

Turkstra Mazza

Hamilton London Toronto

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**WITHOUT PREJUDICE
VIA EMAIL**

July 12, 2022

City of Toronto Legal Services
Planning and Administrative Tribunal Law Section
55 John Street, 26th Floor
Metro Hall
Toronto, ON M5V 3C6

Attention: Matthew Longo, matthew.longo@toronto.ca
Roman Ivanov, roman.ivanov@toronto.ca

Dear Messrs:

**Re: WITHOUT PREJUDICE SETTLEMENT OFFER
1304, 1306 & 1308 Wilson Avenue
Municipal File Nos. 18 268503 NNY 06 OZ & 20 161382 NNY 06 SA
OLT Case No. OLT-21-001245**

We represent Winzen Vista Ridge Estates Limited, Alvin Young, and Raymond Zenkovich (collectively the “**Applicants**”), the owners of lands municipally known as 1304, 1306 and 1308 Wilson Avenue, within the City of Toronto (“**Subject Lands**”).

The Applicants submitted an Official Plan Amendment Application (“**OPA**”), a Zoning By-law Amendment Application (“**ZBA**”), and a Site Plan Application (collectively referred to as the “**Applications**”). The initial submission for the Applications was to allow for the redevelopment of the Subject Lands with a ten-storey residential building containing 90 apartments. On June 26, 2020, the Applicants revised their Applications to allow for the redevelopment of the Subject Lands with an 11-storey residential building containing 90 apartments. The Applicants subsequently appealed the Applications to the Ontario Land Tribunal (“**Tribunal**”) on the basis of the City’s failure to make a decision within the allotted timeframes set out in the Planning Act.

Since appealing, the Applicants have engaged in settlement discussions with City staff. As we understand it, the settlement discussions have successfully addressed the concerns raised by staff. Consequently, we are writing to make an offer to settle the Applications, as per the terms set out below.

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TURKSTRA MAZZA ASSOCIATES

THE SUBJECT LANDS

The Subject Lands are located on the north side of Wilson Avenue, approximately 100 metres east of Lexfield/Highview Avenue. The surrounding uses include single detached residential dwellings to the north, an Ambulance Depot to the east, an apartment building to the south, and vacant lot to the west where a ten-storey apartment building is currently proposed for development. The newly constructed Humber River Hospital expansion, having a twelve-storey height, is located approximately 350 metres east of the Subject Lands on the south side of Wilson Avenue at Petherhill Avenue. Many of the properties along Wilson Avenue currently support high density residential uses in the form of apartment buildings ranging in height from three to eight storeys. Additionally, there are numerous Toronto Transit Commission routes operating along Wilson Avenue as well as various community facilities including schools, parks, and a community centre, located in proximity to the Subject Lands.

The majority of the Subject Lands are designated “Avenues” on Map 2 - Urban Structure and “Apartment Neighborhoods” on Map 16 - Land Use of the City of Toronto Official Plan. This designation allows for the development of apartment buildings, parks, local institutions, cultural and recreational facilities, and small scale retail, service and office uses that serve the needs of area residents. The rear portion of the Subject Lands are designated “Parks and Open Spaces Areas – Natural Areas”, which does not generally permit development. The designation of these lands is not proposed to change.

The Subject Lands are zoned R5 within the former City of North York Zoning By-law No. 7625 (“**ZBL No. 7625**”). This limits the uses on the Subject Lands to detached dwellings, home occupations, as well as certain recreational and institutional uses. The Subject Lands are not within an area governed by the City’s new comprehensive Zoning By-law No. 569-2013 (“**ZBL No. 569-2013**”). However, the Applicants are seeking to amend ZBL No. 569-2013 to ensure conformity.

THE DEVELOPMENT PROPOSAL

The Applicant’s proposal consists of 90 residential units contained within an eleven-storey condominium building that may be operated as an apartment building. The Application would require the demolition of the existing dwellings on 1306 and 1308 Wilson Avenue. The proposed building will have a total gross floor area of 7,489.32 square metres and a floor space index of 3.65. The proposed building will operate as a rental building and the unit breakdown of the 90 units is as follows:

- 36 one-bedroom units;
- 38 two-bedroom units; and
- 16 three-bedroom units.

A single driveway access onto Wilson Avenue will be shared with the abutting property to the west, providing access to their independent parking areas. Two levels of underground parking are proposed, containing a total of 71 spaces plus three small vehicle spaces. A total of 72 bicycle parking spaces will be provided, including 65 long term spaces and seven short-term spaces. The shared driveway is being provided at the City’s request.

A total of 516.87 square metres of amenity space is provided for residents in two locations on the Subject

Lands: at grade at the rear of the site; and within the eleventh storey and on the rooftop. This is equivalent to 5.74 square metres per dwelling unit.

TERMS OF SETTLEMENT

The terms of this without prejudice settlement offer are as follows:

1. The built form will be based on the conceptual plan and section drawings enclosed, which would be implemented through the resulting OPA and ZBA.
2. With the exception of the mechanical penthouse, the floor area of the built form will not penetrate the 45-degree angular plane measured from the opposite side of the ravine and Wilson Avenue, as shown on the attached plans. For greater clarity, the angular plane is to be projected from a point above grade at the rear of the property as shown on the section drawings. No 'major encroachment' into the angular plan (being floor area) will be permitted, but that 'minor encroachments' in the form of railings, walls, elevators, etc. shall be permitted.
3. The Applicants will orient all bedroom units to the north, south, and west, with no bedroom windows facing the east lot line, unless it is demonstrated to the satisfaction of the Chief Planner this is not achievable and/or desirable, in which case the Applicant will explore reducing the number of units or bedrooms, increasing building setbacks to meet the Midrise Performance Guidelines and/or lastly alternative window treatments or configurations (for example clerestory windows) on the east building face and/or landscaping to address overlook/privacy to neighbouring properties to the satisfaction of the Chief Planner, to be secured through the site plan process.
4. The City will secure landscaping and tree planting generally in accordance with the attached June 15, 2022 landscape plans, with the species planting list being to the satisfaction of the City's Ravines & Natural Features department.
5. Payment of \$129,426.00 as cash-in-lieu compensation for trees to be removed from the Subject Lands to allow for the development (based on a rate of \$583 per tree). No other tree replacement or 'feature' compensation shall be required.
6. The Applicants will enter into a mutual access agreement for the shared driveway, including demonstrating reciprocal easements have been granted, to permit access between the Subject Lands and the adjacent property at 1326 Wilson Avenue.
7. The shared driveway would be implemented on a phased basis so that the development proposal for the Subject Lands and the development proposal for the abutting lands can proceed independent of each other, if necessary.
8. If the shared access is not proposed as part of a site plan application, the Applicant acknowledges that it will be required to provide a 6m drive aisle on the Subject Lands or otherwise demonstrate

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the site access and vehicle maneuvering is functional, to the satisfaction of the General Manager, Transportation Services.

9. The City will work cooperatively and in good faith with the Applicants towards having the OPA and ZBA presented to the Tribunal at the August 8, 2022 appearance and approved as soon as possible thereafter.

Accordingly, we are requesting that City Council accept this settlement offer. Only upon acceptance can it be released publicly and otherwise shall remain confidential and without prejudice.

Yours truly,

A handwritten signature in black ink that reads "Jennifer Meader". The signature is written in a cursive, flowing style.

Jennifer Meader

Statistics Template - Toronto Green Standard Version 3.0
Mid to High Rise Residential and all Non-Residential Development

The Toronto Green Standard Version 3.0 Statistics Template is submitted with Site Plan Control Applications and stand alone Zoning Bylaw Amendment applications. Complete the table and copy it directly onto the Site Plan submitted as part of the application.

For Zoning Bylaw Amendment applications: complete General Project Description and Section 1.
 For Site Plan Control applications: complete General Project Description, Section 1 and Section 2.
 For further information, please visit www.toronto.ca/greendevelopment

General Project Description	Proposed
Total Gross Floor Area	7,660.29 M2
Breakdown of project components (m ²)	
Residential	7,473.11 M2
Retail	0
Commercial	0
Industrial	0
Institutional/Other (INDOOR AMENITY)	187.18 M2
Total number of residential units	90 UNITS

Section 1: For Stand Alone Zoning Bylaw Amendment Applications and Site Plan Control Applications

Automobile Infrastructure	Required	Proposed	Proposed %
Number of Parking Spaces	95	71	74.7
Number of parking spaces dedicated for priority LEV parking	2	2	100
Number of parking spaces with EVSE	15	15	100

Cycling Infrastructure	Required	Proposed	Proposed %
Number of long-term bicycle parking spaces (residential)	61	65	106
Number of long-term bicycle parking spaces (all other uses)			
Number of long-term bicycle parking (all uses) located on:			
a) first storey of building			
b) second storey of building			
c) first level below-ground		65	106
d) second level below-ground			
e) other levels below-ground			

Cycling Infrastructure	Required	Proposed	Proposed %
Number of short-term bicycle parking spaces (residential)	6	7	117
Number of short-term bicycle parking spaces (all other uses)			
Number of male shower and change facilities (non-residential)			
Number of female shower and change facilities (non-residential)			

Tree Planting & Soil Volume	Required	Proposed	Proposed %
Total Soil Volume (40% of the site area + 66 m ³ x 30 m ³)	372.58 M3	728 M3	195

Section 2: For Site Plan Control Applications

Cycling Infrastructure	Required	Proposed	Proposed %
Number of short-term bicycle parking spaces (all uses) at-grade or on first level below grade	6	7	117

UHI Non-roof Hardscape	Required	Proposed	Proposed %
Total non-roof hardscape area (m ²)	385.13		
Total non-roof hardscape area treated for Urban Heat Island (minimum 50%) (m ²)	192.57	233.25	121
Area of non-roof hardscape treated with: (indicate m ²)			
a) high-albedo surface material		233.25	121
b) open-grid pavement			
c) shade from tree canopy			
d) shade from high-albedo structures			
e) shade from energy generation structures			
Percentage of required car parking spaces under cover (minimum 75%)(non-residential only)	N/A	N/A	N/A

Green & Cool Roofs	Required	Proposed	Proposed %
Available Roof Space (m ²)	405.71		
Available Roof Space provided as Green Roof (m ²)	121.71	154.56	38.1
Available Roof Space provided as Cool Roof (m ²)			
Available Roof Space provided as Solar Panels (m ²)			

Water Efficiency	Required	Proposed	Proposed %
Total landscaped site area (m ²)	366.73		
Landscaped site area planted with drought-tolerant plants (minimum 50%) (m ² and %) (if applicable)	308.31	84	

Tree Planting Areas & Soil Volume	Required	Proposed	Proposed %
Total site area (m ²)	2,049.19		
Total Soil Volume (40% of the site area + 66 m ³ x 30 m ³)	372.58		
Total number of planting areas (minimum of 30m ² soil)	12		
Total number of trees planted	12	21	175
Number of surface parking spaces (if applicable)			
Number of shade trees located in surface parking area interior (minimum 1 tree for 5 parking spaces)			

Native and Pollinator Supportive Species	Required	Proposed	Proposed %
Total number of plants	20		
Total number of native plants and % of total plants (min.50%)	10	15	75

Bird Friendly Glazing	Required	Proposed	Proposed %
Total area of glazing of all elevations within 12m above grade (including glass balcony railings)	601 M2		
Total area of treated glazing (minimum 85% of total area of glazing within 12m above grade) (m ²)	511 M2	536 M2	89
Percentage of glazing within 12m above grade treated with:			
a) Low reflectance opaque materials			
b) Visual markers		51	
c) Shading		38	

ONTARIO BUILDING CODE DATA

PROJECT:
THE WILSON: NEW RESIDENTIAL CONDOMINIUM

LOCATION:
1306 WILSON AVENUE
TORONTO, ONTARIO

- PROJECT DESCRIPTION:**
NEW RESIDENTIAL CONDOMINIUM BUILDING BUILDING HEIGHT = 35.80 M (11 STOREYS)
- MAJOR OCCUPANCY:**
RESIDENTIAL OCCUPANCY - GROUP C
- BUILDING AREA:**
EXISTING (0.0) + NEW (1,243.00) = TOTAL 1,243.00 SQ.M.
- GROSS AREA:**
EXISTING (0.0) + NEW (7,660.29) = TOTAL 7,660.29 SQ.M.
- NUMBER OF STOREYS:**
ABOVE GRADE = 11 STOREYS, BELOW GRADE = 2 STOREYS
- NUMBER OF STREETS / FIRE FIGHTER ACCESS:**
FACING 1 STREET
- BUILDING CLASSIFICATION:**
3.2.2.42, GROUP C, ANY HEIGHT, ANY AREA, SPRINKLERED

DIV. B PART 3

B 3.1.2.1(1)

A 1.4.1.2

A 1.4.1.2

B 3.2.1.1 & A 1.4.1.2

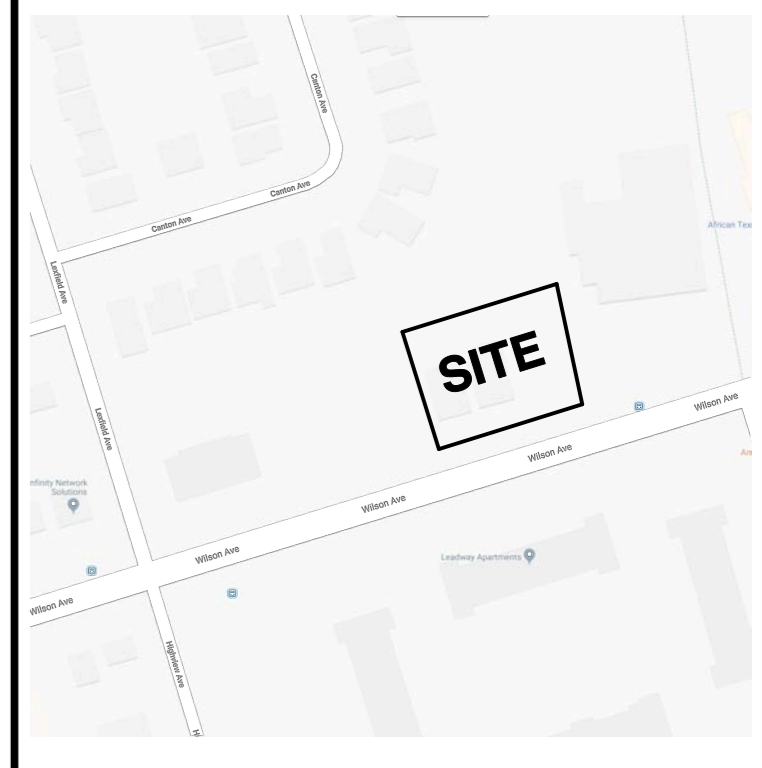
B 3.2.2.10 & B 3.2.5

B 3.2.2.20 - B 3.2.2.83

- SPRINKLER SYSTEM PROPOSED:**
FULLY SPRINKLERED
- STANDPIPE REQUIRED:**
YES
- FIRE ALARM REQUIRED:**
YES
- WATER SERVICE / SUPPLY IS ADEQUATE:**
YES
- HIGH BUILDING:**
YES
- PERMITTED CONSTRUCTION:**
NON-COMBUSTIBLE
ACTUAL CONSTRUCTION:
NON-COMBUSTIBLE
- MEZZANINE AREA(S):**
TOTAL = 0 SQ.M.
- OCCUPANT LOAD:**
BASEMENT 2 (F3): 1,167.70 M2 / 46 = 26 PERSONS
BASEMENT 1 (F3): 1,313.45 M2 / 46 = 29 PERSONS
GROUND FLOOR (C): 30 PERSONS
GROUND FLOOR (A2): 16 PERSONS (DESIGN)
SECOND FLOOR (C): 24 PERSONS
THIRD FLOOR (C): 42 PERSONS
FOURTH FLOOR (C): 42 PERSONS
FIFTH FLOOR (C): 42 PERSONS
SIXTH FLOOR (C): 42 PERSONS
- B 3.2.2.43 & B 3.2.1.5**
- B 3.2.9**
- B 3.2.4**
- B 3.2.5.7**
- B 3.2.6**
- B 3.2.2.20 - B 3.2.2.83**
- B 3.2.1.1(3) - B 3.2.1.1(8)**
- B 3.1.16**

- SEVENTH FLOOR (C):** 34 PERSONS
EIGHTH FLOOR (C): 26 PERSONS
NINTH FLOOR (C): 18 PERSONS
TENTH FLOOR (C): 18 PERSONS
ELEVENTH FLOOR (A2): 48 PERSONS (DESIGN)
TOTAL = 437 PERSONS
- 16 BARRIER FREE DESIGN:**
YES
- 17 HAZARDOUS SUBSTANCES:**
NO
- 18 REQUIRED FIRE-RESISTANCE RATINGS:**
GROUND FLOOR ASSEMBLY FRR = 2.0 HR.
FLOOR ASSEMBLY FRR = 2.0 HR.
ROOF ASSEMBLY FRR = 0 HR.
MEZZANINE ASSEMBLY FRR = 1.0 HR.
FLOOR SUPPORTING MEMBERS FRR = 2.0 HR.
MEZZANINE SUPPORTING MEMBERS FRR = 1.0 HR.
- 19 SPATIAL SEPARATION / EXTERIOR WALL CONSTRUCTION: B 3.2.3**
NORTH ELEVATION: (REFER TO A201 & O.B.C. TABLE 3.2.3.1.D)
AREA OF EBF = 1,702.4 SQ.M.
LIMITING DISTANCE = 10.24 M.
PERMITTED MAX. % OPENINGS = 100%
PROPOSED % OPENINGS = 47.5% (807.9 SQ.M.)
FIRE RESISTANCE RATING = 0 HR.
CONSTRUCTION: NON-COMBUSTIBLE
CLADDING: NON-COMBUSTIBLE

- SOUTH ELEVATION: (REFER TO A201 & O.B.C. TABLE 3.2.3.1.D)**
AREA OF EBF = 1,512.3 SQ.M.
LIMITING DISTANCE = 19.3 M.
PERMITTED MAX. % OPENINGS = 100%
PROPOSED % OPENINGS = 56.8% (855.6 SQ.M.)
FIRE RESISTANCE RATING = 0 HR.
CONSTRUCTION: NON-COMBUSTIBLE
CLADDING: NON-COMBUSTIBLE
- EAST ELEVATION: (REFER TO A201 & O.B.C. TABLE 3.2.3.1.D)**
AREA OF EBF = 32.3 SQ.M. (RESTRICTIVE COMPARTMENT)
LIMITING DISTANCE = 1.26 M.
PERMITTED MAX. % OPENINGS = 8% (2.58 SQ.M.)
FIRE RESISTANCE RATING = 1 HR.
CONSTRUCTION: NON-COMBUSTIBLE
CLADDING: NON-COMBUSTIBLE
- WEST ELEVATION: (REFER TO A202 & O.B.C. TABLE 3.2.3.1.D)**
AREA OF EBF = 759.7 SQ.M.
LIMITING DISTANCE = 5.1 M.
PERMITTED MAX. % OPENINGS = 40%
PROPOSED % OPENINGS = 24.2% (183.8 SQ.M.)
FIRE RESISTANCE RATING = 3/4 HR.
CONSTRUCTION: COMBUSTIBLE OR NON-COMBUSTIBLE
CLADDING: COMBUSTIBLE OR NON-COMBUSTIBLE



Key Plan

Date	Description	By
01 OCT 17/18	REVIEW	J.M.
02 OCT 22/18	COORDINATION	J.M.
03 NOV 08/18	COORDINATION	J.M.
04 DEC 04/18	OPA / ZBA APPLICATION	J.M.
05 APR 16/19	COORDINATION	J.M.
06 AUG 09/19	REVIEW	J.M.
07 DEC 13/19	COORDINATION	J.M.
08 FEB 19/20	COORDINATION	J.M.
09 FEB 28/20	SITE PLAN APPLICATION	J.M.
10 JUN 03/20	SITE PLAN APPLICATION	J.M.
11 NOV 13/20	COORDINATION	J.M.
12 DEC 07/20	SITE PLAN APPLICATION	J.M.

SITE STATISTICS:

ZONING:	RMS	
SITE AREA (GROSS):	2,184.68 M2	(0.218 HA)
ROAD WIDENING:	135.50 M2	(0.014 HA)
DEVELOPABLE AREA (NET):	2,049.18 M2	(0.205 HA)
BUILDING FOOTPRINT:	1,133.32 M2	(55.3%)
PAVED AREA:	147.20 M2	(7.2%)
LANDSCAPE/OPEN SPACE:	768.66 M2	(37.5%)
LOT COVERAGE:	1,243.00 M2	(60.7%)
EST. GRADE (569-2013):	157.10	
EST. GRADE (7625):	157.15	

FRONTAGE:	REQUIRED	PROVIDED
HEIGHT (569-2013):	15.00 M	49.18 M
HEIGHT (7625):	N/A	35.80 M
FRONT YARD (SOUTH):	8.0 M	35.75 M
REAR YARD (NORTH):	6.500 M	0.500 M
SIDE YARD (WEST):	9.500 M	10.240 M
SIDE YARD (EAST):	1.800 M	5.100 M
	1.800 M	1.800 M

GROSS FLOOR AREA DATA:	
P2 LEVEL (RESIDENTIAL):	12.17 M2
P1 LEVEL (RESIDENTIAL):	12.17 M2
GND FL (RESIDENTIAL):	541.21 M2
GND FL (AMENITY):	48.67 M2
2ND FL (RESIDENTIAL):	896.59 M2
3RD FL (RESIDENTIAL):	911.90 M2
4TH FL (RESIDENTIAL):	911.90 M2
5TH FL (RESIDENTIAL):	911.90 M2
6TH FL (RESIDENTIAL):	911.90 M2
7TH FL (RESIDENTIAL):	801.75 M2
8TH FL (RESIDENTIAL):	649.35 M2
9TH FL (RESIDENTIAL):	433.69 M2
10TH FL (RESIDENTIAL):	433.69 M2
11TH FL (RESIDENTIAL):	33.92 M2
11TH FL (AMENITY):	138.51 M2
(LESS RECD AMENITY):	-180.00 M2
TOTAL G.F.A.	7,489.32 M2
FLOOR SPACE INDEX:	3.65

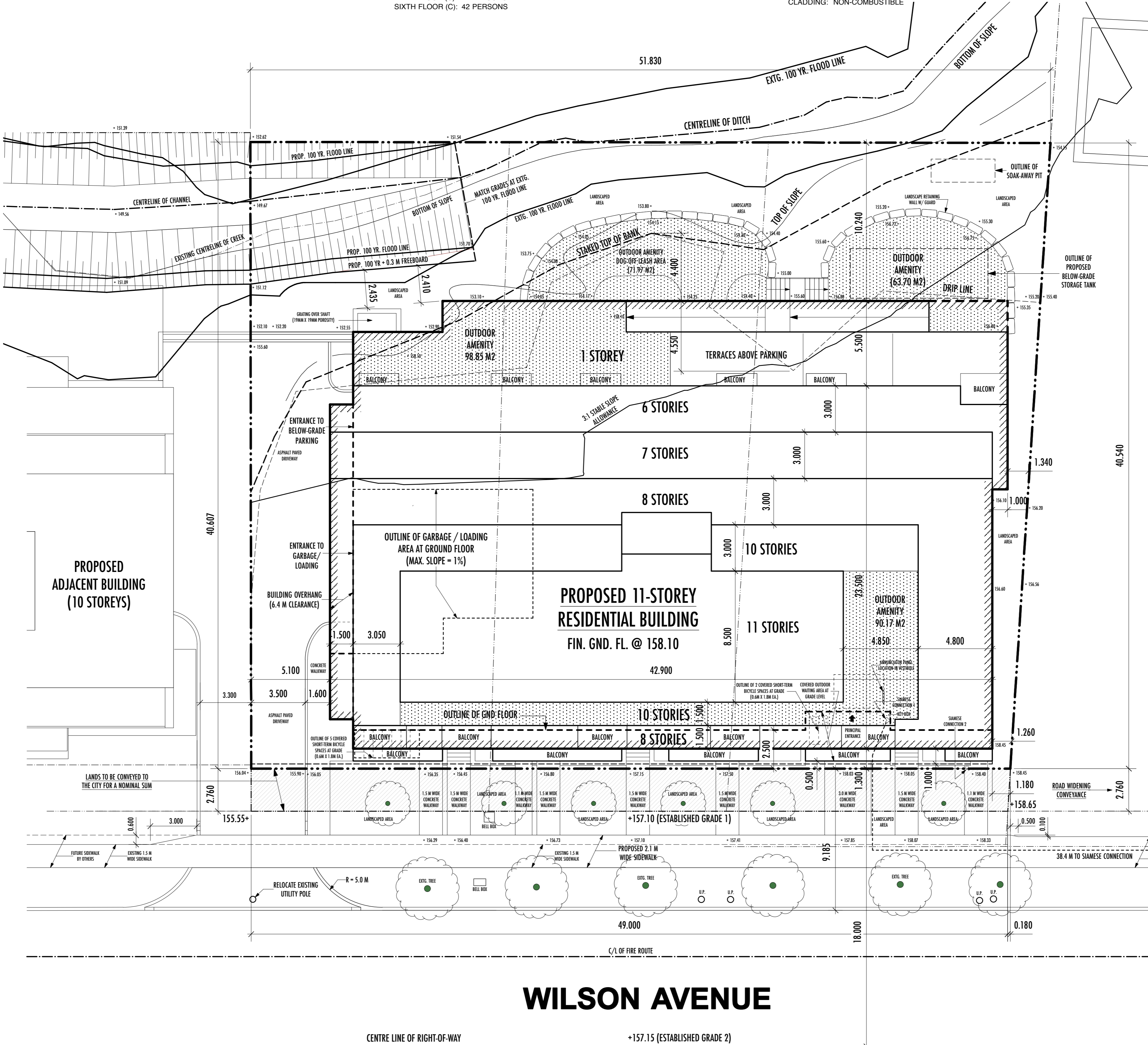
TOTAL RESIDENTIAL UNITS:		
1 BEDROOM (AVG. 59.9 M2):	36 UNITS	(40.0%)
2 BEDROOMS (AVG. 75.4 M2):	38 UNITS	(42.2%)
3 BEDROOMS (AVG. 101.2 M2):	16 UNITS	(17.8%)
DENSITY (UNITS/HA):	439	

AMENITY SPACE:	REQUIRED	PROVIDED
INDOOR (2 M2/UNIT):	180 M2	187.18 M2
OUTDOOR (2 M2/UNIT):	180 M2	329.69 M2
TOTAL:	360 M2	516.87 M2

PARKING:	REQUIRED	PROVIDED
1 BEDROOM (0.8/UNIT):	29 SPACES	
2 BEDROOM (0.9/UNIT):	34 SPACES	
3 BEDROOM (1.1/UNIT):	18 SPACES	
VISITORS (0.15/UNIT):	14 SPACES	
TOTAL:	95 SPACES	59 SPACES
ADDN'L SMART CAR SPACES:		
LOADING SPACES (TYPE 'G'):		
ACCESSIBLE SPACES (INCL.):		

BICYCLE PARKING:	REQUIRED	PROVIDED
SHORT TERM (HORIZONTAL):	6 SPACES	7 SPACES
SHORT TERM (VERTICAL):	10.07/UNIT	
LONG TERM (HORIZONTAL):	61 SPACES	19 SPACES
LONG TERM (VERTICAL):	10.66/UNIT	46 SPACES
TOTAL:	67 SPACES	72 SPACES

WASTE COLLECTION:	REQUIRED	PROVIDED
GARBAGE (0.02/UNIT):	2 BINS	3 BINS
RECYCLING (0.02/UNIT):	2 BINS	3 BINS
ORGANICS (0.01/UNIT):	1 BIN	3 BINS
TOTAL:	5 BINS	9 BINS

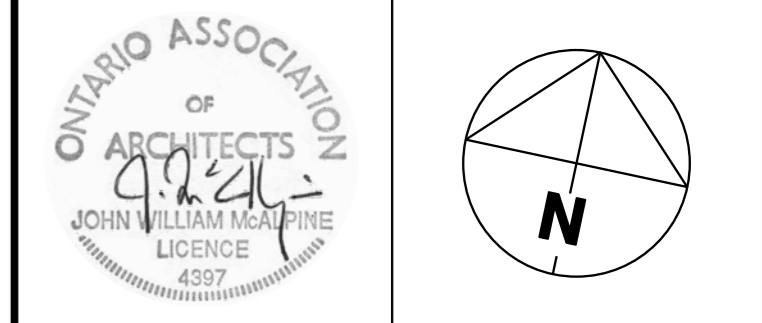


WILSON AVENUE

Date	Description	By
01 N/A	N/A	J.M.

NOTE:
 INFORMATION ON THIS SITE PLAN IS TAKEN FROM:
 SURVEYOR'S REAL PROPERTY REPORT
 PLAN OF PART OF LOT 11 CONCESSION 4, WEST OF YONGE STREET (GEOGRAPHIC TOWNSHIP OF YORK) CITY OF TORONTO (FORMERLY CITY OF NORTH YORK)
 BY: ERTL SURVEYORS
 NOVEMBER 24, 2017

keith loftler mcaldine architects
 88 BLOOR STREET WEST, SUITE 401, TORONTO, ONTARIO, M5S 2Y1 T 416 594 1982 info@klma.com

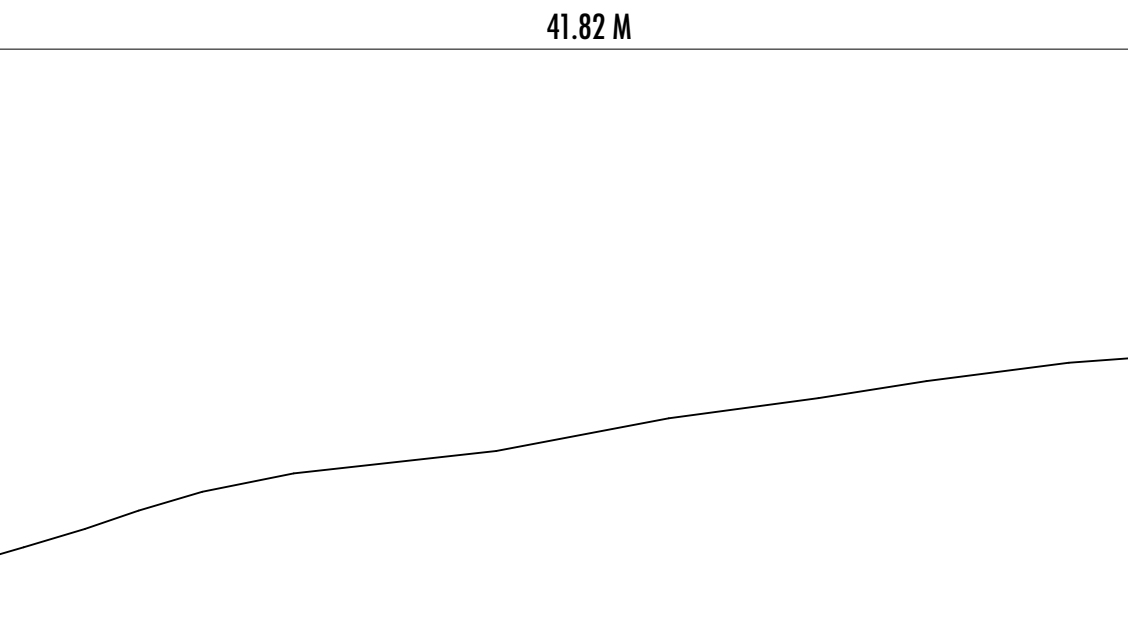
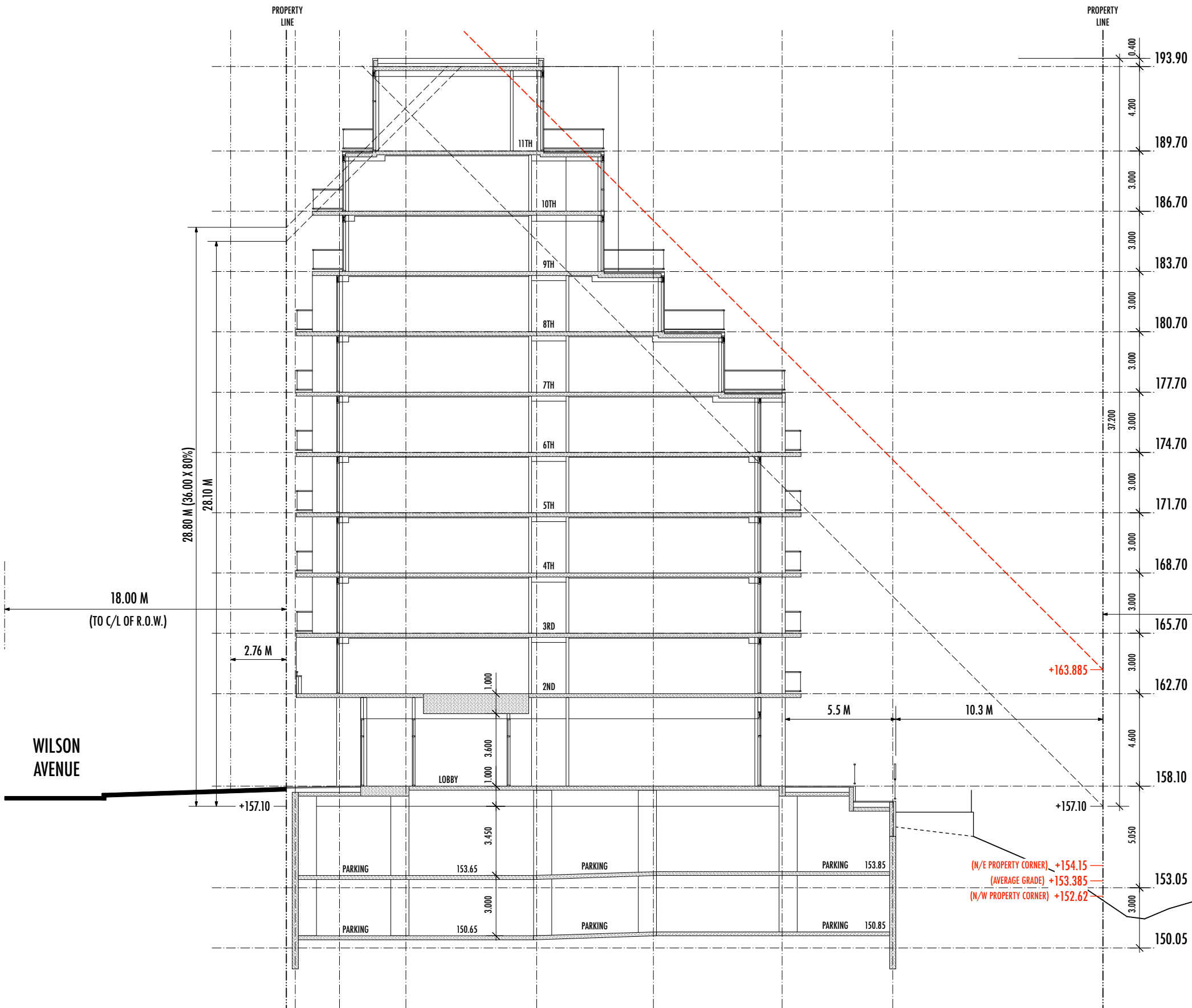


Date	Scale	Drawn by	Checked by
DECEMBER 07, 2020	1 : 150	J.M.	J.M.

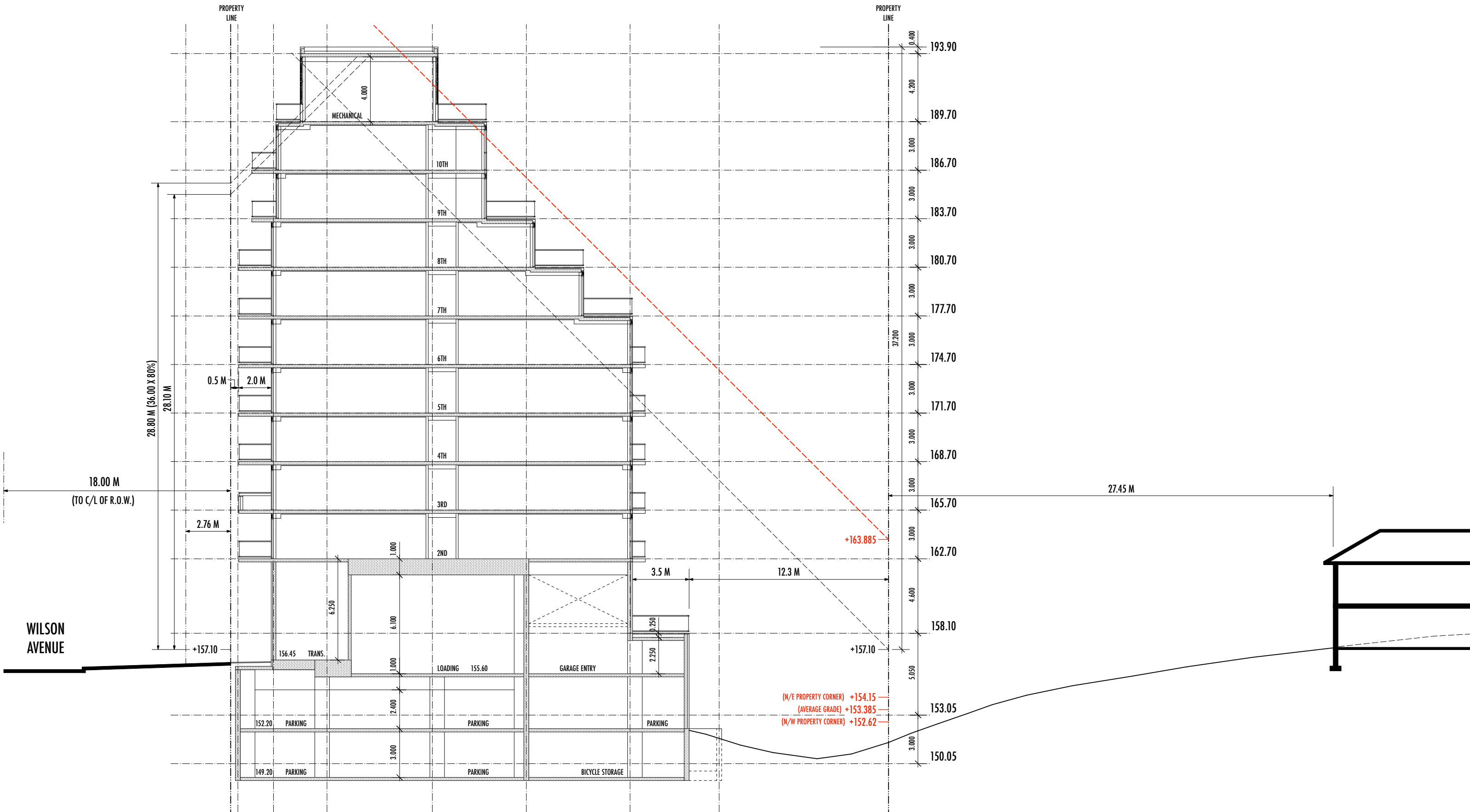
The Wilson Condominium Residences
 1304-1308 Wilson Avenue, Toronto, Ontario
 OWNER: Winzen Vista Ridge Estates Ltd.

Architectural Site Plan Site & Building Data
 18 268503 NNY 06 OZ
 20 161382 NNY 06 SA

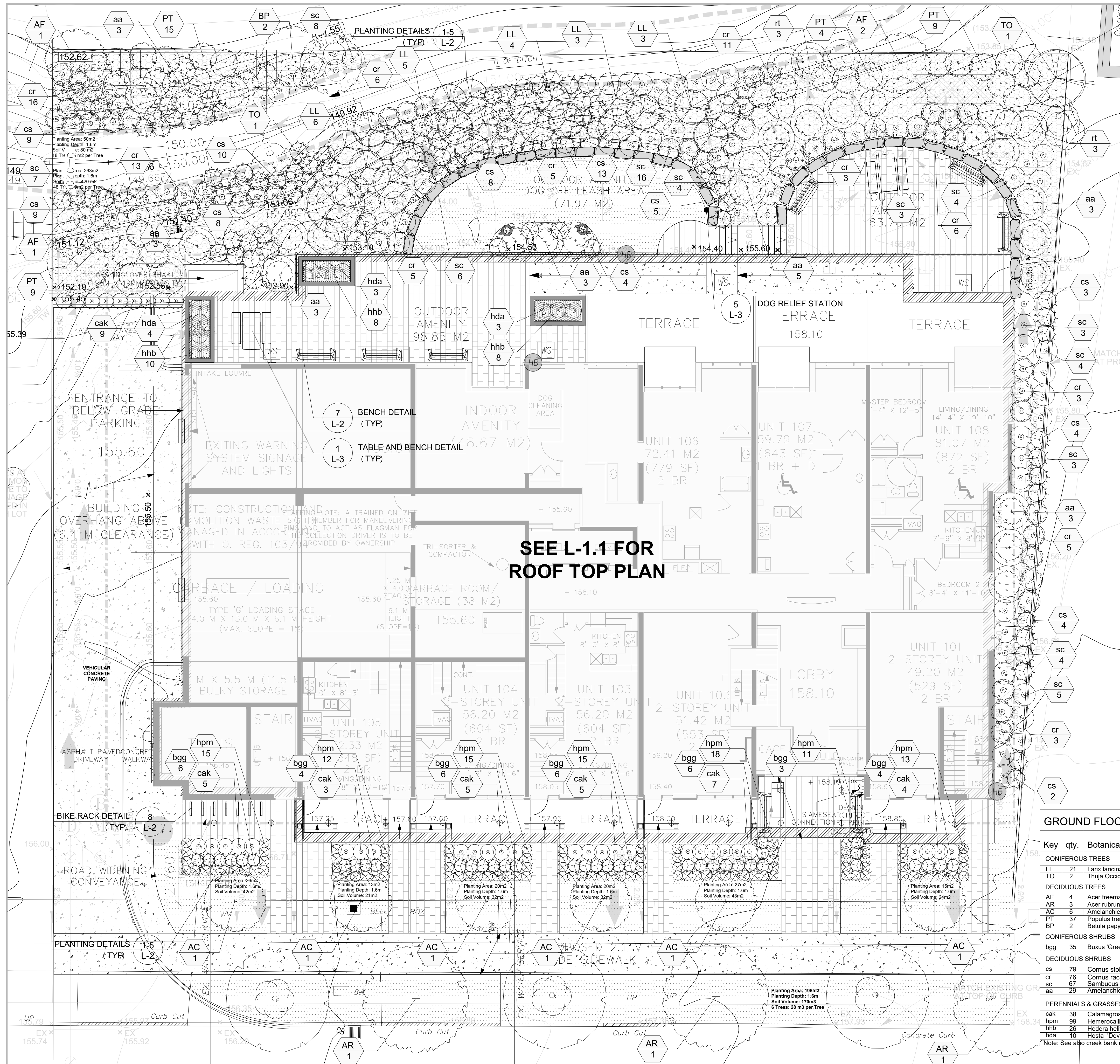
A001



NORTH-SOUTH SECTION A-A



NORTH-SOUTH SECTION B-B



NATURALIZED PLANTING DENSITY CALCULATIONS.

NATURAL PLANTING AREA
313 METERS SQUARE

There are 254 Trees and Shrubs in this area (66 Trees and 188 Shrubs).

This is a density of 8115 stem per hectare.

74% Shrubs
26% Trees.

LEGEND

- EXISTING DECIDUOUS TREE
- PROPOSED DECIDUOUS TREE
- PROPOSED CONIFEROUS TREE
- PROPOSED CONTINUOUS SHRUB & PERENNIAL
- CONCRETE PLANTER
- SODDED AREA
- CREEK BANK NATIVE SEED MIX SEE DETAIL 3 ON DRAWING L-3
- PLANT KEY
- DETAIL KEY
- CONCRETE PAVING SEE DETAIL 6 ON DRAWING L-2
- CONCRETE UNIT PAVING SEE DETAIL 2 ON DRAWING L-3
- MOBILE SITE FURNITURE
- ARMOUR STONE RETAINING WALL SEE DETAIL 4 ON DRAWING L-3
- BOLLARD LIGHT: MODEL: OVAL SERIES OVB MAKE: LUMEC - 416-223-7255 ext.421 COLOUR: NATURAL ALUMINUM
- WALL SCOUNCE: MODEL: RITORNO SQUARE WALL MOUNT MAKE: SE'UX - 905-693-6711 - ext 38 WALL MOUNT COLOUR: NATURAL ALUMINUM REFLECTIVE SHADE COLOUR: WHITE
- LOCATION OF HOSE BIB
- EDGE OF THE WATER COURSE
- EDGE OF THE PARKING GARAGE

- GENERAL NOTES**
- Do not scale the drawings. All dimensions are in millimetres unless noted otherwise.
 - This drawing is to be read in conjunction with the architectural drawings prepared by project architect and project engineers.
 - The contractor shall check and verify all dimensions and conditions on the project and immediately report any discrepancies to the Landscape Architect before proceeding with the work.
 - The contractor is to be aware of all existing and proposed services and utilities. The contractor is responsible for having all underground services and utility lines staked by each agency having jurisdiction prior to commencing work.
 - Do not leave any holes open overnight.
 - Keep area outside construction zone clean and useable by others at all times. Contractor shall thoroughly clean areas surrounding the construction zone at the end of each work day.
 - Contractor shall maintain a detailed record of all authorized changes in the form of a redline mark-up drawing. These records shall be submitted to the Landscape Architect as a condition of obtaining substantial completion.
 - Contractor is to make good all damage resulting from the work at no additional cost.
 - Plant quantities indicated on the plan supersede the quantities from the plant list (report any discrepancies to the Landscape Architect).
 - Contractor shall notify the Landscape Architect prior to installation of any site furniture. Final location of site furniture to be confirmed on site with Owner and Landscape Architect.
 - This drawing is Copyright MHBC Planning, 2022.

Revision No.	Date	Issued / Revision	By
6	June 15, 2022	Issued for REVIEW	P.D.
5	May 20, 2022	Issued for REVIEW	P.D.
4	December 10, 2020	Issued for SPA	P.D.
3	February 26, 2020	Issued for OPA/ZBA	P.D.
2	February 18, 2020	Issued for Review/coordination	P.D.
1	January 28, 2020	Issued for OPA/ZBA	P.D.

PLANNING URBAN DESIGN & LANDSCAPE ARCHITECTURE

MHBC

2203-7050 WESTON ROAD WOODBRIDGE, ON, L4L 6Z7 | P: 905 761 5588 F: 905 761 5589 | WWW.MHBCPLAN.COM

GROUND FLOOR PLANT LIST

Key	qty.	Botanical Name	Common Name	Cal.	Ht./Sp.	Cond.	Notes
CONIFEROUS TREES							
LL	21	Larix laricina	American Larch		100-200cm	SB	Native
TO	2	Thuja occidentalis	Eastern White Cedar		100-200cm	SB	Native
DECIDUOUS TREES							
AF	4	Acer freemanii	Freeman maple	70mm		SB	Native
AR	3	Acer rubrum	Red Maple	70mm		SB	Native
AC	6	Amelanchier canadensis	Serviceberry Tree	40mm		SB	Native
PT	37	Populus tremuloides	Trembling Aspen	10-60mm		SB	Native
BP	2	Betula papyrifera	Paper Birch	50mm		SB	Native
CONIFEROUS SHRUBS							
bgg	35	Buxus 'Green Gem'	Green Gem Boxwood		60cm	CG	Design Element
DECIDUOUS SHRUBS							
cs	79	Cornus stolonifera	Red Osier Dogwood		60cm	CG	Native
cr	76	Cornus racemosa	Gray Dogwood		60cm	CG	Native
sc	67	Sambucus canadensis	American Elderberry		60cm	CG	Native
aa	29	Amelanchier alnifolia	Saskatoon Berry		60cm	CG	Native
PERENNIALS & GRASSES							
cak	38	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass			1.gal pot	Design Element
hpm	99	Hemerocallis 'Pardon Me'	Pardon Me Daylily			1.gal pot	Design Element
hhd	26	Hedera helix 'Baltica'	Baltic Ivy			1.gal pot	Design Element
hda	10	Hosta 'Devil's Advocate'	Devil's Advocate Hosta			1.gal pot	Design Element

Note: See also creek bank native seed mix on L-3 for consideration towards 50% native planting of soft scape.

1
Ground Floor Landscape Plan
Scale 1:100

WITHOUT PREJUDICE

Stamp

ASSOCIATION OF LANDSCAPE ARCHITECTS

ISSUED FOR REVIEW ONLY NOT FOR CONSTRUCTION

Project

THE WILSON
1304, 1306, AND 1308 Wilson Avenue,
North York, ON
DEVELOPER: WINZEN VISTA RIDGE ESTATES Ltd.

File Name

LANDSCAPE PLAN

Date

January, 2020

Drawn By

P.D.

Plan Scale

1:100

File No.

17120 B

Checked By

G.C.

City File: 18 288503 NNY 06 OZ and 20 161382 NNY 06 SA

Dwg No.

L-1

LANDSCAPE SPECIFICATIONS:

SOD

All sod shall conform to the standards of the Nursery Sod Growers Association of Ontario. All sodded areas shall be prepared with low mow - fescue sod only.

Sod must be placed in accordance with generally accepted installation practices including, but not limited to:

- Place sod over minimum 6-inch topsoil layer.
- Lay sod parallel to finished contours, starting at the bottom.
- Stagger sod end seams so adjacent seams are not aligned.
- Tightly abut all seams together.
- Anchor sod with stakes or staples on slopes 3:1 or greater with 1/2" x 1" x 12" pegs at two-foot spacings.
- Roll all sod areas after installation, and
- Commence watering installed sod until irrigation is operational.

Refer to specifications on this page, for seeding and hydro seeding of natural or cultured grasses indigenous to the local area.

Coordinate seasonal installation timing for maximum growth and appearance before store opening. Activate irrigation system upon completion of lawn areas.

PLANTING BEDS

Width of all planting pits must be two times the diameter of the root ball, or container of the plant being installed. Depth of all planting pits must be from the bottom of the root ball to the root flare, or container of the plant being installed, and must maintain a firm setting bed in the bottom of the planting pit to avoid settling.

Soil used in planting pits must be free of all construction materials, concrete, and rocks in excess of 1 inch diameter, and consist of 50% of the soil removed and 50% suitable amended soil or topsoil; a soil mixture composed of six (6) parts sand loam, two (2) parts well rotted manure, and one (1) part peat moss, in addition to the fertilizers specified above.

All plant material shall conform to the standards of the Canadian Nursery Trades Association. All plant material is to be clay grown stock. Install all plant material as shown on the planting plan and details. Use only viable nursery stock grown in strict accordance with proper horticultural practices which is free from damage, pests, and disease.

Place soil firmly in the planting pit around the root ball creating a shallow saucer of approximately 2 inches deep to hold water around the plant.

Install each plant with the crown of the root ball set at the same grade at which it was grown. Top of finish grade must be at trunk flare.

Water plants thoroughly upon installation. Backfill any settling of soil around root ball to re-establish initial grade and saucer.

All beds are to be covered with a 75mm depth of clean, shredded pine bark mulch by Gro-Bark or approved equal unless noted otherwise. Guying and staking of trees shall conform to the planting details. Wrap all deciduous trees as per the specifications of the Ontario Landscape Contractors Association.

TOPSOIL AND FINE GRADING REQUIREMENTS:

- Grading contractor must stockpile existing topsoil clean and debris free suitable for reuse.
- Contractor must submit representative samples of the reserved topsoil, and soil in which the landscaping is to be installed, to a certified soil and plant laboratory for analysis.
 - Take a minimum of two samples each from landscape areas adjacent to all four sides of the building.
 - Take three samples from representative areas within the parking area where landscape islands are to be installed, and
 - Take two samples each from the landscape areas adjacent to all sides of the parking area.

The soil and plant laboratory report must provide recommendations for fertilizer and soil amendments that may be required to ensure healthy growth of turf and plant materials to be installed in the respective areas from which the soil samples were taken. Provide two copies of the report to the Owner's Site Representative to distribute one copy to the Property Manager.

- Grading contractor must spread minimum 6-inch topsoil layer to finish site grade, and 12-inch topsoil layer in sidewalk planters. Topsoil must:
 - Meet requirements of ASTM D5268;
 - Contain no more than 5% deleterious material by weight;
 - Contain not less than 80% material by weight that will pass a #10 sieve; d) Be free of clods, rocks, or debris greater than 1-inch diameter.
- Landscape contractor must perform fine grading and soil amendments to the topsoil and/or approved import soil for all lawn and landscape areas as recommended by the soil analysis. Fine grading must:
 - Be within one-tenth of a foot of grades shown on the Site Construction Documents Grading Plan;
 - Transition smoothly between differing gradients;
- Grades behind curbs for areas to receive mulch must be held 3 inches below top of curb and 2 inches below top of curb for sod. In well draining soils island, and planter grades must be slightly concave sloping downward at not less than 5% and no greater than 20% from perimeter toward the middle. In poorly draining soils, island and planter grades must be slightly rounded sloping downward at not less than 5%, and no greater than 20%, from middle toward the perimeter.
- If suitable topsoil is not available on site, a local Landscape Consultant knowledgeable about soil conditions and plant requirements must advise the Owner's Site Representative of options based on the recommendations from the certified soil and plant lab analysis.

Unless soil tests suggest otherwise, fertilizer shall be applied as follows:

Sodded areas: 11-8-4 (11% nitrogen, 8% phosphorous, 4% potash) at 4.5 kg/m²

Planting beds: 7-7-7 (7% nitrogen, 7% phosphorous, 7% potash) at 0.12 kg/m³, and bone meal at 0.58 kg/m³ of planting soil mixture as outlined below.

The contractor will observe proper maintenance procedures for all newly constructed landscape work as per Section 1E (Maintenance Work) of Landscape Ontario's specifications. Unless otherwise noted, this will apply during the construction period only. The contractor shall maintain all planting and sodding until final acceptance is granted by the Landscape Architect.

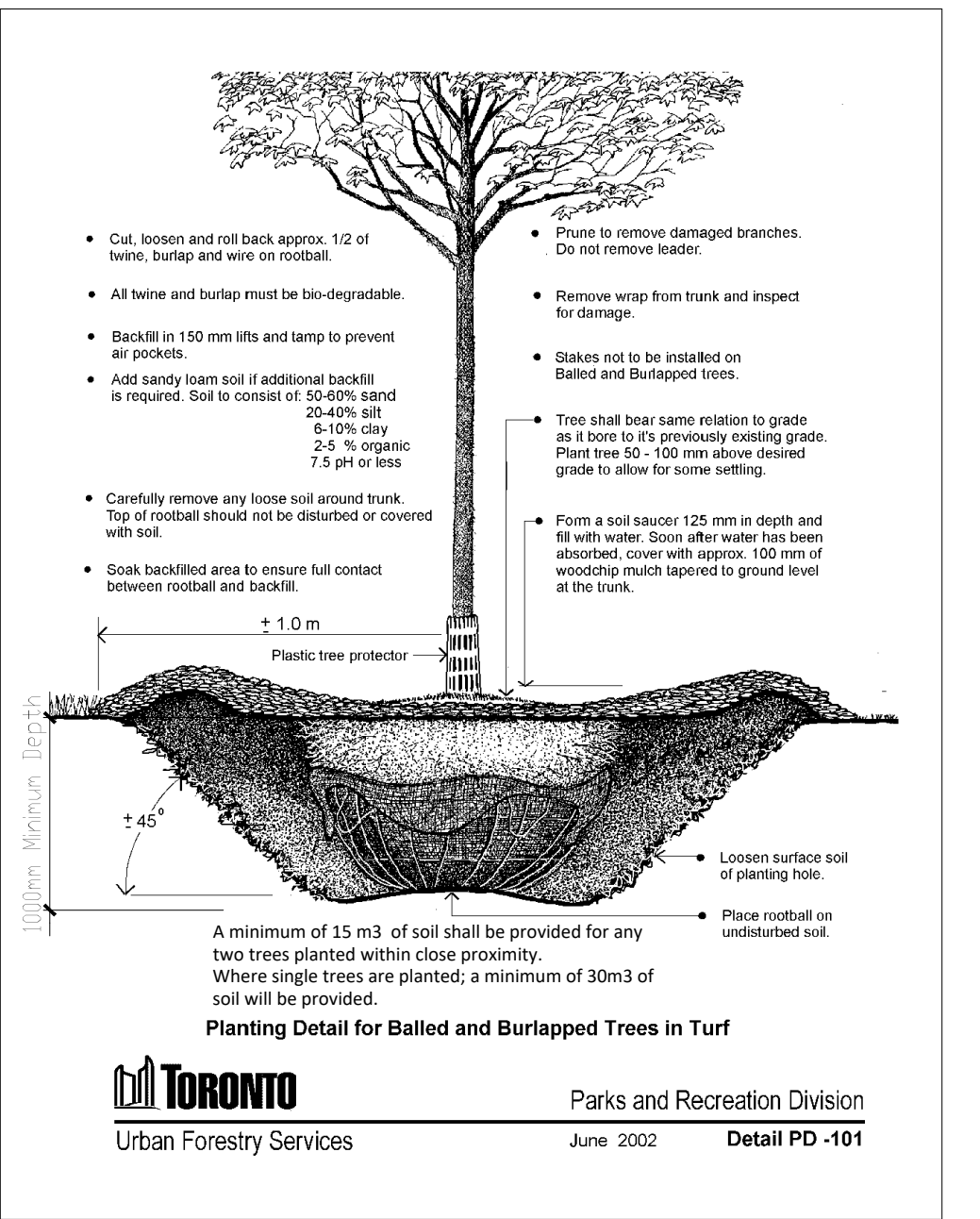
The contractor will be responsible for the protection of all plant material from damages resulting from winter conditions as well as rodents during the warranty period. Apply "Sloof" rodent deterrent formula (or approved equal) to all container trees and all shrubs in late October as per manufacturer's directions.

The contractor shall provide a full one year guarantee (or two years if required by the municipality or owner) on all landscape works, beginning on the date that final acceptance is granted by the Landscape Architect.

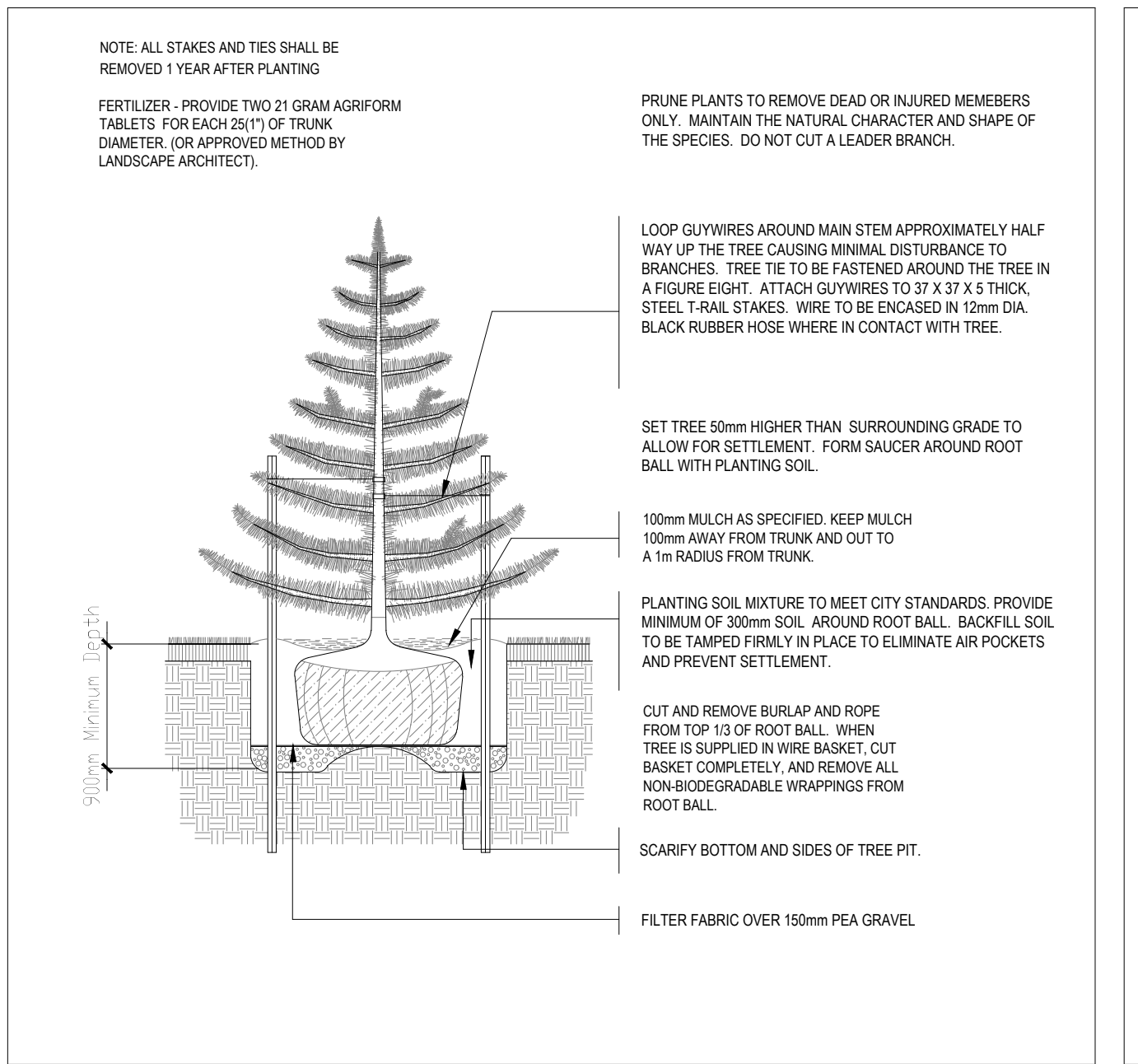
Two Year Watering Programme

- The watering program for the two year establishment period will reflect soil conditions, climate, including microclimate and types of plant material.
- Watering will supplement natural rainfall such that the soil moisture content is kept at 50% to 100% of field capacity.
- To supplement natural rainfall as required, it is necessary to perform occasional deep watering of trees and shrubs, throughout the growing season (May - October / Approximately 170 - 180 days)
- Newly planted trees and shrubs are to be watered. A new tree or shrub must be watered immediately after planting to reduce air pockets and settle the soil. **Watering to be executed through a slow soak method by slow release watering bags.** Plantings will be monitored carefully during period of establishment for any required adjustments to the watering schedule.
- Watering should be such that the soil is saturated to a depth of 400 mm to 500 mm for established plantings and to the depth of the root zone for new plantings.
- Ornamental and exposed evergreen plants, should be watered deeply in late fall before freeze-up to reduce desiccation damage during winter.
- Ornamental turfgrass areas should receive deep watering to supplement natural rainfall. Soil in turfgrass areas should be saturated to the full depth of the root zone, 150 mm to 200 mm at each watering. Frequent watering and light applications should be used only to encourage germination and rooting of newly seeded and turfed areas.
- Native plants and grasses native to an area / or plants selected for the area's cultural conditions will not require irrigation beyond the establishment maintenance period (two years).
- Mature trees can generally withstand longer dry and hot periods than smaller plants, due to their established root system. When rainfall is insufficient to replenish these reserves, or for trees surrounded by paving or other factors that prevent water penetration, trees shall be given sufficient supplemental water.

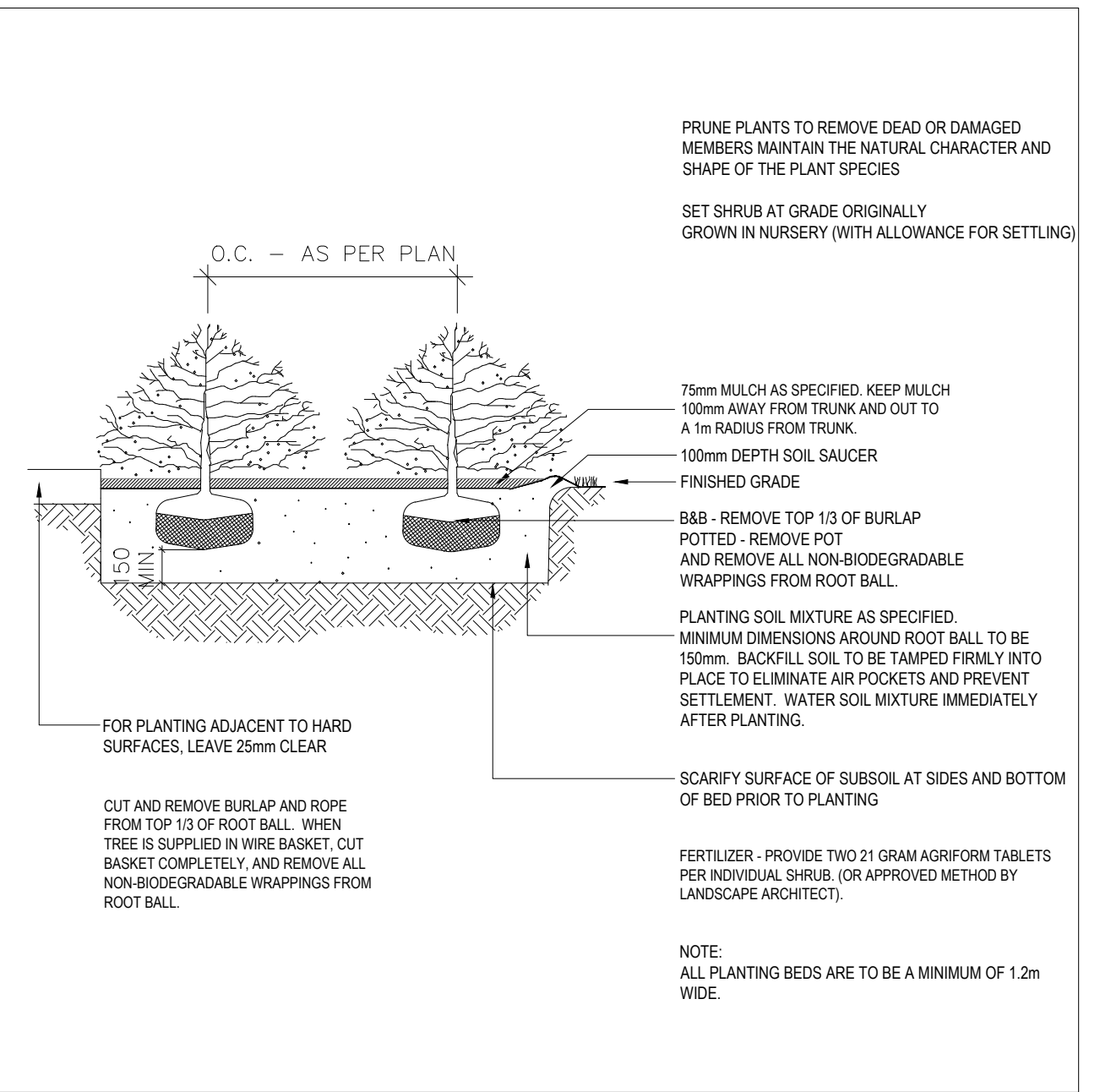
1 LANDSCAPE SPECIFICATIONS
L-2 n.t.s.



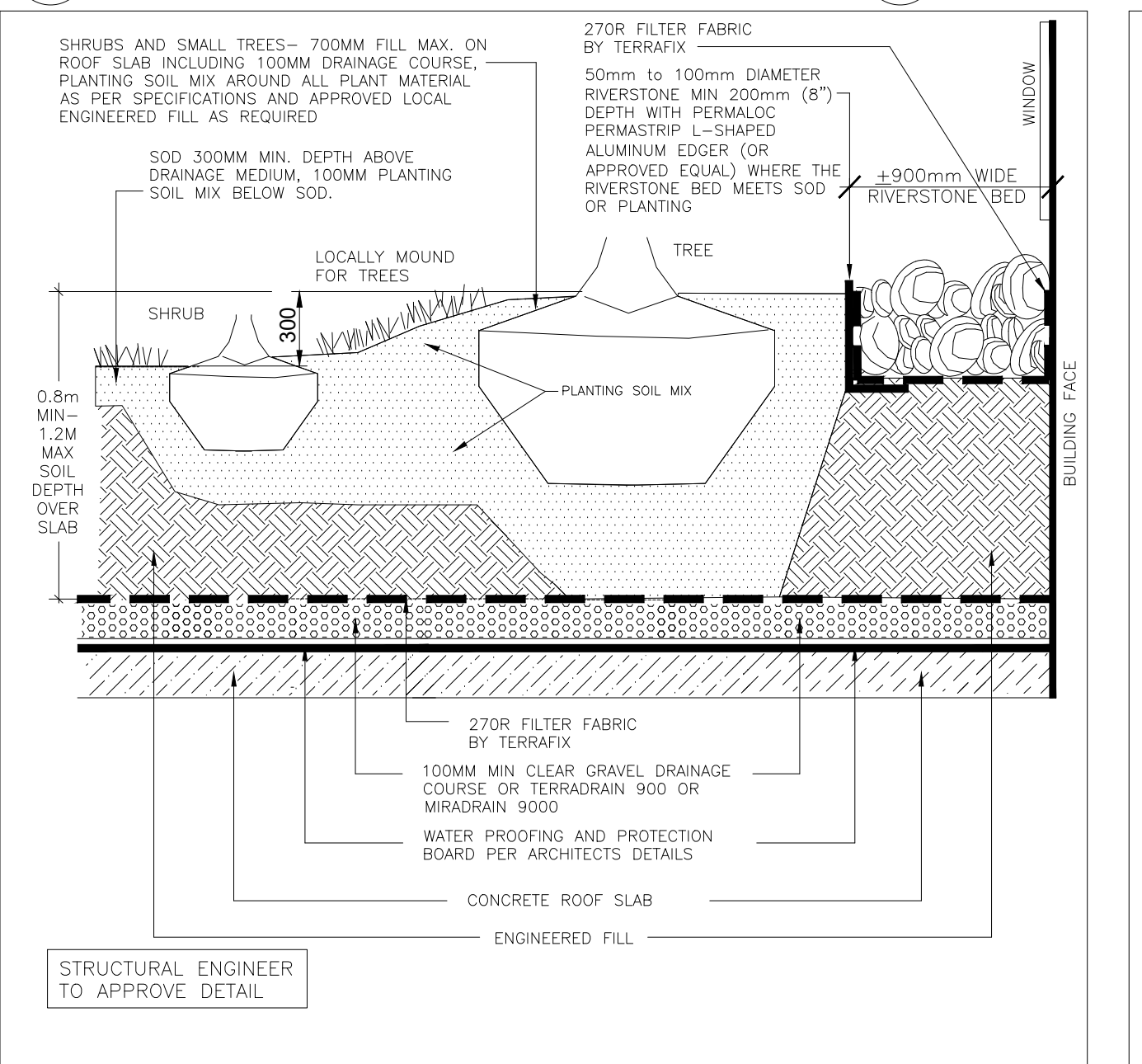
2 CITY OF TORONTO TREE PLANTING DETAIL
L-2 n.t.s.



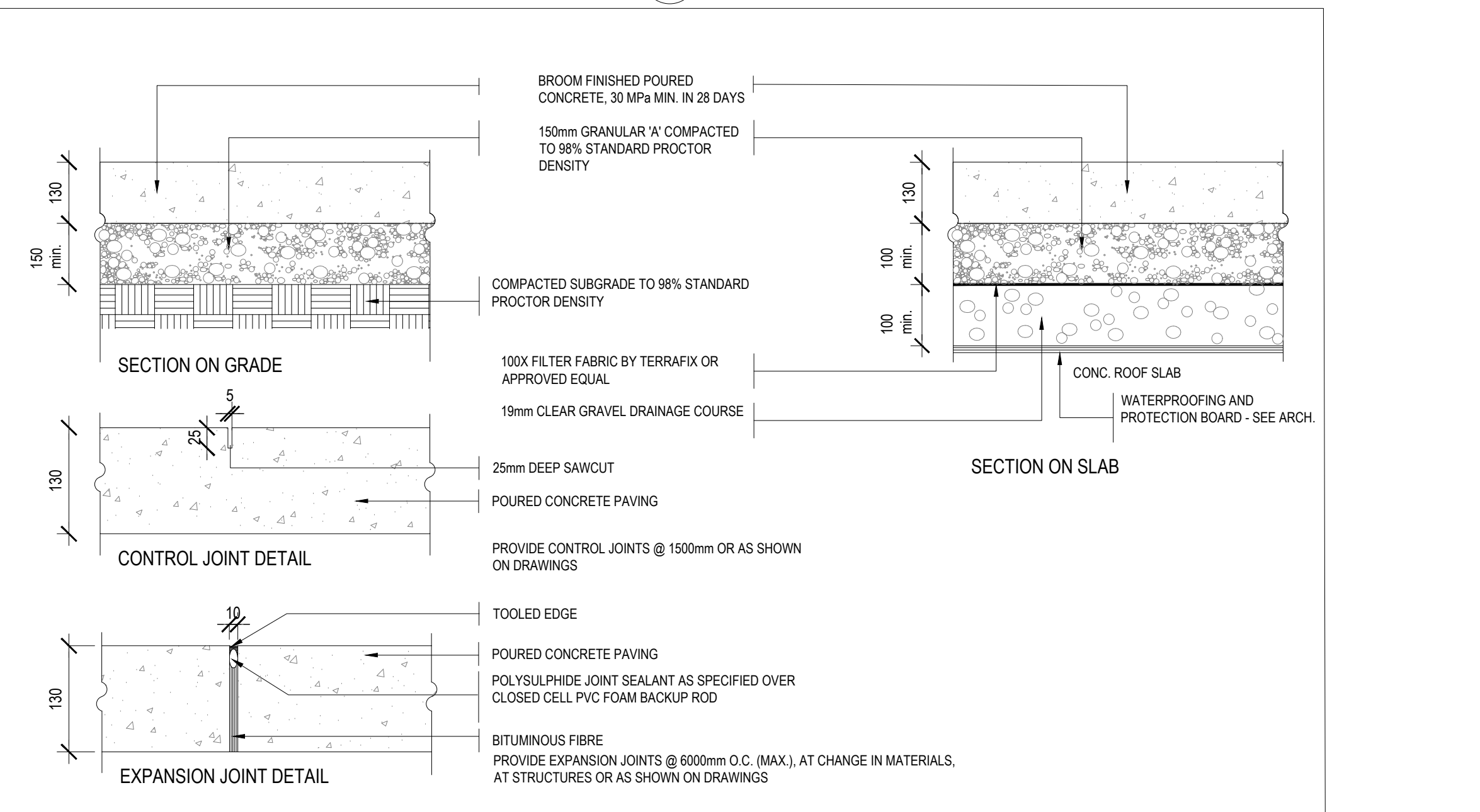
3 CONIFEROUS TREE PLANTING DETAIL
L-2 n.t.s.



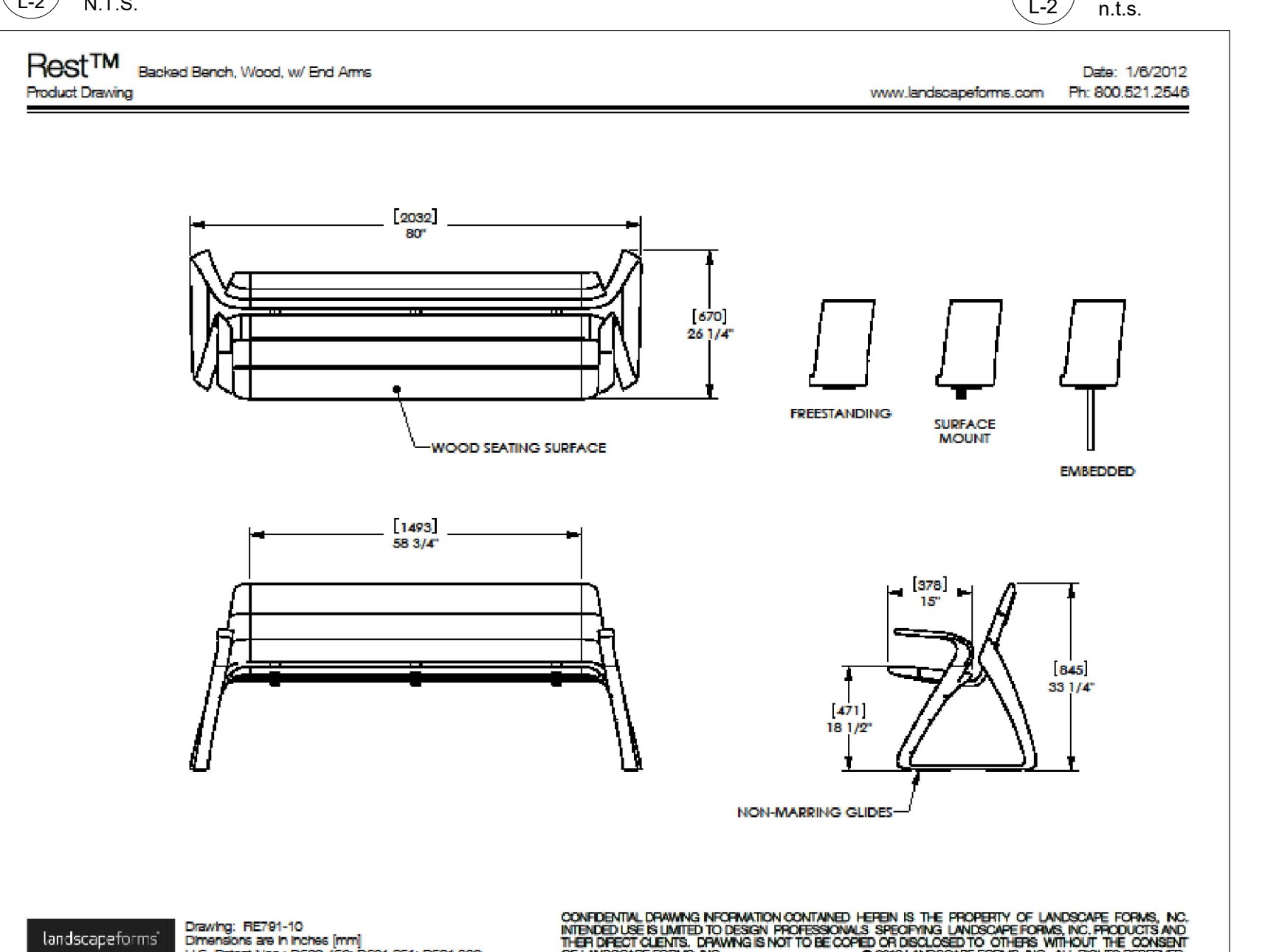
4 SHRUB PLANTING DETAIL
L-2 n.t.s.



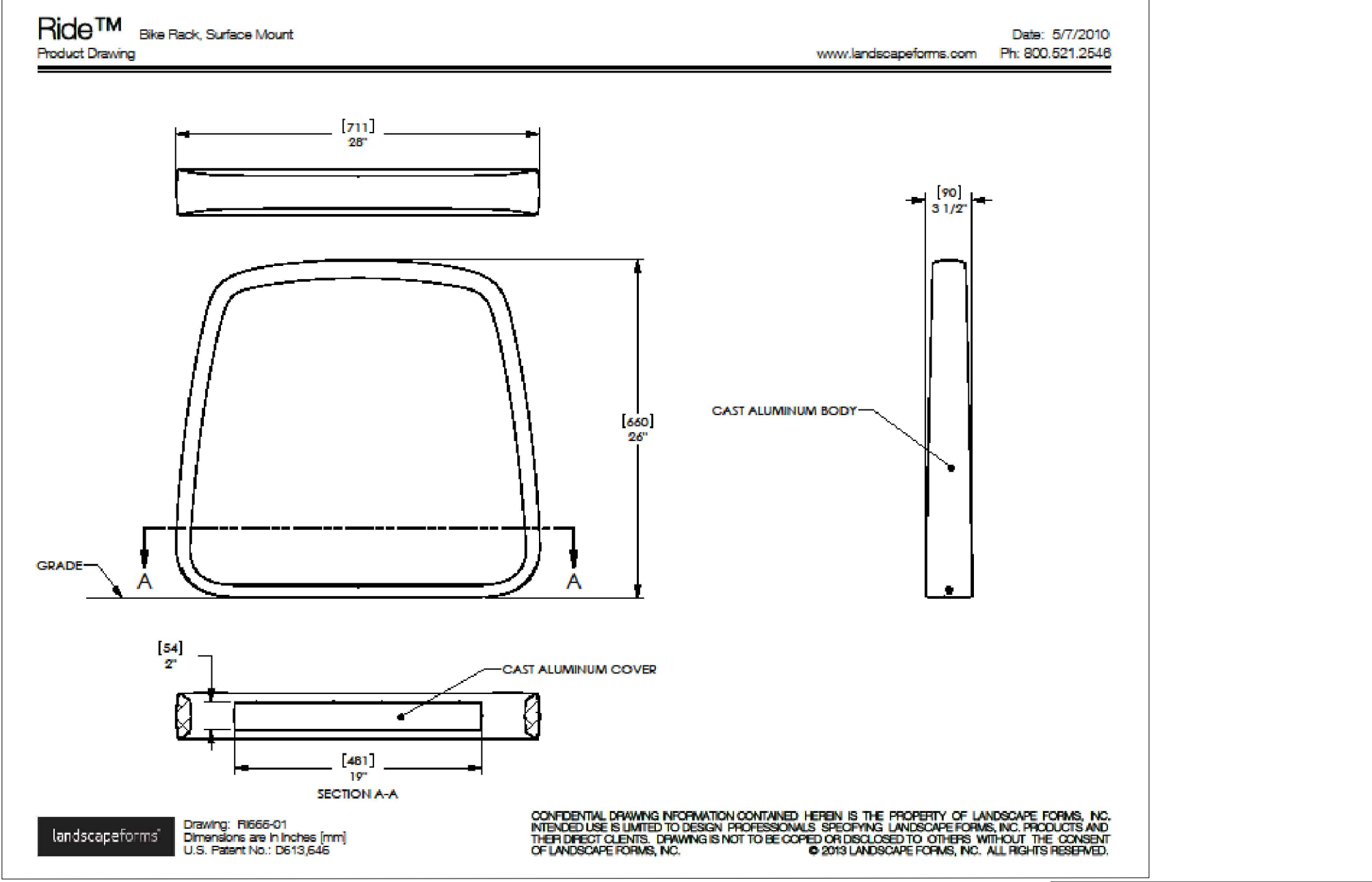
5 PLANTING ON SLAB
L-2 N.T.S.



6 CONCRETE PAVING DETAILS ALL CONCRETE PAVING ON SITE TO ACHIEVE A MINIMUM S.R.I VALUE OF 29.
L-2 n.t.s.



7 BENCH DETAIL
L-2 n.t.s.



8 BIKE RACK
L-2 n.t.s.

OSC - Creek Bank Native Seed Mixture #8215

APPLICATION RATE 25 KG/HA

Contains: Big Bluestem (Andropogon gerardii), Black Eyed Susan (Rudbeckia hirta), Bottlebrush Grass (Elymus hystrix), Fowl Bluegrass (Poa palustris), Fowl Manngrass (Glyceria striata), Fox Sedge (Carex vulpinoidea), New England Aster (Aster novae-angliae).

SEEDING SPECIFICATIONS

FERTILIZER SHALL BE COMBINED WITH SEED MIX AT THE FOLLOWING RATE PER HECTARE:

5-20-20 ANALYSIS	450kg
32-0-0 ANALYSIS (SULPHUR COATED AREA)	115kg
0-46-0 ANALYSIS	225kg

THE CONTRACTOR SHALL NOT CARRY OUT THE WORK UNDER ADVERSE WEATHER CONDITIONS SUCH AS HIGH WIND, FROZEN GROUND OR GROUND COVERED WITH SNOW, ICE OR STANDING WATER.

A SOIL TEST SHOULD BE PERFORMED BY A COMPETENT CONTRACTOR TO VERIFY MIXTURE AND PERCENTAGES REQUIRED.

PREPARATION: GRADE SUB-GRADE, ELIMINATE UNEVEN AREAS AND LOW SPOTS. ENSURE POSITIVE DRAINAGE. REMOVE DEBRIS, ROOTS, BRANCHES, STONES IN EXCESS OF 50MM DIAMETER AND OTHER DELETERIOUS MATERIALS. REMOVE SUBSOIL THAT HAS BEEN CONTAMINATED WITH OIL, GASOLINE OR CALCIUM CHLORIDE, DISPOSE OF REMOVED MATERIAL AS DIRECTED BY LANDSCAPE ARCHITECT.

GRADE SUB-GRADE FOR SEEDING TO A UNIFORM SURFACE AND REMOVE VEGETATION WHICH MAY INTERFERE WITH SEEDING OPERATIONS. LOOSEN SOIL TO DEPTH OF 25MM MINIMUM AND REMOVE STONES AND FOREIGN MATERIAL WHICH PROTRUDE MORE THAN 75MM ABOVE THE SURFACE.

CONTRACTOR TO SUPPLY AND INSTALL 100mm (4\") LAYER OF TOPSOIL OVER THE AREA TO BE SEED PRIOR TO SEEDING. SEEDING SHALL OCCUR IMMEDIATELY FOLLOWING INSTALLATION OF TOPSOIL. IF A DELAY OCCURS, THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL WEEDS PRIOR TO SEEDING, SHOULD THEY FAIL TO EXECUTE SEEDING IN A TIMELY MANNER.

MAINTENANCE: SEEDING AREAS TO BE MAINTAINED BY CONTRACTOR ENSURING ADEQUATE WATER, FERTILIZER, ANNUAL MOWINGS (2-3 YEAR ONE, AND 1-2 YEAR TWO), MAINTENANCE AND REPAIR UNTIL SEEDING AREAS ARE PROPERLY ESTABLISHED. AREAS SEEDING IN FALL WILL BE ACCEPTED IN FOLLOWING SPRING, ONE MONTH AFTER START OF GROWING SEASON PROVIDED ACCEPTANCE CONDITIONS ARE FULFILLED.

- ALL SEED MIXTURES TO BE SUPPLIED BY ONTARIO SEED COMPANY LTD. (519) 886-0557 (OR APPROVED EQUAL).
- MIX IS DESIGNED TO BE APPLIED AS PER MANUFACTURERS SPECIFICATIONS.
- SEED ANNUAL RYEGRASS AS A NURSE CROP AND TO ENHANCE EROSION CONTROL AT 25 kg per ha/ha/ha.
- PREPARE ALL DISTURBED AREAS TO BE SEED WITH MIN 100MM OF SOIL/COMPOST MIXTURE.

11 Creek Bank Native Seed Mix
L-2

GENERAL NOTES

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- Do not leave any holes open overnight.
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- This drawing is Copyright MHBC Planning, 2022.

6	June 15, 2022	Issued for REVIEW	P.D.
5	May 20, 2022	Issued for REVIEW	P.D.
4	December 10, 2020	Issued for SPA	P.D.
3	February 26, 2020	Issued for OPA/ZBA	P.D.
2	February 18, 2020	Issued for Review/coordination	P.D.
1	January 28, 2020	Issued for OPA/ZBA	P.D.

Revision No. Date Issued / Revision By

PLANNING URBAN DESIGN & LANDSCAPE ARCHITECTURE

MHBC

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Stamp: ASSOCIATION OF LANDSCAPE ARCHITECTS OF ONTARIO (ALA) MEMBER

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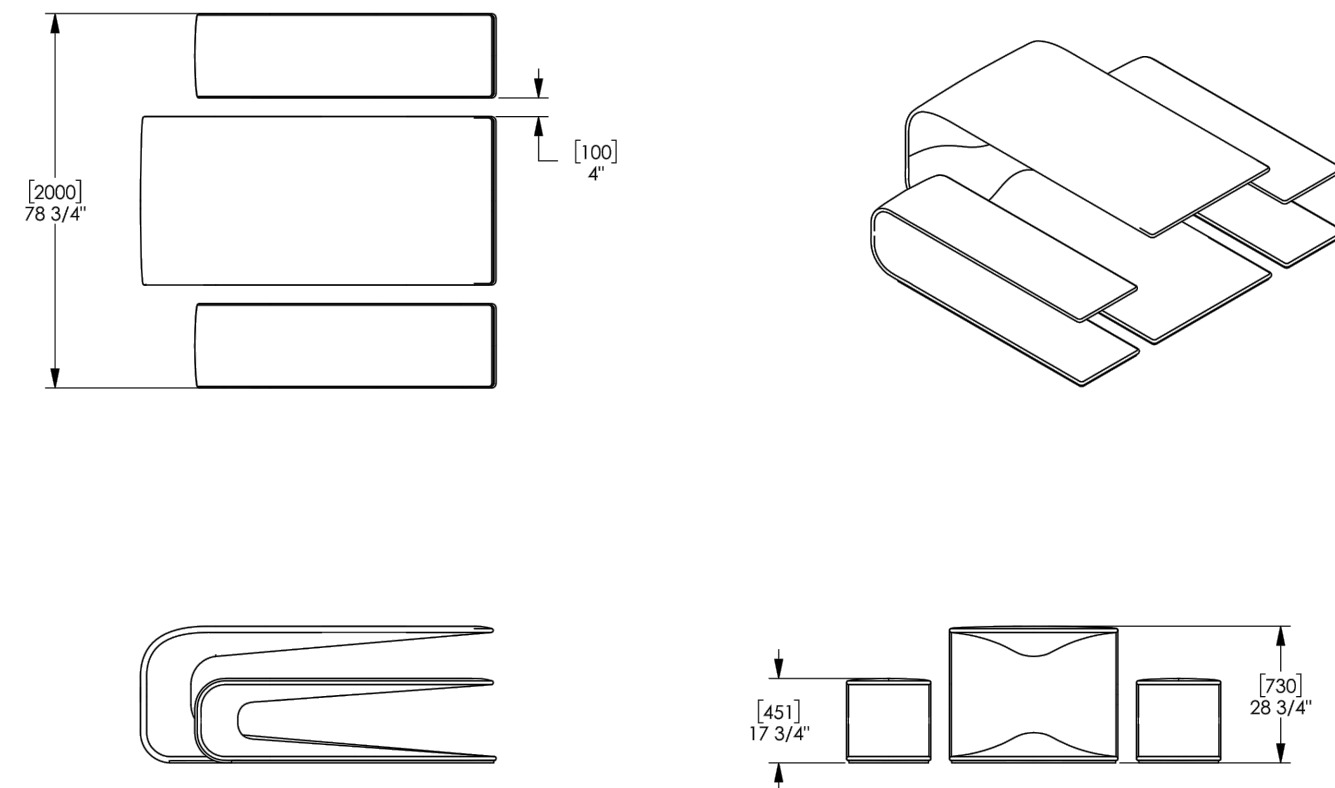
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PROPOSED APARTMENTS
1306 Wilson Avenue,
North York, ON

Project: City File: 18 268503 NNY 06 OZ and 20 161382 NNY 06 SA

File Name: Dwg No. L-2

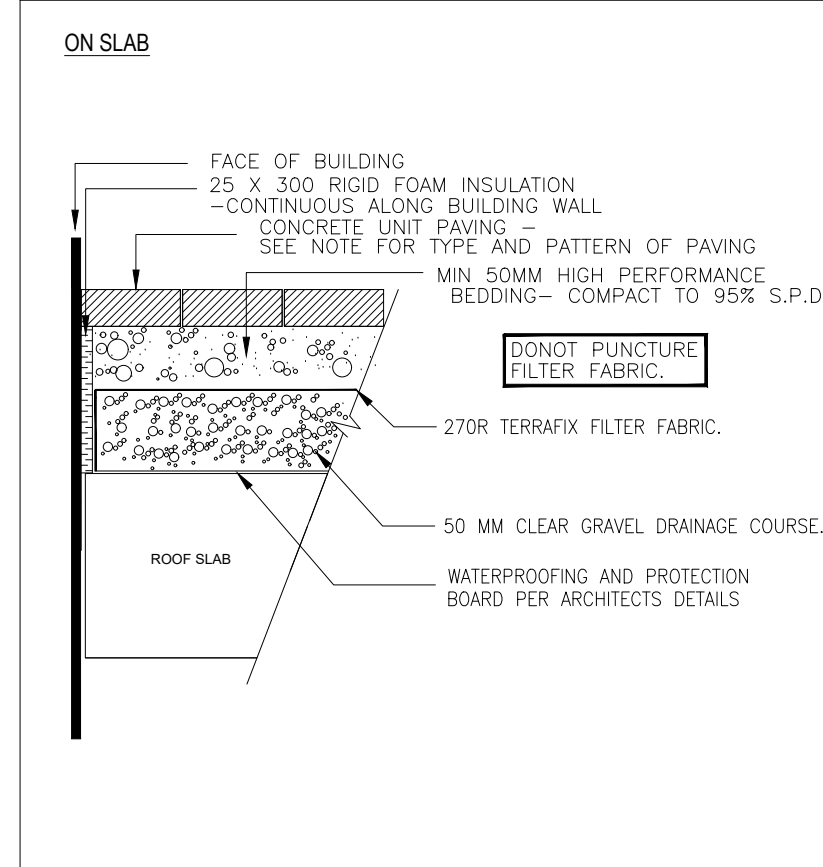
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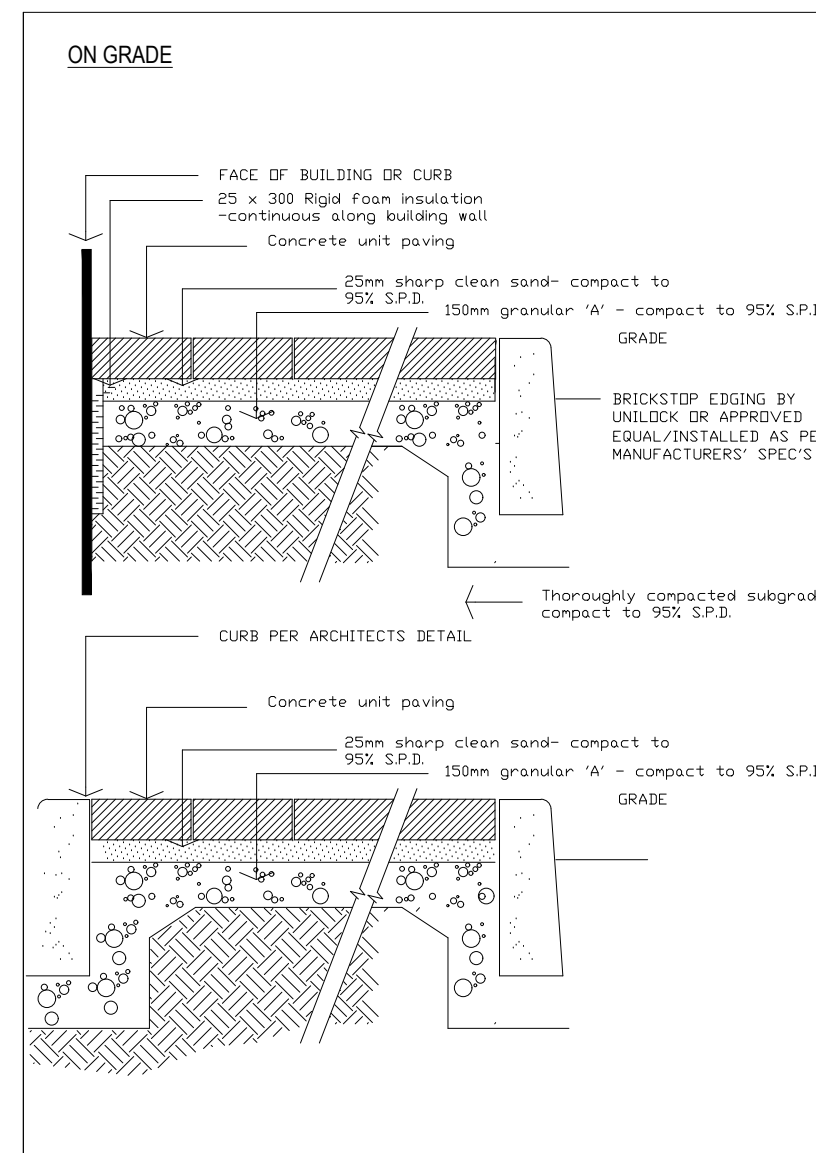
landscapiforms Drawing: ESB40-0001
 Dimensions are in inches (mm)

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1 TABLE AND BENCH DETAIL
 n.t.s.



2 CONCRETE UNIT PAVING - SRI Value to be 29 at Minimum
 n.t.s.



OSC - Creek Bank Native Seed Mixture #8215

APPLICATION RATE 25 KG/HA

Contains: Contain: Big Bluestem (Andropogon gerardii), Black Eyed Susan (Rudbeckia hirta), Bottlebrush Grass (Elymus hystrix), Fowl Bluegrass (Poa palustris), Fowl Manngrass (Glyceria striata), Fox Sedge (Carex vulpinoidea), New England Aster (Aster novae-angliae).

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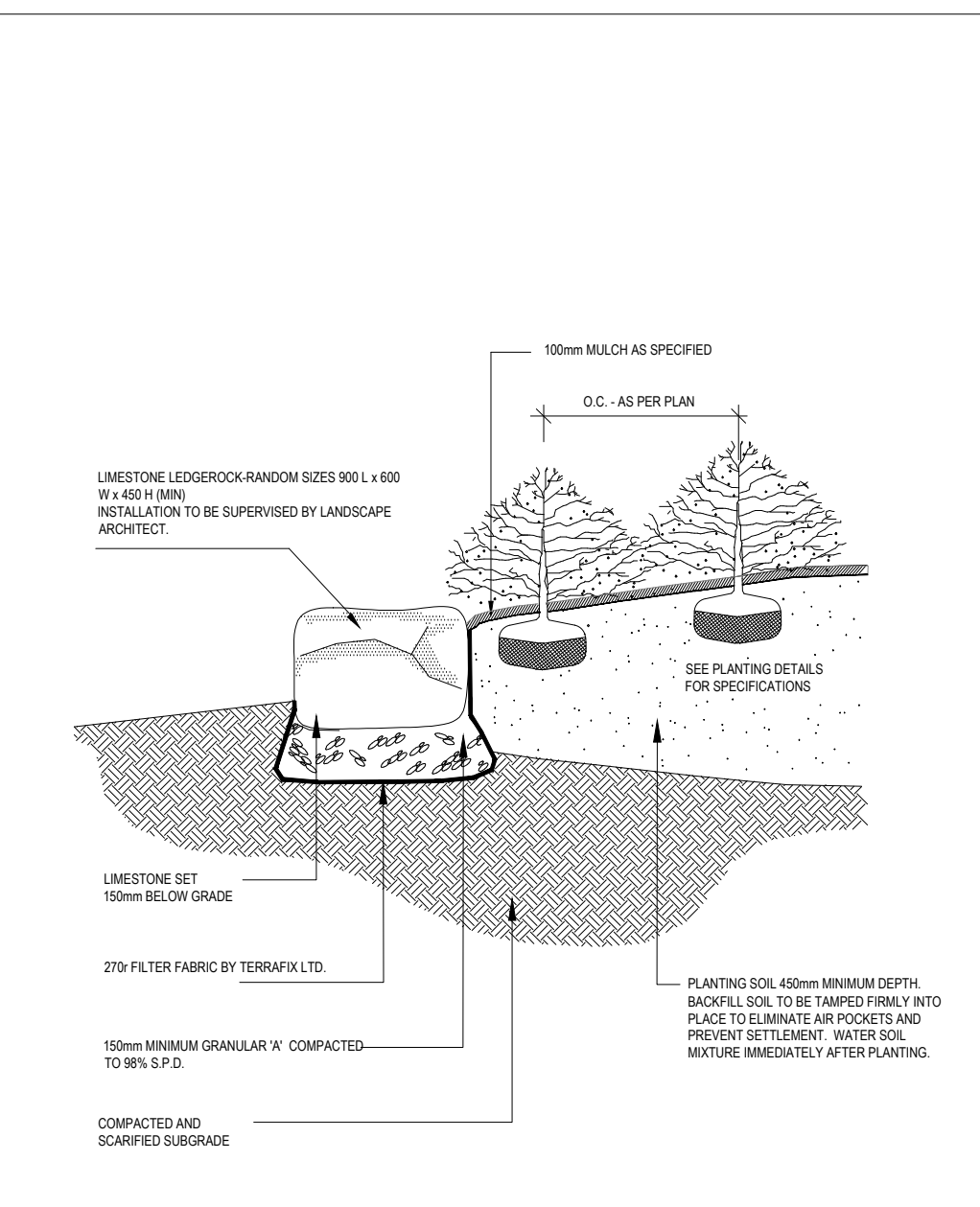
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- PREPARE ALL DISTURBED AREAS TO BE SEEDED WITH MIN 100MM OF SOIL/COMPOST MIXTURE.

3 Creek Bank Native Seed Mix
 L-3



4 Armour Stone Retaining Wall
 L-3



DOG WASTE SYSTEM

Keeps apartment landscaping, hiking trails, dog parks and recreation areas free of dog waste.

- Sign - Large, easy-to-read reflective aluminum.
- Dispenser - Tough powder-coated aluminum. Locking front panel. Includes 400 bags.
- Receptacle - 18-gauge steel. Includes retainer band. 10-gallon capacity.

* Mounting hardware included

DOG WASTE SYSTEM

MODEL NO.	DESCRIPTION	SIZE L x W x H	WT. (LBS.)
H-2898*	Sign	12 x 18"	2
H-2897*	Dispenser	9 x 3 x 16"	7
H-3491*	Receptacle	11.5" Diam. x 23" H	16
H-1662*	8 ft. U-Channel Galvanized Post		

* Available in Galvanized or Green

5 DOG RELIEF STATION - SIGN, DISPENSER, & RECEPTACLE
 MANUFACTURER: ULINE
 n.t.s.

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- Do not leave any holes open overnight.
- Keep area outside construction zone clean and useable by others at all times. Contractor shall thoroughly clean areas surrounding the construction zone at the end of each work day.
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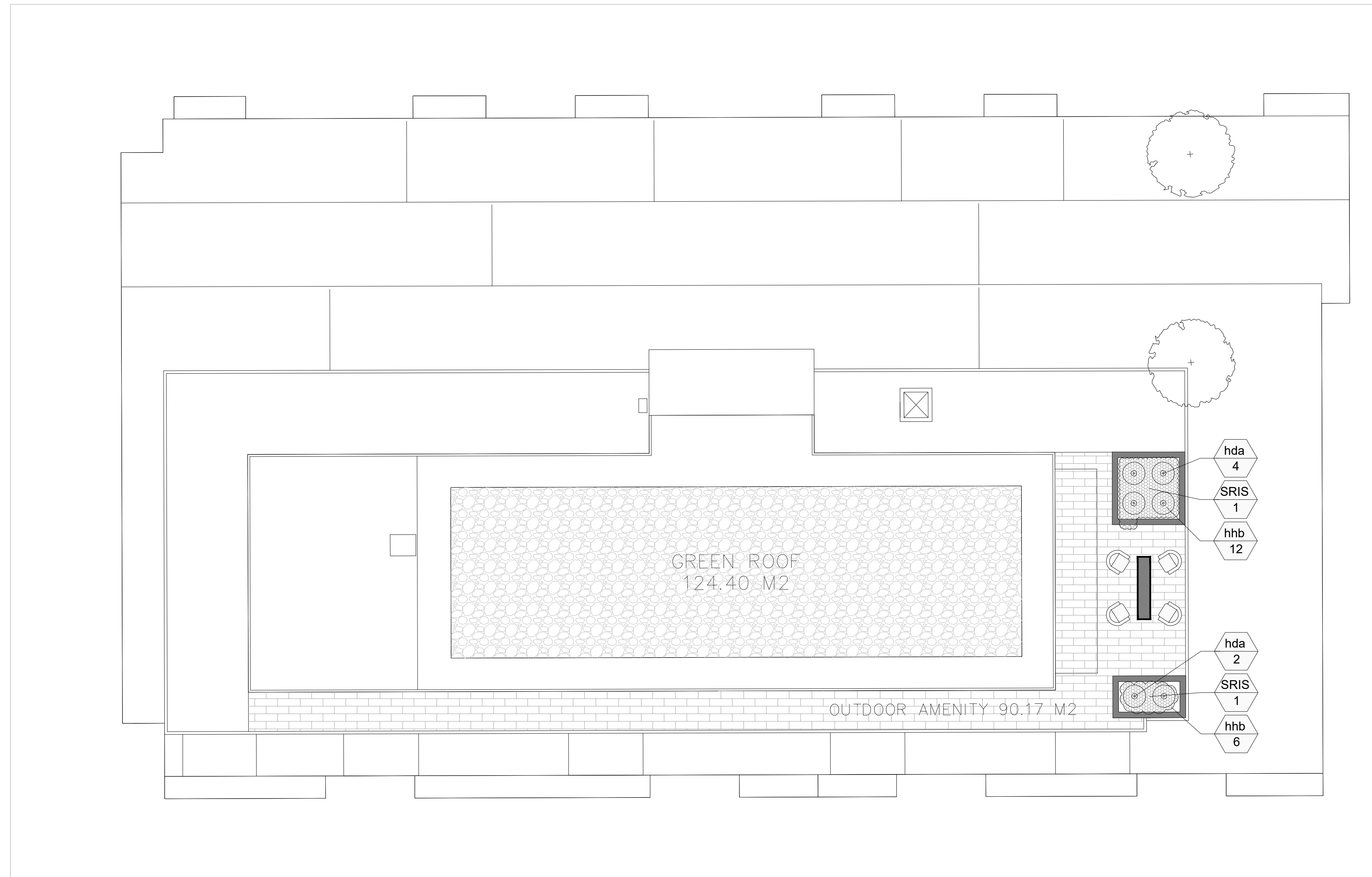
NO.	DATE	ISSUED FOR	BY
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PLANNING URBAN DESIGN & LANDSCAPE ARCHITECTURE
MHBC
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	Drawn By	P.D.
	Plan Scale	1:150
	File No.	17120 B
Checked By	G.C.	
Project	PROPOSED APARTMENTS 1306 Wilson Avenue, North York, ON	
File Name	DETAILS PLAN	Dwg No. L-3

WITHOUT PREJUDICE



1 Roof Top Landscape Plan
Scale 1:100

ROOF TOP PLANT LIST

Key	qty.	Botanical Name	Common Name	Cal.	Ht./Sp.	Cond.
DECIDUOUS TREES						
SRI	2	Syringa reticulata 'Ivory Silk'	Ivory Silk Tree	70mm		SB
PERENNIALS						
hhb	18	Hedera helix 'Baltica'	Baltic Ivy			1 gal pot
hda	6	Hosta 'Devil's Advocate'	Devil's Advocate Hosta			1 gal pot

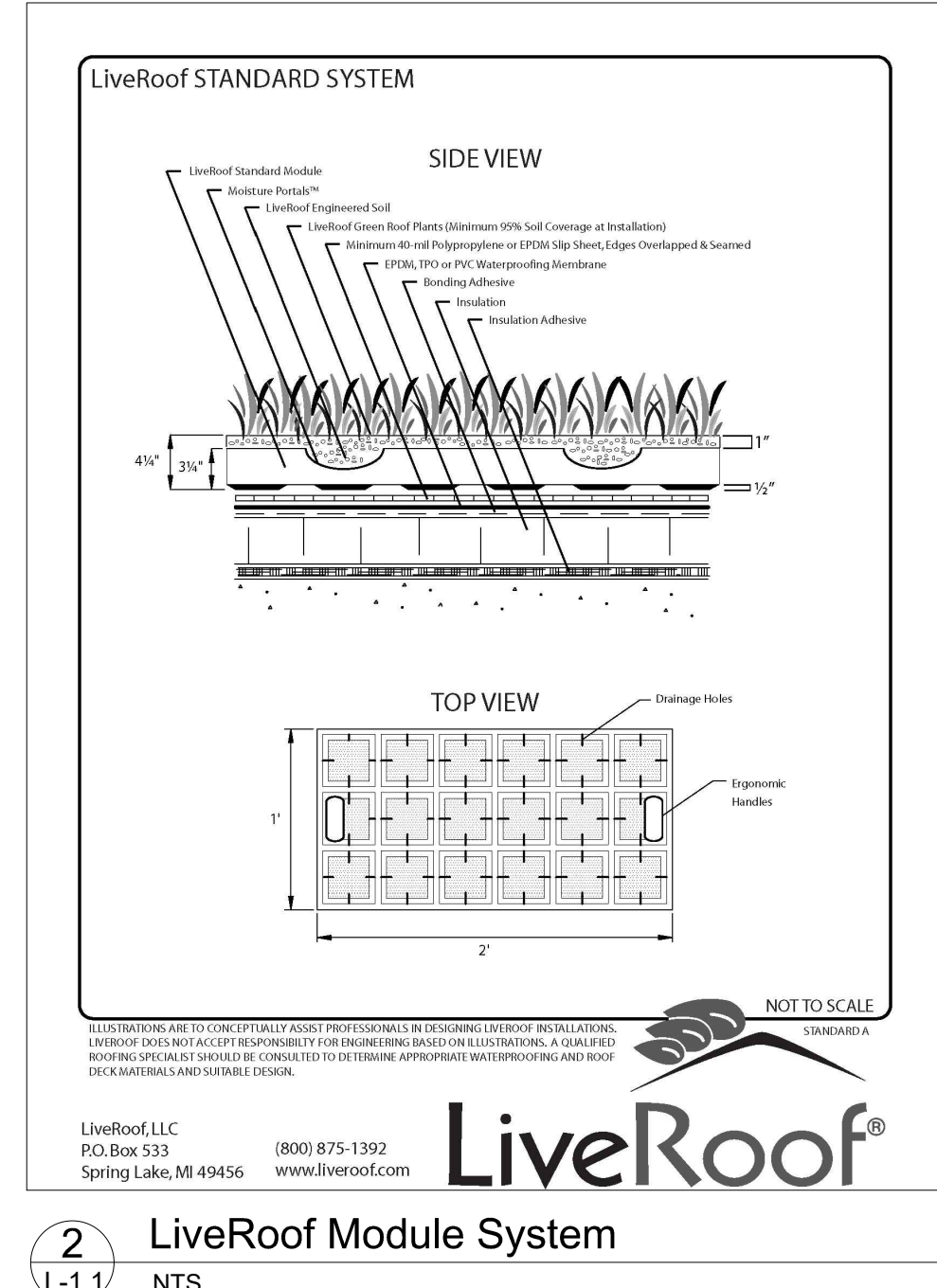
Green Roof Statistics

Available Roof Space Calculation		Proposed
Gross Floor Area, as defined in Green Roof Bylaw (m ²)		8490.20
Total Roof Area (m ²)		1197.40
Area of Residential Private Terraces (m ²)		628.10
Rooftop Outdoor Amenity Space, if in a Residential Building (m ²)		180.00
Area of Renewable Energy Devices (m ²)		0
Tower (s) Roof Area with floor plate less than 750 m ²		0
Total Available Roof Space (m ²)		389.30
Green Roof Coverage		Required Proposed
Coverage of Available Roof Space (m ²)		116.79 124.4
Coverage of Available Roof Space (%)		30 32

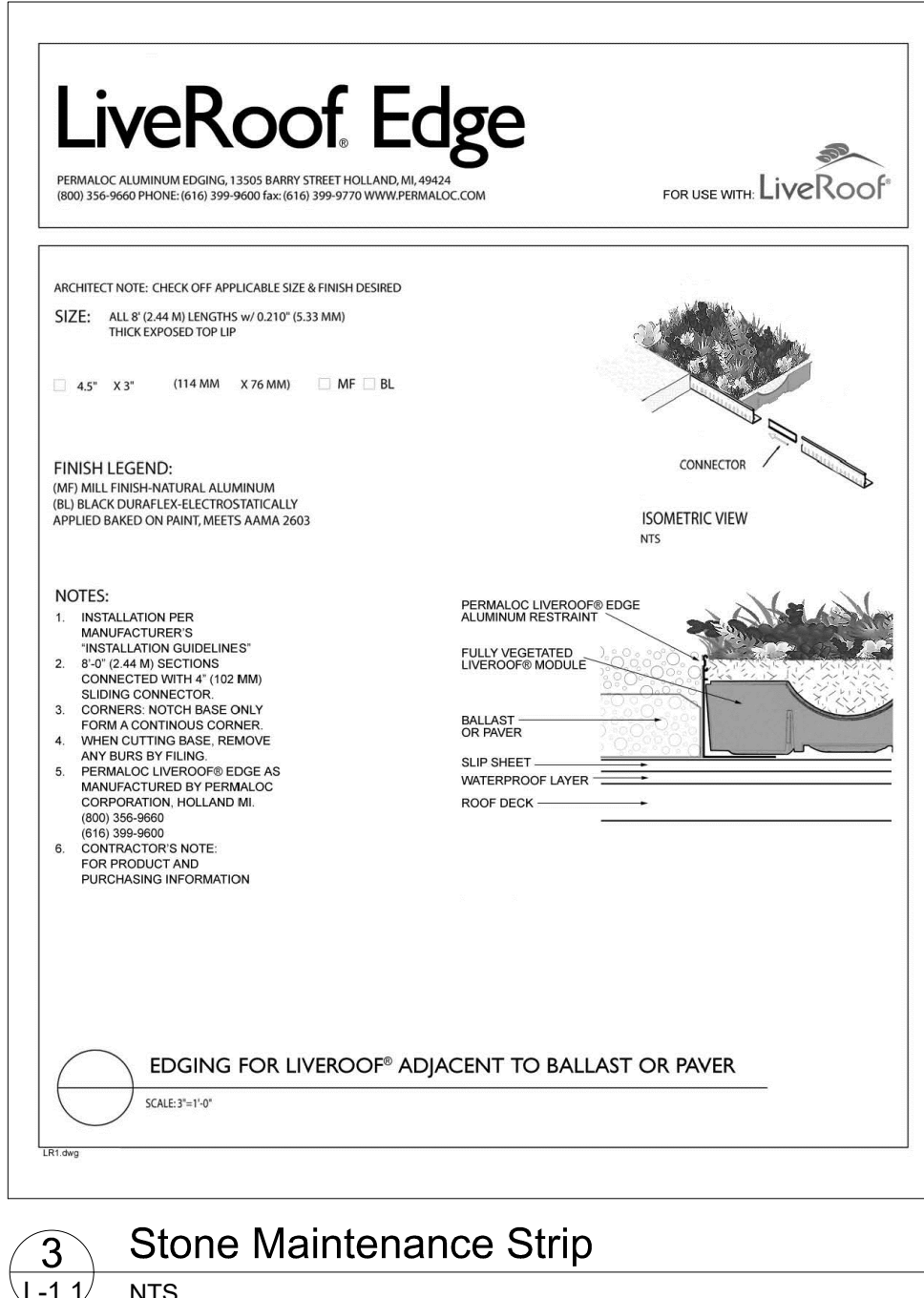
- ### LEGEND
- PROPOSED DECIDUOUS TREE
 - PROPOSED CONTINUOUS SHRUB & PERENNIAL BED
 - CONCRETE PLANTER
 - GREEN ROOF
SEE DETAIL 2-4 ON DRAWING L-1.1
 - PLANT KEY
 - DETAIL KEY
 - FEATURE PAVING
SEE DETAIL 12 ON DRAWING L-3
 - MOBILE SITE FURNITURE

- ### GENERAL NOTES
- Do not scale the drawings. All dimensions are in millimetres unless noted otherwise.
 - This drawing is to be read in conjunction with the architectural drawings prepared by project architect and project engineers.
 - The contractor shall check and verify all dimensions and conditions on the project and immediately report any discrepancies to the Landscape Architect before proceeding with the work.
 - The contractor is to be aware of all existing and proposed services and utilities. The contractor is responsible for having all underground services and utility lines staked by each agency having jurisdiction prior to commencing work.
 - Do not leave any holes open overnight.
 - Keep area outside construction zone clean and useable by others at all times. Contractor shall thoroughly clean areas surrounding the construction zone at the end of each work day.
 - Contractor shall maintain a detailed record of all authorized changes in the form of a redline mark-up drawing. These records shall be submitted to the Landscape Architect as a condition of obtaining substantial completion.
 - Contractor is to make good all damage resulting from the work at no additional cost.
 - Plant quantities indicated on the plan supersede the quantities from the plant list. (report any discrepancies to the Landscape Architect)
 - Contractor shall notify the Landscape Architect prior to installation of any site furniture. Final location of site furniture to be confirmed on site with Owner and Landscape Architect.
 - This drawing is Copyright MHC Planning, 2022.

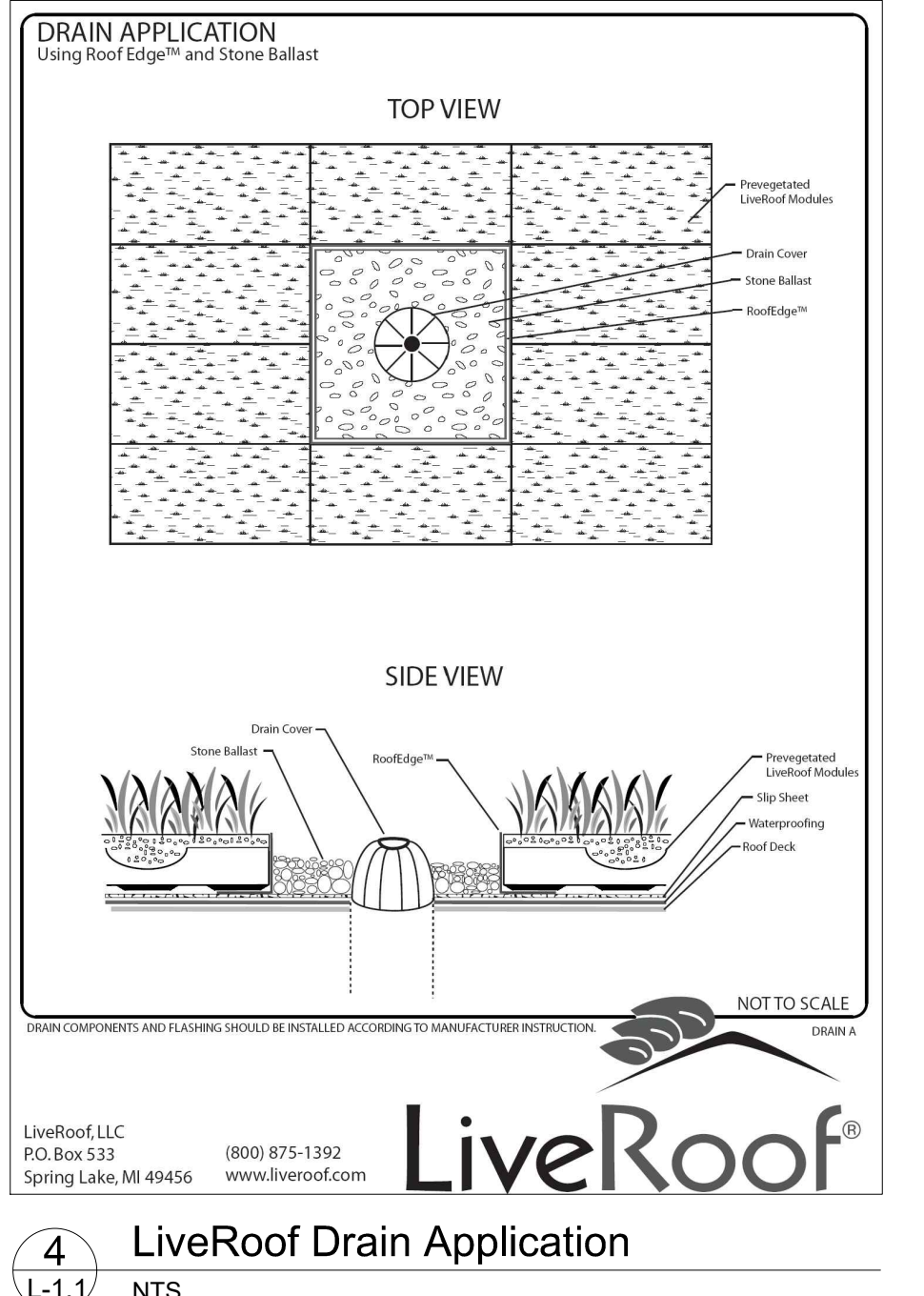
Revision No.	Date	Issued / Revision	By
6	June 15, 2022	Issued for REVIEW	P.D.
5	May 20, 2022	Issued for REVIEW	P.D.
4	December 10, 2020	Issued for SPA	P.D.
3	February 26, 2020	Issued for OPA/ZBA	P.D.
2	February 18, 2020	Issued for Review/coordination	P.D.
1	January, 2020	Issued for OPA/ZBA	P.D.



2 LiveRoof Module System
L-1.1 NTS



3 Stone Maintenance Strip
L-1.1 NTS



4 LiveRoof Drain Application
L-1.1 NTS

WITHOUT PREJUDICE

**PLANNING
URBAN DESIGN
& LANDSCAPE
ARCHITECTURE**

223-7050 WESTON ROAD WOODBRIDGE, ON, L4L 6C7 | P: 905.761.5588 F: 905.761.5589 | WWW.MHCPLAN.COM

Stamp	Date January, 2020	
	Drawn By P.D.	
	Plan Scale 1:100	
	File No. 17120 B	
	Checked By G.C.	
	City File: 18 268503 NNY 06 OZ and 20 161382 NNY 06 SA	
Project	THE WILSON 1304, 1306, AND 1308 Wilson Avenue, North York, ON DEVELOPER: WINZEN VISTA RIDGE ESTATES Ltd.	
File Name	ROOF TOP PLAN	Dwg No. L-1.1

ESTIMATE OF LANDSCAPE COSTS

Project: 1304, 1306, AND 1308 Wilson Avenue,
North York, ON OPA/ZBA #

Proj. No: 17120 B

18 268503 NNY 06 OZ

Issue: Landscape Estimate for Letter of Credit

Date: June 15, 2022

ITEM	DESCRIPTION	QTY	UNIT	UNIT PRICE	EST. COST
1.0	Planting				
1.1	Deciduous Trees	52	each	\$ 500.00	\$ 26,000.00
1.2	Coniferous Trees	22	each	\$ 450.00	\$ 9,900.00
1.3	Deciduous Shrubs	251	each	\$ 35.00	\$ 8,785.00
1.4	Coniferous Shrubs	35	each	\$ 35.00	\$ 1,225.00
1.5	Perennials & Grasses	197	each	\$ 18.00	\$ 3,546.00
	<i>Subtotal 1.0:</i>				\$ 49,456.00
2.0	Seeding Sodding				
2.1	Sod & Fine Grading	255	m ²	\$ 7.00	\$ 1,785.00
2.2	Seeding	417	m ²	\$ 4.00	\$ 1,668.00
	<i>Subtotal 2.0:</i>				\$ 1,785.00
3.0	Paving				
3.1	Concrete Paving (High Albedo)	330	m ²	\$ 75.00	\$ 24,750.00
3.2	Concrete Unit Paving (High Albedo)	325	m ²	\$ 100.00	\$ 32,500.00
	<i>Subtotal 3.0:</i>				\$ 57,250.00
4.0	Site Furnishings and Features				
4.1	Table & Benches	2	each	\$ 3,500.00	\$ 7,000.00
4.2	Bench	6	each	\$ 2,100.00	\$ 12,600.00
4.3	Bike Rack	7	each	\$ 1,500.00	\$ 10,500.00
4.4	Dog Relief Station - ULINE	1	each	\$ 800.00	\$ 800.00
4.5	Concrete Planter	5	each	\$ 1,000.00	\$ 5,000.00
4.6	Armour Stone	39	each	\$ 200.00	\$ 7,800.00
	<i>Subtotal 4.0:</i>				\$ 43,700.00
5.0	Amenity Area Lighting				
5.1	Wall Sconce	4	each	\$ 400.00	\$ 1,600.00
5.2	Bollard Lighting	2	each	\$ 1,000.00	\$ 2,000.00
	<i>Subtotal 5.0:</i>				\$ 3,600.00
	Note:				Total Costs: \$ 155,791.00

This estimate of costs is based on the professional opinion and experience of MHBC. Tendered bids or actual construction costs may differ due to market conditions and will supersede this estimate.

WITHOUT PREJUDICE