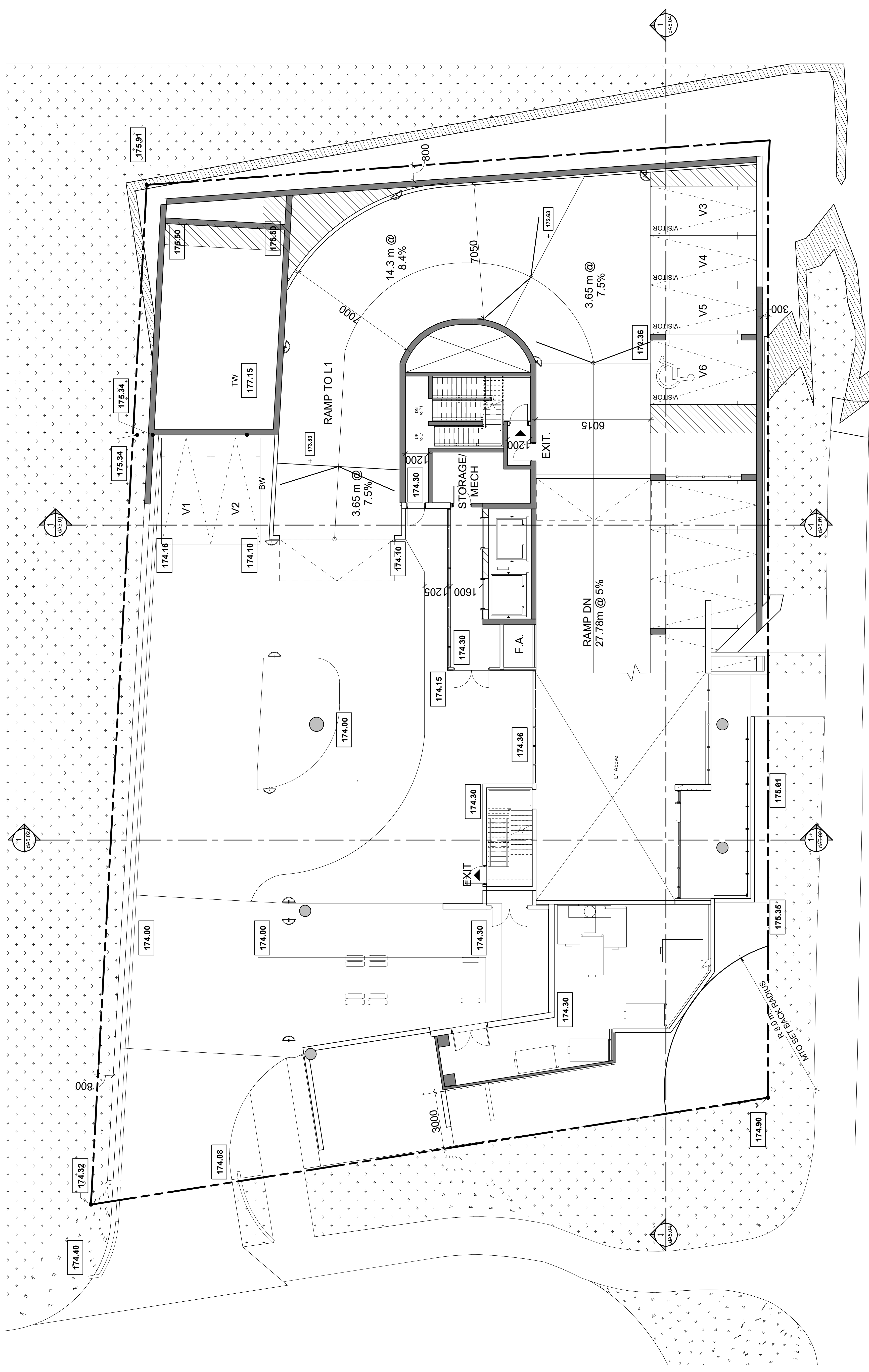
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D.S.	Checked by:
18069	Project No.:
January 13, 2022	Date:
	Drawing No.:

Underground Parking Level P1 Floor Plan **4**
Scale: 1 : 100 **dA2.02**

dA2.02

Plot Date: 2022-01-14 4:36:05 PM File Path: C:\Revit\2019\18069\10-Model-2810-2814 Bayview-Dormer_RV2019_achonE2N.rvt



12 A2 Floor Plan - Level 1 Lower **2**
 Scale: 1 : 100 dA2.03

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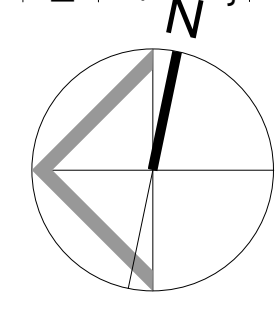
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Client: Dormer Homes

Project: 2810-2814 Bayview Ave.

Related File: OPAZBA: 19 150397NMY 18 OZ
 January 13, 2022
 2810-2814 Bayview Ave.

Scale: 1 : 100
 Drawn by: A. I.
 Checked by: D.S.
 Project No.: 18069
 Date: January 13, 2022
 Drawing No.: dA2.03



dA2.03

RESIDENTIAL GARBAGE/RECYCLING STORAGE ROOM

WASTE DIVERSION SYSTEM: SINGLE CHUTE WITH TRI-SORTER

CITY OF TORONTO REQUIREMENTS (AUGUST 2019):
 GARBAGE/RECYCLING: 25m² / FIRST 50 UNITS + 13m² / EACH ADDITIONAL 50 UNITS + 10m² (UNCOMPACTED GARBAGE)

CALCULATED GARBAGE/RECYCLING REQUIREMENT:
 25m² + (13m² x (61-50)/50 + 10m² = 37.86m²

STAGING AREA: 5m² FOR EVERY 50 UNITS > 50
 CALCULATION: (61- 50) / 50 x 5m² = 1.1m²

NUMBER OF COLLECTION BINS REQUIRED:

CALCULATION:
 GARBAGE STORAGE: 1 BIN PER 50 UNITS (61 UNITS / 50 = 1.22 BINS)
 RECYCLING STORAGE: 1 BIN PER 50 UNITS (61 UNITS / 50 = 1.22 BINS)
 ORGANIC STORAGE: 1 BIN PER 50 UNITS (61 UNITS / 50 = 1.22 BINS)

TOTAL NUMBER OF BINS: 3.66= 6 BINS

BINS DESIGNATION:

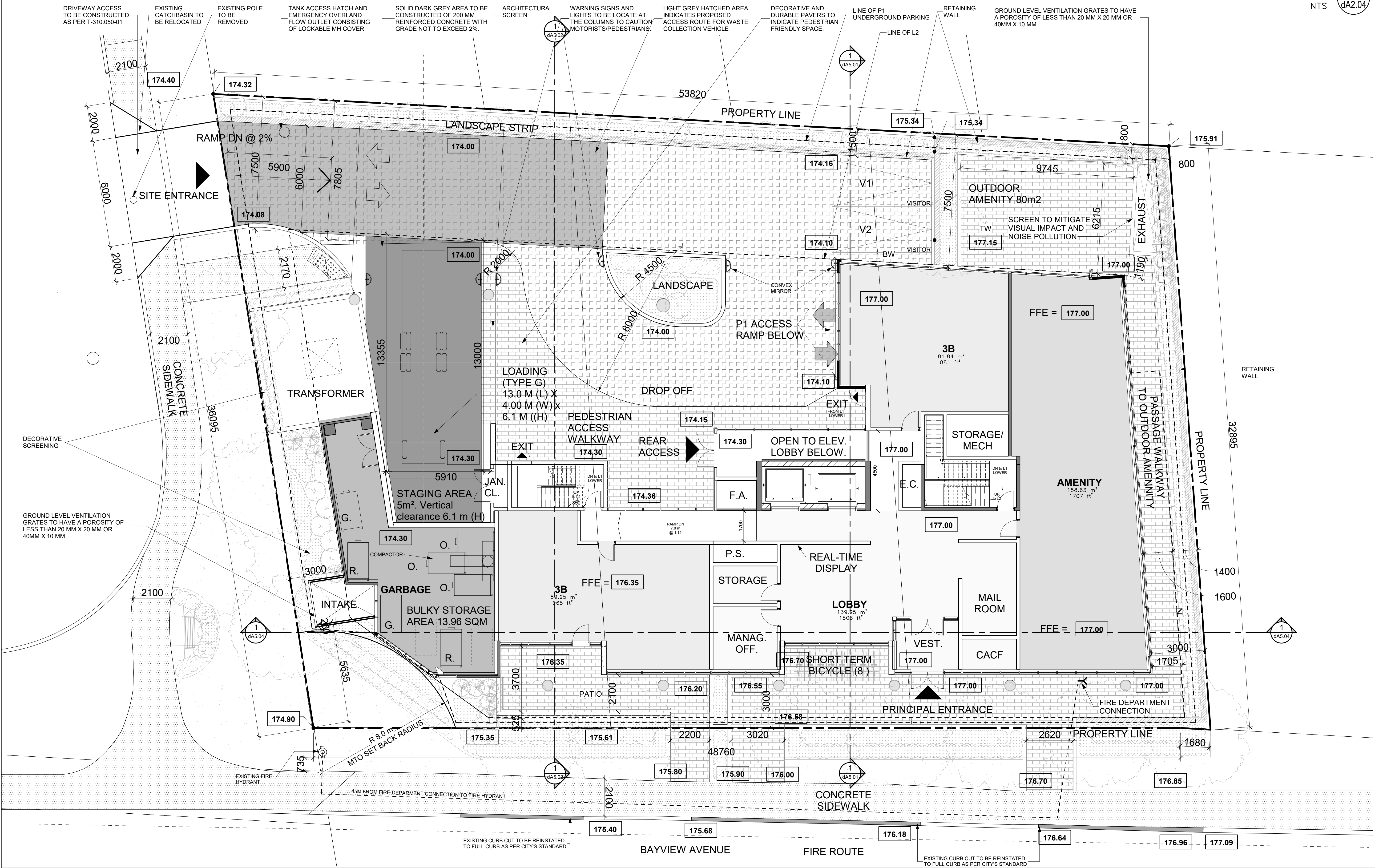
G = GARBAGE R = RECYCLING O = ORGANIC

PROPOSED ACCESS ROUTE FOR WASTE COLLECTION VEHICLE TO HAVE MINIMUM 4.4m VERTICAL CLEARANCE THROUGHOUT AND DESIGNED TO SAFELY SUPPORT 35,000kg.

STRUCTURAL ENGINEER TO DESIGN AREA TO CONFORM AS FOLLOWS:
 (A) DESIGN CODE - ONTARIO BUILDING CODE
 (B) DESIGN LOAD - CITY BULK LIFT VEHICLE IN ADDITION TO BUILDING CODE REQUIREMENTS
 (C) IMPACT FACTOR - 5% FOR MAXIMUM VEHICLE SPEEDS TO 15KM/H AND 20% FOR HIGHER SPEEDS

A TRAINED ON-SITE STAFF MEMBER MUST BE AVAILABLE TO MANOEUVRE BINS FOR THE COLLECTION DRIVER AND ALSO ACT AS A FLAGMAN WHEN THE TRUCK IS REVERSING. IN THE EVENT THE ON-SITE STAFF MEMBER IS UNAVAILABLE AT THE TIME THE CITY COLLECTION VEHICLES ARRIVE ON SITE, THE COLLECTION VEHICLE WILL LEAVE THE SITE AND NOT RETURN UNTIL THE NEXT SCHEDULED COLLECTION DAY.

Waste Management Notes 2
 NTS dA2.04



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1	Re-zoning	MAY 1, 2019

No.:

Issued For:

Date:

Ground Floor Plan L1

Client:
Dormer Homes

Project:
2810-2814 Bayview Ave.

Related File:
 OPA/ZBA: 19 150397NMY 18 OZ
 January 13, 2022
2810-2814 Bayview Ave.
 Scale:
As indicated
 Drawn by:
A.I.
 Checked by:
D.S.
18069
 Project No.:
18069
 Date:
January 13, 2022
 Drawing No.:

Ground Floor Plan 3
 Scale: 1 : 100
 dA2.04

dA2.04

Plot Date: 2022-01-14 4:36:15 PM File Path: C:\Users\1918\OneDrive\Documents\2810-2814 Bayview-Dormer_RV2019_Architectural.dwg

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1	Re-zoning	MAY 1, 2019

No.: Issued For: Date:

Drawing Title:

Level 2-5 Floor Plan

Client:

Dormer Homes

Project:

2810-2814 Bayview Ave.

Related File:
OPA/ZBA: 19 150397NMY 18 OZ
January 13, 2022

2810-2814 Bayview Ave.

Scale: 1 : 200

A.I. Drawn by:

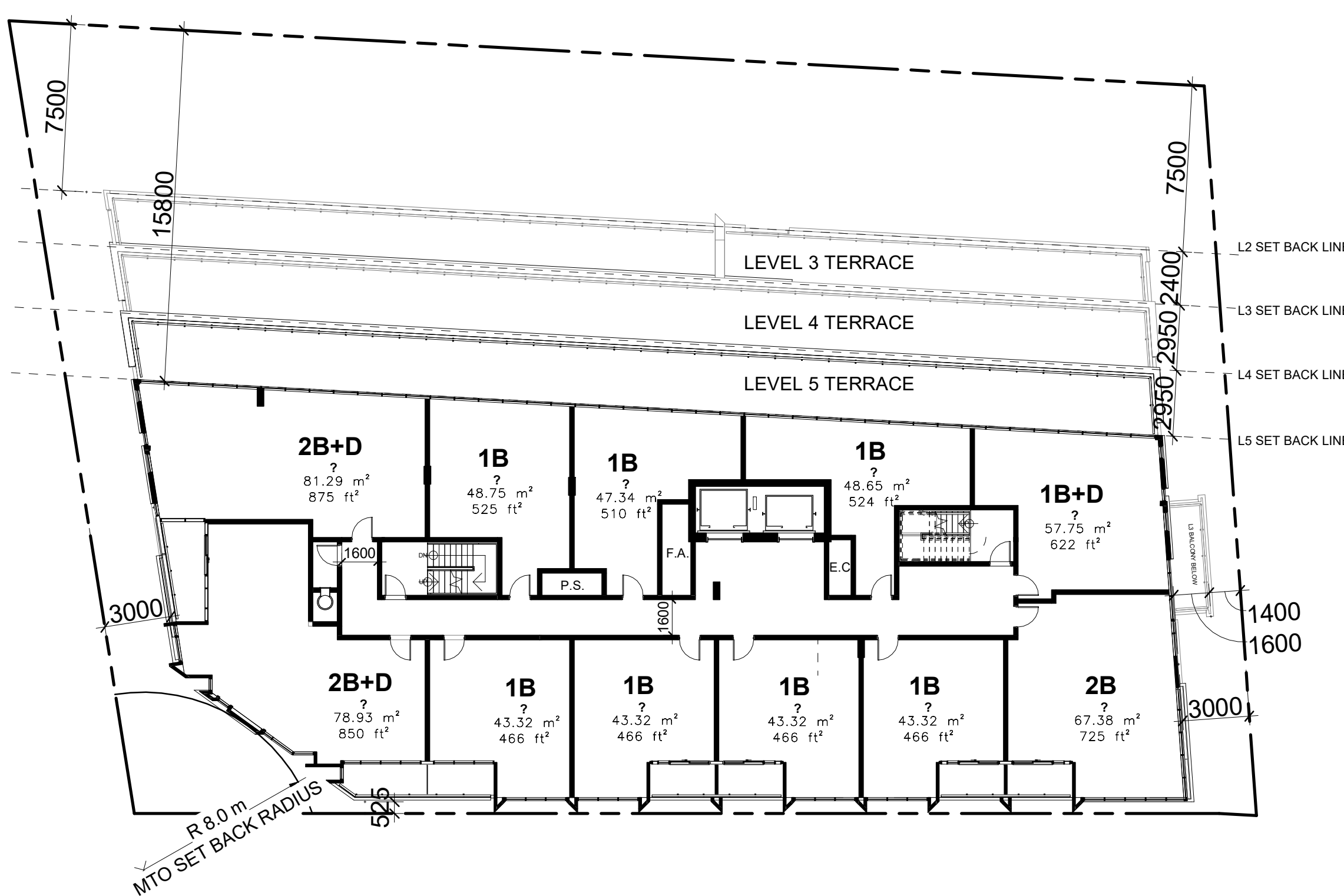
D.S. Checked by:

18069 Project No.:

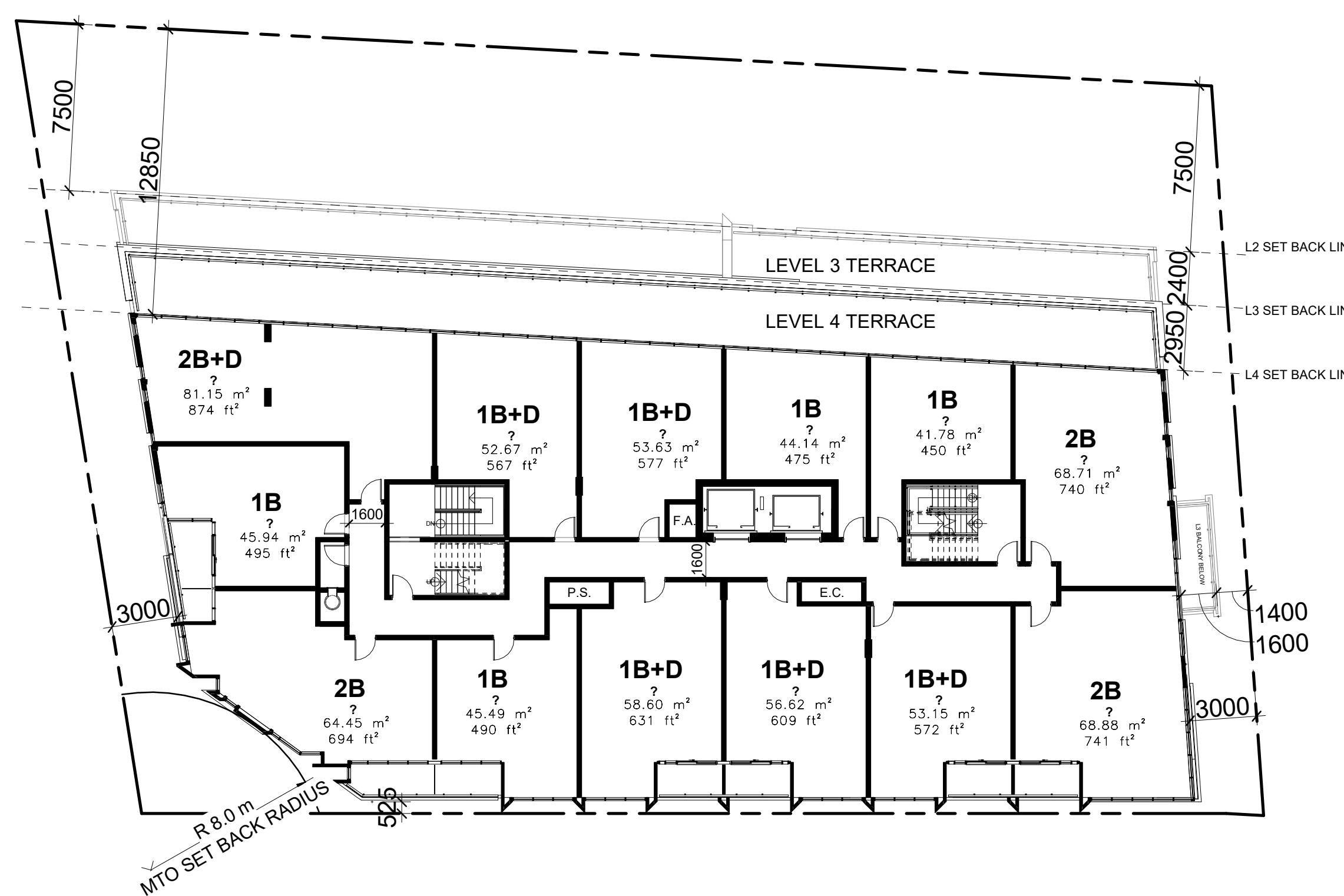
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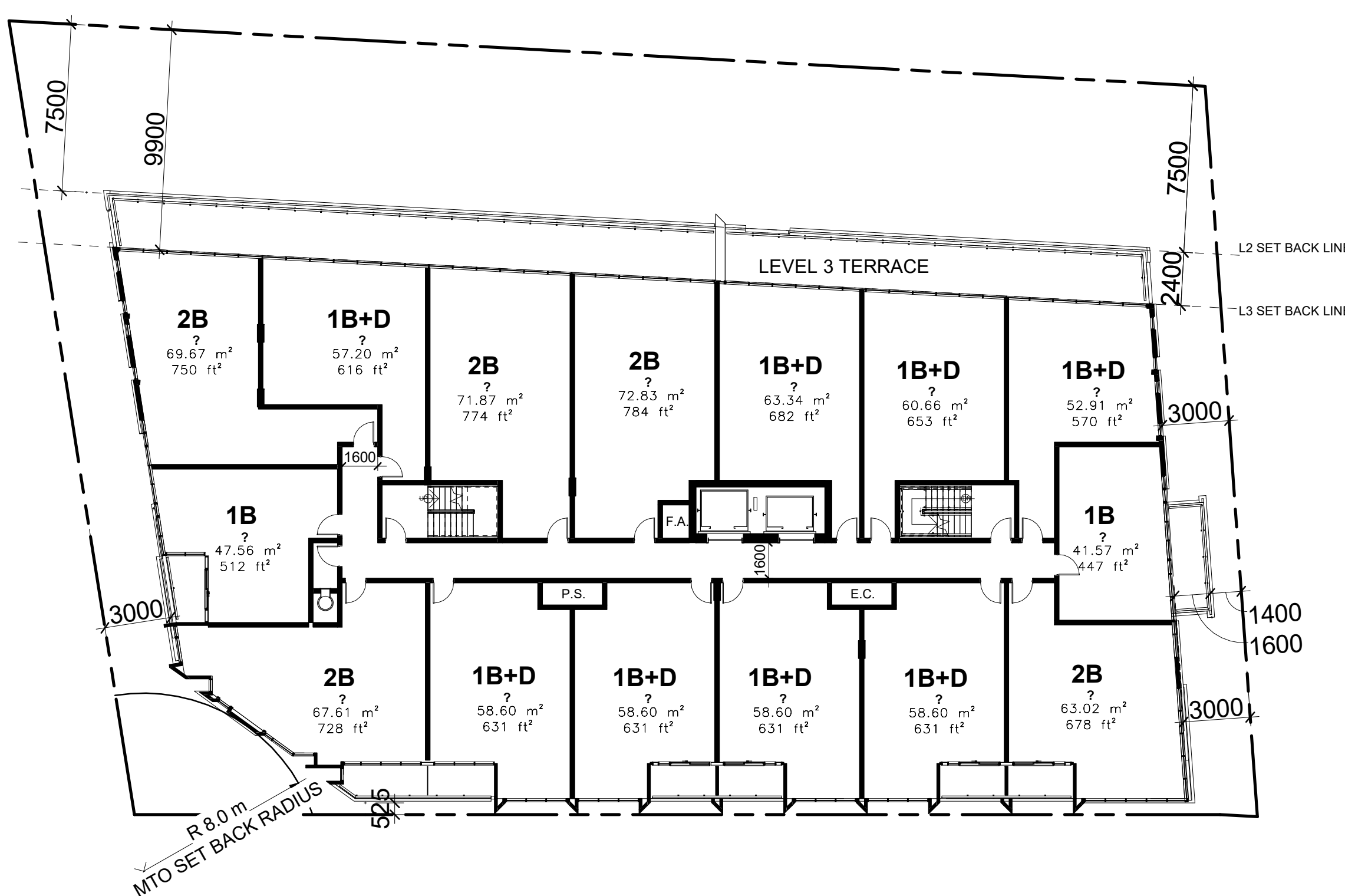
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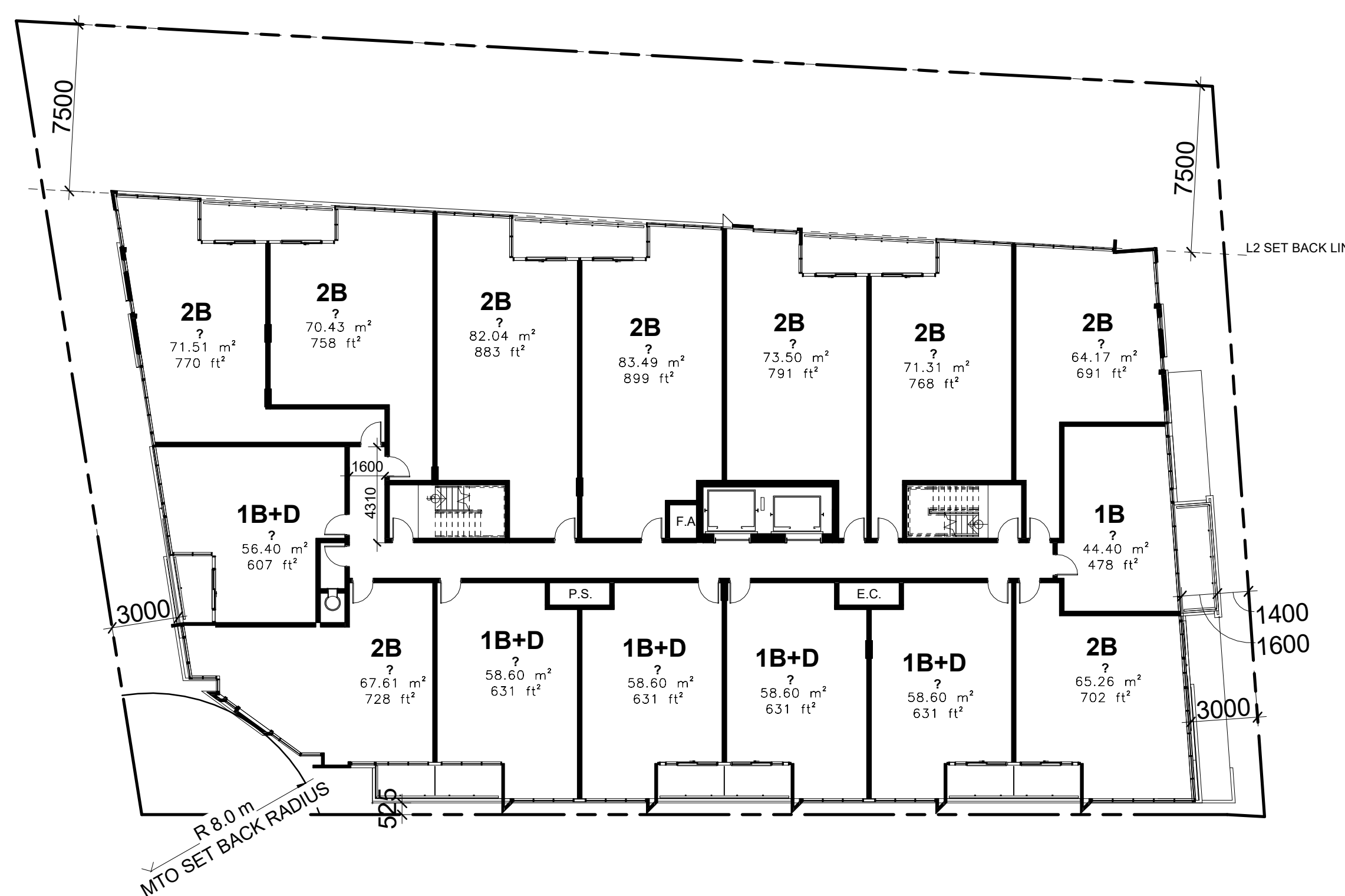
Level 5 Floor Plan 4
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Level 4 Floor Plan 3
Scale: 1 : 200 dA2.05



Level 3 Floor Plan 2
Scale: 1 : 200 dA2.05



Level 2 Floor Plan 1
Scale: 1 : 200 dA2.05

Plot Date: 2022-01-14 4:36:22 PM File Path: C:\Revt\2019\18069\10-Model-2810-2814 Bayview-Dormer_RV2019_01.dwg

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Level 6- Top of MPH Floor Plan

Client:
Dormer Homes

Project:
2810-2814 Bayview Ave.

Related File:
OPA/ZBA: 19 150397NMY 18 OZ
January 13, 2022
2810-2814 Bayview Ave.

Scale: 1 : 200

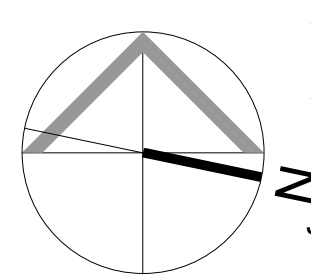
Drawn by: A.I.

Checked by: D.S.

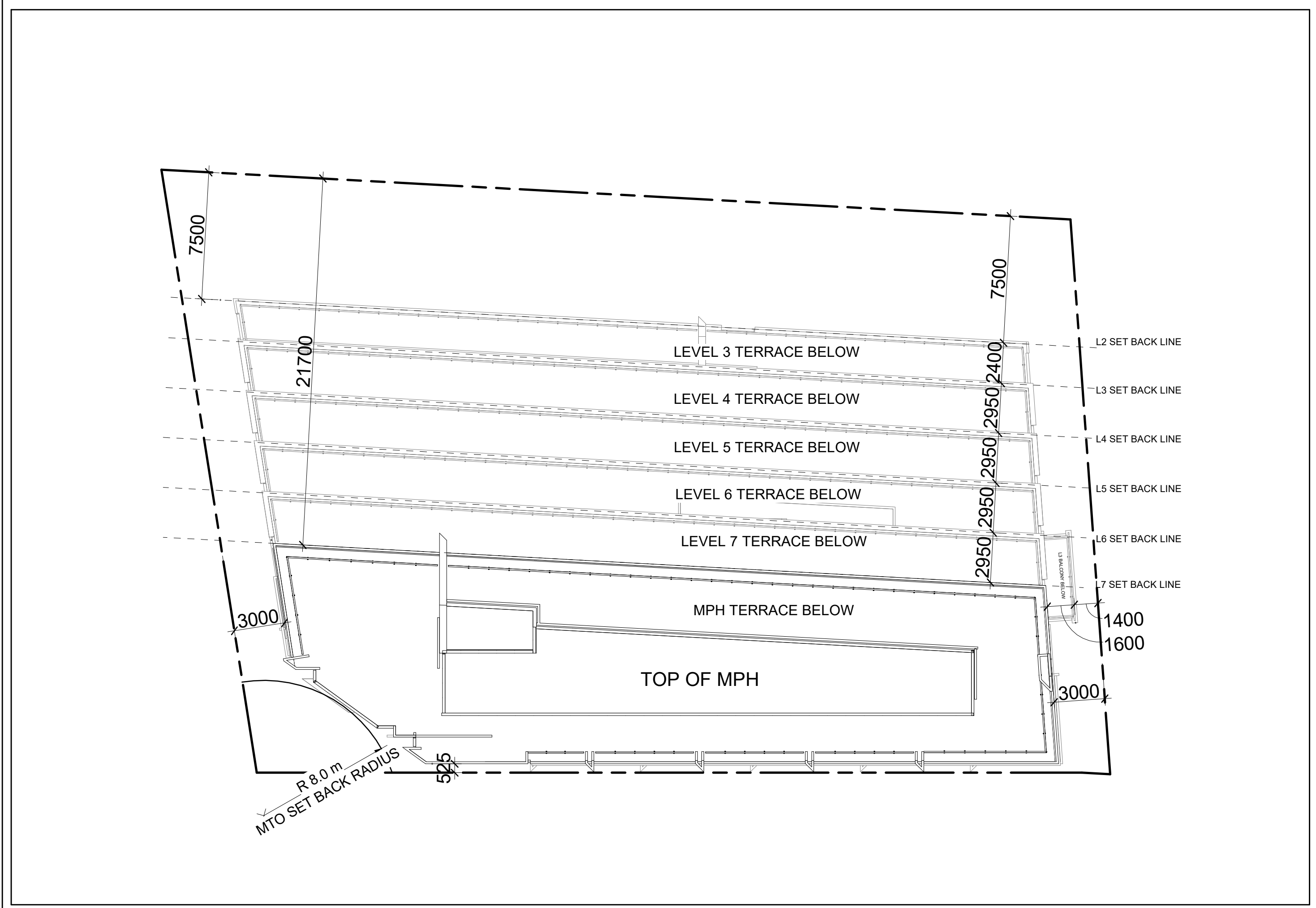
Project No.: 18069

Date: January 13, 2022

Drawing No.: dA2.06

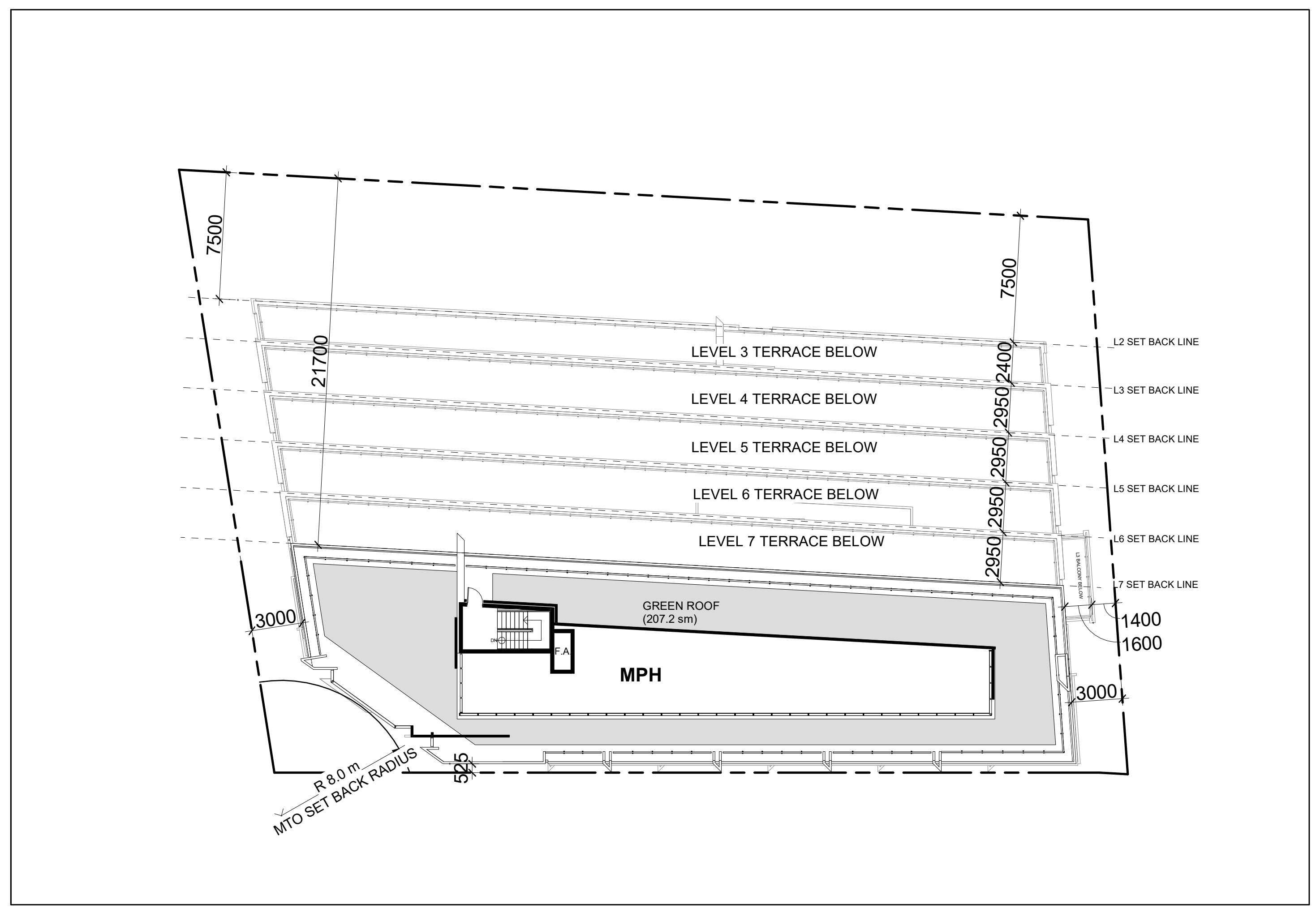


dA2.06



TOP OF Mechanical Penthouse Floor Plan

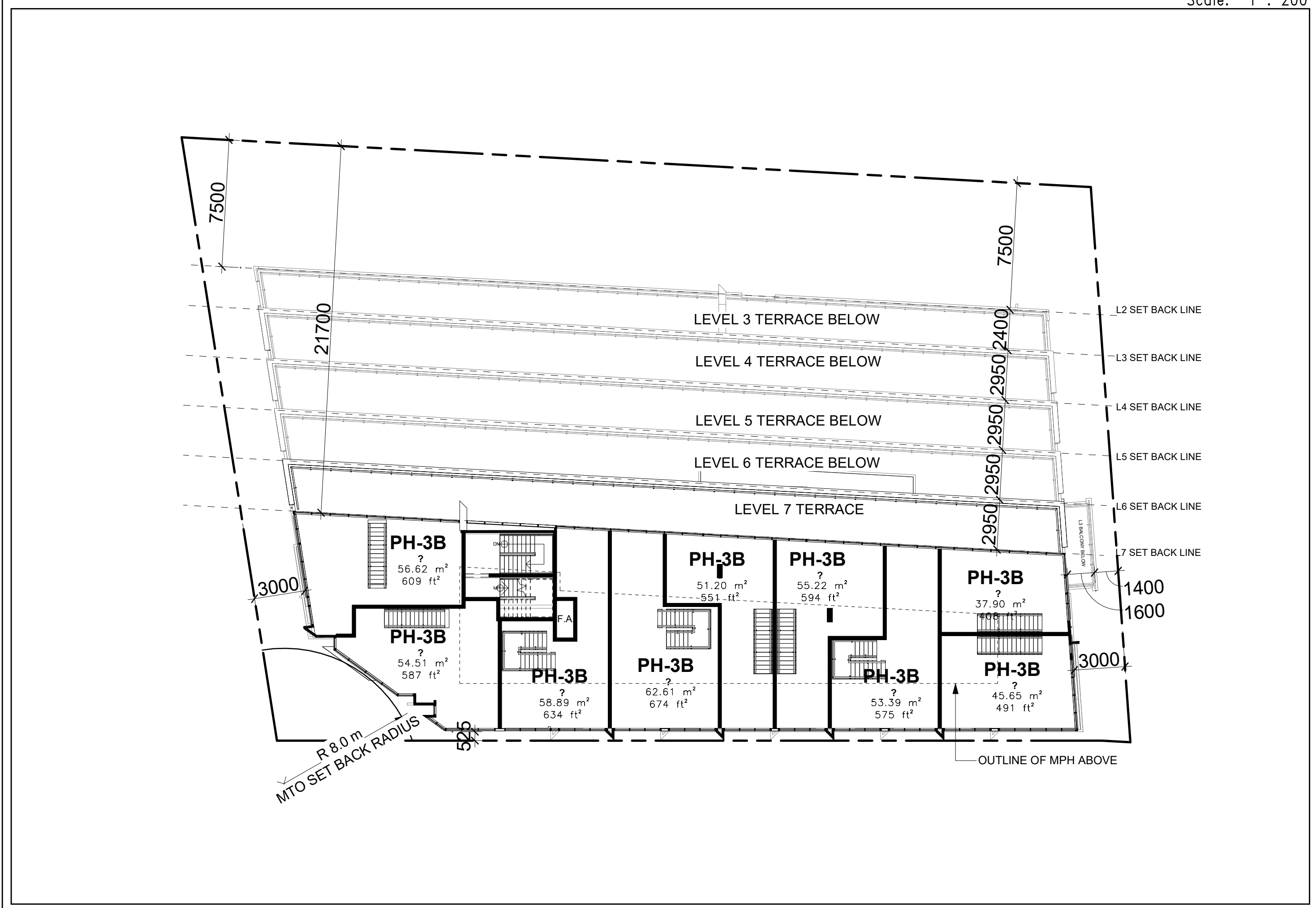
Scale: 1 : 200



Mechanical Penthouse Floor Plan

Scale: 1 : 200

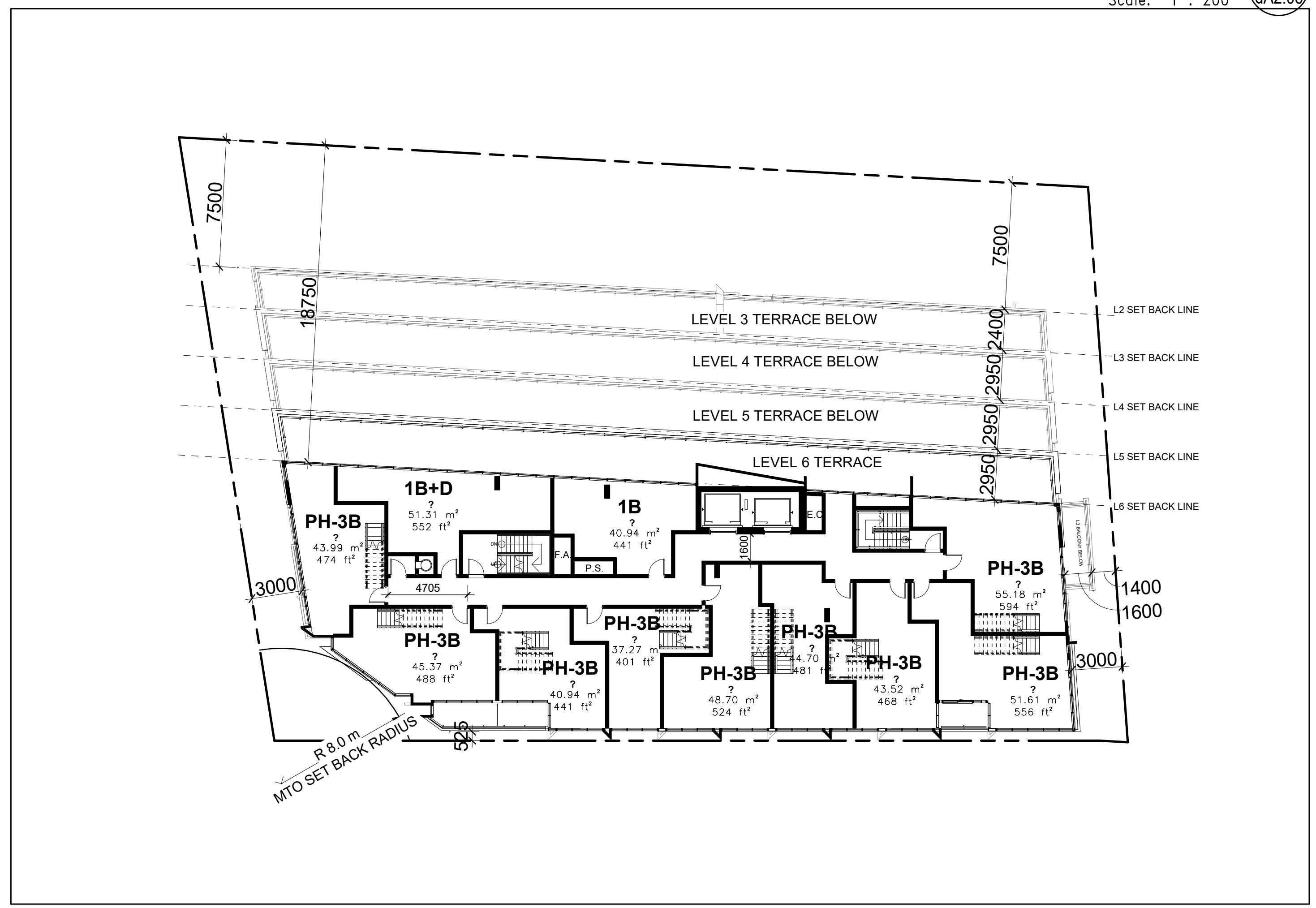
3
dA2.06



Level 7 Floor Plan

Scale: 1 : 200

2
dA2.06



Level 6 Floor Plan

Scale: 1 : 200

1
dA2.06



A MINIMUM OF 85 PER CENT OF ALL EXTERIOR GLAZING WITHIN THE GREATER OF FIRST 16 M OF THE BUILDING ABOVE GRADE OR THE HEIGHT OF THE MATURE TREE CANOPY WILL HAVE:
 • LOW REFLECTANCE, OPAQUE MATERIALS
 • VISUAL MARKERS APPLIED TO GLASS WITH A MAXIMUM SPACING OF 50 MM X 50 MM
 • BUILDING-INTEGRATED STRUCTURES TO MUTE REFLECTIONS ON GLASS SURFACES

EXTERIOR FINISH LEGEND

18069 - 2810 Bayview Ave.

- 1A1 ARCHITECTURAL PRECAST CONCRETE**
 COLOUR: WHITE
 FINISH:
 MORTAR COLOUR:
 MANUFACTURER:
- 1A2 ARCHITECTURAL PRECAST CONCRETE**
 COLOUR: GRAY
 FINISH:
 MORTAR COLOUR:
 MANUFACTURER:
- 1A3 ARCHITECTURAL PRECAST CONCRETE**
 COLOUR: BLACK
 FINISH:
 MORTAR COLOUR:
 MANUFACTURER:
- 2A BRICK VENEER**
 COLOUR: GRAY
 SIZE:
 MORTAR COLOUR:
 MANUFACTURER:
- 2B1 STONE VENEER**
 COLOUR: LIGHT GRAY
 SIZE:
 MORTAR COLOUR:
 MANUFACTURER:
- 2B2 STONE VENEER**
 COLOUR: GRAY
 SIZE:
 MORTAR COLOUR:
 MANUFACTURER:
- 3A1 PRE WALL - VISION PANEL**
 GLASS COLOUR: CLEAR
 GLASS TYPE:
 FRAMING COLOUR:
 FRAMING TYPE: ALUMINIUM
 MANUFACTURER:
- 3A2 PRE WALL - VISION PANEL**
 GLASS COLOUR: GRAY
 GLASS TYPE:
 FRAMING COLOUR:
 FRAMING TYPE: ALUMINIUM
 MANUFACTURER:
- 3B1 PRE WALL - SPANDREL PANEL**
 GLASS COLOUR: LIGHT BLUE
 GLASS TYPE:
 FRAMING COLOUR:
 FRAMING TYPE: ALUMINIUM
 MANUFACTURER:
- 3B2 PRE WALL - SPANDREL PANEL**
 GLASS COLOUR: LIGHT GRAY
 GLASS TYPE:
 FRAMING COLOUR:
 FRAMING TYPE: ALUMINIUM
 MANUFACTURER:
- 3B3 PRE WALL - SPANDREL PANEL**
 GLASS COLOUR: GRAY
 GLASS TYPE:
 FRAMING COLOUR:
 FRAMING TYPE: ALUMINIUM
 MANUFACTURER:
- 3B4 PRE WALL - SPANDREL PANEL**
 GLASS COLOUR: DARK GRAY
 GLASS TYPE:
 FRAMING COLOUR:
 FRAMING TYPE: ALUMINIUM
 MANUFACTURER:
- 4 METAL PANEL**
 COLOUR: GRAY
 TYPE:
 MANUFACTURER:
- 5A1 PRE**
 COLOUR: WHITE
 TYPE:
 MANUFACTURER:
- 5A2 PRE FINISHED METAL SLAB EDGE COVER**
 COLOUR: GRAY
 TYPE:
 MANUFACTURER:
- R1 BALCONY RAILING - CLEAR GLASS**
 GLASS:
 COLOUR:
 METAL TYPE: ALUMINIUM
 COLOUR:

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No.:	Revision:	Date:
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3	Re-zoning	NOV 20, 2020
2	Re-zoning	JULY 31, 2020
1	Re-zoning	MAY 1, 2019

No.: Issued For: Date:

Drawing Title:

West Elevation

Client:

Dormer Homes

Project:
2810-2814 Bayview Ave.

Related File:
 OPA/ZBA: 19 150397NMY 18 OZ
 January 13, 2022
2810-2814 Bayview Ave.

Scale:
As indicated

Drawn by:
A.I.

Checked by:
D.S.

Project No.:
18069

Date:
January 13, 2022

Drawing No.:

dA4.01

West Elevation **2**
 Scale: 1 : 100 **dA4.01**

Exterior Finish Legend **1**
 NTS **dA4.01**



EXTERIOR FINISH LEGEND

18069 - 2810 2814 Bayview Ave.

- 1A1** ARCHITECTURAL PRECAST CONCRETE
COLOUR: WHITE
FINISH:
MORTAR COLOUR:
MANUFACTURER:
- 1A2** ARCHITECTURAL PRECAST CONCRETE
COLOUR: GRAY
FINISH:
MORTAR COLOUR:
MANUFACTURER:
- 1A3** ARCHITECTURAL PRECAST CONCRETE
COLOUR: BLACK
FINISH:
MORTAR COLOUR:
MANUFACTURER:
- 2A** BRICK VENEER
COLOUR: GRAY
SIZE:
MORTAR COLOUR:
MANUFACTURER:
- 2B1** STONE VENEER
COLOUR: LIGHT GRAY
SIZE:
MORTAR COLOUR:
MANUFACTURER:
- 2B2** STONE VENEER
COLOUR: GRAY
SIZE:
MORTAR COLOUR:
MANUFACTURER:
- 3A1** PRE FINISHED WINDOW WALL - VISION PANEL
GLASS COLOUR: CLEAR
GLASS TYPE:
FRAMING COLOUR: ALUMINIUM
FRAMING TYPE: ALUMINIUM
MANUFACTURER:
- 3A2** PRE FINISHED WINDOW WALL - VISION PANEL
GLASS COLOUR: GRAY
GLASS TYPE:
FRAMING COLOUR: ALUMINIUM
FRAMING TYPE: ALUMINIUM
MANUFACTURER:
- 3B1** PRE FINISHED WINDOW WALL - SPANDREL PANEL
GLASS COLOUR: LIGHT BLUE
GLASS TYPE:
FRAMING COLOUR: ALUMINIUM
FRAMING TYPE: ALUMINIUM
MANUFACTURER:
- 3B2** PRE FINISHED WINDOW WALL - SPANDREL PANEL
GLASS COLOUR: LIGHT GRAY
GLASS TYPE:
FRAMING COLOUR: ALUMINIUM
FRAMING TYPE: ALUMINIUM
MANUFACTURER:
- 3B3** PRE FINISHED WINDOW WALL - SPANDREL PANEL
GLASS COLOUR: GRAY
GLASS TYPE:
FRAMING COLOUR: ALUMINIUM
FRAMING TYPE: ALUMINIUM
MANUFACTURER:
- 3B4** PRE FINISHED WINDOW WALL - SPANDREL PANEL
GLASS COLOUR: DARK GRAY
GLASS TYPE:
FRAMING COLOUR: ALUMINIUM
FRAMING TYPE: ALUMINIUM
MANUFACTURER:
- 4** METAL PANEL
COLOUR: GRAY
TYPE:
MANUFACTURER:
- 5A1** PRE FINISHED METAL SLAB EDGE COVER
COLOUR: WHITE
TYPE:
MANUFACTURER:
- 5A2** PRE FINISHED METAL SLAB EDGE COVER
COLOUR: GRAY
TYPE:
MANUFACTURER:
- R1** BALCONY RAILING - CLEAR GLASS
GLASS:
COLOUR:
METAL TYPE: ALUMINIUM
COLOUR:

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3	Re-zoning	NOV 20, 2020
2	Re-zoning	JULY 31, 2020
1	Re-zoning	MAY 1, 2019

No.: Issued For: Date:

Drawing Title:

East Elevation

Client:

Dormer Homes

Project:

2810-2814 Bayview Ave.

Related File:
OPA/ZBA: 19 150397NNY 18 OZ
January 13, 2022

2810-2814 Bayview Ave.

Scale:
As indicated

A.I. Drawn by:

D.S. Checked by:

18069 Project No.:

January 13, 2022 Date:

Drawing No.:

dA4.02

East Elevation **2**
Scale: 1 : 100 **dA4.02**

Exterior Finish Legend **1**
NTS **dA4.02**

EXTERIOR FINISH LEGEND

18069 - 2810-2814 Bayview Ave.

- 1A1** ARCHITECTURAL PRECAST CONCRETE
COLOUR: WHITE
FINISH:
MORTAR COLOUR:
MANUFACTURER:
- 1A2** ARCHITECTURAL PRECAST CONCRETE
COLOUR: GRAY
FINISH:
MORTAR COLOUR:
MANUFACTURER:
- 1A3** ARCHITECTURAL PRECAST CONCRETE
COLOUR: BLACK
FINISH:
MORTAR COLOUR:
MANUFACTURER:
- 2A** BRICK VENEER
COLOUR: GRAY
SIZE:
MORTAR COLOUR:
MANUFACTURER:
- 2B1** STONE VENEER
COLOUR: LIGHT GRAY
SIZE:
MORTAR COLOUR:
MANUFACTURER:
- 2B2** STONE VENEER
COLOUR: GRAY
SIZE:
MORTAR COLOUR:
MANUFACTURER:
- 3A1** PRE-FINISHED WINDOW WALL - VISION PANEL
GLASS COLOUR: CLEAR
GLASS TYPE:
FRAMING COLOUR:
FRAMING TYPE: ALUMINIUM
MANUFACTURER:
- 3A2** PRE-FINISHED WINDOW WALL - VISION PANEL
GLASS COLOUR: GRAY
GLASS TYPE:
FRAMING COLOUR:
FRAMING TYPE: ALUMINIUM
MANUFACTURER:
- 3B1** PRE-FINISHED WINDOW WALL - SPANDREL PANEL
GLASS COLOUR: LIGHT BLUE
GLASS TYPE:
FRAMING COLOUR:
FRAMING TYPE: ALUMINIUM
MANUFACTURER:
- 3B2** PRE-FINISHED WINDOW WALL - SPANDREL PANEL
GLASS COLOUR: LIGHT GRAY
GLASS TYPE:
FRAMING COLOUR:
FRAMING TYPE: ALUMINIUM
MANUFACTURER:
- 3B3** PRE-FINISHED WINDOW WALL - SPANDREL PANEL
GLASS COLOUR: GRAY
GLASS TYPE:
FRAMING COLOUR:
FRAMING TYPE: ALUMINIUM
MANUFACTURER:
- 3B4** PRE-FINISHED WINDOW WALL - SPANDREL PANEL
GLASS COLOUR: DARK GRAY
GLASS TYPE:
FRAMING COLOUR:
FRAMING TYPE: ALUMINIUM
MANUFACTURER:
- 4** METAL PANEL
COLOUR: GRAY
TYPE:
MANUFACTURER:
- 5A1** PRE
COLOUR: WHITE
TYPE:
MANUFACTURER:
- 5A2** PRE
COLOUR: GRAY
TYPE:
MANUFACTURER:
- R1** BALCONY RAILING - CLEAR GLASS
GLASS:
COLOUR:
METAL TYPE: ALUMINIUM
COLOUR:

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2	Re-zoning	JULY 31, 2020
1	Re-zoning	MAY 1, 2019

No.: Issued For: Date:

Drawing Title:

South Elevation

Client:

Dormer Homes

Project:

2810-2814 Bayview Ave.

Related File:
OPA/ZBA: 19 150397NNY 18 OZ
January 13, 2022

2810-2814 Bayview Ave.

Scale:

As indicated

A.I. Drawn by:

D.S. Checked by:

18069 Project No.:

Date:

January 13, 2022

Drawing No.:

dA4.03



A MINIMUM OF 85 PER CENT OF ALL EXTERIOR GLAZING WITHIN THE GREATER OF FIRST 16 M OF THE BUILDING ABOVE GRADE OR THE HEIGHT OF THE MATURE TREE CANOPY WILL HAVE:
LOW REFLECTANCE, OPAQUE MATERIALS
VISUAL MARKERS APPLIED TO GLASS WITH A MAXIMUM SPACING OF 50 MM X 50 MM
BUILDING-INTEGRATED STRUCTURES TO MUTE REFLECTIONS ON GLASS SURFACES

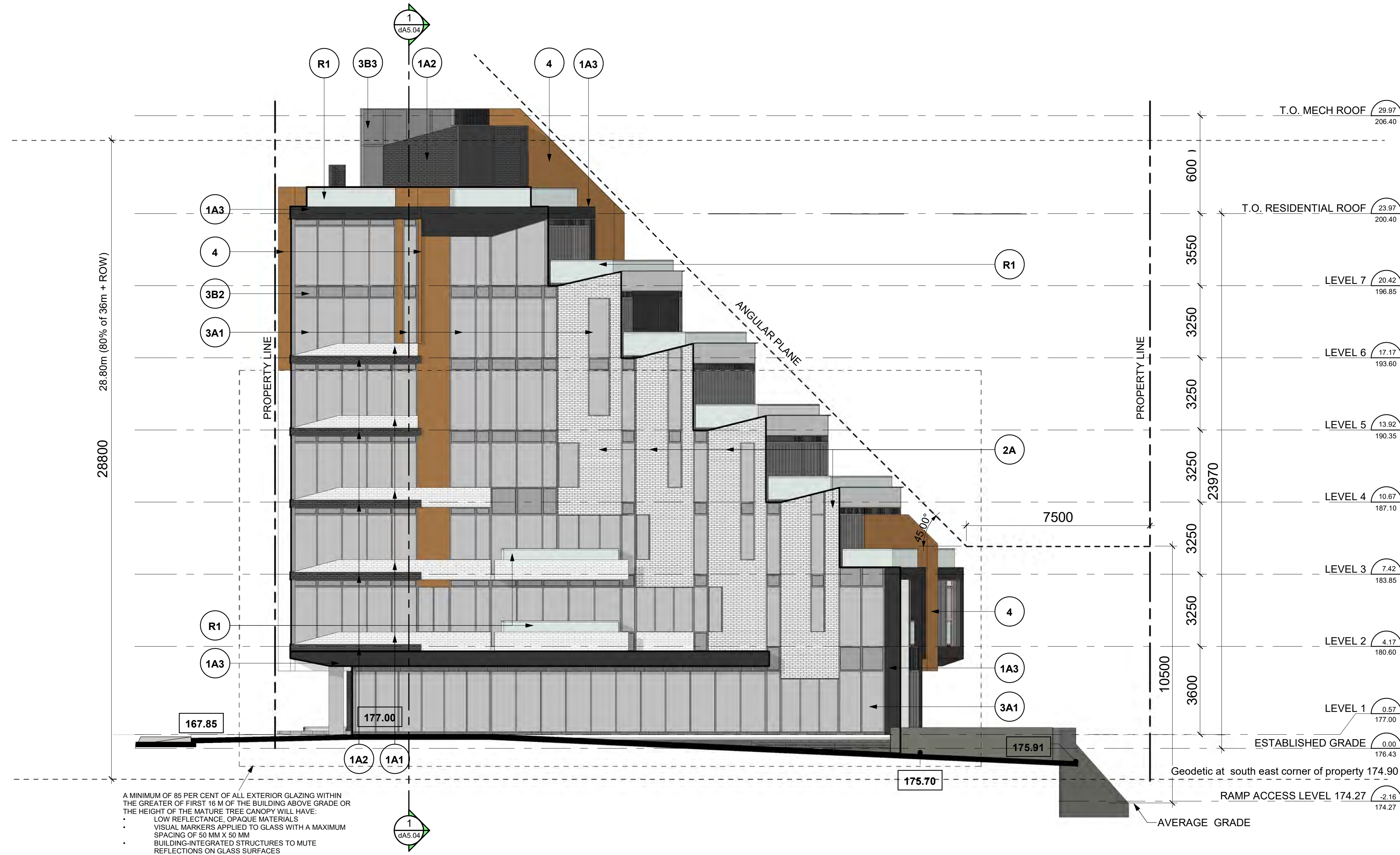
South Elevation **2**
Scale: 1 : 100 dA4.03

Exterior Finish Legend **1**
NTS dA4.03

EXTERIOR FINISH LEGEND

18069 - 2810-2814 Bayview Ave.

- (1A1) ARCHITECTURAL PRECAST CONCRETE**
COLOUR: WHITE
FINISH:
MORTAR COLOUR:
MANUFACTURER:
- (1A2) ARCHITECTURAL PRECAST CONCRETE**
COLOUR: GRAY
FINISH:
MORTAR COLOUR:
MANUFACTURER:
- (1A3) ARCHITECTURAL PRECAST CONCRETE**
COLOUR: BLACK
FINISH:
MORTAR COLOUR:
MANUFACTURER:
- (2A) BRICK VENEER**
COLOUR: GRAY
SIZE:
MORTAR COLOUR:
MANUFACTURER:
- (2B1) STONE VENEER**
COLOUR: LIGHT GRAY
SIZE:
MORTAR COLOUR:
MANUFACTURER:
- (2B2) STONE VENEER**
COLOUR: GRAY
SIZE:
MORTAR COLOUR:
MANUFACTURER:
- (3A1) PRE-FINISHED WINDOW WALL - VISION PANEL**
GLASS COLOUR: CLEAR
GLASS TYPE:
FRAMING TYPE: ALUMINIUM
MANUFACTURER:
- (3A2) PRE-FINISHED WINDOW WALL - VISION PANEL**
GLASS COLOUR: GRAY
GLASS TYPE:
FRAMING TYPE: ALUMINIUM
MANUFACTURER:
- (3B1) PRE-FINISHED WINDOW WALL - SPANDREL PANEL**
GLASS COLOUR: LIGHT BLUE
GLASS TYPE:
FRAMING TYPE: ALUMINIUM
MANUFACTURER:
- (3B2) PRE-FINISHED WINDOW WALL - SPANDREL PANEL**
GLASS COLOUR: LIGHT GRAY
GLASS TYPE:
FRAMING TYPE: ALUMINIUM
MANUFACTURER:
- (3B3) PRE-FINISHED WINDOW WALL - SPANDREL PANEL**
GLASS COLOUR: GRAY
GLASS TYPE:
FRAMING TYPE: ALUMINIUM
MANUFACTURER:
- (3B4) PRE-FINISHED WINDOW WALL - SPANDREL PANEL**
GLASS COLOUR: DARK GRAY
GLASS TYPE:
FRAMING TYPE: ALUMINIUM
MANUFACTURER:
- (4) METAL PANEL**
COLOUR: GRAY
TYPE:
MANUFACTURER:
- (5A1) PRE-FINISHED METAL SLAB EDGE COVER**
COLOUR: WHITE
TYPE:
MANUFACTURER:
- (5A2) PRE-FINISHED METAL SLAB EDGE COVER**
COLOUR: GRAY
TYPE:
MANUFACTURER:
- (R1) BALCONY RAILING - CLEAR GLASS**
GLASS:
COLOUR:
METAL TYPE: ALUMINIUM
COLOUR:



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No.:	Revision:	Date:
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4	Re-zoning	JAN 21, 2021
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2	Re-zoning	JULY 31, 2020
1	Re-zoning	MAY 1, 2019

No.: Issued For: Date:

North Elevation

Dormer Homes

2810-2814 Bayview Ave.

Related File:
OPA/ZBA: 19 150397NNY 18 OZ
January 13, 2022

2810-2814 Bayview Ave.

As indicated Scale:

A. I. Drawn by:

D.S. Checked by:

18069 Project No.:

January 13, 2022 Date:

January 13, 2022 Drawing No.:

North Elevation **(2)**
Scale: 1 : 100 dA4.04

Exterior Finish Legend **(1)**
NTS dA4.04

dA4.04

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TEL 416 665 6060 kirkorarchitects.com

No.: Revision: Date:

1 Site Plan Control Application JAN 13, 2022

No.: Issued For: Date:

Drawing Title:

1.50 East Elevation

Client:

Dormer Homes

Project:

2810-2814 Bayview Ave.

Related File:
OPA/ZBA: 19 150397NNY 18 OZ
January 13, 2022

2810-2814 Bayview Ave.

Scale: 1 : 50

A.I. Drawn by:

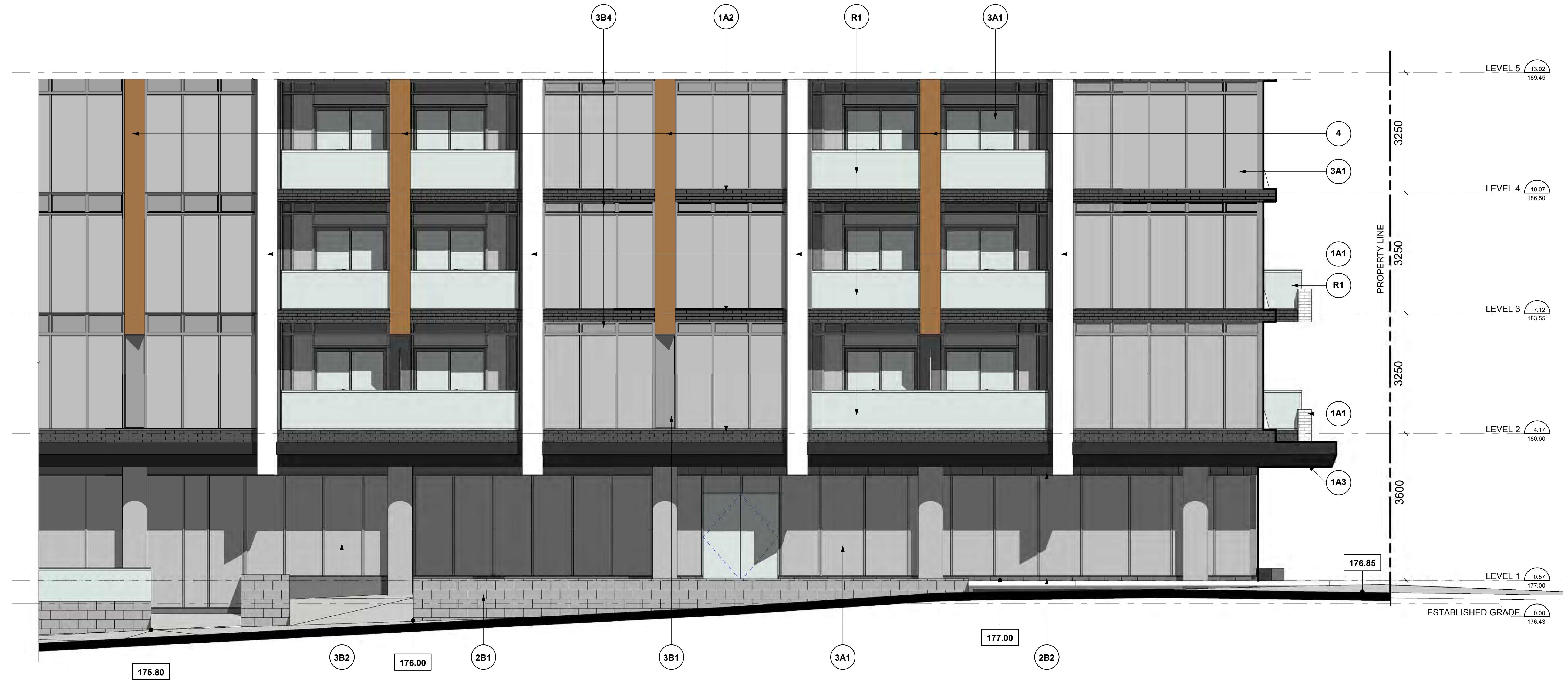
D.S. Checked by:

18069 Project No.:

January 13, 2022 Date:

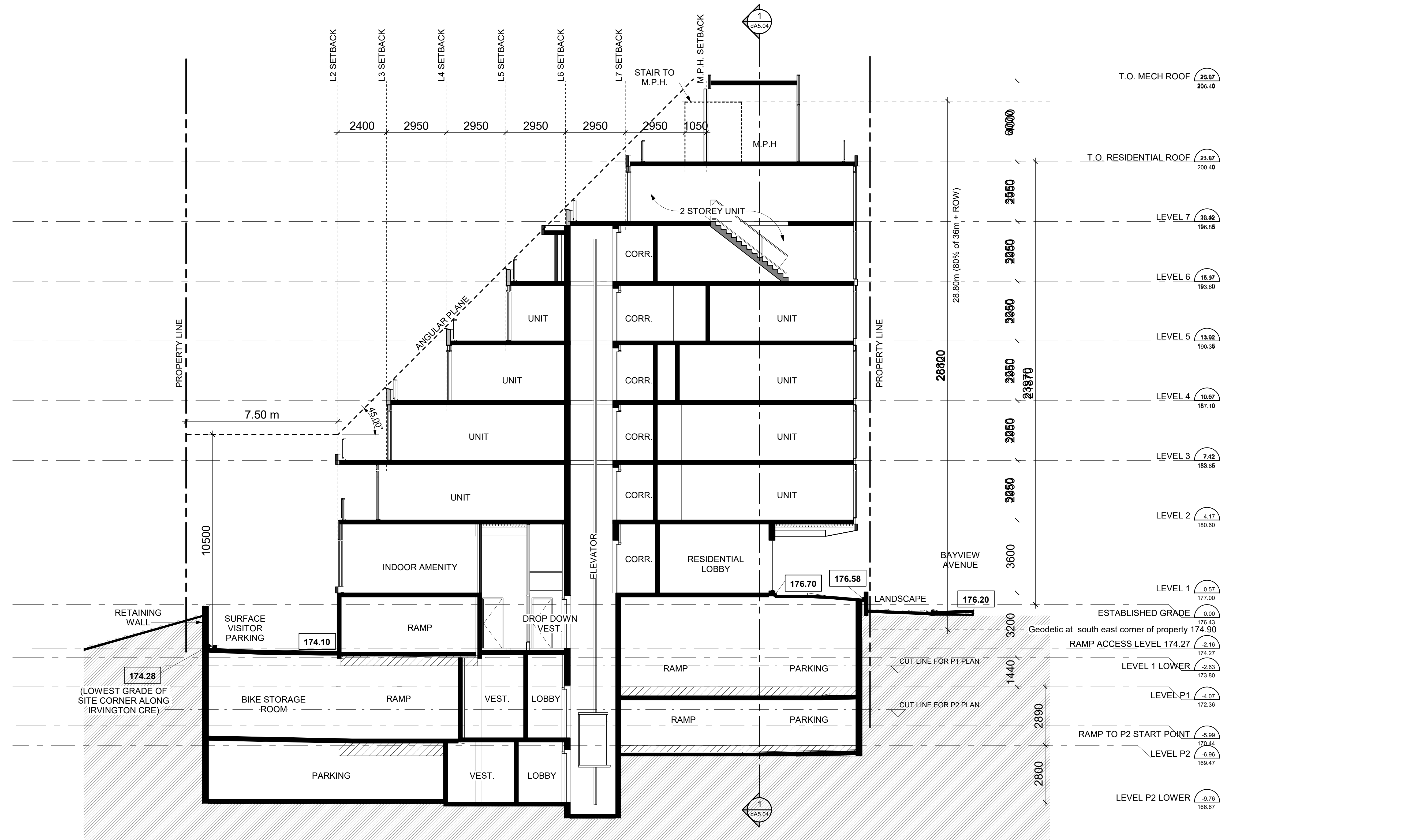
Drawing No.:

dA4.05



1.50 EAST ELEVATION 1
Scale: 1 : 50 dA4.05

Plot Date: 2022-01-18 4:01:20 PM File Path: C:\Users\2019\18069\10-Model-2810-2814 Bayview-Dormer_RVT2019_Landscape.dwg



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1	Re-zoning	MAY 1, 2019

No.: Issued For: Date:

Drawing Title:

Transverse Cross Section

Client:

Dormer Homes

Project:

2810-2814 Bayview Ave.

Related File:
OPA/ZBA: 19 150397NNY 18 OZ
January 13, 2022
2810-2814 Bayview Ave.

Scale:

1 : 100

B.S. / M.S. / Drawn by:

A.I.

B.C. / D.L. / Checked by:

D.S.

Project No.:

18069

Date:

January 13, 2022

Drawing No.:

dA5.01

Transverse Cross Section 1

Scale: 1 : 100 dA5.01

Plot Date: 2022-01-14 4:37:33 PM File Path: C:\Users\2019\18069\10-Model-2810-2814 Bayview-Dormer_RV2019_cahomeEN\1.rvt

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1	Re-zoning	MAY 1, 2019

No.: Issued For: Date:

Drawing Title:

Longitudinal Cross Section

Client:

Dormer Homes

Project:

2810-2814 Bayview Ave.

Related File:
OPA/ZBA: 19 150397NMY 18 OZ
January 13, 2022

2810-2814 Bayview Ave.

Scale:

1 : 100

B.S. / M.S. / Drawn by:

A.I.

B.C. / D.L. / Checked by:

D.S.

Project No.:

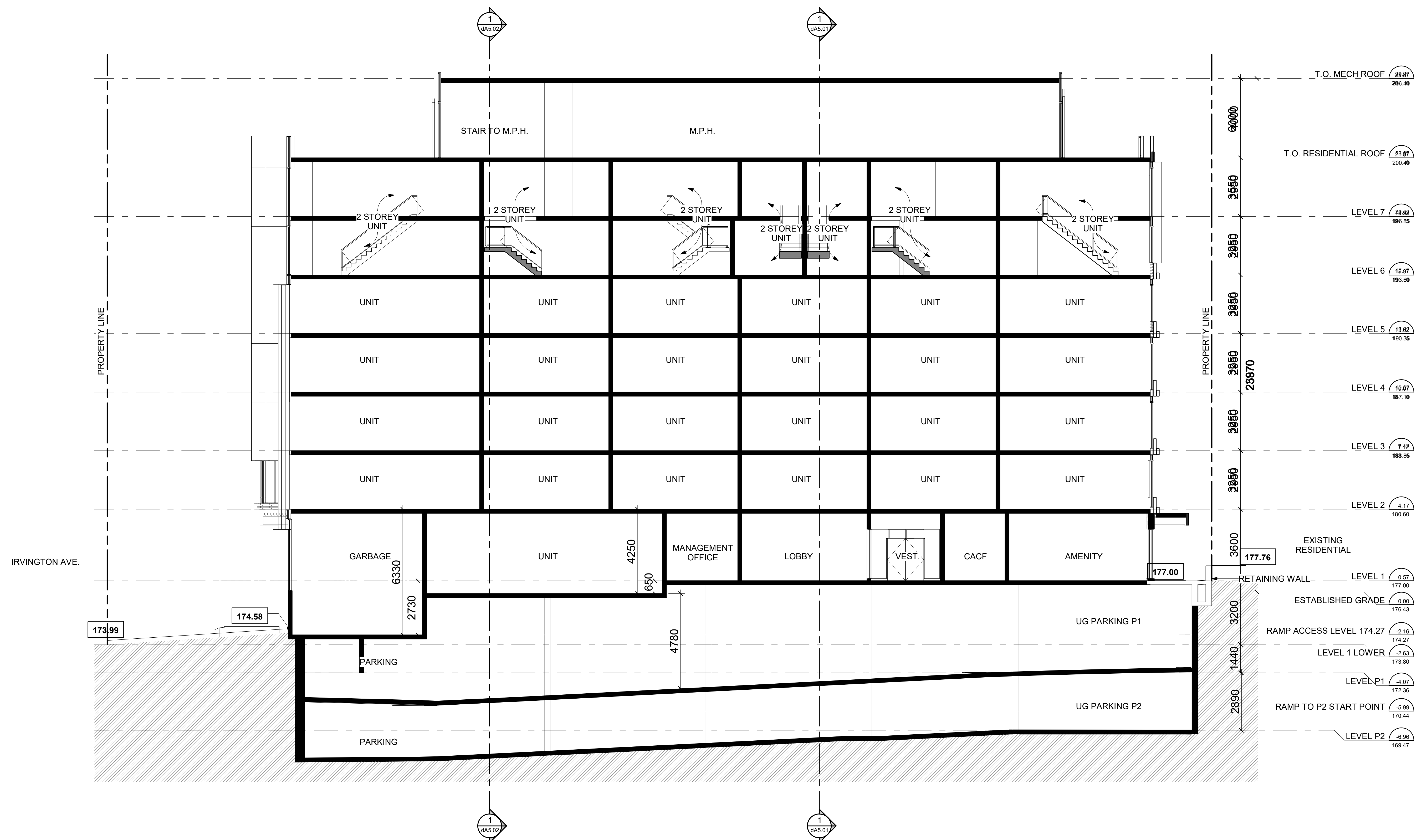
18069

Date:

January 13, 2022

Drawing No.:

dA5.04



Longitudinal Cross Section 1
Scale: 1 : 100 dA5.04

Plot Date: 2022-01-14 4:37:37 PM File Path: C:\Users\2019\18069\10-Model-2810-2814 Bayview-Dormer_RV2019_catchment\17.rvt

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2	Re-zoning	JULY 31, 2020
1	Re-zoning	MAY 1, 2019

No.: Issued For: Date:

Drawing Title:

Perspective Views

Client:

Dormer Homes

Project:

2810-2814 Bayview Ave.

Related File:

OPA/ZBA: 19 150397NMY 18 OZ
January 13, 2022

2810-2814 Bayview Ave.

Scale:

B.S. / M.S. / Drawn by:

A.I. Checked by:

B.C. / D.L. Project No.:

18069 Date:

January 13, 2022 Drawing No.:

dA6.01



NE Perspective View **4**
NTS dA6.01



SE Perspective View **3**
NTS dA6.01



NW Perspective View **2**
NTS dA6.01



SW Perspective View **1**
NTS dA6.01

Plot Date: 2022-01-18 4:01:54 PM File Path: C:\Revt\2019\18069710-Model-2810-2814 Bayview-Dormer_RVT2019_achonE2N.Vrvt