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20.015 - 134 LAIRD DRIVE
TORONTO, ONTARIO

REVISED: 2022-02-17

PROJECT SUMMARY

CITY OF TORONTO ZONING BY-LAW NO.569-2013

LAND USE	m ²	ft ²	%
BUILDING COVERAGE (GROUND FLOOR)			
LANDSCAPED OPEN SPACE	1,329.8	14,314	69.1%
PAVED AREA	595.4	6,409	30.9%
TOTAL SITE AREA (POST CONVEYANCE)	1,925.2	20,723	100.0%

PROJECT INFORMATION

	REQUIRED	PROVIDED
BUILDING HEIGHT* (EXCL. MPH)	27m (MAX)	25.65m (8 STOREYS)
BUILDING HEIGHT** (INCL. MPH)		32.15m (8 STOREYS)
BUILDING SETBACKS		
NORTH SETBACK	0m	0m
SOUTH SETBACK	0m	0m
EAST SETBACK	3.44m	3.44m
WEST SETBACK	7.5m	7.5m

*BUILDING HEIGHT AS PER CITY OF TORONTO ZONING BY-LAW 569-2013

**BUILDING HEIGHT (INCL. MPH) MEASURED TO ROOF OF ELEVATOR OVERRUN

GROSS FLOOR AREA SUMMARY

PARCEL	USE	GFA		FSI
		m ²	ft ²	
8-STORY BUILDING	RETAIL	147.9	1,592.0	0.1
	TOTAL NON-RESIDENTIAL	147.9	1,592	0.08
	RESIDENTIAL	7,594.5	81,747	3.94
	INDOOR AMENITY			
	TOTAL RESIDENTIAL	7,594.5	81,747	3.94
	TOTAL	7,742.4	83,339	4.02

TOTAL FLOOR AREA SUMMARY

FLOORS	TFA	
	m ²	ft ²
U/G 1 - U/G 2	3,569.4	38,421
FLOOR 1 - M.P.H.	8,362.4	90,013
TOTAL	11,931.8	128,433

GROSS FLOOR AREA DEFINITION

CITY OF TORONTO ZONING BY-LAW NO.569-2013

Gross Floor Area Calculations for an Apartment Building in the Commercial Residential Zone Category
In the Commercial Residential Zone category the gross floor area of an apartment building is reduced by the area in the building used for:

- (A) parking, loading and bicycle parking below-ground;
- (B) required loading spaces at the ground level and required bicycle parking spaces at or above-ground;
- (C) storage rooms, washrooms, electrical, utility, mechanical and ventilation rooms in the basement;
- (D) shower and change facilities required by this By-law for required bicycle parking spaces;
- (E) amenity space required by this By-law;
- (F) elevator shafts;
- (G) garbage shafts;
- (H) mechanical penthouse; and
- (I) exit stairwells in the building.

*Total Floor Area (TFA) includes parking and drive aisle at underground parking levels.

The maximum gross floor area of any one retail or service use on any single floor shall not exceed 5,000 square metres excluding:

GROSS FLOOR AREA (GFA) BREAKDOWN

	FLOOR	# OF UNITS	GROSS FLOOR AREA BREAKDOWN										TOTAL GROSS FLOOR AREA [GFA] (TFA - EXCLUSIONS)				
			RETAIL				RESIDENTIAL				TOTAL RESIDENTIAL		m ²	ft ²			
			RETAIL		RETAIL SERVICE		SALEABLE		NON-SALEABLE		m ²	ft ²					
			m ²	ft ²	m ²	ft ²	m ²	ft ²	m ²	ft ²			m ²	ft ²			
8-STORY BUILDING	U/G 2							50.4	543	50.4	543	50.4	543				
	U/G 1							55.8	601	55.8	601	55.8	601				
	1	8	147.9	1,592			147.9	1,592	334.6	3,602	202.2	2,176	536.8	5,778	684.7	7,370	
	2	15							1,090.1	11,734	64.8	698	1,154.9	12,431	1,154.9	12,431	
	3	20							1,389.1	14,952	75.6	814	1,464.7	15,766	1,464.7	15,766	
	4	20							1,228.9	13,228	75.6	814	1,304.5	14,042	1,304.5	14,042	
	5	18							970.9	10,451	71.0	764	1,041.9	11,215	1,041.9	11,215	
	6	13							816.2	8,786	71.0	764	887.2	9,550	887.2	9,550	
	7	11							661.7	7,122	69.2	745	730.9	7,867	730.9	7,867	
	8	4							298.2	3,210	69.2	745	367.4	3,955	367.4	3,955	
	MPH																
TOTAL	109			147.9	1,592			147.9	1,592	6,789.7	73,084	804.8	8,663	7,594.5	81,747	7,742.4	83,339

AMENITY BREAKDOWN

OUTDOOR AMENITY		INDOOR AMENITY	
m ²	ft ²	m ²	ft ²
		135.7	1,461
124.1	1,336		
103.0	1,109	31.7	341
227.1	2,444	167.4	1,802

AREA EXCLUSIONS		TOTAL FLOOR AREA [TFA] (NO EXCLUSIONS)	
TOTAL EXCLUSIONS			
m ²	ft ²	m ²	ft ²
1,734.3	18,668	1,784.7	19,210
1,728.9	18,610	1,784.7	19,210
122.2	1,315	942.6	10,147
40.6	437	1,195.5	12,868
40.6	437	1,505.3	16,203
40.6	437	1,345.1	14,479
40.6	437	1,082.5	11,652
40.6	437	927.8	9,987
40.6	437	771.5	8,304
40.6	437	408.0	4,392
152.4	1,640	184.1	1,982
4,022.0	43,292	11,931.8	128,433

EFFICIENCY	EFFICIENCY (INCL. AMENITY)
%	%
51.2%	65.6%
91.2%	91.2%
92.3%	92.3%
91.4%	91.4%
89.7%	89.7%
88.0%	88.0%
85.8%	85.8%
73.1%	73.1%
17.2%	17.2%
83.0%	85.0%

#	DATE	DESCRIPTION	BY
4	2022-02-18	WITHOUT PREJUDICE SETTLEMENT	KLE
3	2021-09-03	RESUBMISSION FOR ZBA & SPA APPLICATION	KLE
2	2021-05-07	RESUBMISSION FOR ZBA & SPA APPLICATION	KLE
1	2020-08-14	ISSUED FOR ZBA & SPA APPLICATION	KLE

LEASIDE RESIDENCES I LP

PROJECT	134 LAIRD DRIVE
TORONTO, ON	

STATISTICS

PROJECT NO.	20.015CS
PROJECT DATE	2021-05-07
DRAWN BY	MDL
CHECKED BY	AYU
SCALE	

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134 LAIRD UNIT MIX - PROVIDED

FLOOR	UNIT TYPE							TOTAL
	1B	1B+D	2B	2B+D	3B	3B+D	TH (3B)	
1	4						4	8
2	6	4	2	3				15
3	5	5	2	7	1			20
4	5	5	9	1				20
5	5	8	4		1			18
6	3	4	4		2			13
7	5		4	1	1			11
8			1		3			4
SUBTOTAL	33	26	26	12	8		4	109
TOTAL UNITS	59		38		12			
UNIT MIX	54.1%		34.9%		11.0%			100.0%
AVG UNIT SIZE (m ²)	45.5	56.8	67.3	84.4	90.2		95.2	
AVG UNIT SIZE (ft ²)	490	611	724	908	971		1,025	

BARRIER-FREE UNITS - REQUIRED

FLOOR	BARRIER-FREE UNITS				TOTAL
	STUDIO	1B	2B	3B	
RATIO	15%	15%	15%	15%	15%
COUNT	0	9	6	2	17

BARRIER-FREE UNITS - PROVIDED

FLOOR	BARRIER-FREE UNITS				TOTAL
	STUDIO	1B	2B	3B	
TOTAL	0	9	6	2	17
RATIO	0	15%	16%	17%	15%

AMENITY AREAS - REQUIRED + PROVIDED

8-STORY BUILDING	TYPE	REQUIRED			PROVIDED		
		RATIO	m2	ft2	RATIO	m2	ft2
	INDOOR AMENITY	2.0 m2/ UNIT	218.0	2,347	1.5 m2 / UNIT	167.4	1,802
	OUTDOOR AMENITY	TOTAL AMENITY REQUIRED MINUS THE INDOOR AMENITY PROVIDED (NO LESS THAN 40m2)			2.1 m2 / UNIT	227.1	2,444
	TOTAL AMENITY	4.0 m2/ UNIT	436.0	4,693	3.6 m2 / UNIT	394.5	4,247

AMENITY REQUIRED AS PER CITY OF TORONTO ZONING BY-LAW NO. 569-2013

VEHICULAR PARKING - REQUIRED

VEHICULAR PARKING RATIOS AS PER CITY OF TORONTO ZONING BY-LAW 569-2013

8-STORY BUILDING	USE	RATIO (MIN.)	UNITS / GFA (m ²)	SPACES (MIN.)
	1B & 1B+D UNITS	0.90 / UNIT	59	53
2B & 2B+D UNITS	1.00 / UNIT	38	38	
3B & 3B+D UNITS	1.20 / UNIT	12	14	
TOTAL RESIDENTIAL				105
RES. VISITOR	0.20 / UNIT	109	21	
RETAIL (<200m2)	N/A	147.9		
TOTAL VISITOR & RETAIL				21
TOTAL REQUIRED				126

ACCESSIBLE PARKING - REQUIRED

* VEHICULAR PARKING RATIOS AS PER CITY OF TORONTO ZONING BY-LAW 579-2017.

8-STORY BUILDING	USE	RATIO (MIN.)	MIN. B/F REQ'D.
	RESIDENTIAL + VISITOR	MINIMUM OF 1 PARKING SPACE FOR EVERY 25 SPACES OR PART THEREOF	
TOTAL ACCESSIBLE PARKING SPACES REQUIRED			3

BICYCLE PARKING - REQUIRED

* BICYCLE PARKING RATIOS AS PER CITY OF TORONTO ZONING BY-LAW 569-2013 AS AMENDED; BICYCLE ZONE 1.

8-STORY BUILDING	USE	RESIDENTIAL		TOTAL
		RATIO	SPACES	
SHORT TERM	0.10 / UNIT	11	11	
LONG TERM	0.90 / UNIT	99	99	
TOTAL REQUIRED				110

VEHICULAR PARKING - PROVIDED

8-STORY BUILDING	FLOOR	USE			TOTAL
		RESIDENTIAL	CAR SHARE*	VISITOR /RETAIL	
FLOOR 1					
U/G LEVEL 1		16	2	12	30
U/G LEVEL 2		42			42
SUBTOTAL*					72
TOTAL PROVIDED (EFFECTIVE)		66		12	78
RATIO PROVIDED (INCLUDING CAR-SHARE)		0.61		0.11	0.66

*EACH CAR SHARE SPACE EQUALS 4 RESIDENTIAL PARKING SPACES

NOTE: ELECTRICAL VEHICLE PARKING SPACES AT U/G LEVEL 1 ARE INCLUDED IN TOTALS

ACCESSIBLE PARKING - PROVIDED

8-STORY BUILDING	FLOOR	SPACES	TOTAL
U/G LEVEL 1		3	3
U/G LEVEL 2			
TOTAL PROVIDED			3

BICYCLE PARKING - PROVIDED

8-STORY BUILDING	FLOOR	RESIDENTIAL			TOTAL
		SHORT TERM	LONG TERM	SUB-TOTAL	
FLOOR 1					
U/G LEVEL 1		12		12	12
U/G LEVEL 2			100	100	100
TOTAL PROVIDED		12	100	112	112

EV PARKING SPACES - PROVIDED

	RESIDENTIAL	VISITOR /RETAIL	ROUGH-IN	TOTAL
U/G LEVEL 1	3	2		6
U/G LEVEL 2	8			8
TOTAL PROVIDED	12	2		14

EV PARKING SPACES ARE 20% OF VEHICULAR PARKING TOTAL, NOT INCLUDING CAR SHARE

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LEASIDE RESIDENCES I LP

PROJECT
134 LAIRD DRIVE

TORONTO, ON

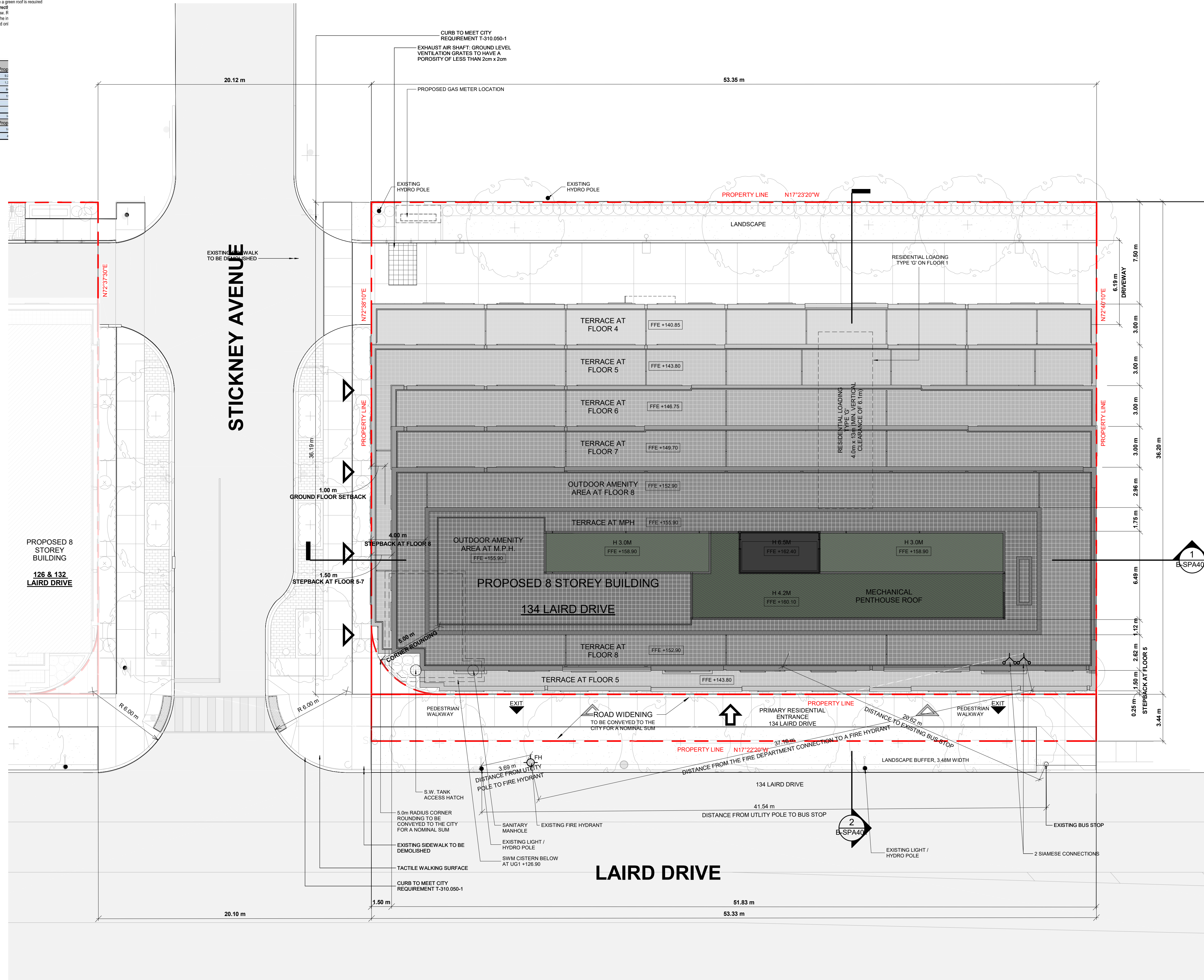
DRAWING
STATISTICS

PROJECT NO.
20.015CS
PROJECT DATE
2021-05-07
DRAWN BY
MDL
CHECKED BY
AYU
SCALE

DRAWING NO.
B-SPA002

The Green Roof Statistics Template is required to be submitted for Site Plan Control Applications where a green roof is required under the Toronto Municipal Code Chapter 492: Green Roofs. Complete the table below and copy it directly submitted as part of any Site Plan Control Application requiring a green roof in accordance with the By-law R 1 of the Municipal Code for a complete list of defined terms, and greater clarity and certainty regarding the terms included in the template. The Toronto Municipal Code Chapter 492: Green Roofs can be found on http://www.toronto.ca/foodbank/municipalcode/1184_492.pdf

Available Roof Space Calculation	
Gross Floor Area, as defined in Green Roof Bylaw (m ²)	Prog
Total Roof Area (m ²)	12
Area of Residential Private Terraces (m ²)	8
Roofing Outdoor Amenity Space, # in a Residential Building (m ²)	4
Area of Renewable Energy Devices (m ²)	0
Tower (a) Roof Area with floor plate less than 750 m ²	0
Total Available Roof Space (m ²)	16
Green Roof Coverage	
Coverage of Available Roof Space (m ²)	100
Coverage of Available Roof Space (%)	62



Turner Fleischer Architects Inc.
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Toronto, ON, M5B 2T8
T 416 425 2222
turnerfleischer.com

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LEGEND

- PRIMARY RESIDENTIAL ENTRANCE
- SECONDARY RESIDENTIAL ENTRANCE
- LIVE / WORK ENTRANCE
- EXIT
- FIRE HYDRANT
- SIAMESE CONNECTION
- CONVEX MIRROR
- TRANSFORMER WITH CLEARANCES
- FIRE ROUTE SIGN
- SPOT ELEVATION
- GAS/HYDRO METER

#	DATE	DESCRIPTION	BY
4	2022-02-18	WITHOUT PREJUDICE SETTLEMENT	KLE
3	2021-09-03	RESUBMISSION FOR ZBA & SPA APPLICATION	KLE
2	2021-05-07	RESUBMISSION FOR ZBA & SPA APPLICATION	KLE
1	2020-08-14	ISSUED FOR ZBA & SPA APPLICATION	KLE

LEASIDE RESIDENCES I LP

PROJECT
134 LAIRD DRIVE
TORONTO, ON

SITE PLAN / ROOF PLAN

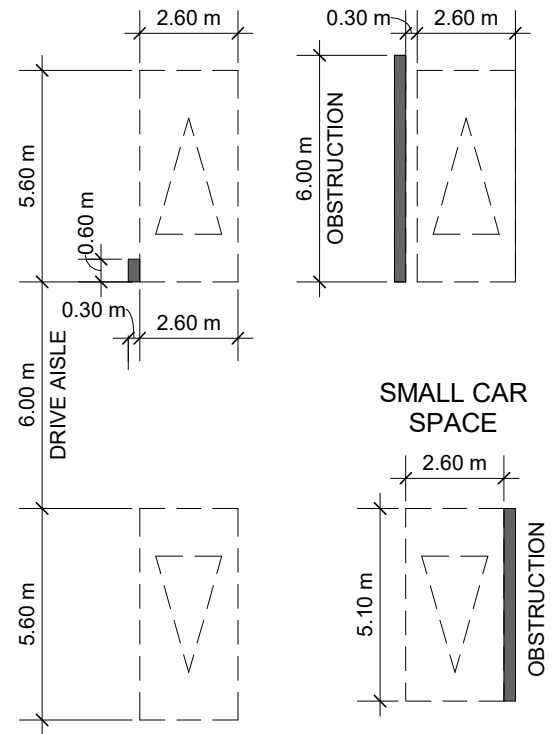
PROJECT NO.	20.015CS
PROJECT DATE	2021-05-07
DRAWN BY	MDL
CHECKED BY	AYU
SCALE	As indicated

SCALE: As indicated

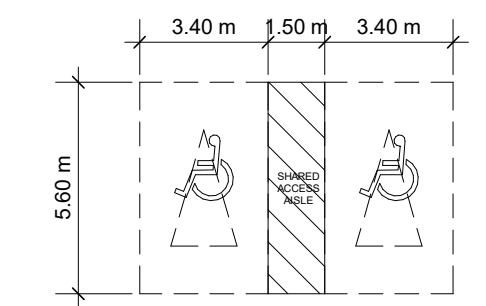
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B-SPA006

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TYPICAL DIMENSIONS (UNLESS OTHERWISE NOTED):
AISLE WIDTH: MIN. 6m
TYPICAL PARKING SPACE:
MIN 2.6 x 5.6 x 2.0 HIGH
PARALLEL PARKING SPACE:
MIN 2.6 x 6.7 x 2.0 HIGH
SMALL CAR SPACE:
MIN 2.3 X 4.4 X 2.0 HIGH



TYPICAL BARRIER FREE SPACE MIN. 3.4 x 5.6 x 2.1m HIGH



LEGEND



CONVEX MIRROR

4	2022-02-18	WITHOUT PREJUDICE SETTLEMENT	KLE
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1	2020-08-14	ISSUED FOR ZBA & SPA APPLICATION	KLE
#	DATE	DESCRIPTION	BY

LEASIDE RESIDENCES I LP

PROJECT
134 LAIRD DRIVE

TORONTO, ON

DRAWING
UNDERGROUND LEVEL 02

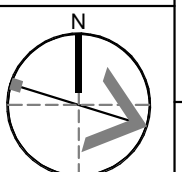
PROJECT NO.
20.015CS

PROJECT DATE
2021-05-07

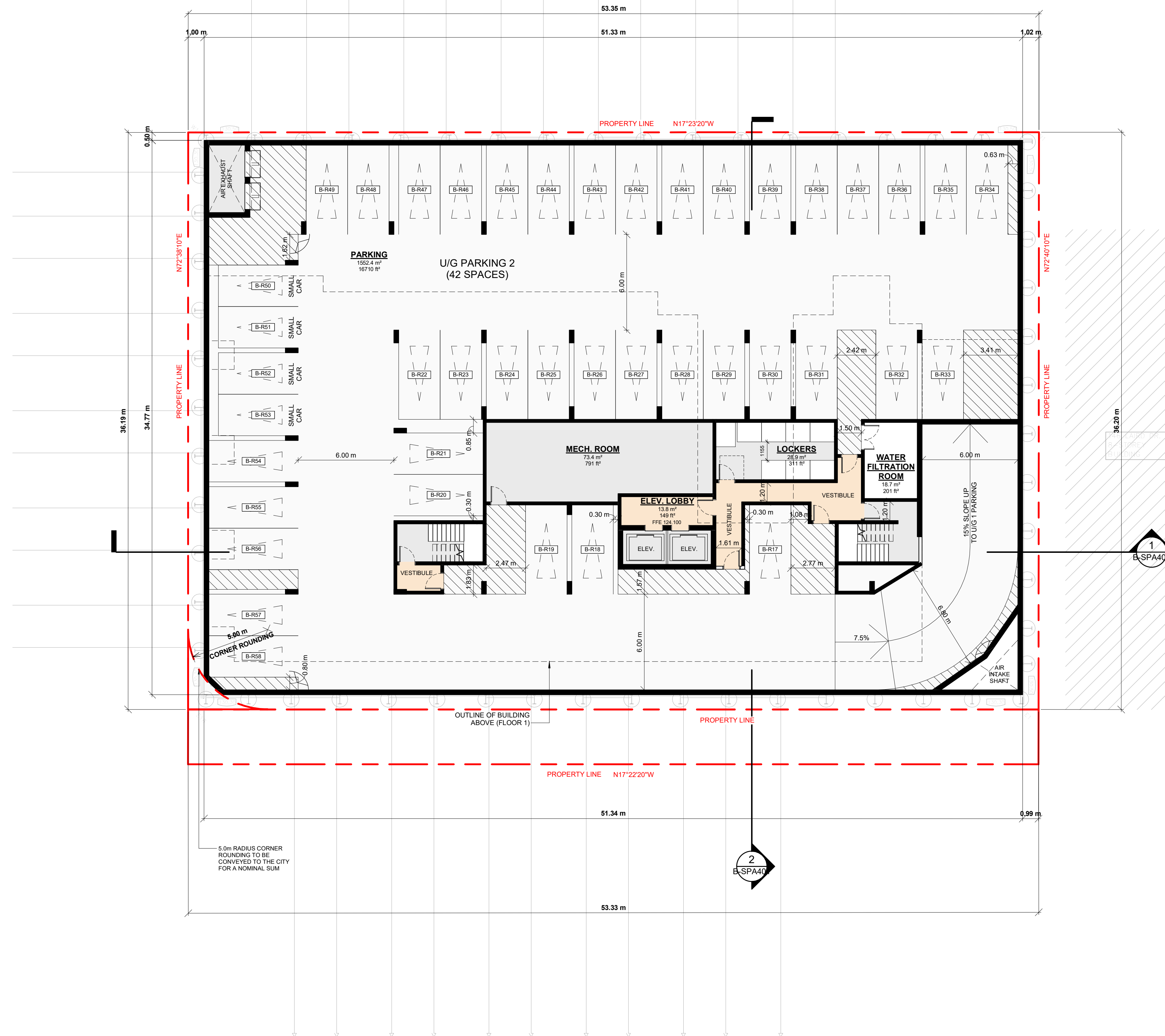
DRAWN BY
MDL

CHECKED BY
AYU

SCALE
As indicated

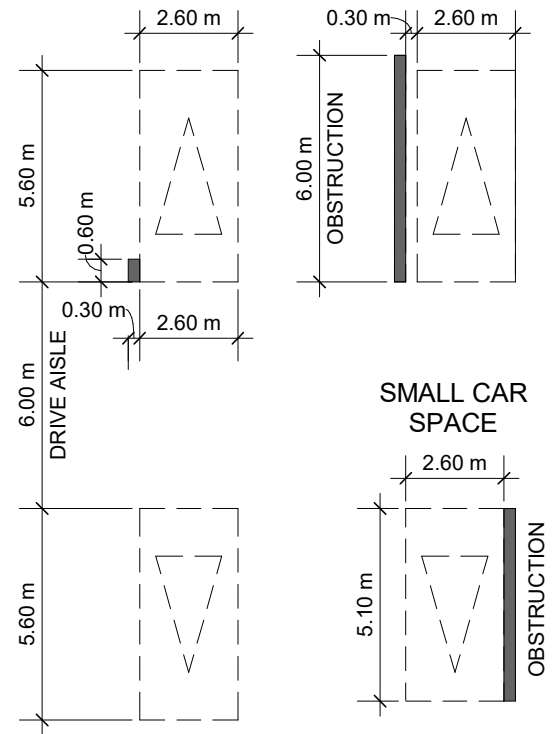


DRAWING NO.
B-SPA101

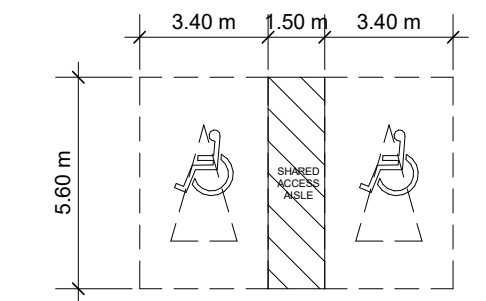


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TYPICAL DIMENSIONS (UNLESS OTHERWISE NOTED):
AISLE WIDTH: MIN. 6m
TYPICAL PARKING SPACE:
MIN 2.6 x 5.6 x 2.0 HIGH
PARALLEL PARKING SPACE:
MIN 2.6 x 6.7 x 2.0 HIGH
SMALL CAR SPACE:
MIN 2.3 x 4.4 x 2.0 HIGH



TYPICAL BARRIER FREE SPACE MIN.
3.4 x 5.6 x 2.1m HIGH



LEGEND

CONVEX MIRROR

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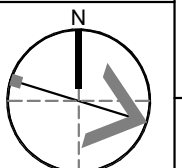
LEASIDE RESIDENCES I LP

PROJECT
134 LAIRD DRIVE

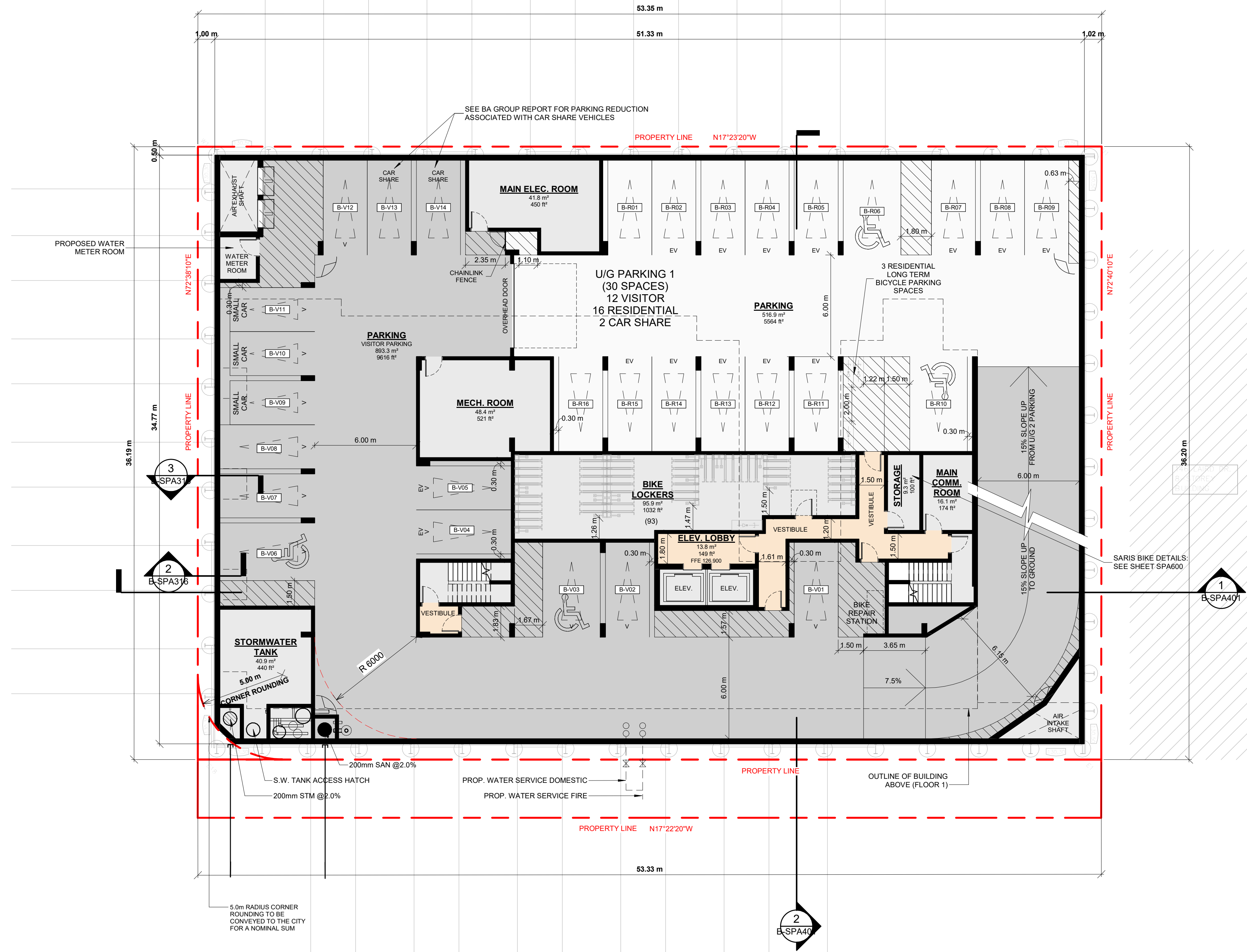
TORONTO, ON

DRAWING
UNDERGROUND LEVEL 01

PROJECT NO.
20.015CS
PROJECT DATE
2021-05-07
DRAWN BY
MDL
CHECKED BY
AYU
SCALE
As indicated



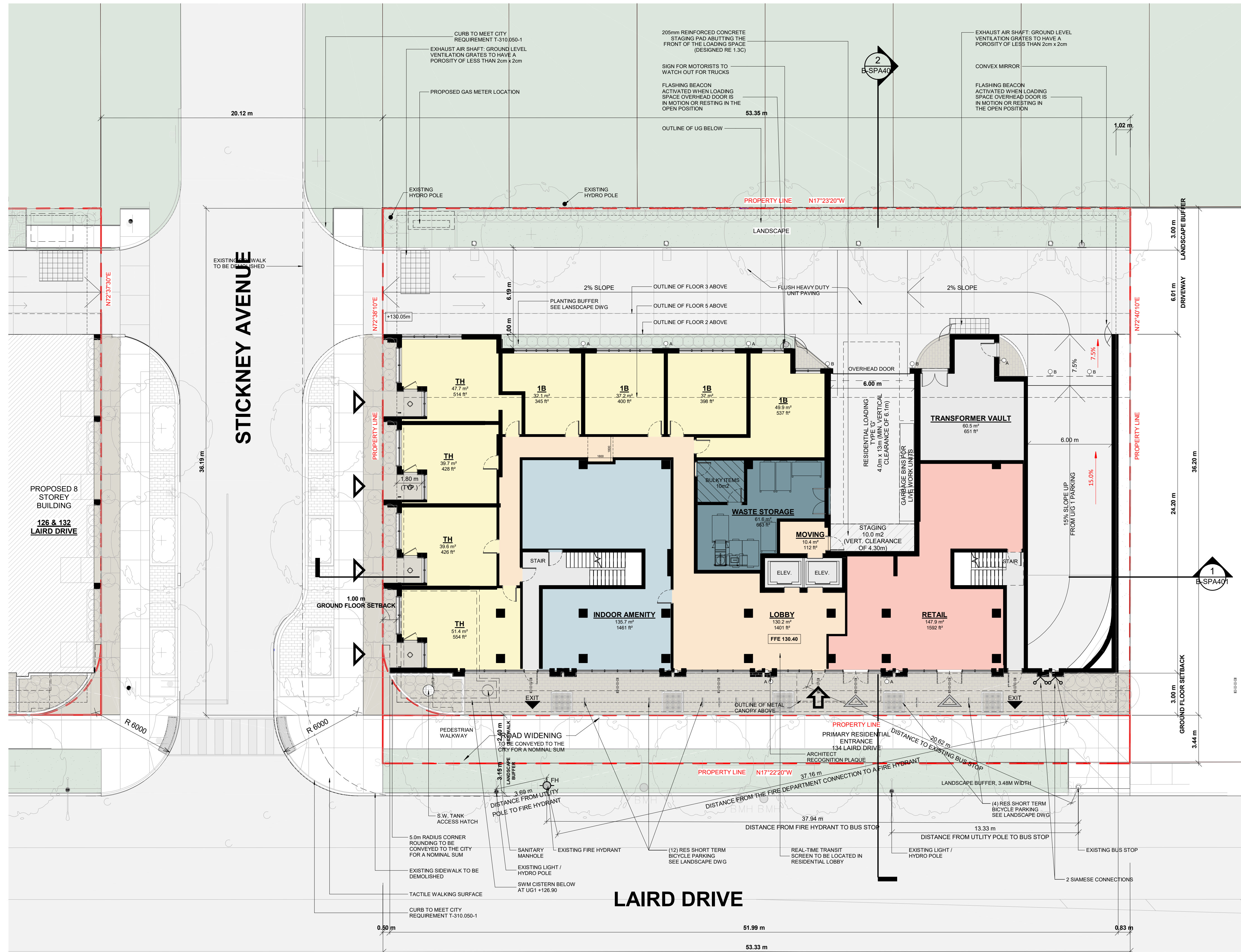
DRAWING NO.
B-SPA102



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LEGEND

	PRIMARY RESIDENTIAL ENTRANCE
	SECONDARY RESIDENTIAL ENTRANCE
	LIVE / WORK ENTRANCE
	EXIT
	FIRE HYDRANT
	SIAMESE CONNECTION
	CONVEX MIRROR
	TRANSFORMER WITH CLEARANCES
	FIRE ROUTE SIGN
	SPOT ELEVATION
	GAS/HYDRO METER
	WALL MOUNT LIGHT (H:1933mm)
	WALL MOUNT LIGHT (H:3150mm)
	RECESSED WALL MOUNT LIGHT (H:1933mm)
	POST LIGHT FIXTURE (REFER TO LANDSCAPE DWG)
	CEILING MOUNT RECESSED LIGHT ABOVE (H:3300mm)
	CEILING MOUNT RECESSED LINEAR LED LIGHT ABOVE (H:3800mm)



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LEASIDE RESIDENCES I LP

PROJECT	134 LAIRD DRIVE
	TORONTO, ON

DRAWING	FLOOR 01
---------	-----------------

PROJECT NO.	20.015CS
PROJECT DATE	2021-05-07
DRAWN BY	MDL
CHECKED BY	AYU
SCALE	As indicated

	DRAWING NO.
	B-SPA151

LEGEND

	WALL MOUNT LIGHT (H: 2050mm FROM FLOOR 2 H: 6550mm FROM FLOOR 1)
--	--



4	2022-02-18	WITHOUT PREJUDICE SETTLEMENT	KLE
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1	2020-08-14	ISSUED FOR ZBA & SPA APPLICATION	KLE
#	DATE	DESCRIPTION	BY

LEASIDE RESIDENCES I LP

PROJECT
134 LAIRD DRIVE
TORONTO, ON

DRAWING
FLOOR 02

PROJECT NO.
20.015CS

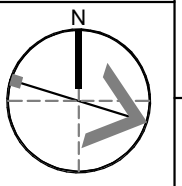
PROJECT DATE
2021-05-07

DRAWN BY
MDL

CHECKED BY
AYU

SCALE
As indicated

DRAWING NO.
B-SPA152



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LEGEND

-  WALL MOUNT LIGHT
(H: 1375mm FROM FLOOR 3
H: 8875mm FROM FLOOR 1)



#	DATE	DESCRIPTION	BY
4	2022-02-18	WITHOUT PREJUDICE SETTLEMENT	KLE
3	2021-09-03	RESUBMISSION FOR ZBA & SPA APPLICATION	KLE
2	2021-05-07	RESUBMISSION FOR ZBA & SPA APPLICATION	KLE
1	2020-08-14	ISSUED FOR ZBA & SPA APPLICATION	KLE

LEASIDE RESIDENCES I LP

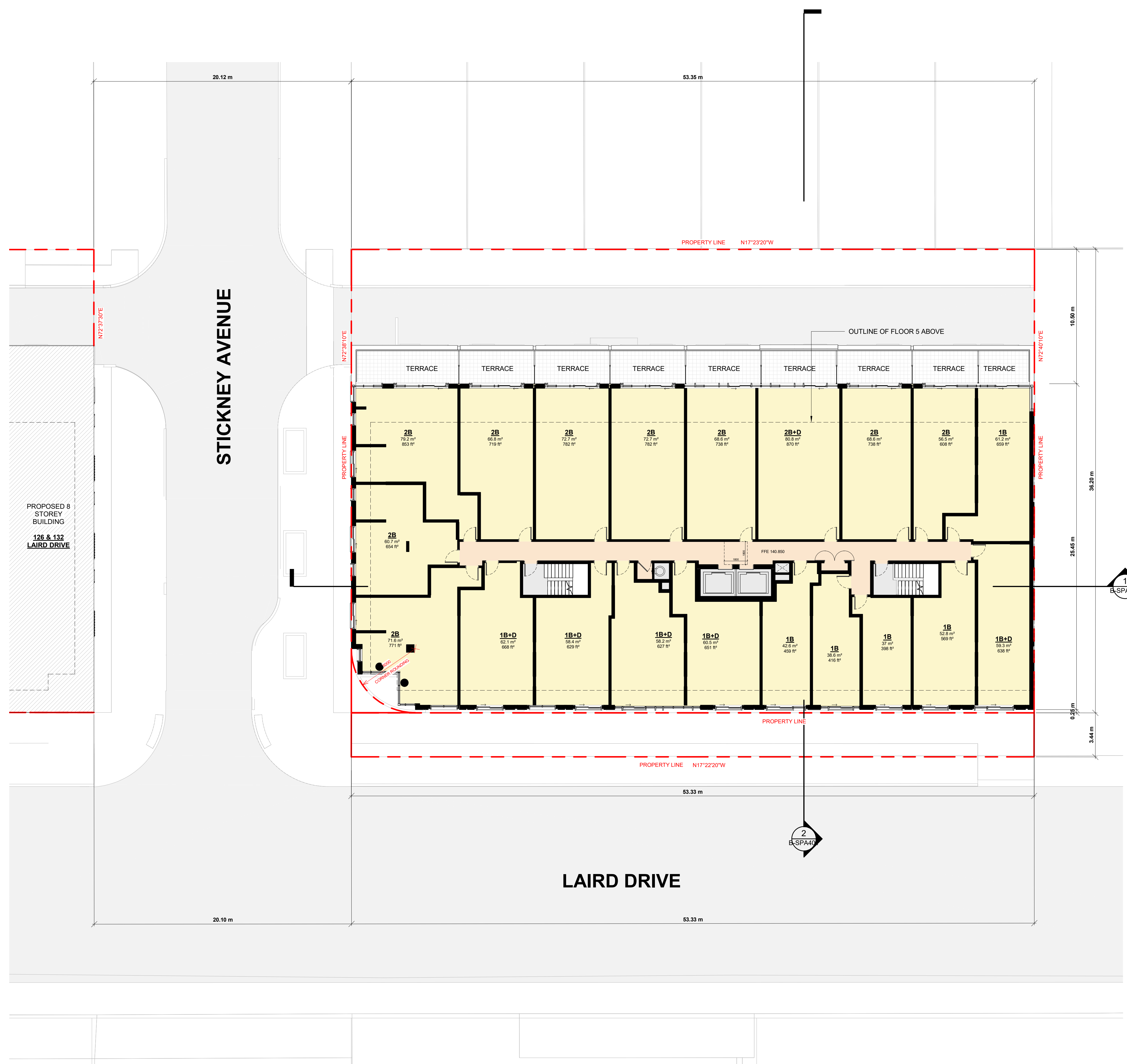
PROJECT
134 LAIRD DRIVE
TORONTO, ON

DRAWING
FLOOR 03

PROJECT NO.
20.015CS
PROJECT DATE
2021-05-07
DRAWN BY
MDL
CHECKED BY
AYU
SCALE
As indicated

 DRAWING NO.
B-SPA153

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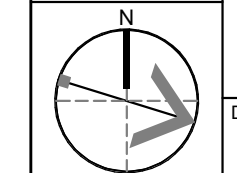
#	DATE	DESCRIPTION	BY
4	2022-02-18	WITHOUT PREJUDICE SETTLEMENT	KLE
3	2021-09-03	RESUBMISSION FOR ZBA & SPA APPLICATION	KLE
2	2021-06-07	RESUBMISSION FOR ZBA & SPA APPLICATION	KLE
1	2020-08-14	ISSUED FOR ZBA & SPA APPLICATION	KLE

LEASIDE RESIDENCES I LP

PROJECT
134 LAIRD DRIVE
TORONTO, ON

DRAWING
FLOOR 04

PROJECT NO.
20.015CS
PROJECT DATE
2021-05-07
DRAWN BY
MDL
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SCALE
1 : 150



DRAWING NO.
B-SPA154

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#	DATE	DESCRIPTION	BY
4	2022-02-18	WITHOUT PREJUDICE SETTLEMENT	KLE
3	2021-09-03	RESUBMISSION FOR ZBA & SPA APPLICATION	KLE
2	2021-05-07	RESUBMISSION FOR ZBA & SPA APPLICATION	KLE
1	2020-08-14	ISSUED FOR ZBA & SPA APPLICATION	KLE

LEASIDE RESIDENCES I LP

PROJECT
134 LAIRD DRIVE
 TORONTO, ON

DRAWING
FLOOR 05

PROJECT NO.
20.015CS
 PROJECT DATE
2021-05-07
 DRAWN BY
MDL
 CHECKED BY
AYU
 SCALE
1 : 150

DRAWING NO.
B-SPA155



#	DATE	DESCRIPTION	BY
4	2022-02-18	WITHOUT PREJUDICE SETTLEMENT	KLE
3	2021-09-03	RESUBMISSION FOR ZBA & SPA APPLICATION	KLE
2	2021-05-07	RESUBMISSION FOR ZBA & SPA APPLICATION	KLE
1	2020-08-14	ISSUED FOR ZBA & SPA APPLICATION	KLE

LEASIDE RESIDENCES I LP

PROJECT
134 LAIRD DRIVE

TORONTO, ON

DRAWING
FLOOR 06

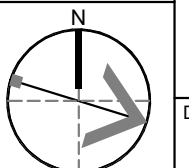
PROJECT NO.
20.015CS

PROJECT DATE
2021-05-07

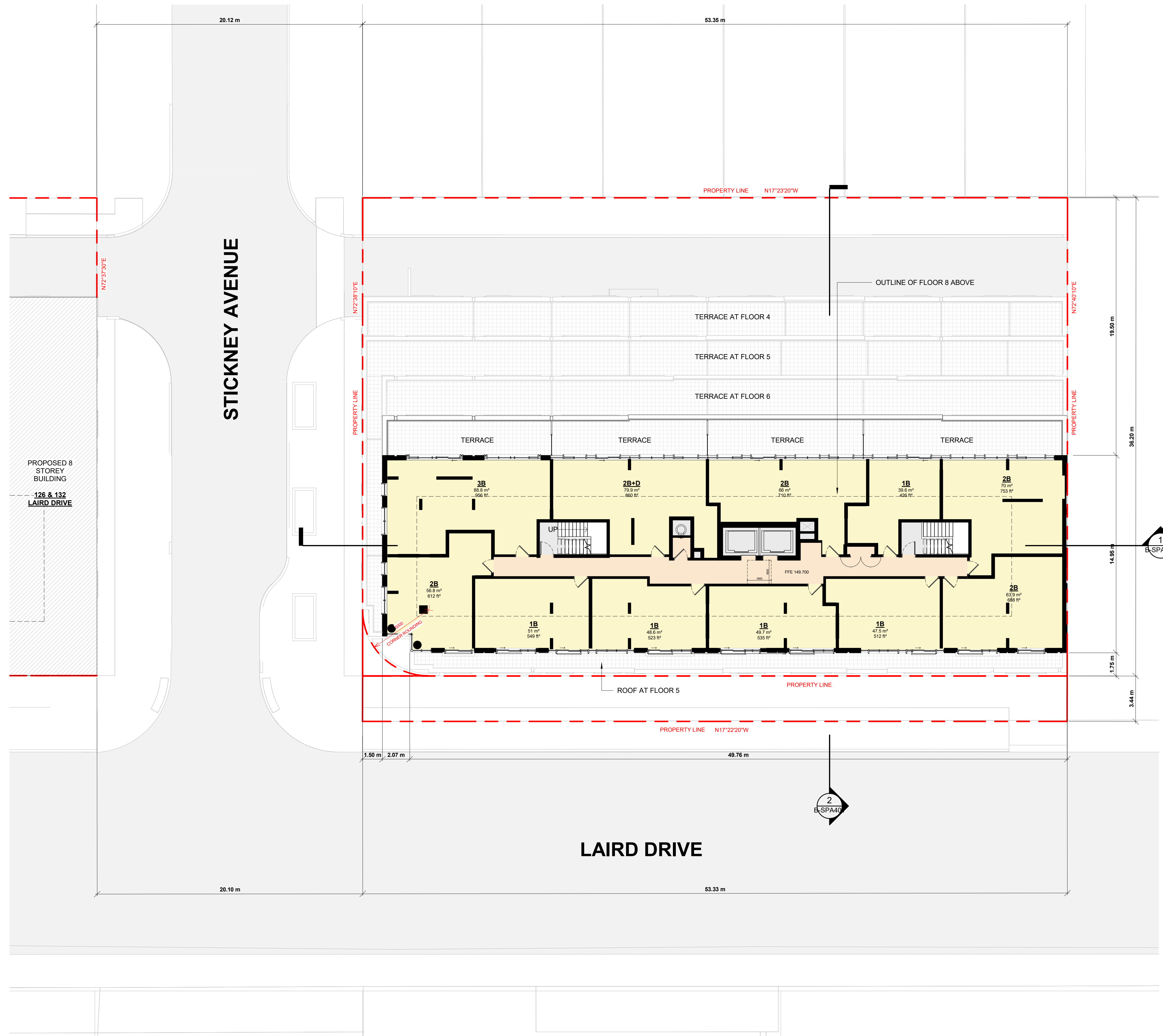
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AYU

SCALE
1 : 150



DRAWING NO.
B-SPA156



#	DATE	DESCRIPTION	BY
4	2022-02-18	WITHOUT PREJUDICE SETTLEMENT	KLE
3	2021-09-03	RESUBMISSION FOR ZBA & SPA APPLICATION	KLE
2	2021-05-07	RESUBMISSION FOR ZBA & SPA APPLICATION	KLE
1	2020-08-14	ISSUED FOR ZBA & SPA APPLICATION	KLE

LEASIDE RESIDENCES I LP

PROJECT
134 LAIRD DRIVE
TORONTO, ON

DRAWING
FLOOR 07

PROJECT NO.
20.015CS

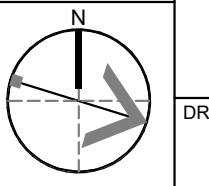
PROJECT DATE
2021-05-07

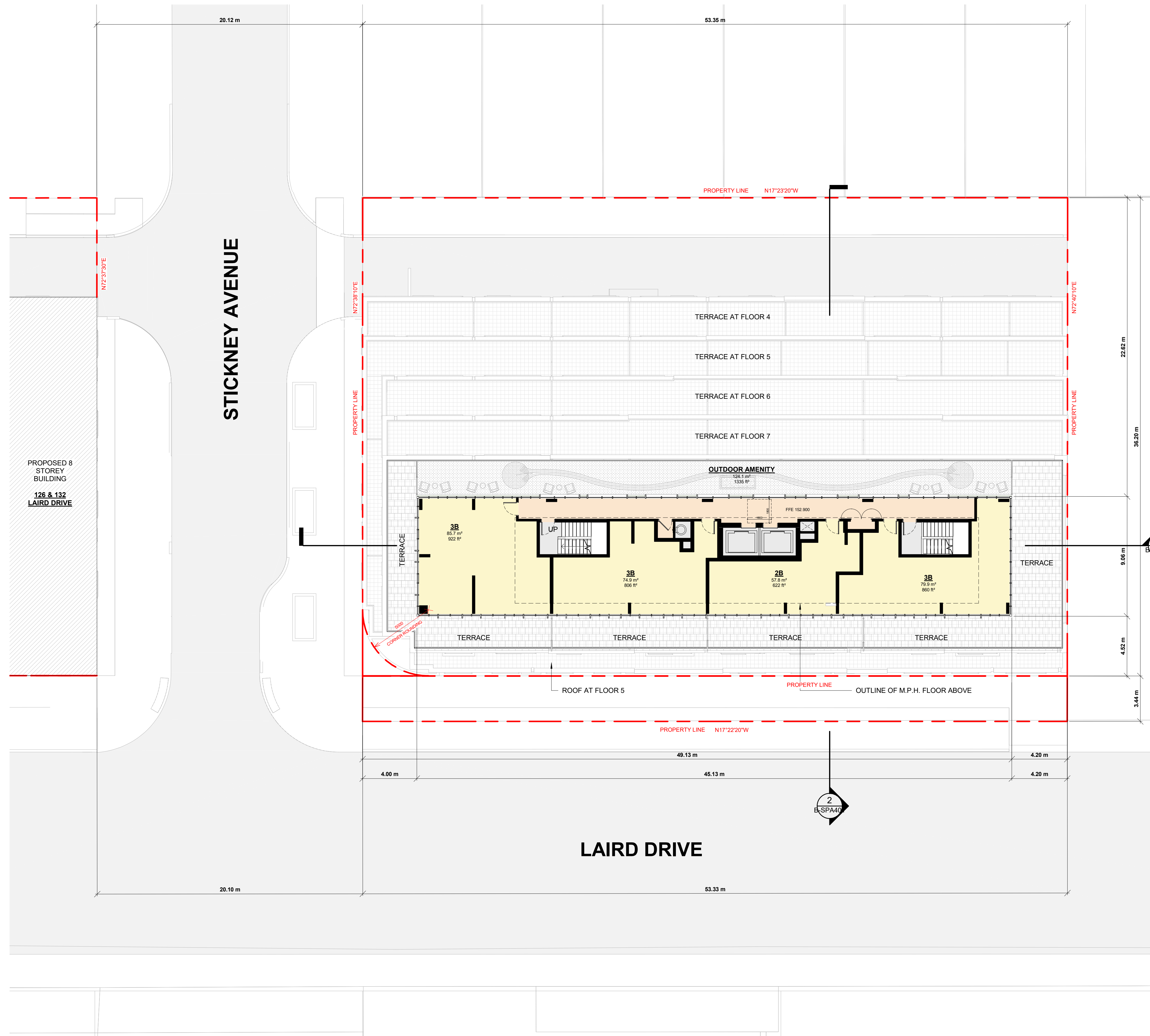
DRAWN BY
MDL

CHECKED BY
AYU

SCALE
1 : 150

DRAWING NO.
B-SPA157





#	DATE	DESCRIPTION	BY
4	2022-02-18	WITHOUT PREJUDICE SETTLEMENT	KLE
3	2021-09-03	RESUBMISSION FOR ZBA & SPA APPLICATION	KLE
2	2021-05-07	RESUBMISSION FOR ZBA & SPA APPLICATION	KLE
1	2020-08-14	ISSUED FOR ZBA & SPA APPLICATION	KLE

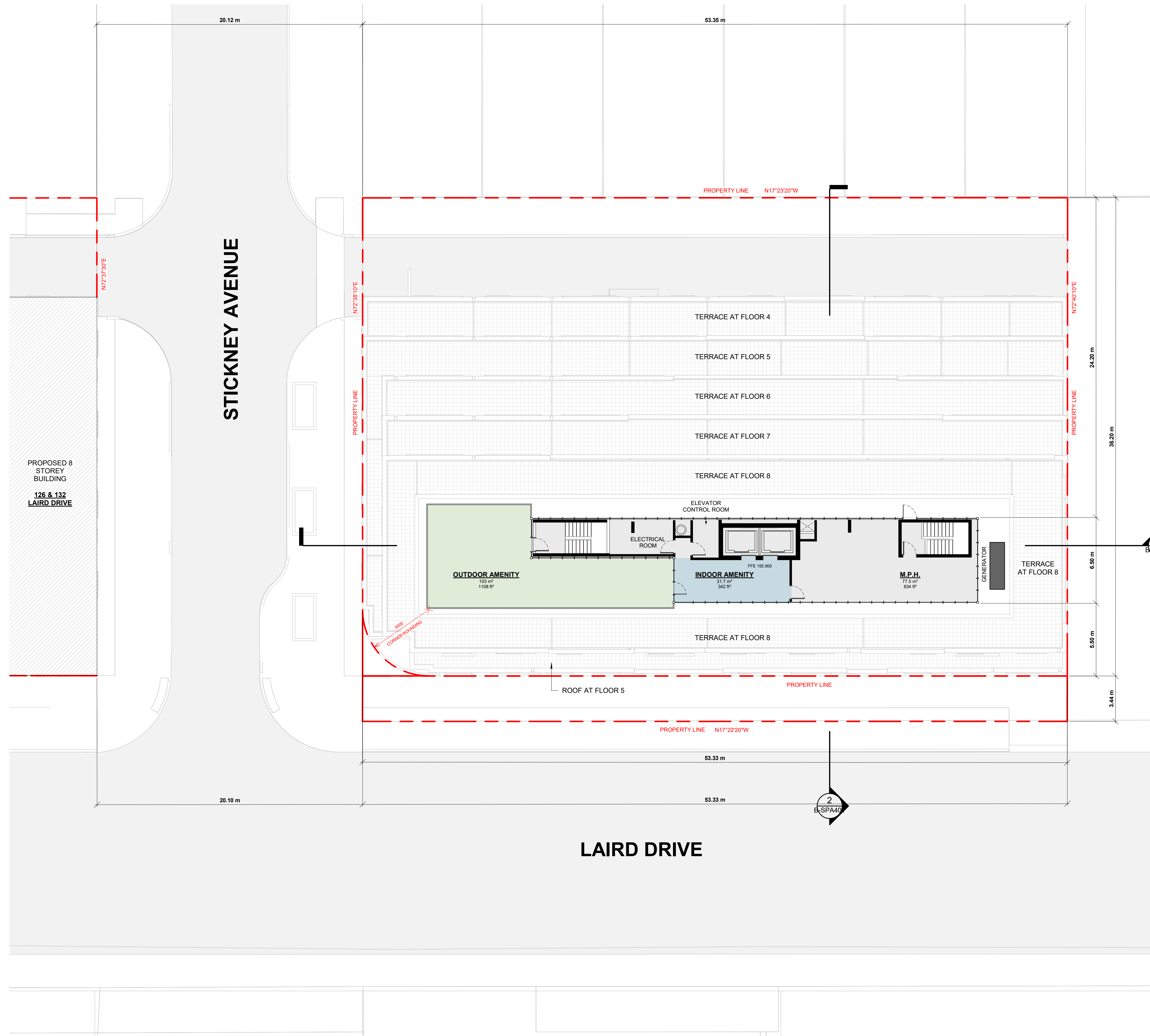
LEASIDE RESIDENCES I LP

PROJECT
134 LAIRD DRIVE
TORONTO, ON

DRAWING
FLOOR 08

PROJECT NO.
20.015CS
PROJECT DATE
2021-05-07
DRAWN BY
MDL
CHECKED BY
AYU
SCALE
1 : 150

DRAWING NO.
B-SPA158



#	DATE	DESCRIPTION	BY
4	2022-02-18	WITHOUT PREJUDICE SETTLEMENT	KLE
3	2021-09-03	RESUBMISSION FOR ZBA & SPA APPLICATION	KLE
2	2021-05-07	RESUBMISSION FOR ZBA & SPA APPLICATION	KLE
1	2020-08-14	ISSUED FOR ZBA & SPA APPLICATION	KLE

LEASIDE RESIDENCES I LP

PROJECT
134 LAIRD DRIVE
TORONTO, ON

DRAWING
M.P.H.

PROJECT NO.
20.015CS

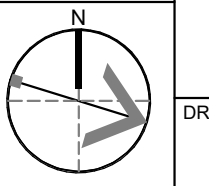
PROJECT DATE
2021-05-07

DRAWN BY
MDL

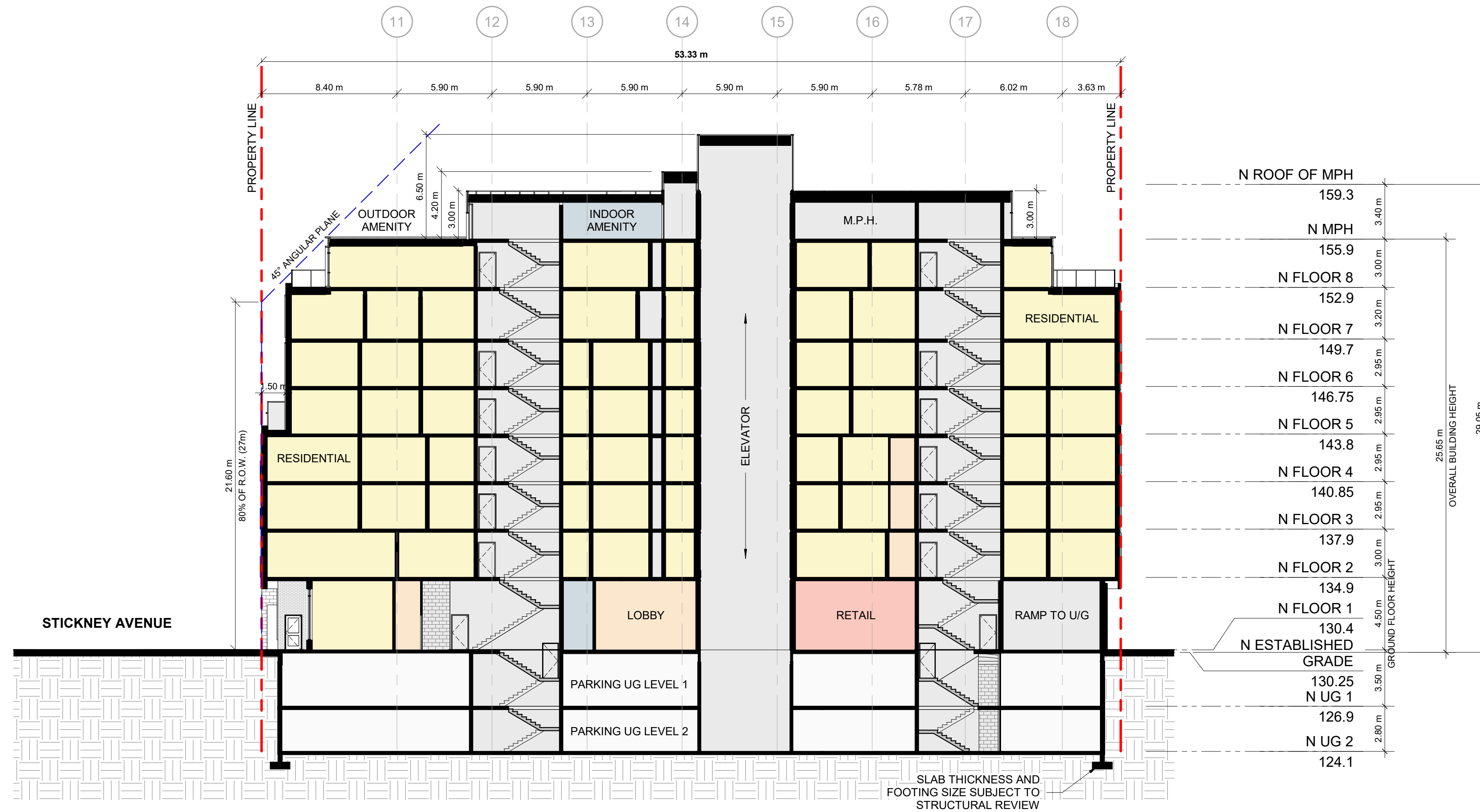
CHECKED BY
AYU

SCALE
1 : 150

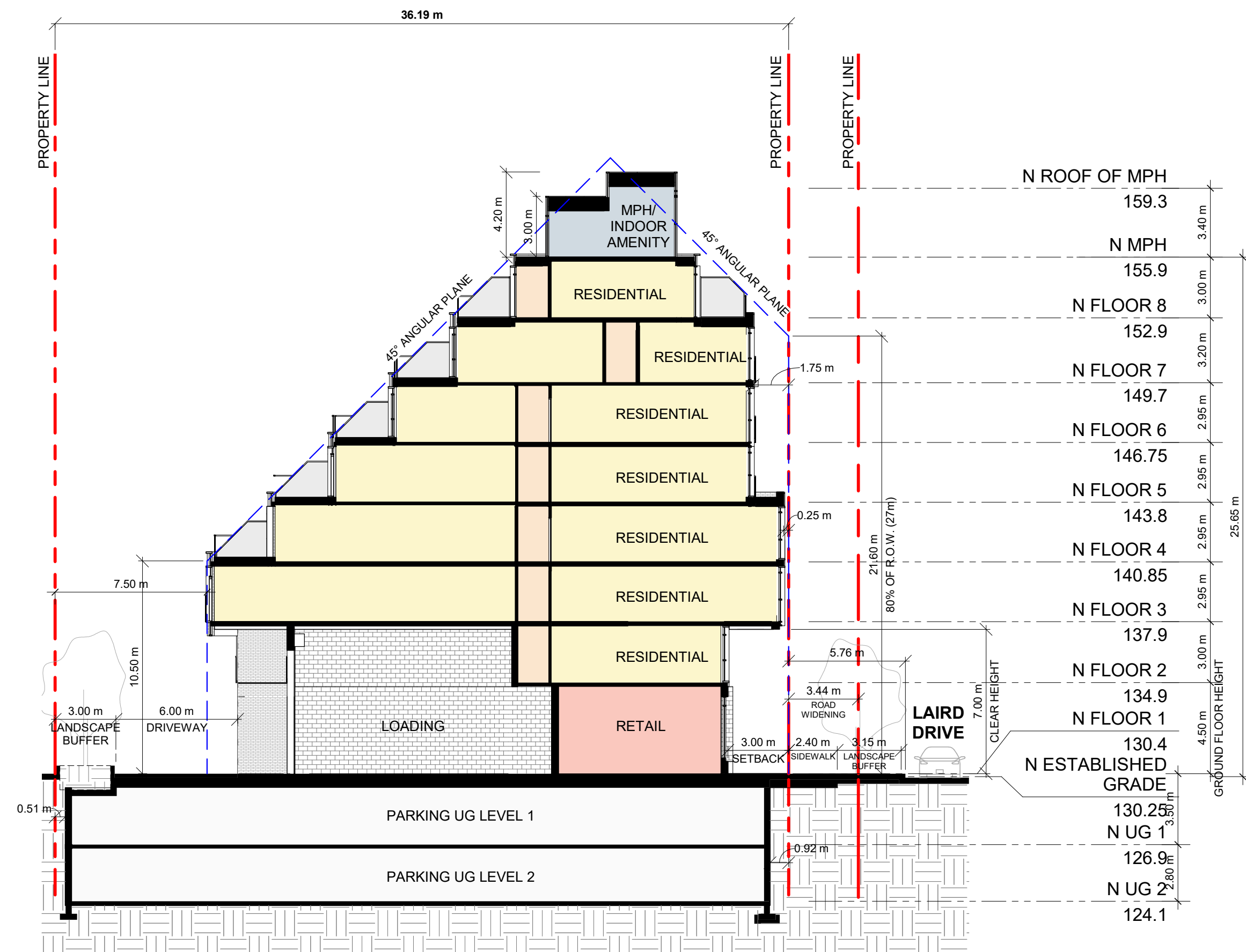
DRAWING NO.
B-SPA159



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1 SECTION A-A
B-SPA401 1:200



2 SECTION B-B
B-SPA401 1:200

#	DATE	DESCRIPTION	BY
4	2022-02-18	WITHOUT PREJUDICE SETTLEMENT	KLE
3	2021-09-03	RESUBMISSION FOR ZBA & SPA APPLICATION	KLE
2	2021-05-07	RESUBMISSION FOR ZBA & SPA APPLICATION	KLE
1	2020-08-14	ISSUED FOR ZBA & SPA APPLICATION	KLE

LEASIDE RESIDENCES I LP

PROJECT
134 LAIRD DRIVE

TORONTO, ON

DRAWING
BUILDING SECTIONS

PROJECT NO.

20.015CS

PROJECT DATE

2021-05-07

DRAWN BY

MDL

CHECKED BY

AYU

SCALE

1:200

DRAWING NO.

B-SPA401

20.015 - 126 & 132 LAIRD DRIVE

TORONTO, ONTARIO

REVISED: 2022-02-17

PROJECT SUMMARY

CITY OF TORONTO ZONING BY-LAW NO.569-2013

LAND USE	m ²	ft ²	%
BUILDING COVERAGE (GROUND FLOOR)	1,255.1	13,510	51.2%
LANDSCAPED OPEN SPACE	556.8	5,993	22.7%
PAVED AREA	639.1	6,879	26.1%
TOTAL SITE AREA (POST CONVEYANCE)	2,451.0	26,382	100.0%

PROJECT INFORMATION

	REQUIRED	PROVIDED
BUILDING HEIGHT* (EXCL. MPH)	27m (MAX)	25.75m (8 STOREYS)
BUILDING HEIGHT** (INCL. MPH)		32.22m (8 STOREYS)
BUILDING SETBACKS		
NORTH SETBACK	0m	0m
SOUTH SETBACK	0m	0m
EAST SETBACK	3.44m	3.44m
WEST SETBACK	7.5m	7.5m

*BUILDING HEIGHT AS PER CITY OF TORONTO ZONING BY-LAW 569-2013

**BUILDING HEIGHT (INCL. MPH) MEASURED TO ROOF OF ELEVATOR OVERRUN

GROSS FLOOR AREA SUMMARY

PARCEL	USE	GFA		FSI
		m ²	ft ²	
8-STORY BUILDING	RETAIL	248.6	2,675.9	0.1
	TOTAL NON-RESIDENTIAL	248.6	2,676	0.10
	RESIDENTIAL	9,802.5	105,513	4.00
	INDOOR AMENITY			
	TOTAL RESIDENTIAL	9,802.5	105,513	4.00
	TOTAL	10,051.1	108,189	4.10

TOTAL FLOOR AREA SUMMARY

FLOORS	TFA	
	m ²	ft ²
U/G 1 - U/G 2	4,521.6	48,670
FLOOR 1 - M.P.H.	10,729.5	115,491
TOTAL	15,251.1	164,161

GROSS FLOOR AREA DEFINITION

CITY OF TORONTO ZONING BY-LAW NO.569-2013

Gross Floor Area Calculations for an **Apartment Building** in the Commercial Residential Zone Category

In the Commercial Residential Zone category the gross floor area of an apartment building is reduced by the area in the building used for:

- (A) parking, loading and bicycle parking below-ground;
- (B) required loading spaces at the ground level and required bicycle parking spaces at or above-ground;
- (C) storage rooms, washrooms, electrical, utility, mechanical and ventilation rooms in the basement;
- (D) shower and change facilities required by this By-law for required bicycle parking spaces;
- (E) amenity space required by this By-law;
- (F) elevator shafts;
- (G) garbage shafts;
- (H) mechanical penthouse; and
- (I) exit stairwells in the building.

*Total Floor Area (TFA) includes parking and drive aisle at underground parking levels.

GROSS FLOOR AREA (GFA) BREAKDOWN

FLOOR	# OF UNITS	GROSS FLOOR AREA BREAKDOWN										TOTAL GROSS FLOOR AREA [GFA] (TFA - EXCLUSIONS)			
		RETAIL				RESIDENTIAL				TOTAL RESIDENTIAL		m ²	ft ²		
		RETAIL		RETAIL SERVICE		SALEABLE		NON-SALEABLE		m ²	ft ²				
		m ²	ft ²	m ²	ft ²	m ²	ft ²	m ²	ft ²			m ²	ft ²		
U/G 2								52.0	560	52.0	560	52.0	560		
U/G 1								51.3	552	51.3	552	51.3	552		
1	7	248.6	2,676			248.6	2,676	498.5	5,366	230.1	2,477	728.6	7,843	977.2	10,518
2	19							1,418.4	15,268	88.2	949	1,506.6	16,217	1,506.6	16,217
3	23							1,780.2	19,162	93.6	1,008	1,873.8	20,169	1,873.8	20,169
4	23							1,578.6	16,992	93.6	1,008	1,672.2	17,999	1,672.2	17,999
5	23							1,251.6	13,472	92.1	991	1,343.7	14,463	1,343.7	14,463
6	18							1,052.6	11,330	92.1	991	1,144.7	12,321	1,144.7	12,321
7	14							851.2	9,162	94.0	1,012	945.2	10,174	945.2	10,174
8	5							389.4	4,191	95.0	1,023	484.4	5,214	484.4	5,214
MPH															
											EXCESS INDOOR AMENITY (INCLUDED IN GFA)				
TOTAL	132	248.6	2,676			248.6	2,676	8,820.5	94,943	982.0	10,570	9,802.5	105,513	10,051.1	108,189

AMENITY BREAKDOWN

OUTDOOR AMENITY		INDOOR AMENITY	
m ²	ft ²	m ²	ft ²
		178.9	1,926
156.0	1,679		
118.5	1,276	29.3	315
274.5	2,955	208.2	2,241

AREA EXCLUSIONS		TOTAL FLOOR AREA [TFA] (NO EXCLUSIONS)	
m ²	ft ²	m ²	ft ²
2,208.8	23,775	2,260.8	24,335
2,209.5	23,783	2,260.8	24,335
99.0	1,066	1,255.1	13,510
40.6	437	1,547.2	16,654
40.6	437	1,914.4	20,606
40.6	437	1,712.8	18,436
40.6	437	1,384.3	14,900
40.2	433	1,184.9	12,754
40.5	436	985.7	10,610
40.6	437	525.0	5,651
190.8	2,054	220.1	2,369
4,991.8	53,731	15,251.1	164,161

EFFICIENCY	EFFICIENCY (INCL. AMENITY)
%	%
59.5%	73.8%
91.7%	91.7%
93.0%	93.0%
92.2%	92.2%
90.4%	90.4%
88.8%	88.8%
86.4%	86.4%
74.2%	74.2%
13.3%	13.3%
84.5%	86.5%

#	DATE	DESCRIPTION	BY
4	2022-02-18	WITHOUT PREJUDICE SETTLEMENT	KLE
3	2021-09-03	RESUBMISSION FOR ZBA & SPA APPLICATION	KLE
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1	2020-08-14	ISSUED FOR ZBA & SPA APPLICATION	KLE

LEASIDE RESIDENCES I LP

PROJECT	126 & 132 LAIRD DRIVE
	TORONTO, ON

STATISTICS

PROJECT NO.	20.015CS
PROJECT DATE	2021-05-07
DRAWN BY	MDL
CHECKED BY	AYU
SCALE	
DRAWING NO.	A-SPA001

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126 & 132 LAIRD UNIT MIX - PROVIDED

FLOOR	UNIT TYPE						TOTAL
	1B	1B+D	2B	2B+D	3B	3B+D	
1	2				1		7
2	8	1		7		3	19
3	1	8	2	11	1		23
4	1	10	10	2			23
5	6	14	2	1			23
6	4	8	6				18
7	3	5	1	1	4		14
8					5		5
SUBTOTAL	25	46	21	22	11	3	4
TOTAL UNITS	71		43		18		132
UNIT MIX	53.8%		32.6%		13.6%		100.0%
AVG UNIT SIZE (m²)	45.9	58.6	68.7	84.5	82.1	136.5	96.0
AVG UNIT SIZE (ft²)	494	630	739	909	884	1,469	1,034

BARRIER-FREE UNITS - REQUIRED

FLOOR	BARRIER-FREE UNITS				TOTAL
	STUDIO	1B	2B	3B	
RATIO	15%	15%	15%	15%	15%
COUNT	0	11	6	3	20

BARRIER-FREE UNITS - PROVIDED

FLOOR	BARRIER-FREE UNITS				TOTAL
	STUDIO	1B	2B	3B	
TOTAL	0	11	6	3	20
RATIO	0	15%	14%	17%	15%

AMENITY AREAS - REQUIRED + PROVIDED

8-STORY BUILDING	TYPE	REQUIRED			PROVIDED		
		RATIO	m2	ft2	RATIO	m2	ft2
INDOOR AMENITY	2.0 m2 / UNIT	264.0	2,842	1.6 m2 / UNIT	208.2	2,241	
OUTDOOR AMENITY	TOTAL AMENITY REQUIRED MINUS THE INDOOR AMENITY PROVIDED (NO LESS THAN 40m2)			2.1 m2 / UNIT	274.5	2,955	
TOTAL AMENITY	4.0 m2 / UNIT	528.0	5,683	3.7 m2 / UNIT	482.7	5,196	

AMENITY REQUIRED AS PER CITY OF TORONTO ZONING BY-LAW NO. 569-2013

VEHICULAR PARKING - REQUIRED

VEHICULAR PARKING RATIOS AS PER CITY OF TORONTO ZONING BY-LAW 569-2013

8-STORY BUILDING	USE	RATIO (MIN.)	UNITS / GFA (m²)	SPACES (MIN.)
	1B & 1B+D UNITS	0.90 / UNIT	71	63
2B & 2B+D UNITS	1.00 / UNIT	43	43	
3B & 3B+D UNITS	1.20 / UNIT	18	21	
TOTAL RESIDENTIAL			127	
RES. VISITOR	0.20 / UNIT	132	26	
RETAIL	1.5 SPACES / 100 M2	248.6	3	
TOTAL VISITOR & RETAIL			29	
TOTAL REQUIRED			156	

ACCESSIBLE PARKING - REQUIRED

VEHICULAR PARKING RATIOS AS PER CITY OF TORONTO ZONING BY-LAW 579-2017.

8-STORY BUILDING	USE	RATIO (MIN.)	MIN. B/F REQ'D.
	RESIDENTIAL + VISITOR	MINIMUM OF 5 PARKING SPACES PLUS 1 PARKING SPACE FOR EVERY 50 SPACES OR PART THEREOF IN EXCESS OF 100 SPACES	
TOTAL ACCESSIBLE PARKING SPACES REQUIRED			4

BICYCLE PARKING - REQUIRED

BICYCLE PARKING RATIOS AS PER CITY OF TORONTO ZONING BY-LAW 569-2013 AS AMENDED; BICYCLE ZONE 1.

8-STORY BUILDING	USE	RESIDENTIAL		TOTAL
		RATIO	SPACES	
SHORT TERM	0.10 / UNIT	14	14	
LONG TERM	0.90 / UNIT	119	119	
TOTAL REQUIRED			133	

VEHICULAR PARKING - PROVIDED

8-STORY BUILDING	FLOOR	USE		TOTAL
		RESIDENTIAL	VISITOR /RETAIL	
FLOOR 1				
U/G LEVEL 1		28	14	42
U/G LEVEL 2		57		57
TOTAL PROVIDED		85	14	99
RATIO PROVIDED		0.64	0.11	0.75

NOTE: ELECTRICAL VEHICLE PARKING SPACES AT U/G LEVEL 1 ARE INCLUDED IN TOTALS

ACCESSIBLE PARKING - PROVIDED

8-STORY BUILDING	FLOOR	SPACES	TOTAL
U/G LEVEL 1		5	5
U/G LEVEL 2			
TOTAL PROVIDED			5

BICYCLE PARKING - PROVIDED

8-STORY BUILDING	FLOOR	RESIDENTIAL			TOTAL
		SHORT TERM	LONG TERM	SUB-TOTAL	
FLOOR 1		14		14	14
U/G LEVEL 1			122	122	122
U/G LEVEL 2					
TOTAL PROVIDED		14	122	136	136

EV PARKING SPACES - PROVIDED

8-STORY BUILDING	RESIDENTIAL		VISITOR /RETAIL	ROUGH-IN	TOTAL
	U/G LEVEL 1	U/G LEVEL 2			
U/G LEVEL 1	6		3		8
U/G LEVEL 2	11				11
TOTAL PROVIDED	17		3		20

EV PARKING SPACES ARE 20% OF VEHICULAR PARKING TOTAL

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1	2020-08-14	ISSUED FOR ZBA & SPA APPLICATION	KLE

LEASIDE RESIDENCES I LP

PROJECT
126 & 132 LAIRD DRIVE

TORONTO, ON

DRAWING
STATISTICS

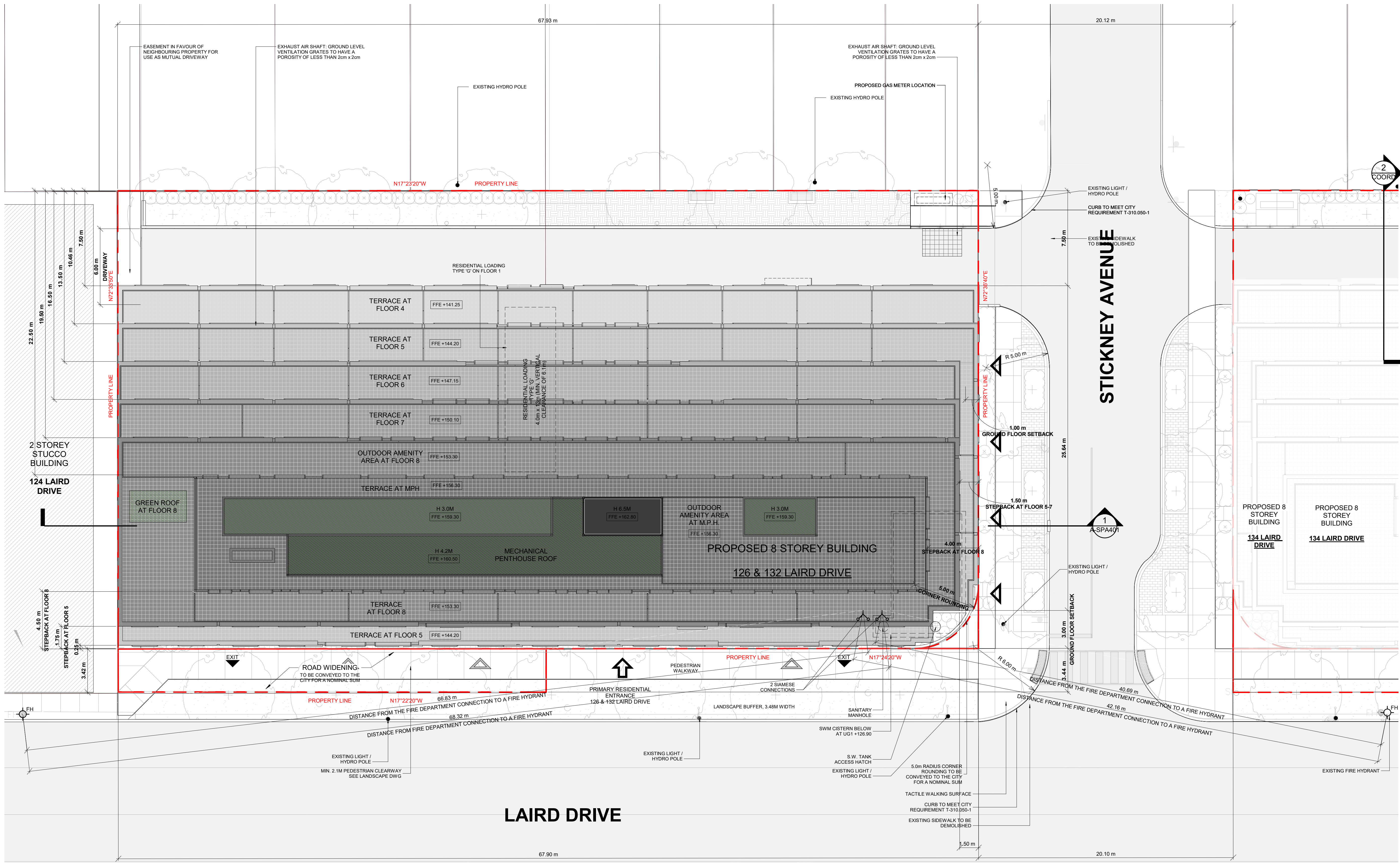
PROJECT NO.
20.015CS
PROJECT DATE
2021-05-07
DRAWN BY
MDL
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AYU
SCALE

DRAWING NO.
A-SPA002

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LEGEND

-  PRIMARY RESIDENTIAL ENTRANCE
-  SECONDARY RESIDENTIAL ENTRANCE
-  LIVE / WORK ENTRANCE
-  EXIT
-  FIRE HYDRANT
-  SIAMESE CONNECTION
-  CONVEX MIRROR
-  TRANSFORMER WITH CLEARANCES
-  FIRE ROUTE SIGN
-  SPOT ELEVATION
-  GAS/HYDRO METER



#	DATE	DESCRIPTION	BY
4	2022-02-18	WITHOUT PREJUDICE SETTLEMENT	KLE
3	2021-09-03	RESUBMISSION FOR ZBA & SPA APPLICATION	KLE
2	2021-05-07	RESUBMISSION FOR ZBA & SPA APPLICATION	KLE
1	2020-08-14	ISSUED FOR ZBA & SPA APPLICATION	KLE

LEASIDE RESIDENCES I LP

PROJECT
126 & 132 LAIRD DRIVE
TORONTO, ON

SITE PLAN / ROOF PLAN

PROJECT NO.
20.015CS
PROJECT DATE
2021-05-07

DRAWN BY
MDL
CHECKED BY
AYU

SCALE
As indicated

DRAWING NO.
A-SPA006

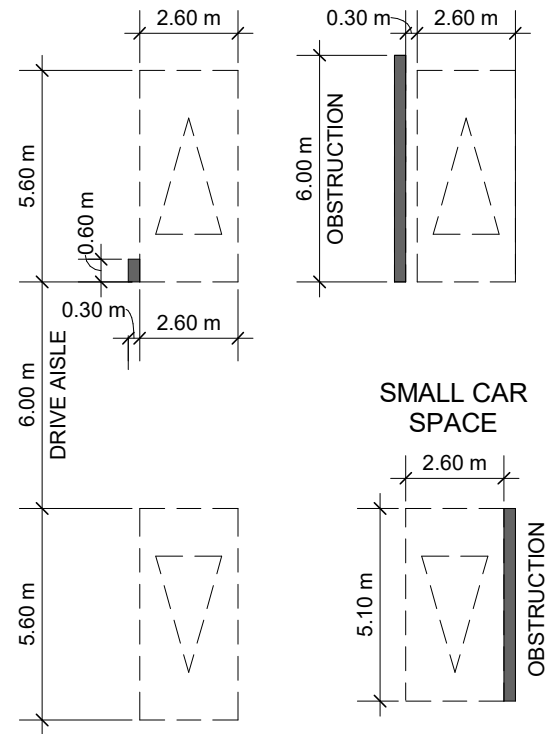
Green Roof Statistics

The Green Roof Statistics Template is required to be submitted for Site Plan Control Applications where a green roof is required under the Toronto Municipal Code Chapter 492, Green Roofs. Complete the table below and upload it directly onto the Roof Plan submitted as part of any Site Plan Control Application requiring a green roof in accordance with the Bylaw. Refer to Section 4.492 of the Municipal Code for a complete list of defined terms, and greater detail and clarity regarding the intent and application of the terms included in the template. The Toronto Municipal Code Chapter 492, Green Roofs can be found online at: <https://www.toronto.ca/bylaws/section492/>

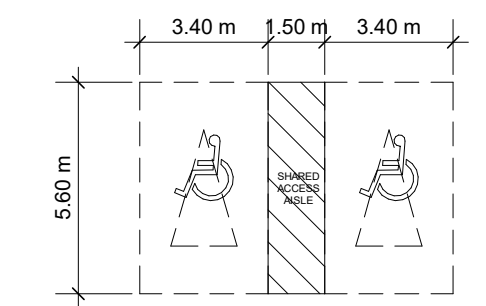
Green Roof Statistics	
Available Roof Space Calculation	
Gross Floor Area, as defined in Green Roof Bylaw (m ²)	Proposed
Total Roof Area (m ²)	11,400
Area of Residential Private Terraces (m ²)	991
Roofing Outdoor Amenity Space, if in a Residential Building (m ²)	991
Area of Renewable Energy Devices (m ²)	0
Tower (a) Roof Area with floor plate less than 750 m ²	0
Total Available Roof Space (m ²)	9,418
Green Roof Coverage	Required
Coverage of Available Roof Space (m ²)	Proposed
Coverage of Available Roof Space (%)	100

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TYPICAL DIMENSIONS (UNLESS OTHERWISE NOTED):
AISLE WIDTH: MIN. 6m
TYPICAL PARKING SPACE:
MIN 2.6 x 5.6 x 2.0 HIGH
PARALLEL PARKING SPACE:
MIN 2.6 x 6.7 x 2.0 HIGH
SMALL CAR SPACE:
MIN 2.3 X 4.4 X 2.0 HIGH



TYPICAL BARRIER FREE SPACE MIN. 3.4 x 5.6 x 2.1m HIGH



LEGEND

CONVEX MIRROR

#	DATE	DESCRIPTION	BY
4	2022-02-18	WITHOUT PREJUDICE SETTLEMENT	KLE
3	2021-09-03	RESUBMISSION FOR ZBA & SPA APPLICATION	KLE
2	2021-05-07	RESUBMISSION FOR ZBA & SPA APPLICATION	KLE
1	2020-08-14	ISSUED FOR ZBA & SPA APPLICATION	KLE

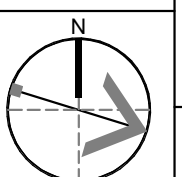
LEASIDE RESIDENCES I LP

PROJECT
126 & 132 LAIRD DRIVE

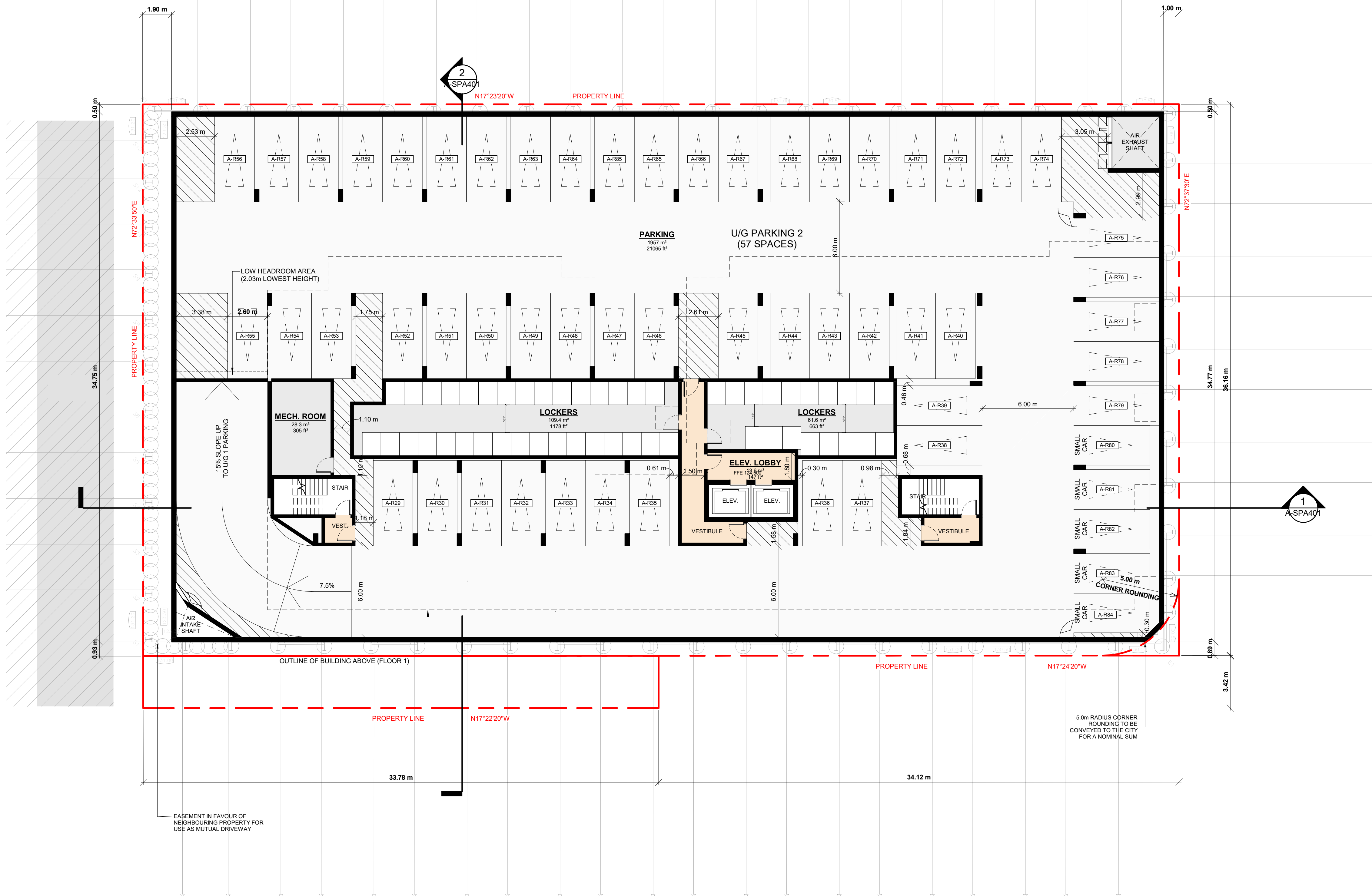
TORONTO, ON

DRAWING
UNDERGROUND LEVEL 02

PROJECT NO.
20.015CS
PROJECT DATE
2021-05-07
DRAWN BY
MDL
CHECKED BY
AYU
SCALE
As indicated

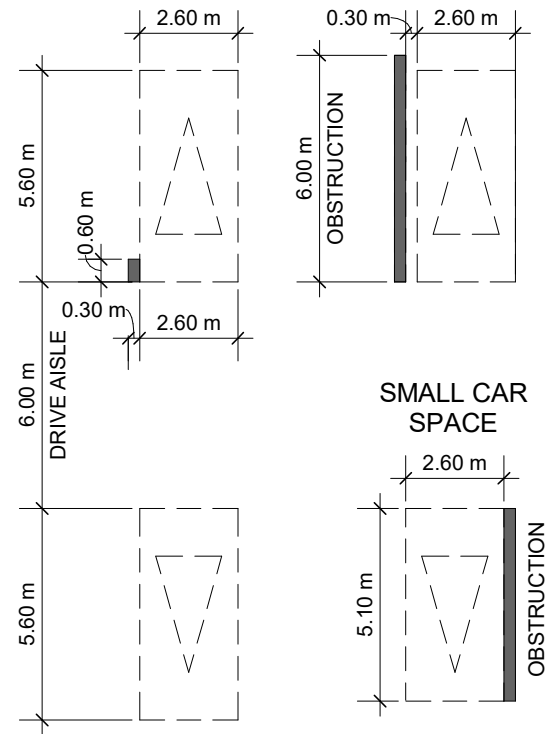


DRAWING NO.
A-SPA101

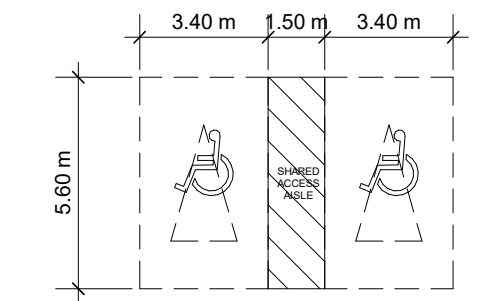


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TYPICAL DIMENSIONS (UNLESS OTHERWISE NOTED):
AISLE WIDTH: MIN. 6m
TYPICAL PARKING SPACE:
MIN 2.6 x 5.6 x 2.0 HIGH
PARALLEL PARKING SPACE:
MIN 2.6 x 6.7 x 2.0 HIGH
SMALL CAR SPACE:
MIN 2.3 x 4.4 x 2.0 HIGH



TYPICAL BARRIER FREE SPACE MIN. 3.4 x 5.6 x 2.1m HIGH



LEGEND

CONVEX MIRROR

#	DATE	DESCRIPTION	BY
4	2022-02-18	WITHOUT PREJUDICE SETTLEMENT	KLE
3	2021-09-03	RESUBMISSION FOR ZBA & SPA APPLICATION	KLE
2	2021-05-07	RESUBMISSION FOR ZBA & SPA APPLICATION	KLE
1	2020-08-14	ISSUED FOR ZBA & SPA APPLICATION	KLE

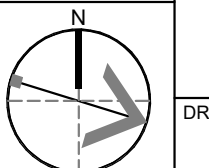
LEASIDE RESIDENCES I LP

PROJECT
126 & 132 LAIRD DRIVE

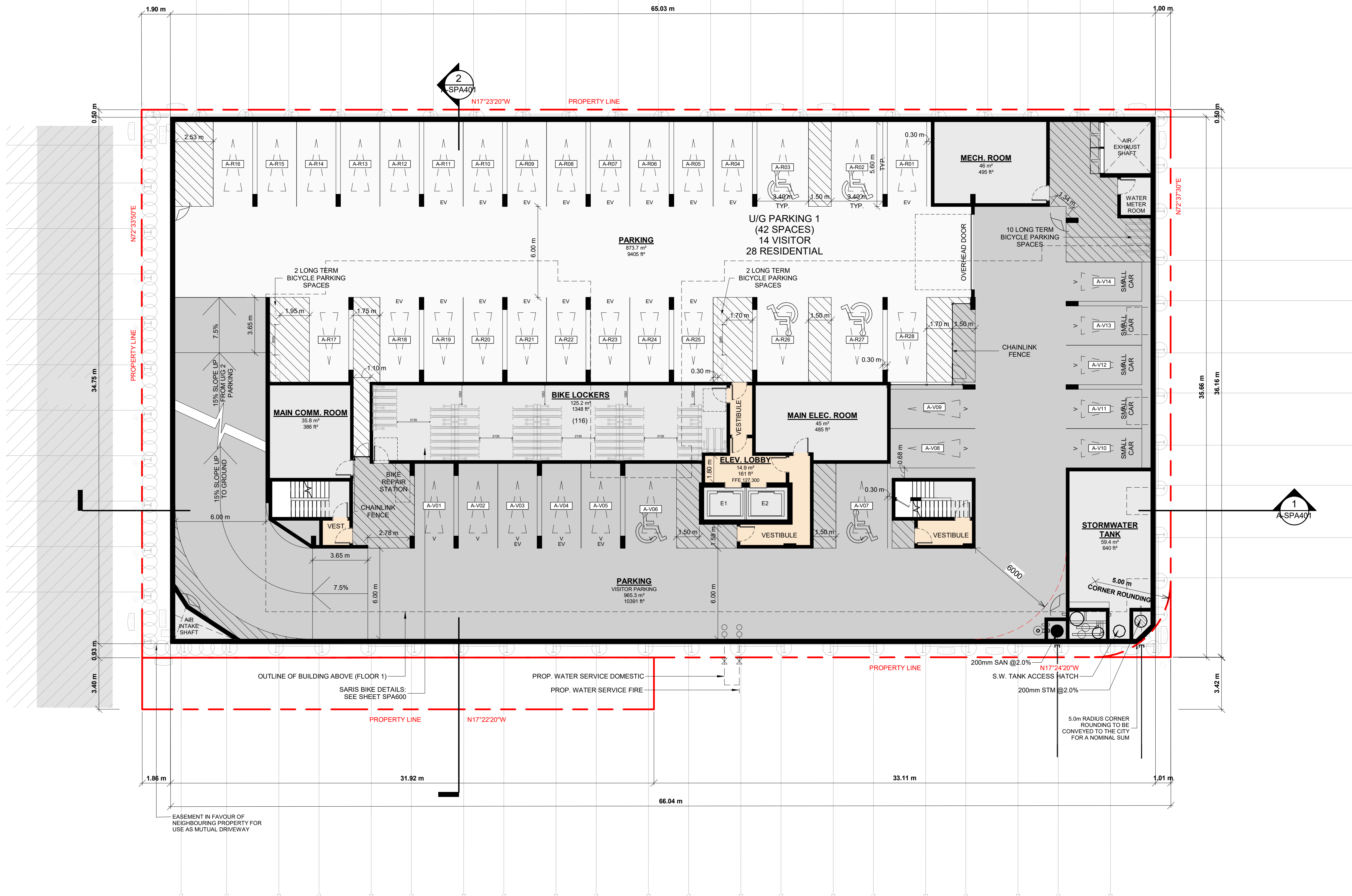
TORONTO, ON

DRAWING
UNDERGROUND LEVEL 01

PROJECT NO. 20.015CS	
PROJECT DATE 2021-05-07	
DRAWN BY MDL	
CHECKED BY AYU	
SCALE As indicated	



DRAWING NO.
A-SPA102



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LEGEND

	PRIMARY RESIDENTIAL ENTRANCE
	SECONDARY RESIDENTIAL ENTRANCE
	LIVE / WORK ENTRANCE
	EXIT
	FIRE HYDRANT
	SIAMESE CONNECTION
	CONVEX MIRROR
	TRANSFORMER WITH CLEARANCES
	FIRE ROUTE SIGN
	SPOT ELEVATION
	GAS/HYDRO METER
	WALL MOUNT LIGHT (H:1933mm)
	WALL MOUNT LIGHT (H:3150mm)
	RECESSED WALL MOUNT LIGHT (H:1933mm)
	POST LIGHT FIXTURE (REFER TO LANDSCAPE DWG)
	CEILING MOUNT RECESSED LIGHT ABOVE (H:3300mm)
	CEILING MOUNT RECESSED LINEAR LED LIGHT ABOVE (H:3800mm)

#	DATE	DESCRIPTION	BY
4	2022-02-18	WITHOUT PREJUDICE SETTLEMENT	KLE
3	2021-09-03	RESUBMISSION FOR ZBA & SPA APPLICATION	KLE
2	2021-05-07	RESUBMISSION FOR ZBA & SPA APPLICATION	KLE
1	2020-08-14	ISSUED FOR ZBA & SPA APPLICATION	KLE

LEASIDE RESIDENCES I LP

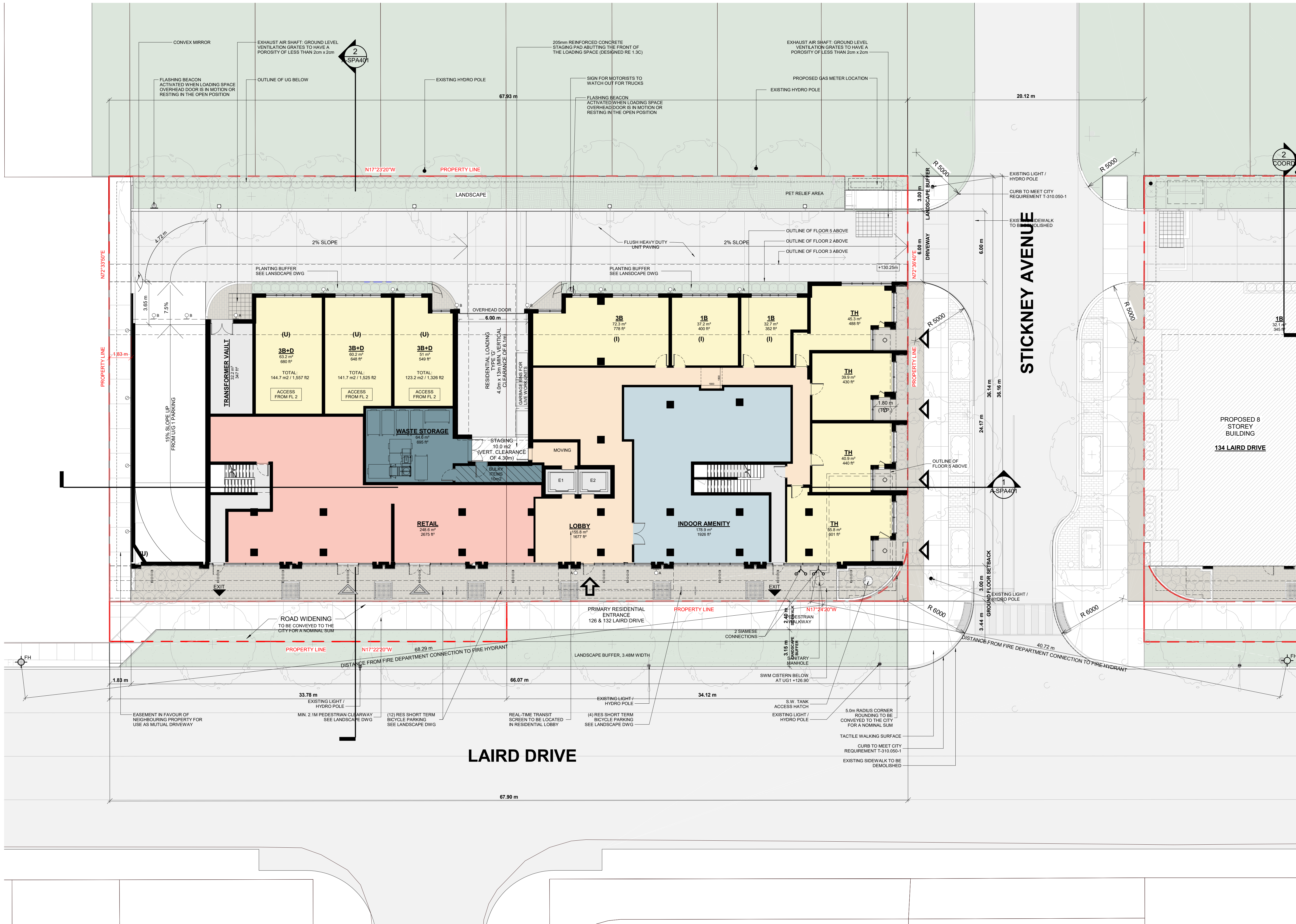
PROJECT
126 & 132 LAIRD DRIVE

TORONTO, ON

DRAWING
FLOOR 01

PROJECT NO. 20.015CS
PROJECT DATE 2021-05-07
DRAWN BY MDL
CHECKED BY AYU
SCALE As indicated

	DRAWING NO. A-SPA151
--	--------------------------------



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LEGEND

-  WALL MOUNT LIGHT
(H: 2050mm FROM FLOOR 2
H: 6550mm FROM FLOOR 1)



4	2022-02-18	WITHOUT PREJUDICE SETTLEMENT	KLE
3	2021-09-03	RESUBMISSION FOR ZBA & SPA APPLICATION	KLE
2	2021-05-07	RESUBMISSION FOR ZBA & SPA APPLICATION	KLE
1	2020-08-14	ISSUED FOR ZBA & SPA APPLICATION	KLE
#	DATE	DESCRIPTION	BY

LEASIDE RESIDENCES I LP

PROJECT
126 & 132 LAIRD DRIVE

TORONTO, ON

DRAWING
FLOOR 02

PROJECT NO.	20.015CS
PROJECT DATE	2021-05-07
DRAWN BY	MDL
CHECKED BY	AYU
SCALE	As indicated

DRAWING NO.
A-SPA152



LEGEND

	WALL MOUNT LIGHT (H: 1375mm FROM FLOOR 3 H: 8875mm FROM FLOOR 1)
--	--



4	2022-02-18	WITHOUT PREJUDICE SETTLEMENT	KLE
3	2021-09-03	RESUBMISSION FOR ZBA & SPA APPLICATION	KLE
2	2021-05-07	RESUBMISSION FOR ZBA & SPA APPLICATION	KLE
1	2020-08-14	ISSUED FOR ZBA & SPA APPLICATION	KLE
#	DATE	DESCRIPTION	BY

LEASIDE RESIDENCES I LP

PROJECT	126 & 132 LAIRD DRIVE
	TORONTO, ON
DRAWING	FLOOR 03

PROJECT NO.	20.015CS
PROJECT DATE	2021-05-07
DRAWN BY	MDL
CHECKED BY	AYU
SCALE	As indicated

DRAWING NO. **A-SPA153**



#	DATE	DESCRIPTION	BY
4	2022-02-18	WITHOUT PREJUDICE SETTLEMENT	KLE
3	2021-09-03	RESUBMISSION FOR ZBA & SPA APPLICATION	KLE
2	2021-05-07	RESUBMISSION FOR ZBA & SPA APPLICATION	KLE
1	2020-08-14	ISSUED FOR ZBA & SPA APPLICATION	KLE

LEASIDE RESIDENCES I LP

PROJECT
126 & 132 LAIRD DRIVE

TORONTO, ON

DRAWING
FLOOR 04

PROJECT NO. 20.015CS
PROJECT DATE 2021-05-07
DRAWN BY MDL
CHECKED BY AYU
SCALE 1 : 150

DRAWING NO.
A-SPA154



4	2022-02-18	WITHOUT PREJUDICE SETTLEMENT	KLE
3	2021-09-03	RESUBMISSION FOR ZBA & SPA APPLICATION	KLE
2	2021-05-07	RESUBMISSION FOR ZBA & SPA APPLICATION	KLE
1	2020-08-14	ISSUED FOR ZBA & SPA APPLICATION	KLE
#	DATE	DESCRIPTION	BY

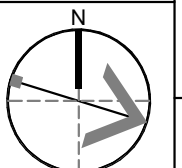
LEASIDE RESIDENCES I LP

PROJECT
126 & 132 LAIRD DRIVE

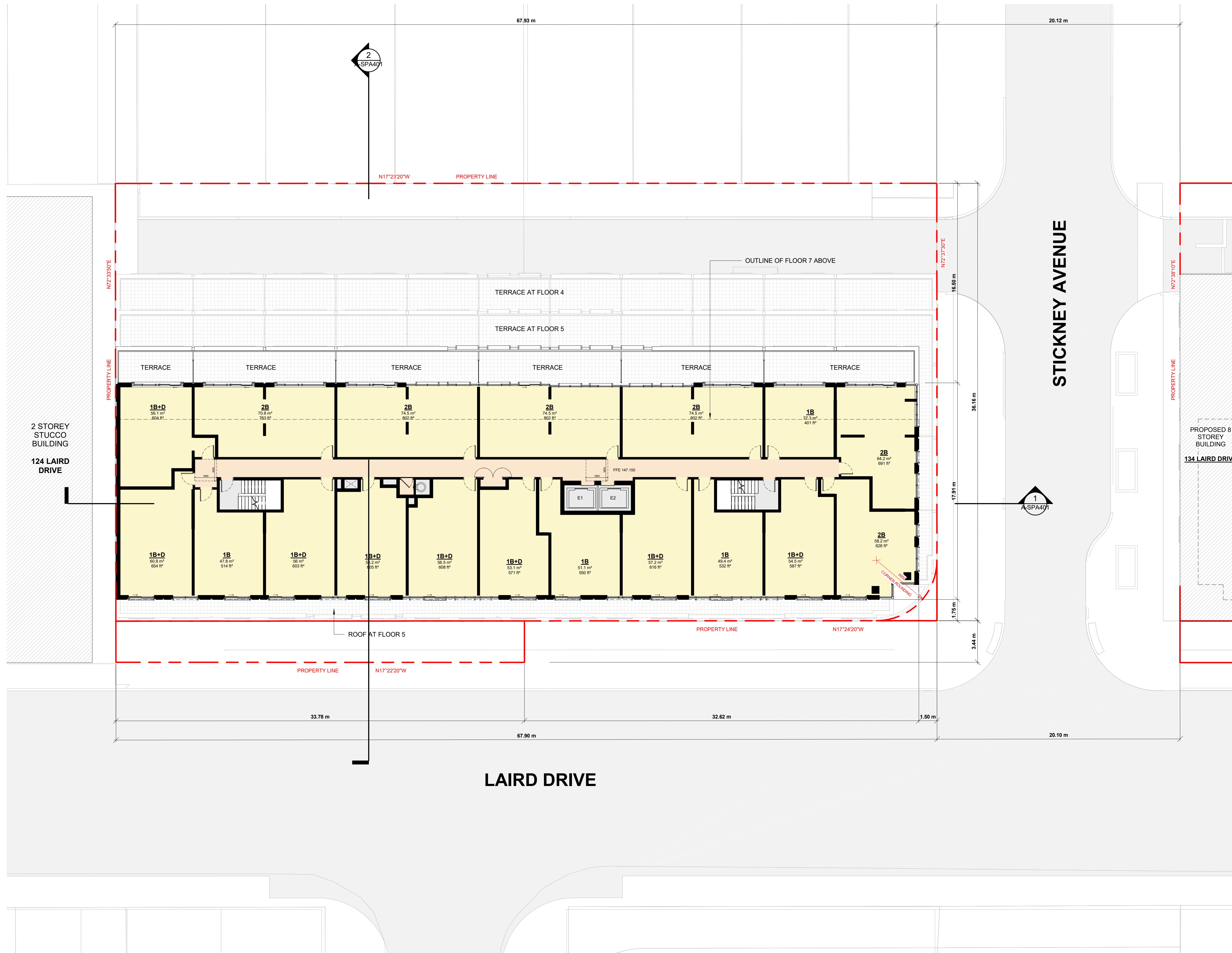
TORONTO, ON

DRAWING
FLOOR 05

PROJECT NO.	20.015CS
PROJECT DATE	2021-05-07
DRAWN BY	MDL
CHECKED BY	AYU
SCALE	1 : 150



DRAWING NO.
A-SPA155



4	2022-02-18	WITHOUT PREJUDICE SETTLEMENT	KLE
3	2021-09-03	RESUBMISSION FOR ZBA & SPA APPLICATION	KLE
2	2021-05-07	RESUBMISSION FOR ZBA & SPA APPLICATION	KLE
1	2020-08-14	ISSUED FOR ZBA & SPA APPLICATION	KLE
#	DATE	DESCRIPTION	BY

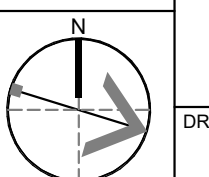
LEASIDE RESIDENCES I LP

PROJECT
126 & 132 LAIRD DRIVE

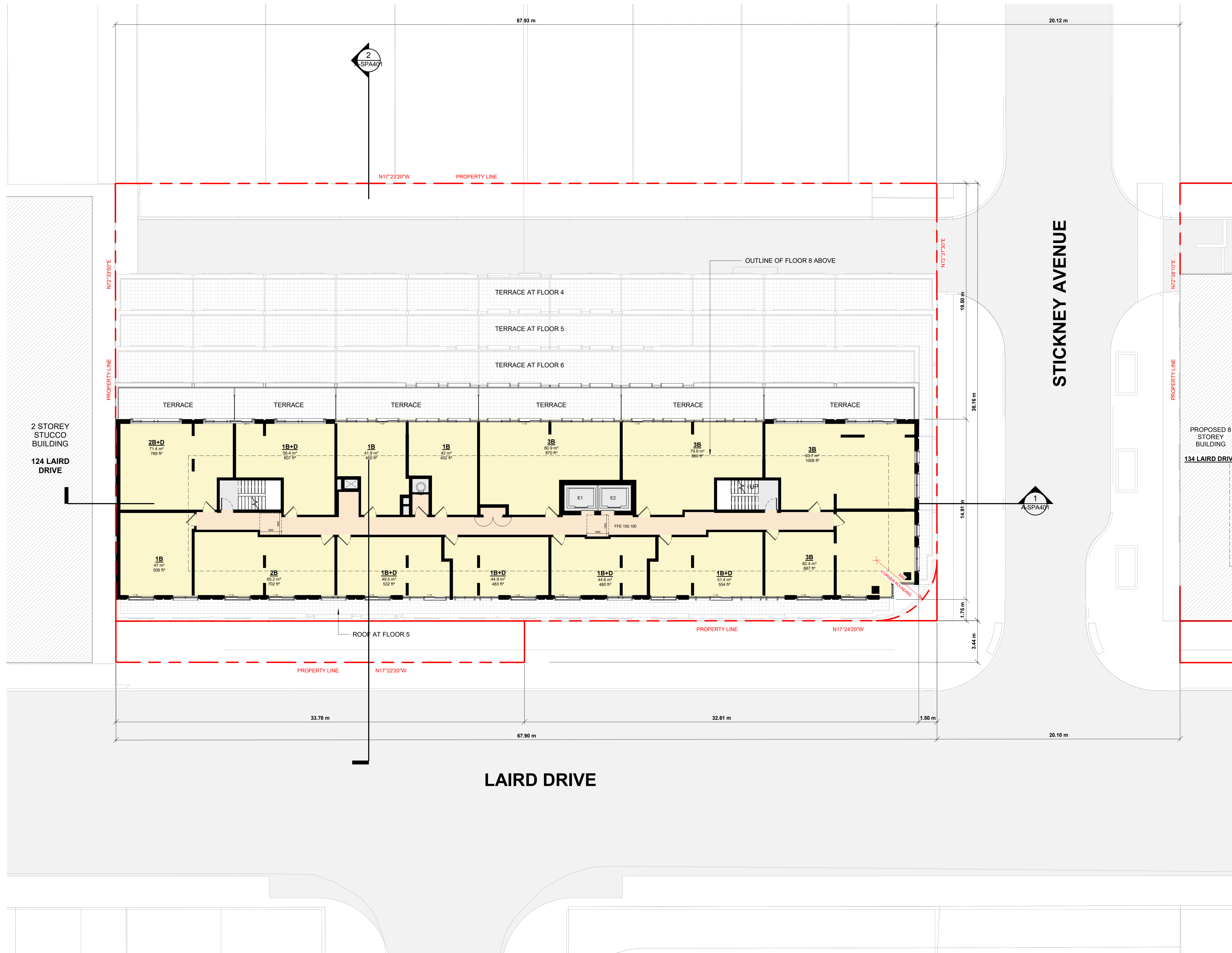
TORONTO, ON

DRAWING
FLOOR 06

PROJECT NO.
20.015CS
PROJECT DATE
2021-05-07
DRAWN BY
MDL
CHECKED BY
AYU
SCALE
1 : 150



DRAWING NO.
A-SPA156



#	DATE	DESCRIPTION	BY
4	2022-02-18	WITHOUT PREJUDICE SETTLEMENT	KLE
3	2021-09-03	RESUBMISSION FOR ZBA & SPA APPLICATION	KLE
2	2021-05-07	RESUBMISSION FOR ZBA & SPA APPLICATION	KLE
1	2020-08-14	ISSUED FOR ZBA & SPA APPLICATION	KLE

LEASIDE RESIDENCES I LP

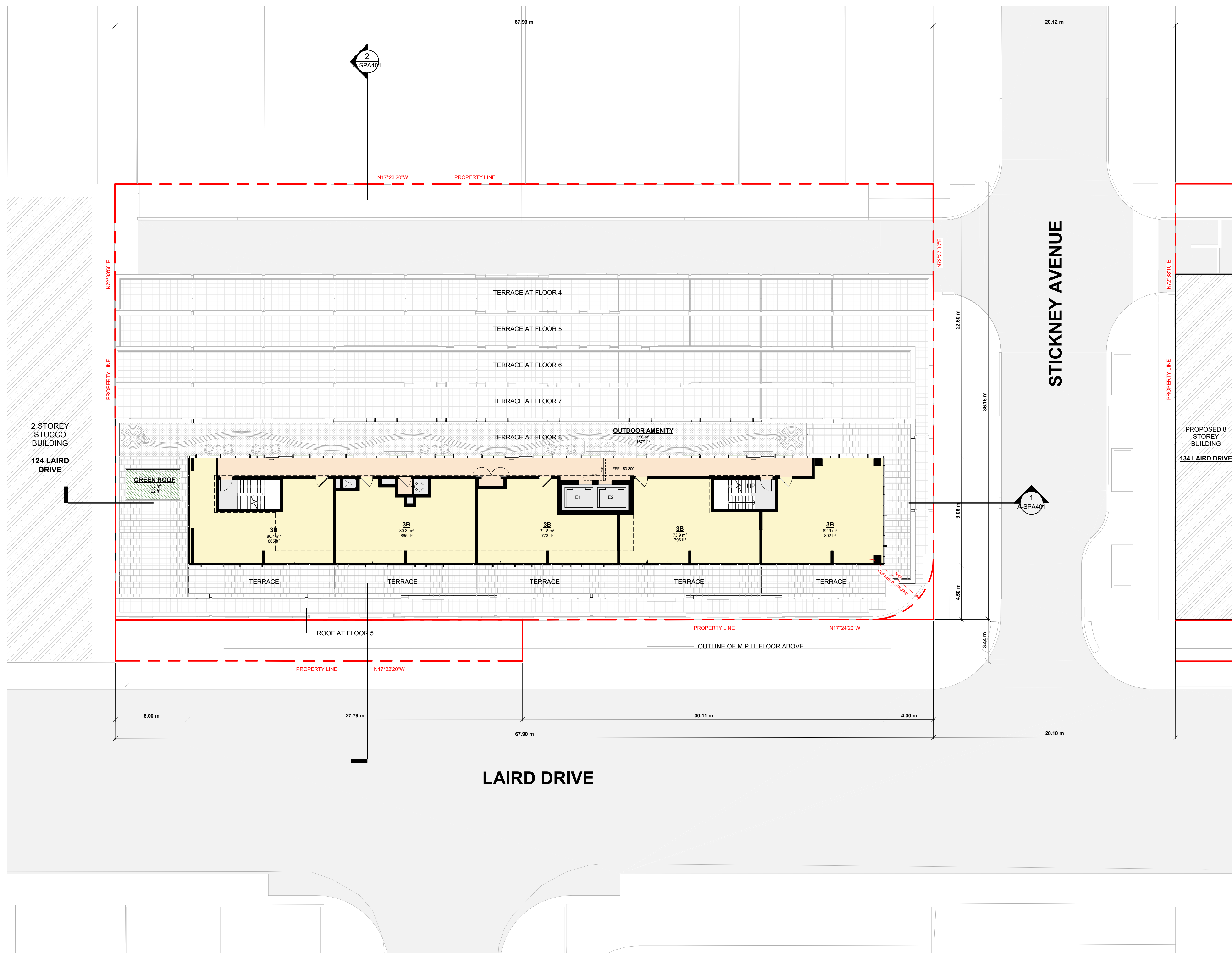
PROJECT
126 & 132 LAIRD DRIVE

TORONTO, ON

DRAWING
FLOOR 07

PROJECT NO. 20.015CS
PROJECT DATE 2021-05-07
DRAWN BY MDL
CHECKED BY AYU
SCALE 1 : 150

DRAWING NO.
A-SPA157



4	2022-02-18	WITHOUT PREJUDICE SETTLEMENT	KLE
3	2021-09-03	RESUBMISSION FOR ZBA & SPA APPLICATION	KLE
2	2021-05-07	RESUBMISSION FOR ZBA & SPA APPLICATION	KLE
1	2020-08-14	ISSUED FOR ZBA & SPA APPLICATION	KLE
#	DATE	DESCRIPTION	BY

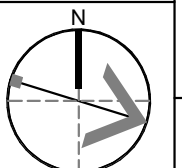
LEASIDE RESIDENCES I LP

PROJECT
126 & 132 LAIRD DRIVE

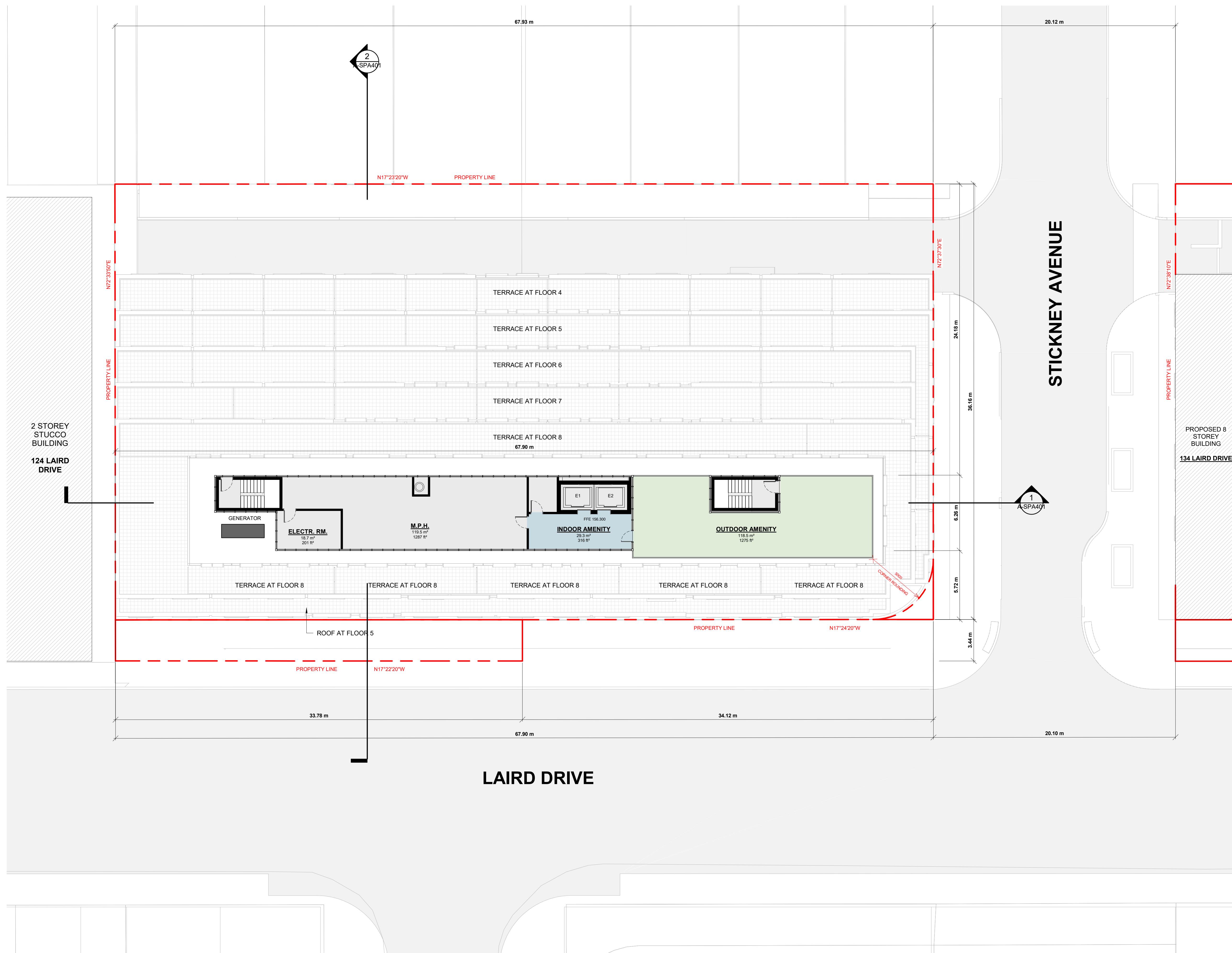
TORONTO, ON

DRAWING
FLOOR 08

PROJECT NO.
20.015CS
PROJECT DATE
2021-05-07
DRAWN BY
MDL
CHECKED BY
AYU
SCALE
1 : 150



DRAWING NO.
A-SPA158



#	DATE	DESCRIPTION	BY
4	2022-02-18	WITHOUT PREJUDICE SETTLEMENT	KLE
3	2021-09-03	RESUBMISSION FOR ZBA & SPA APPLICATION	KLE
2	2021-05-07	RESUBMISSION FOR ZBA & SPA APPLICATION	KLE
1	2020-08-14	ISSUED FOR ZBA & SPA APPLICATION	KLE

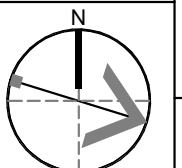
LEASIDE RESIDENCES I LP

PROJECT
126 & 132 LAIRD DRIVE

TORONTO, ON

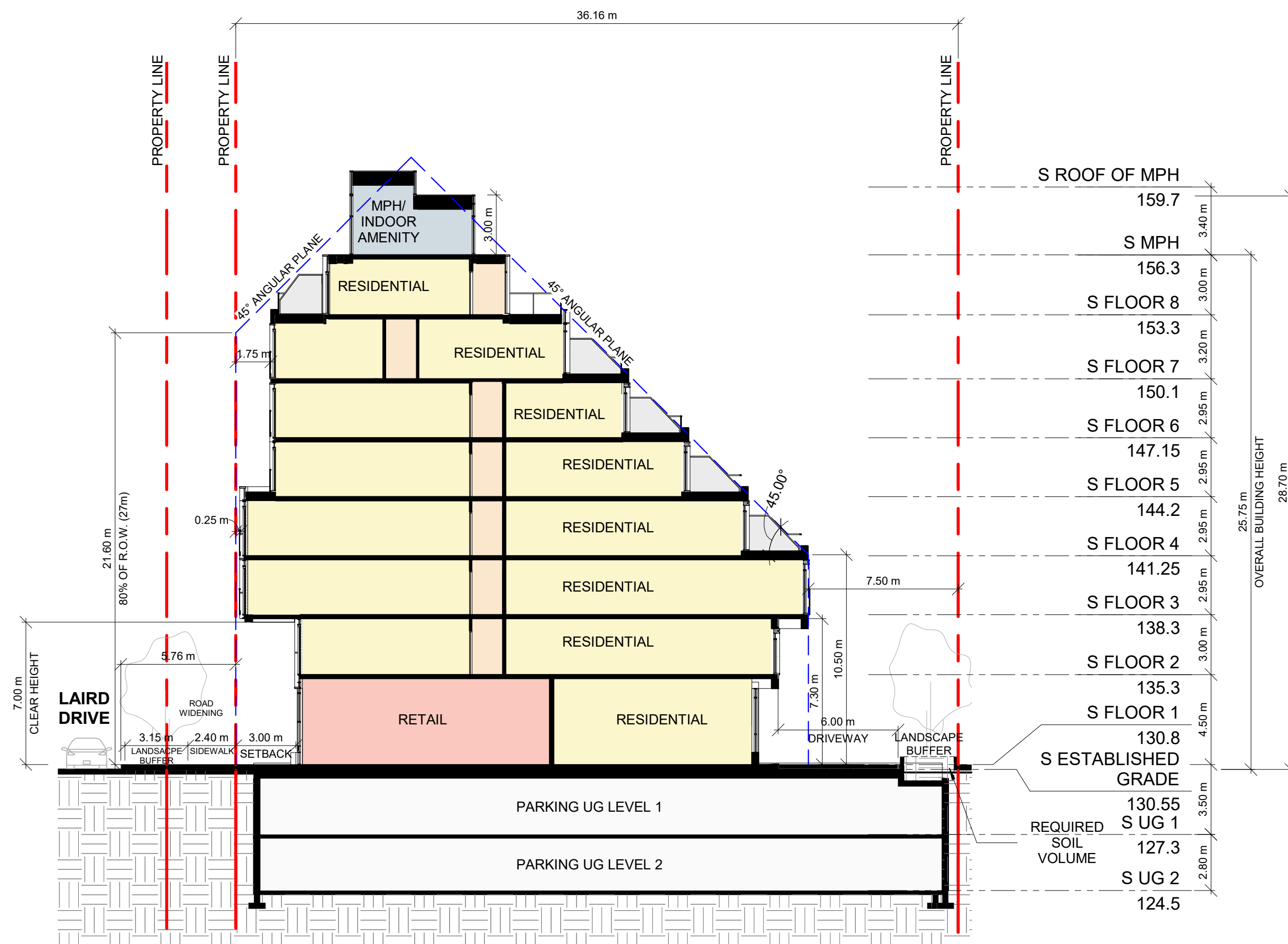
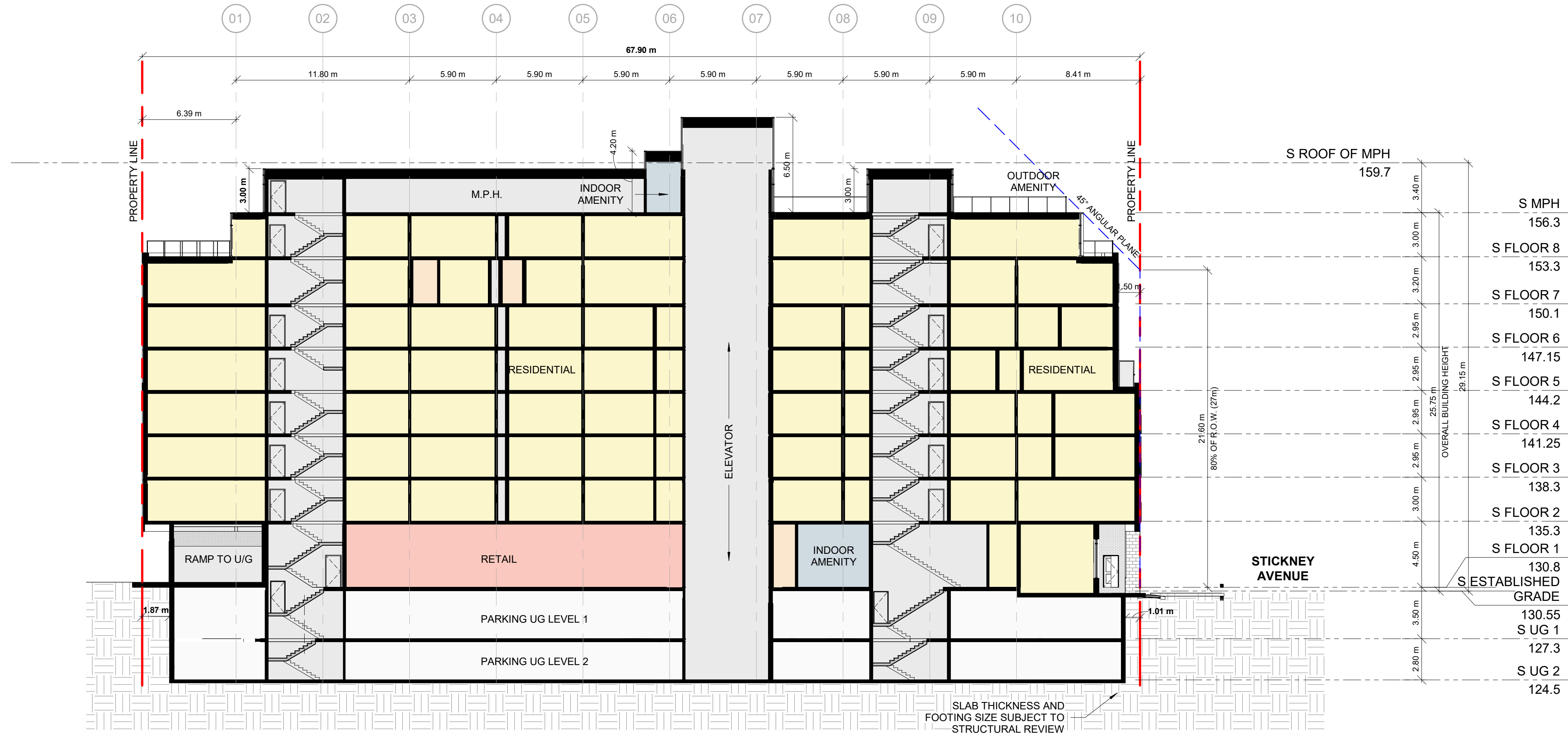
DRAWING
M.P.H.

PROJECT NO.
20.015CS
PROJECT DATE
2021-05-07
DRAWN BY
MDL
CHECKED BY
AYU
SCALE
1 : 150



DRAWING NO.
A-SPA159

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1	2020-08-14	ISSUED FOR ZBA & SPA APPLICATION	KLE
#	DATE	DESCRIPTION	BY

LEASIDE RESIDENCES I LP

PROJECT
126 & 132 LAIRD DRIVE

TORONTO, ON

DRAWING
BUILDING SECTIONS

PROJECT NO.
20.015CS
PROJECT DATE
2021-05-07
DRAWN BY
MDL
CHECKED BY
AYU
SCALE
1 : 200

DRAWING NO.
A-SPA401