

Schedule "A"

Settlement Plans, prepared by BDP. Quadrangle Architects Limited and Partisans Architects,
dated November 15, 2022

BDP. Quadrangle

Quadrangle Architects Limited
901 King Street West, Suite 701 Toronto, ON M5V 3H5
t 416 598 1240 www.bdpquadrangle.com

PARTISANS

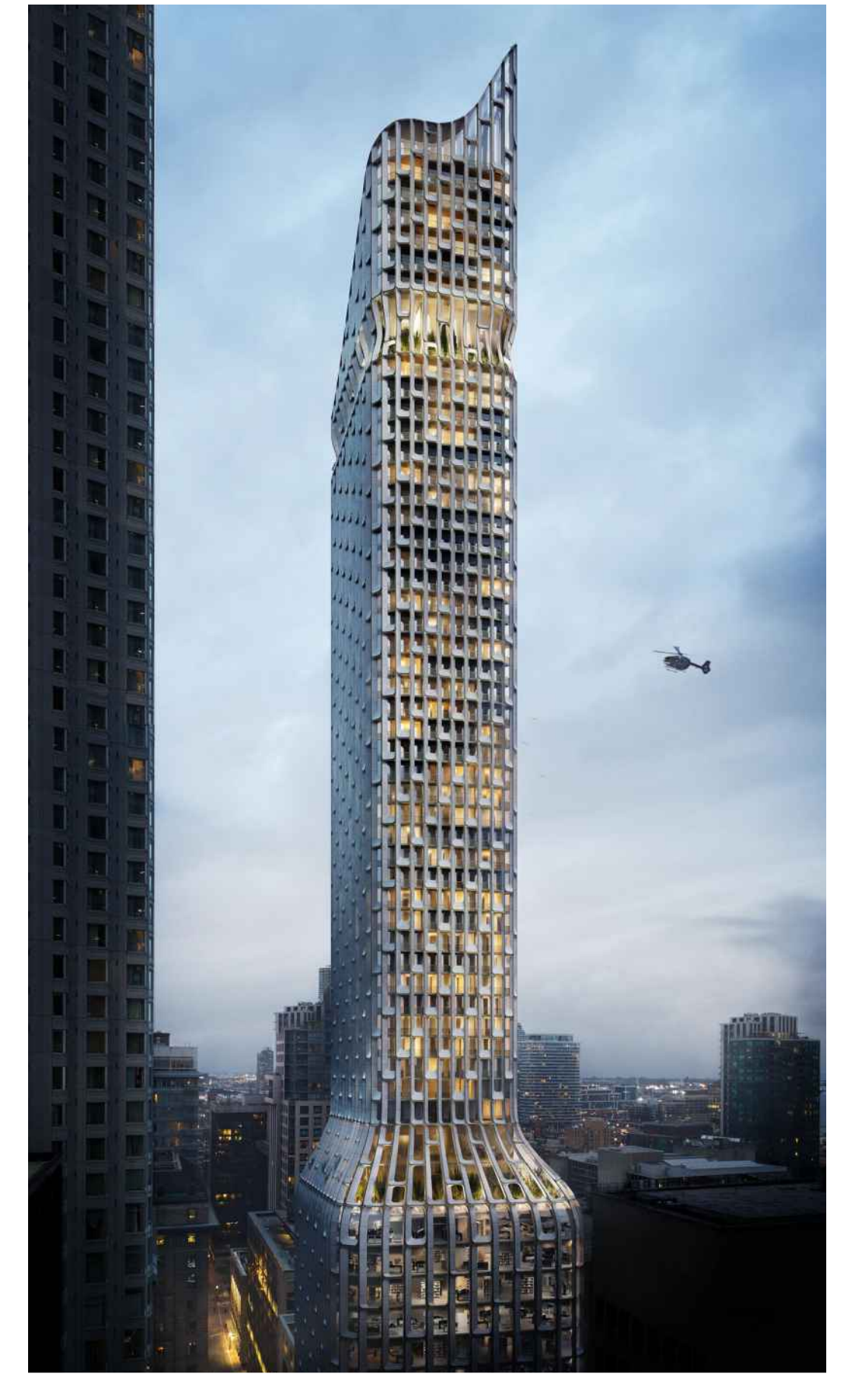
Partisans Architects
950 Dupont St, Toronto, ON M6H 1Z2
t 647 846 3428 www.partisans.com

55 YONGE STREET

Toronto, ON

for
H&R REIT

Project No. 18060
Date 15 NOVEMBER 2022
Issued for URBAN PLANNING REVIEW



ARCHITECTURAL DRAWINGS

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A471.S Renderings
A472.S Renderings

PLANNERS

Bousfields Inc.
3 Church Street, Suite 200
Toronto, ON, M5E 1M2
T. 416-947-9744

TRAFFIC CONSULTANT

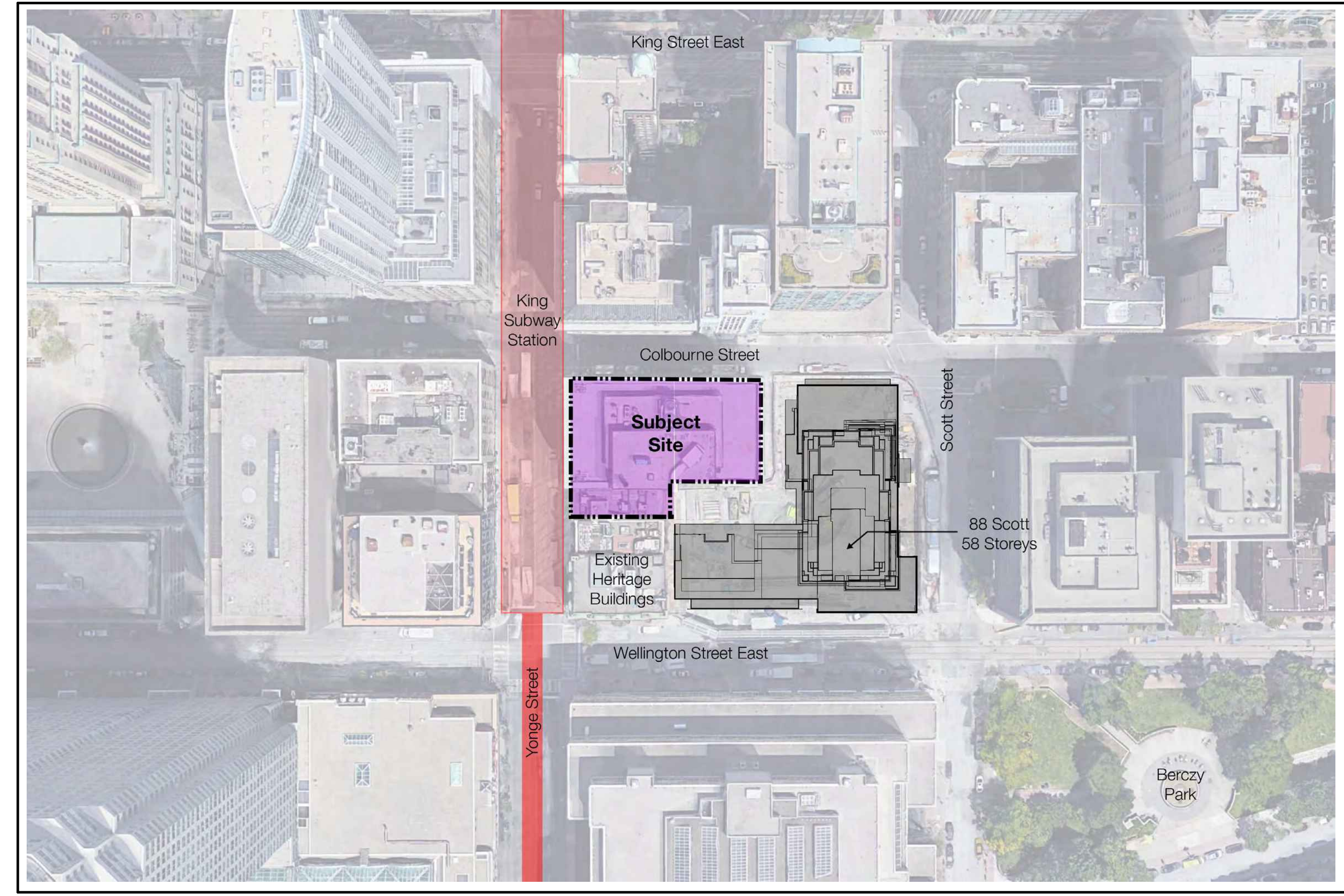
BA Consulting Group Ltd.
45 St. Clair Ave. W.,
Suite 300
Toronto, ON, M4V 1K9
T. 416-961-7110

URBAN DESIGN & LANDSCAPE ARCHITECT

Janet Rosenberg & Studio
148 Kenwood Ave, York,
ON M6C 2S3
416-656-6665

CIVIL ENGINEERS

Counterpoint Engineering Inc.
8395 Jane St, Concord,
ON L4K 5Y2
905-326-1404



2 A101.S Context Plan

- SITE LEGEND:**
- PROPERTY LINE
 - LINE OF UNDER GROUND GARAGE BELOW
 - GROUND FLOOR OUTLINE
 - FIRE ACCESS ROUTE
 - 60' WIDE HEAVY DUTY PAVING ASSEMBLY TO BE DESIGNED TO MEET THE LOADS IMPOSED BY FIRE FIGHTING EQUIPMENT.
 - MAIN BUILDING ENTRANCE
 - SECONDARY ENTRANCE
 - EXIT
 - VEHICLE / LOADING ENTRANCE / EXIT
 - FIRE HYDRANT
 - SIAMISE CONNECTION
 - MANHOLE COVER (MM)
 - AREA DRAIN
 - CATCH BASIN
 - EXISTING LIGHT (LS)
 - F.F.E. FINISH FLOOR ELEVATION
 - EXISTING ELEVATION
 - PROPOSED ELEVATION
 - BUILDING ENVELOPE
 - FIRE ACCESS ROUTE HEAVY DUTY PAVING ASSEMBLY TO BE DESIGNED TO MEET THE LOADS IMPOSED BY FIRE FIGHTING EQUIPMENT.

TOPOGRAPHIC PLAN OF SURVEY OF PART OF TOWN LOT 1 NORTH SIDE OF WELLINGTON STREET TOWN OF YORK PLAN CITY OF TORONTO

SCHAEFFER DZALDOV BENNETT LTD.

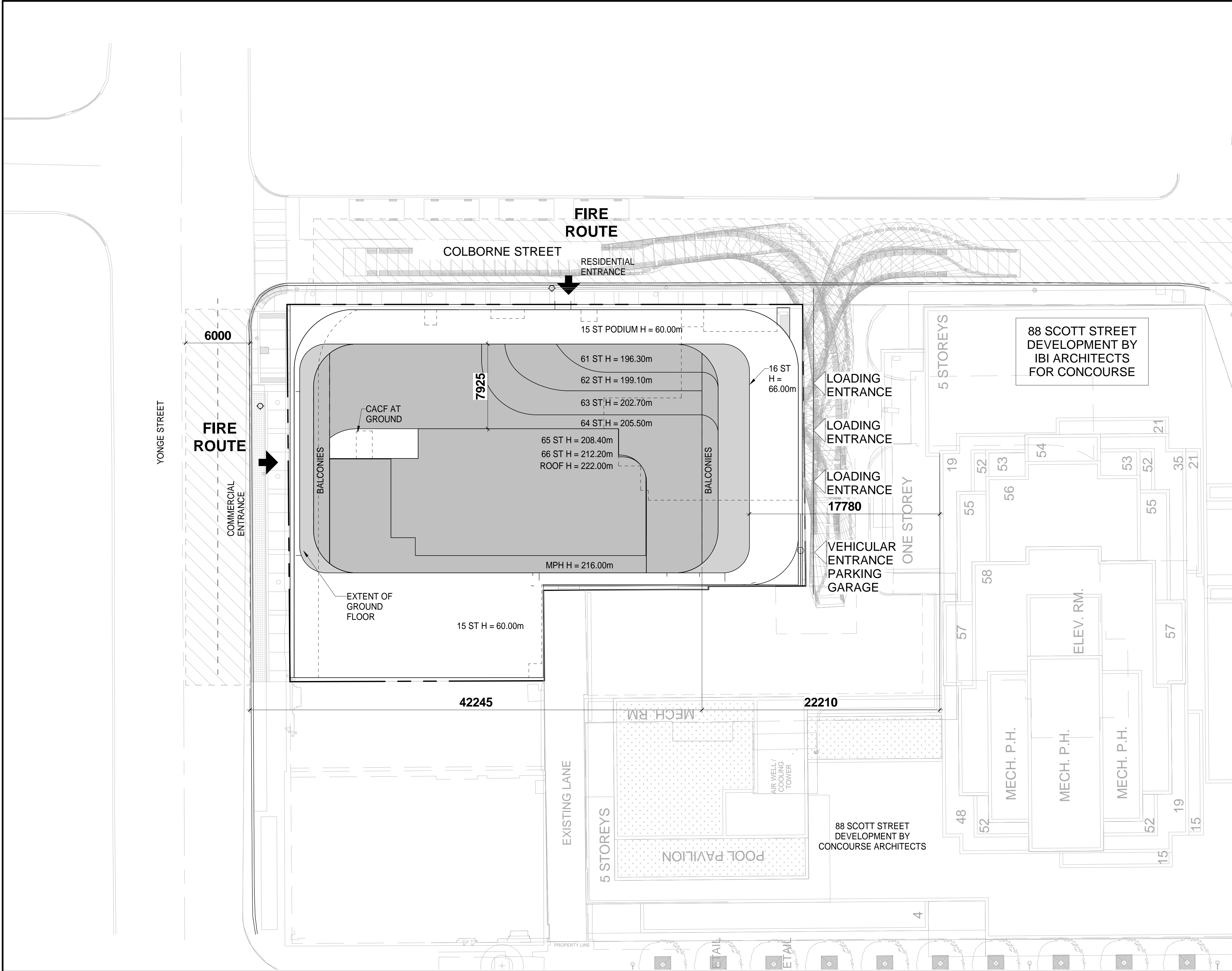
- NOTES**
- OF DENOTES FOUND MONUMENT
 - OF DENOTES CONCRETE
 - OF DENOTES CURB
 - OF DENOTES OUT ARROW
 - P1 DENOTES PLAN 88-3074
 - P2 DENOTES SPREIGHT AND VAN NOSTRAND LIMITED, SURVEY DATED AUGUST 5, 1996
 - P3 DENOTES PLAN 88-3722
 - P4 DENOTES RABERCAU & CZERNINSKI, O.L.S., SURVEY DATED MARCH 10, 2008
 - P5 DENOTES PLAN 88-3722
 - M DENOTES MAPPED
 - 1537 DENOTES T. CZERNINSKI, O.L.S.
 - 1525 DENOTES E. AND SUPERVISOR INC.
 - 2008 DENOTES SPREIGHT AND VAN NOSTRAND LIMITED
 - 2008 DENOTES SPREIGHT AND VAN NOSTRAND LIMITED
- BEARINGS ARE GRID DERIVED FROM 3' WITH COORDINATE SYSTEM, ZONE 10 NAD 83 (CGRS).
- TOPOGRAPHIC NOTES**
- CB DENOTES CATCH BASIN
 - CONC DENOTES CONCRETE
 - MANHOLE DENOTES MANHOLE
 - HW DENOTES HAND WELL
 - MV DENOTES WATER VALVE
 - GM DENOTES GAS METER
 - GA DENOTES GAS VALVE
 - WV DENOTES WATER VALVE
 - UP DENOTES UTILITY POLE
 - W DENOTES WOOD
 - MP DENOTES METAL POST
 - M DENOTES METAL
 - L DENOTES LIGHT
 - HYDRANT DENOTES FIRE HYDRANT
 - SIAMISE DENOTES SIAMISE CONNECTION
 - FFES DENOTES FINISHED FLOOR ELEVATION AT LOCATION NOTED ONLY
 - D/T DENOTES DECEOUS TREE 0.10m dia.
 - C/DENOTES DECEOUS CONCRETE COLUMN
 - CRW DENOTES DECEOUS CONCRETE RETAINING WALL

BENCHMARK
ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE REFERRED TO CITY OF TORONTO BENCHMARK NO. C7712 HAVING A PUBLISHED ELEVATION OF 82.035 METRES

CONTOUR INTERVAL: 0.50m

SURVEYOR'S CERTIFICATE
I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 7TH DAY OF SEPTEMBER, 2020.
DATE: SEPTEMBER 22, 2020. DAN DZALDOV, ONTARIO LAND SURVEYOR

SCHAEFFER DZALDOV BENNETT LTD. ONTARIO LAND SURVEYORS
84 JACOB DRIVE, CONCORD, ONTARIO L4W 3P3 TEL: (416) 297-2101
CALC. MAP | DRAWN: SAM/AJW | CHECKED: HMF | SCALE: 1:200 | JOB NO. 20-132-00 | SEPTEMBER 22, 2020

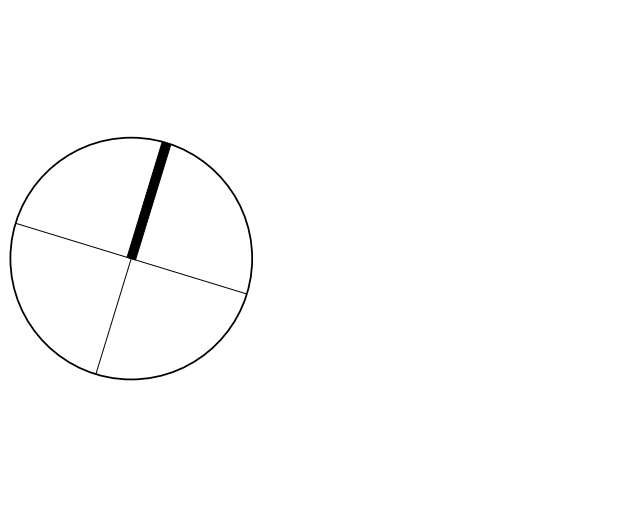


1 A101.S SITE PLAN

Date	No.	Description
2022-04-22		ISSUED FOR SPA
2021-02-25		ISSUED FOR REZONING

REVISION RECORD

Date	No.	Description
2022-04-22		ISSUED FOR SPA
2021-02-25		ISSUED FOR REZONING



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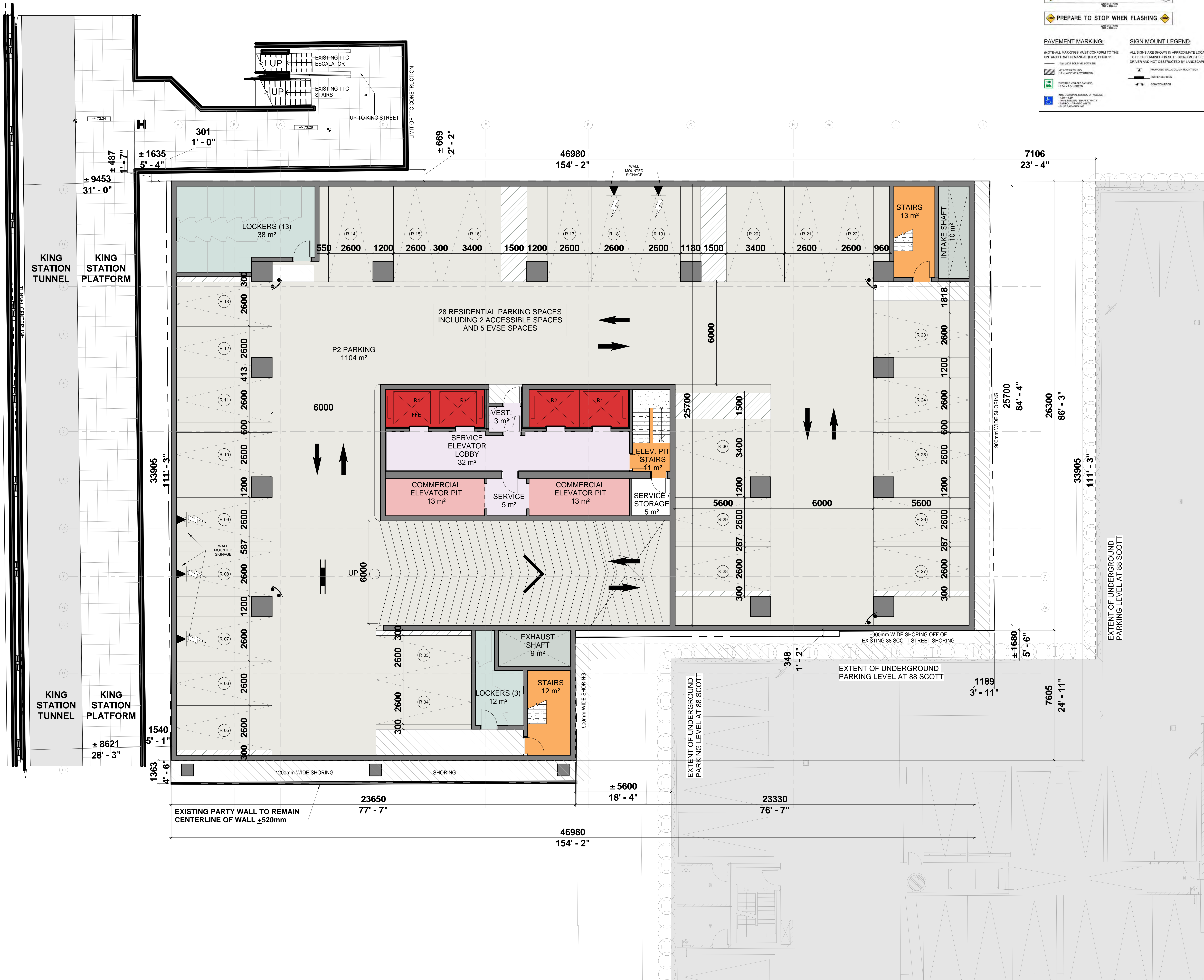
55 YONGE STREET
Toronto, ON
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18060 1:XXX PROJECT SCALE
YA LK DRAWN REVIEWED

Site Plan

A101.S

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PARKING SIGNAGE LEGEND:

CAUTION: TRUCK MANOEUVRING AHEAD

PREPARE TO STOP WHEN FLASHING

PAVEMENT MARKING:

NOTE: ALL MARKINGS MUST CONFORM TO THE ONTARIO TRAFFIC MANUAL, 2016 BOOK 11

FROM WIDE SOLID YELLOW LINE

YELLOW STRIPES (FROM WIDE YELLOW STRIPS)

RESERVED VEHICLES PARKING (1.5M X 3.5M GREEN)

INTERNATIONAL SYMBOL OF ACCESS (1.5M X 2M)

INTERNATIONAL SYMBOL OF ACCESS (1.5M X 2M)

INTERNATIONAL SYMBOL OF ACCESS (1.5M X 2M)

INTERNATIONAL SYMBOL OF ACCESS (1.5M X 2M)

SIGN MOUNT LEGEND:

ALL SIGNS ARE SHOWN IN APPROXIMATE LOCATIONS AND TO BE DETERMINED ON SITE. SIGNS MUST BE VISIBLE TO DRIVER AND NOT OBSTRUCTED BY LANDSCAPE.

RESERVED WALL/COLUMN MOUNT SIGN

SUSPENDED SIGN

CONVEX MIRROR

PARKING LEGEND:

P1-PARKING SPACE

C-COMMERCIAL PARKING

R-RESIDENTIAL PARKING

V-VISITOR PARKING

E-EXISTING PARKING

PARKING NOTES:

NOTE: 1. MINIMUM PARKING SPACE SIZES (UNLESS OTHERWISE NOTED): 2000mm WIDE X 5000mm LONG (NO SIDES OBSTRUCTED) 2000mm WIDE X 5000mm LONG (ONE SIDE OBSTRUCTED) 3200mm WIDE X 5000mm LONG (TWO SIDES OBSTRUCTED) THROUGHOUT

2. MAINTAIN MINIMUM DRIVE AISLE WIDTH OF 6000mm UNLESS OTHERWISE NOTED

3. MAINTAIN MINIMUM HEADROOM CLEARANCE OF 2100mm THROUGHOUT

VEHICULAR PARKING:

LEVEL	RESIDENTIAL	VISITOR/COMMERCIAL
P1	2	7
P2	28	0
TOTAL	30	7

Visitor Parking Ratio = 0.014
Total Parking Ratio = 0.012

Total number includes 3 accessible spaces
Total number includes 10 spaces with EV charging stations (25%)
Parking spaces without EVSE to permit future EVSE installation

BICYCLE PARKING & LOCKERS LEGEND:

BICYCLE PARKING STATISTICS:

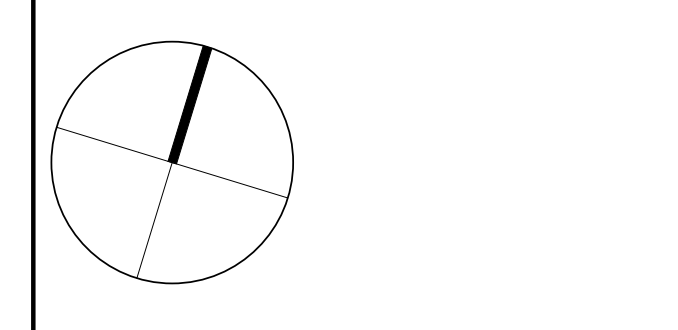
LEVEL	SHORT-TERM BICYCLE		LONG-TERM BICYCLE		RESIDENTIAL LOCKERS
	RESID.	OFFICE	BICYCLE	BICYCLE	
L2	0	0	460	0	0
L1A	51	28	0	26	0
GROUND	0	0	0	0	0
P1	0	0	0	0	5
P2	0	0	0	0	16
TOTAL	51	28	460	26	21
TOTAL	80	486	566		

Total vertical bicycle spaces = 22 (3.9% of total)

Date	No.	Description
2022-04-22		ISSUED FOR SPA
2021-02-25		ISSUED FOR REZONING

REVISION RECORD

ISSUE RECORD



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Quadrangle Architects Limited
901 King Street West, Suite 701 Toronto, ON M5V 3H5
+1 (416) 598-1240 www.bdpquadrangle.com

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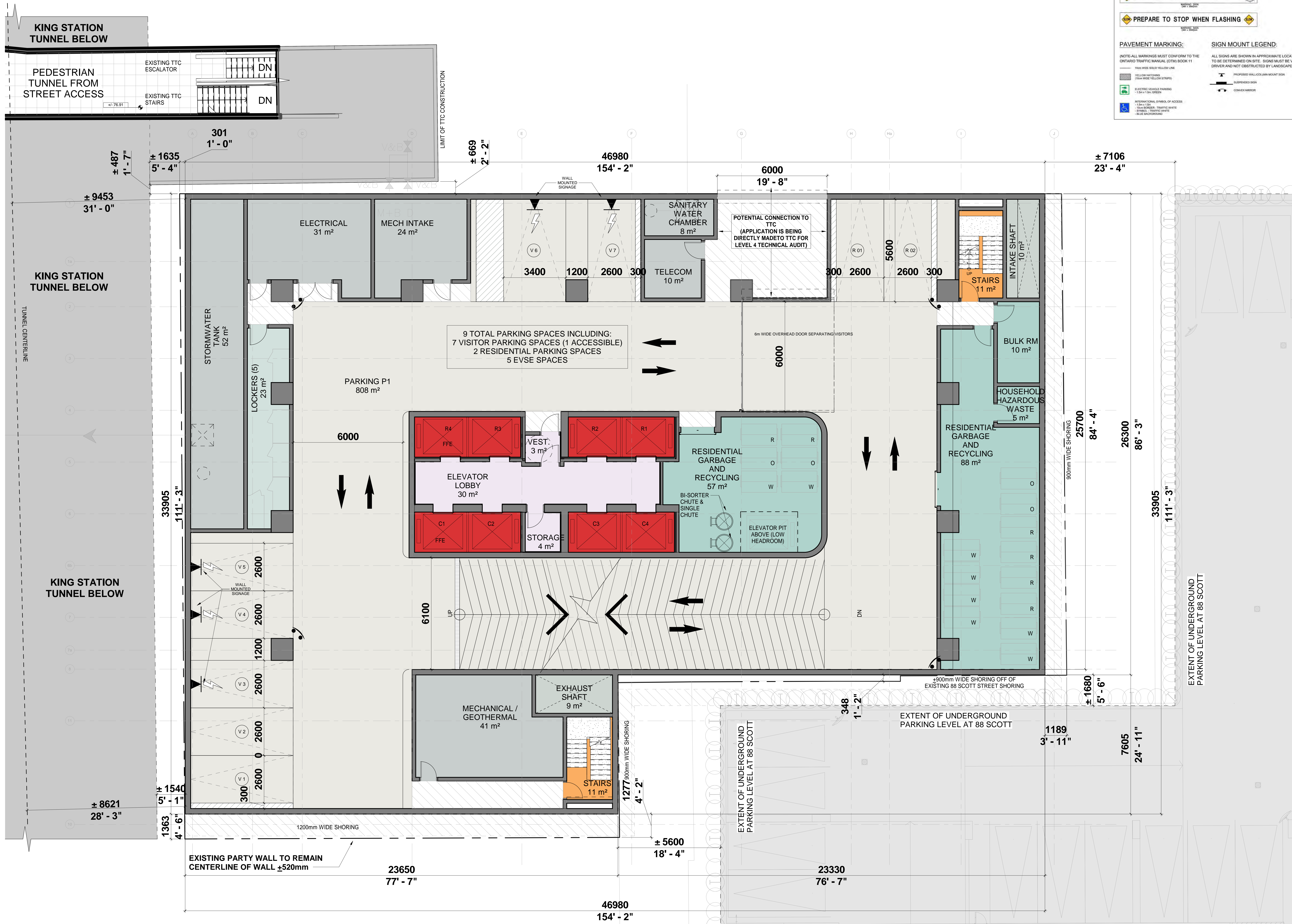
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18060 1:75 DG YA
PROJECT SCALE DRAWN REVIEWED

Parking P2

A152.S

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PARKING SIGNAGE LEGEND:

NOTE: ALL MARKINGS MUST CONFORM TO THE ONTARIO TRAFFIC MANUAL, 5TH EDITION, 11.

CAUTION: TRUCK MANOEUVRING AHEAD

PREPARE TO STOP WHEN FLASHING

PAVEMENT MARKING:

SIGN MOUNT LEGEND:

NOTE: ALL SIGNS ARE SHOWN IN APPROXIMATE LOCATIONS AND TO BE DETERMINED ON SITE. SIGNS MUST BE VISIBLE TO DRIVER AND NOT OBSTRUCTED BY LANDSCAPE.

PARKING NOTES:

- MINIMUM PARKING SPACE SIZES (UNLESS OTHERWISE NOTED):
 2800mm WIDE X 5600mm LONG (NO SIDE OBSTRUCTED)
 2800mm WIDE X 5600mm LONG (ONE SIDE OBSTRUCTED)
 3200mm WIDE X 5600mm LONG (TWO SIDES OBSTRUCTED) THROUGHOUT
- MAINTAIN MINIMUM DRIVE ASLE WIDTH OF 6000mm UNLESS OTHERWISE NOTED
- MAINTAIN MINIMUM HEADROOM CLEARANCE OF 2100mm THROUGHOUT

PARKING LEGEND:

C-COMMERCIAL PARKING
 R-RESIDENTIAL PARKING
 V-VISITOR PARKING
 E-EXISTING PARKING

VEHICULAR PARKING:

LEVEL	RESIDENTIAL	VISITOR/COMMERCIAL
P1	2	7
P2	28	0
P3	30	7
TOTAL	30	7

Visitor Parking Ratio = 0.014
 Total Parking Ratio = 0.012

Total number includes 3 accessible spaces
 Total number includes 10 spaces with EV charging stations (25%)
 *Parking spaces without EVSE to permit future EVSE installation

BICYCLE PARKING & LOCKERS LEGEND:

BICYCLE PARKING STATISTICS:

LEVEL	SHORT-TERM BICYCLE		LONG-TERM BICYCLE		RESIDENTIAL LOCKERS
	RESID.	OFFICE	RESID.	OFFICE	
L2	0	0	460	0	0
L1A	51	29	0	26	0
GROUND	0	0	0	0	0
P1	0	0	0	0	5
P2	0	0	0	0	16
P3	51	29	460	26	21
TOTAL	102	52	926	52	42

*Total vertical bicycle spaces = 22 (3.9% of total)

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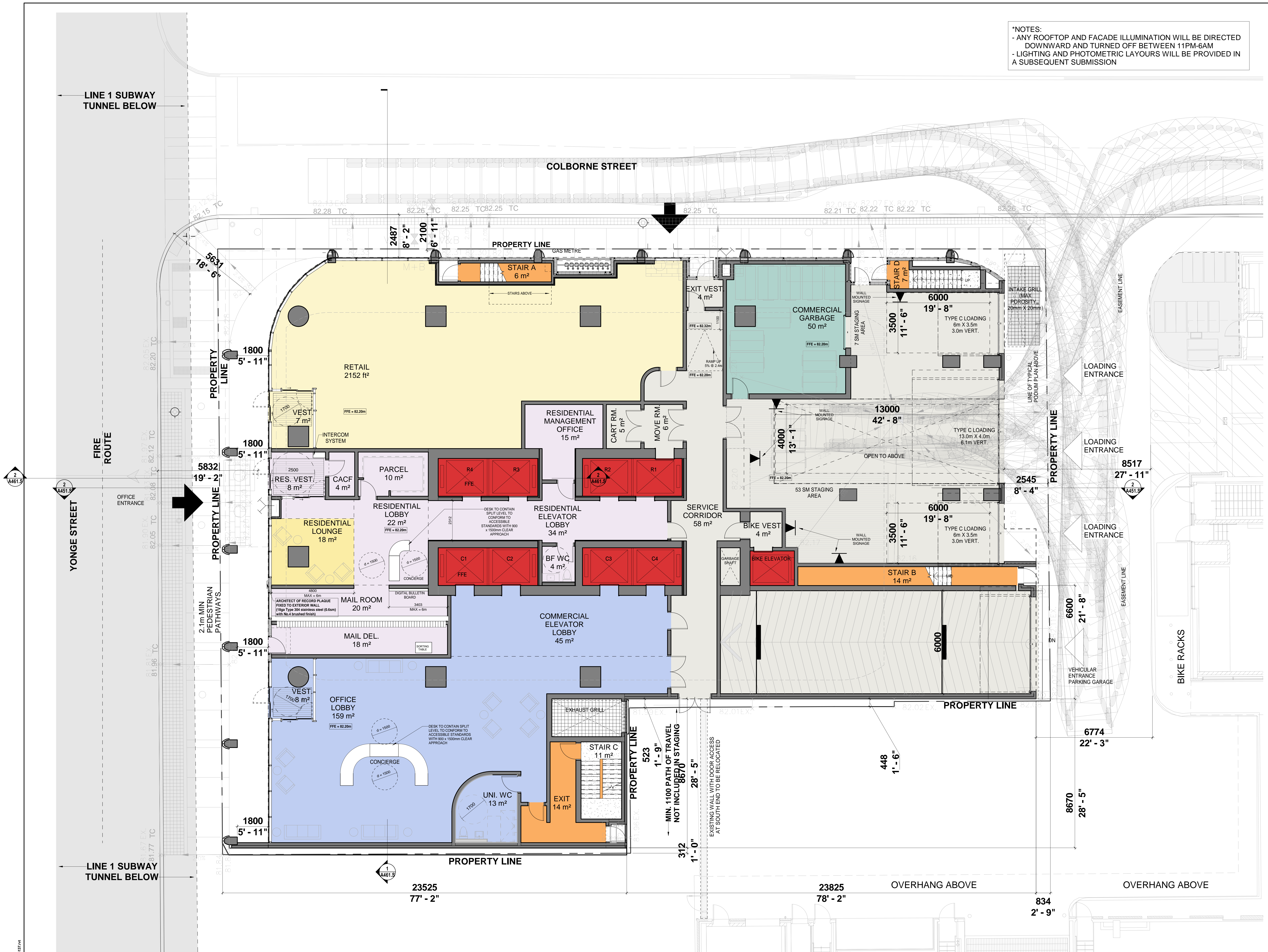
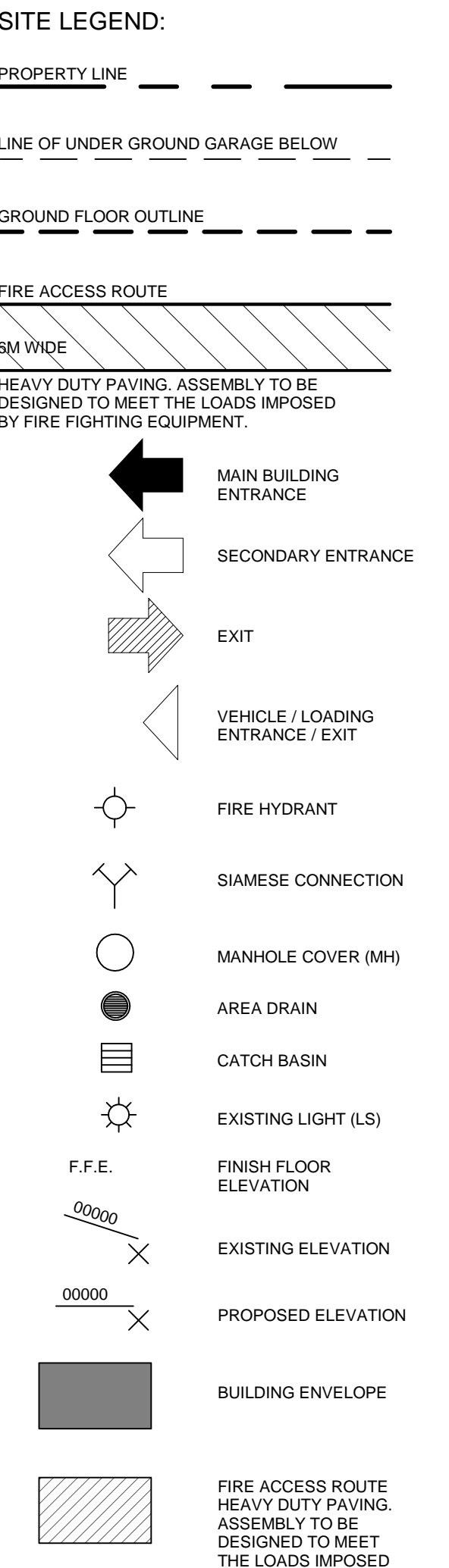
18060 1:75 DG YA
 PROJECT SCALE DRAWN REVIEWED

Parking P1

A153.S

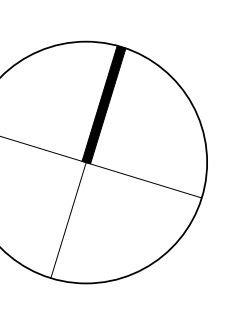
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*NOTES:
 - ANY ROOFTOP AND FACADE ILLUMINATION WILL BE DIRECTED DOWNWARD AND TURNED OFF BETWEEN 11PM-6AM
 - LIGHTING AND PHOTOMETRIC LAYOUTS WILL BE PROVIDED IN A SUBSEQUENT SUBMISSION



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2021-02-25		ISSUED FOR REZONING

REVISION RECORD



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 PROJECT SCALE DRAWN REVIEWED

Ground Floor

A201.S

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- LOADING NOTES:**
- TYPE G LOADING SPACE AND STAGING AREA TO HAVE AN UNENCUMBERED VERTICAL CLEARANCE OF 6.1 METERS.
 - TYPE G LOADING SPACE AND STAGING AREA TO BE LEVEL (+/- 2%) AND CONSTRUCTED OF 200MM REINFORCED CONCRETE. STAGING PAD CANNOT BE USED FOR THE MOVEMENT OF THIS TYPE G VEHICLE.
 - A TRAINED ON-SITE STAFF MEMBER TO BE AVAILABLE TO MANOEUVRE WASTE BINS FOR CITY COLLECTION AT THE LOADING AREA AND ALSO ACT AS A FLAGMAN WHEN TRUCK IS PARKING AND REVERSING. IN THE EVENT THAT ON-SITE STAFF IS UNAVAILABLE AT THE TIME OF CITY COLLECTION OR VEHICLES ARRIVE AT THE SITE, THE COLLECTION VEHICLE WILL LEAVE THE SITE AND NOT RETURN UNTIL THE NEXT SCHEDULED COLLECTION DAY.
 - OVERHEAD LOADING DOOR WILL BE AT LEAST 4 METERS WIDE AND 4.4 METERS HIGH AND HAVE A GRADE OF NO MORE THAN 8%.
 - ALL ACCESS DRIVEWAYS TO BE USED BY THE COLLECTION VEHICLE WILL BE LEVEL (+/- 8%).
 - PER CITY REQUIREMENT, PROPOSED DRIVEWAY TO BE DESIGNED AND CONSTRUCTED TO SUPPORT A FULLY LOADED COLLECTION VEHICLE (35,000 kg) PER DESIGN CODE: OBC, DESIGN LOAD, AND REQUIRED IMPACT FACTOR. RE PER TO STRUCTURAL.
 - WARNING SYSTEM WILL BE INSTALLED AT TRUCK TURNING AREA TO CAUTION MOTORISTS LEAVING THE PARKING GARAGE. WARNING SYSTEM WILL INCLUDE LIGHTS AND SOUNDS.

Without Prejudice

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RESIDENTIAL	
LONG TERM BICYCLE PARKING	= 0
SHORT TERM BICYCLE PARKING	= 51
OFFICE	
LONG TERM BICYCLE PARKING	= 26
SHORT TERM BICYCLE PARKING	= 29

PARKING NOTES:

- MINIMUM PARKING SPACE SIZES (UNLESS OTHERWISE NOTED):
 2000mm WIDE X 5000mm LONG (NO SIDES OBSTRUCTED)
 2000mm WIDE X 5000mm LONG (ONE SIDE OBSTRUCTED)
 3200mm WIDE X 5000mm LONG (TWO SIDES OBSTRUCTED)
- MAINTAIN MINIMUM DRIVE ASLE WIDTH OF 6000mm UNLESS OTHERWISE NOTED
- MAINTAIN MINIMUM HEADROOM CLEARANCE OF 2100mm THROUGHOUT

PARKING LEGEND:

- ⊙ PARKING SPACE
- C COMMERCIAL PARKING
- R RESIDENTIAL PARKING
- V VISITOR PARKING
- E EXISTING PARKING

ACCESSIBLE VISITOR:
 TYPE A
 TYPE B

VEHICULAR PARKING:

LEVEL	RESIDENTIAL	VISITOR/COMMERCIAL
P1	2	7
P2	28	0
TOTAL	30	7

Visitor Parking Ratio = 0.014
 Total Parking Ratio = 0.012

Total number includes 3 accessible spaces
 Total number includes 10 spaces with EV charging stations (25%)
 *Parking spaces without EVSE to permit future EVSE installation

BICYCLE PARKING & LOCKERS LEGEND:

BICYCLE PARKING STATISTICS:

LEVEL	SHORT-TERM BICYCLE		LONG-TERM BICYCLE		RESIDENTIAL LOCKERS
	RESID	OFFICE	RESID	OFFICE	
L2	0	0	460	0	0
L1A	51	29	0	26	0
GROUND	0	0	0	0	0
P1	0	0	0	0	5
P2	0	0	0	0	16
TOTAL	51	29	460	26	21
	80		486		
			566		

*Total vertical bicycle spaces = 22 (3.9% of total)

BICYCLE PARKING STATISTICS:

LEVEL	SHORT-TERM BICYCLE		LONG-TERM BICYCLE		RESIDENTIAL LOCKERS
	RESID	OFFICE	RESID	OFFICE	
L2	0	0	460	0	0
L1A	51	29	0	26	0
GROUND	0	0	0	0	0
P1	0	0	0	0	5
P2	0	0	0	0	16
TOTAL	51	29	460	26	21
	80		486		
			566		

*Total vertical bicycle spaces = 22 (3.9% of total)

REVISION RECORD

Date	No.	Description
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2021-02-25		ISSUED FOR REZONING

ISSUE RECORD

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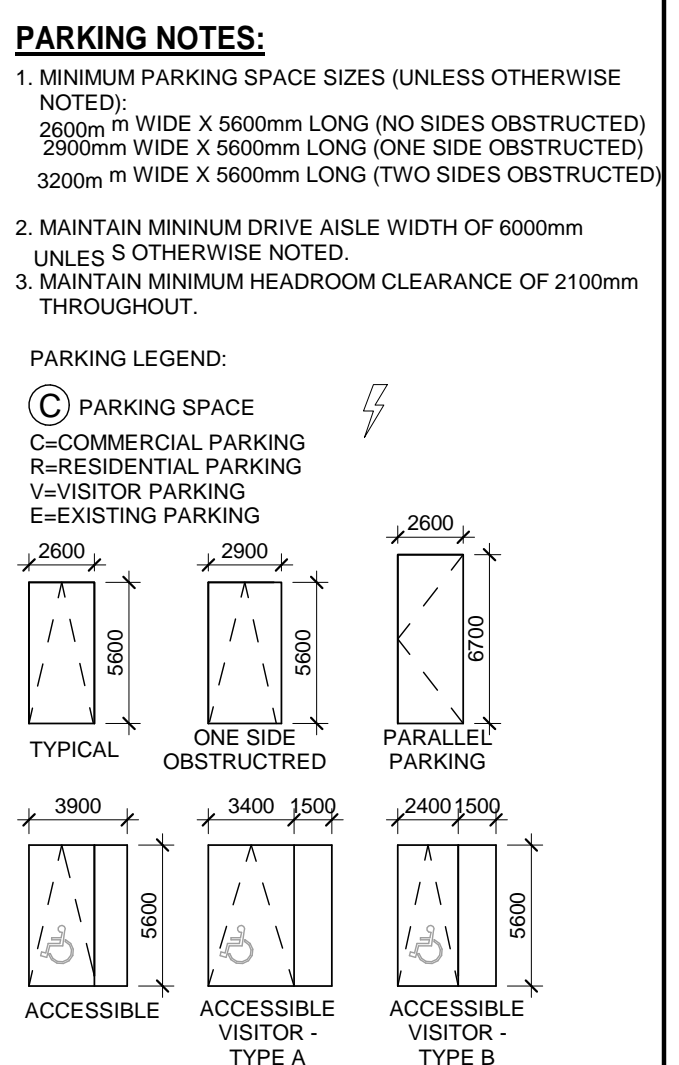
Floor 1A

A202.S

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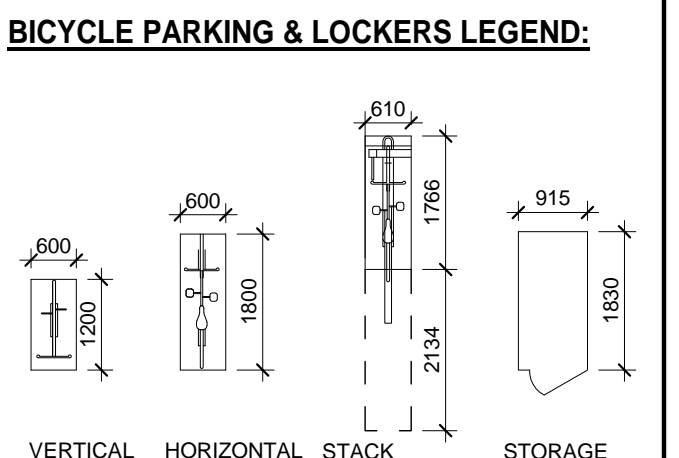
RESIDENTIAL	
LONG TERM BICYCLE PARKING	= 460
SHORT TERM BICYCLE PARKING	= 0
OFFICE	
LONG TERM BICYCLE PARKING	= 0
SHORT TERM BICYCLE PARKING	= 0



VEHICULAR PARKING:

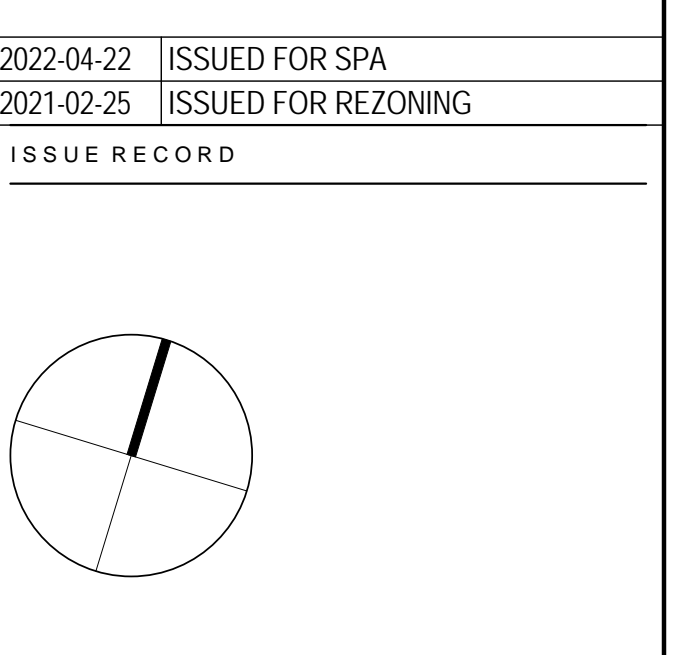
LEVEL	RESIDENTIAL	VISITOR/COMMERCIAL
P1	2	7
P2	28	0
TOTAL	30	7
	Visitor Parking Ratio = 0.014 Total Parking Ratio = 0.012	

Total number includes 3 accessible spaces
 Total number includes 10 spaces with EV charging stations (25%)
 *Parking spaces without EVSE to permit future EVSE installation



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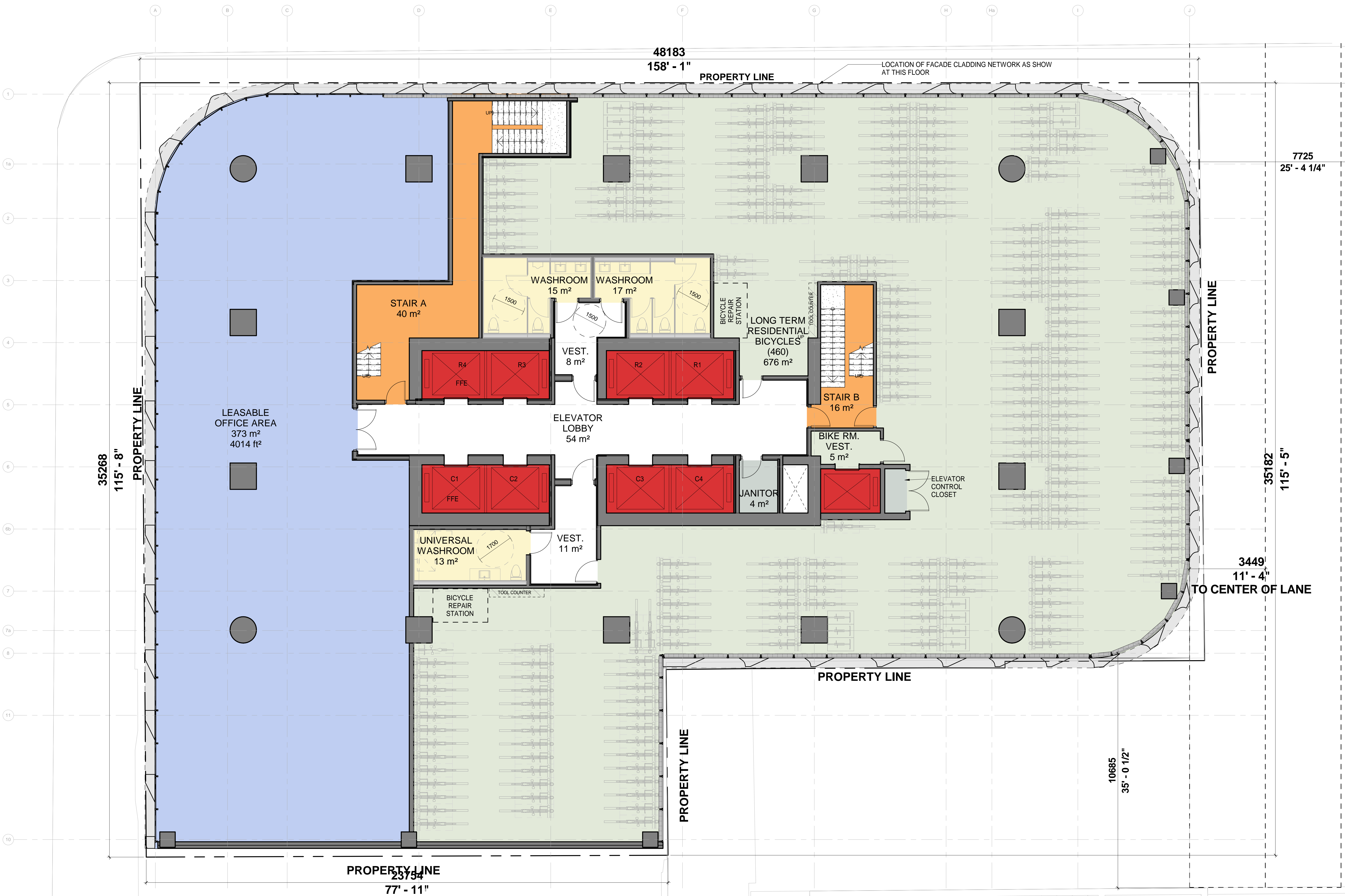
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18060 1:75 PROJECT SCALE
 DG YA DRAWN REVIEWED

Floor 2
A203.S

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ONE STOREY
 E STOREY

ING LANE

AIR WELL / COOLING TOWER

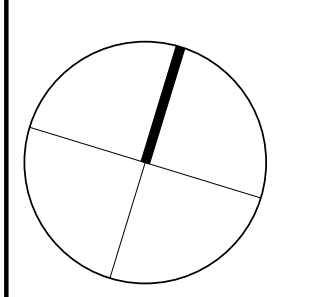
Without Prejudice



ONE STOREY

Date	No.	Description
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ISSUE RECORD



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18060 1:75 DG YA
PROJECT SCALE DRAWN REVIEWED

Floors 3-13 (Typical Podium Plan)

A204.S

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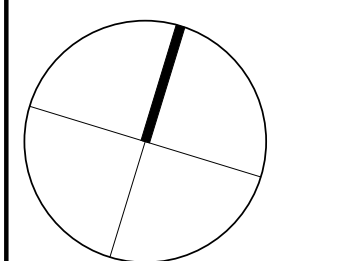
Date	No.	Description
2022-04-22		ISSUED FOR SPA
2021-02-25		ISSUED FOR REZONING

REVISION RECORD

ISSUE RECORD

Date	No.	Description
2022-04-22		ISSUED FOR SPA
2021-02-25		ISSUED FOR REZONING

ISSUE RECORD



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901 King Street West, Suite 701 Toronto, ON M5V 3H5
416-598-1240 www.bdpquadrangle.com

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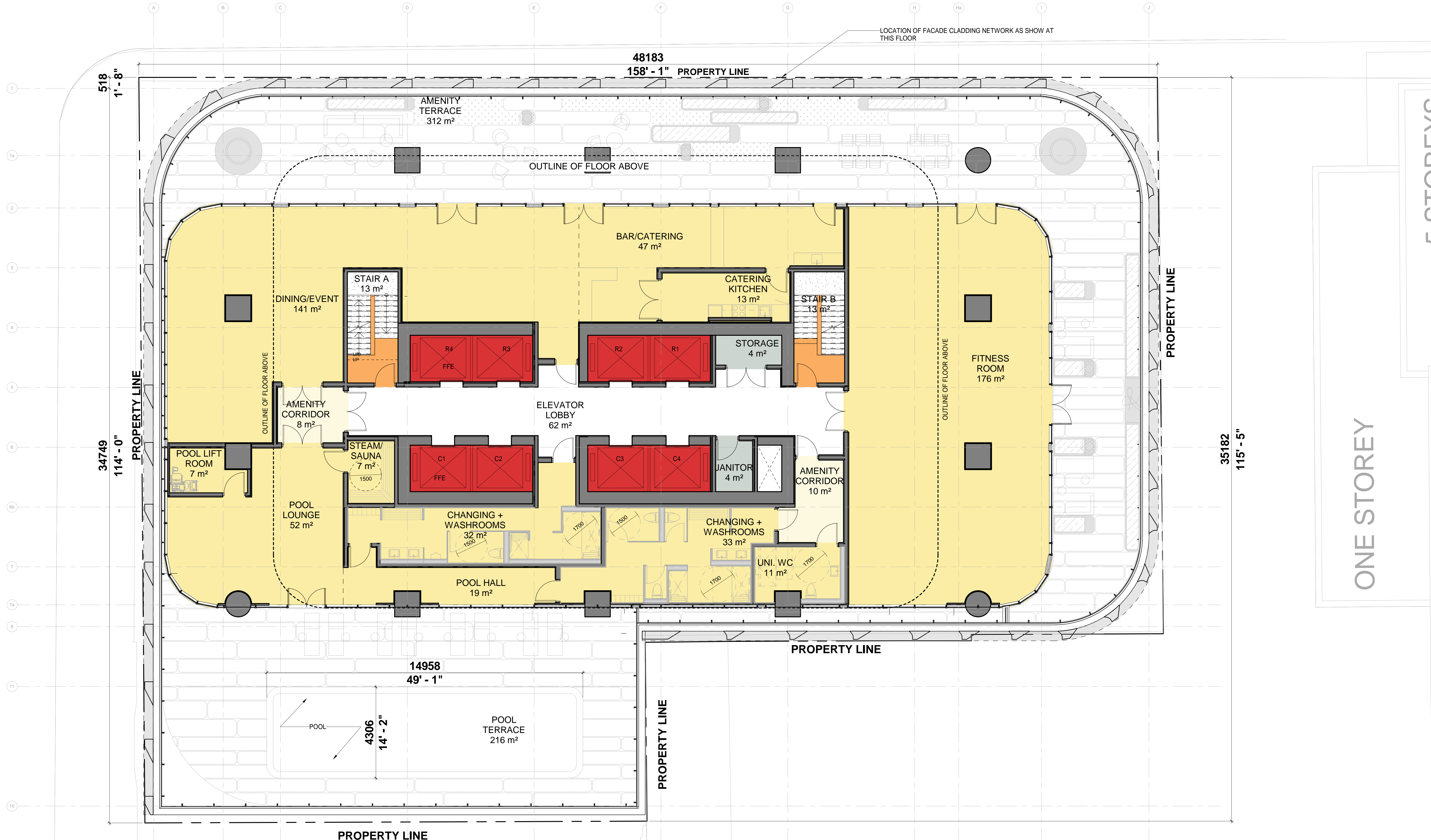
Toronto, ON
for
H&R REIT

18060 1:75 DG YA
PROJECT SCALE DRAWN REVIEWED

Floor 14

A205.S

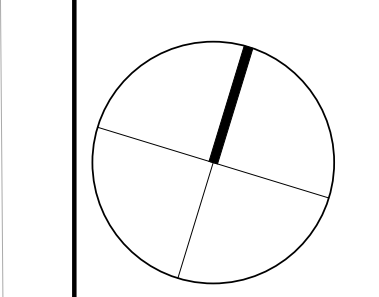
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FLOOR 15 OUTDOOR AMENITY = 521 sqm
 FLOOR 15 INDOOR AMENITY = 555 sqm

Date	No.	Description
2022-04-22		ISSUED FOR SPA
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 901 King Street West, Suite 701 Toronto, ON M5V 3H5
 +1 (416) 598-1240 www.bdpquadrangle.com

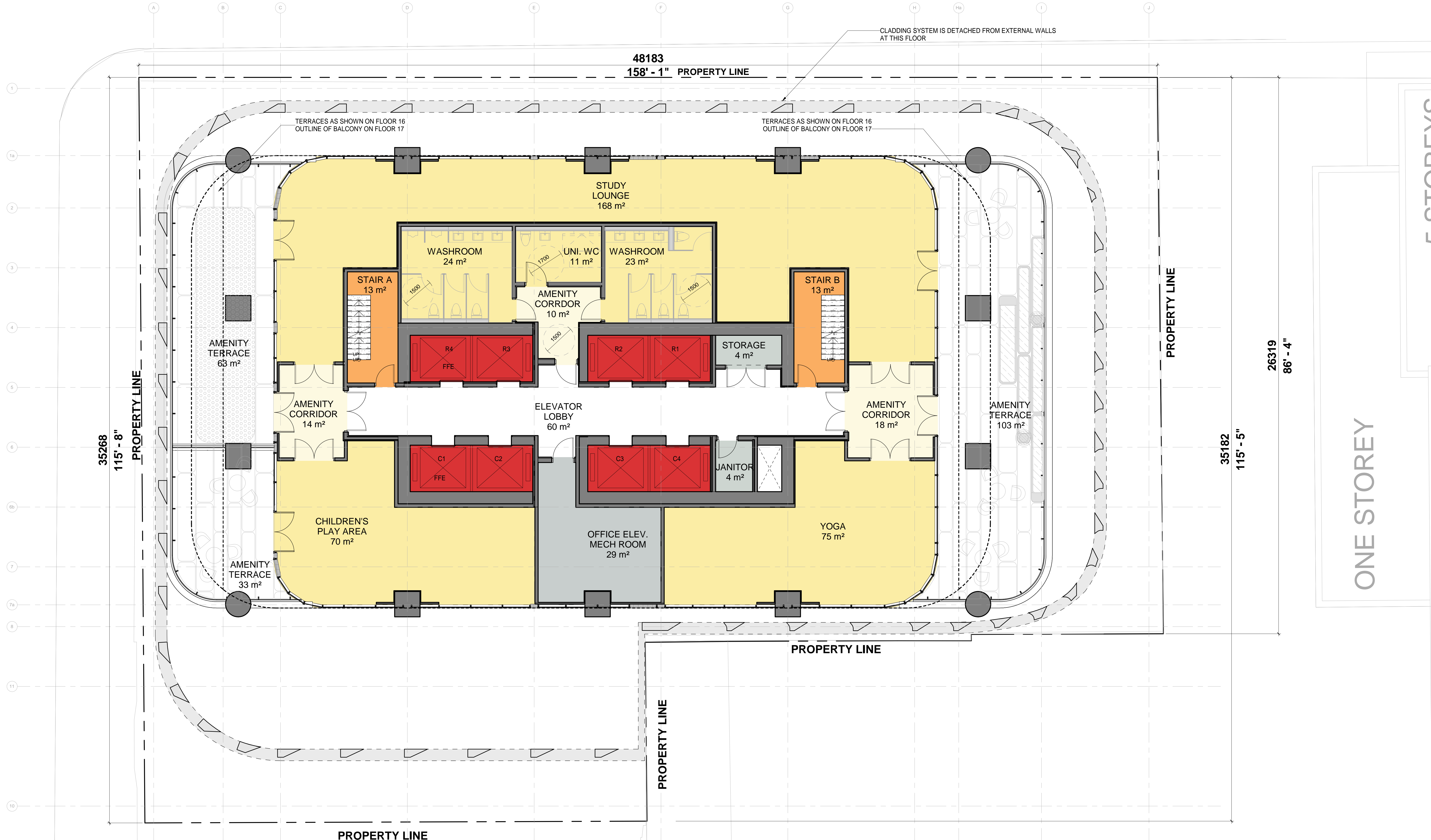
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 Toronto, ON
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 H&R REIT

18060 1:75 DG YA
 PROJECT SCALE DRAWN REVIEWED

Floor 15 (Amenity)

A206.S

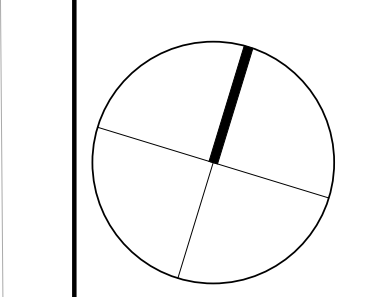
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FLOOR 16 OUTDOOR AMENITY = 199 sqm
 FLOOR 16 INDOOR AMENITY = 403 sqm

Date	No.	Description
2022-04-22		ISSUED FOR SPA
2021-02-25		ISSUED FOR REZONING

REVISION RECORD



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Quadrangle Architects Limited
 901 King Street West, Suite 701 Toronto, ON M5V 3H5
 +1 (416) 598-1240 www.bdpquadrangle.com

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PROJECT SCALE DRAWN REVIEWED

Floor 16 (Amenity)

A207.S

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