

GENERAL NOTES

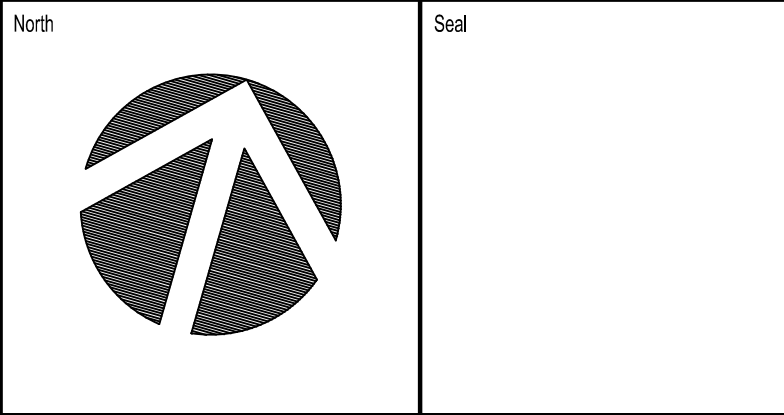
NO	DATE	REMARKS
REVISIONS		
CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR SAME BEFORE BEGINNING ANY DISCREPANCIES TO THE ARCHITECT BEFORE COMMENCING THE WORK.		
PRINTS ARE NOT TO BE SCALED.		

RICHMOND | Architects Ltd.
 55 EGLINTON AVENUE EAST T: 416 961 1567
 SUITE B02 RICHMONDARCH.COM
 TORONTO, ONTARIO M4P 1G8

JOB TITLE:
RESIDENTIAL TOWER PROPOSAL
 5-15 RAGLAN AVENUE, TORONTO, ON

THE GOLDMAN GROUP 1500 KENNEDY AVENUE, SUITE 300, TORONTO, ONTARIO M3J 1K7
 LASH GROUP OF COMPANIES 10 WOODMERE AVENUE, SUITE 200, TORONTO, ONTARIO M4W 3G7

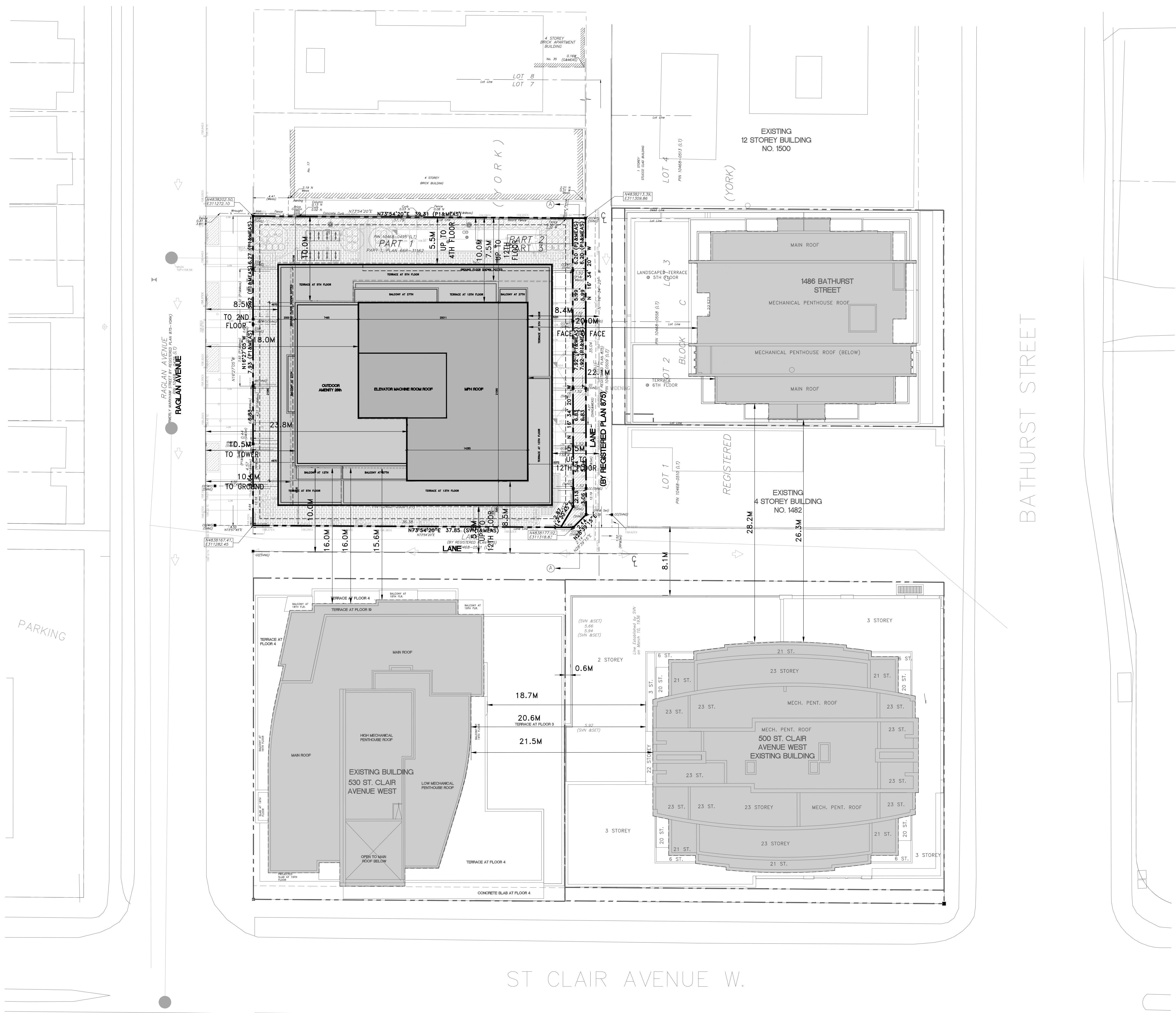
Sheet Title: **CONTEXT PLAN**



Date Plotted: 23 DEC 2022 Date: 23 DEC 2022
 Drawn By: Scale: 1:300

Checked By: Revision Number:

JOB NO: **P2019-010** Sheet No: **SPA 100**



PROJECT STATISTICS

SITE DATA:	
ZONING CATEGORY:	
LOT AREA PRIOR TO CONVEYANCE OF LAND:	±1,438.3 m ²
LOT AREA AFTER CONVEYANCE OF LAND:	±1,382.1 m ²
COVERED AREA:	921.2 m ²
PAVED AREA:	— m ²
LANDSCAPED AREA:	— m ²
HEIGHT:	00.19.03 + MECH. P. H.

PROPOSED GFA (BY LAW 569.2013):	
COMMERCIAL:	16 m ²
RESIDENTIAL:	15,391.2 m ²
TOTAL:	15,407.2 m²

SELLABLE AREA:	13,372.3 m ²
FSI:	10.71*

SUITES BREAKDOWN:				
	1 BR / 1 BR-GEN	2 BR / 2 BR-GEN	3 BR / 3 BR-GEN	TOTAL
GROUND / INTERMEDIATE FL.	-	-	2	-
24TH FL.	7 x 3 = 21	3 x 3 = 9	-	30
25TH FL.	6	2	-	8
6-12TH FL.	7 x 7 = 49	1 x 7 = 7	-	56
13TH FL.	3 x 1 = 3	1 x 1 = 1	-	4
14-27TH FL.	4 x 14 = 56	2 x 14 = 28	-	84
28TH FL.	-	-	1	1
TOTAL:	135 (64.3%)	47 (22.4%)	2 (0.9%)	210

BARRIER-FREE SUITES (BFC 3.8.2.1.4)				
15%	1 BR / 1 BR-GEN	2 BR / 2 BR-GEN	3 BR	TOTAL
REQUIRED:	1	1	1	3
PROVIDED:	1	1	1	3

AMENITY AREA REQUIRED:		AMENITY AREA PROVIDED:	
INTERIOR SPACE:	210 x 2 m = 420 m ²	INTERIOR SPACE:	459 m ²
EXTERIOR SPACE:	210 x 2 m = 420 m ²	EXTERIOR SPACE:	511 m ²
TOTAL:	840 m²	TOTAL:	970 m²

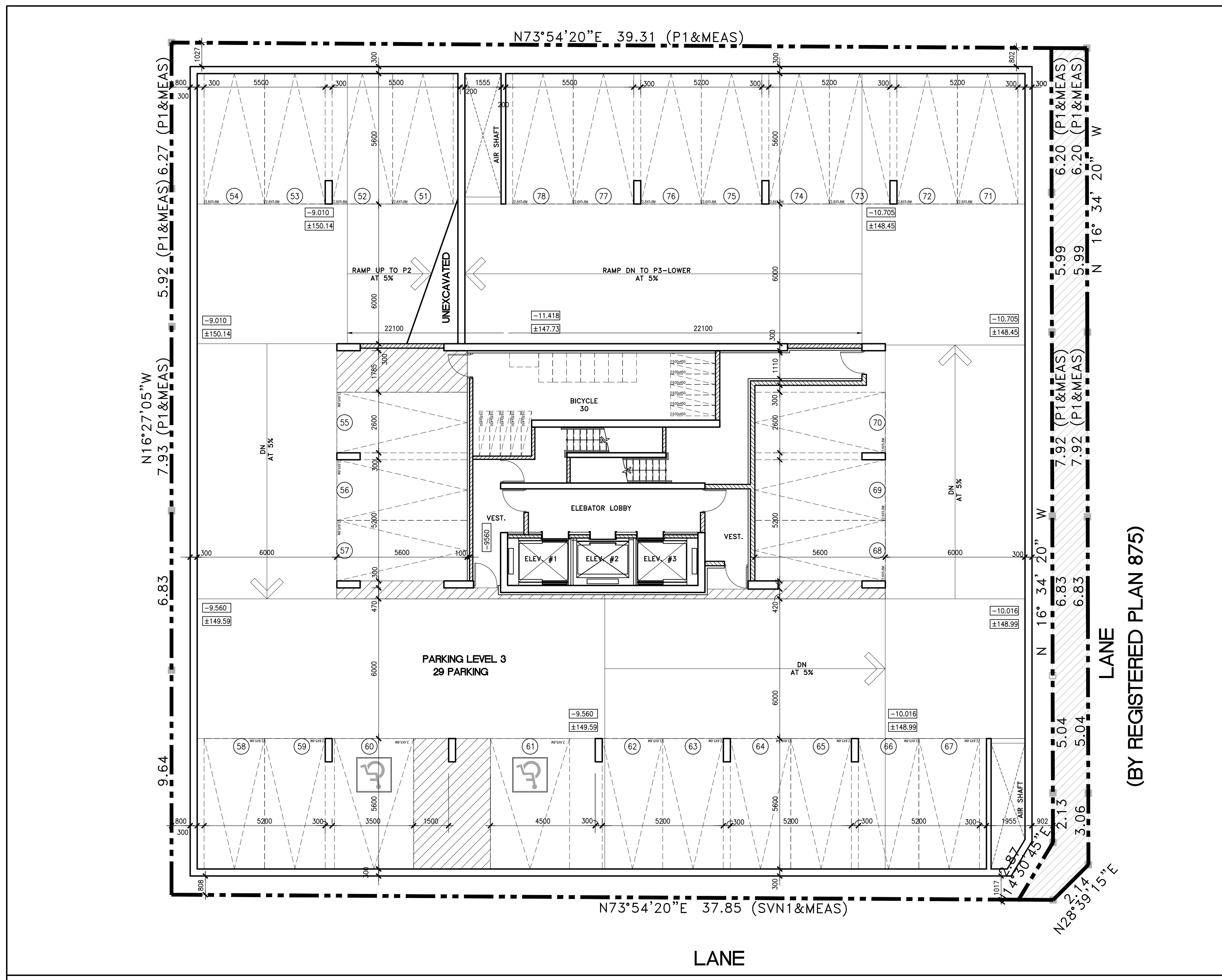
PROPOSED PARKING BREAKDOWN:			
PARKING LEVEL:	TENANT	VEHICLE	CAR SHARE
PARKING LEVEL 1:	9	12	17
PARKING LEVEL 2:	28	-	-
PARKING LEVEL 3:	29	-	-
TOTAL:	66	12	17

(T) TENANT (V) VEHICLE
 * NON-RESIDENT PARKING (12 spaces including 1 accessible space and 100% disabled access)
 + PARKING SPACES EXCLUDED FOR MECHANICAL AND ELECTRICAL REQUIREMENTS
 ** IF THE NUMBER OF REQUIRED PARKING SPACES IS LESS THAN THE NUMBER OF AVAILABLE SPACES FOR SUCH SPACES, THE NUMBER OF REQUIRED SPACES SHALL BE USED TO DETERMINE THE NUMBER OF AVAILABLE SPACES FOR SUCH SPACES.
 *** TOTAL REQUIRED ACCESSIBLE PARKING: 12
 **** ALL REMAINING SPACES INSIDE THE PARKING GARAGE MUST BE DESIGNED TO PERMIT FUTURE GIVE INSTALLATION.

BIKE PARKING REQUIRED:		BIKE PARKING PROVIDED:	
LONG TERM	SHORT TERM	LONG TERM	SHORT TERM
192	192	220	220
		4TH FL.	21
		3RD FL.	21
		2ND FL.	21
		OPPOSITE FL.	21
		PARKING LEVEL 1	21
		PARKING LEVEL 2	21
		PARKING LEVEL 3	21
		SURFACE	18
		TOTAL:	231

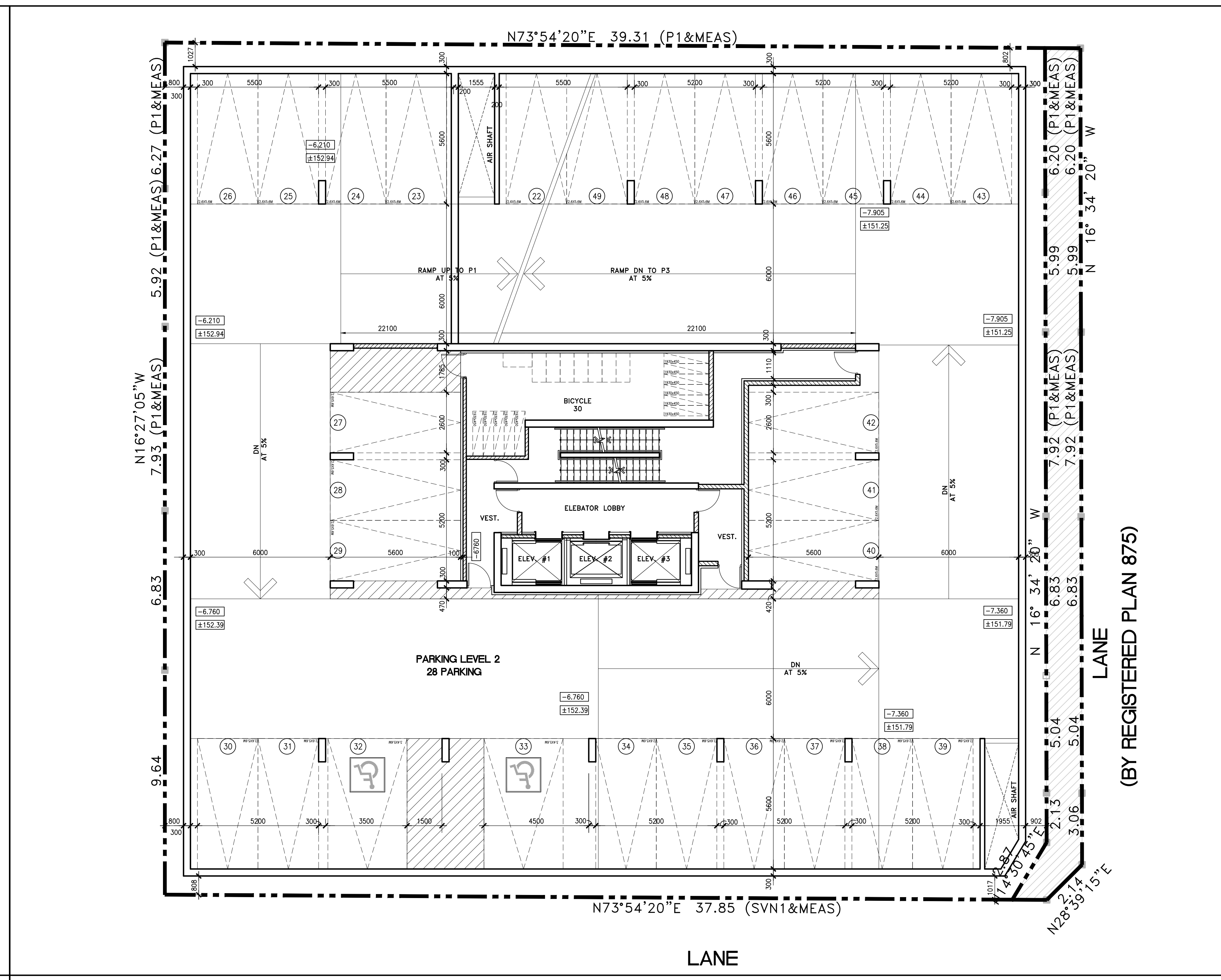
GENERAL NOTES

NO.	DATE	REMARKS
REVISIONS		
CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR OBTAINING ANY DISCREPANCIES TO THE ARCHITECT BEFORE COMMENCING THE WORK.		
PRINTS ARE NOT TO BE SCALED.		
RICHMOND Architects Ltd.		
55 EGLINTON AVENUE EAST SUITE 802 TORONTO, ONTARIO M4P 1G8		T: 416 961 1567 RICHMONDARCH.COM
JOB No: RESIDENTIAL TOWER PROPOSAL 5-15 RAIGLAN AVENUE, TORONTO, ON.		
THE DYNAMIC GROUP 55 ST. CLAIR AVENUE WEST, SUITE 301 TORONTO, ONTARIO M5S 1S2		
LASH GROUP OF COMPANIES 10 KOSKOV PRESENT, SUITE 300 TORONTO, ONTARIO M5S 1S2		
SITE PLAN+STATISTICS		
North		
Date Printed: 23 DEC 2022	Date: 23 DEC 2022	
Drawn By:	Scale: 1:200	
Checked By:	Revised Number:	
Job No: P2019-010	Sheet No: SPA 101	



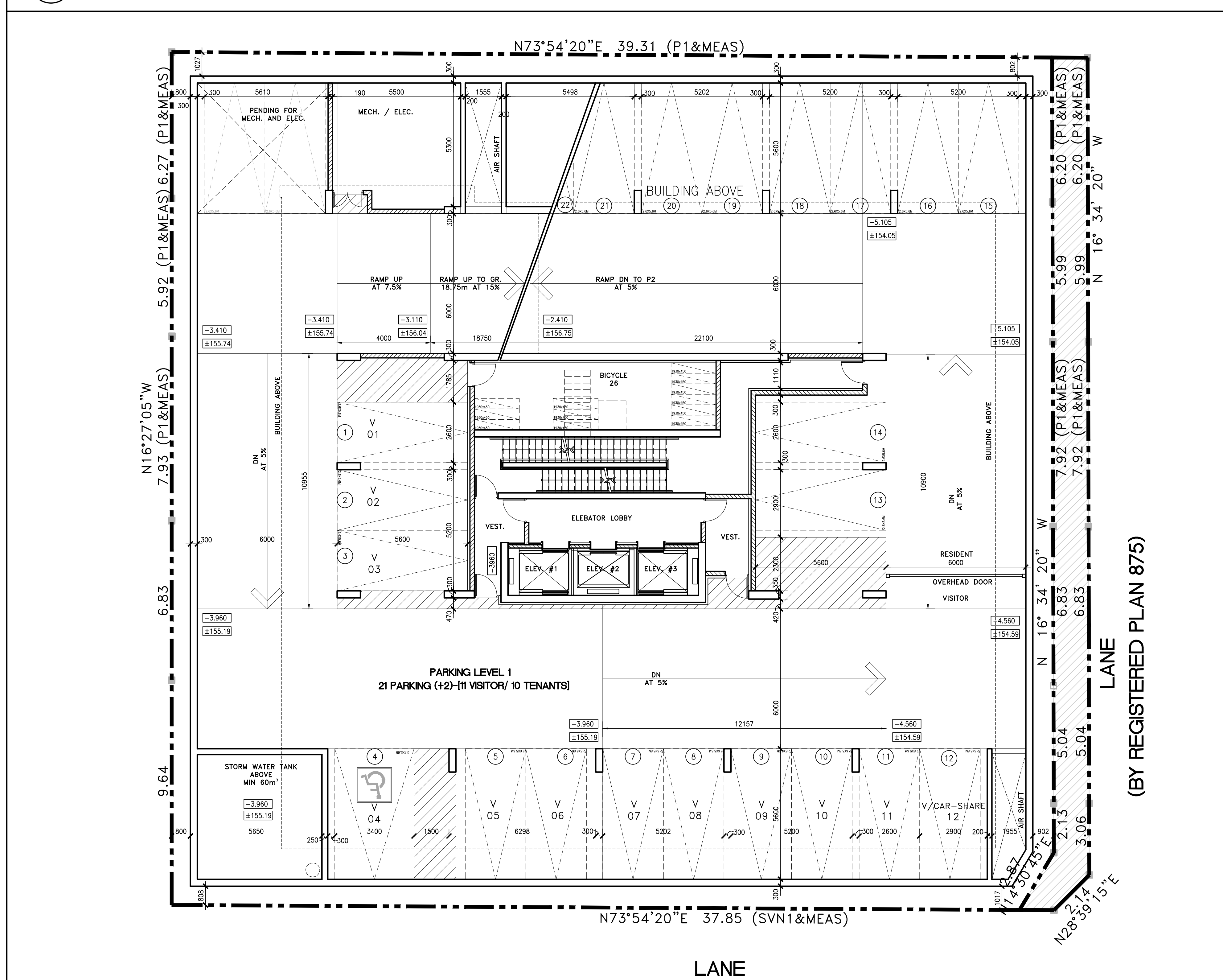
(BY REGISTERED PLAN 875)

1 PARKING LEVEL 3
SPA20



(BY REGISTERED PLAN 875)

2 PARKING LEVEL 2
SPA20



(BY REGISTERED PLAN 875)

3 PARKING LEVEL 1
SPA20

GENERAL NOTES

NO DATE REMARKS

REVISIONS

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RICHMOND | Architects Ltd.

55 EGLINTON AVENUE EAST TORONTO, ONTARIO M4P 1G8

T 416 961 1567 RICHMONDARCH.COM

RESIDENTIAL TOWER PROPOSAL

5-15 RAGLAN AVENUE, TORONTO, ON

THE GOLDMAN GROUP 55 ST. CLAIR AVENUE WEST, SUITE 540, TORONTO, ONTARIO M4V 0Y7

LASH GROUP OF COMPANIES 10 WOODMERE CRESCENT, SUITE 303, TORONTO, ONTARIO M4S 3G3

Sheet No: **PARKING L3, L2 AND L1**

North

Date Plotted: 23 DEC 2022

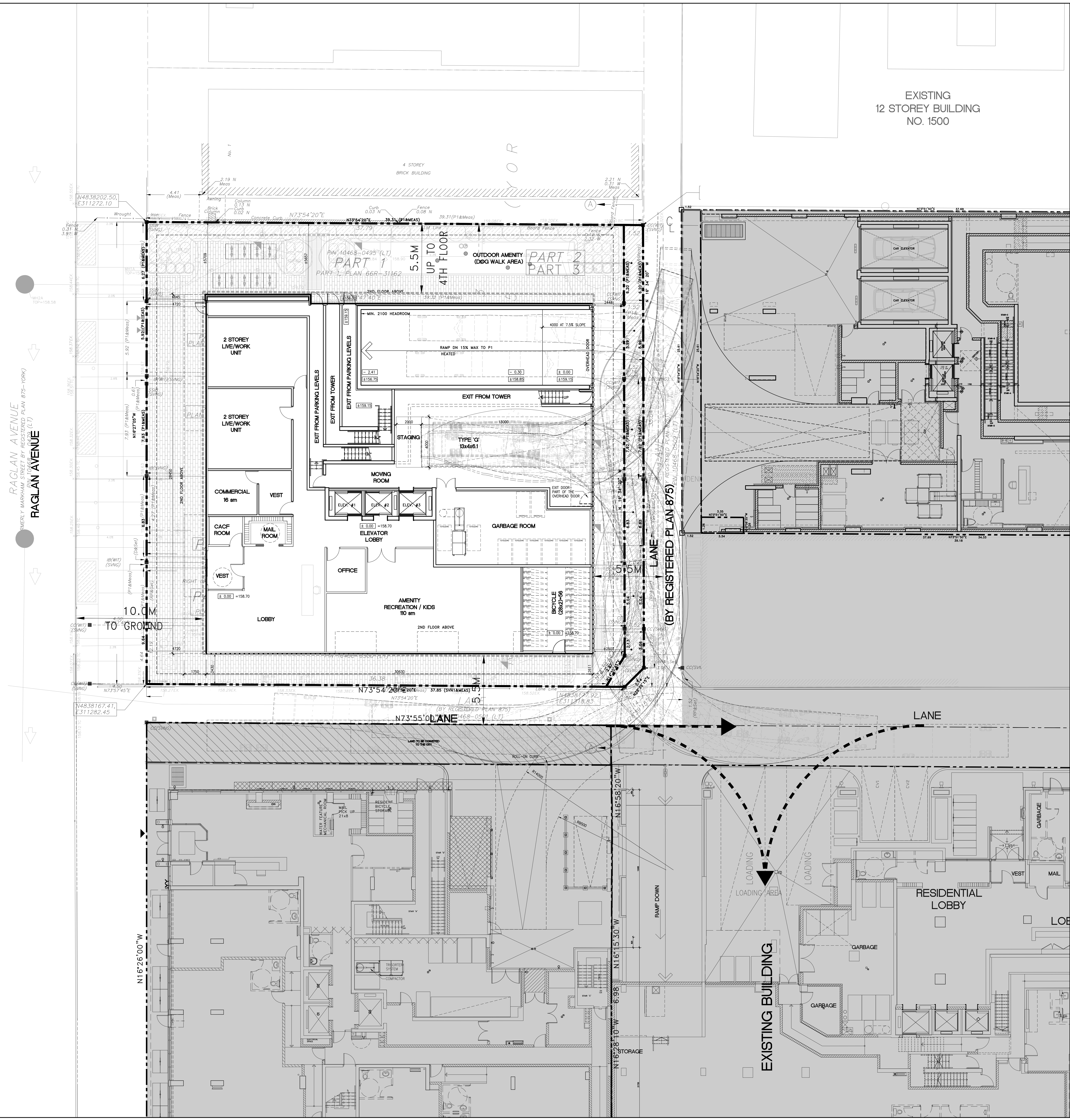
Drawn By:

Checked By:

Job No: **P2019-010**

Sheet No: **SPA 201**

EXISTING
12 STOREY BUILDING
NO. 1500



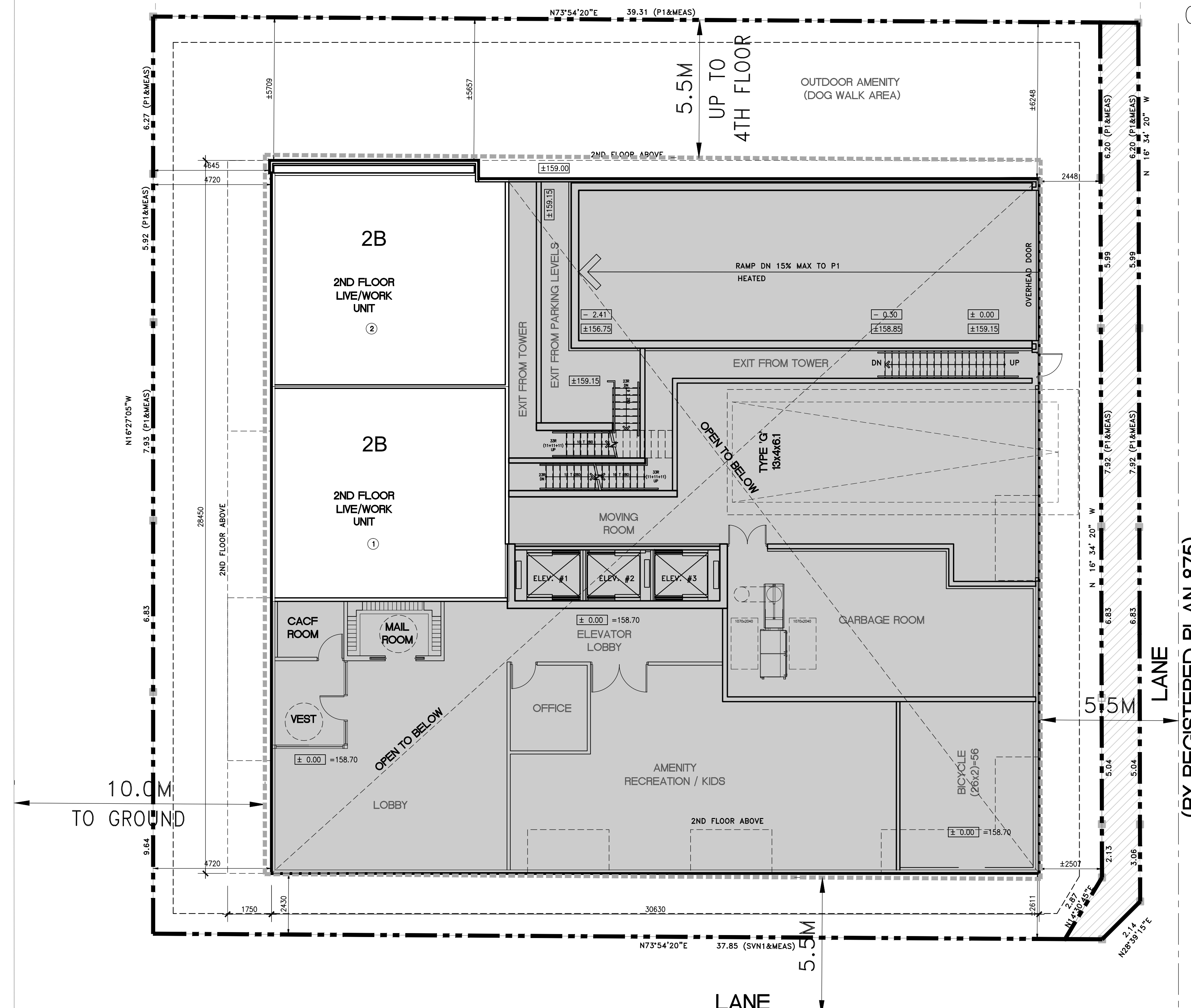
RAGLAN AVENUE
MERYL MARKHAM STREET BY REGISTERED PLAN 875-YORK
RAGLAN AVENUE (L.T.)

LANE
(BY REGISTERED PLAN 875)
MERYL MARKHAM STREET BY REGISTERED PLAN 875-YORK

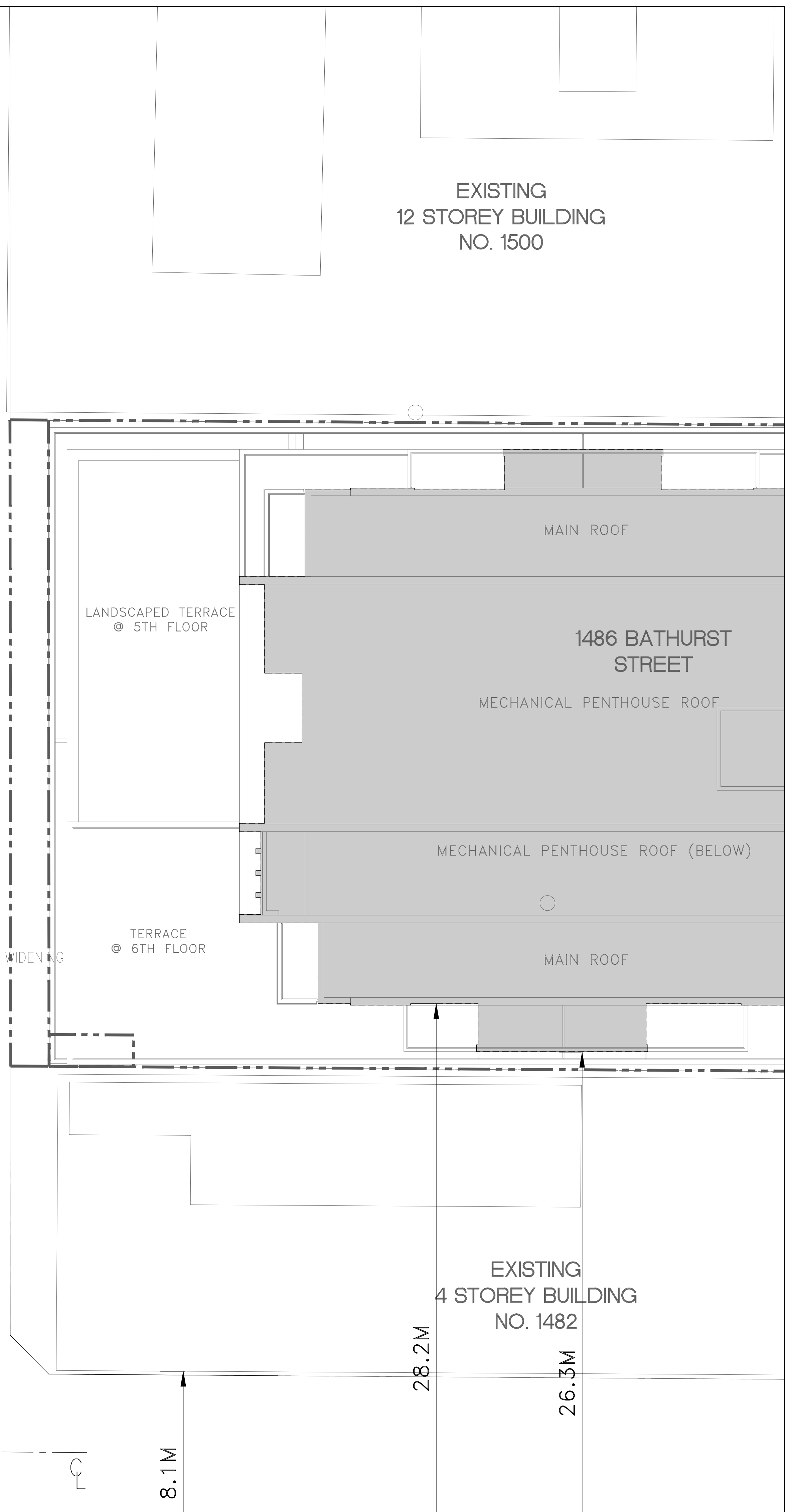
PARKING

NO	DATE	REMARKS
REVISIONS		
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RICHMOND Architects Ltd.		
55 EGLINTON AVENUE EAST SUITE 802 TORONTO, ONTARIO M4P 1G8		t 416 961 1567 RICHMONDARCH.COM
JOB TITLE: RESIDENTIAL TOWER PROPOSAL 5-15 RAGLAN AVENUE, TORONTO, ON		
THE DRAFTER GROUP 55 ST. CLAIR AVENUE WEST, SUITE 500, TORONTO, ONTARIO M4V 1V7		LEAD GROUP OF COMPANIES 10 WOODMANS CRESSENT, SUITE 300, TORONTO, ONTARIO M4W 3G0
Sheet Title: GROUND FLOOR		
North		Scale
Date Plotted: 23 DEC 2022		Date: 23 DEC 2022
Drawn By:		Scale: 1:100
Checked By:		Revision Number:
JOB No: P2019-010		Sheet No: SPA 301

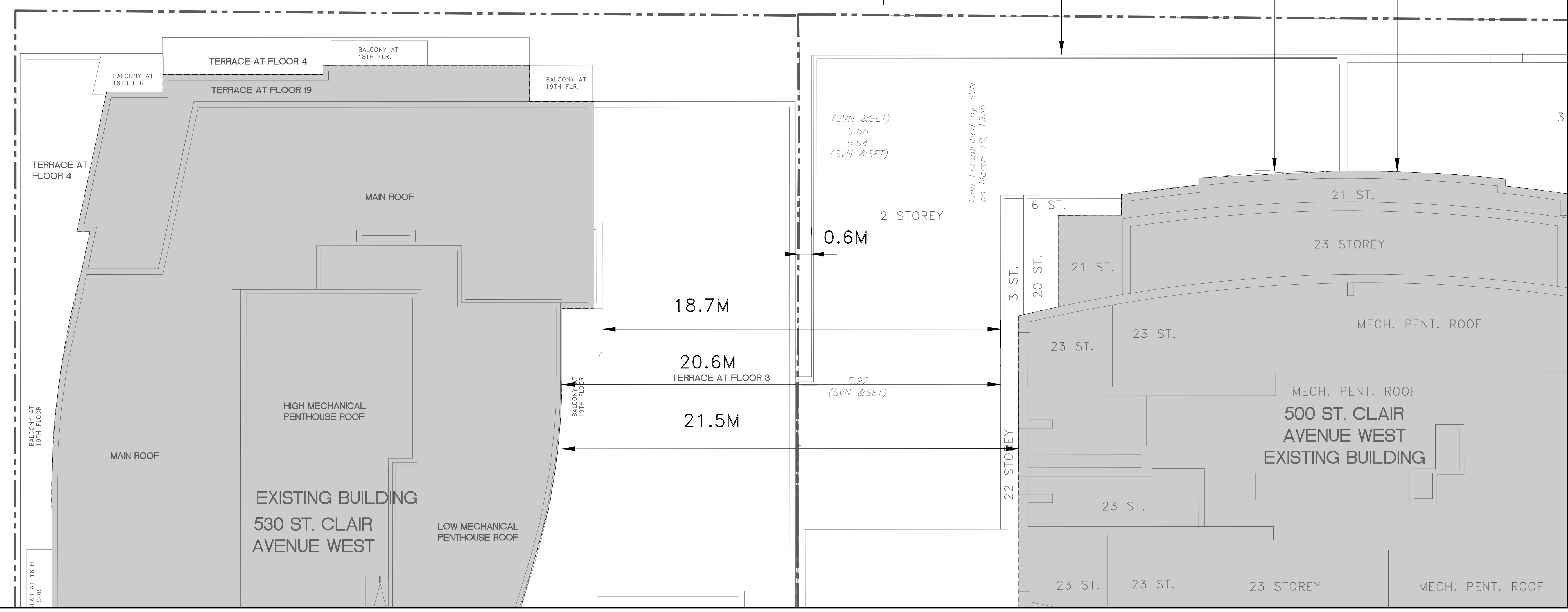
RAGLAN AVENUE



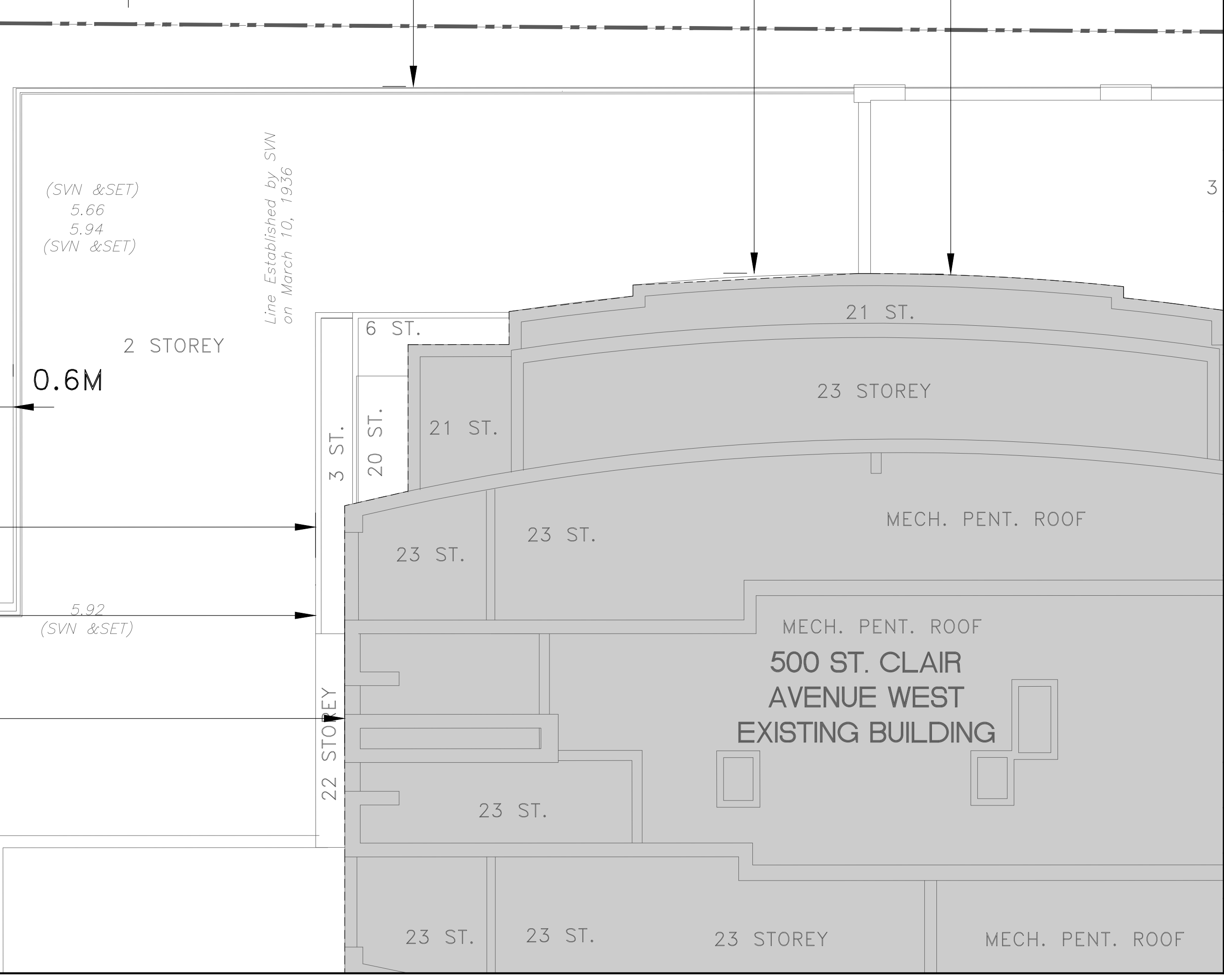
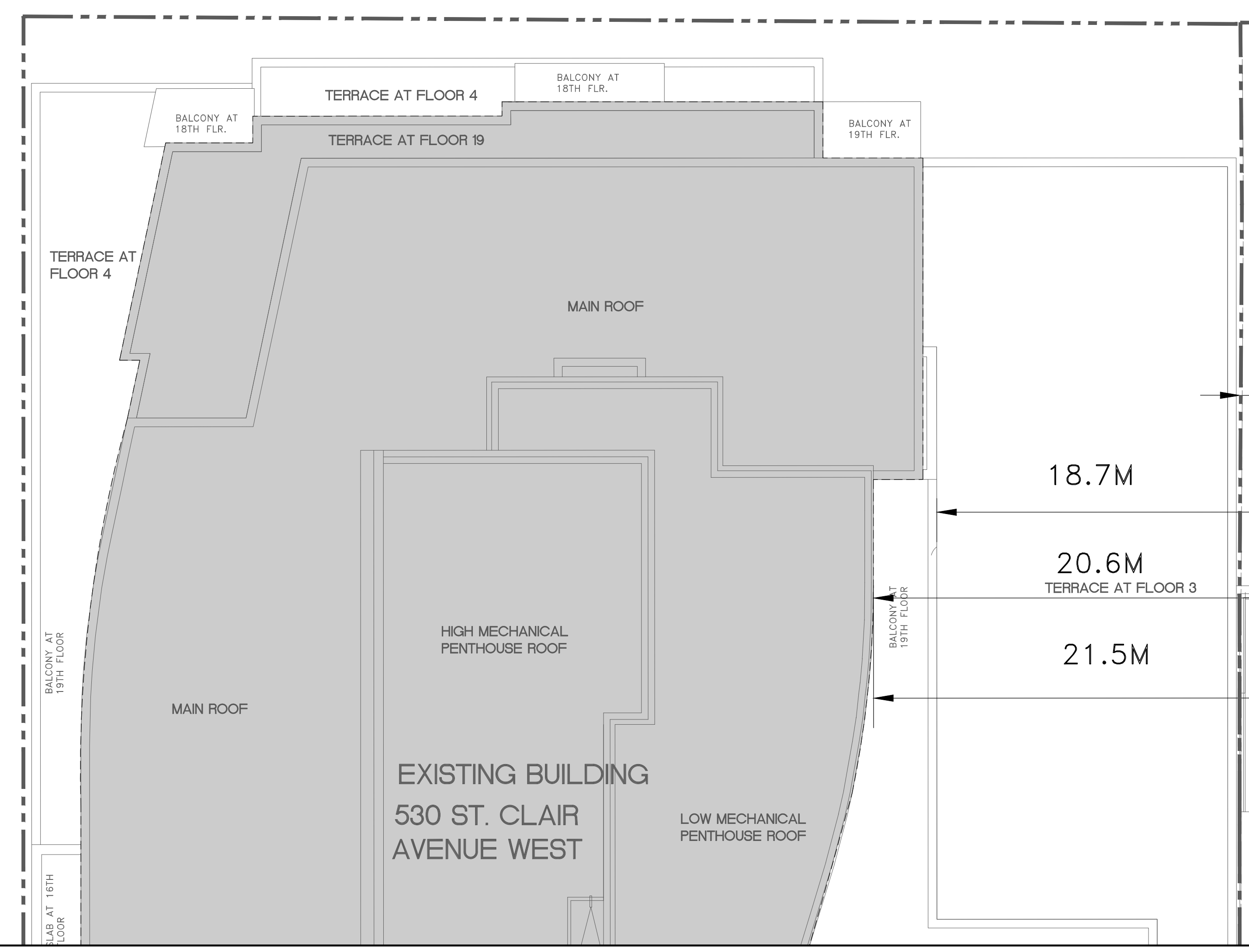
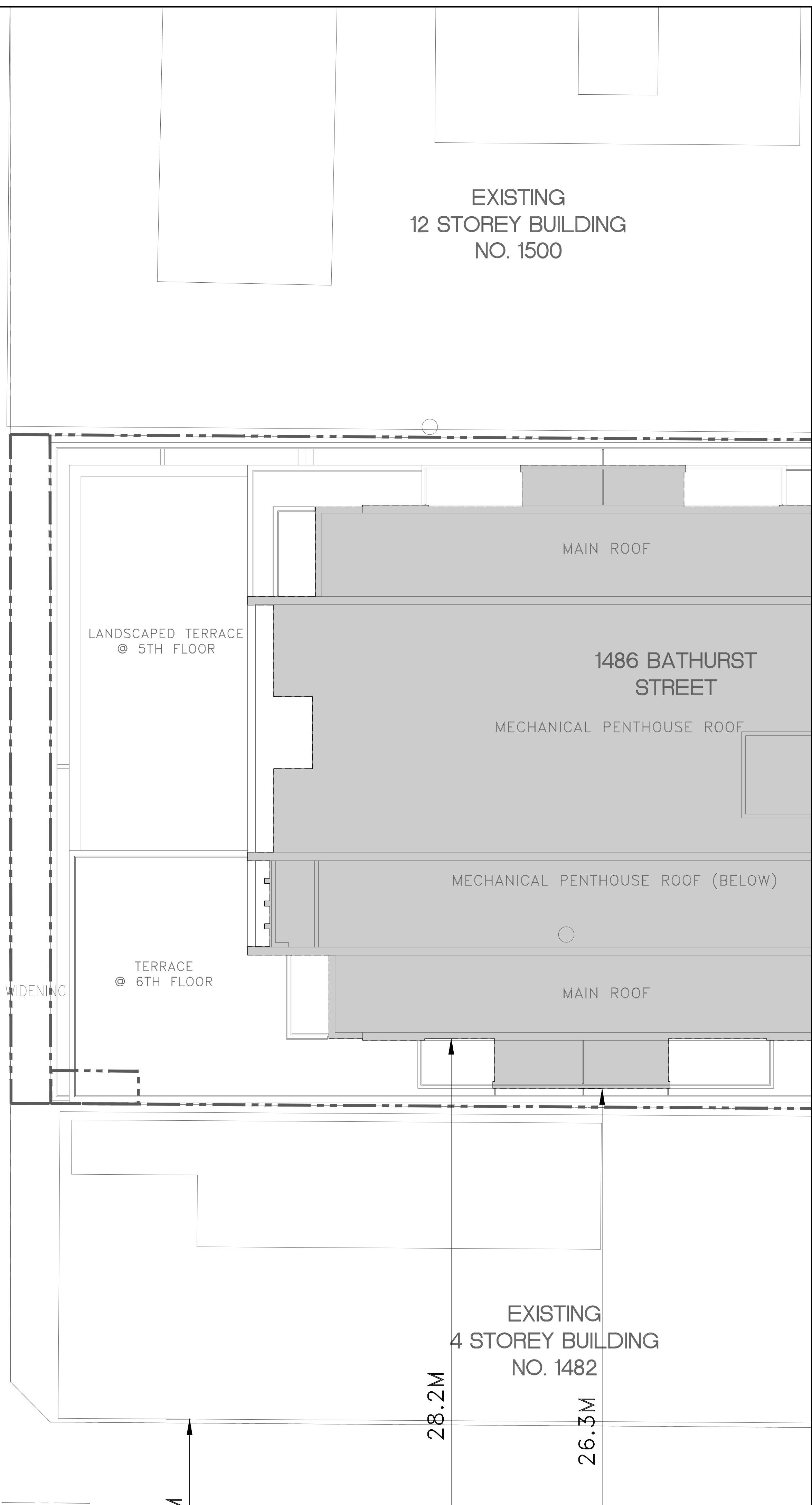
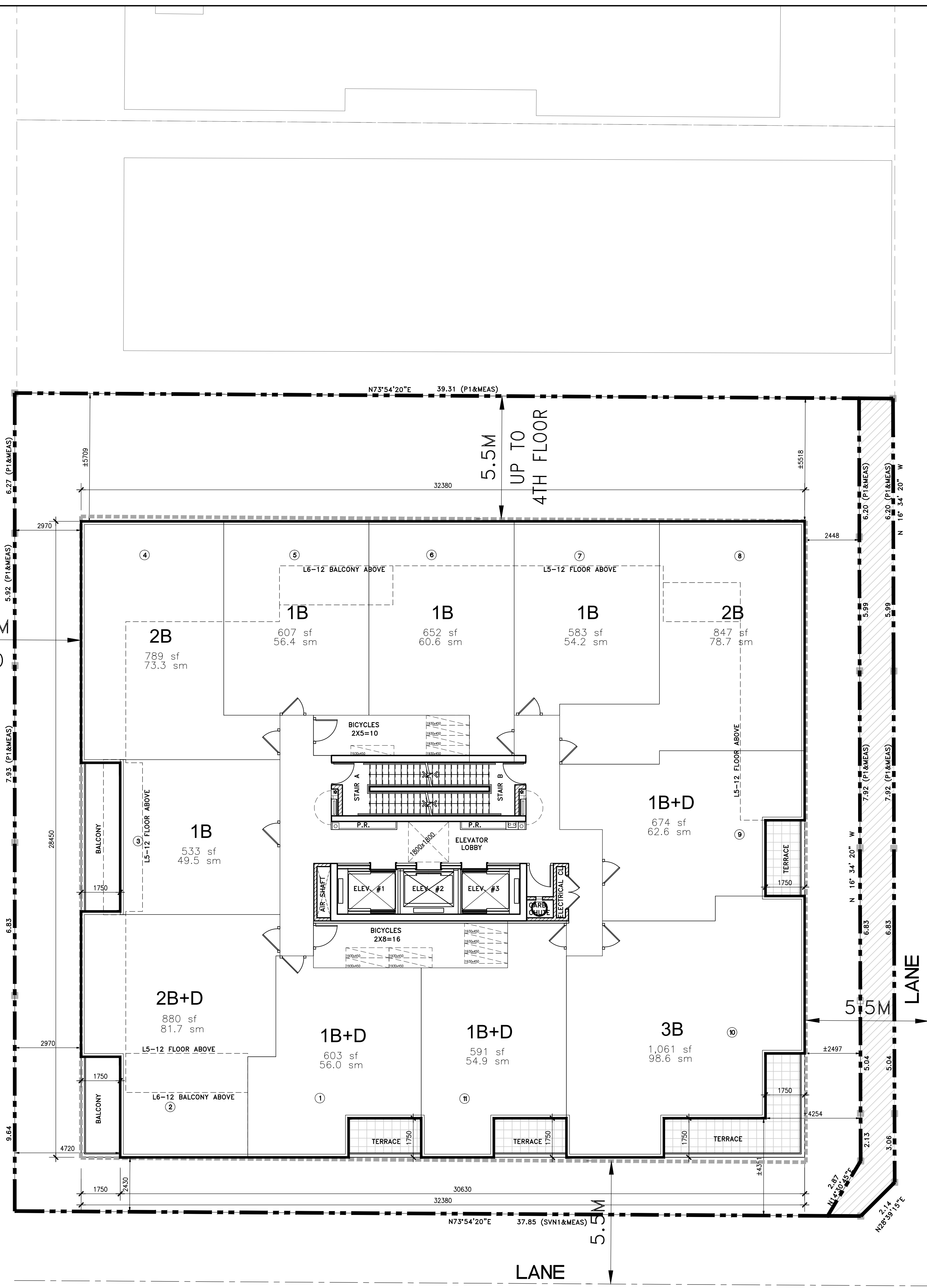
LANE (BY REGISTERED PLAN 876)



PARKING



NO	DATE	REMARKS
REVISIONS		
3		CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR SAME BEFORE ANY DISCREPANCIES TO THE ARCHITECT BEFORE COMMENCING THE WORK. PRINTS ARE NOT TO BE SCALED.
<p>RICHMOND Architects Ltd.</p> <p>55 EGLINTON AVENUE EAST t 416 961 1567 SUITE 802 TORONTO, ONTARIO M4P 1G8 RICHMONDARCH.COM</p> <p>JOB TITLE: RESIDENTIAL TOWER PROPOSAL 515 RAGLAN AVENUE, TORONTO, ON</p> <p>THE GOLDMAN GROUP 55 ST. CLAIR AVENUE WEST, SUITE 500, TORONTO, ONTARIO M4V 0Y7 LASH GROUP OF COMPANIES 10 KENNEDY CRESCENT, SUITE 300, TORONTO, ONTARIO M3J 0S0</p> <p>Sheet Title: INTERMEDIATE FLOOR</p>		
Date Plotted:	23 DEC 2022	Date: 23 DEC 2022
Drawn By:		Scale: 1:100
Checked By:		Revision Number:
Job No:	P2019-010	Sheet No: SPA 302



PARKING

RAGLAN AVENUE

LANE (BY REGISTERED PLAN 876)

EXISTING 12 STOREY BUILDING NO. 1500

EXISTING 4 STOREY BUILDING NO. 1482

55 EGLINTON AVENUE EAST TORONTO, ONTARIO M4P 1G8

RESIDENTIAL TOWER PROPOSAL

500 ST. CLAIR AVENUE WEST, SUITE 300, TORONTO, ONTARIO M4V 1Y7

2ND-4TH FLOOR

NO	DATE	REVISIONS	REMARKS
3			

RICHMOND | Architects Ltd.

416 961 1567

5-15 RAGLAN AVENUE, TORONTO, ON

THE GOLDMAN GROUP

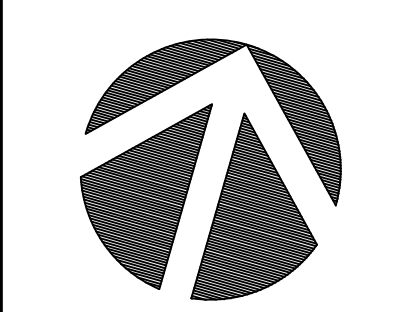
500 ST. CLAIR AVENUE WEST, SUITE 300, TORONTO, ONTARIO M4V 1Y7

23 DEC 2022

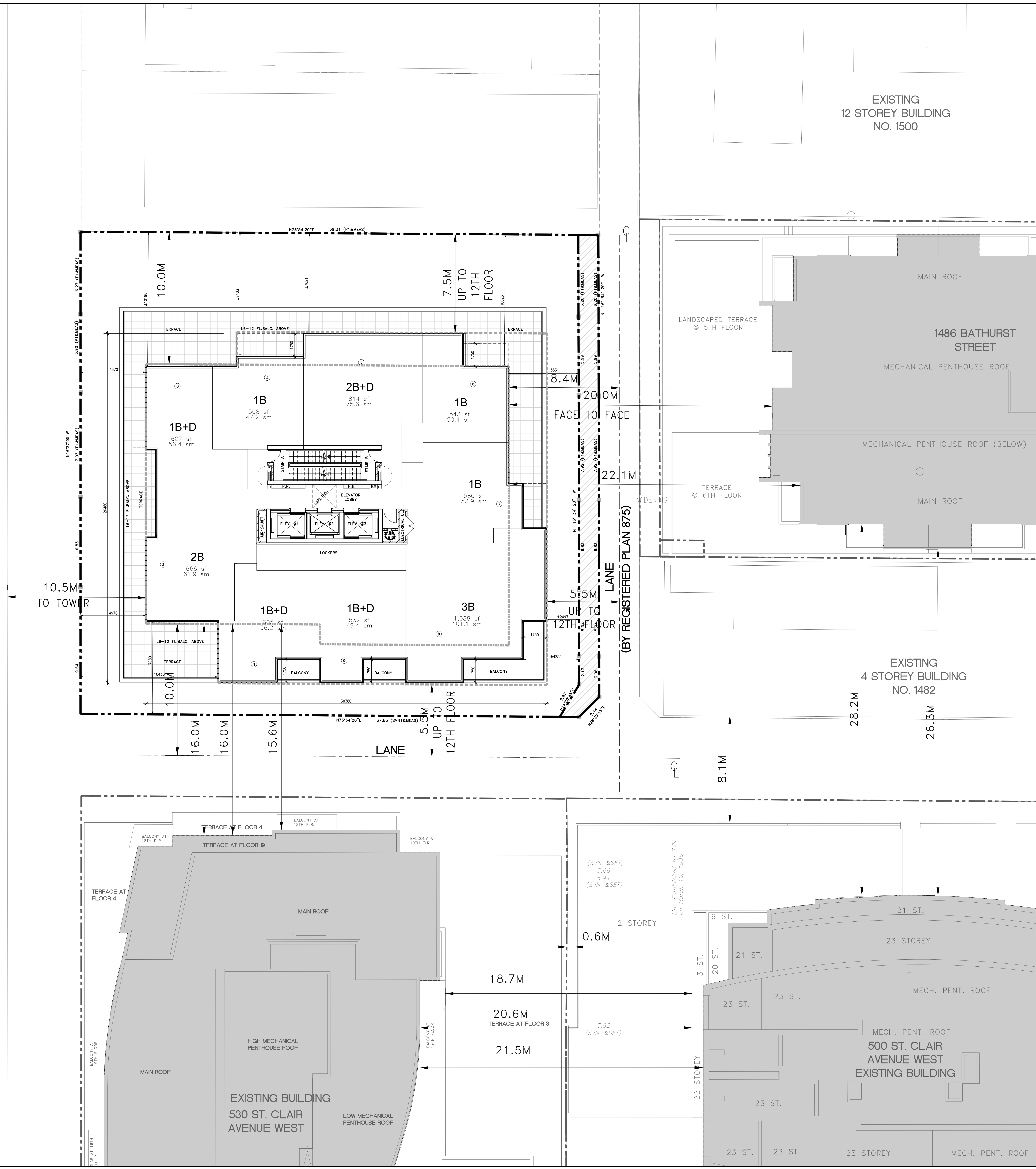
1:100

P2019-010

SPA 303



RAGLAN AVENUE



EXISTING
12 STOREY BUILDING
NO. 1500

1486 BATHURST
STREET

MECHANICAL PENTHOUSE ROOF

MECHANICAL PENTHOUSE ROOF (BELOW)

MAIN ROOF

EXISTING
4 STOREY BUILDING
NO. 1482

EXISTING BUILDING
530 ST. CLAIR
AVENUE WEST

PARKING

NO	DATE	REVISIONS
3		CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR SAME BEFORE BEGINNING ANY DISCREPANCIES TO THE ARCHITECT BEFORE COMMENCING THE WORK. PRINTS ARE NOT TO BE SCALED.

RICHMOND | Architects Ltd.
55 EGLINTON AVENUE EAST TORONTO, ONTARIO M4P 1G8
416 961 1567
RICHMONDARCH.COM

RESIDENTIAL TOWER PROPOSAL
515 RAGLAN AVENUE, TORONTO, ON

THE GOLDMAN GROUP
55 ST. CLAIR AVENUE WEST, SUITE 500, TORONTO, ONTARIO M5V 0Y7

LASH GROUP OF COMPANIES
10 WOODMERE CRESCENT, SUITE 300, TORONTO, ONTARIO M4S 1S0

Sheet Title: **5TH FLOOR.**

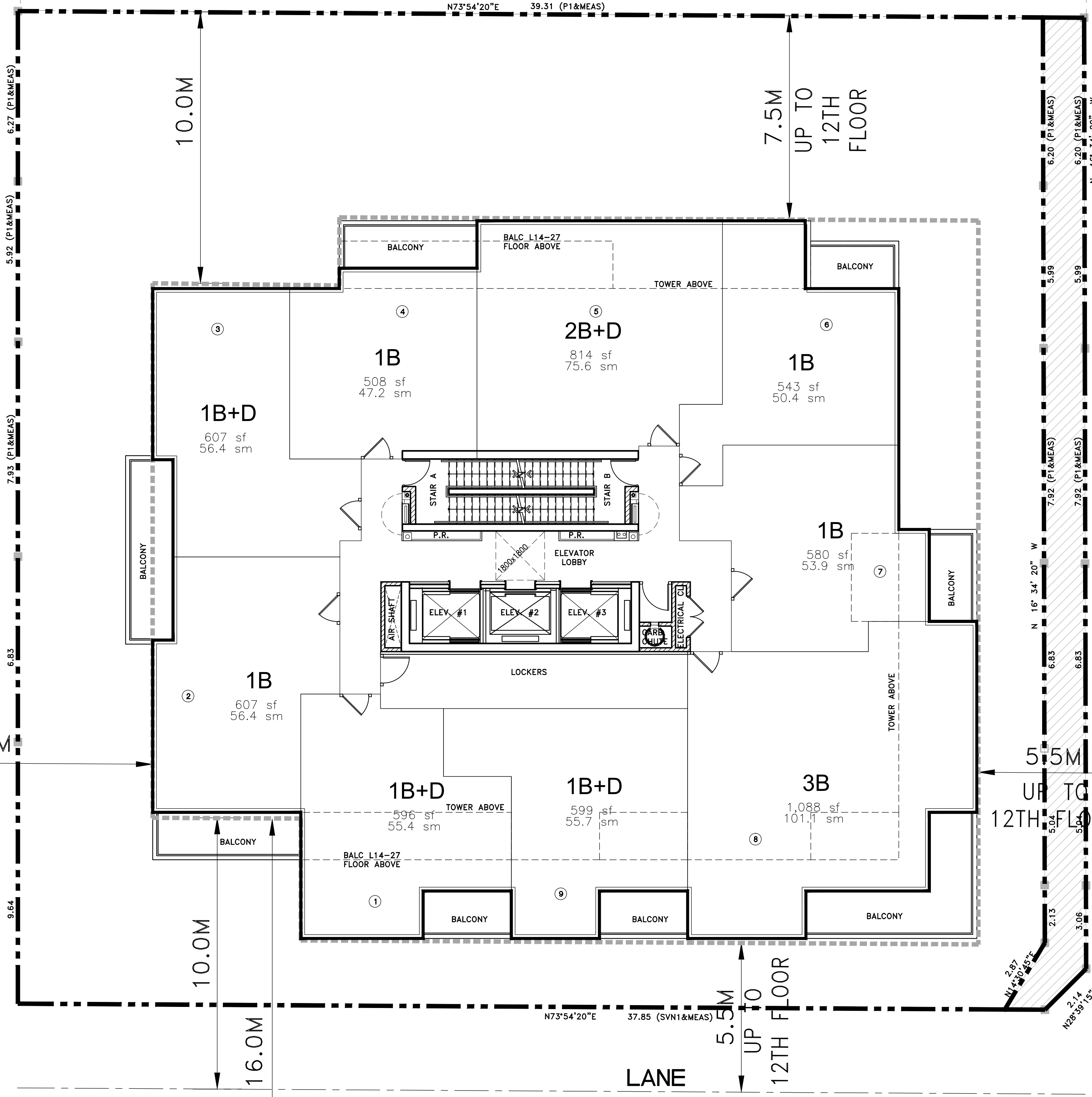
North Arrow

Date Plotted: 23 DEC 2022
Drawn By:
Checked By:
Revision Number:

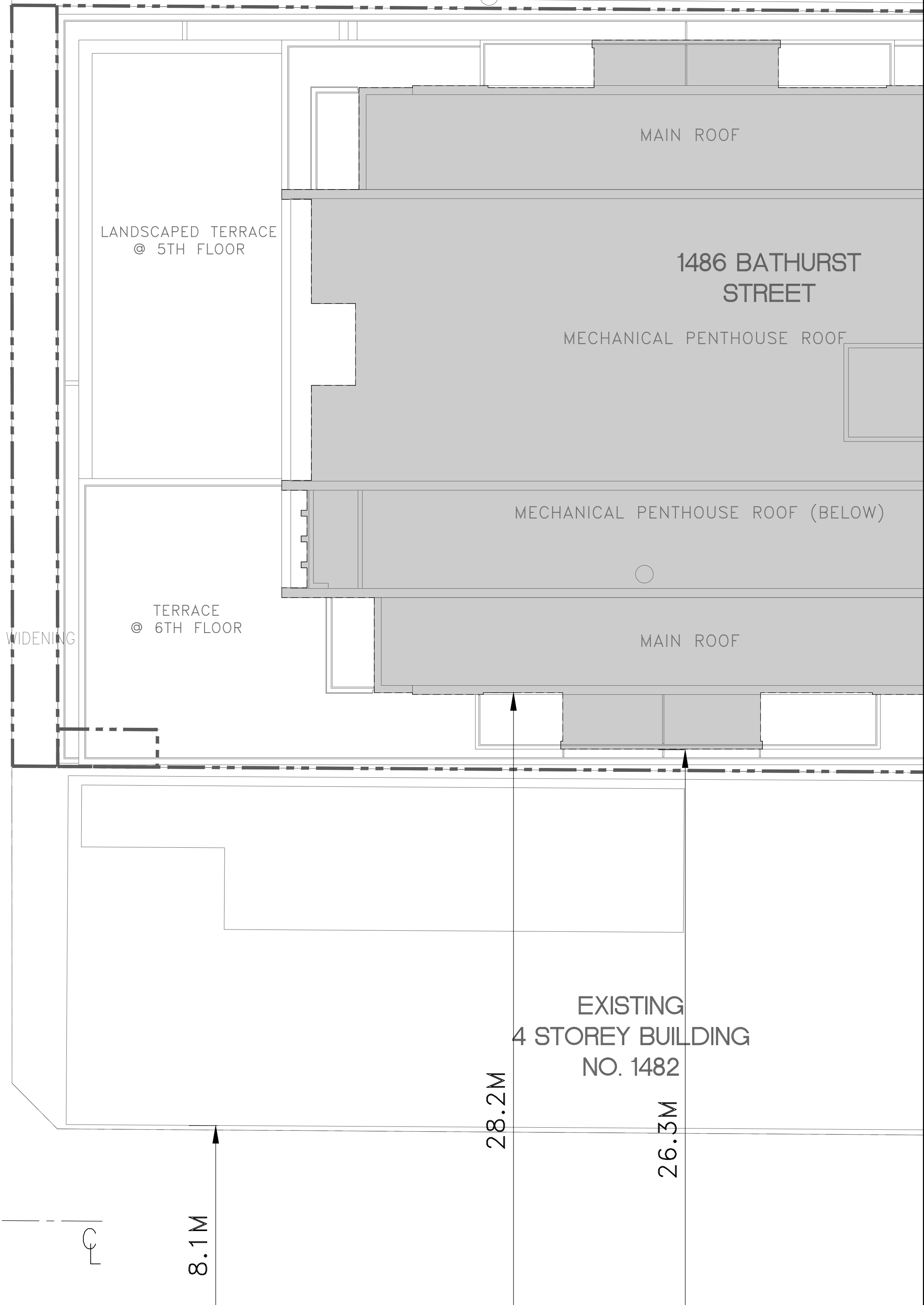
Date: 23 DEC 2022
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Revision Number:

Job No: **P2019-010**
Sheet No: **SPA 304**

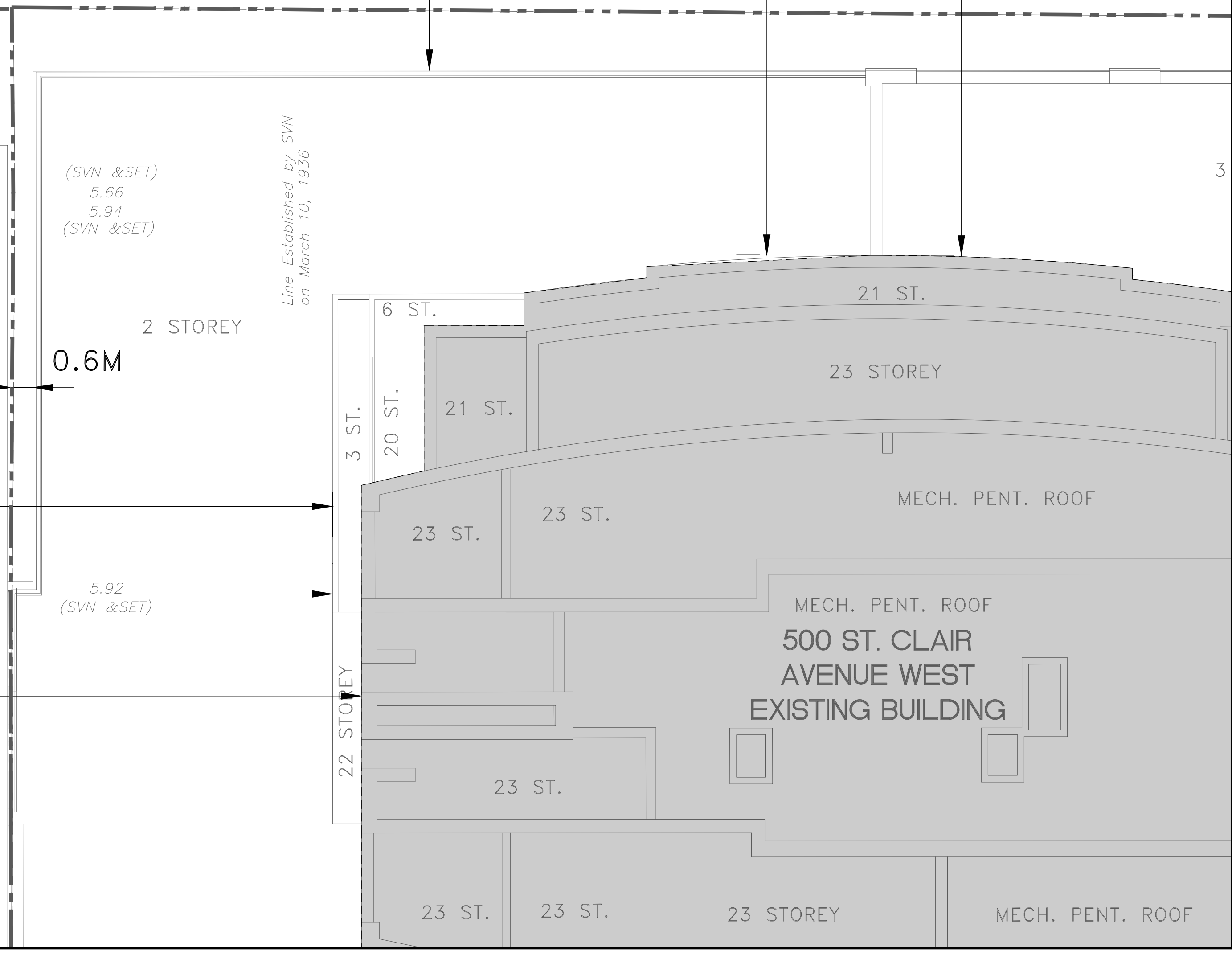
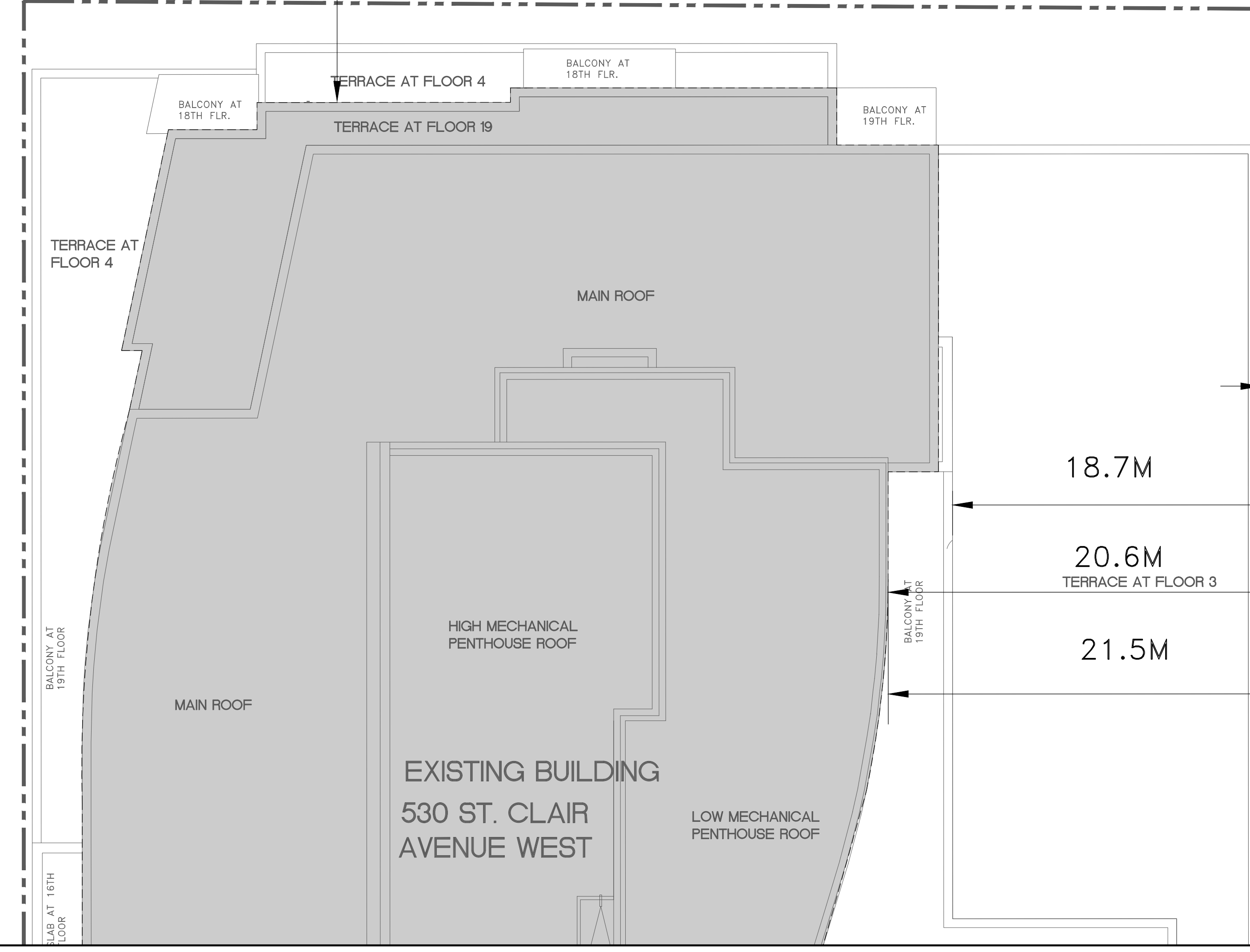
RAGLAN AVENUE



LANE (BY REGISTERED PLAN 876)

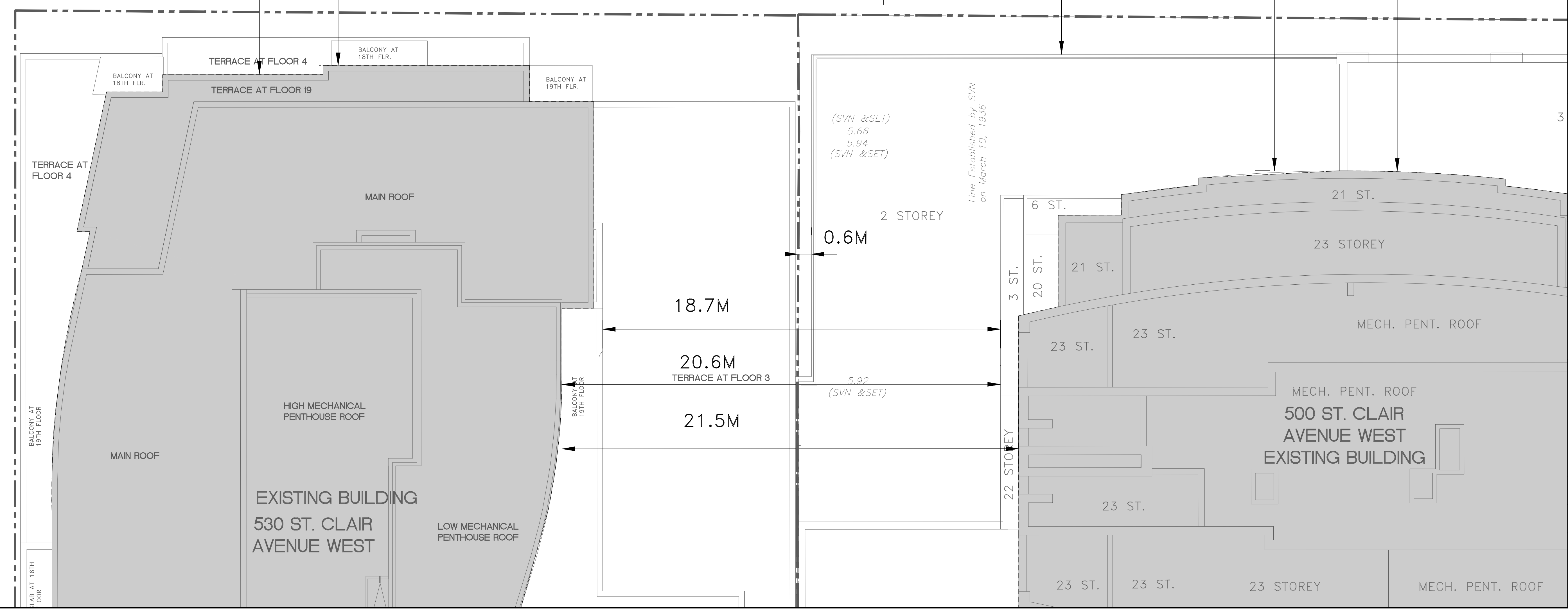
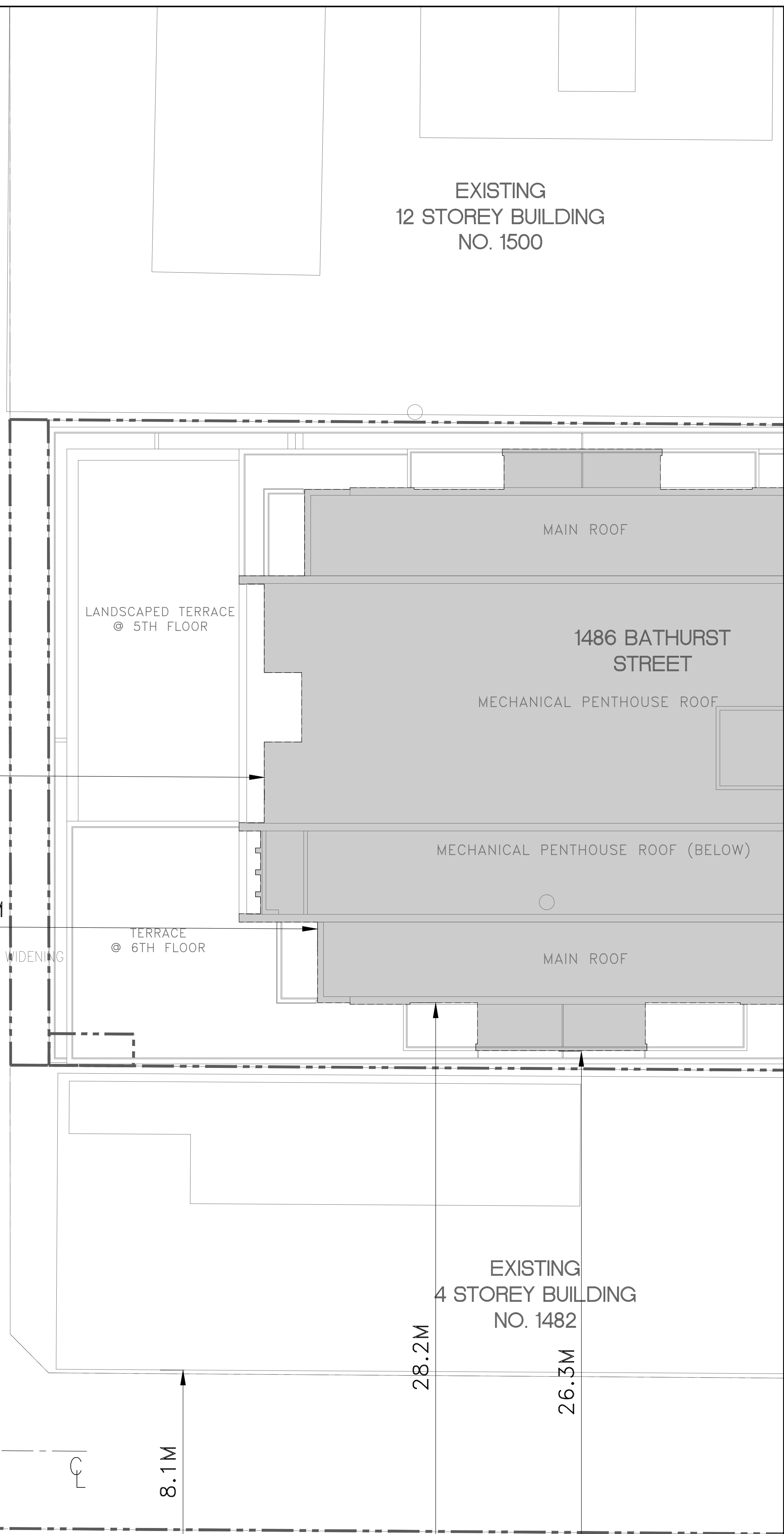
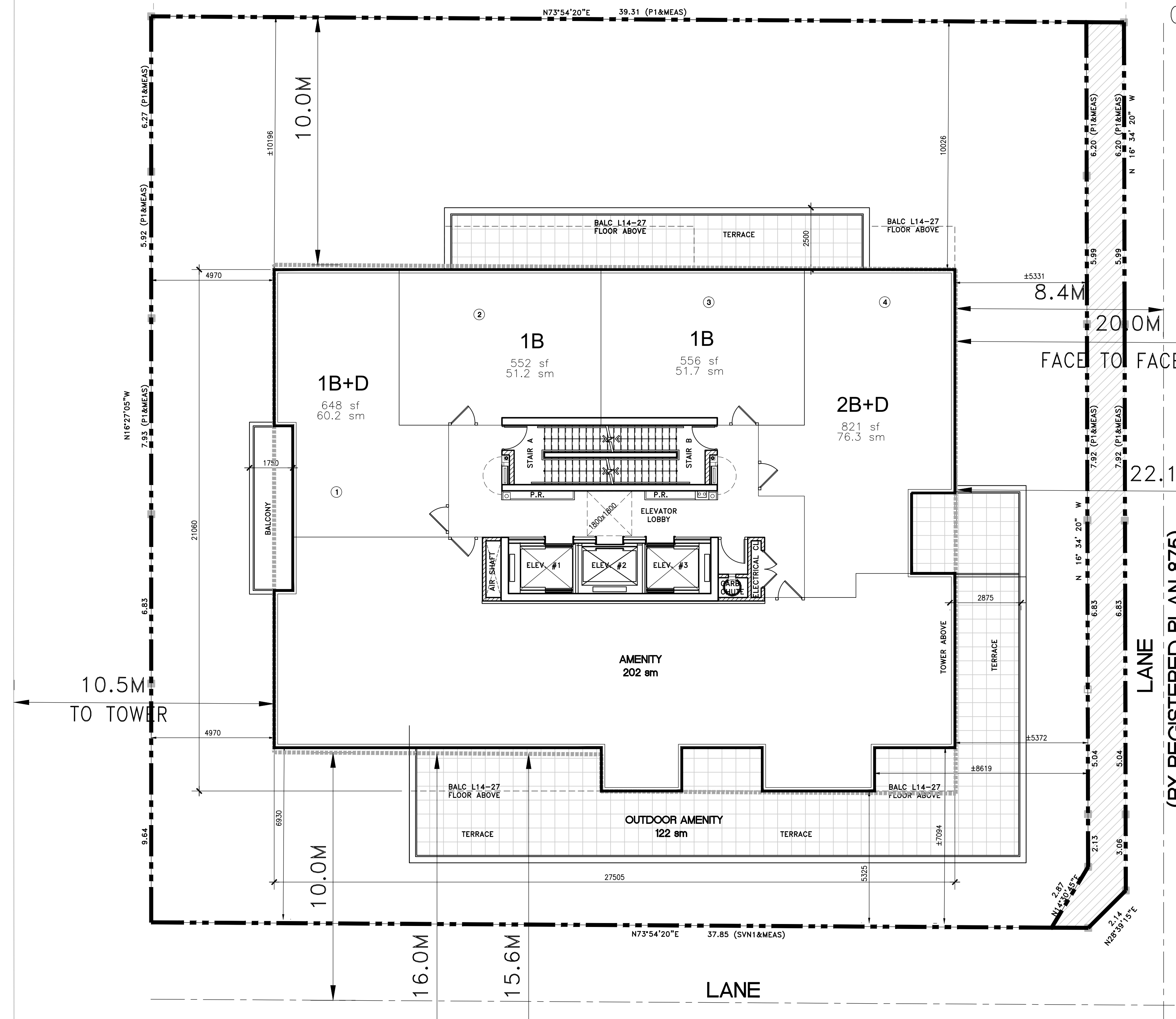


PARKING



NO	DATE	REMARKS
REVISIONS		
3		CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR SAME BEFORE COMMENCING ANY DISCREPANCIES TO THE ARCHITECT BEFORE COMMENCING THE WORK. PRINTS ARE NOT TO BE SCALED.
<p>RICHMOND Architects Ltd.</p> <p>55 EGLINTON AVENUE EAST T: 416 961 1567 SUITE 802 TORONTO, ONTARIO M4P 1G8 RICHMONDARCH.COM</p>		
<p>JOB TITLE: RESIDENTIAL TOWER PROPOSAL</p> <p>5-15 RAGLAN AVENUE, TORONTO, ON</p>		
<p>THE GOLDMAN GROUP LASH GROUP OF COMPANIES 55 ST. CLAIR AVENUE WEST, SUITE 500, 10 WOODMERE CRESCENT, SUITE 200, TORONTO, ONTARIO M4V 1V7 TORONTO, ONTARIO M4L 3S2</p>		
<p>Sheet Title: 6-12TH FLOOR</p>		
		Scale:
Date Plotted: 23 DEC 2022	Date: 23 DEC 2022	Scale: 1:100
Drawn By:	Checked By:	Revision Number:
Job No: P2019-010	Sheet No: SPA 305	

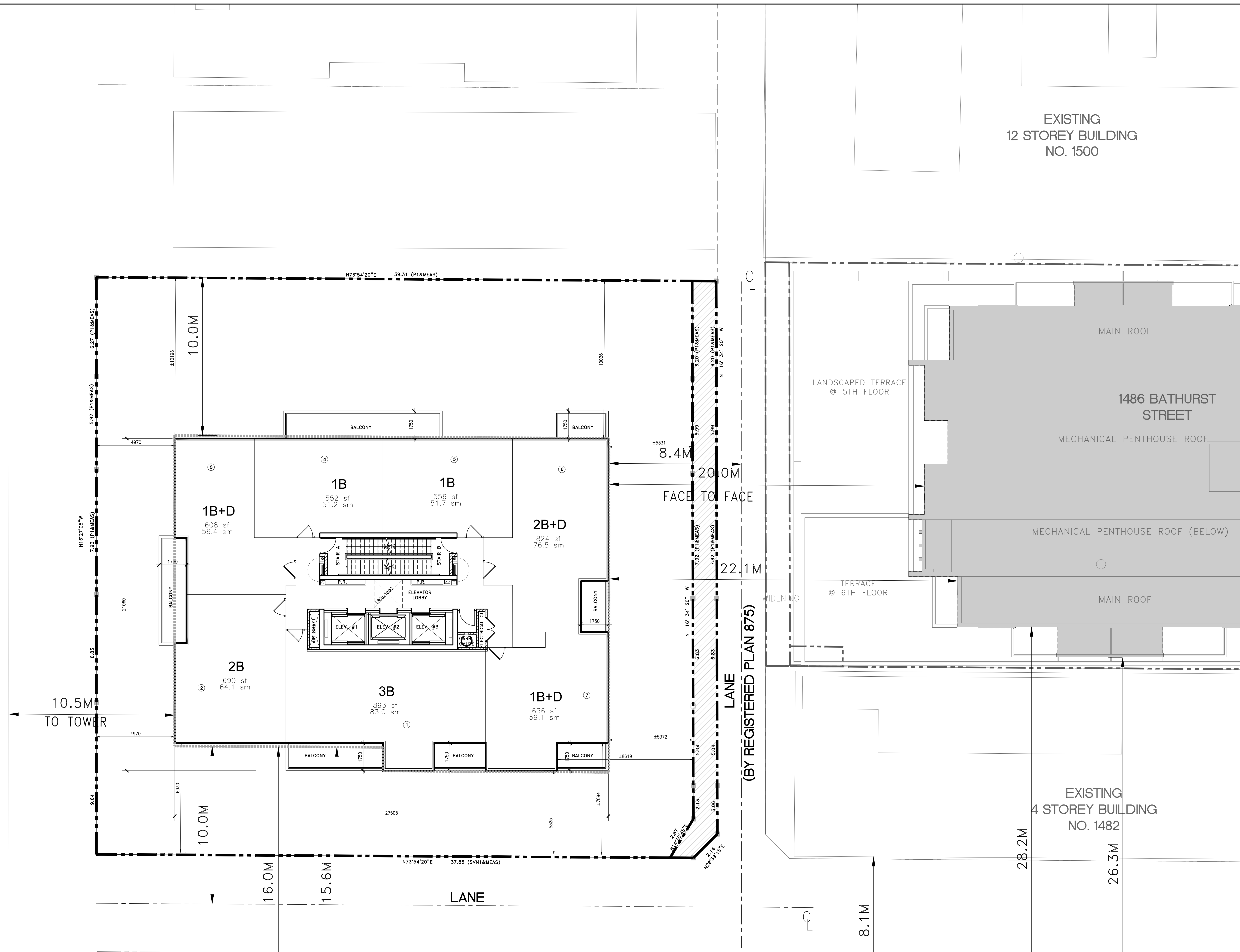
RAGLAN AVENUE



PARKING

NO	DATE	REVISIONS	REMARKS
3		REVISIONS	
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<p>RICHMOND Architects Ltd.</p>			
<p>55 EGLINTON AVENUE EAST SUITE 802 TORONTO, ONTARIO M4P 1G8</p>		<p>T 416 961 1567 RICHMONDARCH.COM</p>	
<p>JOB TITLE RESIDENTIAL TOWER PROPOSAL</p>			
<p>5-15 RAGLAN AVENUE, TORONTO, ON</p>			
<p>THE GOLDMAN GROUP 55 ST. CLAIR AVENUE WEST, SUITE 500, TORONTO, ONTARIO M5V 0Y7</p>		<p>LASH GROUP OF COMPANIES 10 WOODMERE CRESCENT, SUITE 300, TORONTO, ONTARIO M4S 1S0</p>	
<p>Sheet Title 13TH FLOOR</p>			
<p>North</p>		<p>Scale</p>	
<p>Date Plotted 23 DEC 2022</p>		<p>Date: 23 DEC 2022</p>	
<p>Drawn By</p>		<p>Scale: 1:100</p>	
<p>Checked By</p>		<p>Revision Number</p>	
<p>JOB No: P2019-010</p>		<p>Sheet No: SPA 306</p>	

RAGLAN AVENUE



EXISTING
12 STOREY BUILDING
NO. 1500

LANDSCAPED TERRACE
@ 5TH FLOOR

1486 BATHURST
STREET

MECHANICAL PENTHOUSE ROOF

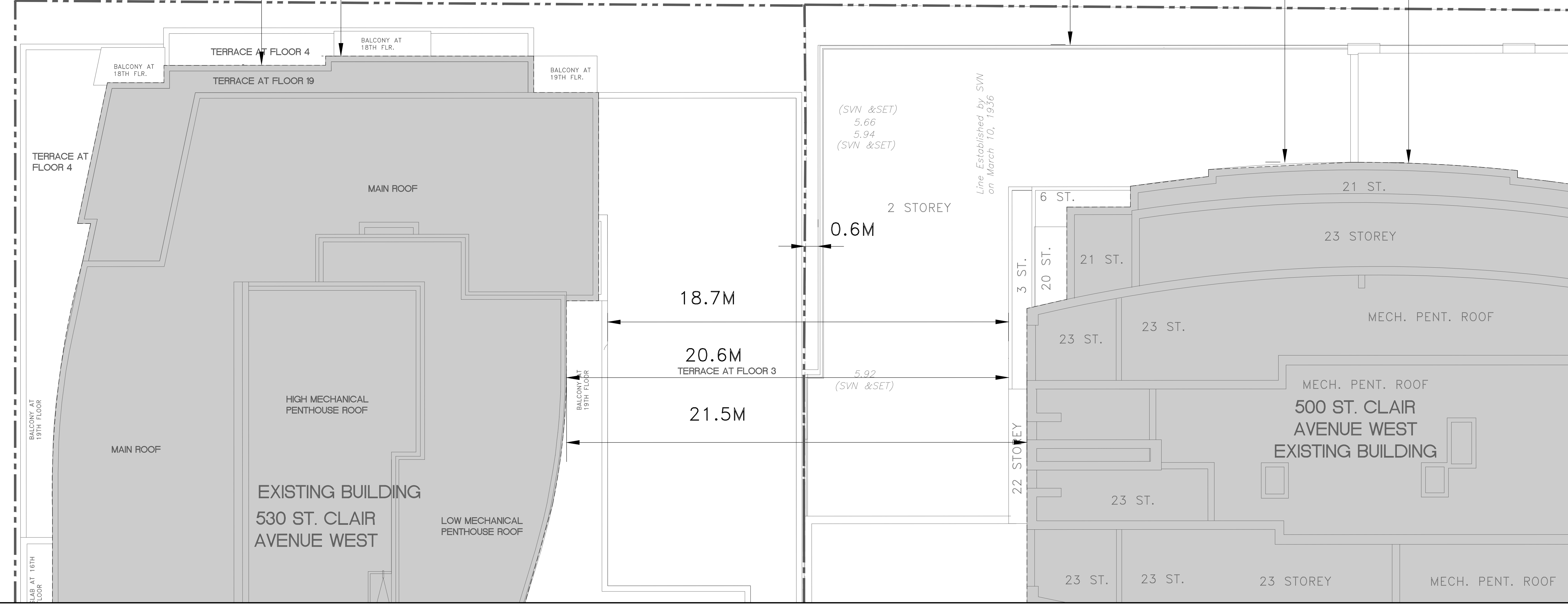
MECHANICAL PENTHOUSE ROOF (BELOW)

MAIN ROOF

TERRACE
@ 6TH FLOOR

EXISTING
4 STOREY BUILDING
NO. 1482

PARKING



EXISTING BUILDING
530 ST. CLAIR
AVENUE WEST

2 STOREY

21 ST.

23 STOREY

MECH. PENT. ROOF

MECH. PENT. ROOF
500 ST. CLAIR
AVENUE WEST
EXISTING BUILDING

23 ST.

23 ST.

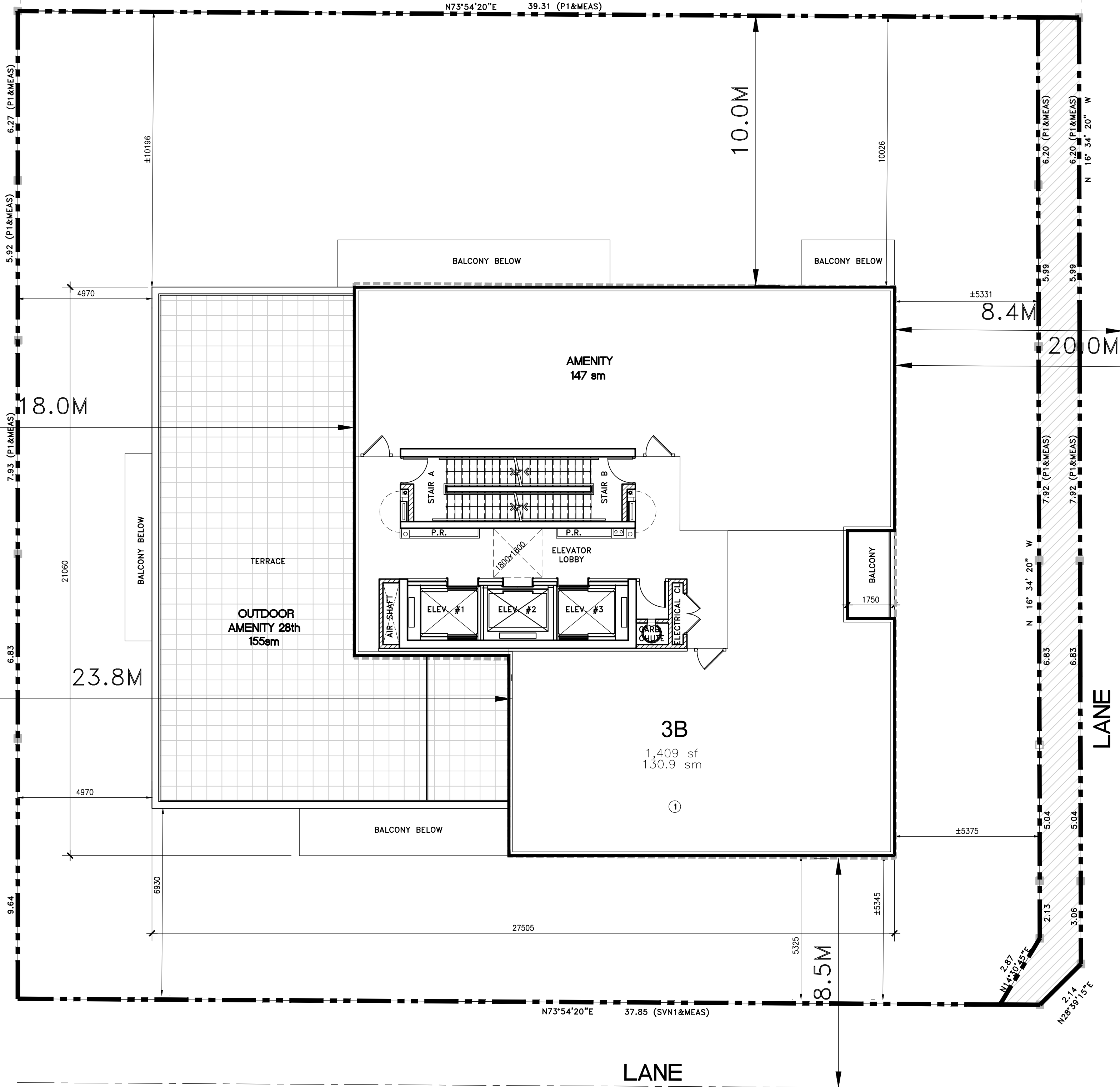
23 STOREY

MECH. PENT. ROOF

NO	DATE	REVISIONS	REMARKS
3		REVISIONS	
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<p>55 EGLINTON AVENUE EAST SUITE 802 TORONTO, ONTARIO M4P 1G8</p>		<p>T 416 961 1567 RICHMONDARCH.COM</p>	
<p>Job Title RESIDENTIAL TOWER PROPOSAL</p>			
<p>5-15 RAGLAN AVENUE, TORONTO, ON</p>			
<p>THE GOLDMAN GROUP 55 ST. CLAIR AVENUE WEST, SUITE 500, TORONTO, ONTARIO M4V 1V7</p>		<p>LASH GROUP OF COMPANIES 10 WOODMERE CRESCENT, SUITE 300, TORONTO, ONTARIO M4S 1S0</p>	
<p>Sheet Title 14-27TH FLOOR</p>			
<p>North</p>		<p>Scale</p>	
<p>Date Plotted 23 DEC 2022</p>		<p>Date: 23 DEC 2022</p>	
<p>Drawn By</p>		<p>Scale: 1:100</p>	
<p>Checked By</p>		<p>Revision Number</p>	
<p>Job No: P2019-010</p>		<p>Sheet No: SPA 307</p>	

EXISTING
12 STOREY BUILDING
NO. 1500

RAGLAN AVENUE



LANDSCAPED TERRACE
@ 5TH FLOOR

MAIN ROOF

1486 BATHURST
STREET

MECHANICAL PENTHOUSE ROOF

MECHANICAL PENTHOUSE ROOF (BELOW)

MAIN ROOF

LANE
(BY REGISTERED PLAN 876)

EXISTING
4 STOREY BUILDING
NO. 1482

8.1M

28.2M

26.3M

LANE

PARKING



(SVN & SET)
5.66
5.94
(SVN & SET)

Line Established by SVN
on March 10, 1956

2 STOREY

0.6M

6 ST.

20 ST.

3 ST.

22 STOREY

23 ST.

23 ST.

23 ST.

23 ST.

23 ST.

23 ST.

21 ST.

21 ST.

23 STOREY

23 ST.

23 ST.

23 ST.

23 ST.

23 ST.

23 ST.

23 ST.

23 ST.

23 STOREY

23 STOREY

MECH. PENT. ROOF

MECH. PENT. ROOF

MECH. PENT. ROOF
500 ST. CLAIR
AVENUE WEST
EXISTING BUILDING

NO	DATE	REVISIONS	REMARKS
3			

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RICHMOND | Architects Ltd.
55 EGLINTON AVENUE EAST TORONTO, ONTARIO M4P 1G8 t 416 961 1567

RESIDENTIAL TOWER PROPOSAL
5-15 RAGLAN AVENUE, TORONTO, ON

THE GOLDMAN GROUP
55 ST. CLAIR AVENUE WEST, SUITE 500, TORONTO, ONTARIO, M5V 2T7

LASH GROUP OF COMPANIES
10 WOODMERE CRESCENT, SUITE 300, TORONTO, ONTARIO, M4W 3G5

Sheet Title: **28TH FLOOR**

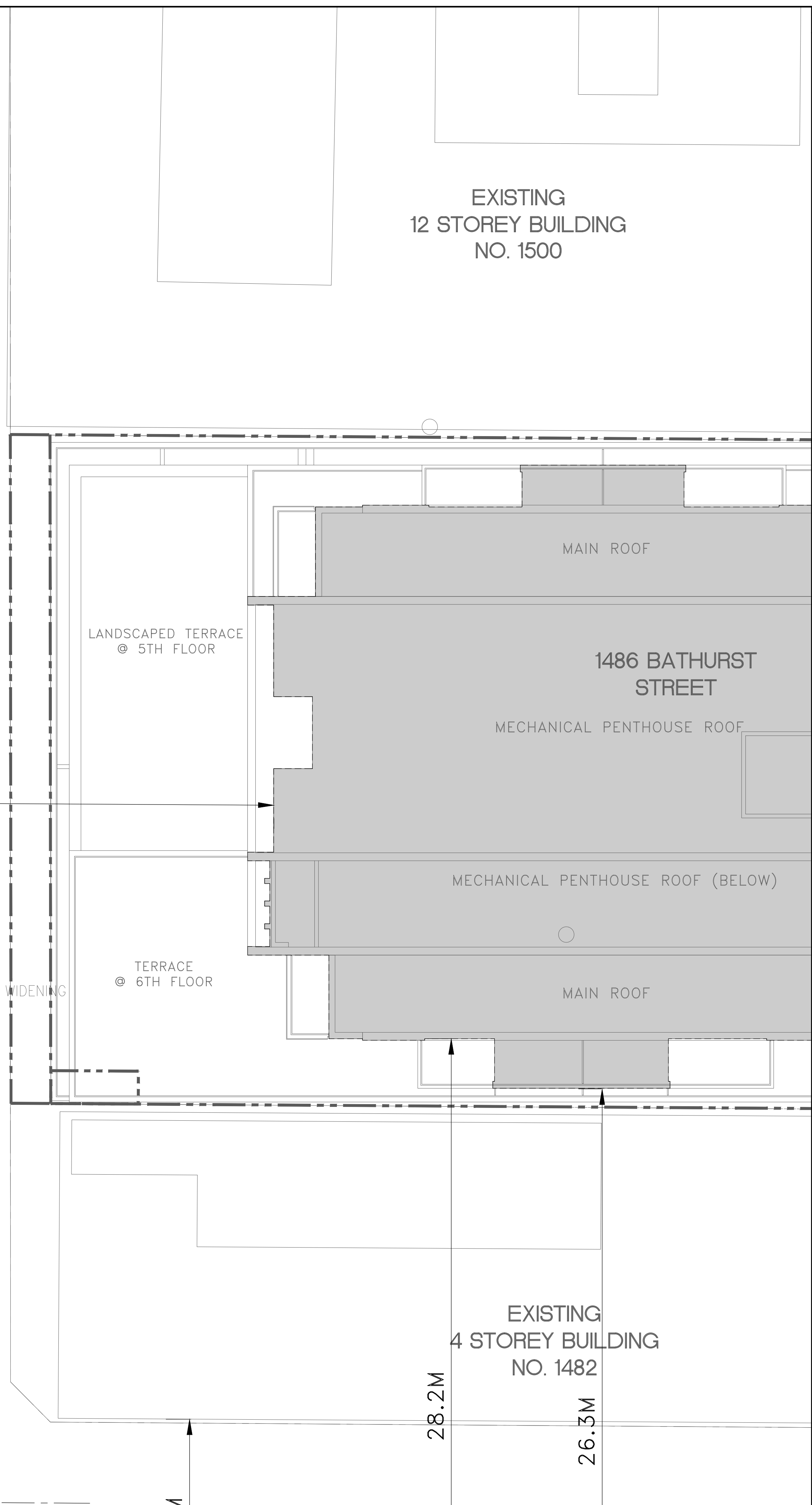
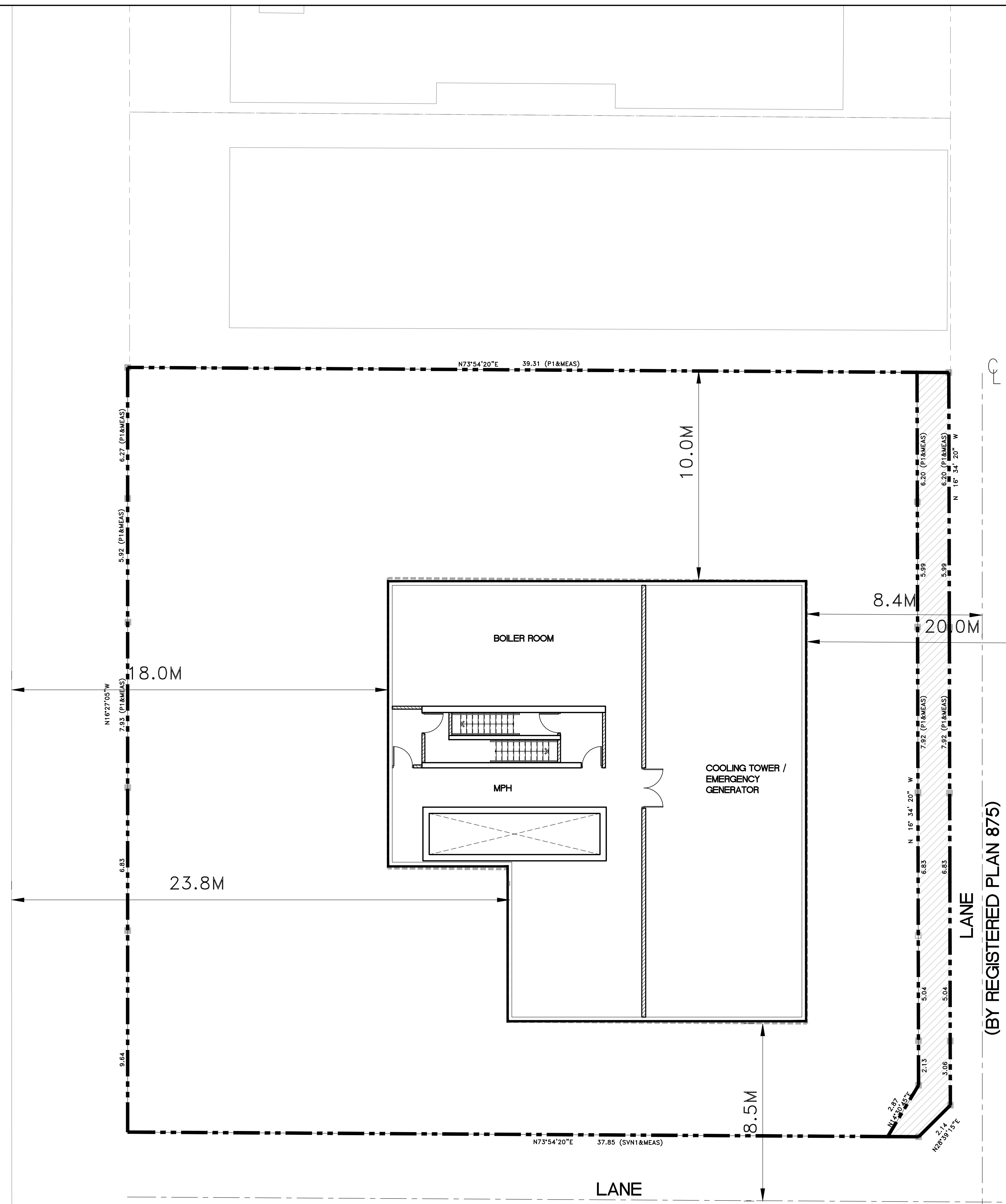
North Arrow

Date Plotted: 23 DEC 2022
Drawn By:
Checked By:
Revision Number:

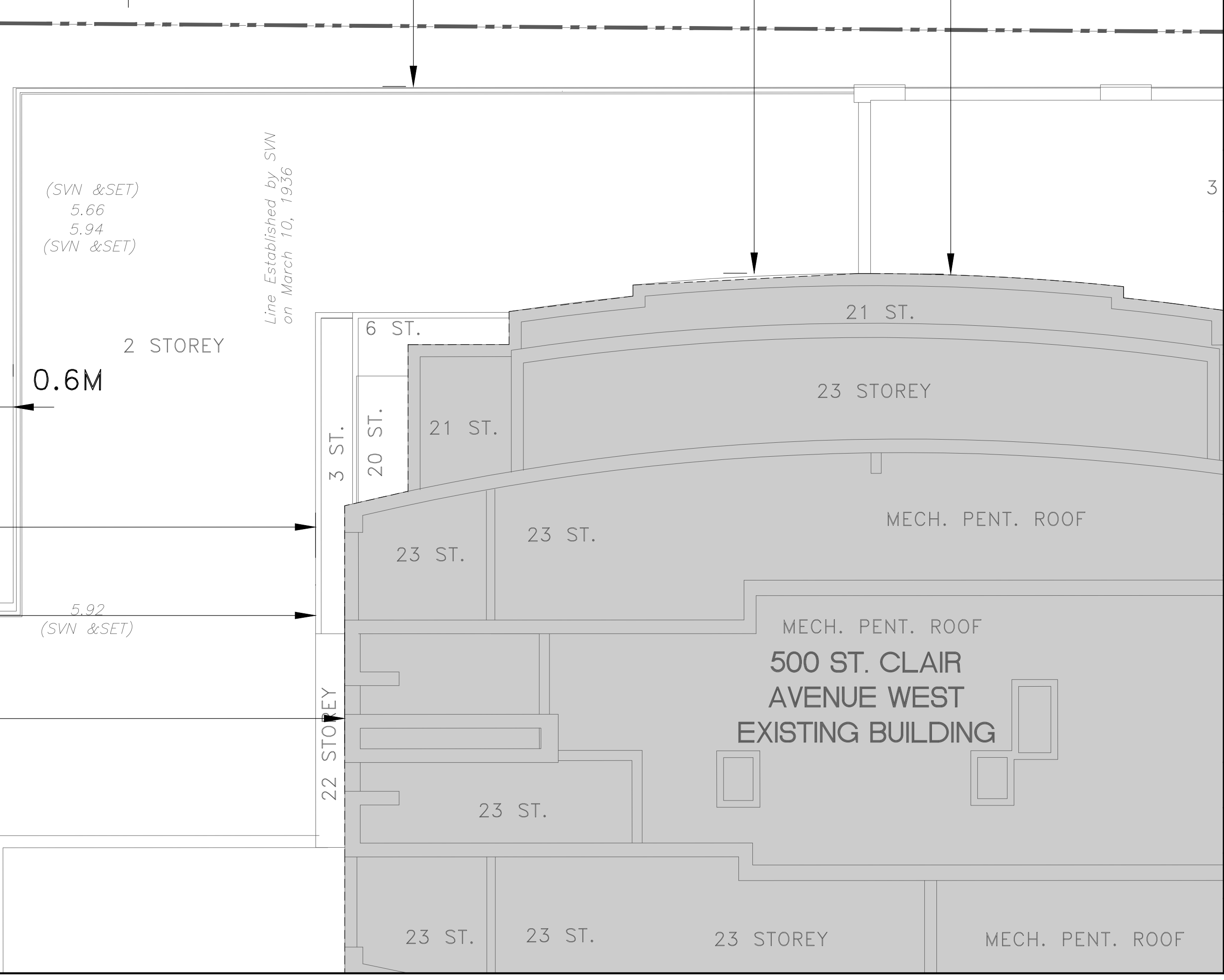
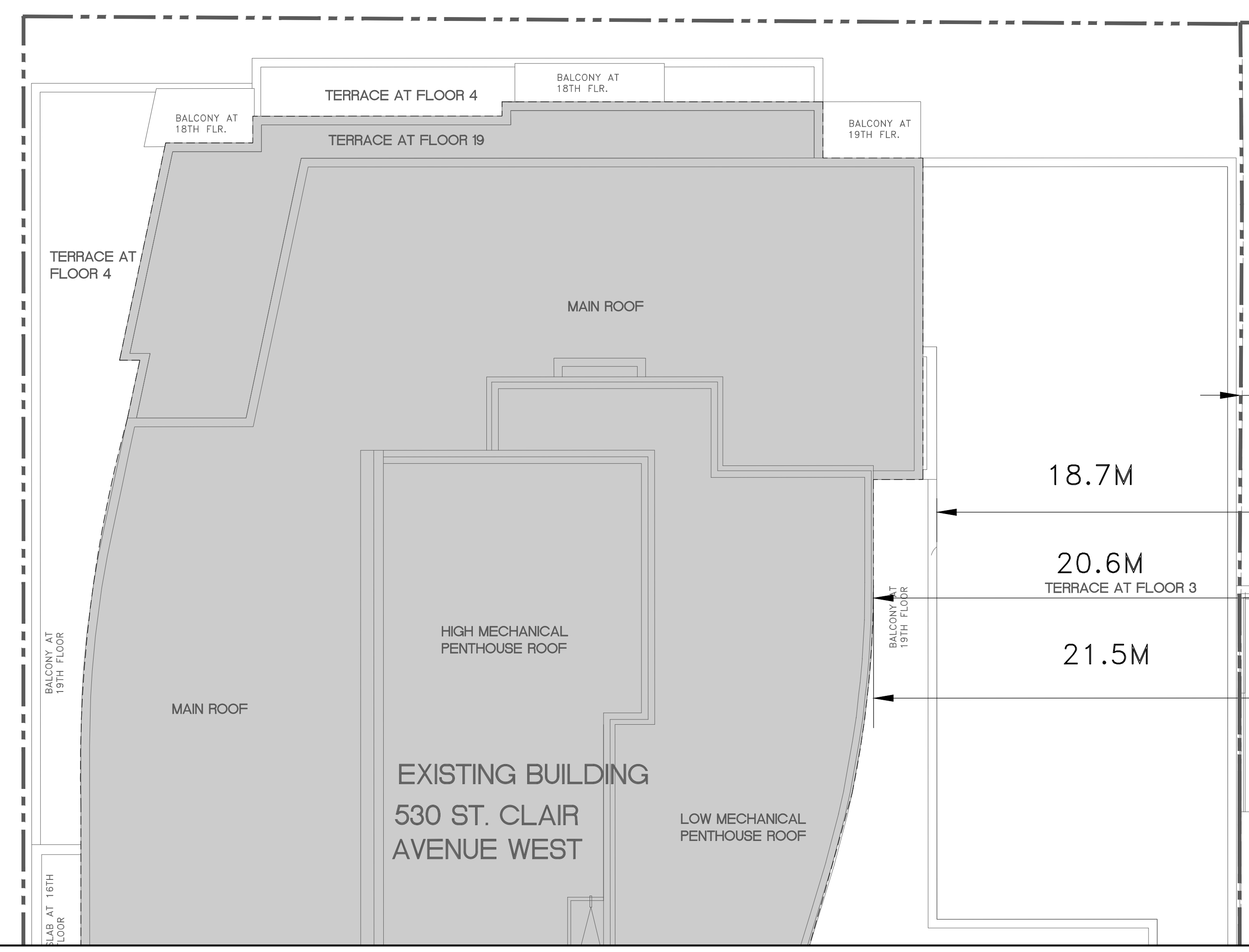
Scale: 1:100

Job No: **P2019-010**
Sheet No: **SPA 308**

RAGLAN AVENUE

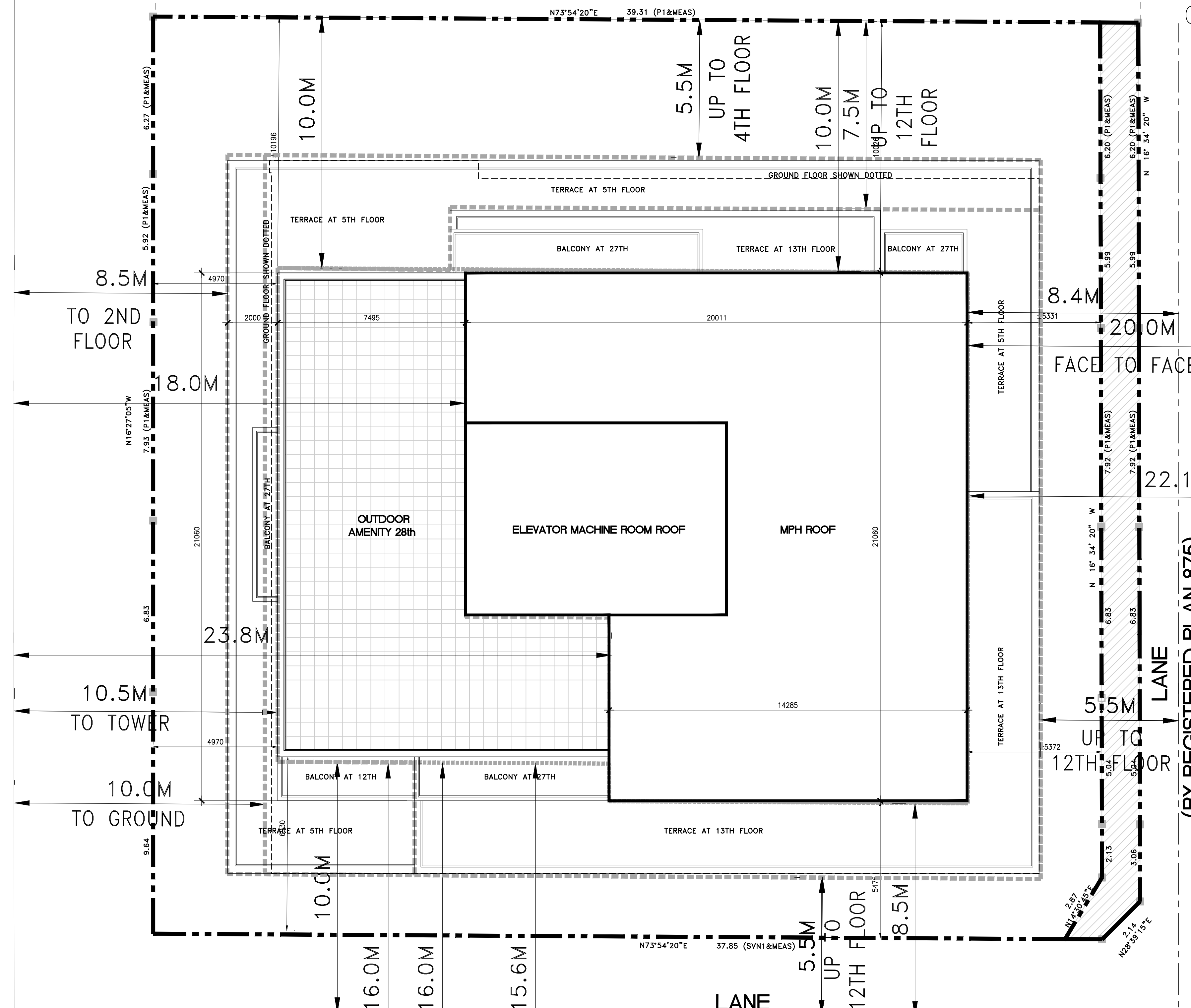


PARKING



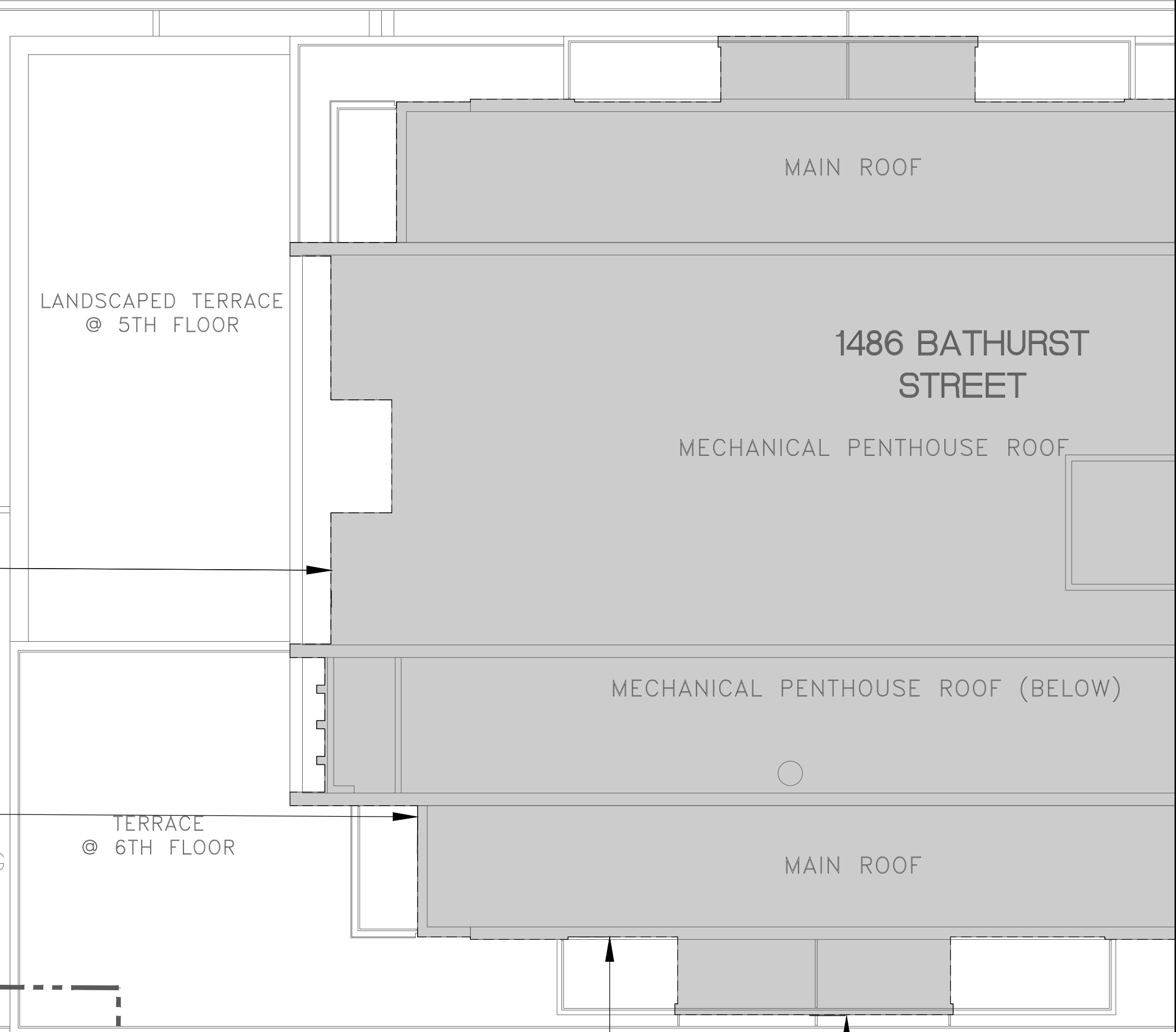
NO	DATE	REMARKS
REVISIONS		
3		CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR SAME BEFORE ANY DISCREPANCIES TO THE ARCHITECT BEFORE COMMENCING THE WORK. PRINTS ARE NOT TO BE SCALED.
<p>RICHMOND Architects Ltd.</p> <p>55 EGLINTON AVENUE EAST t 416 961 1567 SUITE 802 TORONTO, ONTARIO M4P 1G8 RICHMONDARCH.COM</p> <p>JOB TITLE RESIDENTIAL TOWER PROPOSAL 5-15 RAGLAN AVENUE, TORONTO, ON</p> <p>THE GOLDMAN GROUP 55 ST. CLAIR AVENUE WEST, SUITE 500, TORONTO, ONTARIO, M4V 1V7 LASH GROUP OF COMPANIES 10 WOODMERE CRESCENT, SUITE 200, TORONTO, ONTARIO, M4W 1S0</p> <p>Sheet Title MPH</p> <p>North</p> <p>Date Plotted: 23 DEC 2022 Date: 23 DEC 2022 Drawn By: Scale: 1:100 Checked By: Revision Number:</p> <p>Job No: P2019-010 Sheet No: SPA 309</p>		

RAGLAN AVENUE

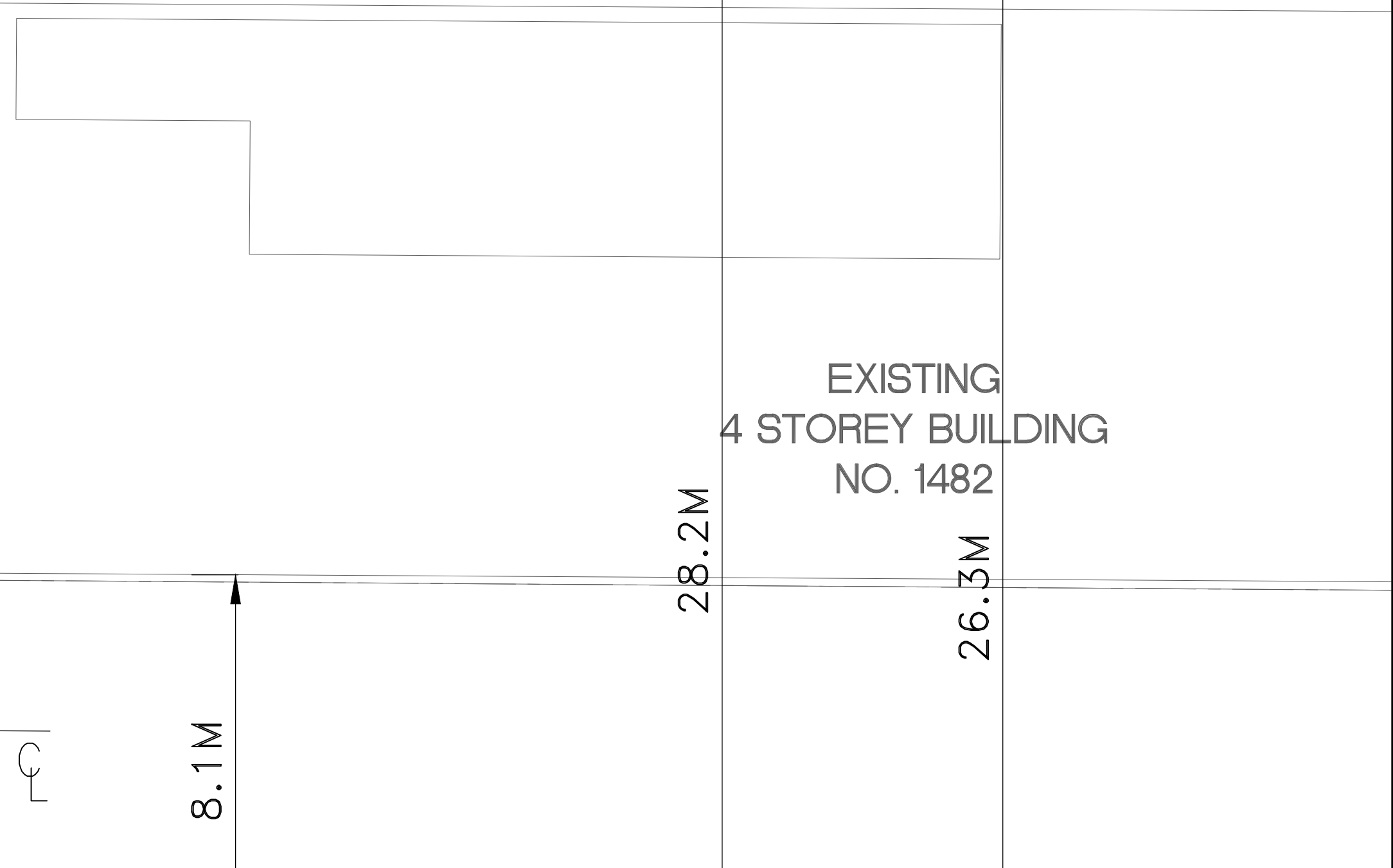


(BY REGISTERED PLAN 876)

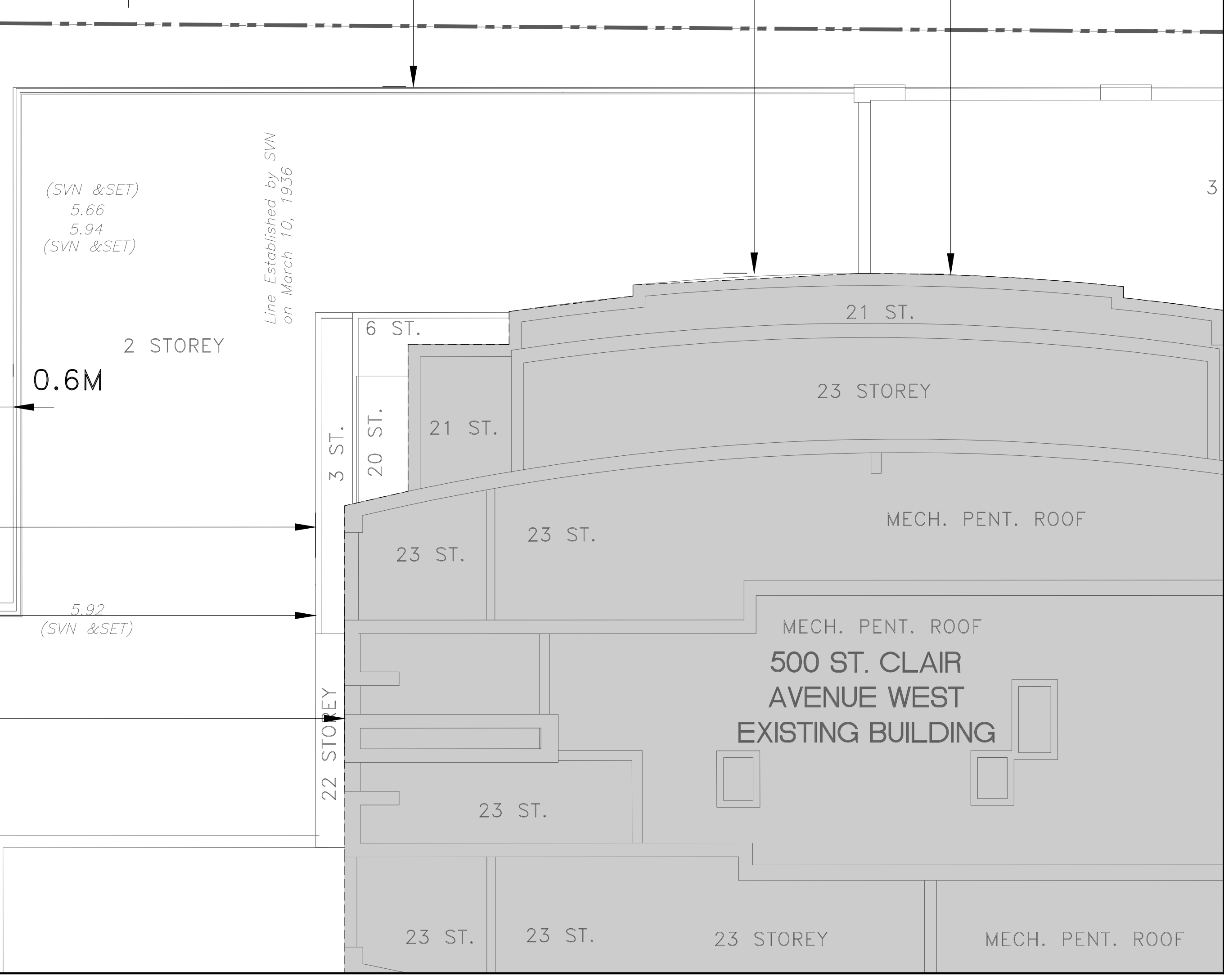
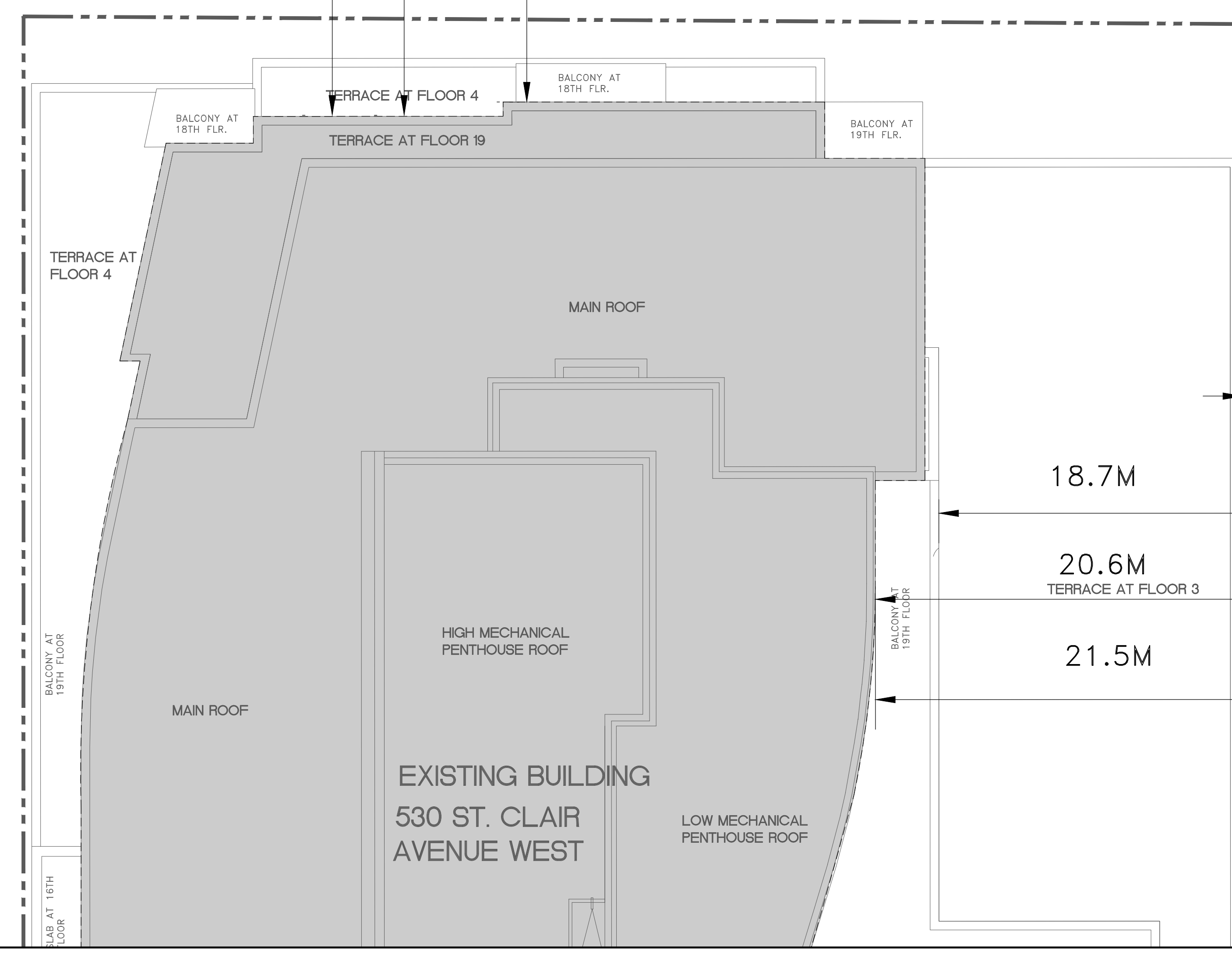
EXISTING
12 STOREY BUILDING
NO. 1500



EXISTING
4 STOREY BUILDING
NO. 1482



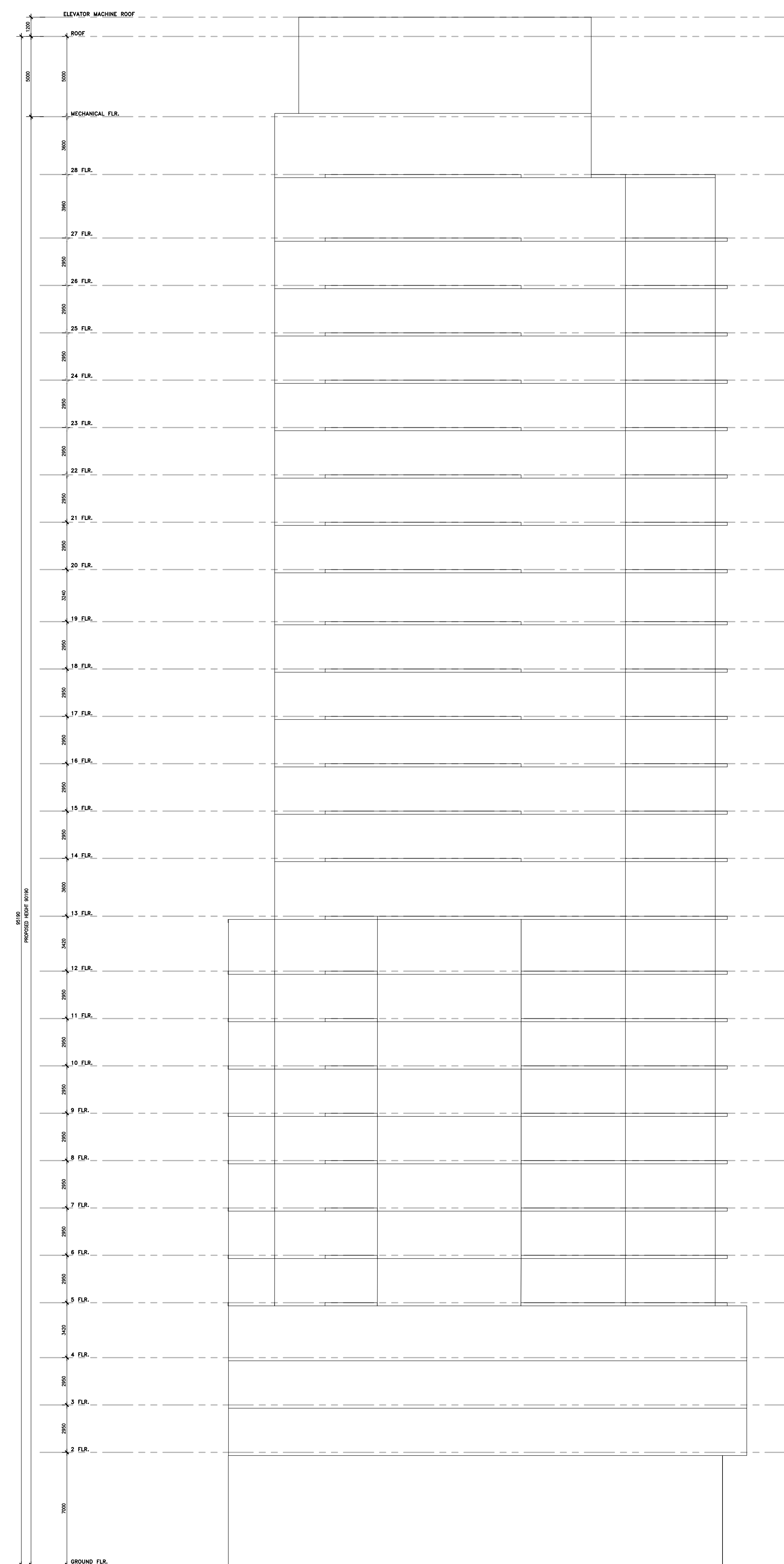
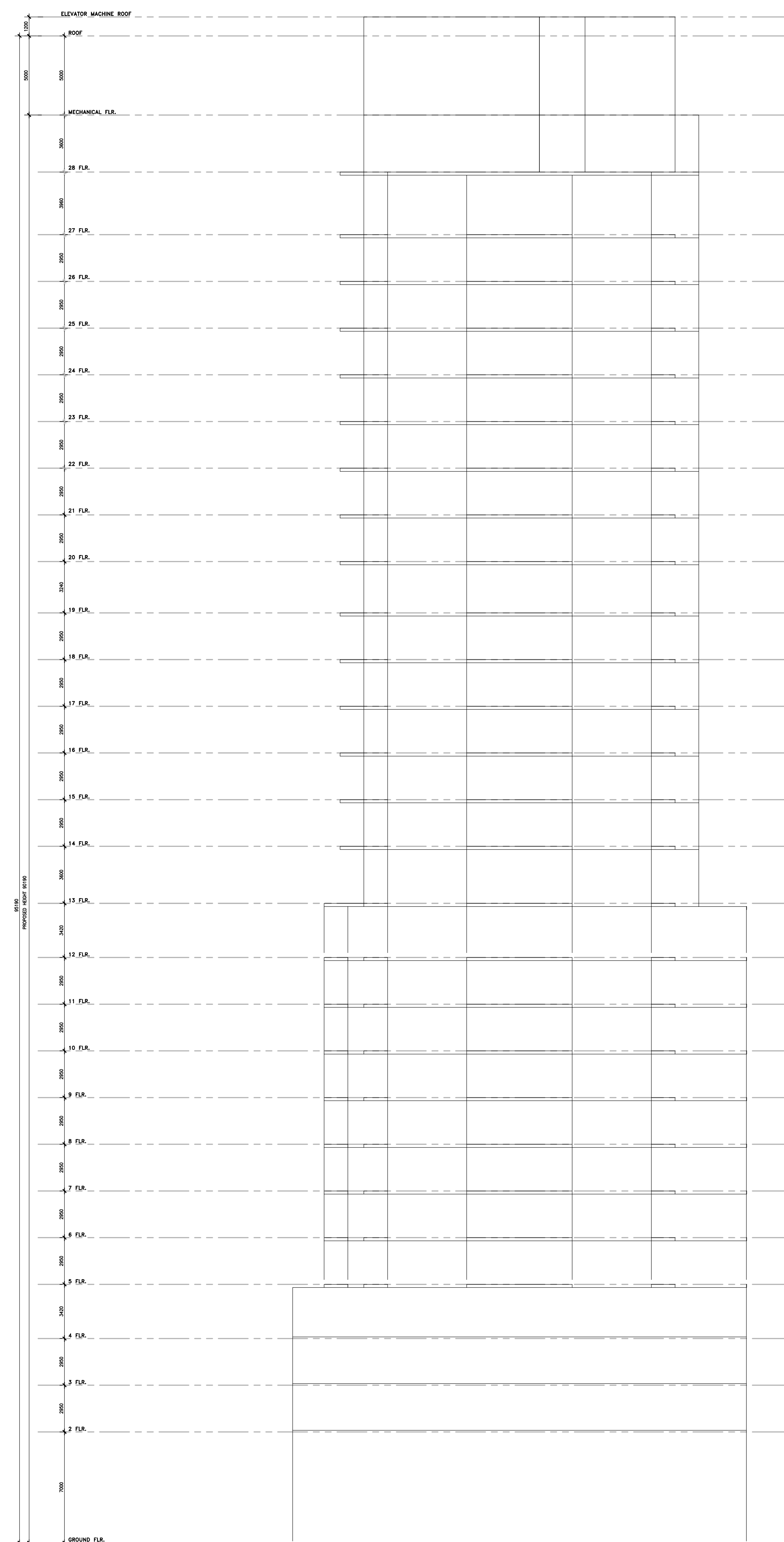
PARKING



NO	DATE	REVISIONS	REMARKS
3		REVISIONS	
<p>CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR SAME BEFORE BEGINNING ANY DISCREPANCIES TO THE ARCHITECT BEFORE COMMENCING THE WORK. PRINTS ARE NOT TO BE SCALED.</p>			
<p>RICHMOND Architects Ltd.</p>			
<p>55 EGLINTON AVENUE EAST SUITE 802 TORONTO, ONTARIO M4P 1G8</p>		<p>T 416 961 1567 RICHMONDARCH.COM</p>	
<p>JOB TITLE RESIDENTIAL TOWER PROPOSAL 5-15 RAGLAN AVENUE, TORONTO, ON.</p>			
<p>THE GOLDMAN GROUP 55 ST. CLAIR AVENUE WEST, SUITE 500, TORONTO, ONTARIO M4V 1V7</p>		<p>LASH GROUP OF COMPANIES 10 WOODMERE CRESCENT, SUITE 200, TORONTO, ONTARIO M4W 3S0</p>	
<p>Sheet Title ROOF</p>			
<p>Date Plotted 23 DEC 2022</p>		<p>Date: 23 DEC 2022</p>	
<p>Down By:</p>		<p>Scale: 1:100</p>	
<p>Checked By:</p>		<p>Revision Number:</p>	
<p>Job No: P2019-010</p>		<p>Sheet No: SPA 310</p>	

LEGEND

- ① VISION GLASS
- ② SPANDREL GLASS
- ③ PREGRETT PANEL
- ④ PREFINISHED METAL PANEL
- ⑤ STONE VENEER/GRANITE
- ⑥ ALUM. & GLASS RAILING
- ⑦ STUCCO



ELEVATION: WEST

ELEVATION: NORTH

NOTE: A MINIMUM OF 85% OF ALL EXTERIOR GLAZING WITHIN THE FIRST 16 M OF THE BUILDING ABOVE GRADE WILL BE TREATED WITH BIRD-FRIENDLY STRATEGIES. *

NO	DATE	REMARKS
REVISIONS		
<small>CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR SAME BEFORE ANY DISCREPANCIES TO THE ARCHITECT BEFORE COMMENCING THE WORK. PRINTS ARE NOT TO BE SCALED.</small>		

RICHMOND | Architects Ltd.

55 EGLINTON AVENUE EAST T 416 961 1567
 SUITE 802 RICHMONDARCH.COM
 TORONTO, ONTARIO M4P 1G8

JOB TITLE
RESIDENTIAL TOWER PROPOSAL
 5-15 RAGLAN AVENUE, TORONTO, ON

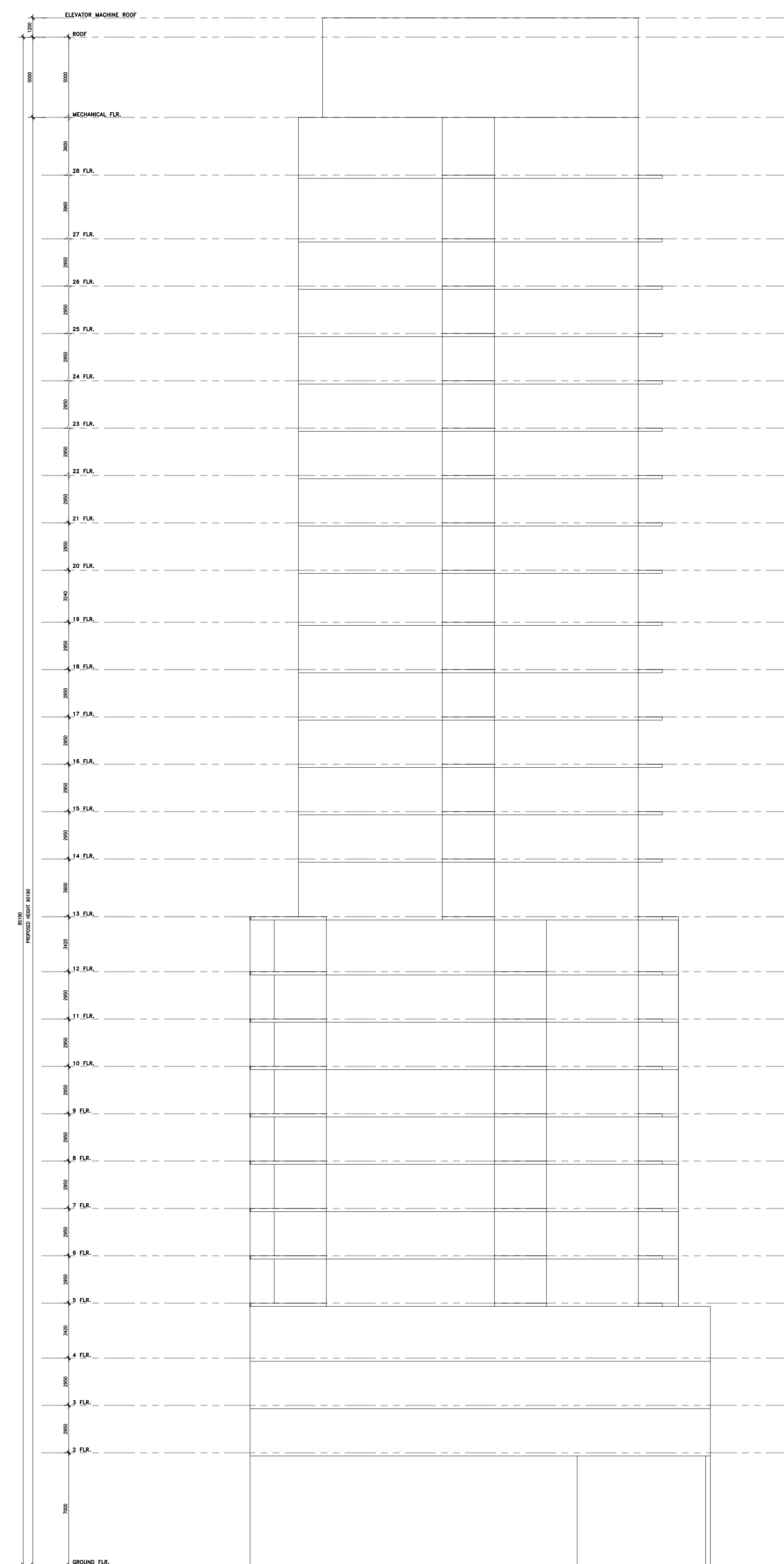
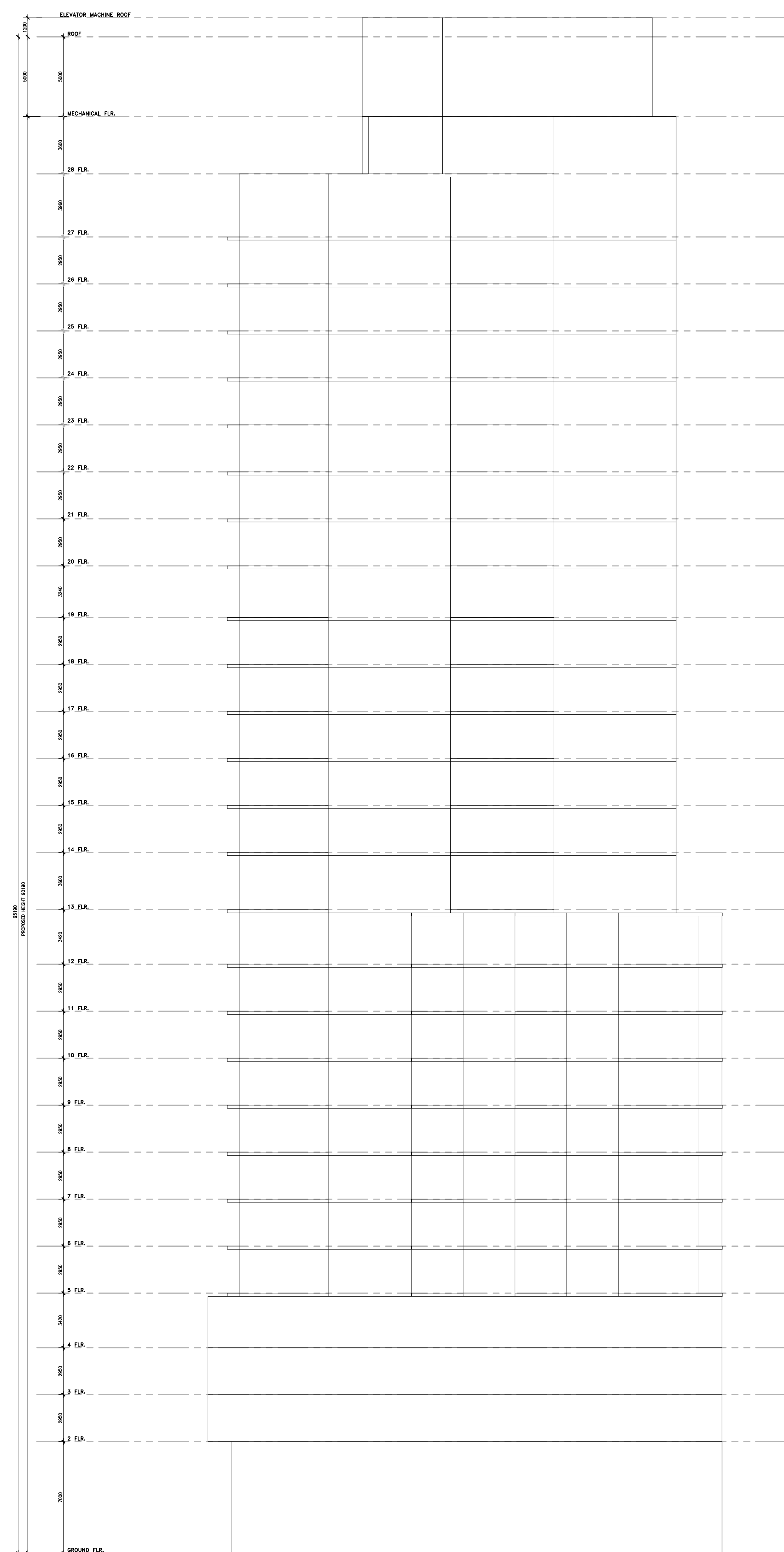
THE GOLDMAN GROUP LASH GROUP OF COMPANIES
 55 ST. CLAIR AVENUE WEST, SUITE 500 10 WOODMERE CRES. SUITE 200
 TORONTO, ONTARIO M5V 2T7 TORONTO, ONTARIO M4W 3G5

Sheet Title
ELEVATION

North	Scale
Date Revisd 23 DEC 2022	Date 23 DEC 2022
Drawn By	Scale 1:150
Checked By	Revision Number

JOB No: **P2019-010** Sheet No: **SPA 401**

LEGEND	
①	VISION GLASS
②	SPANDREL GLASS
③	PRECAST PANEL
④	PREFINISHED METAL PANEL
⑤	STONE VENEER/GRANITE
⑥	ALUM. & GLASS RAILING
⑦	STUCCO



ELEVATION: SOUTH

ELEVATION: EAST

NOTE: A MINIMUM OF 85% OF ALL EXTERIOR GLAZING WITHIN THE FIRST 16 M OF THE BUILDING ABOVE GRADE WILL BE TREATED WITH BIRD-FRIENDLY STRATEGIES. *

NO	DATE	REMARKS
REVISIONS		
<small>CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR OBTAINING ANY DISCREPANCIES TO THE ARCHITECT BEFORE COMMENCING THE WORK. PRINTS ARE NOT TO BE SCALED.</small>		

RICHMOND | Architects Ltd.

55 EGLINTON AVENUE EAST T 416 961 1567
 SUITE 802
 TORONTO, ONTARIO M4P 1G8 RICHMONDARCH.COM

JOB TITLE
RESIDENTIAL TOWER PROPOSAL
 5-15 RAGLAN AVENUE, TORONTO, ON.

THE GOLDMAN GROUP LASH GROUP OF COMPANIES
 55 ST. CLAIR AVENUE WEST, SUITE 500 10 KENNEDY CRESCENT, SUITE 200
 TORONTO, ONTARIO M5V 2T7 TORONTO, ONTARIO M3J 3K3

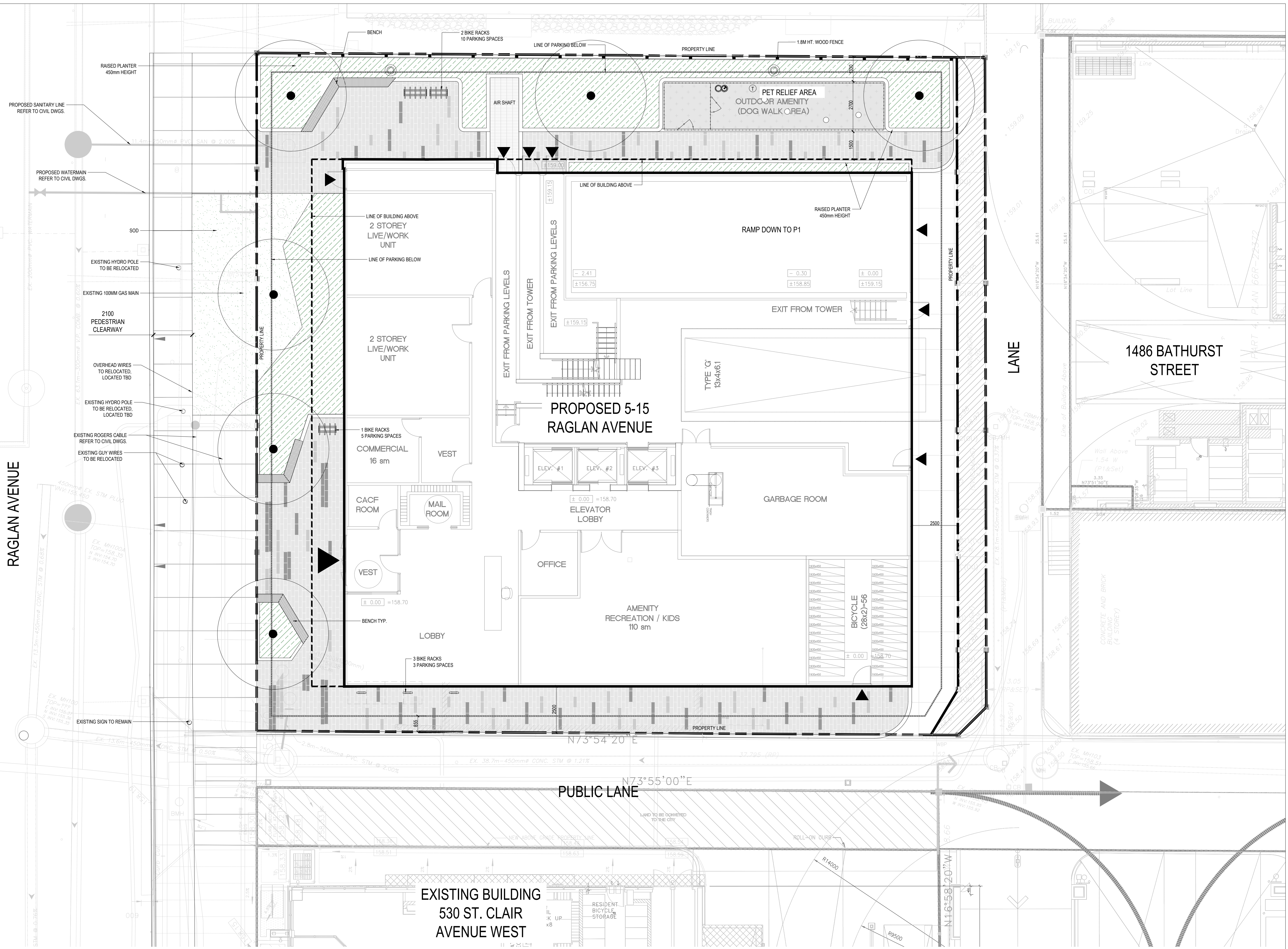
Sheet Title
ELEVATION

North	Scale
Date Plotted 23 DEC 2022	Date 23 DEC 2022
Drawn By	Scale 1:150
Checked By	Revision Number

JOB No:	P2019-010	Sheet No:	SPA 402
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LEGEND

- PEDESTRIAN UNIT PAVEMENT SRI >29
- CONCRETE PAVING
- PLANTING
- SOD
- BENCH
- BIKE RACKS
- WOOD FENCE 1.8M HEIGHT, ON RAISED PLANTER
- METAL FENCE 1.2M HEIGHT



RAGLAN AVENUE

PROPOSED 5-15 RAGLAN AVENUE

1486 BATHURST STREET

PUBLIC LANE

EXISTING BUILDING 530 ST. CLAIR AVENUE WEST

GENERAL NOTES:

- ALL DRAWINGS ARE IN METRIC SCALE. DIMENSIONS UNDER 1000mm ARE SHOWN AS A WHOLE NUMBER. ALL DIMENSIONS ARE GIVEN TO FACE OF CURB AND FACE OF FOUNDATION AND SITE WALLS, UNLESS OTHERWISE INDICATED.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PROVINCIAL OR LOCAL MUNICIPAL PERMITS REQUIRED. ALL CONSTRUCTION SHALL CONFORM TO PROVINCIAL AND LOCAL MUNICIPAL STANDARDS AND CODES THAT PERTAIN TO THE SITE UNDER CONSTRUCTION.
- CONTRACTOR SHALL ARRANGE FOR UTILITY STAKING PRIOR TO START OF CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE PRIOR TO CONSTRUCTION TO BECOME FAMILIAR WITH EXISTING CONDITIONS. IF ANY DISCREPANCIES EXIST BETWEEN THE DRAWINGS AND ACTUAL SITE CONDITIONS, CONTRACTOR SHALL BRING THIS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- EXISTING UNDERGROUND UTILITIES SHOWN ON THE DRAWINGS ARE PLOTTED FROM ORIGINAL SITE DRAWINGS AND/OR SITE TOPOGRAPHIC SURVEY. EVERY ATTEMPT HAS BEEN MADE TO SHOW ALL UTILITY LINES WHERE THEY EXIST. CONTRACTOR SHALL USE EVERY PRECAUTION IN EXCAVATING SINCE ACTUAL UNDERGROUND UTILITIES MAY NOT BE AS SHOWN. CONTRACTOR SHALL MAKE HIMSELF THOROUGHLY FAMILIAR WITH ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO ANY EXCAVATION AND VERIFY LOCATIONS AND DEPTHS OF ALL UTILITIES.
- CONTRACTOR SHALL PROVIDE HIS OWN LAYOUT, GRADING, STAKING, AND SURVEYING REQUIRED FOR CONSTRUCTION. REFER TO EXISTING SURVEY FOR BENCHMARKS AND OTHER EXISTING INFORMATION. CONTRACTOR SHALL FIELD VERIFY LAYOUT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL PROTECT ALL EXISTING AND NEW CONSTRUCTION FROM DAMAGE. SHOULD ANY DAMAGE OCCUR, CONTRACTOR SHALL MAKE ALL NECESSARY REPAIRS AT NO COST TO THE OWNER.
- CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS ON SITE.
- PROVIDE BARRIERS OR OTHER PROTECTION TO KEEP VEHICULAR AND PEDESTRIAN TRAFFIC AWAY FROM CONSTRUCTION AREA AND OFF NEWLY PAVED AREAS BEFORE ASPHALT OR CONCRETE HAS CURED. DO NOT LEAVE ANY HOLES OPEN OVERNIGHT.
- KEEP AREA OUTSIDE CONSTRUCTION ZONE CLEAN AND USABLE BY OTHERS AT ALL TIMES.
- CONTRACTOR SHALL SUBMIT SAMPLES OF ALL PROPOSED MATERIALS FOR APPROVAL PRIOR TO PLACING ORDERS.
- ALL WORK SHALL BE INSPECTED BY LANDSCAPE ARCHITECT PRIOR TO PAYMENT APPROVAL.
- CONTRACTOR SHALL PROVIDE MARKED-UP REDLINE PLANS SHOWING AS-BUILT SITE CONDITIONS TO THE LANDSCAPE ARCHITECT, PRIOR TO OBTAINING APPROVAL OF SUBSTANTIAL COMPLETION.
- AT ALL EDGES OF EXISTING SIDEWALK OR CURB AGAINST WHICH NEW CONCRETE IS TO BE PLACED, SAWCUT AND REMOVE EXISTING CONCRETE BACK TO THE NEAREST CONTRACTION JOINT TO PROVIDE A SMOOTH TRANSITION TO THE NEW CONCRETE.
- INSTALL EXPANSION JOINTS AT ALL LOCATIONS WHERE NEW CONCRETE MEETS EXISTING CONCRETE PAVEMENT, SLABS, OR FOOTINGS.
- INSTALL EXPANSION JOINTS AT MAXIMUM 6 METER INTERVAL.
- FINAL LOCATION OF TREES SHALL BE CO-ORDINATED WITH ENGINEERING UTILITIES AND D.I.P.S. STANDARDS.
- URBAN ENTRANCES SHALL BE CONSTRUCTED PER CITY OF TORONTO STANDARD T-350.01. FOR DETAILS REFER TO CIVIL DRAWINGS.
- CONTRACTOR SHALL LOCATE ALL UTILITIES IN THE FIELD.
- THE ASPHALT OR CONCRETE THICKNESS ON PROPOSED PRIVATE DRIVEWAY ENTRANCES SHALL BE CONSTRUCTED PER CITY STANDARD T-310.050-8.
- REFER TO ELECTRICAL DRAWINGS FOR LIGHT POLE DETAILS.
- AN IRRIGATION SYSTEM SHALL BE PROVIDED FOR THE ENTIRE SITE.
- THE WATER SUPPLY SHALL BE COORDINATED WITH THE BUILDING MECHANICAL CONTRACT AND TAKEN FROM THE P-1 MECHANICAL ROOM. THE IRRIGATION ELECTRICAL WORK SHALL BE COORDINATED WITH OTHER ELECTRICAL CONTRACT.
- REFER TO CIVIL ENGINEERING DRAWINGS FOR ROADWAY LAYOUT AND DESIGN CURBS AND UNDERGROUND UTILITIES.
- REFER TO TRAFFIC ENGINEERING DRAWINGS FOR ROAD SIGNALIZATION, ROAD SIGNAGE AND PAINT MARKINGS.
- REFER TO ARCHITECTURAL DRAWINGS FOR PROPOSED BUILDING INFORMATION.

2	ISSUED FOR ZBA	2023-01-12	GF
1	ISSUED FOR SPA	2021-10-04	GF
no.	revision	date	by

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
 ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF THE LANDSCAPE ARCHITECT WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK.
 ALL DRAWINGS TO BE USED FOR CONSTRUCTION ONLY WHEN SIGNED BY THE LANDSCAPE ARCHITECT.

signed _____ date _____



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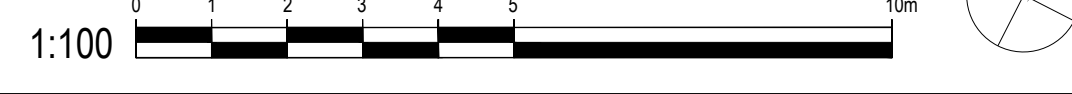
CLIENT
 5-15 Raglan Avenue
 TORONTO, ONTARIO

PROJECT
 GROUND FLOOR LANDSCAPE PLAN

DRAWING
 GF
 CHECKED:
 SCALE: 1:100
 DATE: 2021-7-8
 PROJECT NO.: 20-126



SHEET NO.: LS-100



RAGLAN AVENUE

LANE

1486 BATHURST STREET

PROPOSED 5-15 RAGLAN AVENUE

EXISTING BUILDING
530 ST. CLAIR AVENUE WEST



Toronto Green Standard Version 4
Soil volume for Tree Planting

	Location (City ROW, private property)	Planting Area (m ²)	Soil Cell Area (m ²)	Soil Depth(m*)	Soil Volume (m ³)	Total Soil Volume (m ³)	Tree Quantity	Soil Volume per tree (m ³)	Irrigation provided (Yes/No)	Soil Cells (Yes/No)
1	Private Property	60	29	1.2	20	92	3	30	Yes	Yes
2	Private Property	78	N/A	1.2	93	93	3	31	Yes	No
Totals					185	185	6		Yes	

* Soil depth excludes drainage layer



2	ISSUED FOR ZBA	2023-01-12	GF
1	ISSUED FOR SPA	2021-10-04	GF
no.	revision	date	by

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signed _____ date _____



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CLIENT 5-15 Raglan Avenue

PROJECT TORONTO, ONTARIO

SOIL VOLUME PLAN

DRAWING GF

CHECKED:

SCALE: 1:100

DATE: 2021-7-8

PROJECT NO: 20-126



LS-101

SHEET NO.

January 10, 2023 10:28 AM I:\9-PROJECTS\2020\001-28 & 13 RAGLAN\9-CADD\1-CURRENT\LOT01-PRELIMINARY\20-28-SOIL VOLUME PLAN.DWG

