

4050 YONGE STREET,  
TORONTO, ONTARIO

PROPOSED MIXED-USE DEVELOPMENT

DRAWING LIST

- A.01 – PERSPECTIVE, CONSULTANTS & DRAWING LIST
- A.02 – CONTEXT PLAN & SITE STATISTICS
- A.03 – SITE PLAN
- A.05.1 – P4 PARKING PLAN
- A.05.2 – P3 PARKING PLAN
- A.06 – P2 PARKING PLAN
- A.07 – P1 PARKING PLAN
- A.08 – GROUND FLOOR PLAN
- A.09 – MEZZANINE FLOOR PLAN
- A.10 – 2 FLOOR PLAN
- A.11 – 3-4 FLOOR PLAN
- A.12 – 5 FLOOR PLAN
- A.13 – 6-8 FLOOR PLAN
- A.14 – 9 FLOOR PLAN
- A.15 – 10 FLOOR PLAN
- A.16 – 10-11 FLOOR PLAN
- A.17 – 12 FLOOR PLAN
- A.18 – 13 FLOOR PLAN
- A.19 – 14 FLOOR PLAN
- A.20 – 15-27 FLOOR PLAN
- A.21 – 28 FLOOR PLAN
- A.22.1 – MPH LOWER
- A.22.2 – MPH UPPER
- A.23 – ROOF PLAN & GREEN ROOF AREA CALCULATION
- A.24.1 – BUILDING SECTION 1-1
- A.25.1 – NORTH ELEVATION
- A.25.2 – EAST ELEVATION
- A.25.3 – SOUTH ELEVATION
- A.25.4 – WEST ELEVATION
- A.25.5 – PARTIAL SOUTH ELEVATION 1:50
- A.25.6 – PARTIAL EAST ELEVATION 1:50
- A.26.1 – BUILDING RENDERINGS
- A.26.2 – BUILDING RENDERINGS



**ARCHITECT:**  
IBI Group Architects  
55 St.Clair Avenue West, 7th floor,  
Toronto, ON, Canada, M4V 2Y7

**PLANNER:**  
Bousfields Inc.  
3 Church Street, Suite #200  
Toronto, ON, Canada, M5E 1M2

**LEGAL:**  
Devine Park LLP  
250 Yonge Street, Suite 2302  
Toronto, ON, Canada, M5B 2L7

**TRANSPORTATION:**  
BA Group  
45 St Clair Ave W,  
Toronto, ON, Canada, M4V 1K9

**CIVIL ENGINEER:**  
Schaeffers Consulting Engineers  
6 Ronrose Dr,  
Concord, ON, Canada, L4K 4R3

**MECHANICAL & ELECTRICAL ENGINEER:**  
Able Engineering Inc.  
20 Densley Avenue,  
Toronto, ON, Canada, M6M 2R1

**STRUCTURAL ENGINEER:**  
Jablonsky, Ast and Partners  
1129 Leslie Street,  
Don Mills, ON, Canada, M3C 2K5

**GEO-ENVIRONMENTAL ENGINEER:**  
EXP Global Inc.  
56 Queen St. East, suite 301  
Brampton, ON, Canada, L6V 4M8

**SURVEYOR:**  
KRCMAR Surveyor Ltd.  
1137 Centre Street, Suite 101,  
Thornhill, ON, Canada, L4J 3M6

**SHORING ENGINEER:**  
Isherwood Geotechnical Engineers  
Brian Isherwood & Associates Ltd.  
3100 Ridgeway Drive Unit 3  
Mississauga, ON, Canada L5L 5M5

**ENERGY MODELING:**  
Fluent Group  
295A Broadway Avenue, Main Floor  
Orangeville, ON, Canada, L9W 2Z6

**WIND STUDIES:**  
Boundary Layer Wind Tunnel Laboratory  
1151 Richmond St,  
London, ON, Canada, N6A 5B9

**NOISE AND VIBRATION:**  
HGC Engineers  
2000 Argentia Road, Plaza 1,  
Suite 203  
Mississauga, ON, Canada, L5N 1P7

**LANDSCAPING:**  
NAK Design  
421 Roncesvalles Ave,  
Toronto, ON, Canada, M6R 2N1

**ELEVATOR:**  
Soberman Engineering  
55 St Clair Ave W,  
Toronto, ON, Canada, M4V 2Y7

APPLICANT:  
EASTON'S GROUP OF COMPANIES  
GATEWAY CENTRE  
3100 STEELES AVE. EAST, SUITE 601  
MARKHAM, ONTARIO L3R 8T3

Public Attachment 2

| ISSUED |                   |                                    |
|--------|-------------------|------------------------------------|
| No     | DATE              | DESCRIPTION                        |
| 1      | JANUARY 29, 2020  | ISSUED FOR OPA, REZONING & SPA     |
| 2      | DECEMBER 10, 2020 | RE- ISSUED FOR OPA, REZONING & SPA |
| 3      | APRIL 12, 2021    | RE- ISSUED FOR OPA, REZONING & SPA |
| 4      | OCTOBER 29, 2021  | ISSUED FOR MEDIATION               |
| 5      | JANUARY 31, 2022  | RE-ISSUED FOR OPA, REZONING & SPA  |
| 6      | MARCH 14, 2022    | RE-ISSUED FOR OPA, REZONING & SPA  |

NORTH  
ARROW

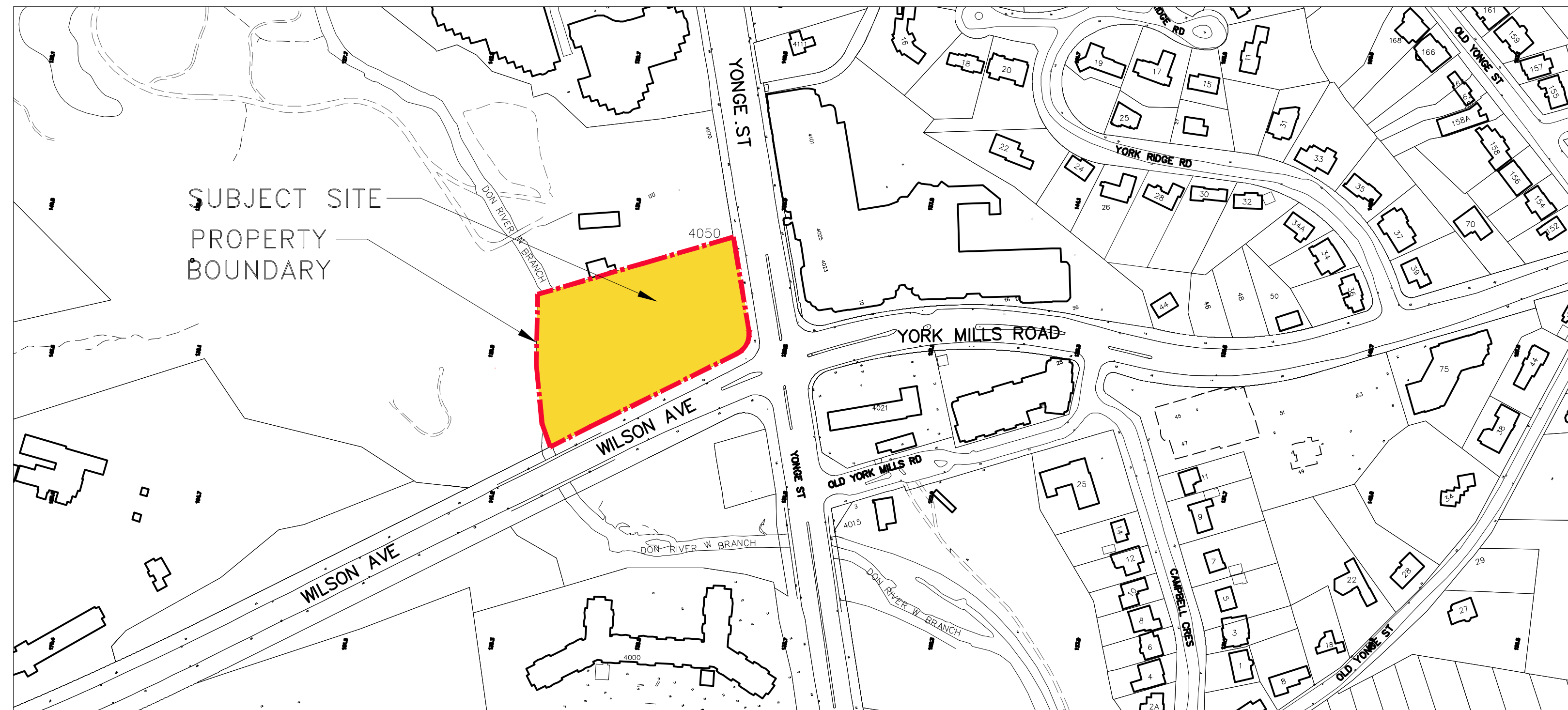
PROPOSED 14 STOREY AND  
28 STOREY RESIDENTIAL BUILDINGS  
PERSPECTIVE, CONSULTANTS LIST &  
DRAWING LIST  
4050 YONGE STREET, TORONTO, ONTARIO

SCALE: NTS  
DATE: MARCH 14, 2022  
JOB NO.: 37798  
DWG NO.: A.01

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**IBI** GROUP  
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FLOOR-BY-FLOOR AREA CALCULATION CHART

Statistics Template - Toronto Green Standard Version 3.0  
**Mid to High Rise Residential and all New Non-Residential Development**

The Toronto Green Standard Version 3.0 Statistics Template is submitted with Site Plan Control Applications and stand alone Zoning By-law Amendment applications. Complete the table and copy it directly onto the Site Plan submitted as part of the application.  
 For Zoning By-law Amendment applications: complete General Project Description and Section 1.  
 For Site Plan Control applications: complete General Project Description, Section 1 and Section 2.  
 For further information, please visit [www.toronto.ca/greendevlopment](http://www.toronto.ca/greendevlopment)

| General Project Description                       | Proposed       |
|---------------------------------------------------|----------------|
| Total Gross Floor Area                            | 50,964         |
| Breakdown of project components (m <sup>2</sup> ) |                |
| Residential                                       | 45,220         |
| Retail                                            | 906            |
| Commercial                                        | Restaurant 572 |
| Industrial                                        | Office 4,041   |
| Institutional/Other                               | TTC 225        |
| Total number of residential units                 | 725            |

**Section 1: For Stand Alone Zoning By-law Amendment Applications and Site Plan Control Applications**

| Automobile Infrastructure                                   | Required         | Proposed | Proposed % |
|-------------------------------------------------------------|------------------|----------|------------|
| Number of Parking Spaces                                    | 1371 (incl. 765) | 496      |            |
| Number of parking spaces dedicated for priority LEV parking | 0                | 0        | 0          |
| Number of parking spaces with EVSE                          | 100              | 100      | 100        |

| Cycling Infrastructure                                      | Required | Proposed | Proposed % |
|-------------------------------------------------------------|----------|----------|------------|
| Number of long-term bicycle parking spaces (residential)    | 653      | 654      | 100        |
| Number of long-term bicycle parking spaces (all other uses) | 12       | 12       | 100        |
| Number of long-term bicycle parking (all uses) located on:  |          |          |            |
| a) first storey of building                                 |          |          |            |
| b) second storey of building                                |          | 654      | 100        |
| c) first level below-ground                                 |          | 12       | 100        |
| d) second level below-ground                                |          |          |            |
| e) other levels below-ground                                |          |          |            |



| Cycling Infrastructure                                          | Required | Proposed | Proposed % |
|-----------------------------------------------------------------|----------|----------|------------|
| Number of short-term bicycle parking spaces (residential)       | 73       | 74       | 100        |
| Number of short-term bicycle parking spaces (all other uses)    | 22       | 22       | 100        |
| Number of male shower and change facilities (non-residential)   | 1        | 1        | 100        |
| Number of female shower and change facilities (non-residential) | 1        | 1        | 100        |

| Tree Planting & Soil Volume                                                       | Required | Proposed | Proposed % |
|-----------------------------------------------------------------------------------|----------|----------|------------|
| Total Soil Volume (40% of the site area + 66 m <sup>3</sup> x 30 m <sup>3</sup> ) | 1,117    | 1,117    | 100        |

**Section 2: For Site Plan Control Applications**

| Cycling Infrastructure                                                                        | Required | Proposed | Proposed % |
|-----------------------------------------------------------------------------------------------|----------|----------|------------|
| Number of short-term bicycle parking spaces (all uses) at-grade or on first level below grade | 95       | 96       | 100        |

| UHI Non-roof Hardscape                                                                      | Required | Proposed | Proposed % |
|---------------------------------------------------------------------------------------------|----------|----------|------------|
| Total non-roof hardscape area (m <sup>2</sup> )                                             |          | 1,040    |            |
| Total non-roof hardscape area treated for Urban Heat Island (minimum 50%) (m <sup>2</sup> ) | 520      | 613      | 59         |
| Area of non-roof hardscape treated with: (indicate m <sup>2</sup> )                         |          |          |            |
| a) high-albedo surface material                                                             |          | 613      |            |
| b) open-grid pavement                                                                       |          |          |            |
| c) shade from tree canopy                                                                   |          |          |            |
| d) shade from high-albedo structures                                                        |          |          |            |
| e) shade from energy generation structures                                                  |          |          |            |
| Percentage of required car parking spaces under cover (minimum 75% non-residential only)    |          |          |            |

| Green & Cool Roofs                                              | Required | Proposed | Proposed % |
|-----------------------------------------------------------------|----------|----------|------------|
| Available Roof Space (m <sup>2</sup> )                          | 2,545    | 2,545    |            |
| Available Roof Space provided as Green Roof (m <sup>2</sup> )   | 1,527    | 1,550    | 61         |
| Available Roof Space provided as Cool Roof (m <sup>2</sup> )    |          |          |            |
| Available Roof Space provided as Solar Panels (m <sup>2</sup> ) |          |          |            |

| Water Efficiency                                                                                               | Required | Proposed | Proposed % |
|----------------------------------------------------------------------------------------------------------------|----------|----------|------------|
| Total landscaped site area (m <sup>2</sup> )                                                                   |          | 2,014    |            |
| Landscaped site area planted with drought-tolerant plants (minimum 50%) (m <sup>2</sup> and %) (if applicable) | 1,007    | 1,994    | 99         |

| Tree Planting Areas & Soil Volume                                                                    | Required | Proposed | Proposed % |
|------------------------------------------------------------------------------------------------------|----------|----------|------------|
| Total site area (m <sup>2</sup> )                                                                    |          | 6,145    |            |
| Total Soil Volume (40% of the site area + 66 m <sup>3</sup> x 30 m <sup>3</sup> )                    | 1,117    | 1,117    | 100        |
| Total number of planting areas (minimum of 30m <sup>2</sup> soil)                                    |          | 5        |            |
| Total number of trees planted                                                                        | 37       | 27       | 73         |
| Number of surface parking spaces (if applicable)                                                     | NA       | NA       |            |
| Number of shade trees located in surface parking area interior (minimum 1 tree for 5 parking spaces) | NA       | NA       |            |

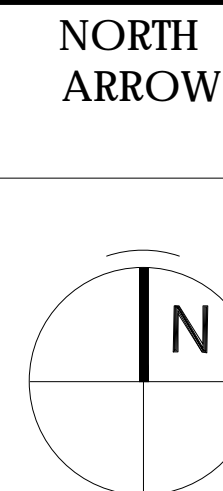
| Native and Pollinator Supportive Species                      | Required | Proposed | Proposed % |
|---------------------------------------------------------------|----------|----------|------------|
| Total number of plants                                        |          | 2,621    |            |
| Total number of native plants and % of total plants (min.50%) | 1,310    | 1,695    | 65         |

| Bird Friendly Glazing                                                                                         | Required | Proposed | Proposed % |
|---------------------------------------------------------------------------------------------------------------|----------|----------|------------|
| Total area of glazing of all elevations within 12m above grade (including glass balcony railings)             |          | 2,513    |            |
| Total area of treated glazing (minimum 85% of total area of glazing within 12m above grade) (m <sup>2</sup> ) | 2,136    | 2,136    | 85         |
| Percentage of glazing within 12m above grade treated with:                                                    |          |          |            |
| a) Low reflectance opaque materials                                                                           |          | 158      | 6          |
| b) Visual markers                                                                                             |          | 1,978    | 79         |
| c) Shading                                                                                                    |          |          |            |

\*Building Design will comply with the Toronto Accessibility Guidelines.  
 \*\*For detailed breakdown of Zoning By-law vehicle and bicycle parking requirements and proposed vehicle and bicycle standards, please refer to "4050 Yonge street - Urban Transportation Considerations" report prepared by BA Consulting Group dated January 2022.

APPLICANT:  
 EASTON'S GROUP OF COMPANIES  
 GATEWAY CENTRE  
 3100 STEELES AVE. EAST, SUITE 601  
 MARKHAM, ONTARIO L3R 8T3

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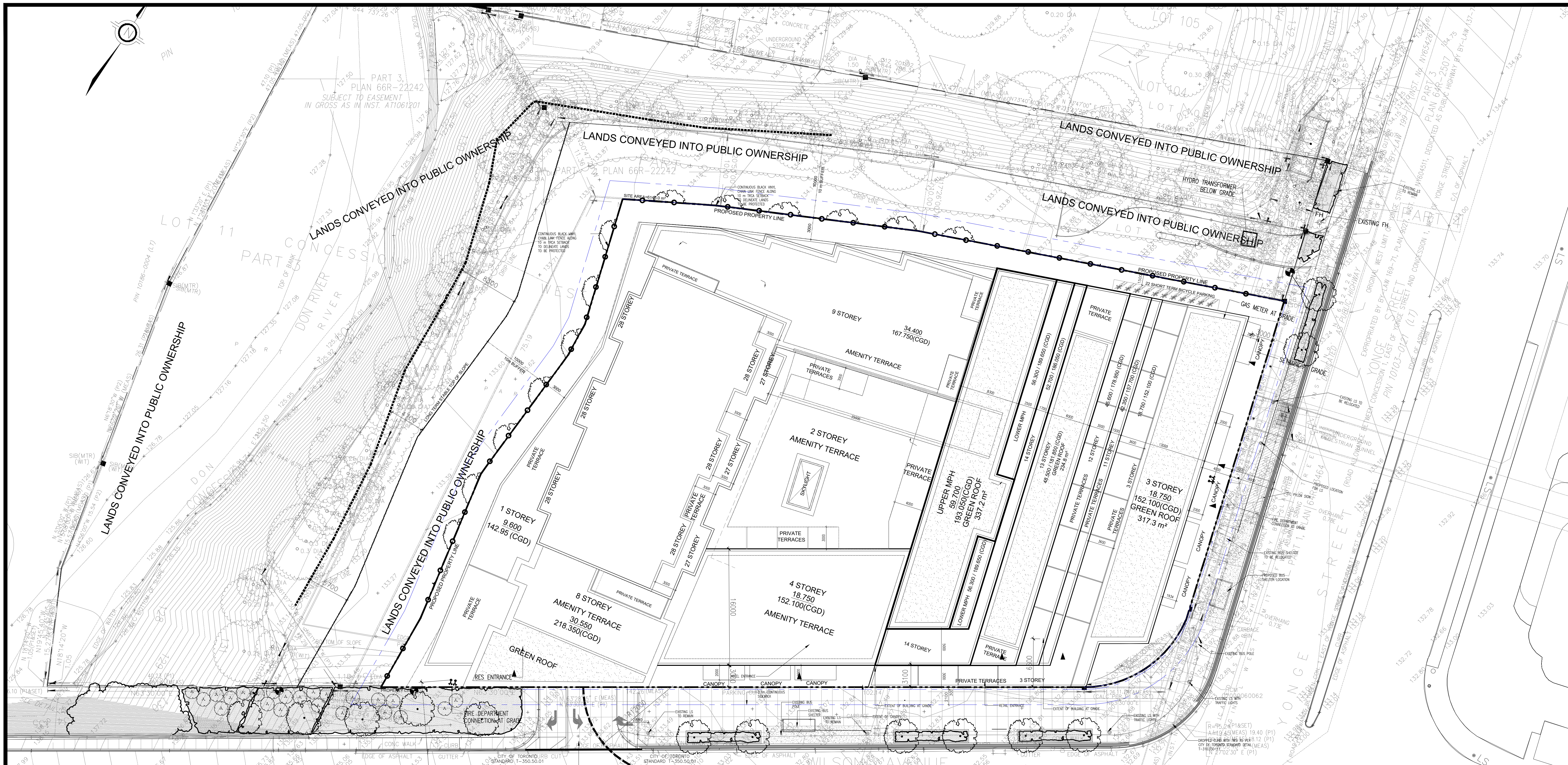


PROPOSED 14 STOREY AND  
 28 STOREY RESIDENTIAL BUILDINGS  
 CONTEXT PLAN & SITE STATISTICS  
 4050 YONGE STREET, TORONTO, ONTARIO

SCALE: 1:2000  
 DATE: MARCH 14, 2022  
 JOB NO.: 37798  
 DWG NO.: A.02

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**NOTES:**

\* BE ADVISED THAT SHOULD ANY PARTY, INCLUDING APPLICANT OR ANY SUBSEQUENT OWNER, APPLY FOR MORE THAN ONE CONDOMINIUM CORPORATION ENCOMPASSING ANY OR ALL OF THIS DEVELOPMENT OR MAKE AN APPLICATION THAT RESULTS IN A LAND DIVISION, STAFF MAY REQUIRE LEGAL ASSURANCES, INCLUDING BUT NOT LIMITED TO EASEMENTS, WITH RESPECT TO THE APPROVED SERVICES. SUCH ASSURANCES WILL BE DETERMINED AT THE TIME OF APPLICATION FOR CONDOMINIUM APPROVAL.

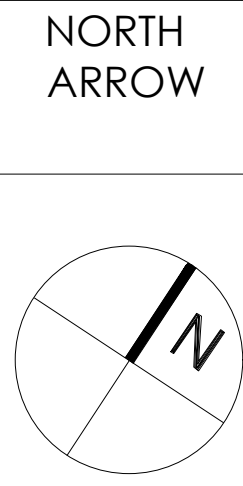
\*\* IN THE EVENT THE APPLICANT/OWNER CAUSES OR PERMITS ANY ACTION THAT INJURES, DAMAGES, DESTROYS OR PREVENTS A PROTECTED TREE FROM MATURING, THE APPLICANT/OWNER SHALL BE LIABLE TO THE CITY UNDER THE RAVINE & NATURAL FEATURES PROTECTION BY-LAW, CHAPTER 658 OF THE CITY OF TORONTO MUNICIPAL CODE, WHICH REGULATES THE UNJURY AND DESTRUCTION OF TREES, DUMPING OR REFUSE AND CHANGES TO GRADE WITHIN PROTECTED AREAS DEFINED IN SCHEDULE A OF THE BY-LAW. CONVICTIONS OF OFFENCES RESPECTING THE REGULATIONS IN THE RAVINE & NATURAL FEATURE PROTECTION BY-LAW ARE SUBJECT TO FINES, AND THE LANDOWNER MAY BE ORDERED BY THE COURT TO RESTORE THE AREA TO THE SATISFACTION OF THE CITY. A PERSON CONVICTED OF AN OFFENCE UNDER THIS BY-LAW IS LIABLE TO A MINIMUM FINE OF \$ 500 AND A MAXIMUM FINE OF \$ 100,00 FOR EACH TREE DESTROYED, A MAXIMUM FINE OF \$ 100,000 FOR ANY OTHER OFFENCE COMMITTED UNDER THIS CHAPTER, AND/OR A SPECIAL FINE OF \$ 100,000. A PERSON CONVICTED OF CONTINUING OFFENCE, INCLUDING FAILURE TO COMPLY WITH RAVINE PERMIT CONDITIONS IS LIABLE TO A MAXIMUM FINE OF NOT MORE THAN \$ 10,000 FOR EACH DAY OR PART OF A DAY THAT THE OFFENCE CONTINUES.

**GENERAL NOTES:**

1. THE NEW RECONSTRUCTED SIDEWALKS ALONG THE DEVELOPMENT SITE FRONTAGES WILL BE BUILT TO THE SATISFACTION OF THE CITY AND AT NO COST TO THE MUNICIPALITY.
2. THE 15.0 m ROUNDING AT THE SOUTH-EAST CORNER OF THE SITE WILL BE CONVEYED TO THE CITY IN AN UNENCUMBERED MANNER FOR A NOMINAL SUM, TO THE SATISFACTION OF THE CITY.
3. THE TYPE OF CONSTRUCTION IS FIRE-RESISTIVE AND THE VERTICAL OPENINGS AND EXTERIOR VERTICAL COMMUNICATIONS ARE PROPERLY PROTECTED (ONE HOUR RATING)
4. BALCONIES PROJECTING INTO THE 3 m STRUCTURAL SETBACK WILL BE MAINTAINED WITHOUT ENCRANCHING INTO THE 10 m TRCA BUFFER.

**APPLICANT:**  
**EASTON'S GROUP OF COMPANIES**  
**GATEWAY CENTRE**  
**3100 STEELES AVE. EAST, SUITE 601**  
**MARKHAM, ONTARIO L3R 8T3**

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**PROPOSED 14 STOREY AND 28 STOREY RESIDENTIAL BUILDINGS**

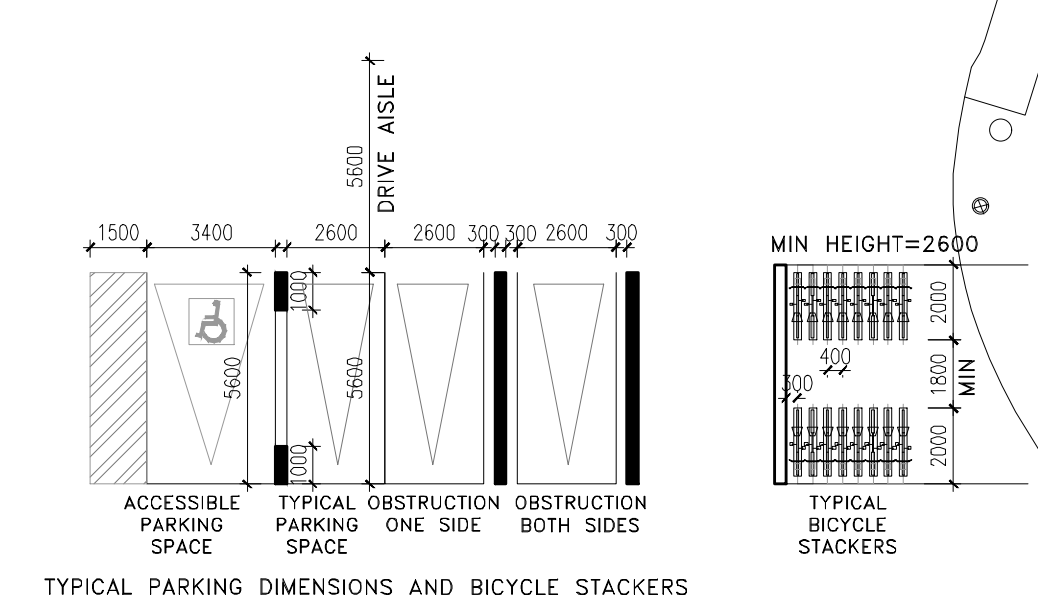
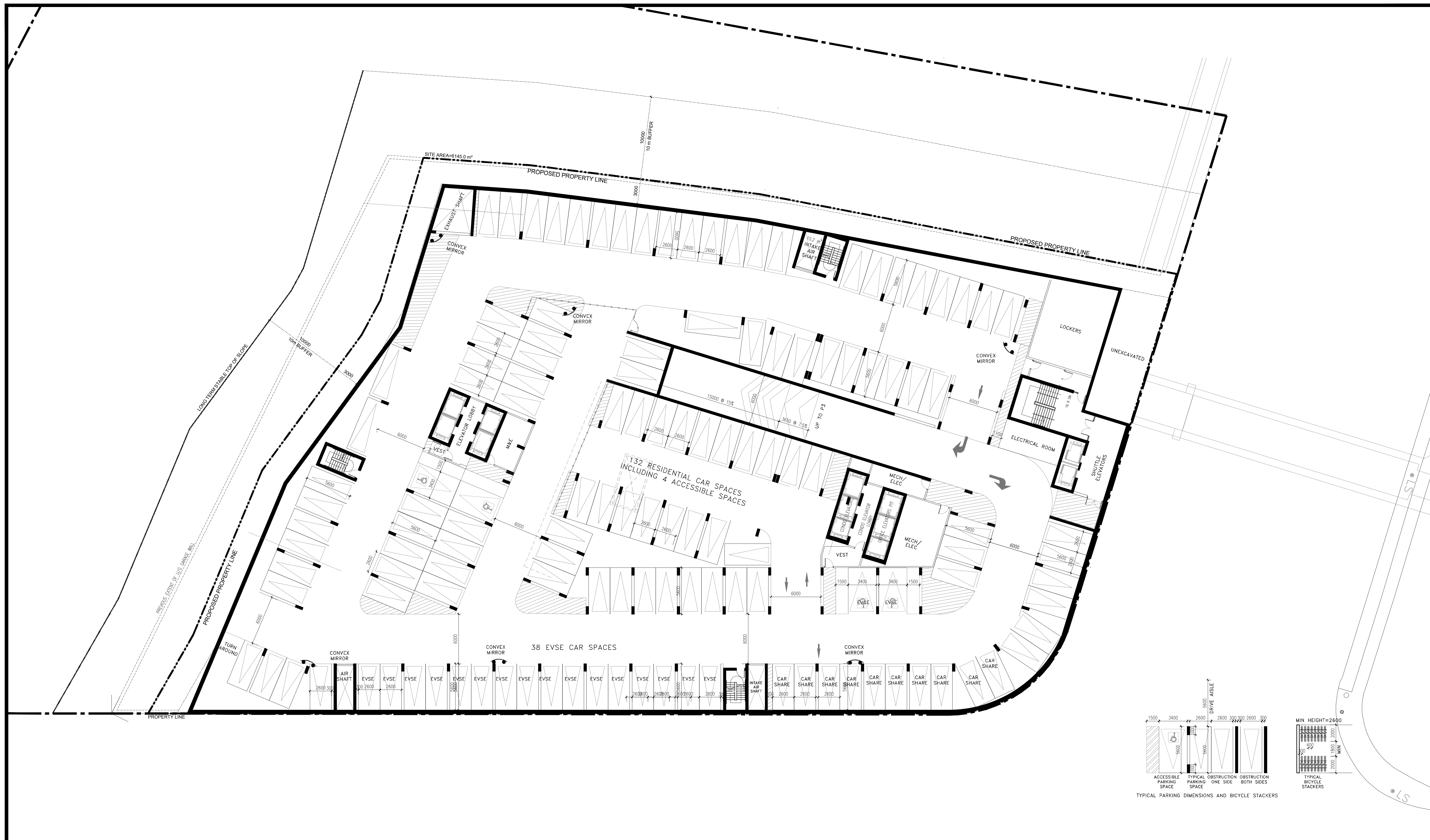
**SITE PLAN**

**4050 YONGE STREET, TORONTO, ONTARIO**

SCALE: 1:200  
 DATE: MARCH 14, 2022 1:250  
 JOB NO.: 37798  
 DWG NO.: A.03

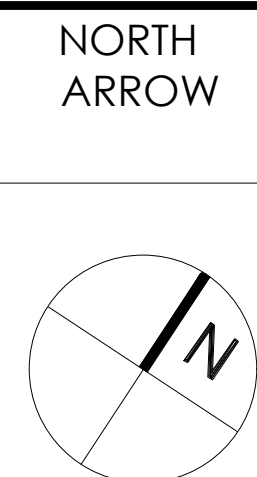
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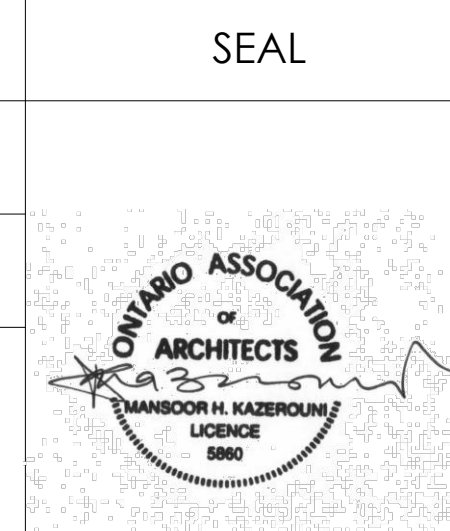
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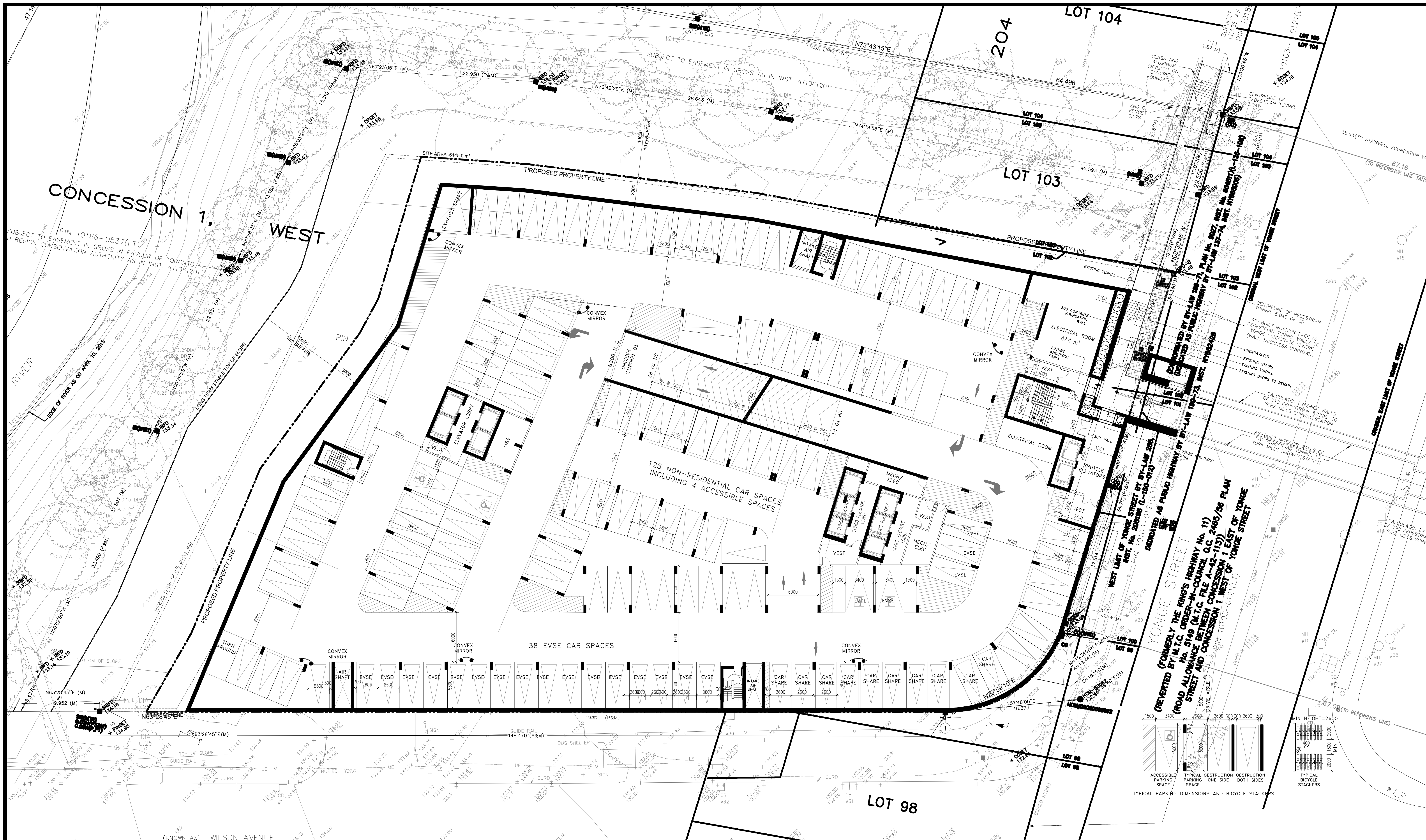
PROPOSED 14 STOREY AND  
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 P4 PARKING LEVEL  
 4050 YONGE STREET, TORONTO, ONTARIO

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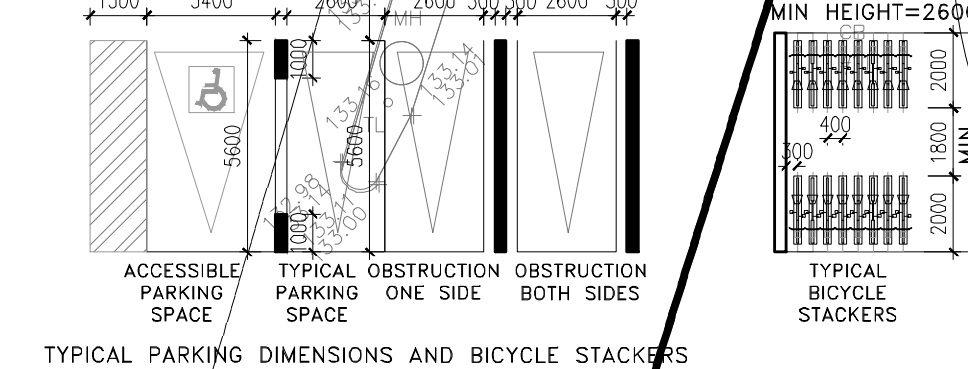


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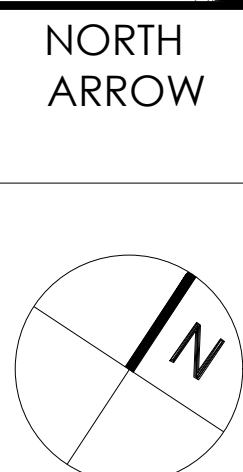


(REVERTED BY M.T.C. ORDER-IN-COUNCIL O.C. 2465/98 PLAN NO. 5149 (M.T.C. FILE A-42-115))  
 (ROAD ALLOWANCE BETWEEN CONCESSION 1 WEST OF YONGE STREET AND CONCESSION 1 EAST OF YONGE STREET DEDICATED AS PUBLIC HIGHWAY BY BY-LAW 100-73, INST. M780268)  
 (REVERTED BY BY-LAW 100-71, PLAN NO. 5067 (M.T.C. FILE A-42-109))  
 (DEDICATED AS PUBLIC HIGHWAY BY BY-LAW 100-73, INST. M780268)



**APPLICANT:**  
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 GATEWAY CENTRE  
 3100 STEELES AVE. EAST, SUITE 601  
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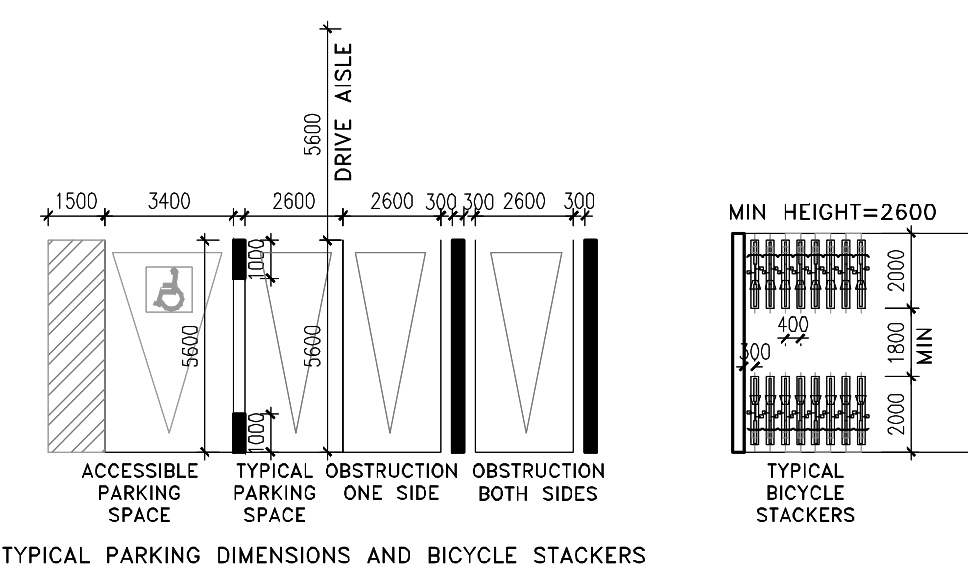


PROPOSED 14 STOREY AND  
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 P2 PARKING LEVEL  
 4050 YONGE STREET, TORONTO, ONTARIO

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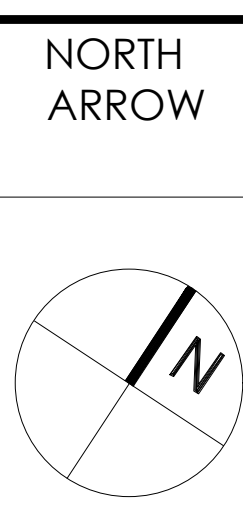


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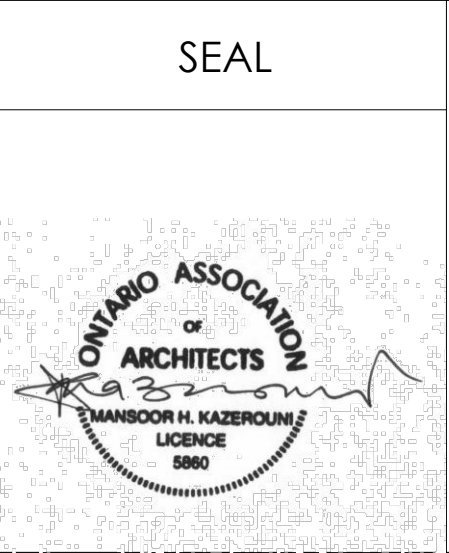
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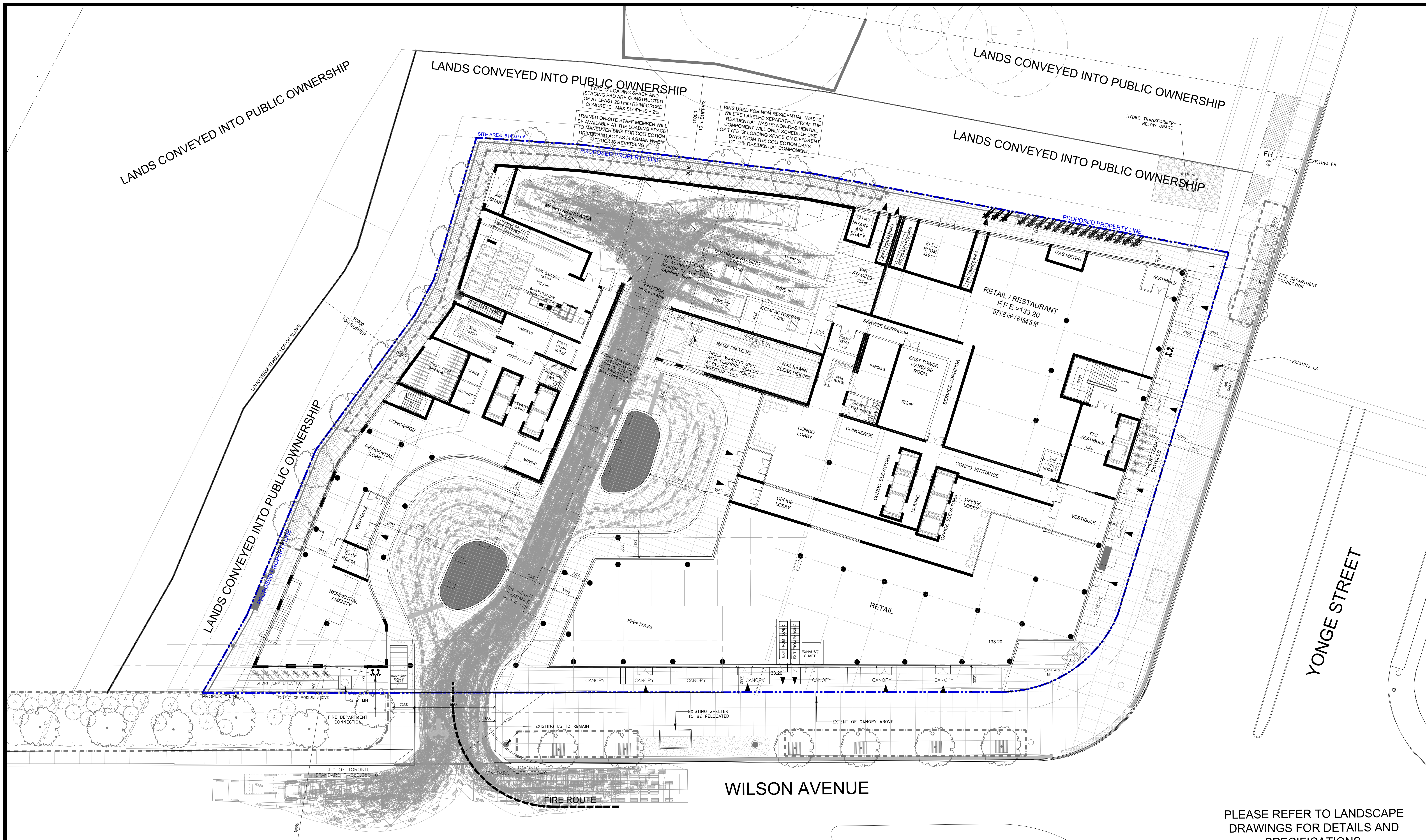


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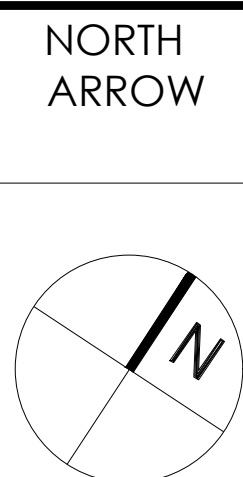
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PLEASE REFER TO LANDSCAPE DRAWINGS FOR DETAILS AND SPECIFICATIONS

APPLICANT:  
 EASTON'S GROUP OF COMPANIES  
 GATEWAY CENTRE  
 3100 STEELES AVE. EAST, SUITE 601  
 MARKHAM, ONTARIO L3R 8T3

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| 1      | JANUARY 29, 2020  | ISSUED FOR OPA, REZONING & SPA     |
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| 5      | JANUARY 31, 2022  | RE- ISSUED FOR OPA, REZONING & SPA |
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PROPOSED 14 STOREY AND  
 28 STOREY RESIDENTIAL BUILDINGS

GROUND FLOOR PLAN

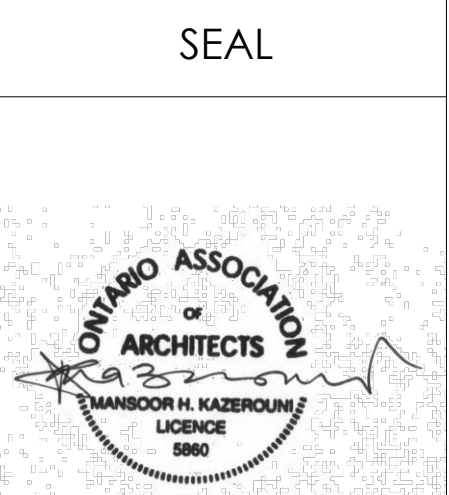
4050 YONGE STREET, TORONTO, ONTARIO

SCALE: 1:200

DATE: MARCH 14, 2022

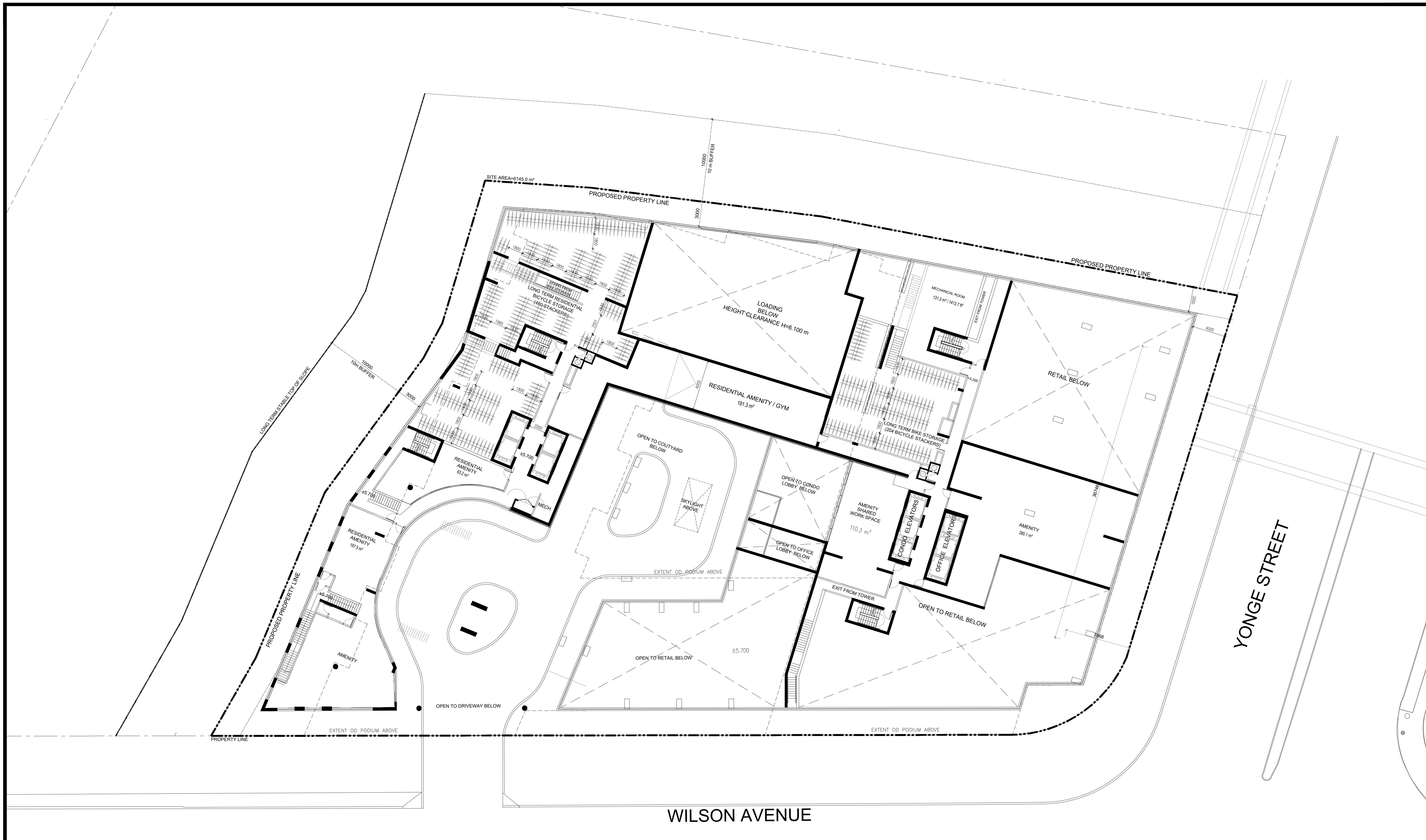
JOB NO.: 37798

DWG NO.: A.08



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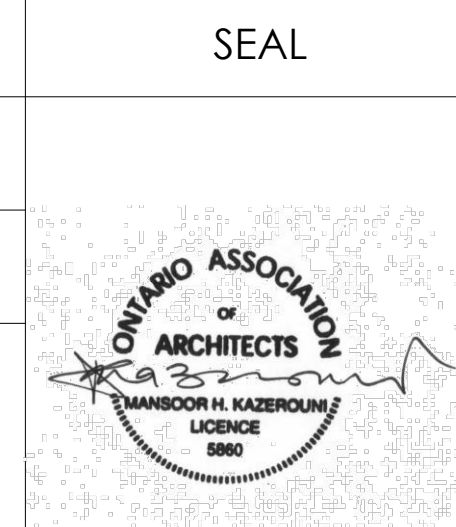
APPLICANT:  
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 GATEWAY CENTRE  
 3100 STEELES AVE. EAST, SUITE 601  
 MARKHAM, ONTARIO L3R 8T3

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PROPOSED 14 STOREY AND  
 28 STOREY RESIDENTIAL BUILDINGS  
 MEZZANINE FLOOR PLAN  
 4050 YONGE STREET, TORONTO, ONTARIO

SCALE: 1:200  
 DATE: MARCH 14, 2022  
 JOB NO.: 37798  
 DWG NO.: A.09

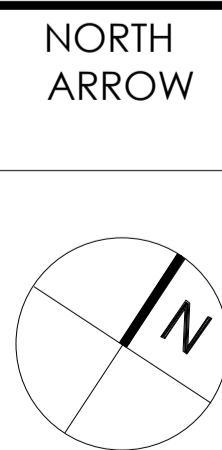


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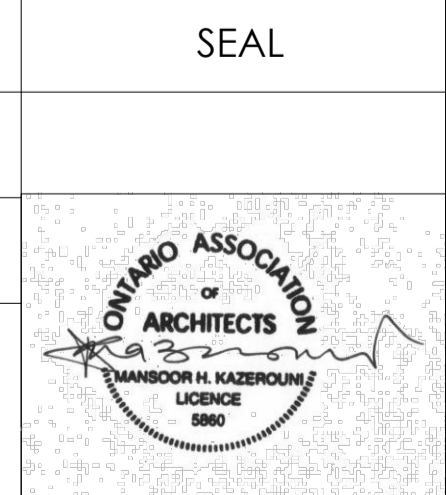
APPLICANT:  
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 GATEWAY CENTRE  
 3100 STEELES AVE. EAST, SUITE 601  
 MARKHAM, ONTARIO L3R 8T3

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PROPOSED 14 STOREY AND  
 28 STOREY RESIDENTIAL BUILDINGS  
 WEST BUILDING 2 FLOOR PLAN  
 EAST BUILDING 2 FLOOR PLAN  
 4050 YONGE STREET, TORONTO, ONTARIO

SCALE: 1:200  
 DATE: MARCH 14, 2022  
 JOB NO.: 37798  
 DWG NO.: A.10

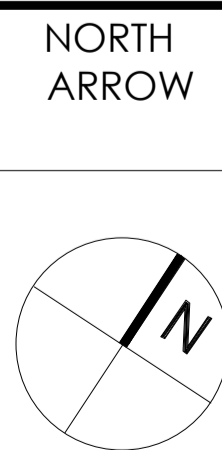


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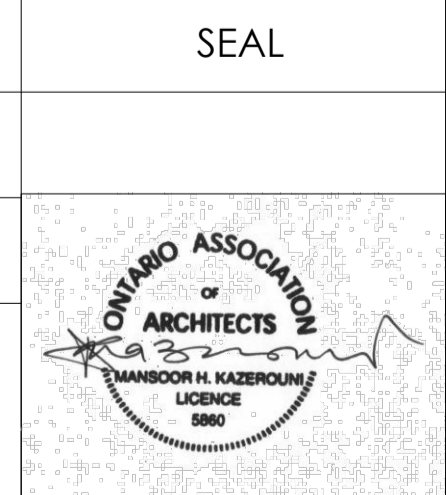
APPLICANT:  
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 3100 STEELES AVE. EAST, SUITE 601  
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PROPOSED 14 STOREY AND  
 28 STOREY RESIDENTIAL BUILDINGS  
 WEST BUILDING 3-4 FLOOR PLAN  
 EAST BUILDING 3 FLOOR PLAN  
 4050 YONGE STREET, TORONTO, ONTARIO

SCALE: 1:200  
 DATE: MARCH 14, 2022  
 JOB NO.: 37798  
 DWG NO.: A.11

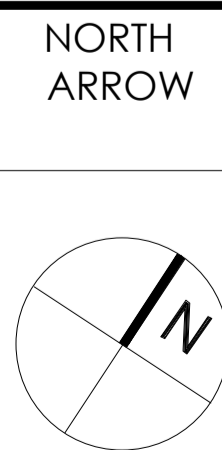


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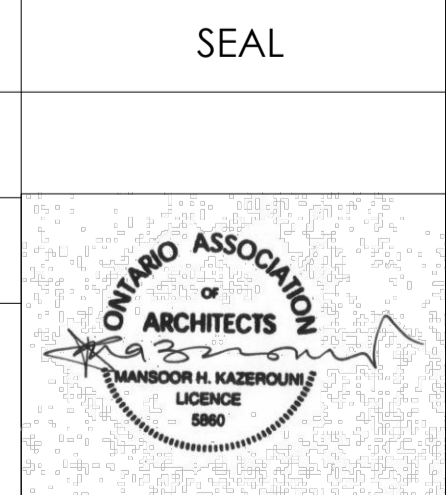
APPLICANT:  
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 3100 STEELES AVE. EAST, SUITE 601  
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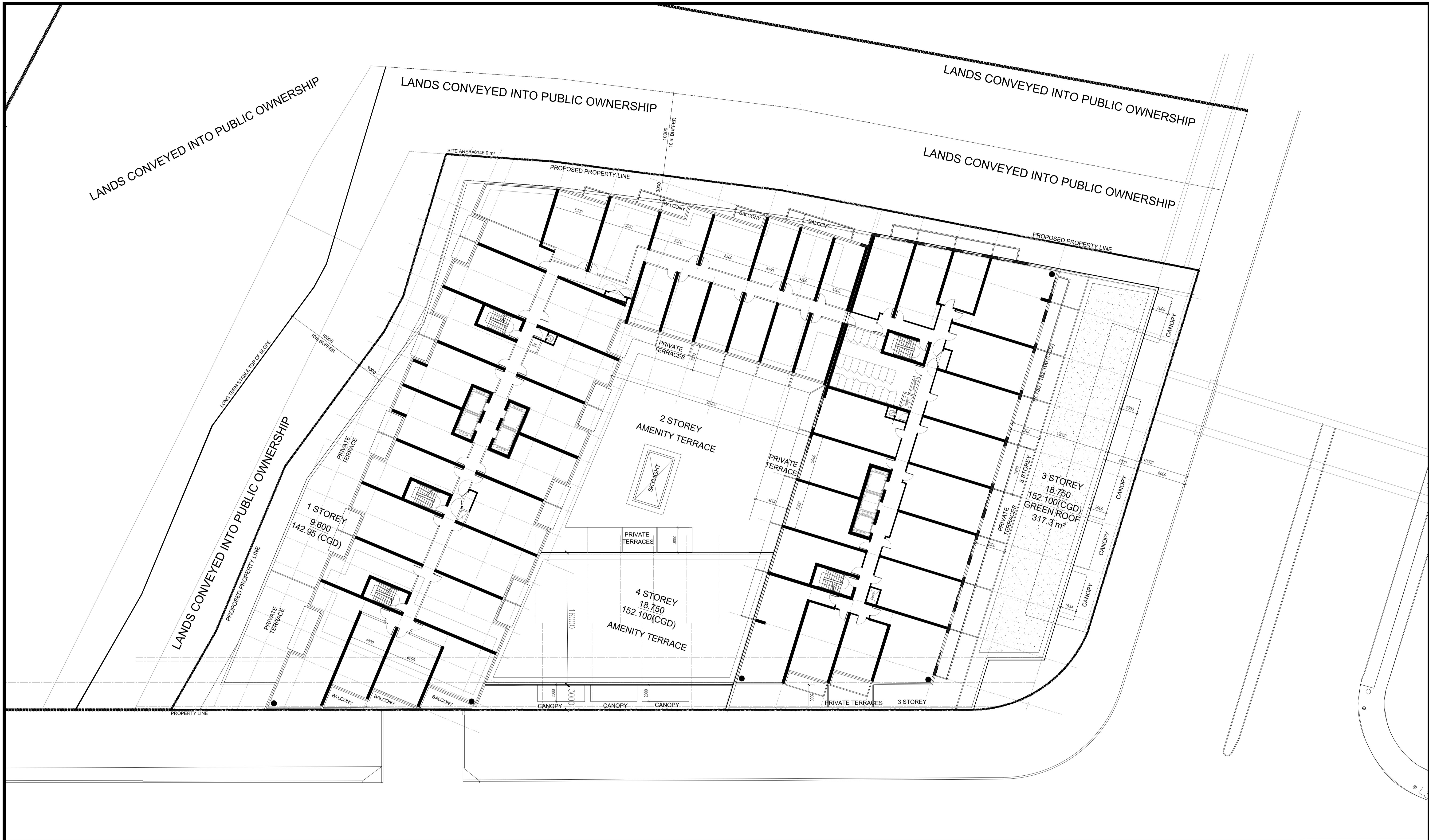


PROPOSED 14 STOREY AND  
 28 STOREY RESIDENTIAL BUILDINGS  
 WEST BUILDING 5 FLOOR PLAN  
 EAST BUILDING 4 FLOOR PLAN  
 4050 YONGE STREET, TORONTO, ONTARIO

SCALE: 1:200  
 DATE: MARCH 14, 2022  
 JOB NO.: 37798  
 DWG NO.: A.12

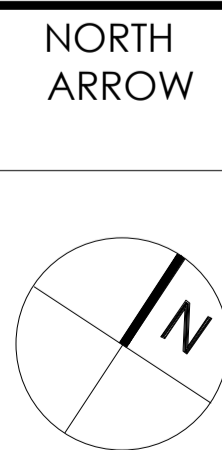


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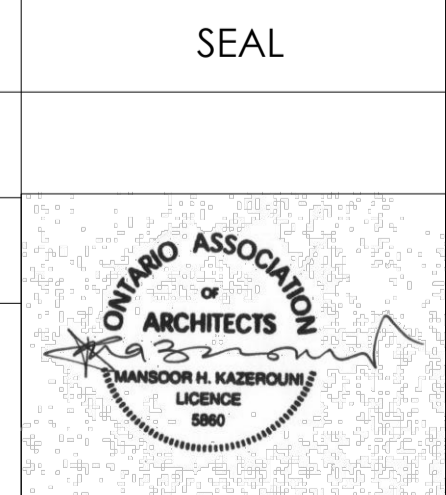
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PROPOSED 14 STOREY AND  
 28 STOREY RESIDENTIAL BUILDINGS  
 WEST BUILDING 6-8 FLOOR PLAN  
 EAST BUILDING 5-7 FLOOR PLAN  
 4050 YONGE STREET, TORONTO, ONTARIO

SCALE: 1:200  
 DATE: MARCH 14, 2022  
 JOB NO.: 37798  
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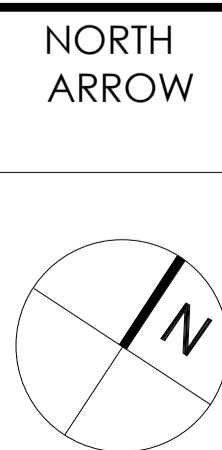


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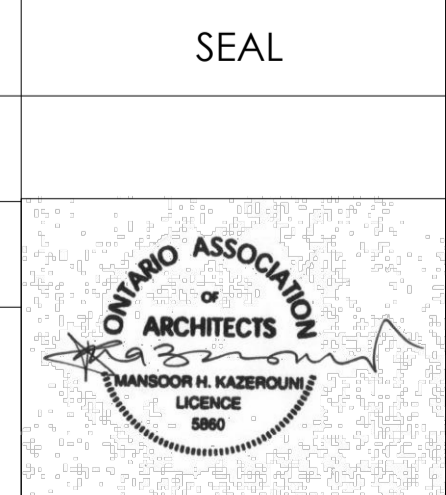
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 3100 STEELES AVE. EAST, SUITE 601  
 MARKHAM, ONTARIO L3R 8T3

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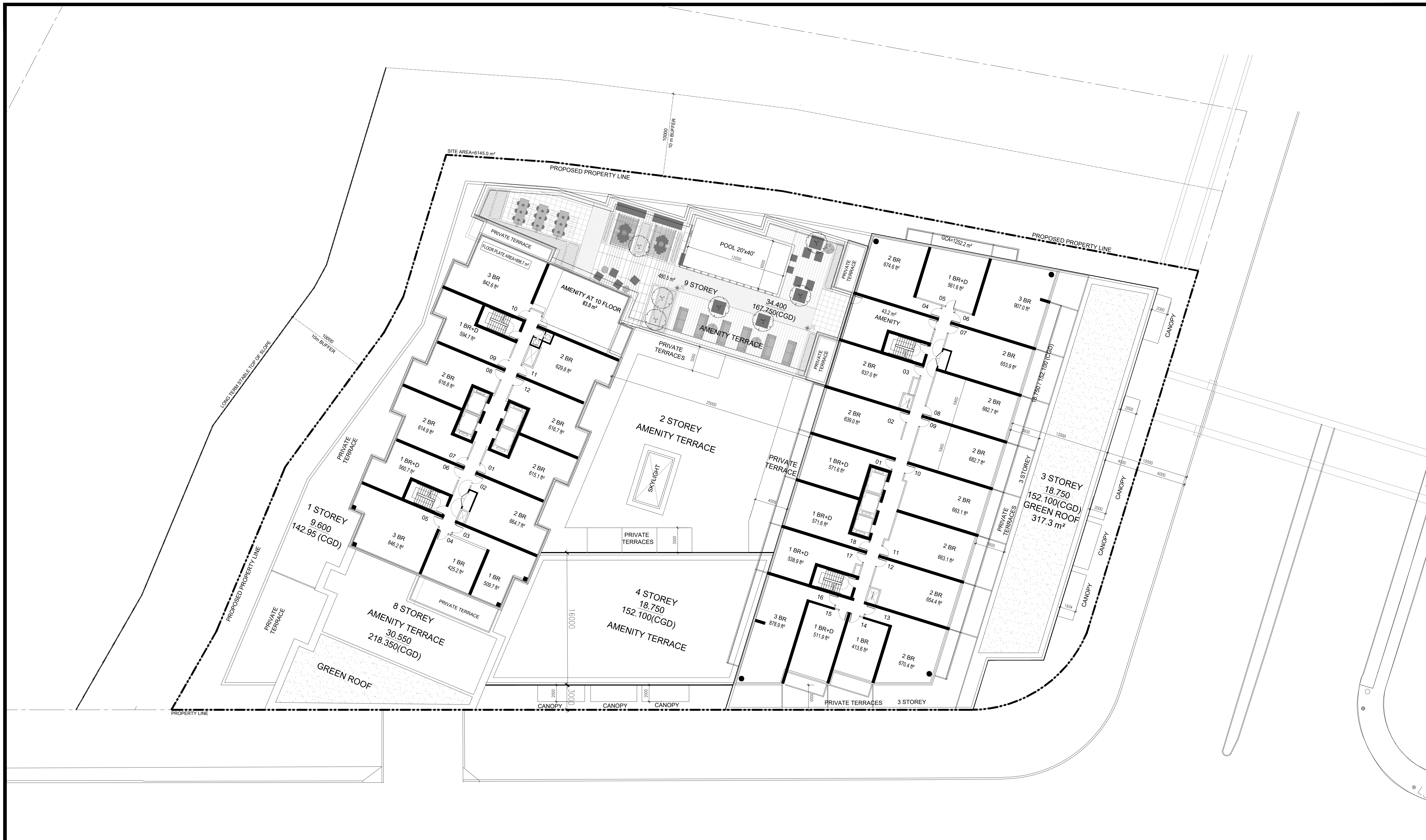


PROPOSED 14 STOREY AND  
 28 STOREY RESIDENTIAL BUILDINGS  
 WEST BUILDING 9 FLOOR PLAN  
 EAST BUILDING 8 FLOOR PLAN  
 4050 YONGE STREET, TORONTO, ONTARIO

SCALE: 1:200  
 DATE: MARCH 14, 2022  
 JOB NO.: 37798  
 DWG NO.: A.14



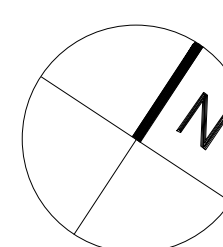
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 MARKHAM, ONTARIO L3R 8T3

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| 6      | MARCH 14, 2022    | RE- ISSUED FOR OPA, REZONING & SPA |

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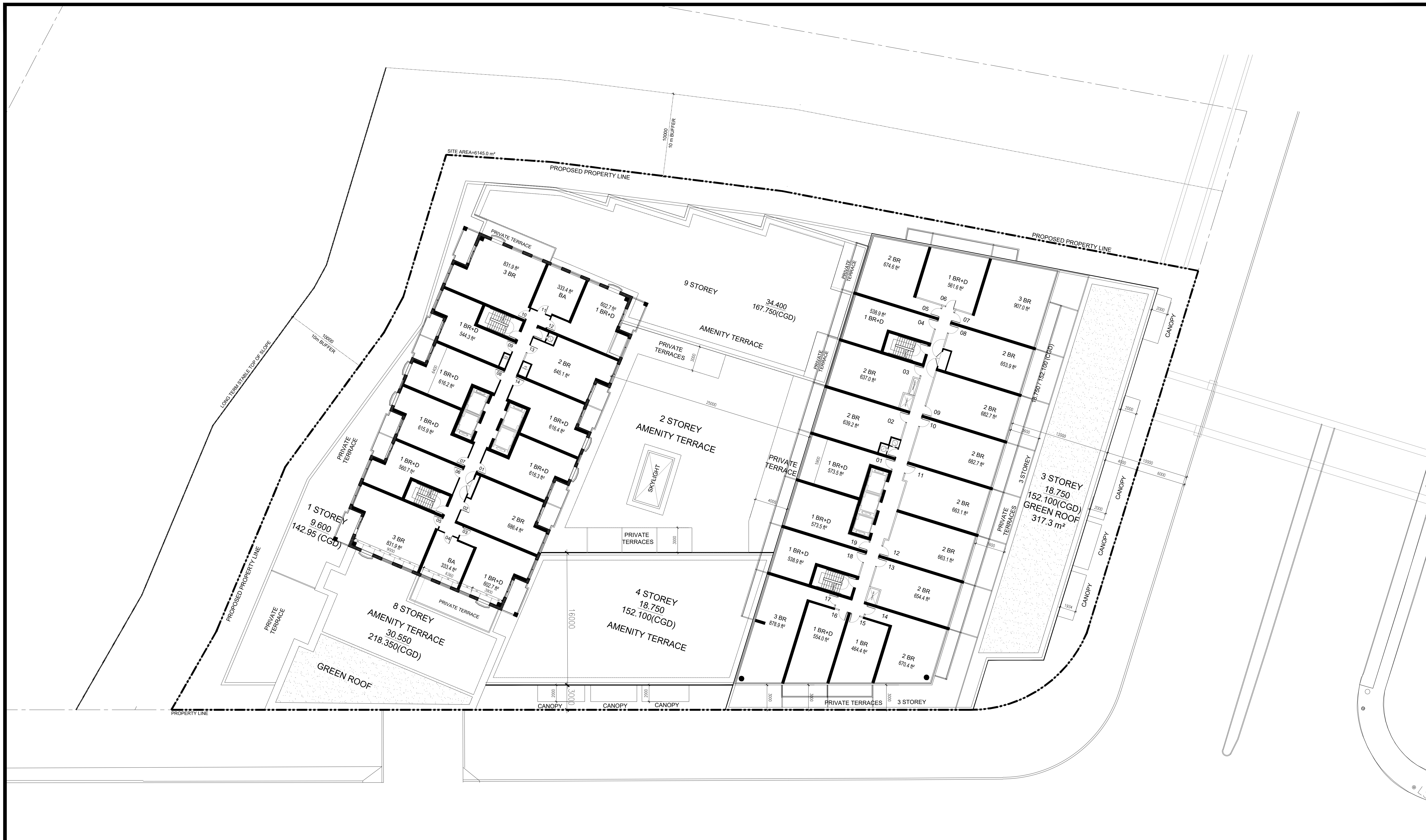
PROPOSED 14 STOREY AND  
 28 STOREY RESIDENTIAL BUILDINGS  
 WEST BUILDING 10 FLOOR PLAN  
 EAST BUILDING 9 FLOOR PLAN  
 4050 YONGE STREET, TORONTO, ONTARIO

SCALE: 1:200  
 DATE: MARCH 14, 2022  
 JOB NO.: 37798  
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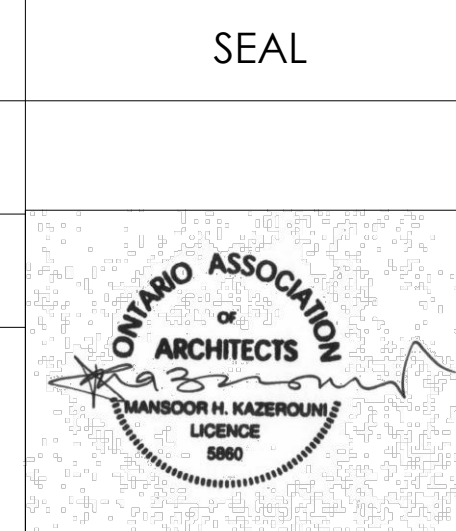
APPLICANT:  
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 GATEWAY CENTRE  
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| 6      | MARCH 14, 2022    | RE- ISSUED FOR OPA, REZONING & SPA |



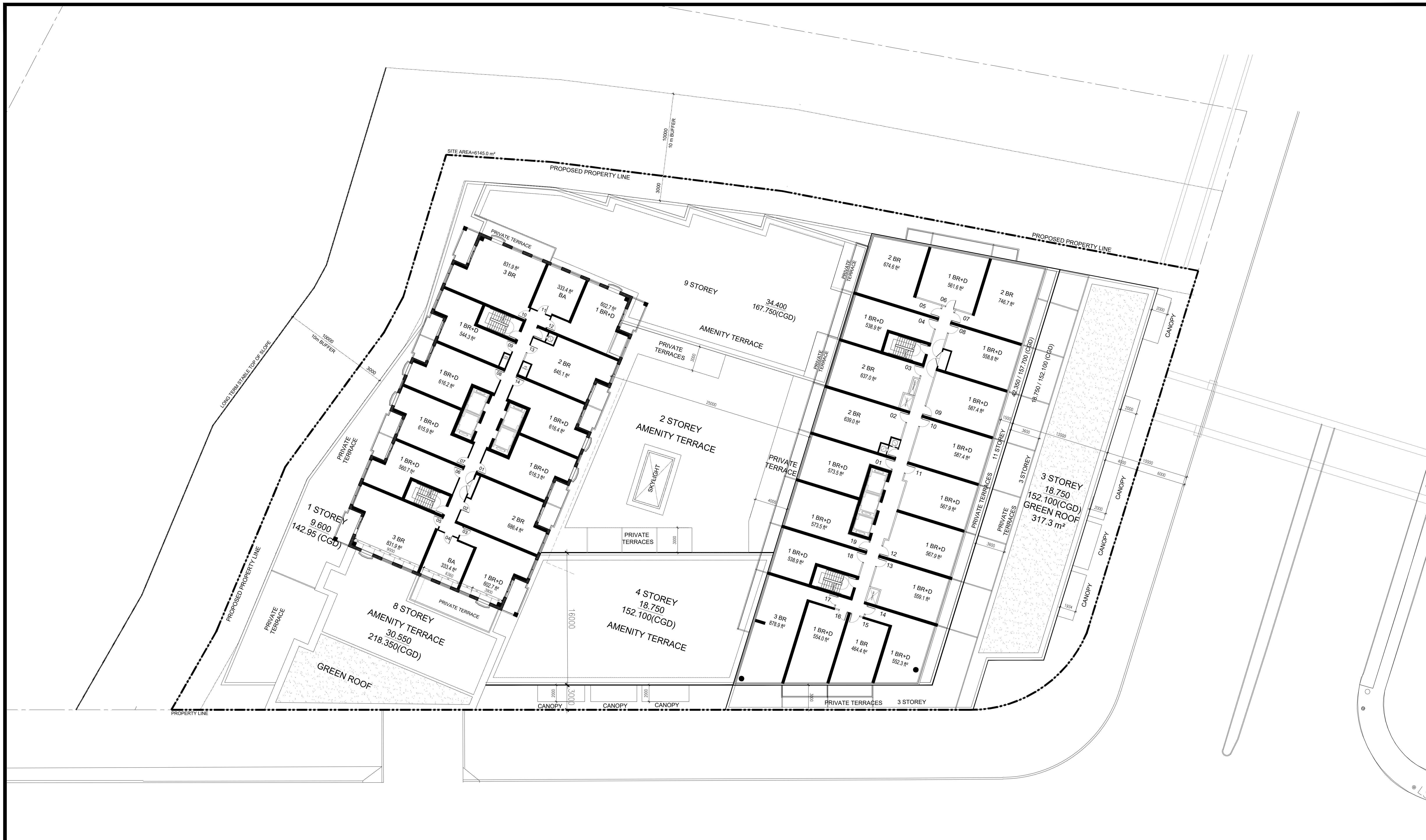
PROPOSED 14 STOREY AND  
 28 STOREY RESIDENTIAL BUILDINGS  
 WEST BUILDING 10 FLOOR PLAN  
 EAST BUILDING 10 & 11 FLOOR PLAN  
 4050 YONGE STREET, TORONTO, ONTARIO

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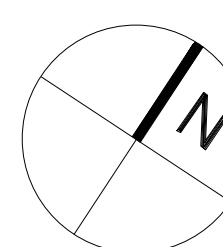




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 MARKHAM, ONTARIO L3R 8T3

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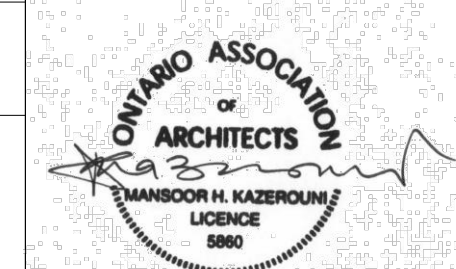
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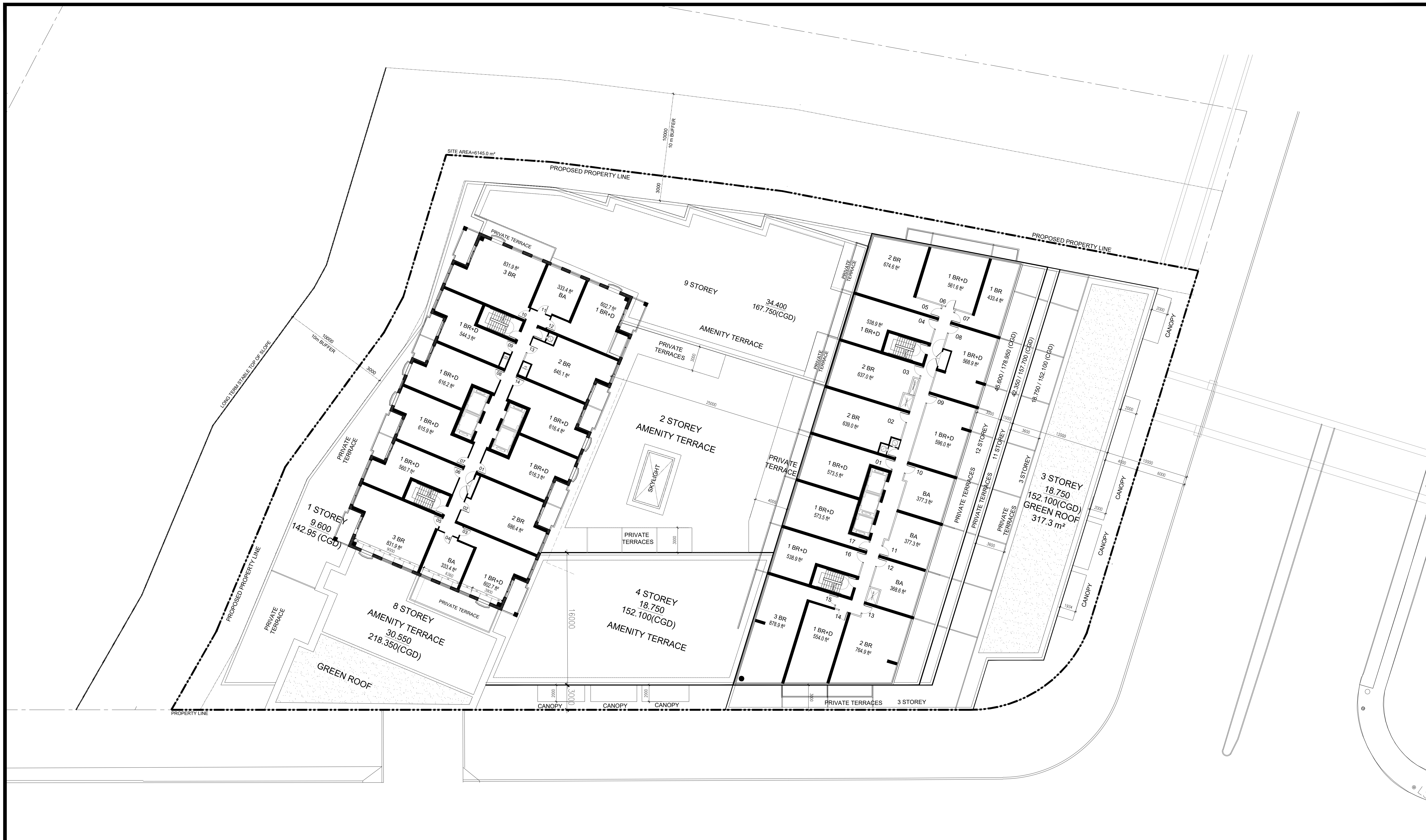
PROPOSED 14 STOREY AND  
 28 STOREY RESIDENTIAL BUILDINGS  
 WEST BUILDING 11-27 FLOOR PLAN  
 EAST BUILDING 12 FLOOR PLAN  
 4050 YONGE STREET, TORONTO, ONTARIO

SCALE: 1:200  
 DATE: MARCH 14, 2022  
 JOB NO.: 37798  
 DWG NO.: A.17

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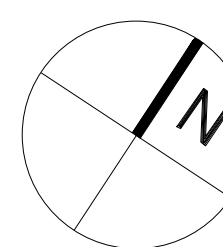
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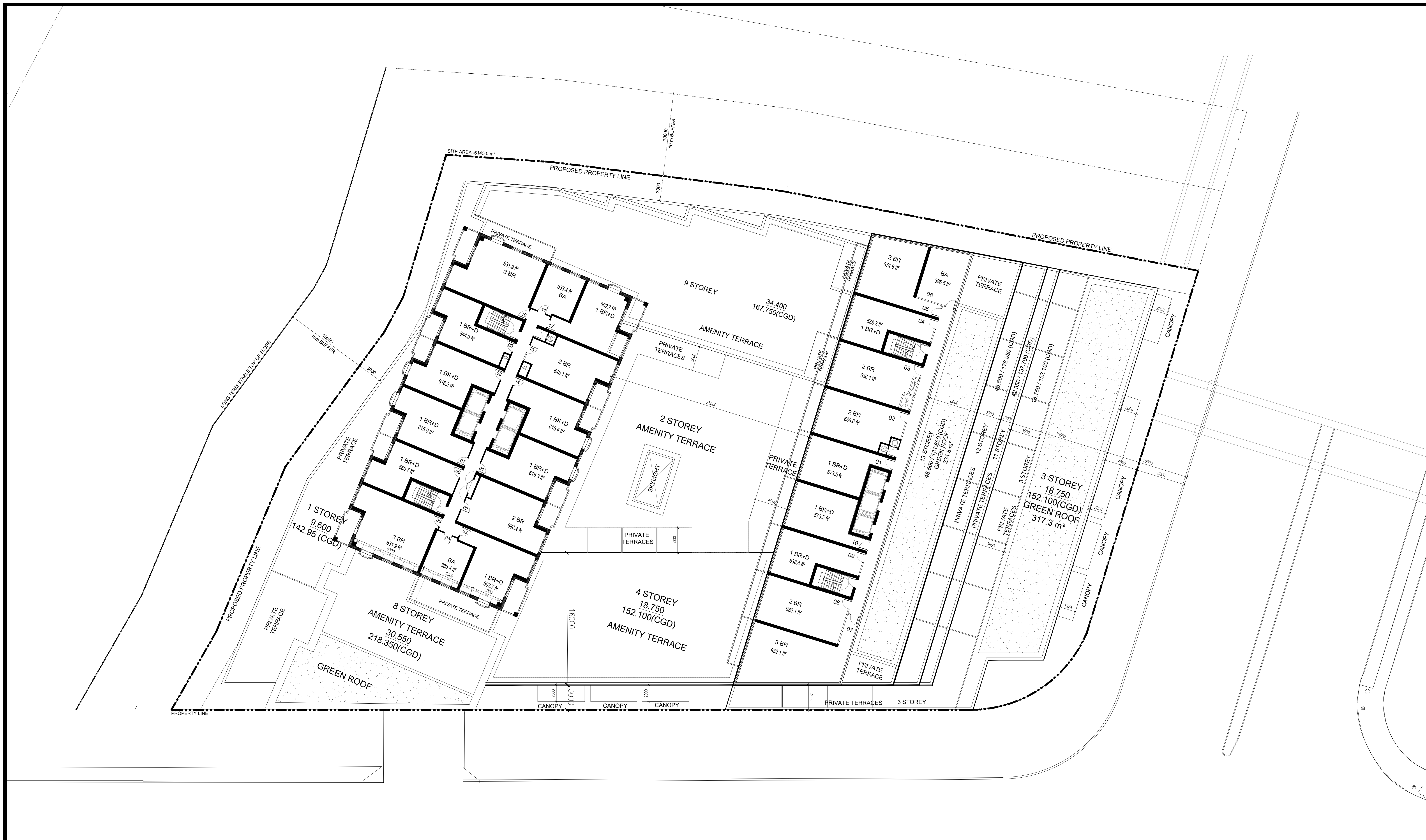
PROPOSED 14 STOREY AND  
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 EAST BUILDING 13 FLOOR PLAN  
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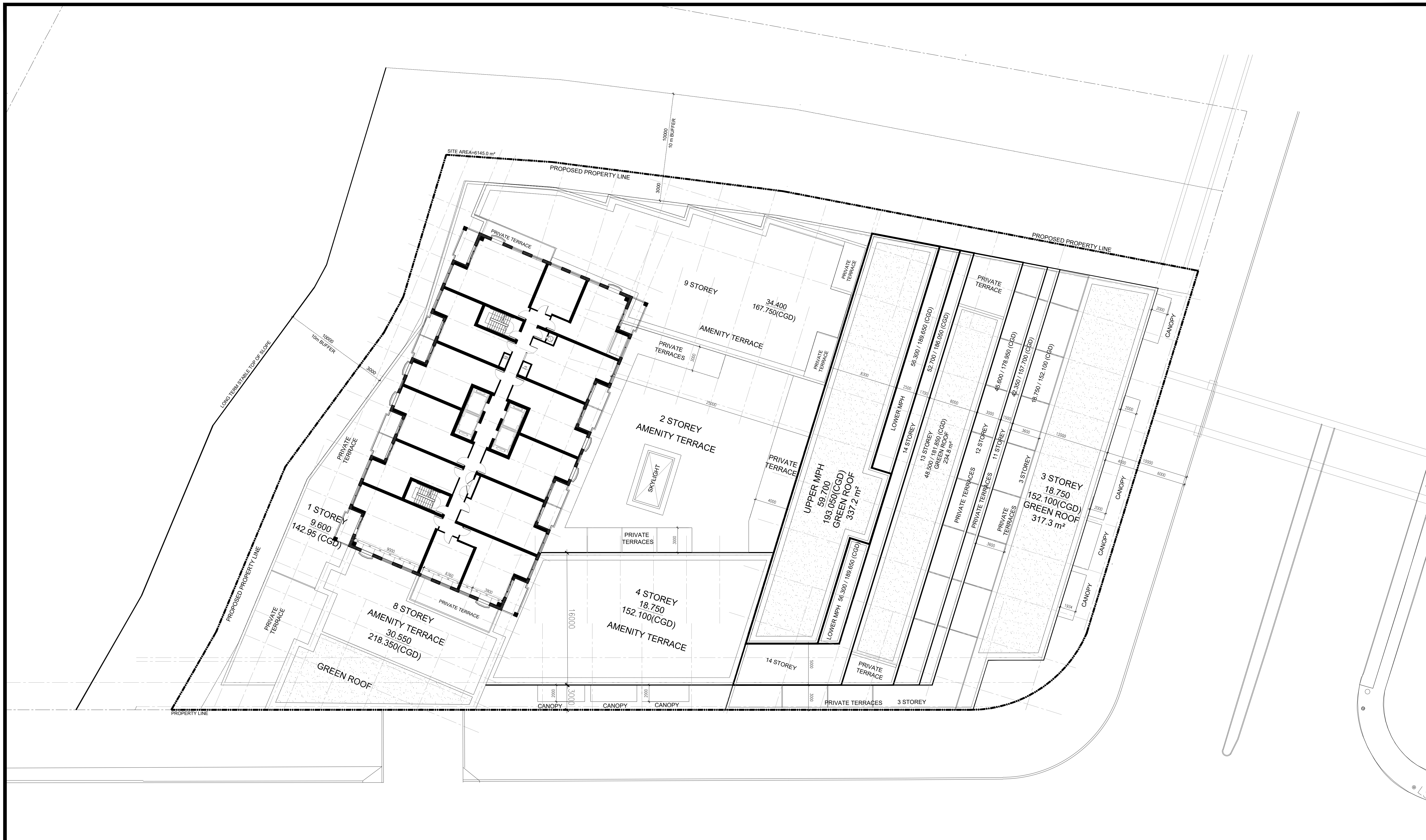
PROPOSED 14 STOREY AND  
 28 STOREY RESIDENTIAL BUILDINGS  
 WEST BUILDING 11-27 FLOOR PLAN  
 EAST BUILDING 14 FLOOR PLAN  
 4050 YONGE STREET, TORONTO, ONTARIO

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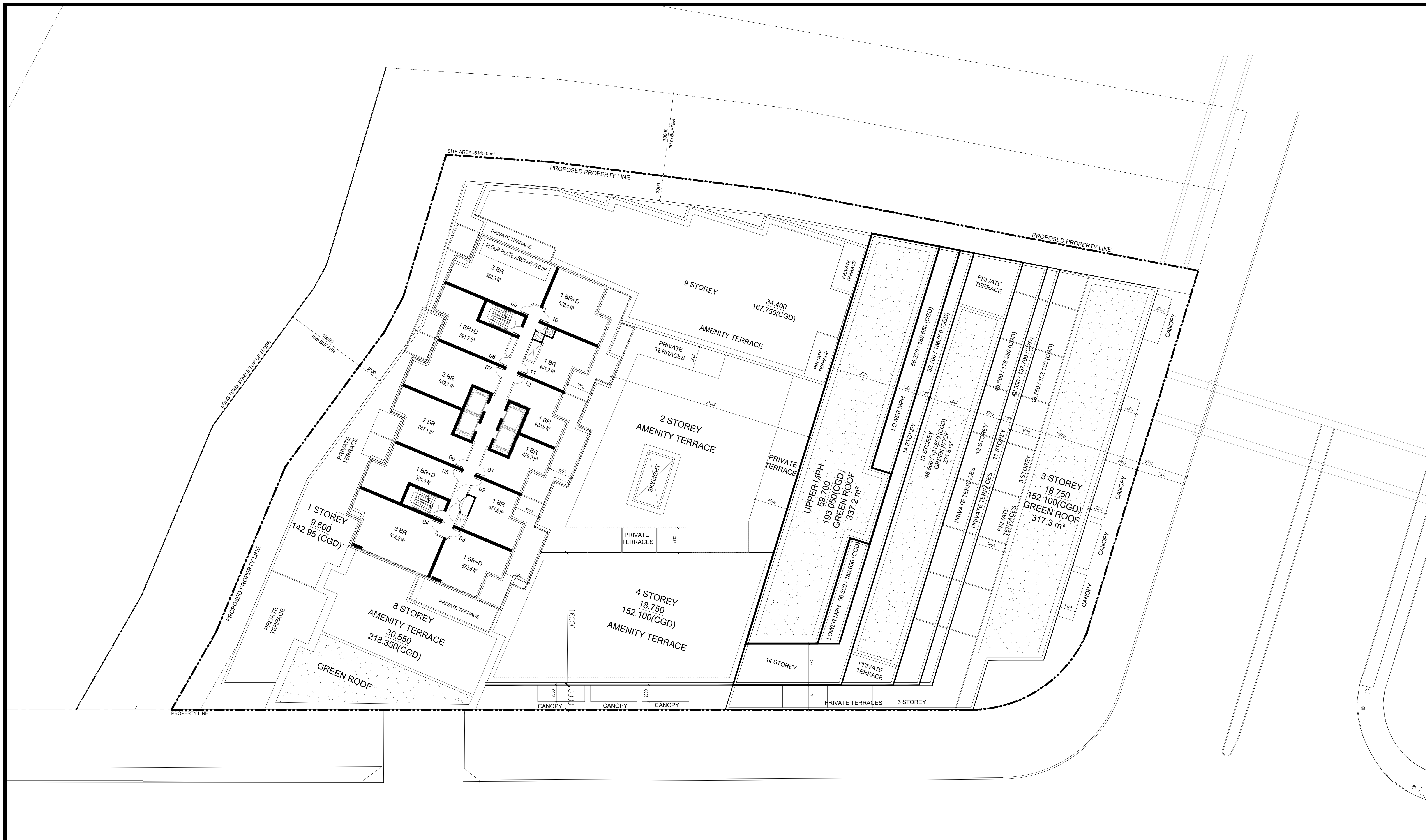


PROPOSED 14 STOREY AND  
 28 STOREY RESIDENTIAL BUILDINGS  
 15-27 FLOOR PLAN  
 4050 YONGE STREET, TORONTO, ONTARIO

SCALE: 1:200  
 DATE: MARCH 14, 2022  
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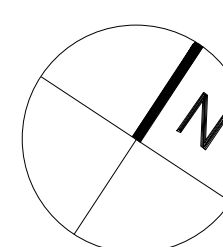




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| 6      | MARCH 14, 2022    | RE- ISSUED FOR OPA, REZONING & SPA |

NORTH  
ARROW



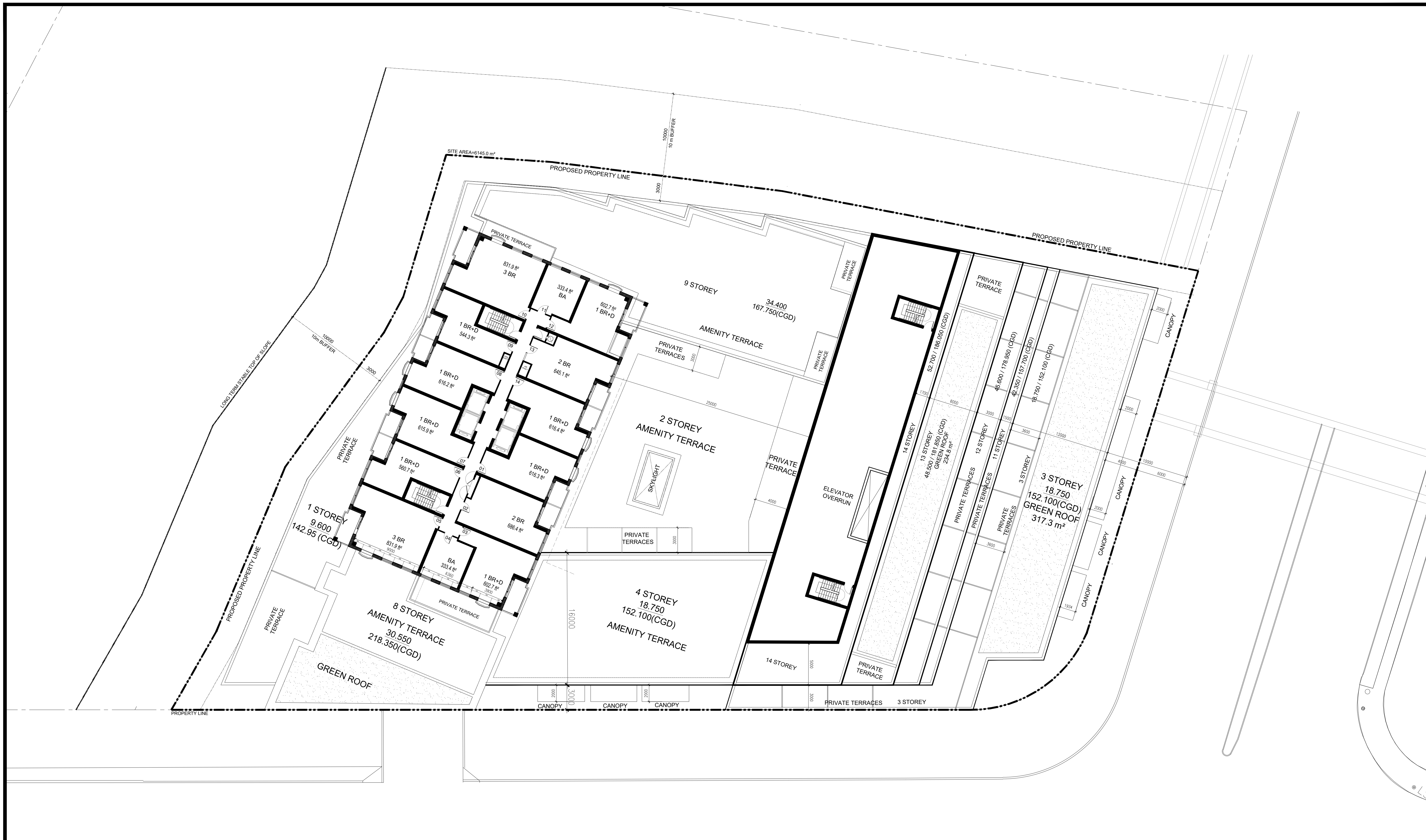
PROPOSED 14 STOREY AND  
 28 STOREY RESIDENTIAL BUILDINGS  
 WEST BUILDING 28 FLOOR PLAN  
 4050 YONGE STREET, TORONTO, ONTARIO

SCALE: 1:200  
 DATE: MARCH 14, 2022  
 JOB NO.: 37798  
 DWG NO.: A.21

SEAL



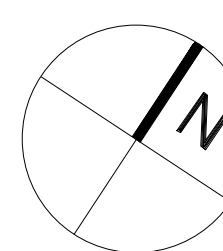
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APPLICANT:  
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 GATEWAY CENTRE  
 3100 STEELES AVE. EAST, SUITE 601  
 MARKHAM, ONTARIO L3R 8T3

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NORTH  
ARROW



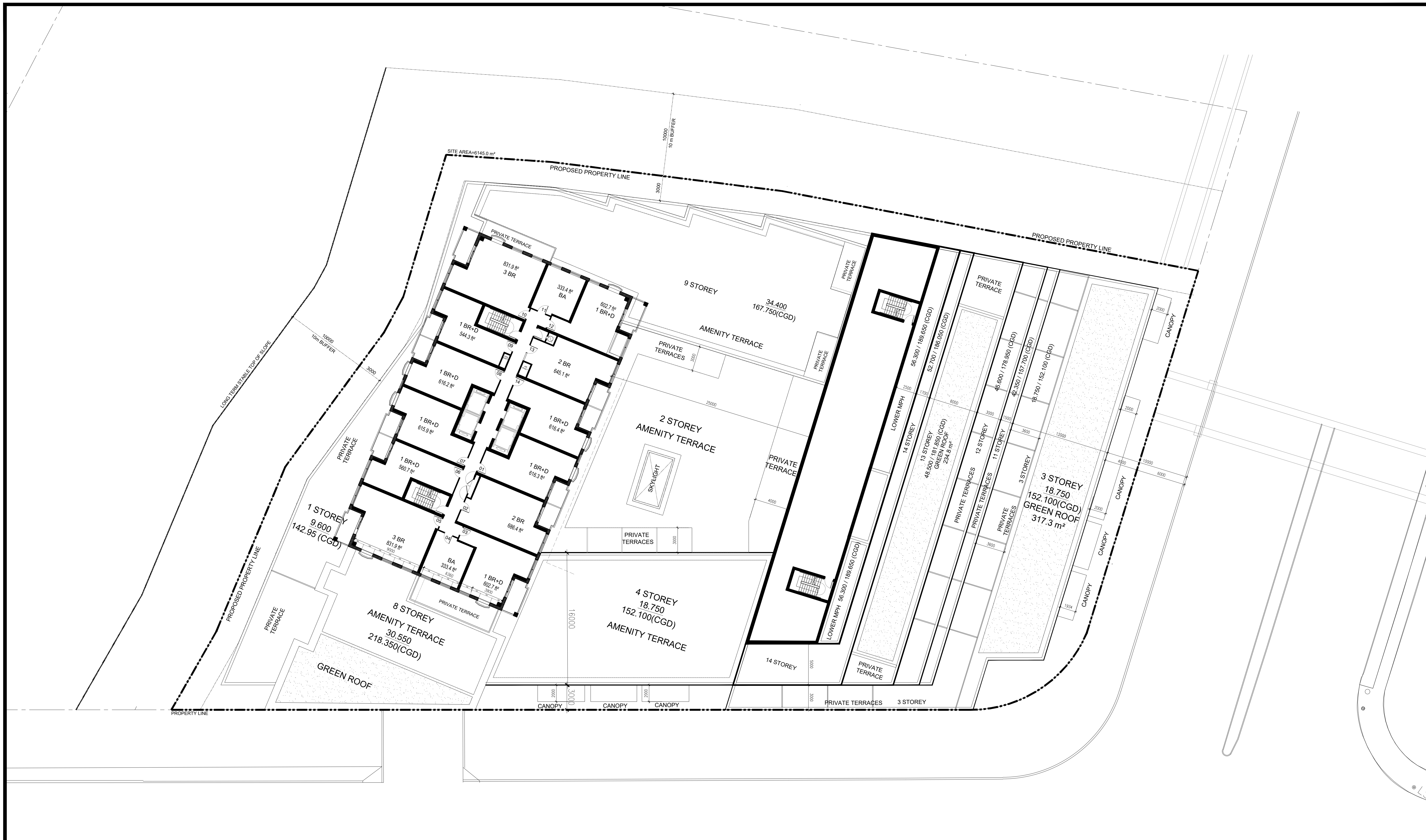
PROPOSED 14 STOREY AND  
 28 STOREY RESIDENTIAL BUILDINGS  
 WEST BUILDING 11-27 FLOOR PLAN  
 EAST BUILDING LOWER MPH  
 4050 YONGE STREET, TORONTO, ONTARIO

SCALE: 1:200  
 DATE: MARCH 14, 2022  
 JOB NO.: 37798  
 DWG NO.: A.22.1

SEAL



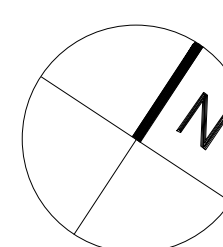
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 MARKHAM, ONTARIO L3R 8T3

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NORTH  
ARROW



PROPOSED 14 STOREY AND  
 28 STOREY RESIDENTIAL BUILDINGS  
 WEST BUILDING 11-27 FLOOR PLAN  
 EAST BUILDING UPPER MPH  
 4050 YONGE STREET, TORONTO, ONTARIO

SCALE: 1:200  
 DATE: MARCH 14, 2022  
 JOB NO.: 37798  
 DWG NO.: A.22.2

SEAL

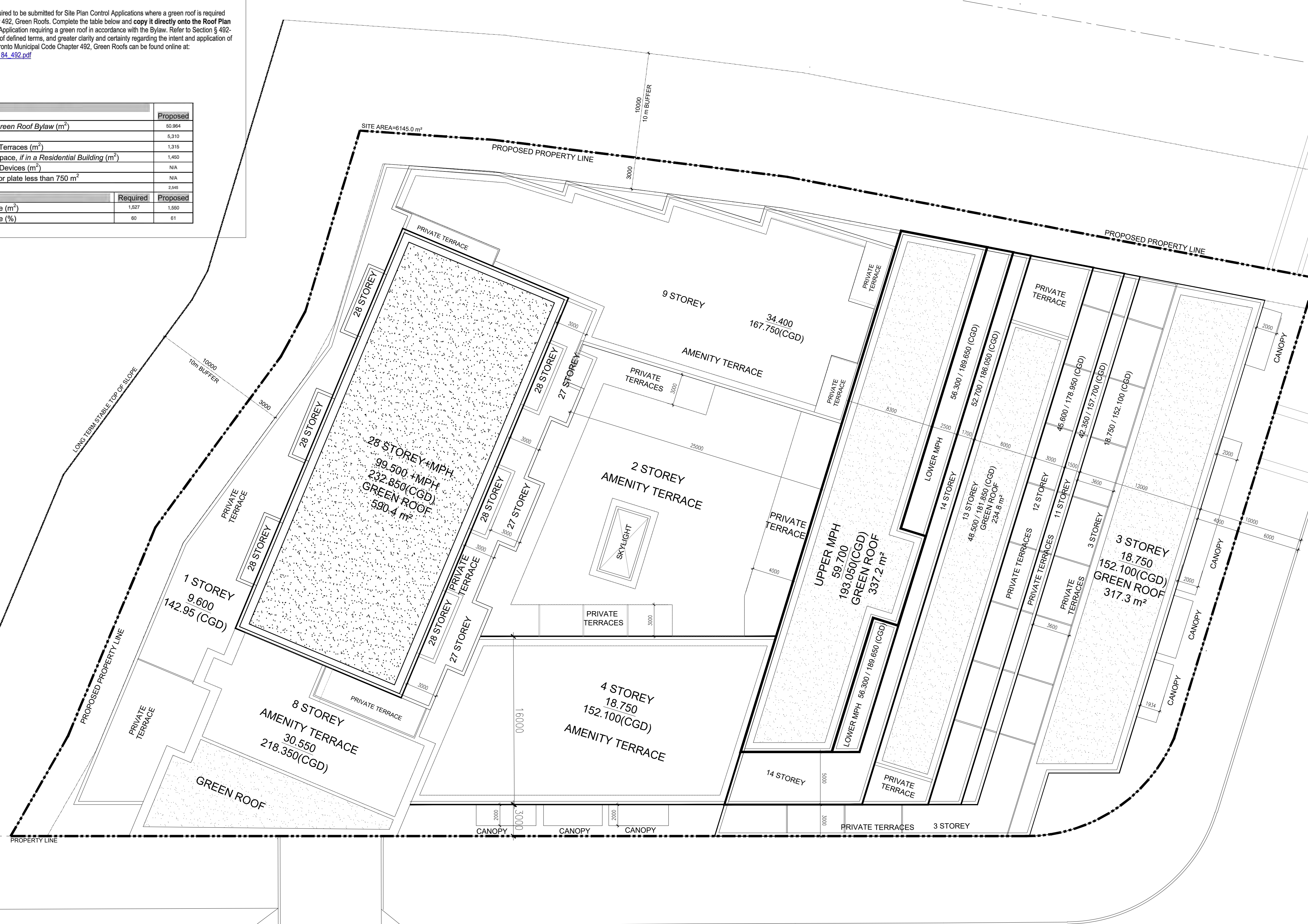


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The Green Roof Statistics Template is required to be submitted for Site Plan Control Applications where a green roof is required under the Toronto Municipal Code Chapter 492, Green Roofs. Complete the table below and copy it directly onto the Roof Plan submitted as part of any Site Plan Control Application requiring a green roof in accordance with the Bylaw. Refer to Section 492-1 of the Municipal Code for a complete list of defined terms, and greater clarity and certainty regarding the intent and application of the terms included in the template. The Toronto Municipal Code Chapter 492, Green Roofs can be found online at: [http://www.toronto.ca/legdocs/municipalcode/1184\\_492.pdf](http://www.toronto.ca/legdocs/municipalcode/1184_492.pdf)

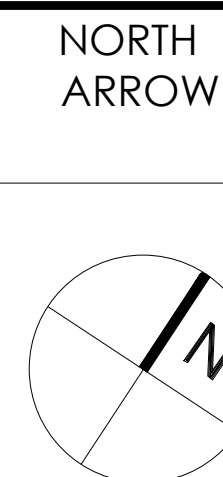
**Green Roof Statistics**

|                                                                               |  | Proposed |
|-------------------------------------------------------------------------------|--|----------|
| Gross Floor Area, as defined in Green Roof Bylaw (m <sup>2</sup> )            |  | 50,994   |
| Total Roof Area (m <sup>2</sup> )                                             |  | 5,310    |
| Area of Residential Private Terraces (m <sup>2</sup> )                        |  | 1,315    |
| Rooftop Outdoor Amenity Space, if in a Residential Building (m <sup>2</sup> ) |  | 1,450    |
| Area of Renewable Energy Devices (m <sup>2</sup> )                            |  | N/A      |
| Tower (s)/Roof Area with floor plate less than 750 m <sup>2</sup>             |  | N/A      |
| Total Available Roof Space (m <sup>2</sup> )                                  |  | 2,645    |
| Green Roof Coverage                                                           |  | Required |
| Coverage of Available Roof Space (m <sup>2</sup> )                            |  | 1,527    |
| Coverage of Available Roof Space (%)                                          |  | 61       |



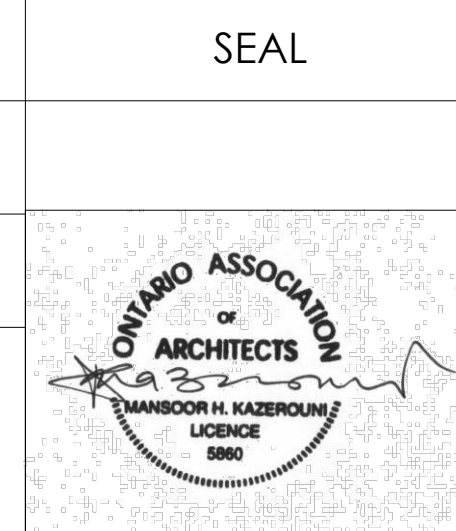
APPLICANT:  
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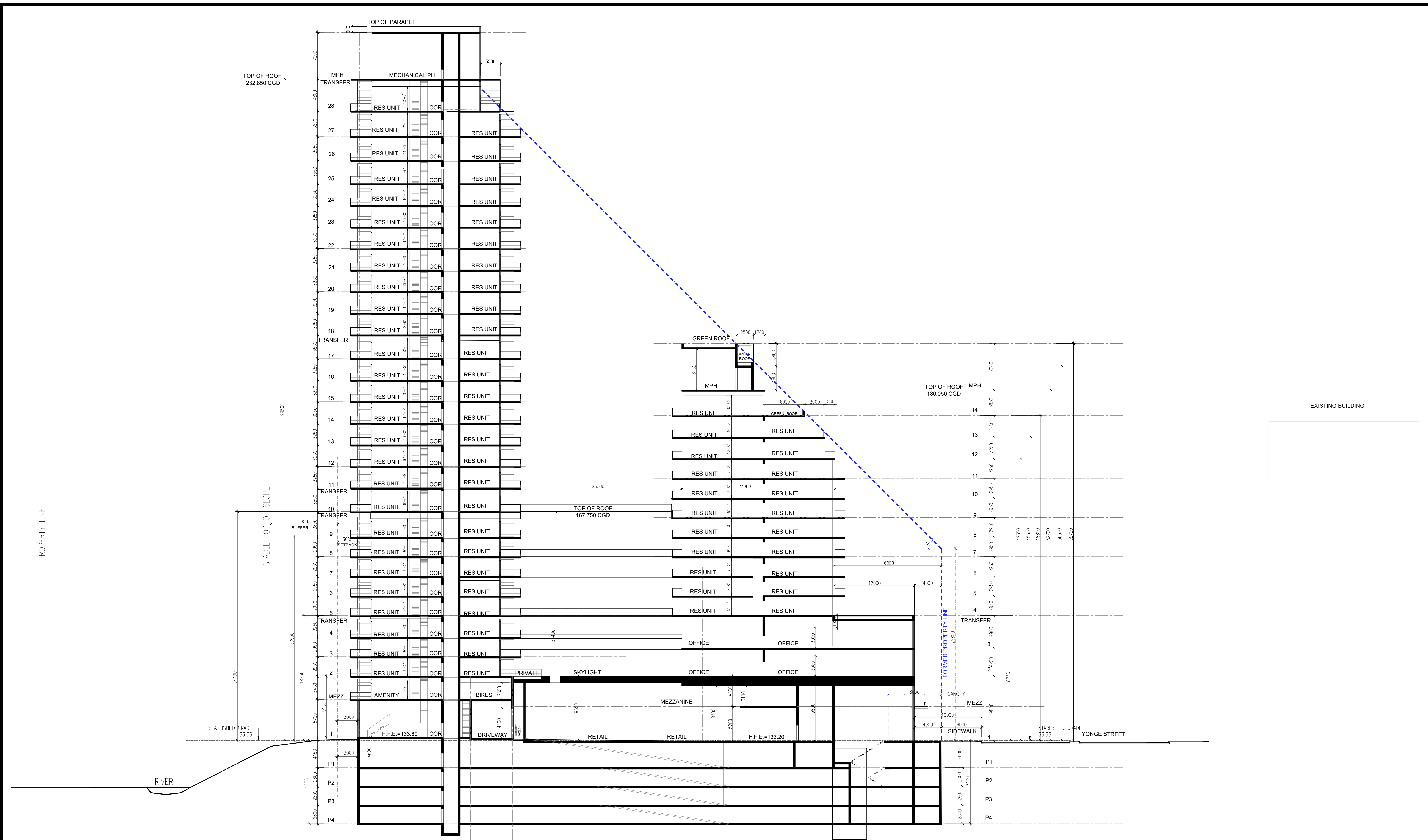
PROPOSED 14 STOREY AND  
 28 STOREY RESIDENTIAL BUILDINGS  
  
 ROOF PLAN  
 4050 YONGE STREET, TORONTO, ONTARIO

SCALE: 1:200  
 DATE: MARCH 14, 2022  
 JOB NO.: 37798  
 DWG NO.: A.23



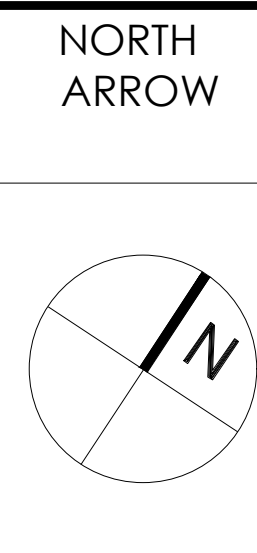
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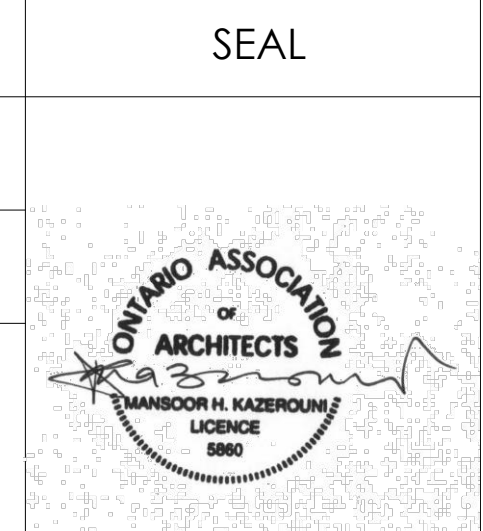
APPLICANT:  
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 GATEWAY CENTRE  
 3100 STEELES AVE. EAST, SUITE 601  
 MARKHAM, ONTARIO L3R 8T3

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PROPOSED 14 STOREY AND  
 28 STOREY RESIDENTIAL BUILDINGS  
 BUILDING SECTION 1-1  
 EAST-WEST SECTION LOOKING NORTH  
 4050 YONGE STREET, TORONTO, ONTARIO


SCALE: 1:200  
 DATE: MARCH 14, 2025  
 JOB NO.: 37798  
 DWG NO.: A.24.1



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**NOTE:**  
 Bird Friendly Glass:  
 85% of the exterior glazing for the first 16 m above grade & 4m above rooftop vegetation:  
 - To be treated with low reflectance materials, and bird friendly glass treatment  
 - To be shaded by overhang  
 - Spandrel glass will have less than 15% reflectance

**Bird-Friendly Design Statistics**

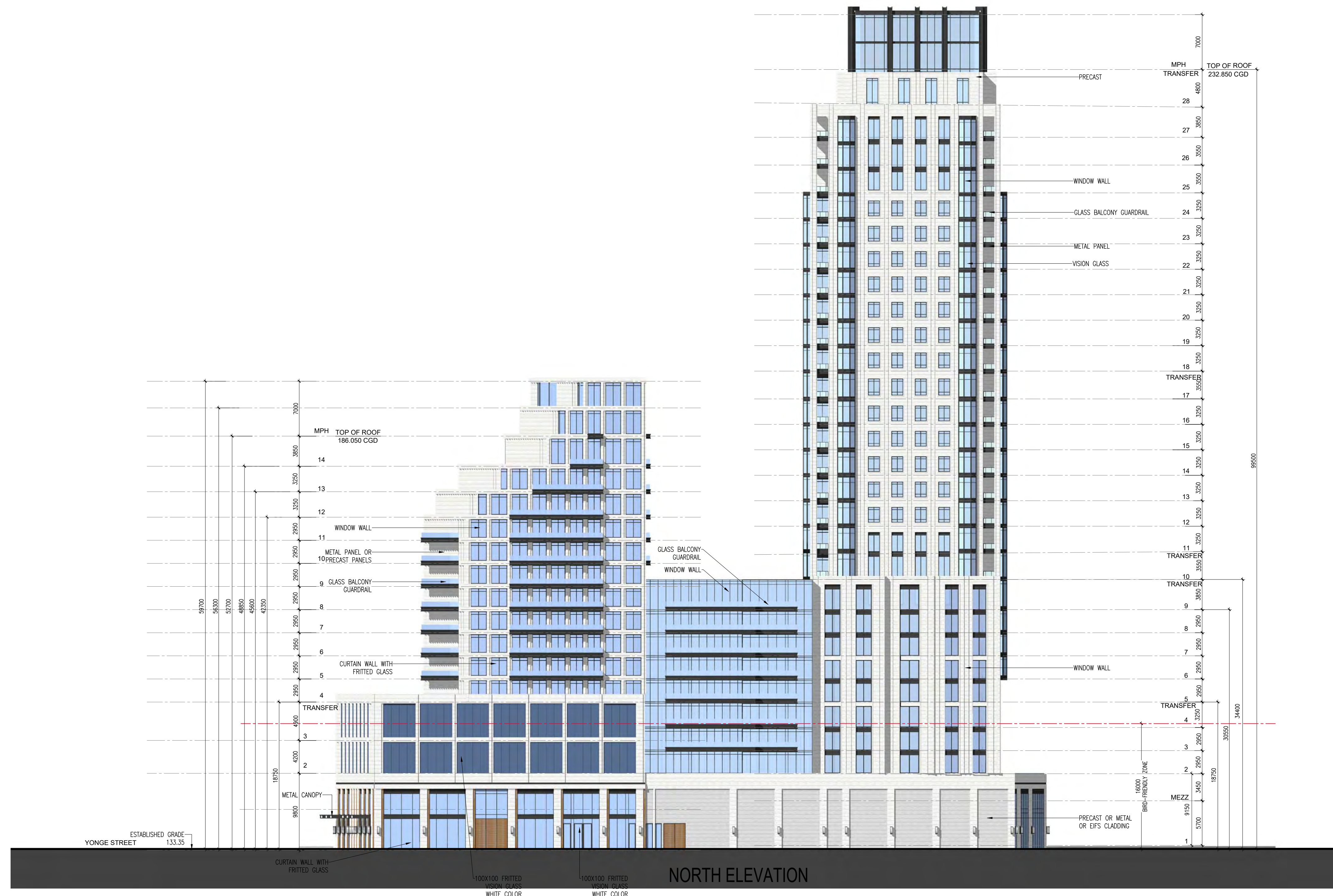


|                                                | Elevation First 16m* Above Grade |       |      |      |            |           |
|------------------------------------------------|----------------------------------|-------|------|------|------------|-----------|
|                                                | North                            | South | East | West | Total (m2) | Total (%) |
| Glazing Area (m <sup>2</sup> )                 | 511                              | 800   | 825  | 378  | 2,513      | 100%      |
| Untreated Area (m <sup>2</sup> )               | 77                               | 120   | 124  | 57   | 377        | 15%       |
| Treated Area (m <sup>2</sup> )                 | 434                              | 680   | 701  | 321  | 2,136      | 85%       |
| Low-Reflectance Opaque Glass (m <sup>2</sup> ) | 22                               | 34    | 70   | 32   | 158        | 6%        |
| Visual Markers (m <sup>2</sup> )               | 412                              | 646   | 631  | 289  | 1,978      | 79%       |

\*For Site Plan Approval applications received after January 1, 2020, treat the first 16m above grade.

|                                                | Elevation First 4m Above Rooftop Vegetation* |       |                 |      |            |           |
|------------------------------------------------|----------------------------------------------|-------|-----------------|------|------------|-----------|
|                                                | North                                        | South | East (Floor 14) | West | Total (m2) | Total (%) |
| Glazing Area (m <sup>2</sup> )                 |                                              |       | 154             |      | 154        | 100%      |
| Untreated Area (m <sup>2</sup> )               | 0                                            | 0     | 23              | 0    | 23         | 15%       |
| Treated Area (m <sup>2</sup> )                 | 0                                            | 0     | 131             | 0    | 131        | 85%       |
| Low-Reflectance Opaque Glass (m <sup>2</sup> ) | 0                                            | 0     | 13              | 0    | 13         | 9%        |
| Visual Markers (m <sup>2</sup> )               | 0                                            | 0     | 118             | 0    | 118        | 77%       |

\* Include this section only when applicable and provide relevant floor numbers for reference



APPLICANT:  
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 GATEWAY CENTRE  
 3100 STEELES AVE. EAST, SUITE 601  
 MARKHAM, ONTARIO L3R 8T3

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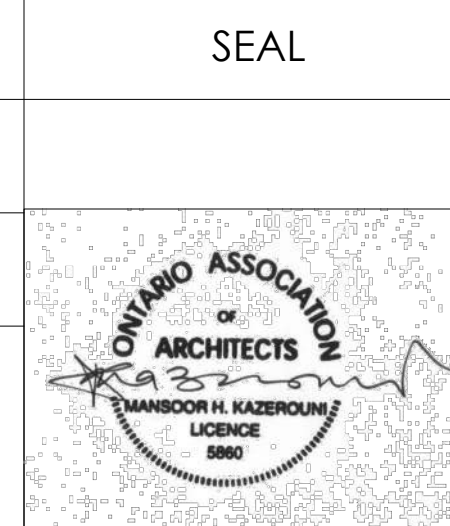
NORTH  
 ARROW

PROPOSED 14 STOREY AND  
 28 STOREY RESIDENTIAL BUILDINGS

**BUILDING ELEVATIONS**

4050 YONGE STREET, TORONTO, ONTARIO


SCALE: 1:200  
 DATE: MARCH 14, 1:300  
 JOB NO.: 37798  
 DWG NO.: A.25.1



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**NOTE:**  
 Bird Friendly Glass:  
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 - To be treated with low reflectance materials, and bird friendly glass treatment  
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**Bird-Friendly Design Statistics**

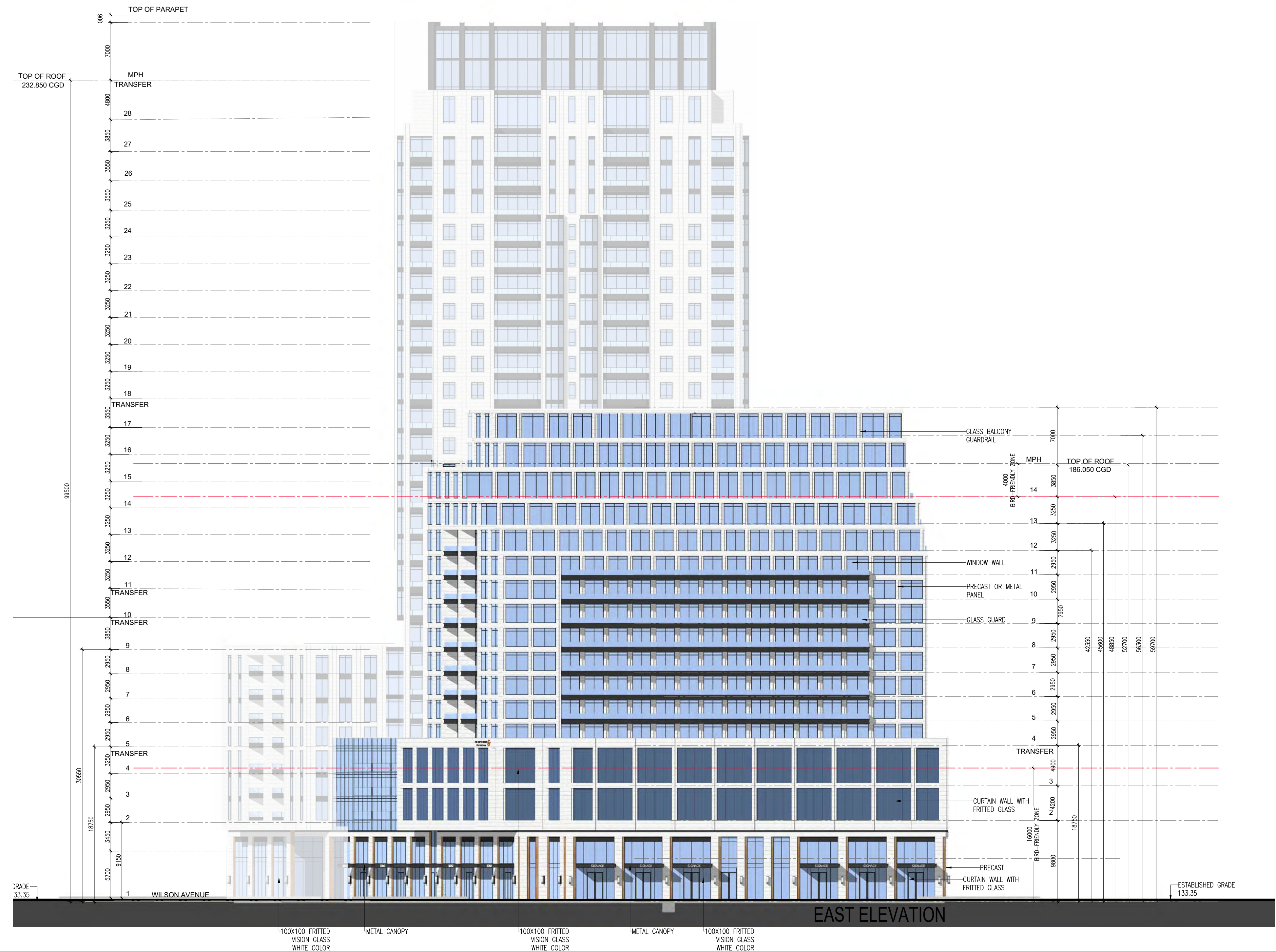


|                                                | Elevation First 16m* Above Grade |       |      |      |            |           |
|------------------------------------------------|----------------------------------|-------|------|------|------------|-----------|
|                                                | North                            | South | East | West | Total (m2) | Total (%) |
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APPLICANT:  
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NORTH  
 ARROW

PROPOSED 14 STOREY AND  
 28 STOREY RESIDENTIAL BUILDINGS

**BUILDING ELEVATIONS**

4050 YONGE STREET, TORONTO, ONTARIO

SCALE: 1:200

DATE: MARCH 14, 1:300

JOB NO.: 37798

DWG NO.: A.25.2

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