

36 EGLINTON AVENUE WEST

TORONTO, ON



ISSUED FOR SETTLEMENT

MAY 04, 2022

DRAWING LIST:

A0,00	COVER SHEET / DRAWING LIST
A0,02	PROJECT STATISTICS
A0,03	CONTEXT: ROOF
A0,04	CONTEXT: GROUND
A0,05	SURVEY
A1,01	SITE PLAN
A2,00	BELOW GRADE - P5
A2,01	BELOW GRADE - P4
A2,02	BELOW GRADE - P3
A2,03	BELOW GRADE - P2
A2,04	BELOW GRADE - P1
A2,05	GROUND FLOOR PLAN
A2,06	LEVEL 2
A2,07	LEVEL 3
A2,08	LEVEL 4
A2,09	LEVEL 5
A2,10	LEVEL 6
A2,11	LEVEL 7-27
A2,12	LEVEL 28-59
A2,13	LEVEL 34 RES./ MECH.
A2,14	MECHANICAL PENTHOUSE
A2,15	ROOF PLAN
A4,01	SECTION A
A4,01a	SECTION A - PARTIAL

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3. Drawings are not to be scaled for construction. The Contractor is to verify all existing conditions and dimensions required to perform the work and report any discrepancies with the Contract Documents to the Architect before commencing any work.

4. Positions of exposed fasteners for mechanical or electrical devices, fittings and fixtures are indicated on architectural drawings. The location shown on the architectural drawing governs over the mechanical and electrical drawings. These items not clearly defined will be located as directed by the Architect.

5. These drawings are not to be used for construction unless noted below as "Issued for Construction".

6. All work is to be carried out in conformance with the Code and Bylaws of the Authorities having jurisdiction.

7. The Architect of these plans and specifications gives no warranty or representation to any party about the constructability of the buildings represented by them. All contractors or subcontractors must satisfy themselves when bidding and in all cases ensure that they can properly construct the work represented by these plans.

No.	Revision	Date
01	ISSUED FOR TBA SUBMISSION	2022-05-14
02	COORDINATE WITH LIFETIME DEVELOPMENTS	2022-05-14
03	ISSUED FOR METROPLAN REVIEW	2022-05-14
04	ISSUED FOR SETTLEMENT	2022-05-04

**WITHOUT
PREJUDICE**

WALLMAN ARCHITECTS

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www.wallmanarchitects.com



36 EGLINTON AVENUE WEST

TORONTO, ONTARIO
LIFETIME DEVELOPMENTS

49 Jackes Avenue, Suite 200
Toronto, Ontario, M4T 1E2
COVER SHEET (DRAWING LIST)

156 16 project number
2022-05-04 date
1044
104 drawn by
A0.00 sheet

CLIENT
LIFETIME DEVELOPMENTS
49 Jackes Avenue, Suite 200, Toronto, Ontario, M4T 1E2

ARCHITECT
WALLMAN ARCHITECTS
117 Peter St, Suite 208, Toronto, Ontario, M5V 0M3

PROJECT STATISTICS

59 STOREYS

	Unit Count						
Level	STUDY	1 BR	1BR+D	2BR	2BR+D	3BR	Total Units

BELOW GRADE

	PODIUM AND TOWER
--	------------------

Vehicle Parking Provided	Vehicle	Transit/Other	Bike	Total
Amtrak	0	0	0	0
MTA	0	32	22	54
NYC	0	37	13	50
NY	0	13	13	26
PA	0	0	0	0
Other	0	0	0	0
Total Provided	0	82	45	127

Net Sales / Leasable Summary		Net Leasable	
		1997	1998
Rental		180	3,137
Developmental		33,640	365,324
TOTAL:		34,820	368,461

Unit Allocation	%
1000	28.03%
1.5B+Q	37.52%
2BR	23.99%
2BR+Q	9.00%
3BR	10.27%
TOTAL	100%

Vehicle Parking Provided	Visitor	Residential	Non	Total
Grass				
P1	0	0		0
P2	0	22		22
P3	0	22		22
P4	0	13		13
P5	0	0		0

[illegible]

Insulated test block position	
100	25
400	35
1000	

Bicycle Parking Provided	(TGS Tier 1)		Total
	Visitors	Resident	
P1	8	252	260
P2	95	0	95
Total Resident Bicycle Rides	103	252	355

Number of respondents who gave feedback	100	100%	100%
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Item # 7, 154

No.	Issuance	Date (YYYY-MM-DD)
01	ISSUED FOR F&A SUBMISSION	2020-06-24
02	COORDINATION - 5 LEVELS W/2	2021-05-27
03	ISSUED FOR METROLINE REVIEW	2021-11-26

	ended with
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LIFETIME DEVELOPMENTS ▶

PROJECT STATISTICS

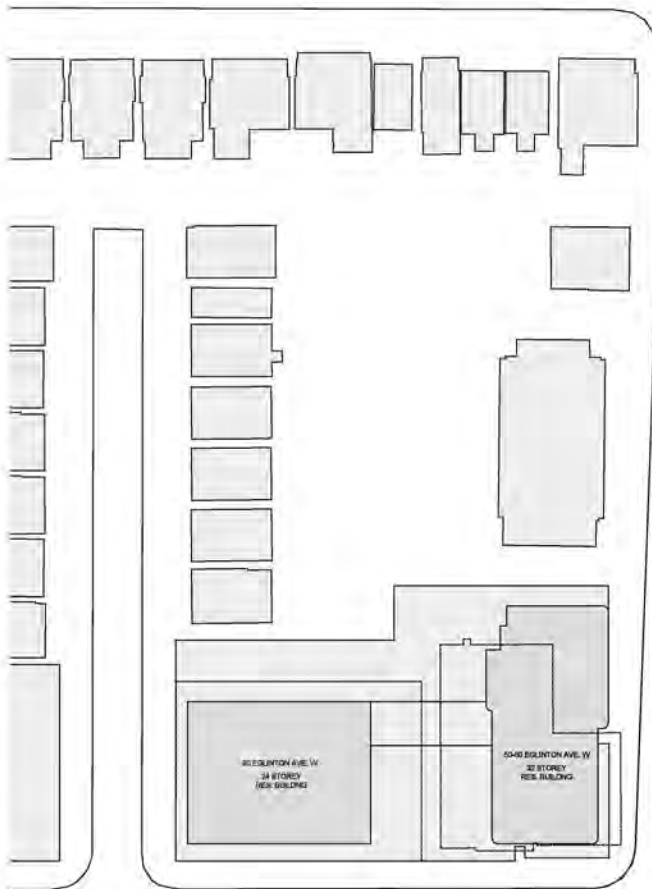
18-19	project number
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2023-05-04 00:00

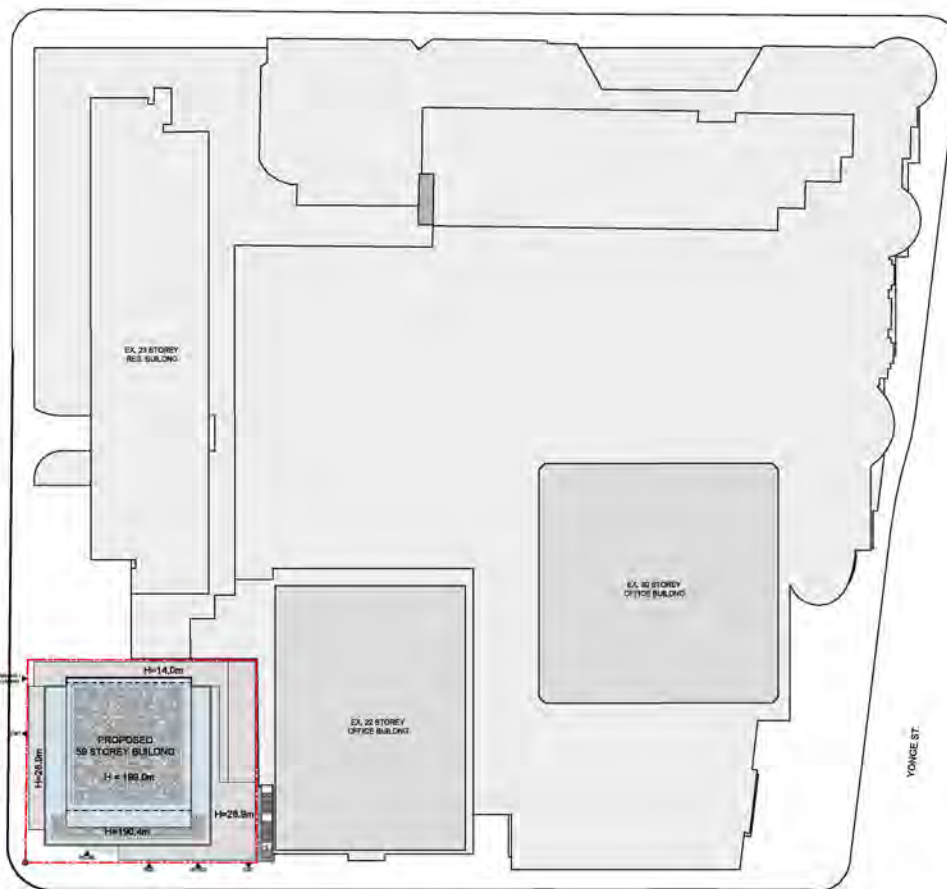
NTS	grade
WA	drawn by

A0 02 sheet

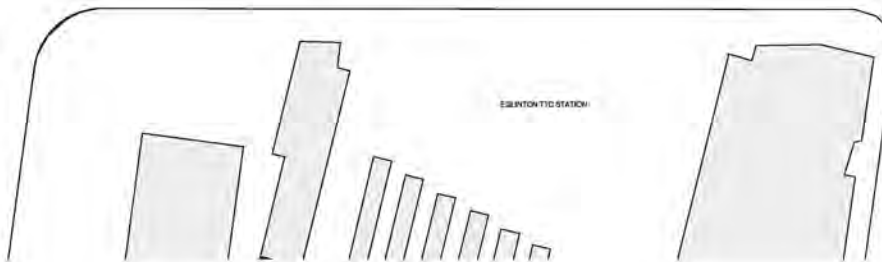
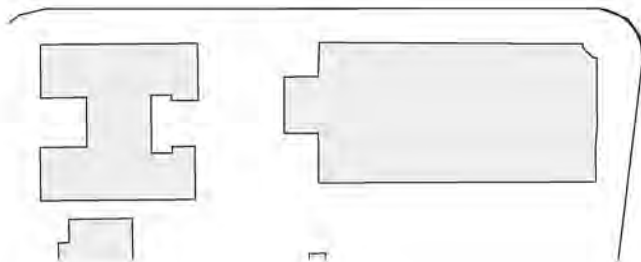
A0.02



DUPLEX AVE



EGLINTON AVE. W



EGLINTON STATION

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3. Drawings are not to be used for construction. The Contractor is to verify all existing conditions and dimensions required to perform the work and report and discrepancies with the Contract Documents to the Architect before commencing any work.

4. Portion of required drawings for mechanical or electrical, heating and ventilation are indicated on architectural drawings. The Architect shall be responsible for providing these drawings for the mechanical and electrical drawings. These drawings shall be provided as directed by the Architect.

5. These drawings shall not be used for reproduction without prior written permission of the Architect.

6. All work is to be carried out in accordance with the Code and Rules of the Building Department.

7. The Architect of these plans and specifications gives no warranty or representation in any way about the completeness of the building and represented by these. All contractors or subcontractors must verify themselves before starting and at all times ensure that they can properly construct the work represented by these plans.

No.	Revisions	Date (YYYY-MM-DD)
01	REVISION FOR 2D IN 3D	2023-08-01
02	REVISION FOR 2D IN 3D	2023-08-01
03	REVISION FOR 2D IN 3D	2023-08-01
04	REVISION FOR 2D IN 3D	2023-08-01

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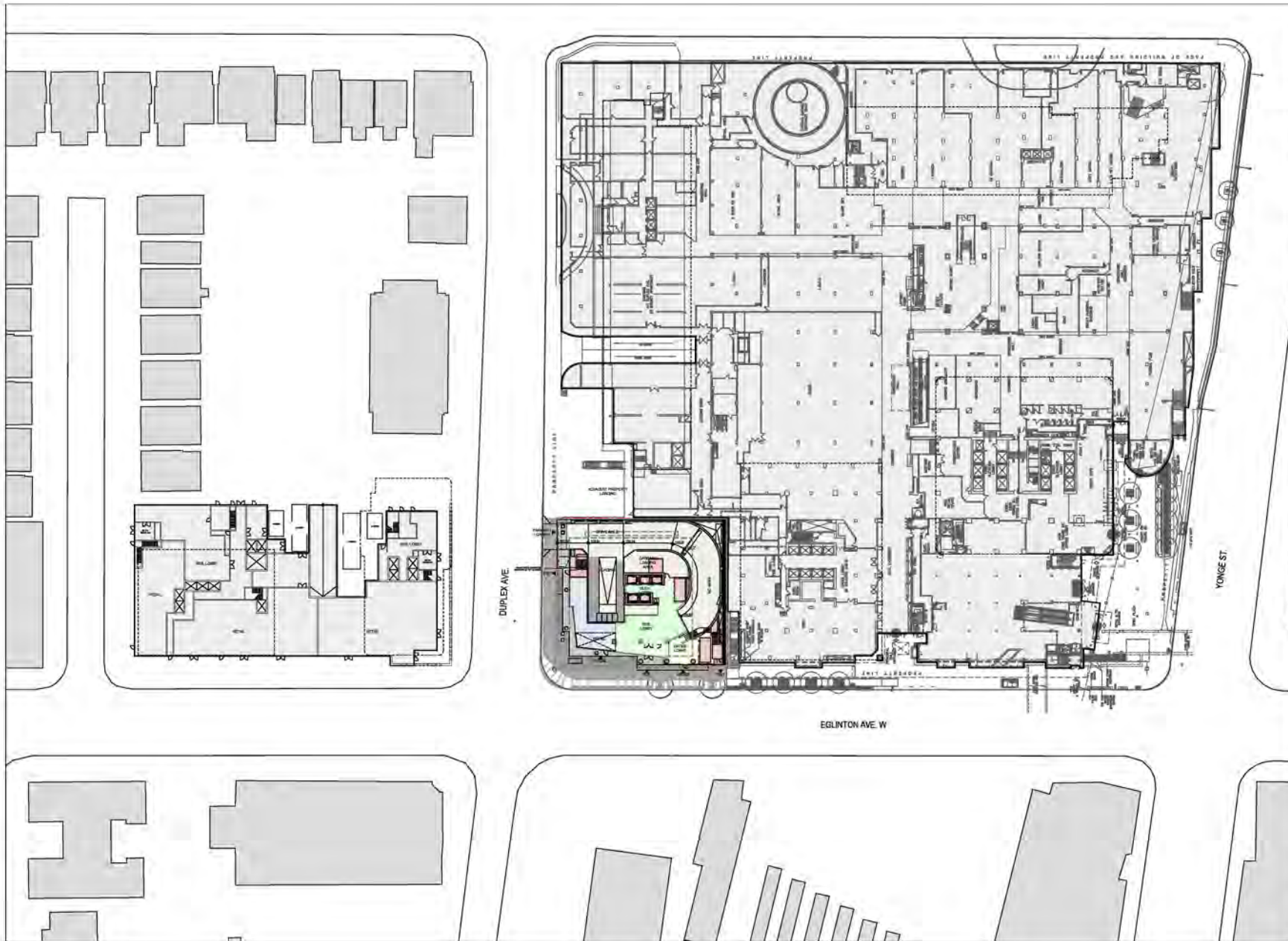
TORONTO, ONTARIO
LIFETIME DEVELOPMENTS

43 Adelaide Avenue, Suite 210
Toronto, Ontario, M5T 1E3

CONTEXT PLAN - ROOF

NO.	Revisions	Date (YYYY-MM-DD)
01	REVISION FOR 2D IN 3D	2023-08-01
02	REVISION FOR 2D IN 3D	2023-08-01
03	REVISION FOR 2D IN 3D	2023-08-01
04	REVISION FOR 2D IN 3D	2023-08-01

A0.03



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3. Drawings are not to be used for construction. The Contractor is to verify all existing conditions and dimensions required to perform the work and report and discrepancies with the Contract Documents to the Architect before commencing any work.
4. Portion of proposed drawings for mechanical or electrical, heating and cooling are subject to architectural approval. The Architect shall be the architectural drawing phase over the mechanical and electrical drawings. These drawings and specifications shall be located as directed by the Architect.
5. These drawings are not to be used for the construction of the building without the Architect's approval.
6. All work is to be carried out in accordance with the Code and Rules of the Architect's governing jurisdiction.
7. The Architect of these plans and specifications gives no warranty or representation in any way about the completeness of the building and representation by the Architect. All drawings or specifications that require the Architect's approval and at all times ensure that they are properly completed for the work represented by these plans.

No.	Revisions	Date (YYYY-MM-DD)
1.	ISSUED FOR PERMITS	2023-08-20
2.	FOR CONSTRUCTION - LAYOUT	2023-09-01
3.	FOR CONSTRUCTION - LAYOUT	2023-09-01
4.	FOR CONSTRUCTION - LAYOUT	2023-09-01

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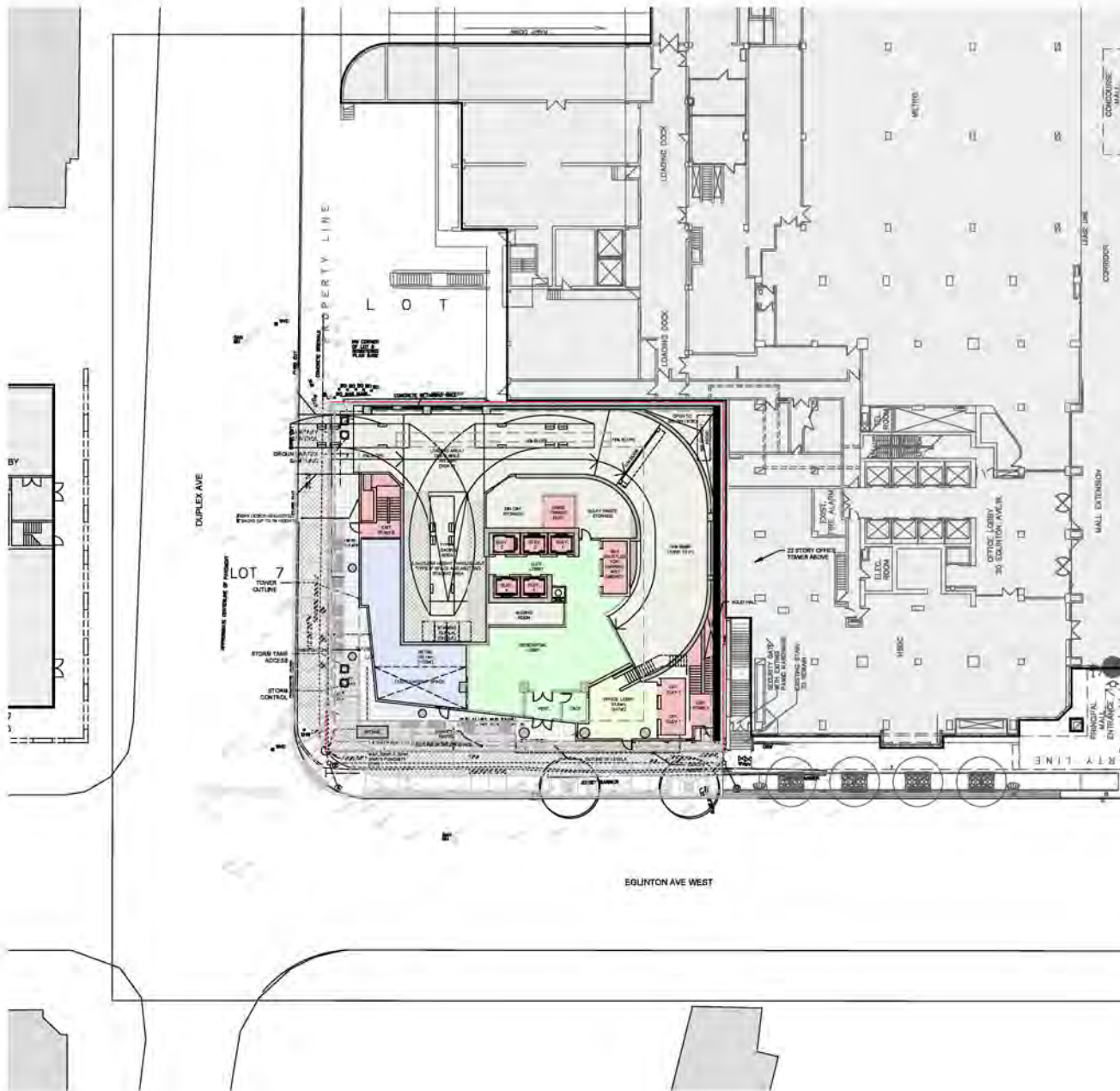
TORONTO, ONTARIO
LIFETIME DEVELOPMENTS

44 Adelaide Avenue, Suite 210
Toronto, Ontario, M5T 1S3

CONTEXT PLAN: GROUND

1/8"=1'0" project location
2023-09-01 date
1/8"=1'0" scale
1/8"=1'0" scale

A0.04



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3. Drawings are not to be used for construction. The Contractor is to verify all existing conditions and dimensions required to perform the work and report and discrepancies with the Contract Documents to the Architect before commencing any work.
4. Portion of required fixtures for mechanical or electrical control, piping and fixtures are indicated on architectural drawings. The Contractor shall be responsible for the coordination of mechanical and electrical drawings. These drawings and details shall be located as shown by the Architect.
5. These drawings are not to be used for investigations unless noted otherwise (marked for Construction).
6. All work is to be carried out in accordance with the Code and Rules of the Authority having jurisdiction.
7. The Architect of these plans and specifications gives no warranty or representation in any way about the completeness of the building represented by these. All contractors or subcontractors shall verify themselves when visiting and at all times ensure that they are properly licensed for the work represented by these plans.

No.	Description	Date (YYYY-MM-DD)
1	REVISION FOR LIAISON TO ARCHITECT	2023-09-20
2	REVISION FOR LIAISON TO ARCHITECT	2023-09-20
3	REVISION FOR LIAISON TO ARCHITECT	2023-09-20
4	REVISION FOR LIAISON TO ARCHITECT	2023-09-20
5	REVISION FOR LIAISON TO ARCHITECT	2023-09-20
6	REVISION FOR LIAISON TO ARCHITECT	2023-09-20
7	REVISION FOR LIAISON TO ARCHITECT	2023-09-20
8	REVISION FOR LIAISON TO ARCHITECT	2023-09-20
9	REVISION FOR LIAISON TO ARCHITECT	2023-09-20
10	REVISION FOR LIAISON TO ARCHITECT	2023-09-20

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TORONTO, ONTARIO
LIFETIME DEVELOPMENTS

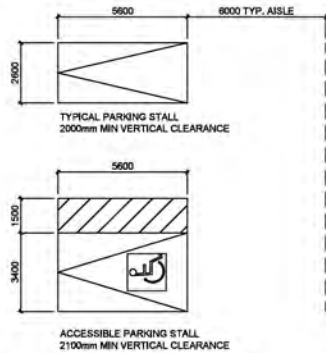
43 Jackie Avenue, Suite 210
Toronto, Ontario, M8T 1E3

SITE PLAN

18-19
2023-05-04
1:200
100

A1.01

PARKING NOTES AND LEGEND

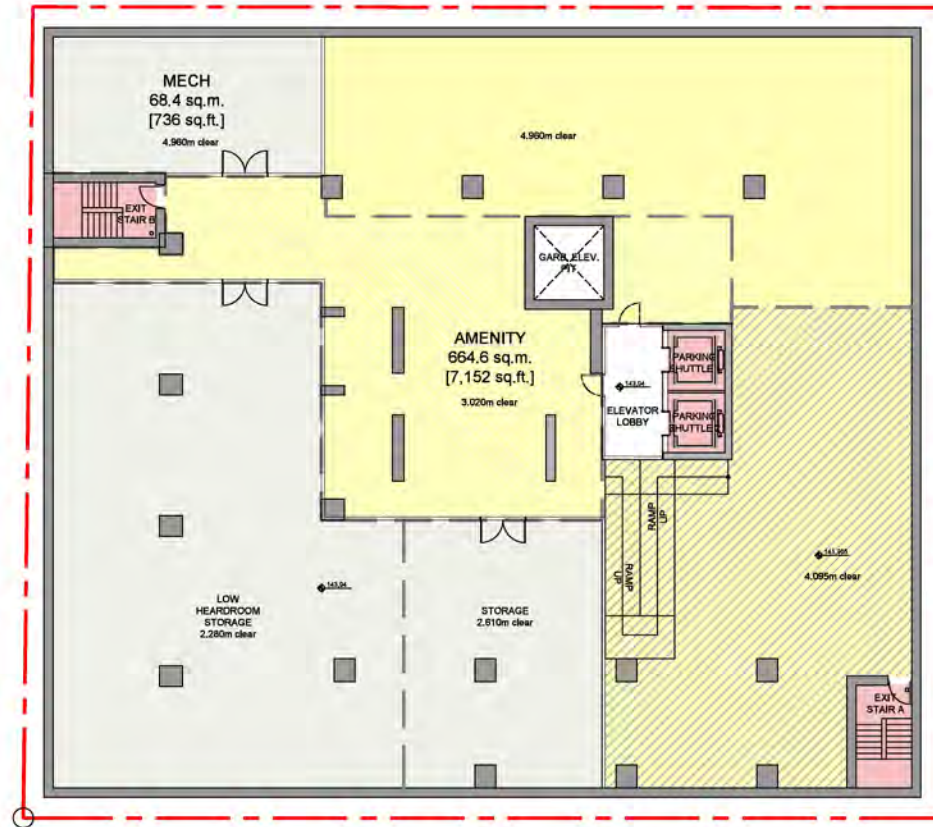


NOTE: ALL PARKING SPACES AND ACCESS DRIVE AISLES TO COMPLY WITH DIMENSIONAL REQUIREMENTS OF CITY OF TORONTO ZONING BY-LAW 569-2013

- 1) VERTICAL CLEARANCE OVER ENTIRE PARKING SPACE TO BE 2.0m MIN (UNLESS NOTED OTHERWISE)
- 2) THE MINIMUM WIDTH MUST BE INCREASED BY 300mm FOR EACH SIDE OF THE PARKING SPACE THAT IS OBSTRUCTED BY MORE THAN 1m FROM THE FRONT OR REAR OF THE SPACE.

C.M. - DENOTES CONVEX MIRROR

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No.	Revisions	Date (YYYY-MM-DD)
01	ISSUED FOR CONSTRUCTION	2023-05-24
02	COORDINATION - LEVELS LOG	2023-05-24
03	ISSUED FOR MECHANICAL REVIEW	2023-11-29
04	ISSUED FOR ELECTRICAL REVIEW	2023-05-24

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36 EGLINTON AVENUE WEST

TORONTO, ONTARIO
LIFETIME DEVELOPMENTS

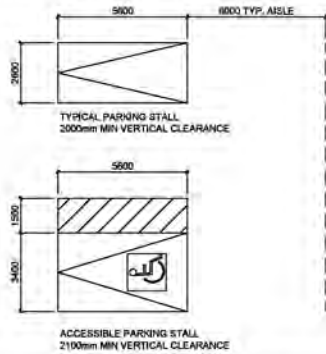
43 Jackson Avenue, Suite 200
Toronto, Ontario, M6T 1E3

PS
AMENITY LEVEL

1/8"=1'	project number
2023-05-24	2023
1/100	2023
1/4"	2023

A2.00

PARKING NOTES AND LEGEND

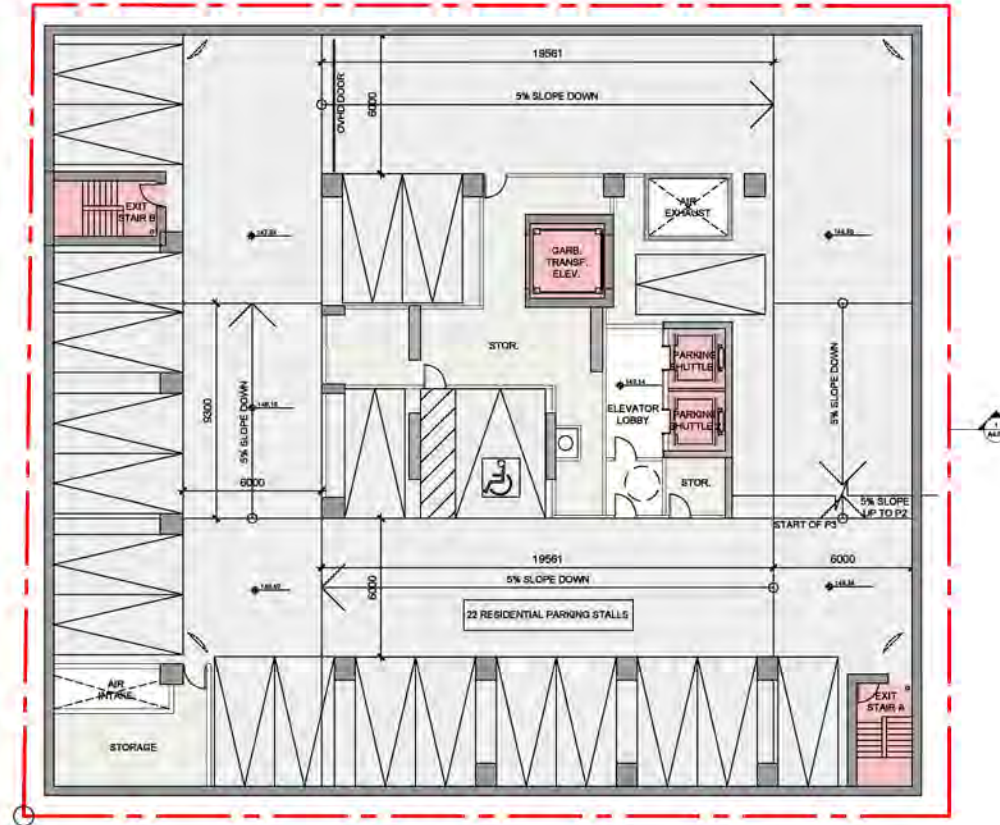


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- 2) THE MINIMUM WIDTH MUST BE INCREASED BY 300mm FOR EACH SIDE OF THE PARKING SPACE THAT IS OBSTRUCTED BY MORE THAN 1m FROM THE FRONT OR REAR OF THE SPACE.

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No.	Description	Date
01	REVISIONS	2024-09-20
02	REVISIONS	2024-09-20
03	REVISIONS	2024-09-20
04	REVISIONS	2024-09-20
05	REVISIONS	2024-09-20
06	REVISIONS	2024-09-20
07	REVISIONS	2024-09-20
08	REVISIONS	2024-09-20
09	REVISIONS	2024-09-20
10	REVISIONS	2024-09-20
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14	REVISIONS	2024-09-20
15	REVISIONS	2024-09-20
16	REVISIONS	2024-09-20
17	REVISIONS	2024-09-20
18	REVISIONS	2024-09-20
19	REVISIONS	2024-09-20
20	REVISIONS	2024-09-20
21	REVISIONS	2024-09-20
22	REVISIONS	2024-09-20

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36 EGLINTON AVENUE WEST

TORONTO, ONTARIO
LIFETIME DEVELOPMENTS

33 Adelaide Avenue, Suite 210
Toronto, Ontario, M5T 1E3


P3
PARKING LEVEL

DATE	PROJECT NUMBER
2024-09-20	2024-09-20
1.001	2024-09-20
1.002	2024-09-20
1.003	2024-09-20

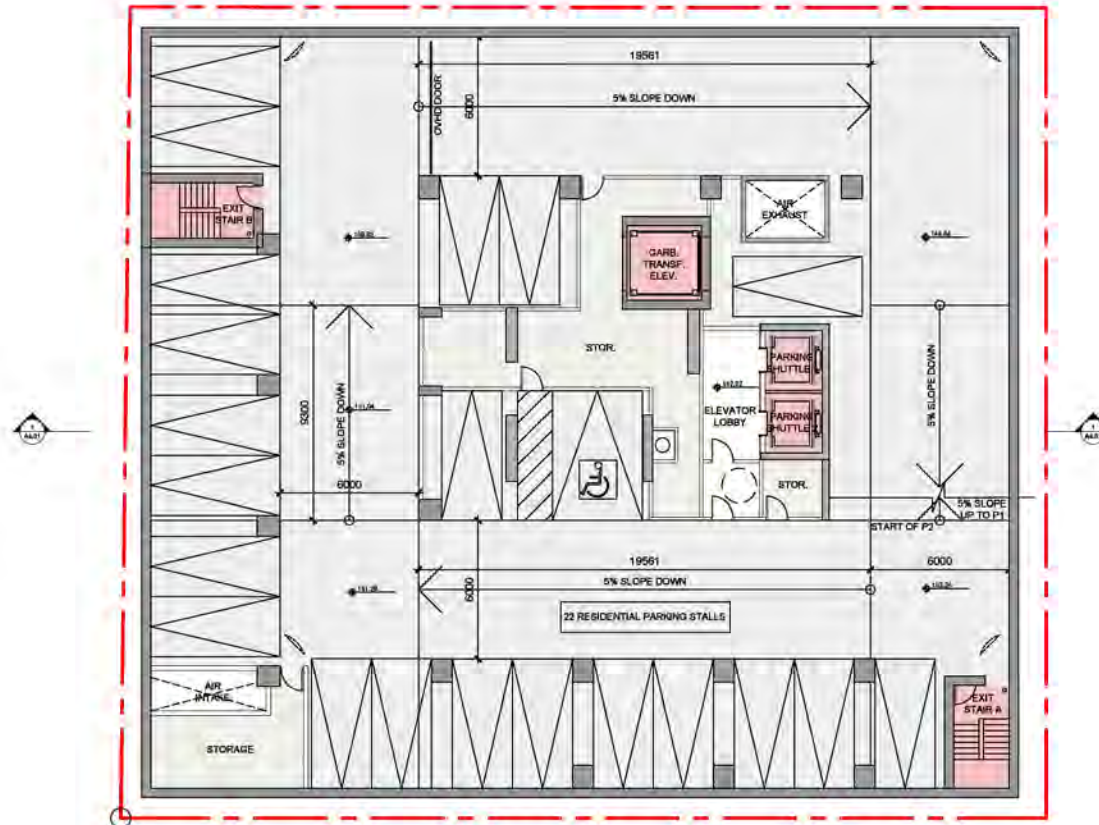
A2.02

TYPICAL PARKING STALL
2000mm MIN VERTICAL CLEARANCE

ACCESSIBLE PARKING STALL
2100mm MIN VERTICAL CLEARANCE

 - DENOTES CONVEX MIRROR

CEILING OR WALL HUNG AT A HIGH LEVEL AT ALL RIGHT-ANGLES AND AT THE TOP AND BOTTOM OF ALL RAMPS. POSITIONED TO ENSURE MOTORISTS HAVE CLEAR VIEWS OF ONCOMING TRAFFIC.



- [illegible]

[illegible]

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36 EGLINTON AVENUE WEST	01/01/01
TORONTO, ONTARIO	
LIFETIME DEVELOPMENTS	00/01/01
49 Juchess Avenue, Suite 210 Toronto, Ontario, M6T 1T3	
P2 PARKING LEVEL	00/01/01
1A-F1	original contract
2022-01-01	00/01/01
1.1M	1.1M
100	1000000
A2.03	00/01/01

5100

2000

6000 TYP. AISLE

TYPICAL PARKING STALL
2000mm MIN VERTICAL CLEARANCE

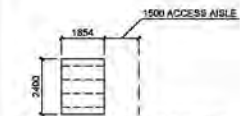
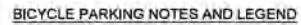
5600

2100

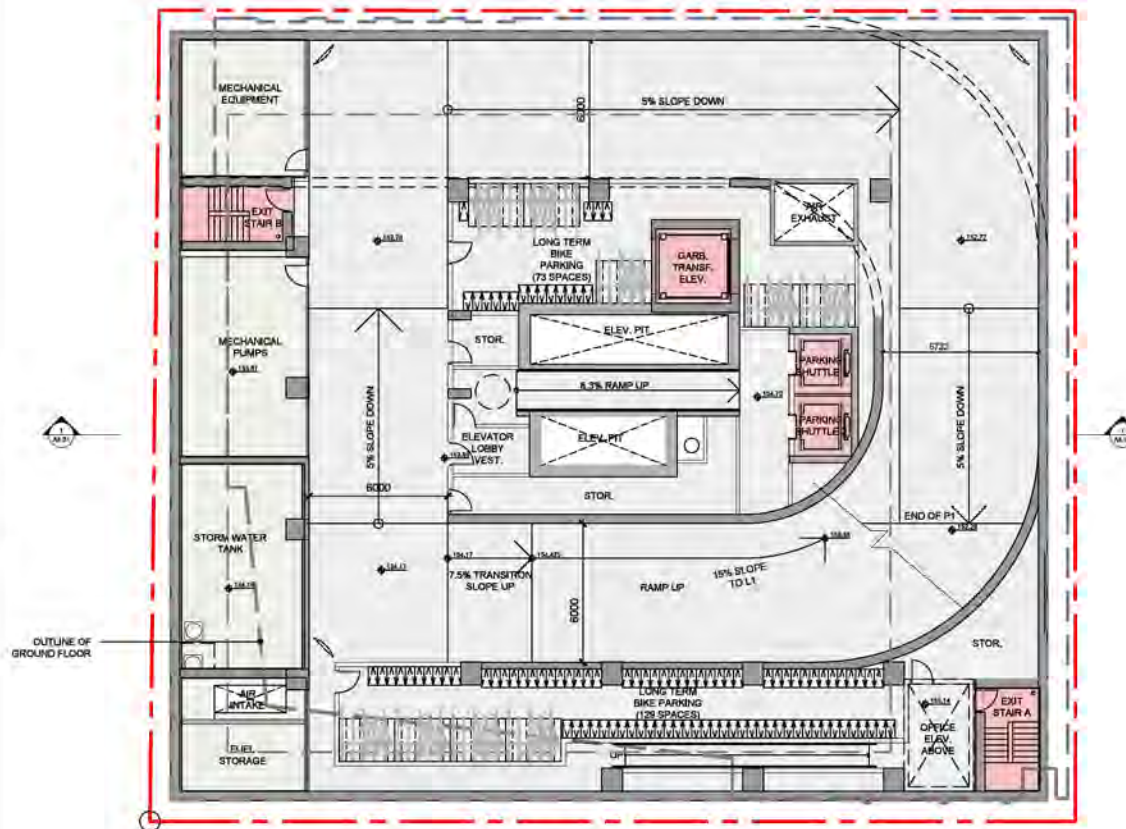
2100

ACCESSIBLE PARKING STALL
2100mm MIN VERTICAL CLEARANCE

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- 2) THE MINIMUM WIDTH MUST BE INCREASED BY 300mm FOR EACH SIDE OF THE PARKING SPACE THAT IS OBSTRUCTED BY MORE THAN 1m FROM THE FRONT OR REAR OF THE SPACE.



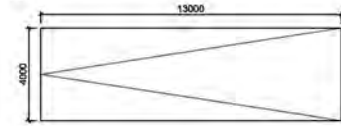
NOTE: ALL BIKE PARKING SPACES AND ACCESS AISLES TO COMPLY WITH DIMENSIONAL REQUIREMENTS OF CITY OF TORONTO ZONING BY-LAW 588-2013.



A2.04

TYPE G LOADING SPACE

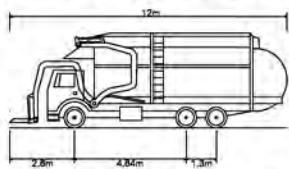
VERTICAL CLEARANCE OF 8.1m ALONG ENTIRE LENGTH
MIN. 200mm REINFORCED CONCRETE ALONG ENTIRE LENGTH WITH A MAX. SLOPE OF 2%



1. LOADING SPACE TO COMPLY WITH THE MINIMUM DIMENSIONAL REQUIREMENTS OF CITY OF TORONTO ZONING BY-LAW (569-2013)

2. STAGING AREA TO BE CONSTRUCTED OF MIN. 200mm REINFORCED CONCRETE WITH A MAX. SLOPE OF 2%

DESIGN VEHICLE - CITY OF TORONTO (Front Loading Refuse Collection Vehicle)



Overall Length (Forks Down) 12.00m
Overall Length (Forks Up) 10.00m
Overall Width 2.45m
Overall Body Height 4.10m
Outside Turning Radius 14.00m
Inside Turning Radius 9.50m

GENERAL NOTES

1. INSTALL AND MAINTAIN A FLASHING WARNING LIGHT SYSTEM WITH APPROPRIATE SIGNAGE AT THE TOP OF THE ACCESS RAMP LEADING TO THE UNDERGROUND GARAGE THAT WARNS MOTORISTS EXITING THE PARKING GARAGE TO WATCH FOR LARGE TRUCKS AND PEDESTRIANS MANEUVERING BEYOND THE TOP OF THE ACCESS RAMP.

2. "NO PARKING" SIGNAGE TO BE INSTALLED ADJACENT TO TYPE G LOADING SPACE.



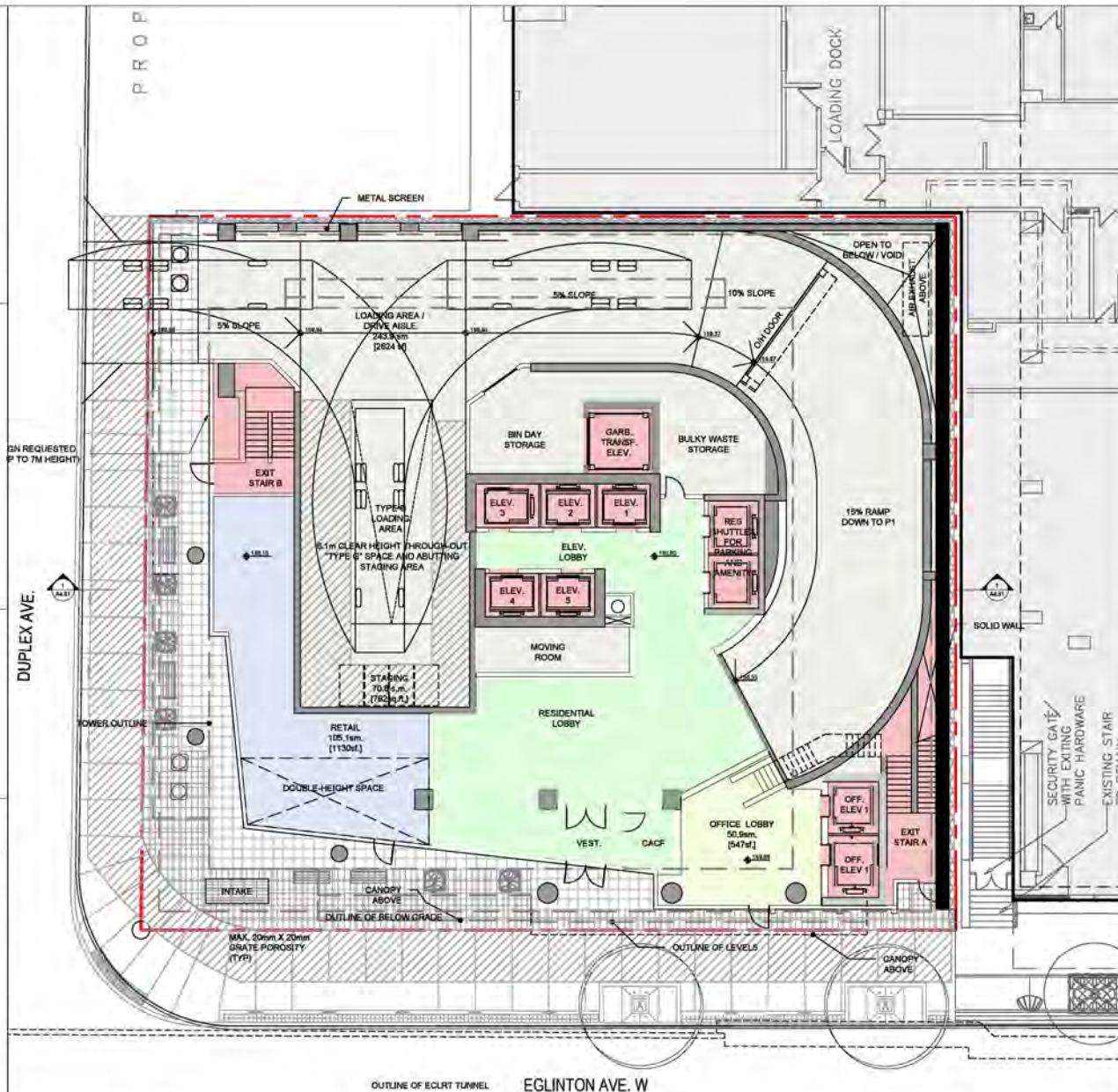
SOLID WASTE NOTES

1. TYPE G LOADING SPACE, STAGING AREA AND GARBAGE STORAGE ROOMS TO COMPLY WITH THE "CITY OF TORONTO REQUIREMENTS FOR GARBAGE, RECYCLING AND ORGANICS COLLECTION SERVICES FOR NEW DEVELOPMENTS AND REDEVELOPMENTS - LAST REVISED: MAY 2012"

2. CLEARANCE
ALL DRIVEWAYS AND PASSAGEWAYS PROVIDING ACCESS TO THE TYPE G LOADING SPACE TO HAVE MINIMUM VERTICAL CLEARANCE OF 4.4m AND OVERHEAD DOORS TO HAVE MINIMUM OPENING DIMENSIONS OF 4m WIDE BY 4.4m HIGH.

3. GRADING
TYPE G LOADING SPACE AND STAGING AREA TO BE CONSTRUCTED OF MINIMUM 200mm OF REINFORCED CONCRETE WITH A MAXIMUM GRADE OF 2%. SLOPES OF ALL TRUCK ACCESS ROUTES SHALL NOT EXCEED 8%.

4. OPERATION
A TRAINED ON-SITE STAFF MEMBER MUST BE PRESENT TO MANEUVER BINS FOR THE COLLECTION DRIVER AND ALSO ACT AS A FLAGMAN WHEN THE TRUCK IS REVERSING. IN THE EVENT THE ON-SITE STAFF IS UNAVAILABLE AT THE TIME THE CITY COLLECTION VEHICLES ARRIVE AT THE SITE, THE COLLECTION VEHICLE WILL LEAVE THE SITE AND NOT RETURN UNTIL THE NEXT SCHEDULED COLLECTION DAY.



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4. Portions of required drawings for construction or structural details, and drawings are subject to architectural changes. The Contractor shall be responsible for the architectural changes phase over the mechanical and electrical drawings. These drawings and details shall be located as shown by the Architect.

5. These drawings are not to be used for construction without prior written permission of the Architect.

6. All work is to be carried out in accordance with the Code and Rules of the Authority having jurisdiction.

7. The Architect of these plans and specifications gives no warranty or representation in any way about the suitability of the building and its contents for use as a residence or for any other purpose. The Architect is not responsible for any damage or loss of any kind resulting from the use of the building for any purpose other than that intended by the Architect.

No.	Revisions	Date (YYYY-MM-DD)
1	ISSUED FOR PERMIT	2023-08-01
2	FOR CONSTRUCTION - LAYOUT	2023-08-01
3	FOR CONSTRUCTION - LAYOUT	2023-08-01
4	FOR CONSTRUCTION - LAYOUT	2023-08-01

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416 340 1870
416 340 1871
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36 EGLINTON AVENUE WEST

TORONTO, ONTARIO
LIFETIME DEVELOPMENTS

63 Adelaide Avenue, Suite 210
Toronto, Ontario, M5T 1E3

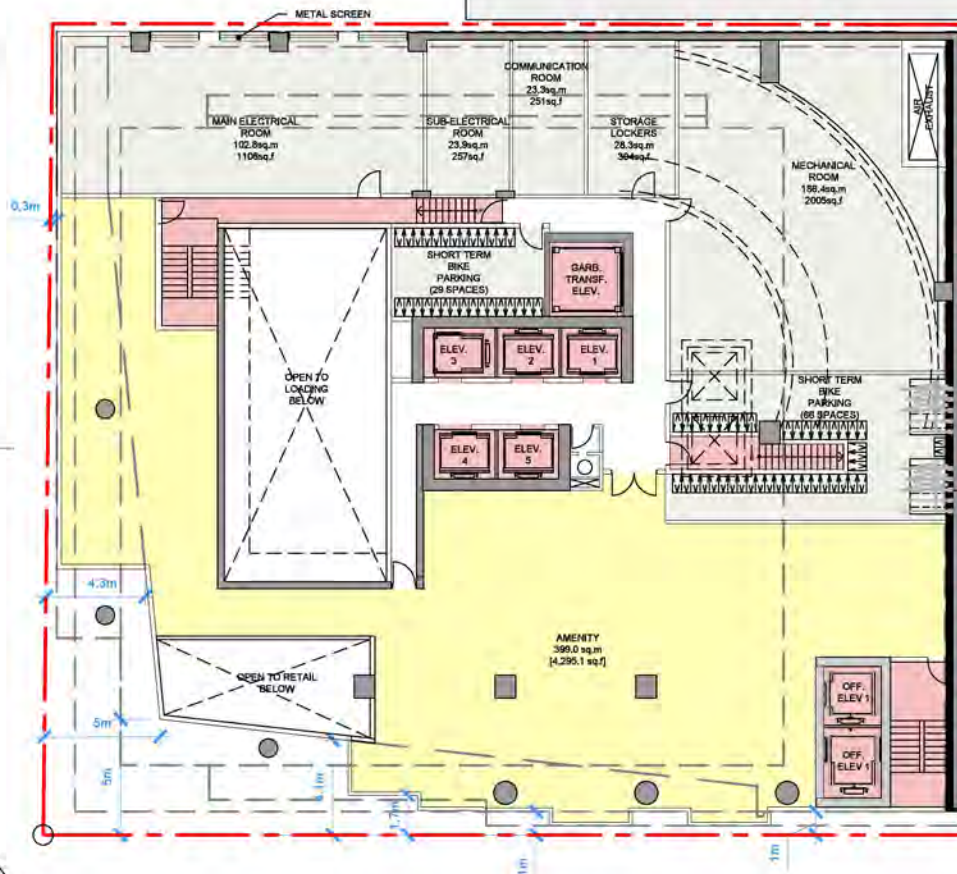
101 GROUND FLOOR PLAN

A2.05

LEGEND:

- AMENITY
- SUPPORT SPACES / MECH
- VERTICAL CIRCULATION

DUPLEX AVE.



EGLINTON AVE. W

EXISTING
BUILDING
2 STOREY
PODIUM

EXISTING
22 STOREY
OFFICE
TOWER

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5. These drawings are not to be used for investigations unless noted otherwise (marked for Construction).
6. All work is to be carried out in accordance with the Code and Rules of the Authority having jurisdiction.
7. The Architect of these plans and specifications gives no warranty or representation in any way about the constructability of the building represented by these. All contractors or subcontractors shall verify dimensions when visiting and at all times ensure that they can properly construct the work represented by these plans.

No.	Revisions	Date (YYYY-MM-DD)
01	ISSUE FOR PERMITS	2023-08-24
02	COORDINATION - STRUCTURAL	2023-09-07
03	ISSUE FOR MECHANICAL REVIEW	2023-11-29
04	ISSUE FOR ELECTRICAL REVIEW	2023-12-04

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36 EGLINTON AVENUE WEST

TORONTO, ONTARIO
LIFETIME DEVELOPMENTS

42 Jackie Avenue, Suite 210
Toronto, Ontario, M6T 1E3
L22 FLOOR PLAN

1:416
2023-12-04
1:100
1:100
1:100
1:100

A2.06

DUPLEX AVE.

EXISTING
BUILDING
2 STOREY
PODIUM

EXISTING
22 STOREY
OFFICE
TOWER

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36 EGLINTON AVENUE WEST

TORONTO, ONTARIO
LIFETIME DEVELOPMENTS

48 Jackson Avenue, Suite 200
Toronto, Ontario, M4T 1E2

**L03
FLOOR PLAN**

16-18	project number
2022-05-04	date
1:30	scale
YSA	drawn by

A2.07

EGLINTON AVE. W.

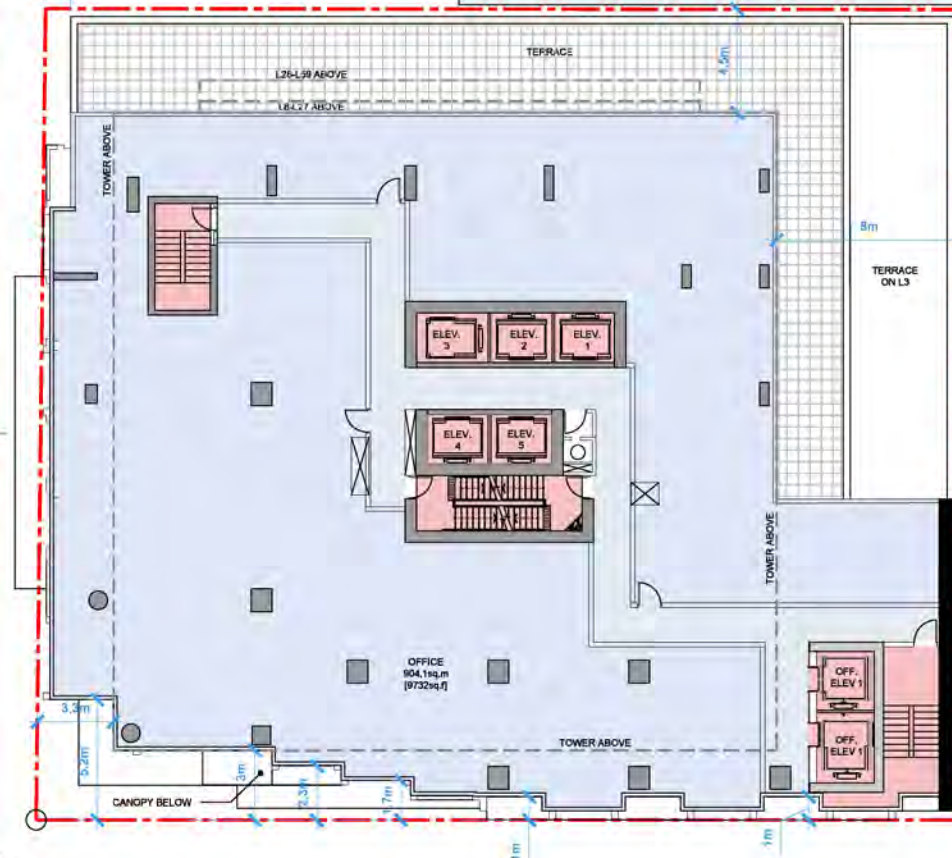
LEGEND:

- COMMERCIAL
- SUPPORT SPACES / MECH
- VERTICAL CIRCULATION

DUPLEX AVE.

1/4" = 1' - 0"

1.3m



EGLINTON AVE. W

EXISTING BUILDING 2 STOREY PODIUM

8m

TERRACE ON L3

SOLID WALL

EXISTING 22 STOREY OFFICE TOWER

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3. Drawings are not to be used for construction. The Contractor is to verify all existing conditions and dimensions required to perform the work and report and discrepancies with the Contract Documents to the Architect before commencing any work.
4. Portions of required fixtures for mechanical or electrical, heating, and cooling are indicated on architectural drawings. The location shown on the architectural drawings shall be the location for mechanical and electrical equipment. These items are clearly marked and to be located as shown by the Architect.
5. These drawings are not to be used for construction unless noted otherwise "Noted for Construction".
6. All work is to be carried out in accordance with the Code and Rules of the Authority having jurisdiction.
7. The Architect of these plans and specifications gives no warranty or representation in any way about the constructability of the building represented by these. All contractors or subcontractors shall verify dimensions when bidding and at all times ensure that they can properly construct the work represented by these plans.

No.	Revisions	Date (YYYY-MM-DD)
01	ISSUED FOR PERMITS SUBMISSION	2023-08-24
02	COORDINATION - L3 LEVEL LUG	2023-09-07
03	ISSUED FOR MECHANICAL REVIEW	2023-11-29
04	ISSUED FOR ELECTRICAL REVIEW	2023-12-04

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36 EGLINTON AVENUE WEST

TORONTO, ONTARIO
 LIFETIME DEVELOPMENTS

43 Jackson Avenue, Suite 200
 Toronto, Ontario, M6T 1E2

L04 FLOOR PLAN

18/11	project number
2023-05-24	date
1:100	scale
10/11/20	drawn by
10/11/20	checked by

A2.08

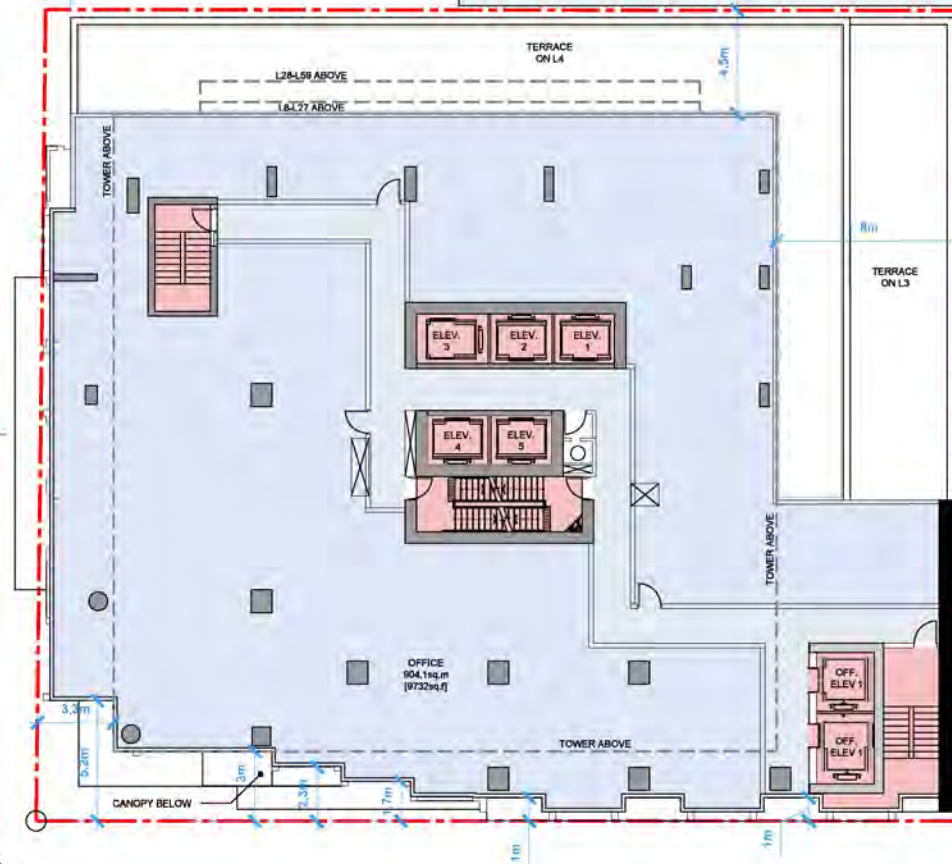
LEGEND:

- COMMERCIAL
- SUPPORT SPACES / MECH
- VERTICAL CIRCULATION

DUPLEX AVE.

1/4" = 1' - 0"

1.3m



EGLINTON AVE. W

EXISTING
BUILDING
2 STOREY
PODIUM

EXISTING
22 STOREY
OFFICE
TOWER

SOLID WALL

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4. Portions of required fixtures for mechanical or electrical correct fitting and fixtures are indicated on architectural drawings. The Contractor is to provide the architectural drawings for the mechanical and electrical drawings. These drawings shall be located as shown by the Architect.
5. These drawings are not to be used for construction unless noted otherwise "Noted for Construction".
6. All work is to be carried out in accordance with the Code and Rules of the Authority having jurisdiction.
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No.	Revisions	Date (YYYY-MM-DD)
01	ISSUED FOR PERMITS SUBMISSION	2023-08-24
02	COORDINATION - LAYOUTS	2023-09-07
03	ISSUED FOR MECHANICAL REVIEW	2023-11-29
04	ISSUED FOR ELECTRICAL REVIEW	2023-12-04

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TORONTO, ONTARIO
LIFETIME DEVELOPMENTS

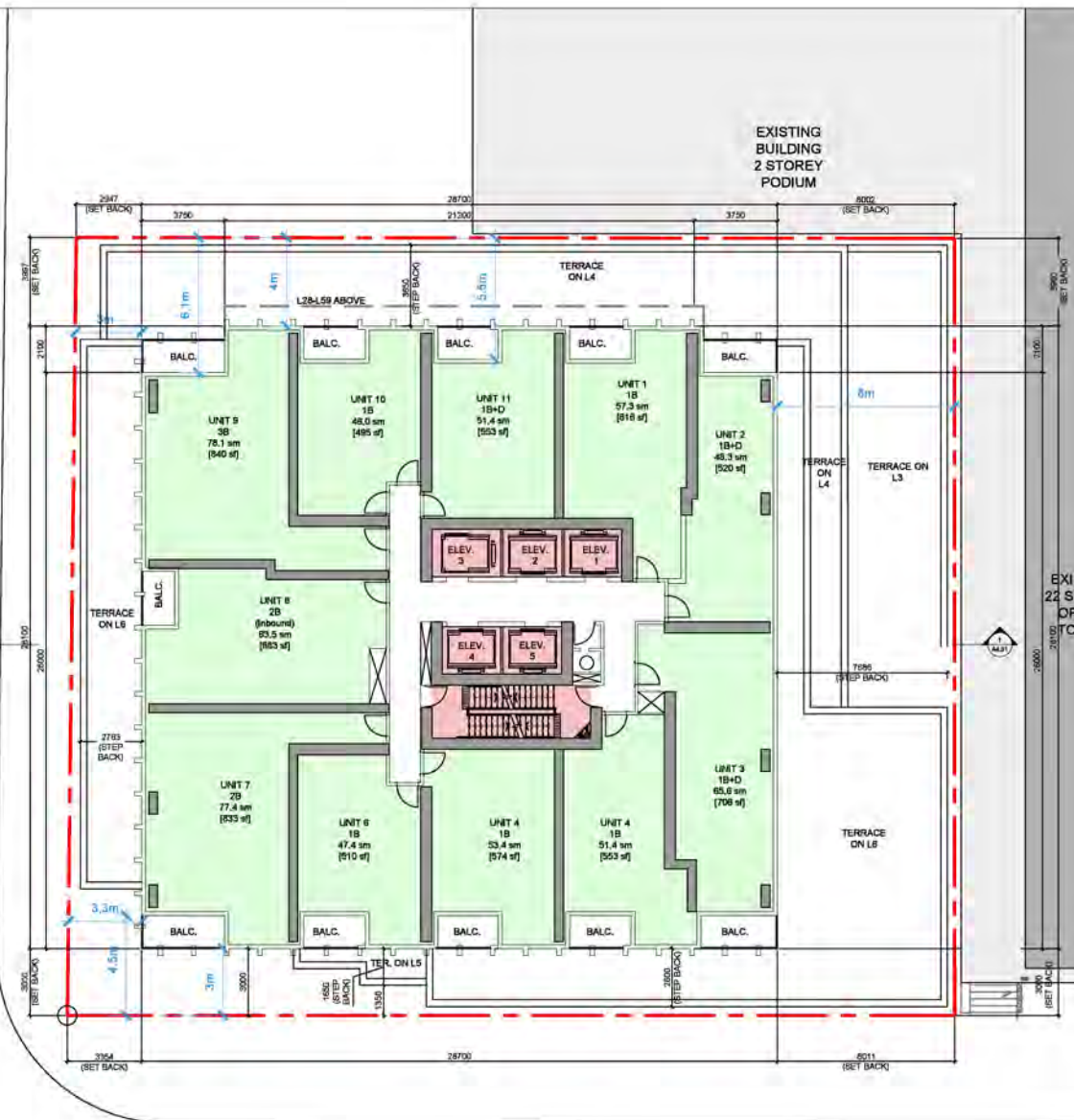
42 Jackie Avenue, Suite 206
Toronto, Ontario, M6T 1E2
LIFE FLOOR PLAN

1/4" = 1' - 0" project number
2023-05-04 2023
1/100 2023
1/4" = 1' - 0" 2023
1/4" = 1' - 0" 2023

A2.09

LEGEND:
 RESIDENTIAL
 VERTICAL CIRCULATION

DUPLEX AVE.



EGLINTON AVE. W

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3. Drawings are not to be used for construction. The Contractor is to verify all existing conditions and dimensions required to perform the work and report and discrepancies with the Contract Documents to the Architect before commencing any work.
4. Portions of required fixtures for mechanical or electrical service, and fixtures are subject to architectural changes. The Contractor is to verify the architectural drawings prior to the mechanical and electrical drawings. These drawings and details shall be subject to approval by the Architect.
5. These drawings are not to be used for construction unless noted otherwise by the Architect.
6. All work is to be carried out in accordance with the Code and Rules of the Building Department.
7. The Architect of these plans and specifications gives no warranty or representation in any way about the completeness of the building and its contents. All contractors and subcontractors shall verify the dimensions shown on the drawings and at all times ensure that they are properly located on the work represented by these plans.

No.	Description	Date (YYYY-MM-DD)
01	ISSUE FOR PERMIT APPLICATION	2023-08-01
02	CONSTRUCTION DOCUMENTS	2023-08-01
03	ISSUE FOR MECHANICAL REVIEW	2023-08-01
04	ISSUE FOR ELECTRICAL REVIEW	2023-08-01

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TORONTO, ONTARIO
 LIFETIME DEVELOPMENTS

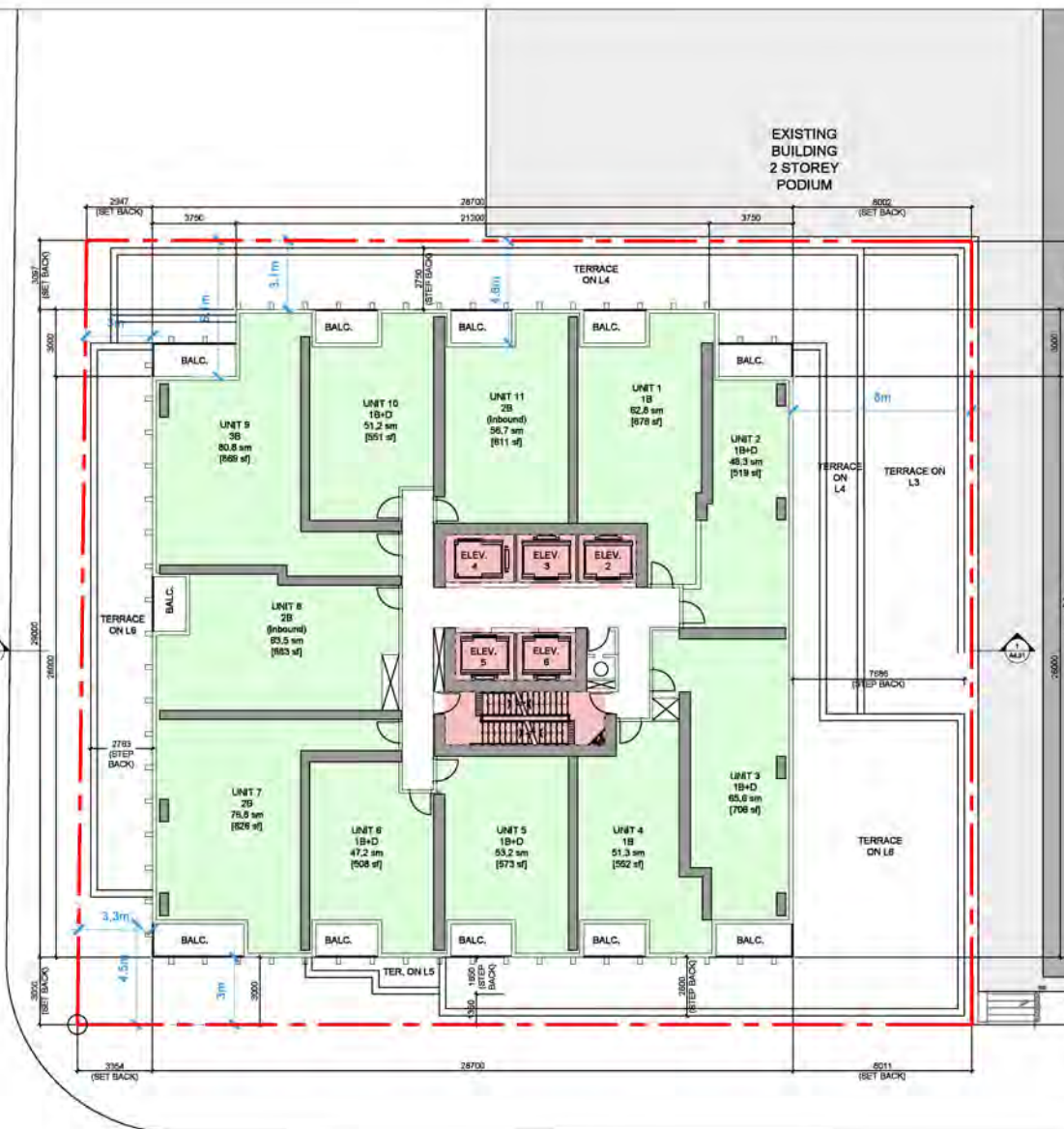
49 Jackie Avenue, Suite 210
 Toronto, Ontario, M6T 1E3
 L07 - L27 FLOOR PLAN

1/4"=1' graphical notation
 2023-08-01
 1/300
 1/300
 1/300

A2.11

LEGEND:
 RESIDENTIAL
 VERTICAL CIRCULATION

DUPLEX AVE.



EGLINTON AVE. W

EXISTING
BUILDING
2 STOREY
PODIUM

EXISTING
22 STOREY
OFFICE TOWER

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5. These drawings are not to be used for construction without first obtaining the Architect's approval.
6. All work is to be carried out in accordance with the Code and Rules of the Building Department.
7. The Architect of these plans and specifications gives no warranty or representation in any way about the suitability of the building and its contents for any purpose other than that intended by the Architect. The Architect is not responsible for any damage or loss of any kind resulting from the use of the building and its contents for any purpose other than that intended by the Architect.

No.	Revisions	Date (YYYY-MM-DD)
1.	ISSUED FOR PERMITS	2023-08-01
2.	COORDINATION & REVISIONS	2023-08-01
3.	ISSUED FOR PRELIMINARY REVIEW	2023-08-01
4.	ISSUED FOR FINAL REVIEW	2023-08-01

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36 EGLINTON AVENUE WEST

TORONTO, ONTARIO
 LIFETIME DEVELOPMENTS

43 Adelaide Avenue, Suite 210
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 L7S-5S
 FLOOR PLAN

1/4"=1' graphical notation
 2023-08-01
 1:100
 1/8"=1' graphical notation
 A2.12

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4. Positions of required fixtures for mechanical or electrical service, piping and ductwork are indicated on architectural drawings. The location shown on the architectural drawings governs over the mechanical and electrical drawings. These items are clearly marked and to be located as directed by the Architect.
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No.	Revisions	Date (YYYY-MM-DD)
01	ISSUED FOR ILM SUBMISSION	2023-05-24
02	COORDINATION - LUMEN LUG	2023-05-27
03	ISSUED FOR MECHANICAL REVIEW	2023-05-29
04	ISSUED FOR ELECTRICAL REVIEW	2023-05-29

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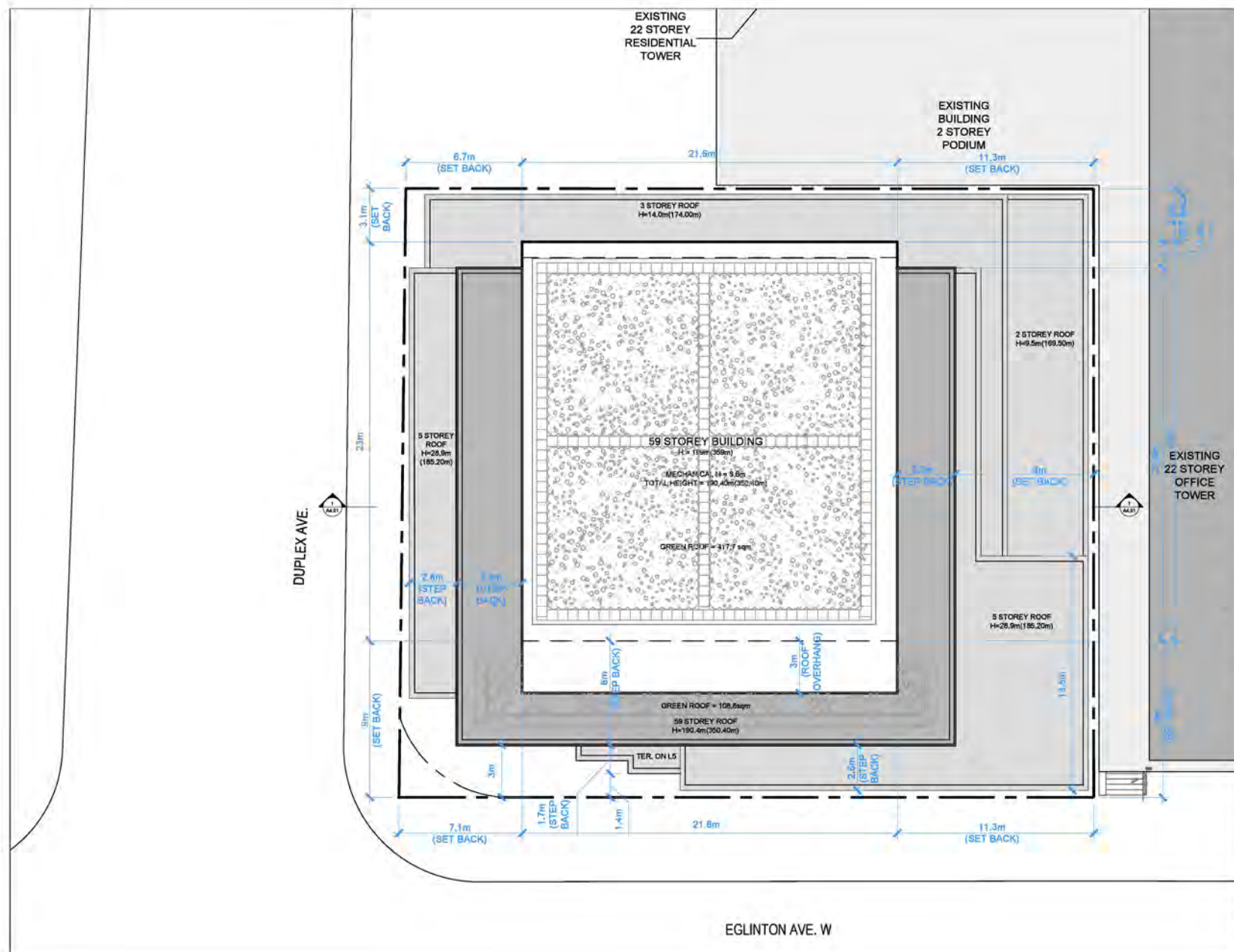
TORONTO, ONTARIO
LIFETIME DEVELOPMENTS

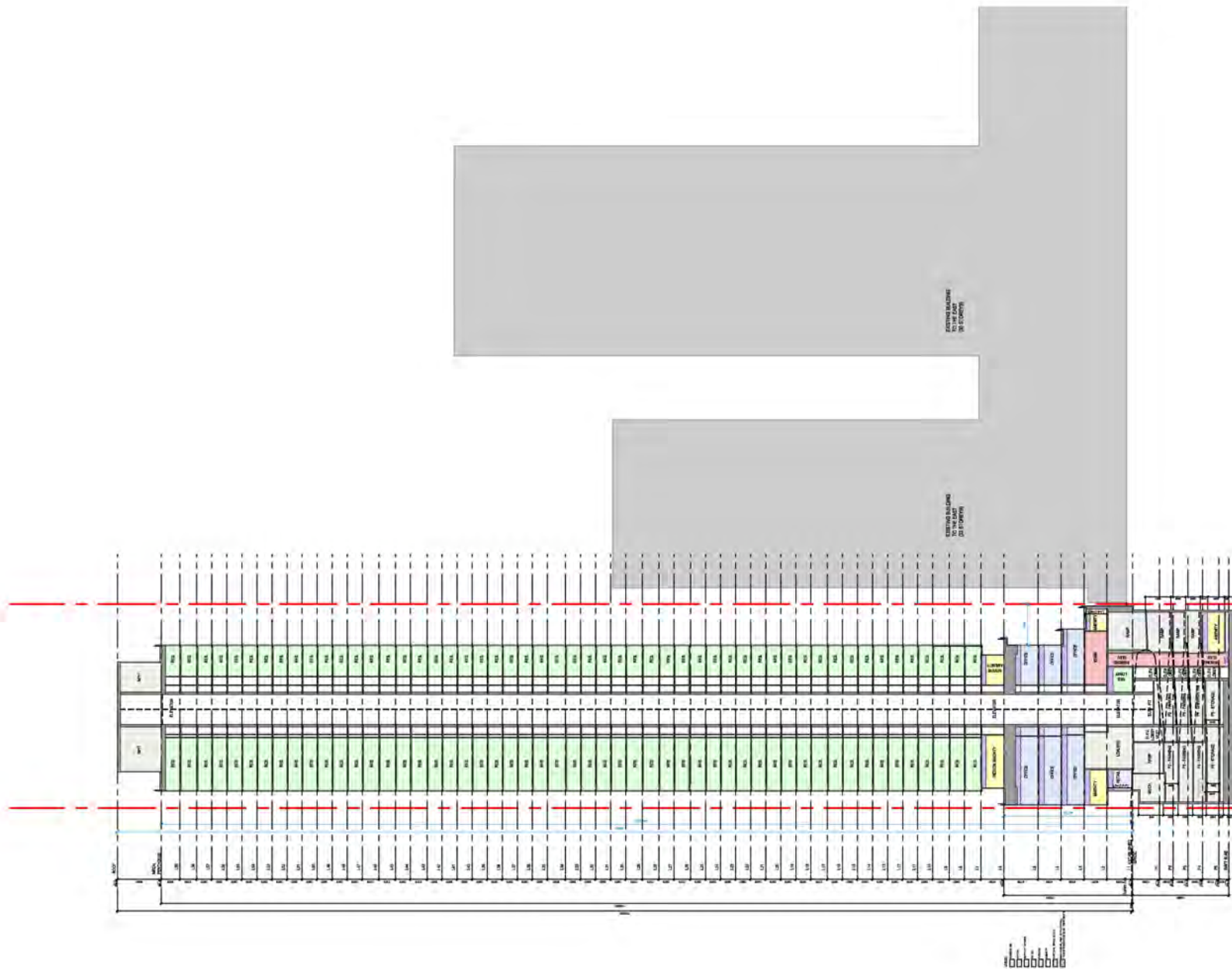
49 Jackie Avenue, Suite 200
Toronto, Ontario, M6T 1E2

ROOF PLAN

1:40	project number
2023-05-24	208
1:100	208
1/8"	208
1/8"	208

A2.15





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No.	Revisions	Date (YYYY-MM-DD)
01	ISSUED FOR CONSTRUCTION	2023-05-24
02	COORDINATION - LEVELS/LOC	2023-05-24
03	ISSUED FOR MECHANICAL REVIEW	2023-11-29
04	ISSUED FOR ELECTRICAL REVIEW	2023-05-24

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36 EGLINTON AVENUE WEST

TORONTO, ONTARIO

LIFETIME DEVELOPMENTS

43 JONES AVENUE, Suite 208
Toronto, Ontario, M6T 1E2

BUILDING SECTION A EAST-WEST

18-19
2023-05-24
1:300
RWA
05/24/23

project number
date
scale
author
date

OF ARCHITECTS
OF ONTARIO
1000
2023

100%

