

# PUBLIC APPENDIX "B"

Authority: Toronto and East York Community Council Item XX, adopted by the City of Toronto Council on --. 2023.

## CITY OF TORONTO

### BY-LAW No. XXX-2023

**To amend Zoning By-law No. 569-2013, as amended, for the former City of Toronto with respect to the lands municipally known as 160 John Street**

WHEREAS authority is given to the Council of a municipality by Section 34 of the Planning Act, R.S.O. 1990, c.P. 13, as amended, to pass Zoning By-laws;

WHEREAS Council of the City of Toronto has provided adequate information to the public and has held at least one public meeting in accordance with the Planning Act;

WHEREAS Council of the City of Toronto, at its meeting on \_\_\_\_\_, 2023, determined to amend the former City of Toronto Zoning By-law No. 569-2013 with respect to lands known municipally in the year 2023 as 160 John Street;

The Council of the City of Toronto ENACTS:

1. The lands subject to this By-law are outlined by heavy black lines on Diagram 1 attached to this By-law.
2. The words highlighted in bold type in this By-law have the meaning provided in Zoning By-law No. 569-2013, Chapter 800 Definitions.
3. Zoning By-law No. 569-2013, as amended, is further amended by amending the zone label on the Zoning By-law Map in Section 990.10 respecting lands outlined by heavy black lines to CR (XXX), as shown on Diagram 2 attached to this Bylaw;
4. Zoning By-law No. 569-2013, as amended, is further amended by adding to Article 900.11.10 Exception Number (XX); so it reads:

#### **(XX) Exception CR (XX)**

The lands, or a portion thereof as noted below, are subject to the following Site Specific Provisions.

Site Specific Provisions:

- (A) Regulation 40.10.40.1(2) with respect to the location of entrances and **first floor** elevation, does not apply;

- (B) Despite regulations 40.10.40.10(3), and 40.10.40.70(2)(G) no portion of any building or structure on the **lot** may have a **height** greater than the height in metres specified by the number following the “HT” symbol as shown on Diagram 3, excluding:
- (i) wind screens, elevator overruns, mechanical equipment and any associated enclosure structures, parapets, awnings, fences, guard rails, snow guard, railings and dividers, pergolas, trellises, balustrades, eaves, screens, stairs, roof drainage, window sills, window washing equipment, chimneys, vents, terraces, lightning rods, light fixtures, architectural features, landscaping, and elements of a green roof, which may project above the height limits shown on Diagram 3;
- (C) Despite regulations 40.10.40.10, 40.10.40.70(2)(G) and subsection (B) above, any building on the lot must not penetrate a 45 degree angular plane measured from a height of 34.3 metres from **grade** at the north lot line;
- (D) Regulation 40.10.40.10(5) with respect to minimum height of the first **storey** does not apply.
- (E) Despite regulation 40.10.40.40, the maximum non-residential **gross floor area** on the lot must not exceed 4,200 square metres;
- (F) Despite regulation 40.10.40.70(2); The portions of a building or structure above ground must be located within the areas delineated by heavy lines on Diagram 3 attached to and forming part of this By-law, except that:
- (i) cornices, light fixtures, ornamental elements, parapets, art and landscape features, patios, decks, pillars, trellises, balconies, terraces, eaves, window sills, planters, ventilation shafts, guardrails, balustrades, snow guard, railings, stairs, stair enclosures, doors, window washing equipment, wheelchair ramps, fences, screens, site servicing features, elevated pedestrian bridge, awnings and canopies, and underground garage ramps and associated structures may extend beyond the heavy lines shown on Diagram 3 of this By-law;
- (G) Despite regulation 40.10.50.1, waste and recyclable material may be stored outside;
- (H) Despite regulation 200.5.10.1.(1), zero **parking spaces** are required;
- (I) Despite regulation 200.15.10, zero accessible **parking spaces** are required;
- (J) Despite regulation 220.5.10.(1), zero **loading spaces** are required;
- (K) Regulation 600.10 with respect to **tower setbacks** does not apply.
5. Despite any future severance, partition or division of the **lot** as shown on Diagram 1, the provisions of this By-law shall apply as if no severance, partition or division occurred.

6. For the purposes of this By-law, each word or expression that is italicized in the By-law shall have the same meaning as each such word or expression as defined in By-law No. 569-2013, as amended, with the exception of the following terms:

- (i) “**grade**” shall mean 88.325 metres Canadian Geodetic Datum
- (ii) “**height**” shall mean, the vertical distance between **grade** as defined by this by-law and the highest point of the structure, except for those elements otherwise expressly permitted in this By-law;
- (iii) “**lot**” shall mean the parcel of land outlined by heavy lines on Diagram 1 attached to and forming part of this By-law; and

ENACTED AND PASSED this \_\_\_\_\_ day of \_\_\_\_\_, 2023.

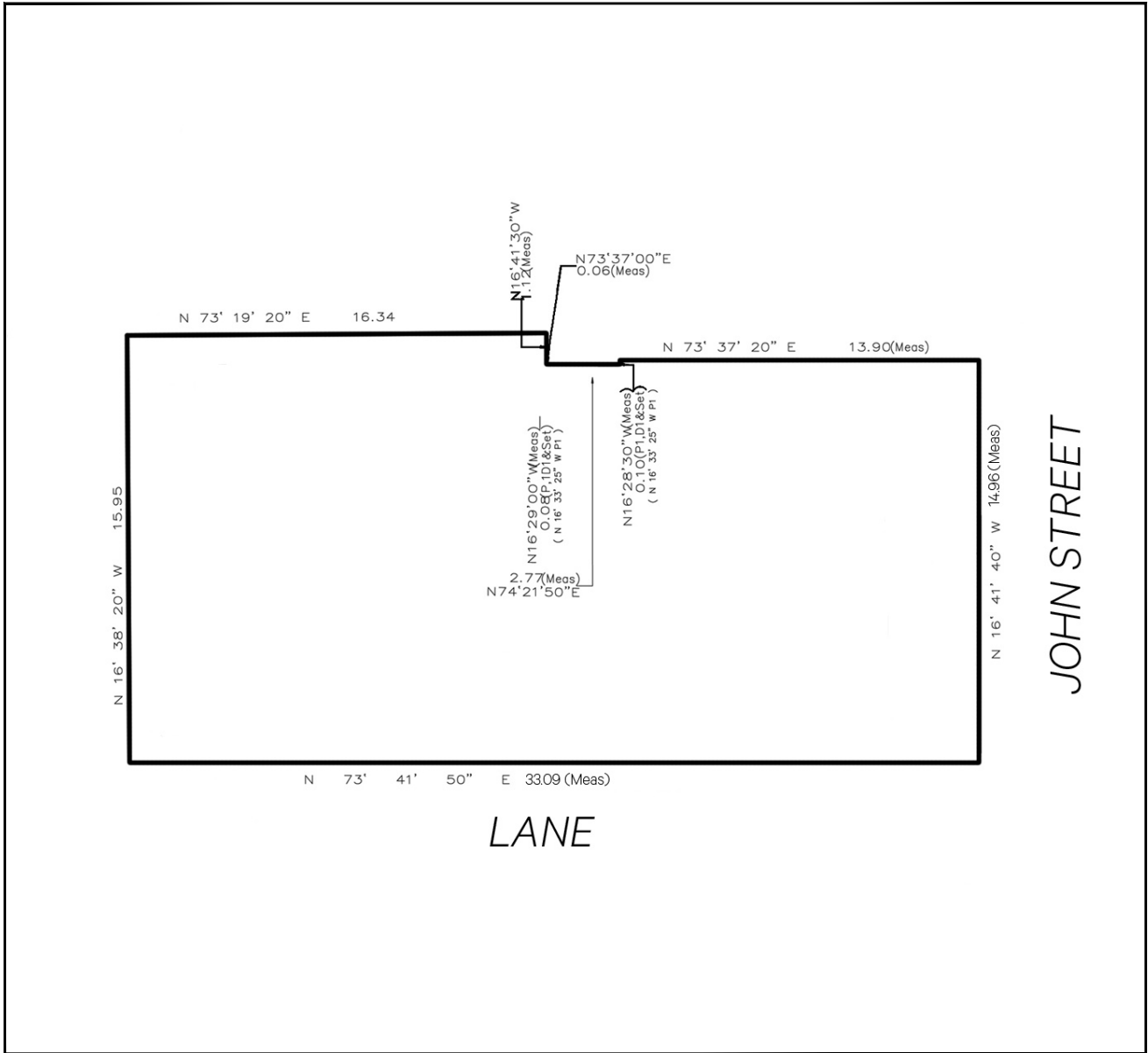
\_\_\_\_\_,

Mayor

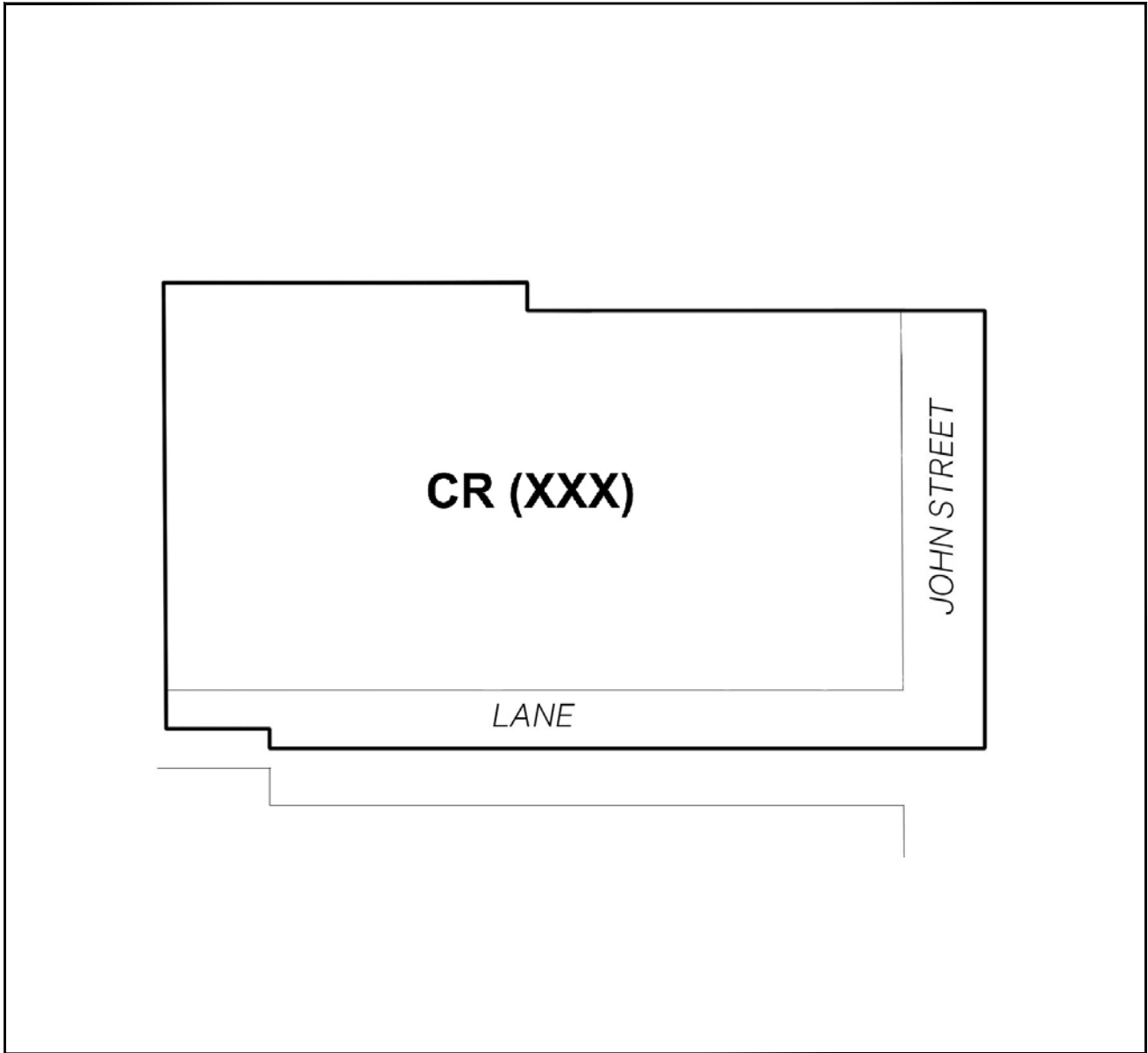
JOHN D. ELVIDGE

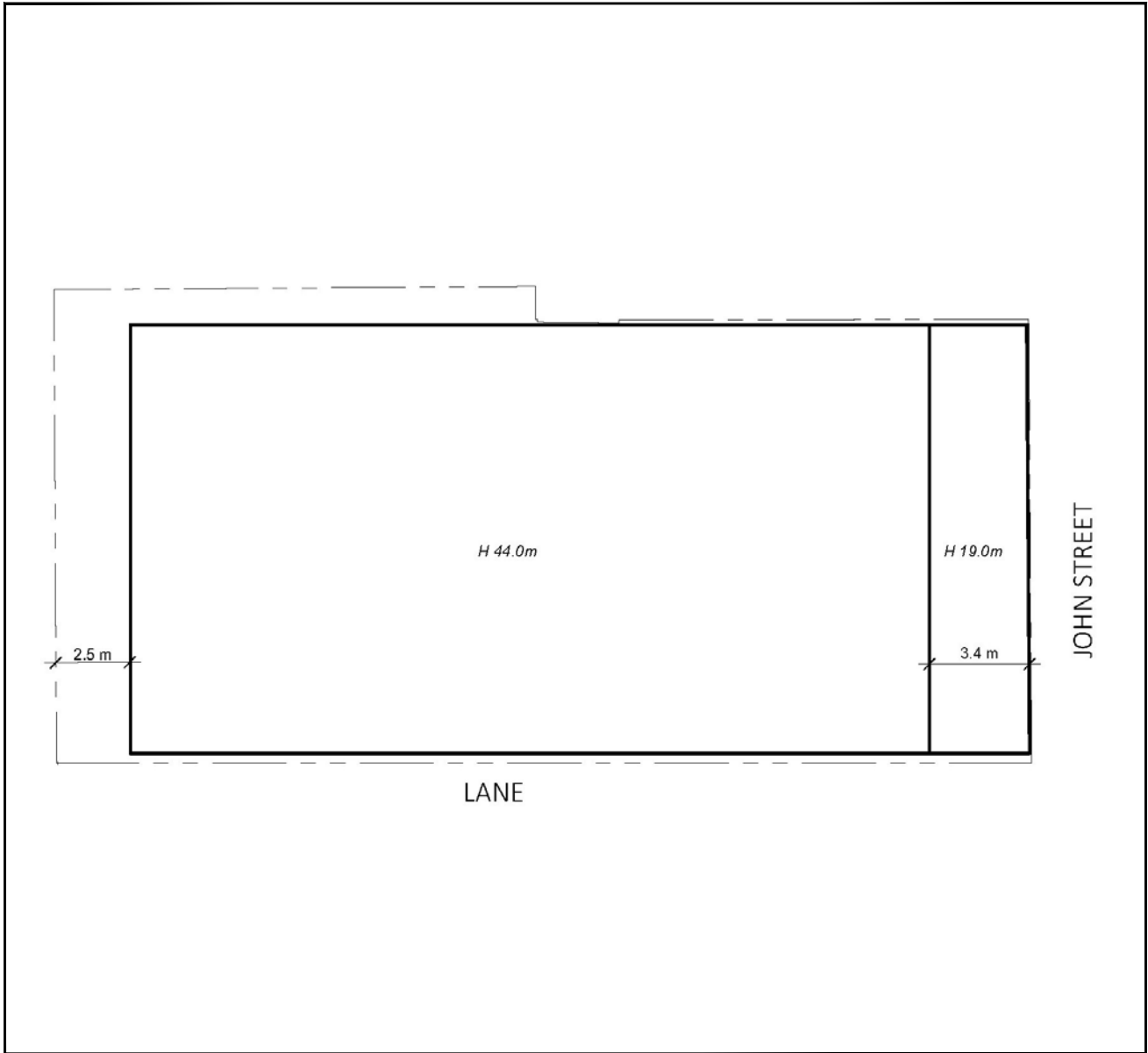
City Clerk

(Corporate Seal)













# 160 JOHN STREET TORONTO, ON. VERTICAL ADDITION ISSUED FOR REZONING JANUARY 4, 2023

Sheet List - SPA	
Sheet Number	Sheet Name

A-000	COVER
A-010	CONTEXT PLAN & SITE PLAN
A-012	AREA PLANS - 438-86
A-013	AREA PLANS - 569-2013
A-050	EXISTING PLANS
A-100	PROPOSED PLANS
A-101	PROPOSED PLANS
A-102	PROPOSED PLANS
A-300	EXISTING ELEVATIONS
A-310	PROPOSED ELEVATION
A-311	PROPOSED ELEVATION
A-320	NORTH FACADE & PROPERTY LINE DETAIL
A-350	RENDERED ELEVATIONS
A-400	BUILDING SECTIONS
A-500	BUILDING ENTRANCE DETAILS
A-600	SUN SHADOW STUDY EXISTING MARCH / SEPTEMBER
A-601	SUN SHADOW STUDY EXISTING JUNE
A-602	SUN SHADOW STUDY EXISTING DECEMBER
A-603	SUN SHADOW STUDY PROPOSED MARCH / SEPTEMBER
A-604	SUN SHADOW STUDY PROPOSED JUNE
A-605	SUN SHADOW STUDY PROPOSED DECEMBER

\*REFER TO A-012 & A-013 FOR AREA PLAN DIAGRAMS OF GROSS FLOOR AREA CALCULATIONS AS PER BY-LAW 569-2013 & 438-86

## 160 John Street

### Site Statistics

Site Area (m <sup>2</sup> )	511.72	
Lot Coverage		
Building Footprint (m <sup>2</sup> )	449.15	
Lot Coverage Ratio	0.88	
GFA (m <sup>2</sup> )	Existing	Proposed
Non-Residential GFA		
569-2013	2012.2	4118.0
438-86	2219.9	4350.3

Height	Existing	Proposed
(Grade @ 88.325 m)		
in storeys	5	11
in metres	18.915 (Top of Parapet)	43.67 (Peak of Roof)

Vehicular Parking	Required	Proposed
Total	10 spaces/ 13 spaces	-

Loading Parking	Required	Proposed
Total	1 - Type B, 1 - Type C	-

Bicycle Parking	Required	Proposed
Long Term	6	16 (3.95% of L1 GFA)
Short Term	9	22 (5.45% of L1 GFA)

Outdoor Building Amenity Space	Required	Proposed
	-	(63.5m <sup>2</sup> terrace on L6 - for office tenants only)

### GFA by Use - Existing

LEVEL	SQUARE METERS	USES BY OCCUPANCY						TOTAL DEDUCTIONS AS PER ZBL <sup>1</sup>	TOTAL DEDUCTIONS AS PER ZBL <sup>2</sup>	TOTAL NON-RES GFA <sup>1</sup>	TOTAL NON-RES GFA <sup>2</sup>	EXTERIOR TERRACES
		Office	Restaurant	Major Vertical Penetration	Shaft	M&E	Bike Parking					
Sub-Basement		51.9				33.5	85.4	33.5	-	51.9	-	
Level 1*		46.1	339.1	41.6	2.0	20.4	41.6	22.4	407.6	426.8	-	
Level 2		360.7	-	41.6	2.5	-	41.6	2.5	363.2	402.3	-	
Level 3		410.0	-	36.3	3.8	-	36.3	3.8	413.8	446.3	-	
Level 4		410.0	-	36.3	3.8	-	36.3	3.8	413.8	446.3	-	
Level 5		410.0	-	36.3	3.8	-	36.3	3.8	413.8	446.3	-	
<b>TOTALS</b>		<b>1,688.7</b>	<b>339.1</b>	<b>192.1</b>	<b>15.9</b>	<b>53.9</b>	<b>0.0</b>	<b>277.5</b>	<b>69.8</b>	<b>2,012.2</b>	<b>2,219.9</b>	<b>0.0</b>

1 - Deductions & Total Non-Residential GFA - per Bylaw 569-2013

2 - Deductions & Total Non-Residential GFA - per Bylaw 438-86

\*Entry lobby counted as Office GFA on L1

### GFA by Use - Proposed

LEVEL	SQUARE METERS	USES BY OCCUPANCY						TOTAL DEDUCTIONS AS PER ZBL <sup>1</sup>	TOTAL DEDUCTIONS AS PER ZBL <sup>2</sup>	TOTAL NON-RES GFA <sup>1</sup>	TOTAL NON-RES GFA <sup>2</sup>	EXTERIOR TERRACES
		Office	Restaurant	Corridor	Major Vertical Penetration	Shaft	M&E					
Sub-Basement		24.7			14.8	91.6	131.1	131.1	-	-	-	
Level 1*		93.9	231.9		46.5	2.9	24.2	31.12 / 24.14 <sup>2</sup>	448.1	448.1	-	
Level 2		396.8			49.2	2.1	-	-	448.1	448.1	-	
Level 3		409.8			38.7	2.1	-	-	450.6	450.6	-	
Level 4		409.8			38.7	2.1	-	-	450.6	450.6	-	
Level 5		405.8			42.1	2.1	-	-	450.0	450.0	-	
Level 6		325.7			38.9	2.2	-	42.1	325.7	365.8	63.50	
Level 7		352.4			39.9	2.2	-	42.1	352.4	392.3	-	
Level 8		352.4			39.9	2.2	-	42.1	352.4	392.3	-	
Level 9		352.4			39.9	2.2	-	42.1	352.4	392.3	-	
Level 10			335.7		39.9	2.2	-	42.1	335.7	375.6	-	
Level 11			138.5	13.5	32.8	2.5	108.2	143.5	110.7	184.8	-	
Level 11 - Mezz							194.1	194.1	-	-	-	
<b>TOTALS</b>		<b>3,123.7</b>	<b>706.1</b>		<b>462.3</b>	<b>24.8</b>	<b>418.1</b>	<b>(31.12 / 24.14)<sup>2</sup></b>	<b>4,118.0</b>	<b>4,350.3</b>	<b>63.5</b>	

1 - Deductions & Total Non-Residential GFA - per Bylaw 569-2013

2 - Deductions & Total Non-Residential GFA - per Bylaw 438-86

\*Entry lobby counted as office GFA on L1 (also functions as accessible entrance to L1 pub/café & lobby for L10/L11 restaurant use)

\*\*Bike Parking and change facilities as required by each by-law (16 spots required per 569-2013, 6 spots required by 438-86)

\*\*\*Total Bike Parking area provided

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THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL ISSUED FOR THAT PURPOSE BY THE DESIGNER.

NO.	DATE	REVISION / COMMENT
1	15 08 2018	Issued for Coordination
2	31 08 2018	Issued for Coordination
3	13 09 2018	Issued for SPA #1
4	14 02 2020	Issued for SPA #2
5	03 02 2022	Issued for SPA #3
7	06 12 2022	Subject to Mediation Privilege
8	04 01 2023	Issued for Rezoning

### NOTES

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Civil Consultant  
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W. valdorengineering.com



160 JOHN STREET  
160 John Street  
Toronto, ON

VERTICAL ADDITION

COVER

PROJECT 41826 DRAWN FP  
SCALE CHECKED LB  
DATE 04/01/2023 PLOTTED

# A-000



**Mid to High Rise Residential and all New Non-Residential Development**

The Toronto Green Standard Version 3.0 Statistics Template is submitted with Site Plan Control Applications and stand alone Zoning Bylaw Amendment applications. Complete the table and copy it directly onto the Site Plan submitted as part of the application.  
 For Zoning Bylaw Amendment applications: complete General Project Description and Section 1.  
 For Site Plan Control applications: complete General Project Description, Section 1 and Section 2.  
 For further information, please visit [www.toronto.ca/greendevlopment](http://www.toronto.ca/greendevlopment)

General Project Description	Proposed
Total Gross Floor Area	4350.3m <sup>2</sup> (per 438-86) / 4118.0m <sup>2</sup> (per 569-2013)
Breakdown of project components (m <sup>2</sup> )	
Residential	0
Retail	0
Commercial	3123.7m <sup>2</sup> (Office) + 706.1 (Restaurant)
Industrial	0
Institutional/Other	0
Total number of residential units	0

**Section 1: For Stand Alone Zoning Bylaw Amendment Applications and Site Plan Control Applications**

Automobile Infrastructure	Required	Proposed	Proposed %
Number of Parking Spaces	10/13	0	0
Number of parking spaces dedicated for priority LEV parking	N/A	N/A	N/A
Number of parking spaces with EVSE	0	0	0

Cycling Infrastructure	Required	Proposed	Proposed %
Number of long-term bicycle parking spaces (residential)	N/A		
Number of long-term bicycle parking spaces (all other uses)	6	16	260%
Number of long-term bicycle parking (all uses) located on:			
a) first storey of building	6	6	100%
b) second storey of building	0		
c) first level below-ground	0		
d) second level below-ground	0		
e) other levels below-ground	0		

Cycling Infrastructure	Required	Proposed	Proposed %
Number of short-term bicycle parking spaces (residential)	0		
Number of short-term bicycle parking spaces (all other uses)	9	22	244%
Number of male shower and change facilities (non-residential)	1	1	100%
Number of female shower and change facilities (non-residential)	INCL.		

Tree Planting & Soil Volume	Required	Proposed	Proposed %
Total Soil Volume (40% of the site area + 66 m <sup>3</sup> x 30 m <sup>3</sup> )	30m <sup>3</sup>	31m <sup>3</sup>	SEE CHECKLIST

**Section 2: For Site Plan Control Applications**

Cycling Infrastructure	Required	Proposed	Proposed %
Number of short-term bicycle parking spaces (all uses) at-grade or on first level below grade	9	22	244%

UHI Non-roof Hardscape	Required	Proposed	Proposed %
Total non-roof hardscape area (m <sup>2</sup> )	-	62.56	
Total non-roof hardscape area treated for Urban Heat Island (minimum 50% (m <sup>2</sup> ))	31.28	62.56	SEE CHECKLIST
Area of non-roof hardscape treated with (indicate m <sup>2</sup> ):			
a) high-albedo surface material		0	
b) open grid pavement		0	
c) shade from tree canopy		0	
d) shade from high-albedo structures		0	
e) shade from energy generation structures		0	
Percentage of required car parking spaces under cover (minimum 75% (non-residential only))	N/A		

Green & Cool Roofs	Required	Proposed	Proposed %
Available Roof Space (m <sup>2</sup> )	-	417.7	
Available Roof Space provided as Green Roof (m <sup>2</sup> )	83.54	39.1	9.4%
Available Roof Space provided as Cool Roof (m <sup>2</sup> )		0	
Available Roof Space provided as Solar Panels (m <sup>2</sup> )		0	

Water Efficiency	Required	Proposed	Proposed %
Total landscaped site area (m <sup>2</sup> )	-	0	
Landscaped site area planted with drought-tolerant plants (minimum 50% (m <sup>2</sup> and %) (if applicable))	N/A		

Tree Planting Areas & Soil Volume	Required	Proposed	Proposed %
Total site area (m <sup>2</sup> )	-	511.72	
Total Soil Volume (40% of the site area + 66 m <sup>3</sup> x 30 m <sup>3</sup> )	30m <sup>3</sup>	31m <sup>3</sup>	SEE CHECKLIST
Total number of planting areas (minimum of 30m <sup>2</sup> soil)	1	1	
Total number of trees planted	1	1	
Number of surface parking spaces (if applicable)	N/A		
Number of shade trees located in surface parking area interior (minimum 1 tree for 5 parking spaces)	N/A		

Native and Pollinator Supportive Species	Required	Proposed	Proposed %
Total number of plants	-	470	
Total number of native plants and % of total plants (min 50%)	235	470	100%

Bird Friendly Glazing	Required	Proposed	Proposed %
Total area of glazing of all elevations within 12m above grade (including glass balcony railings)	-	163.2	
Total area of treated glazing (minimum 85% of total area of glazing within 12m above grade) (m <sup>2</sup> )	-	143.6	88.5%
Percentage of glazing within 12m above grade treated with:			
a) Low reflectance opaque materials		0	
b) Visual markers		140.4	86.02%
c) Shading		3.4	2.46%

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PRIOR TO COMMENCEMENT OF THE WORK THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS AND LEVELS TO IDENTIFY ANY ERRORS AND OMISSIONS. ASCERTAIN ANY DISCREPANCIES BETWEEN THIS DRAWING AND THE FULL CONTRACT DOCUMENTS, AND BRING THESE ITEMS TO THE ATTENTION OF THE OWNERS FOR CLARIFICATION.

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**NOTES**

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 W. valdorengineering.com



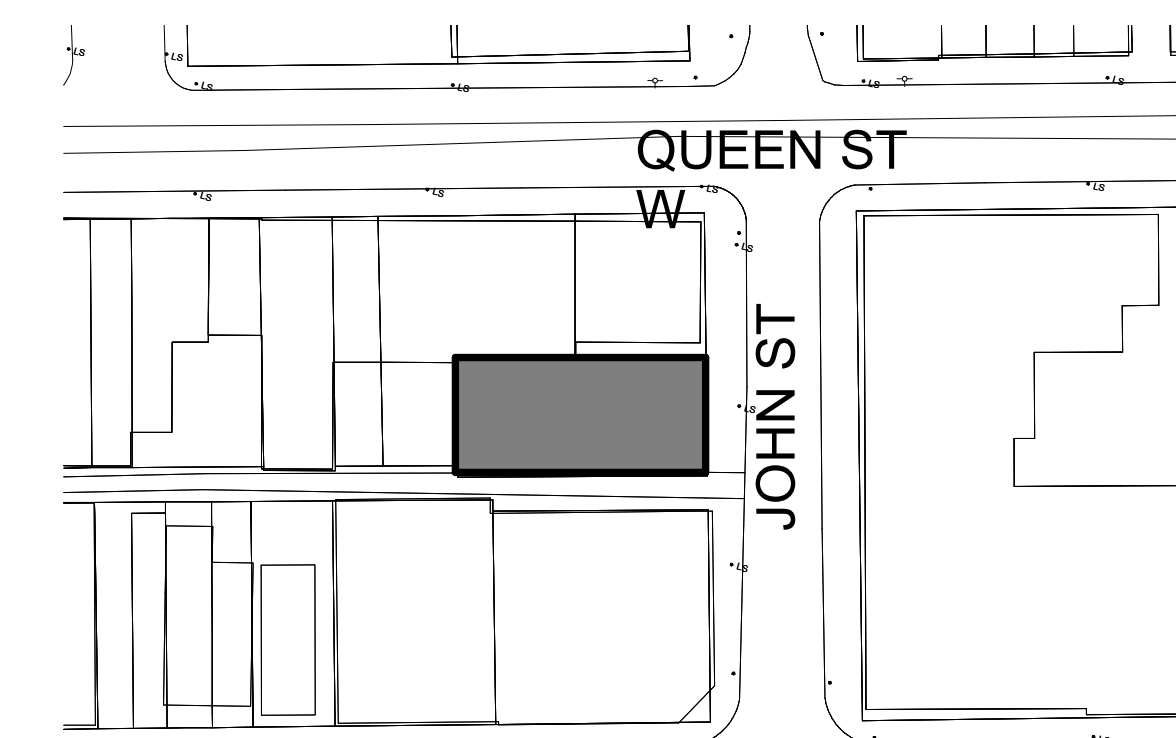
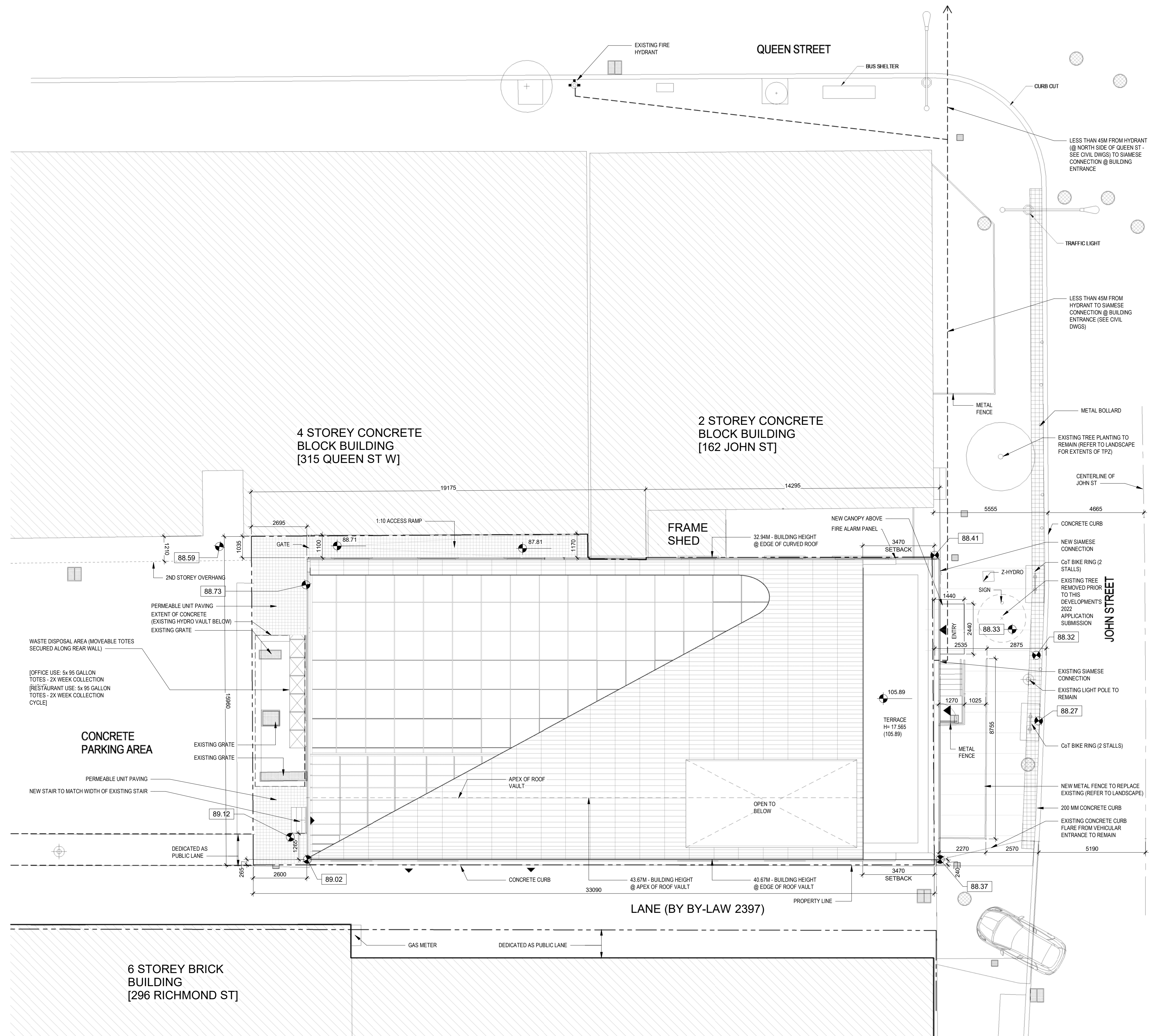
160 JOHN STREET  
 160 John Street  
 Toronto, ON

**VERTICAL ADDITION  
 CONTEXT PLAN & SITE PLAN**



PROJECT	41926	DRAWN	AE
SCALE	As indicated	CHECKED	LB
DATE	04/01/2023	PLOTTED	

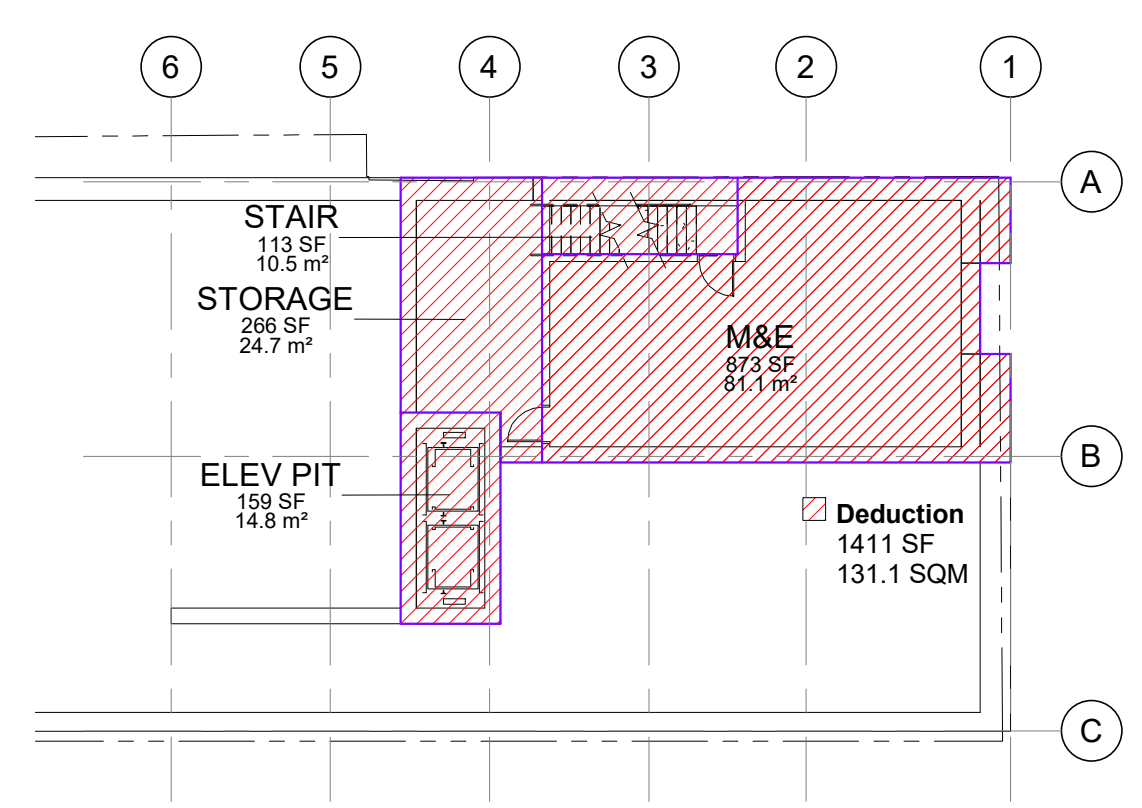
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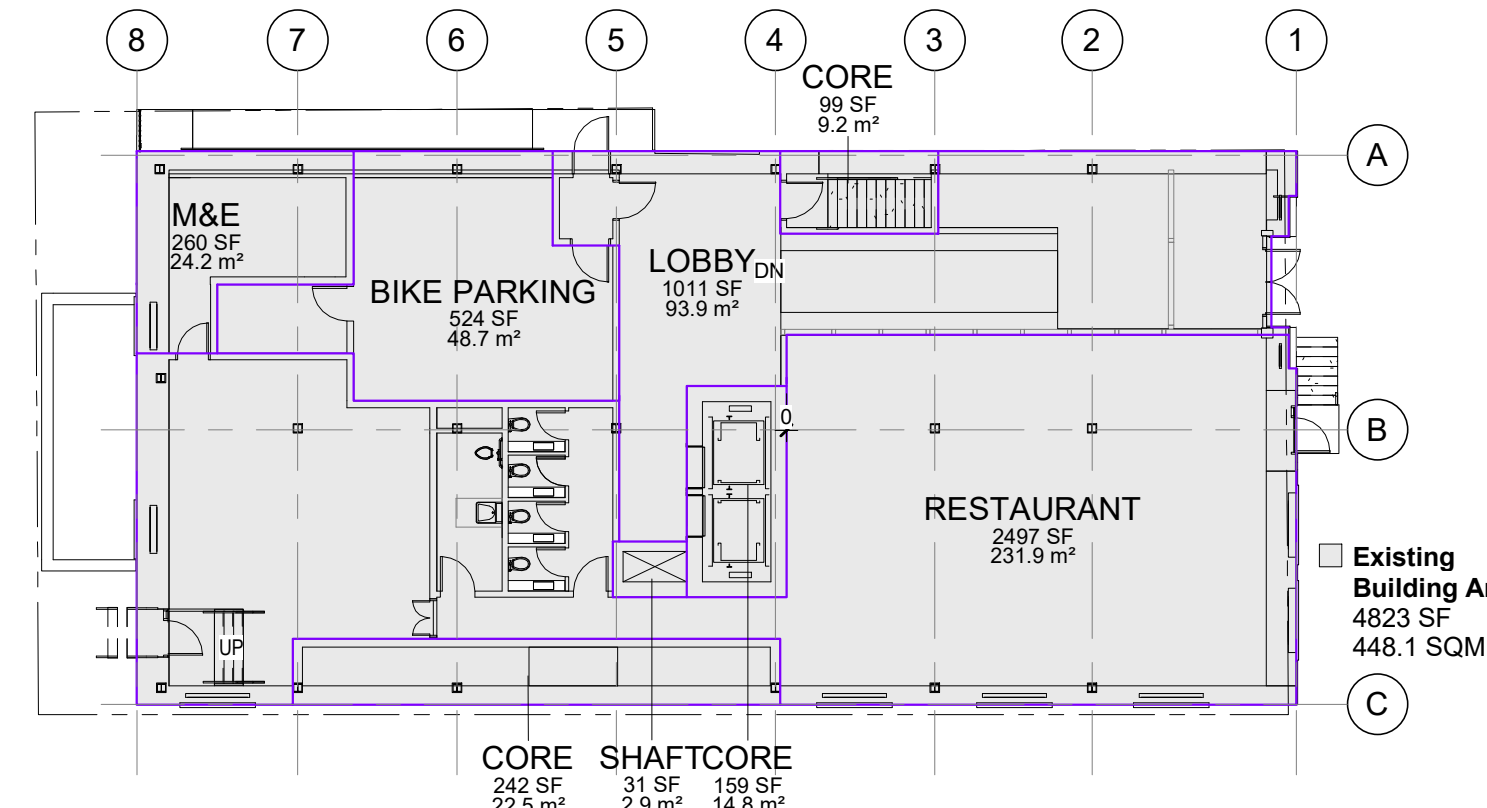
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**2 CONTEXT PLAN  
 1 : 1000**

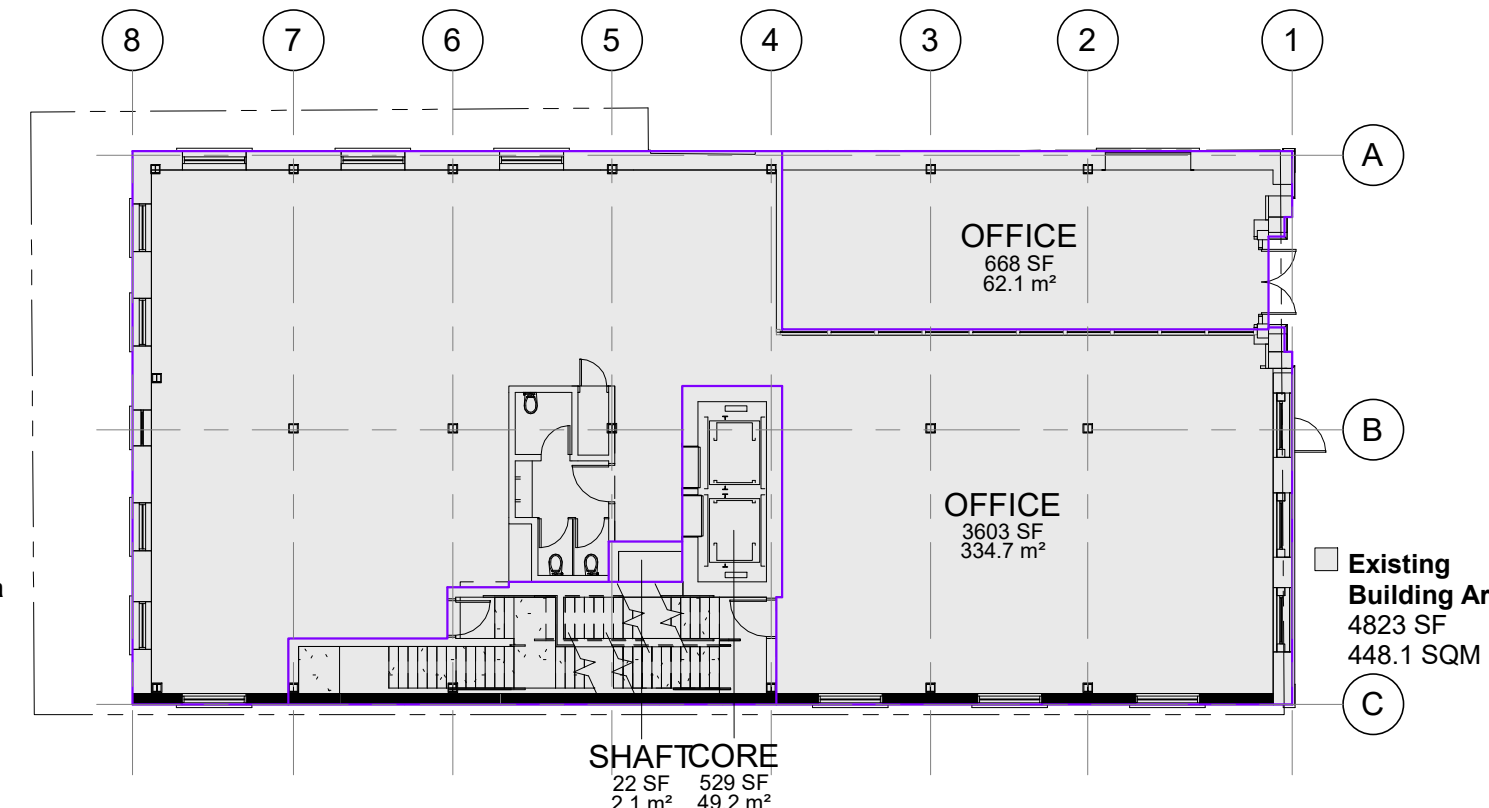




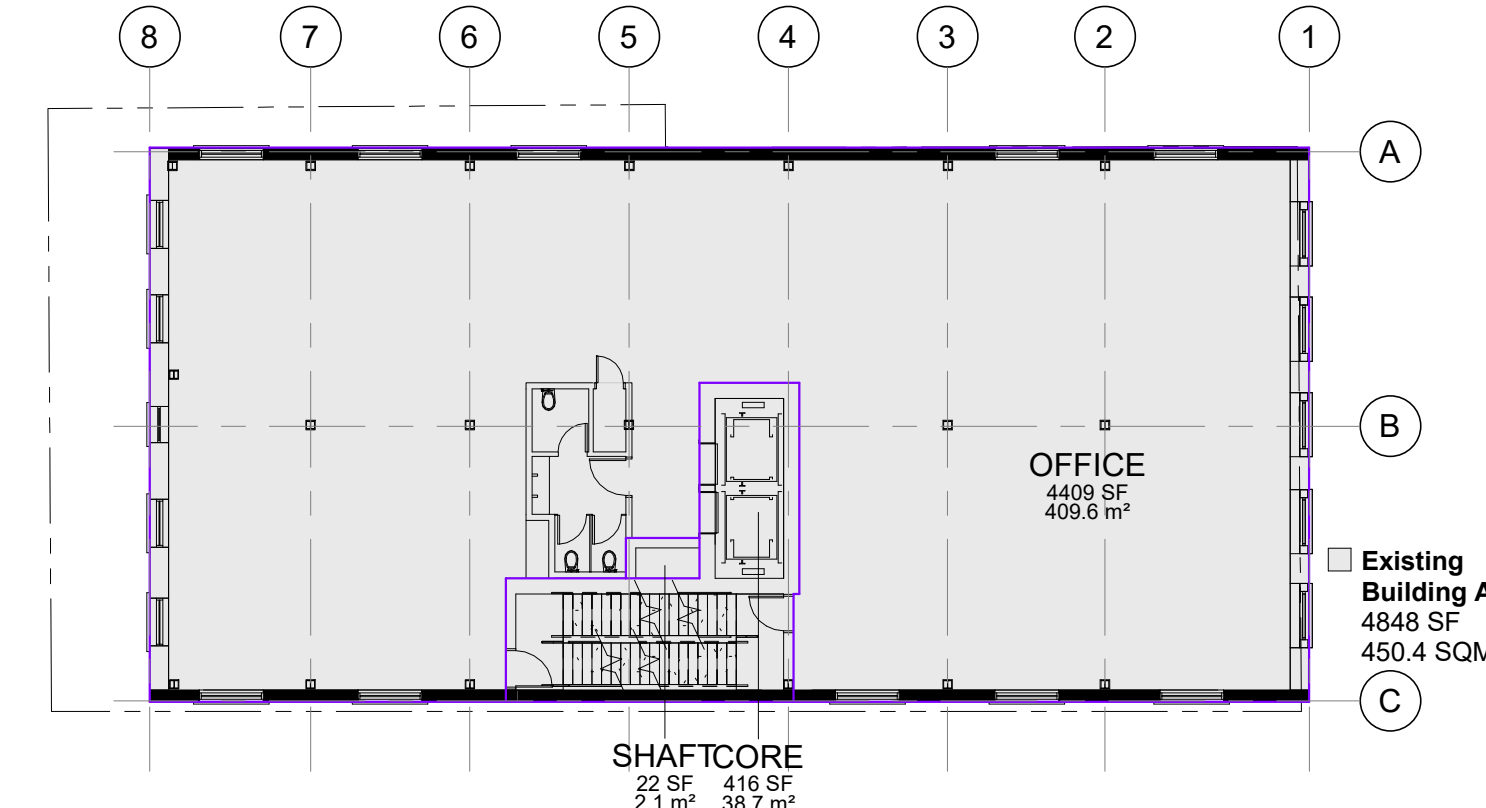
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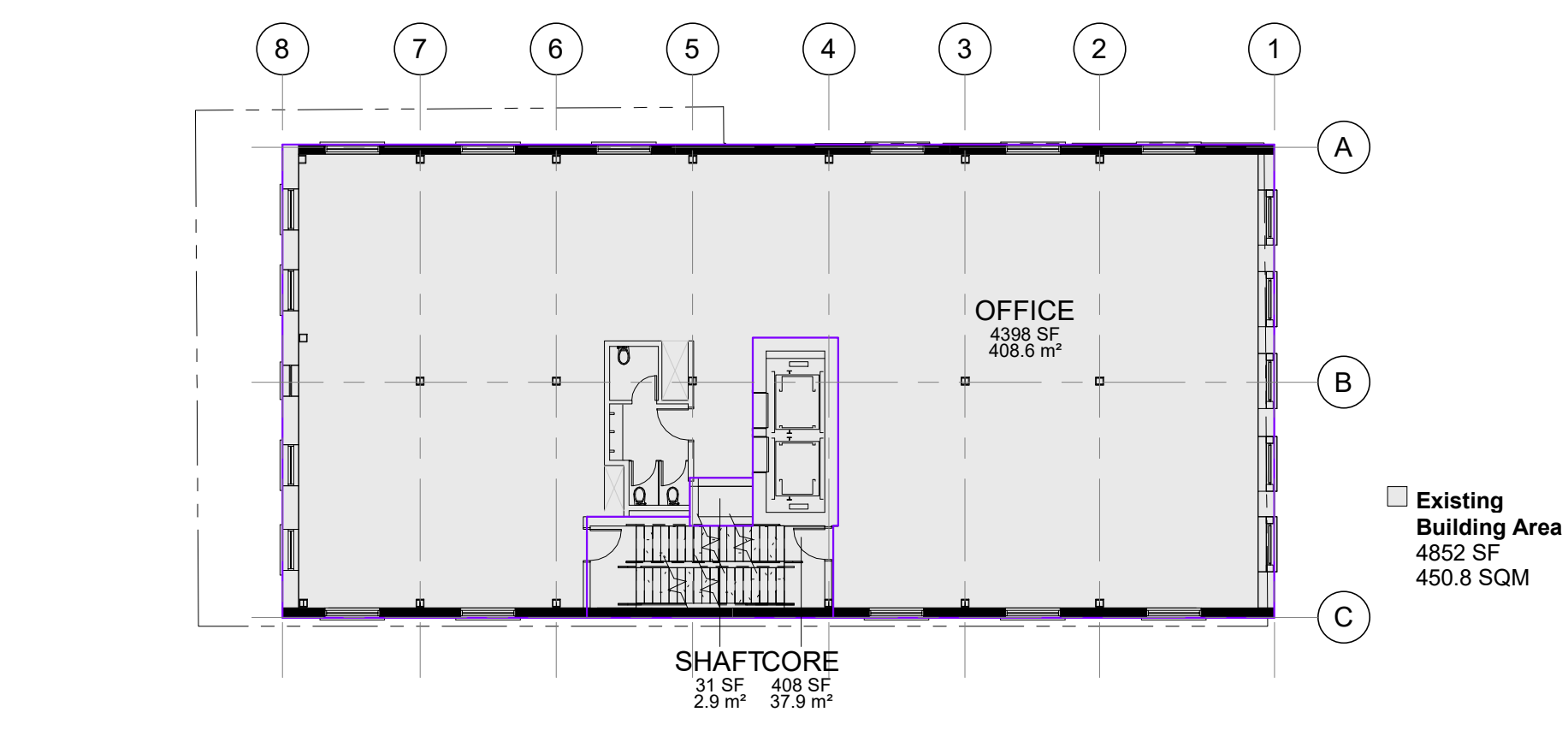
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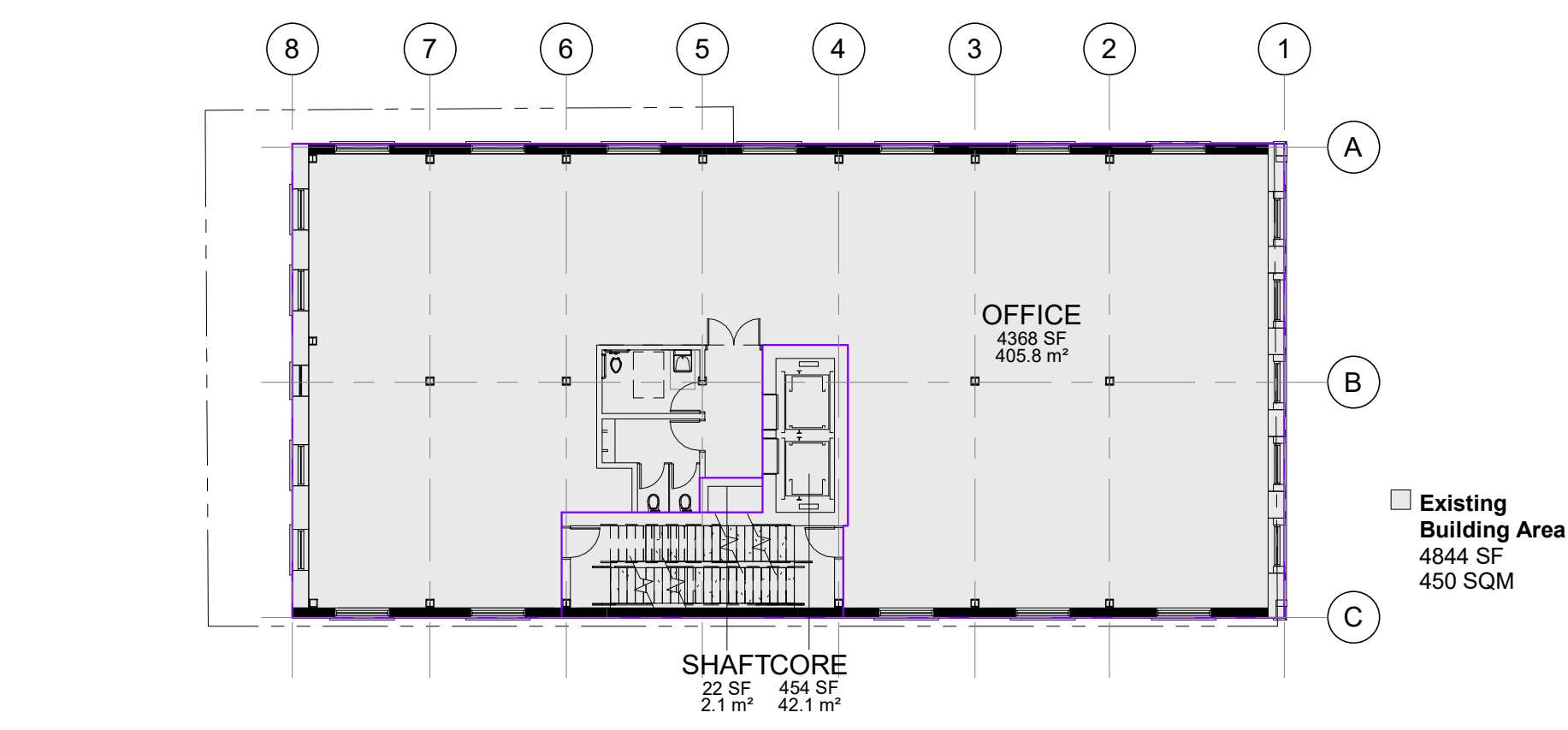
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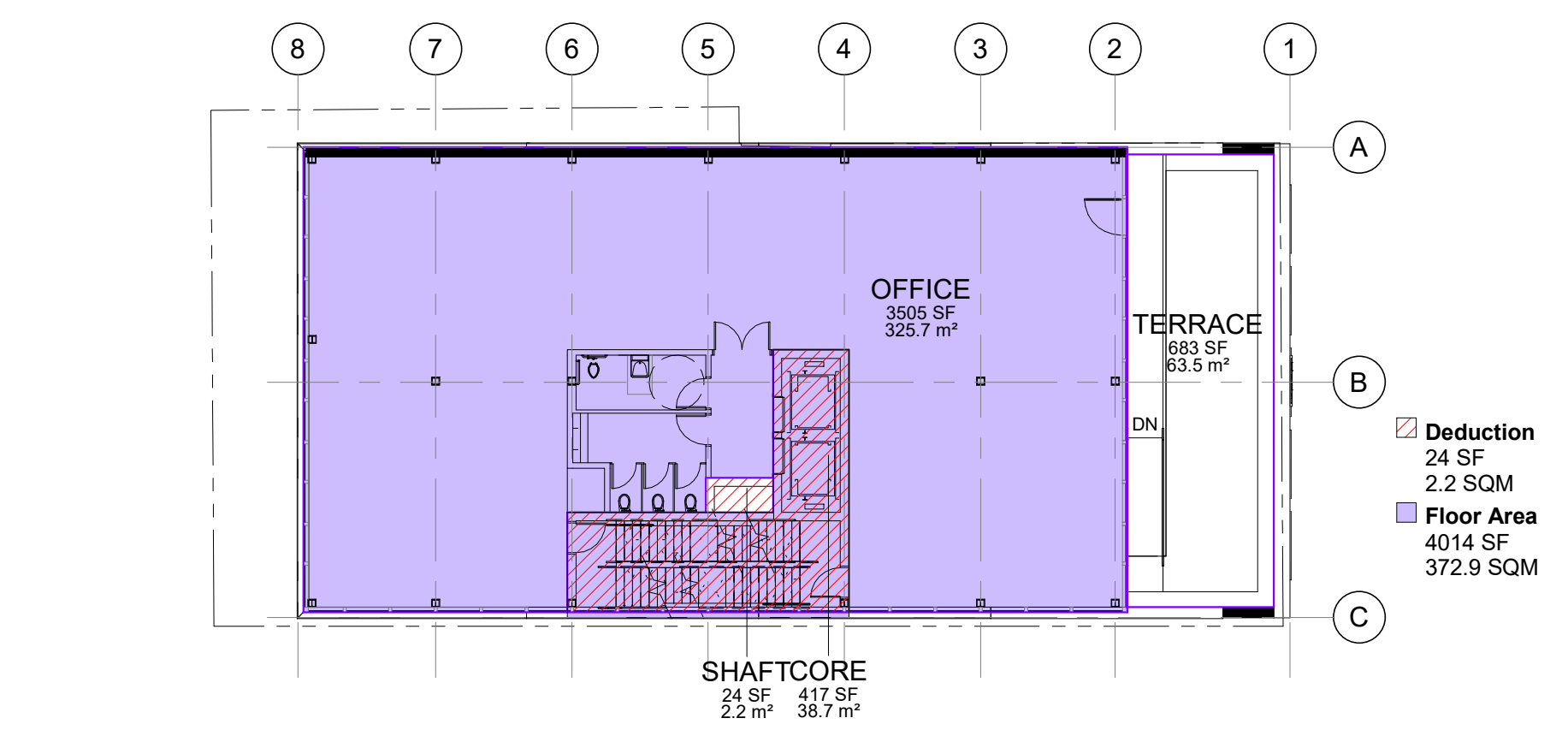
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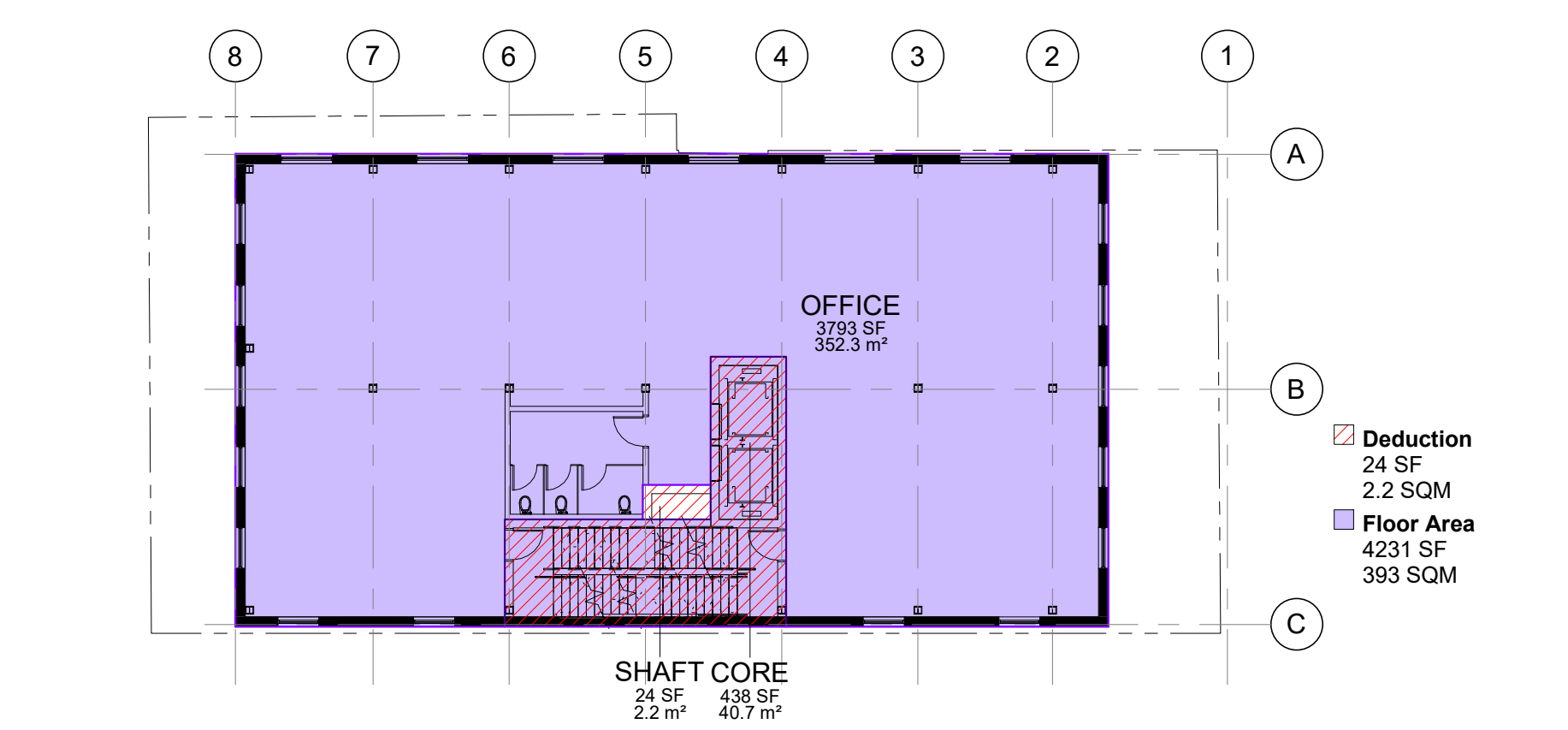
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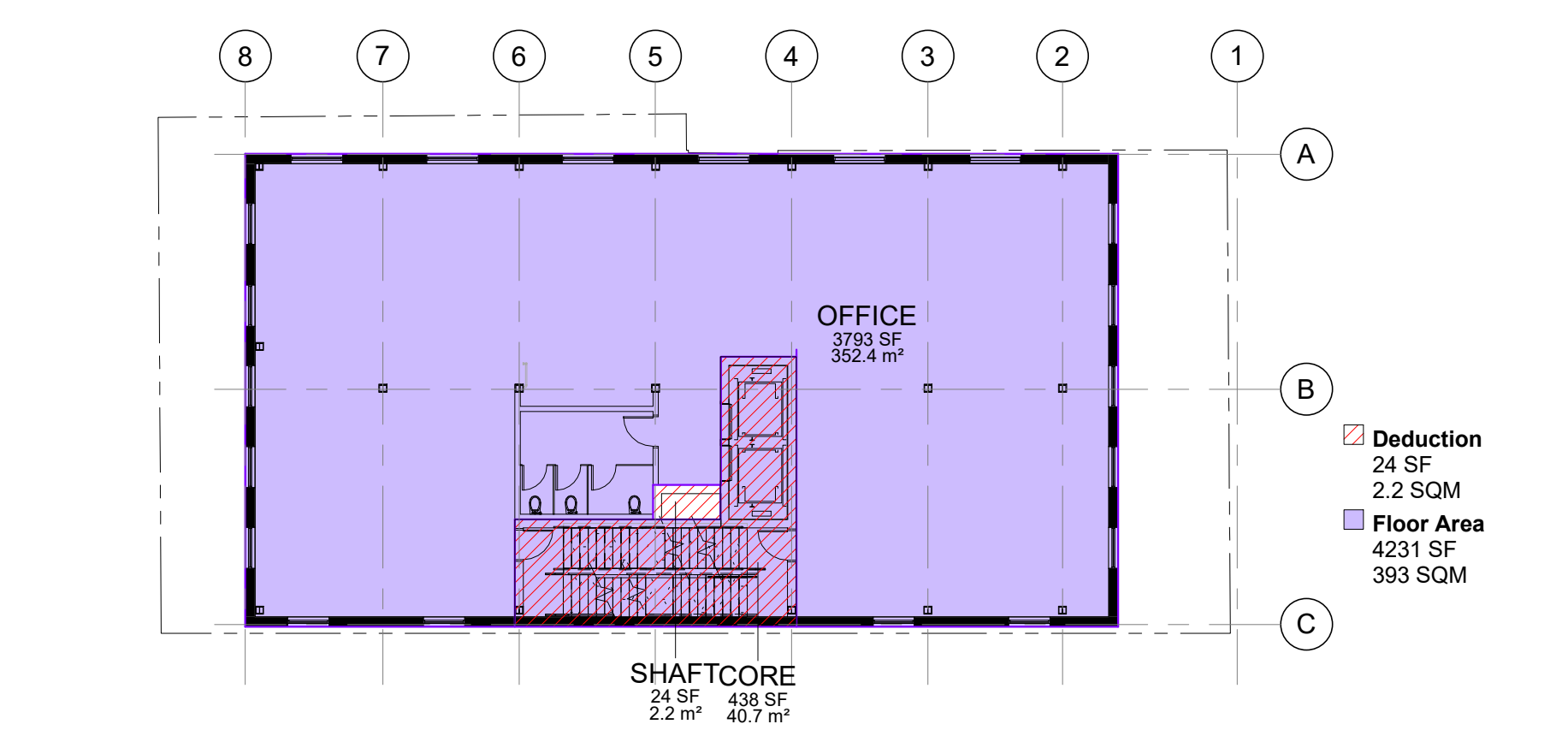
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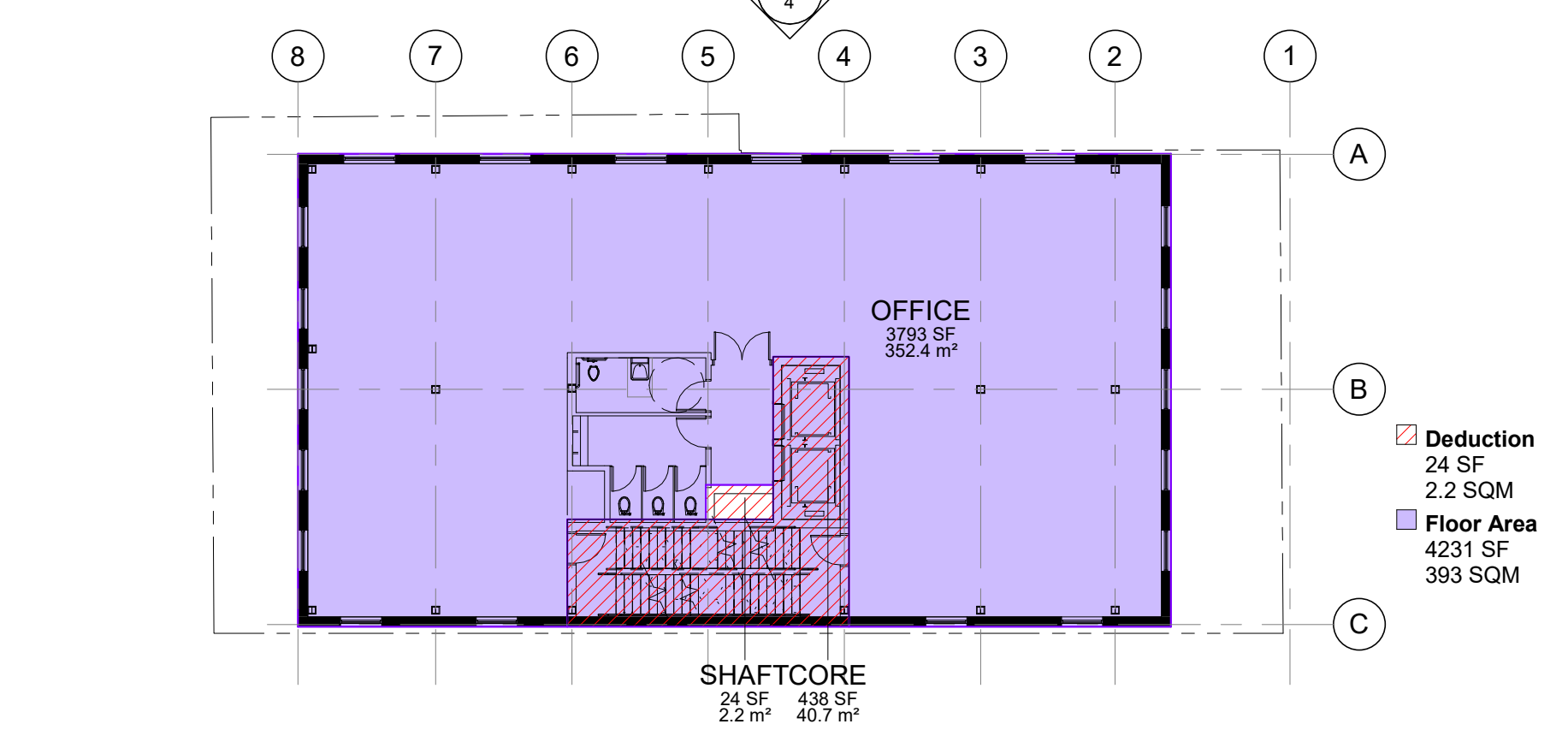
7 LEVEL 06/ ROOF EXIST.  
1:200



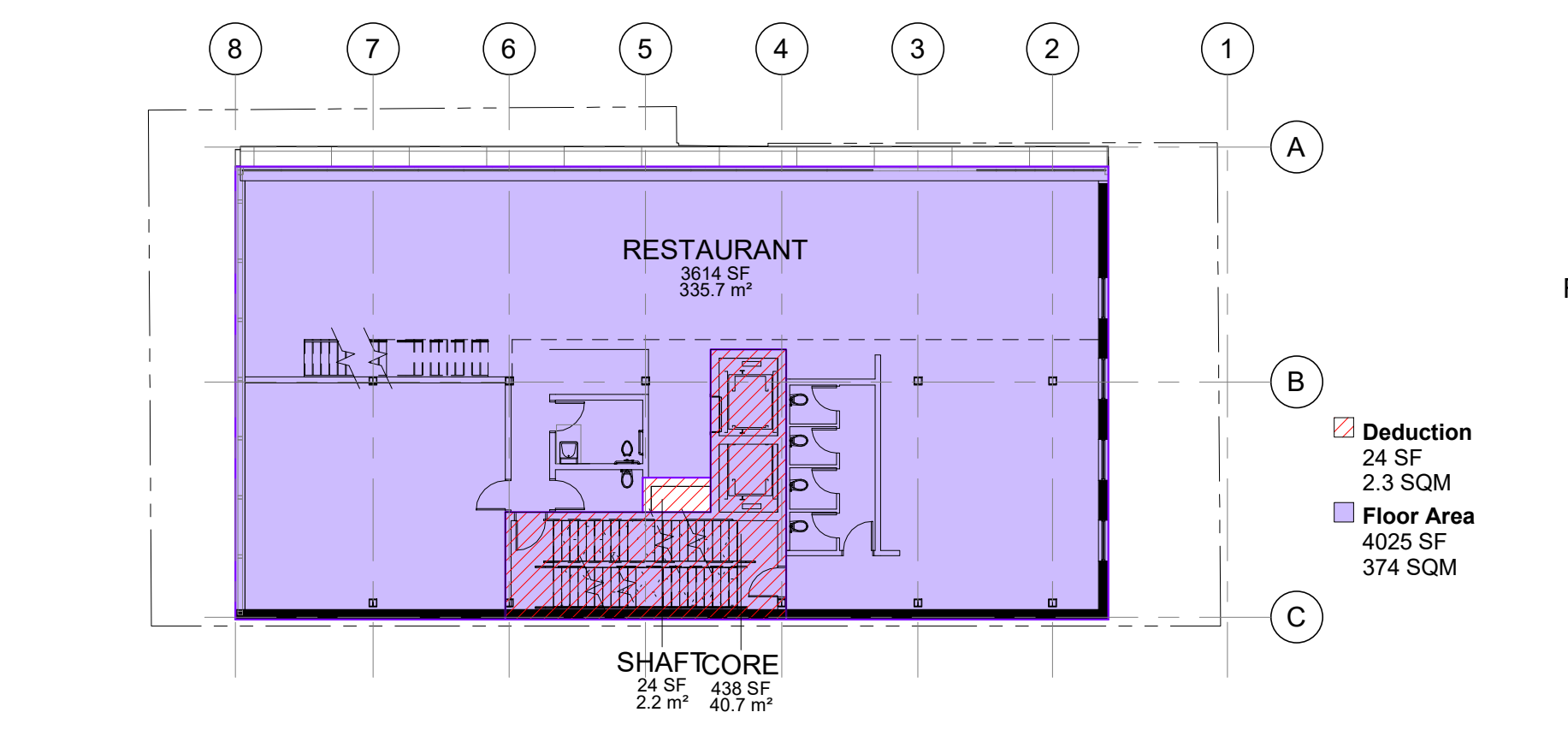
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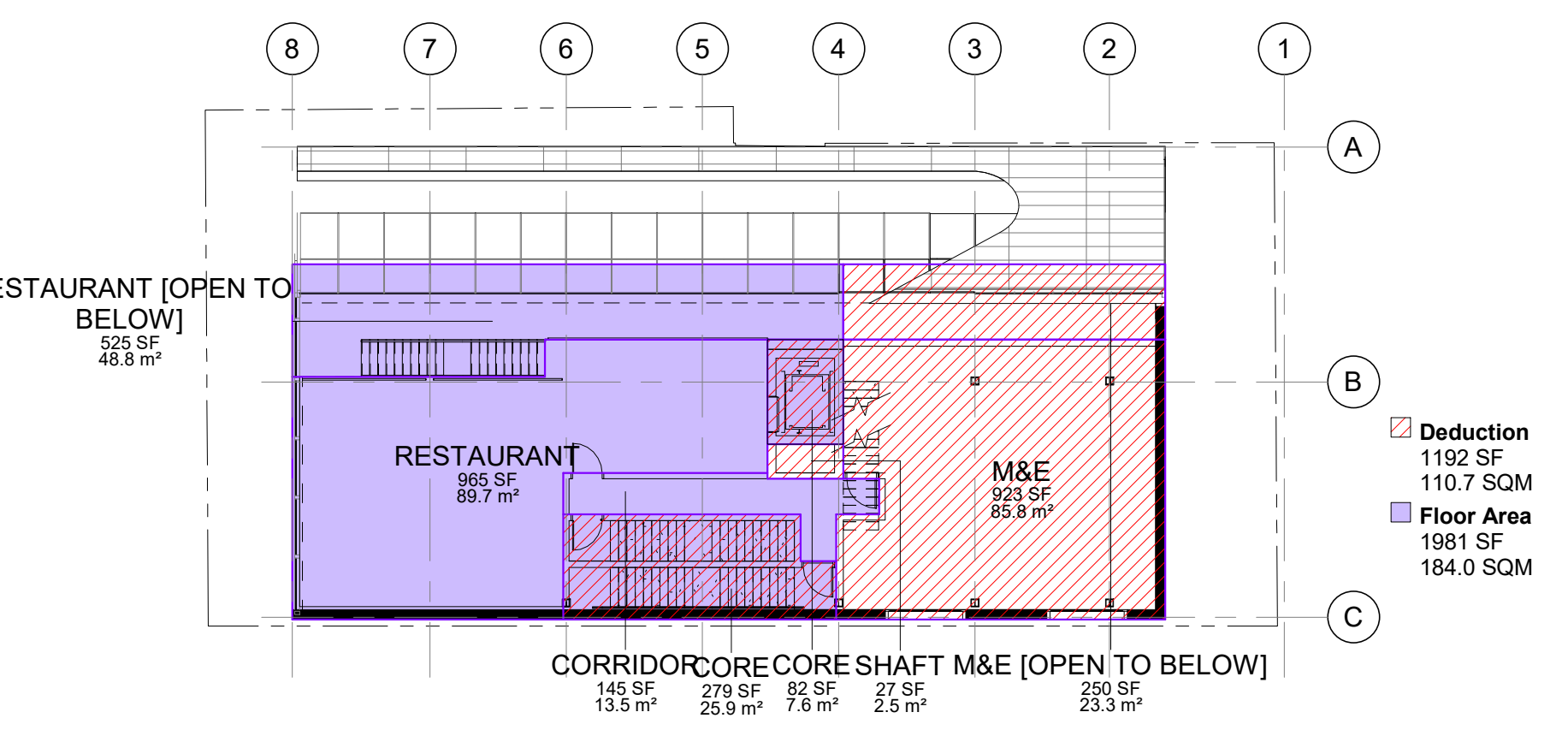
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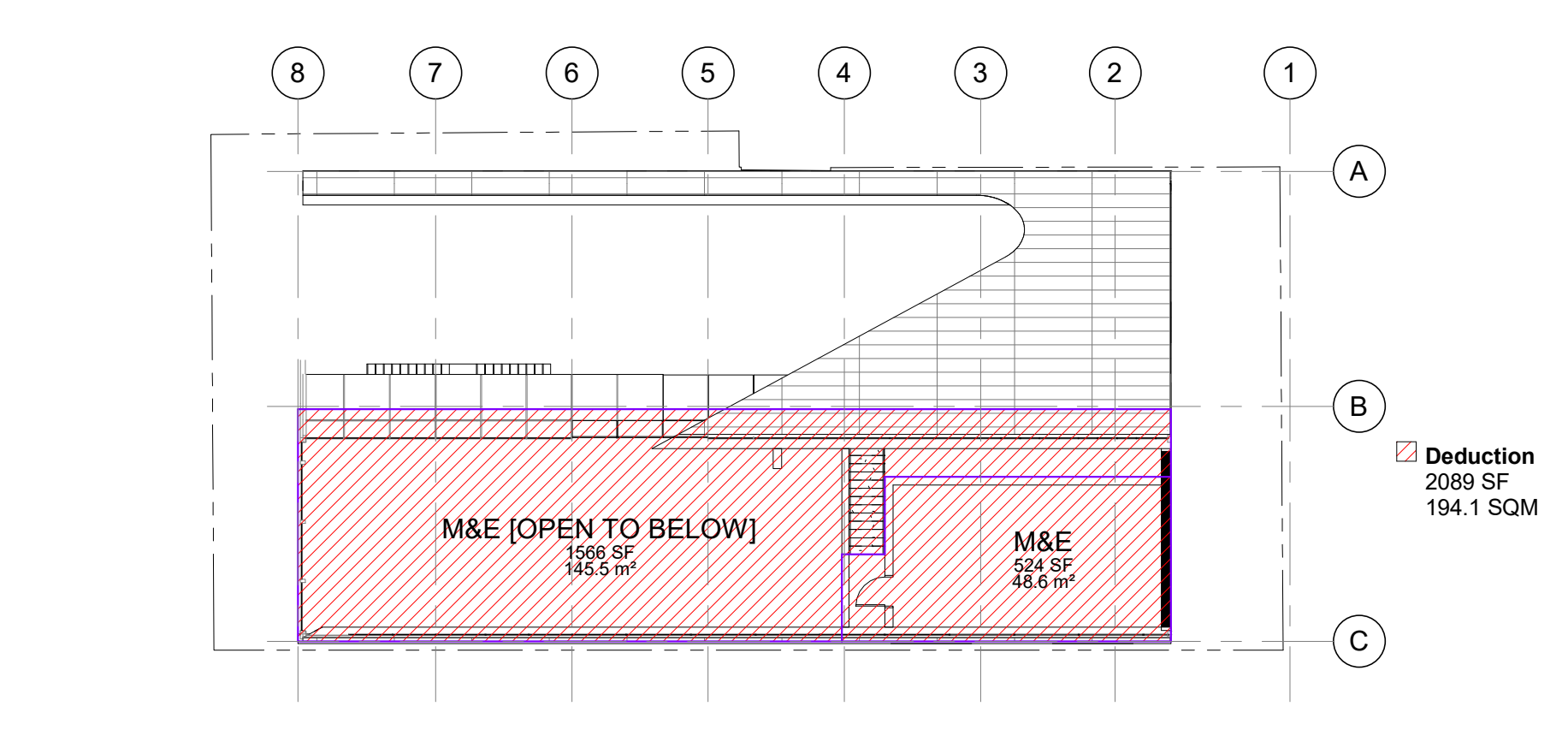
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1:200



11 LEVEL 10  
1:200



12 LEVEL 11  
1:200



13 LEVEL 11 MECH. MEZZ.  
1:200

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NO.	DATE	REVISION / COMMENT
4	14 02 2020	Issued for SPA #2
5	03 02 2022	Issued for SPA #3
8	04 01 2023	Issued for Rezoning

**NOTES**

Existing Building Area

This building as originally constructed predates Bylaw 438-86 (and Bylaw 20623). The gross floor area of the existing building is calculated as the Gross Construction Area (measured to the outermost face of the exterior wall) for all floors above grade with no deductions granted

Deduction 24 SF  
2.2 SQM

Floor Area 4014 SF  
372.9 SQM

- |  |  |
|--|--|
| Heritage Consultant<br>E.R.A<br>625 Church Street #600<br>Toronto, ON M4Y 2G1<br>T. 416.963.4497<br>W. eraarch.ca                                  | Geotechnical Consultant<br>Terraprobe<br>11 Indell Ln<br>Brampton, ON L6T 3Y3<br>T. 905.796.2650<br>W. terraprobe.ca                       |
| Structural Consultant<br>Blackwell Structural<br>Engineers<br>1301 - 134 Peter Street<br>Toronto, ON M5V 2H2<br>T. 416.593.5300<br>W. blackwell.ca | Transportation Consultant<br>BA Consulting Group Ltd<br>45 St Clair Ave W<br>Toronto, Ontario M4V 1K9<br>T. 416.961.7110<br>W. bagroup.com |
| M.E.P Consultant<br>MCW Consultants Ltd.<br>615, 207 Queens Quay W<br>Toronto, ON M5J 1A7<br>T. 416.598.2920<br>W. mcw.com                         | Wind Consultant<br>RWDI<br>400 - 901 King St W<br>Toronto, Ontario M5V 3H5<br>T. 519.823.1311<br>W. rwdi.com                               |
| Civil Consultant<br>Valdore Engineering Inc.<br>741 Rowntree Dairy Road<br>Woodbridge, ON L4L 5T9<br>T. 905.264.0054<br>W. valdoreengineering.com  |  |

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110 Adelaide St. E.  
Toronto, ON M5C 1K9  
info@svn.com  
416.393.6169

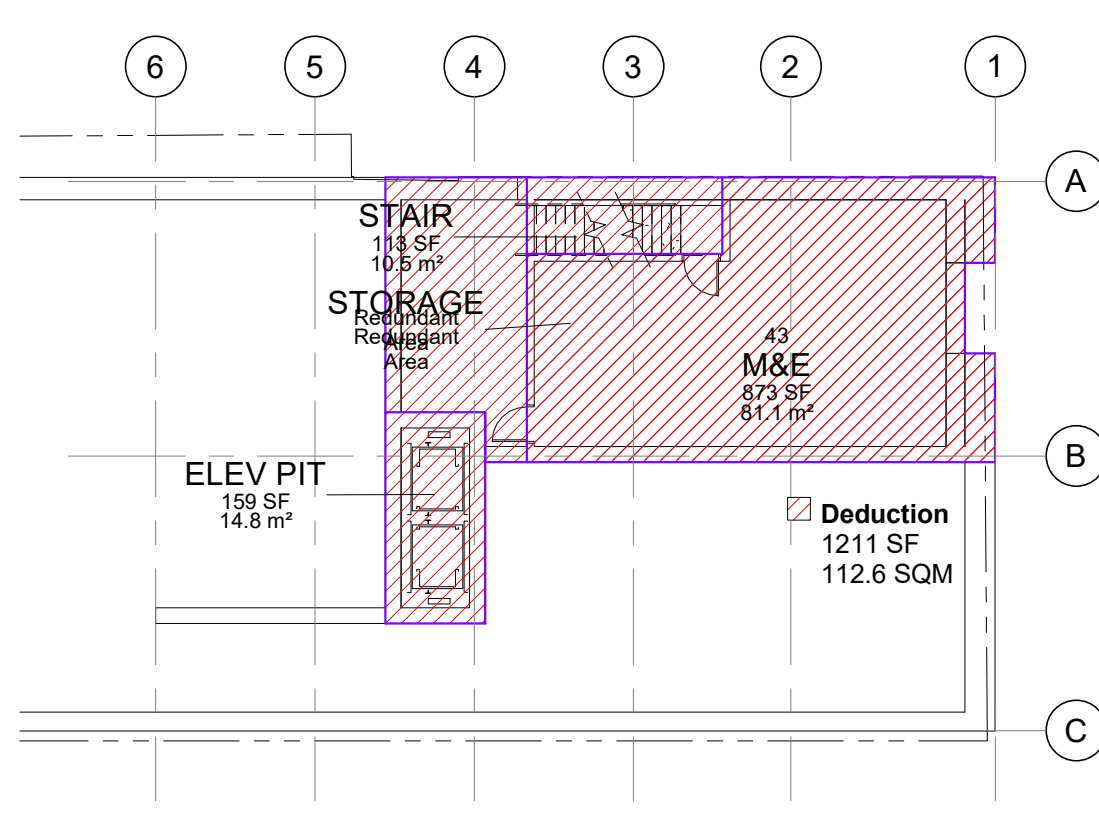
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Toronto, ON

VERTICAL ADDITION  
AREA PLANS - 438-86

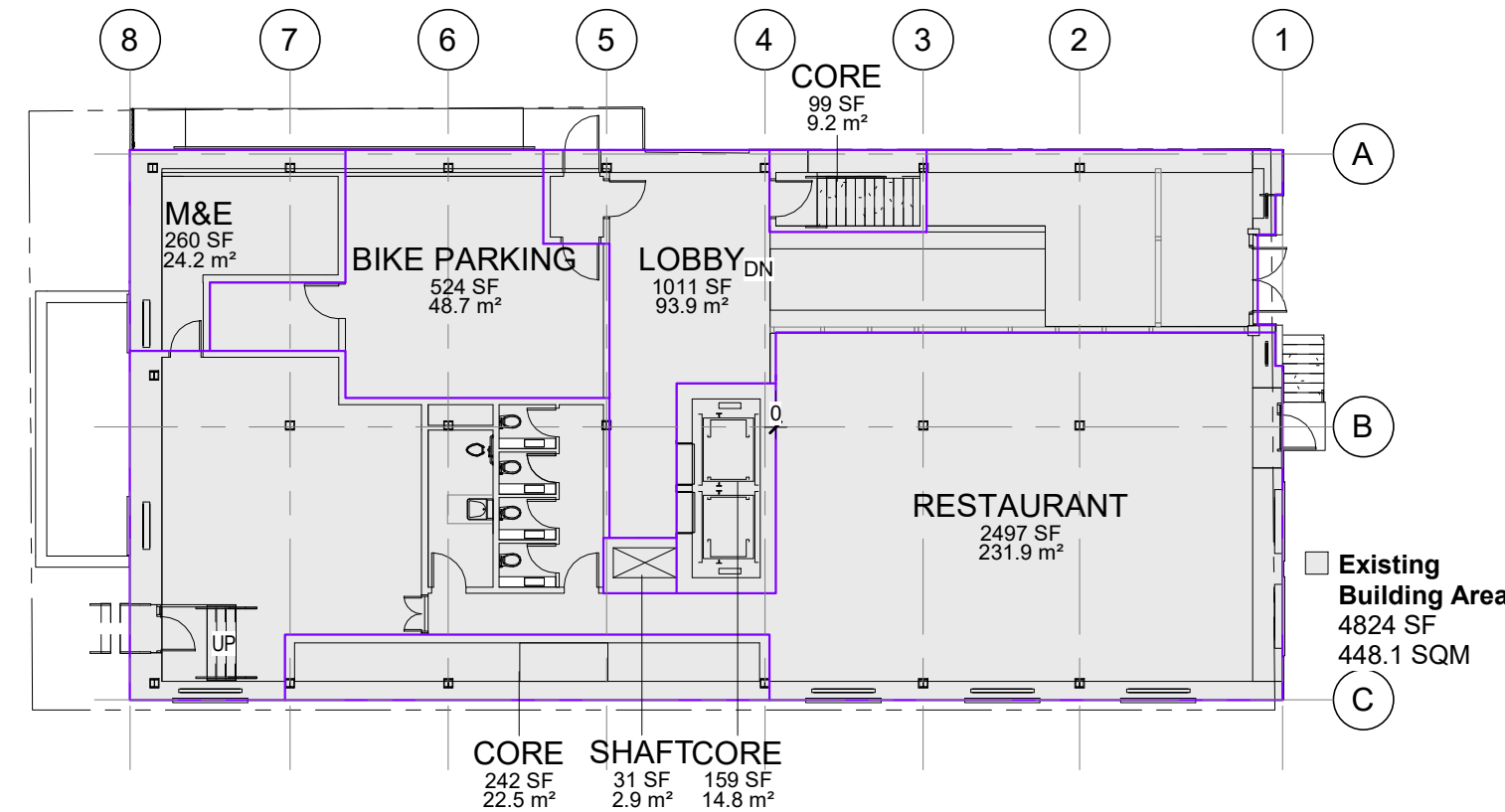
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SCALE	1:200	CHECKED	Checker
DATE	04/01/2023	PLOTTED	

**A-012**

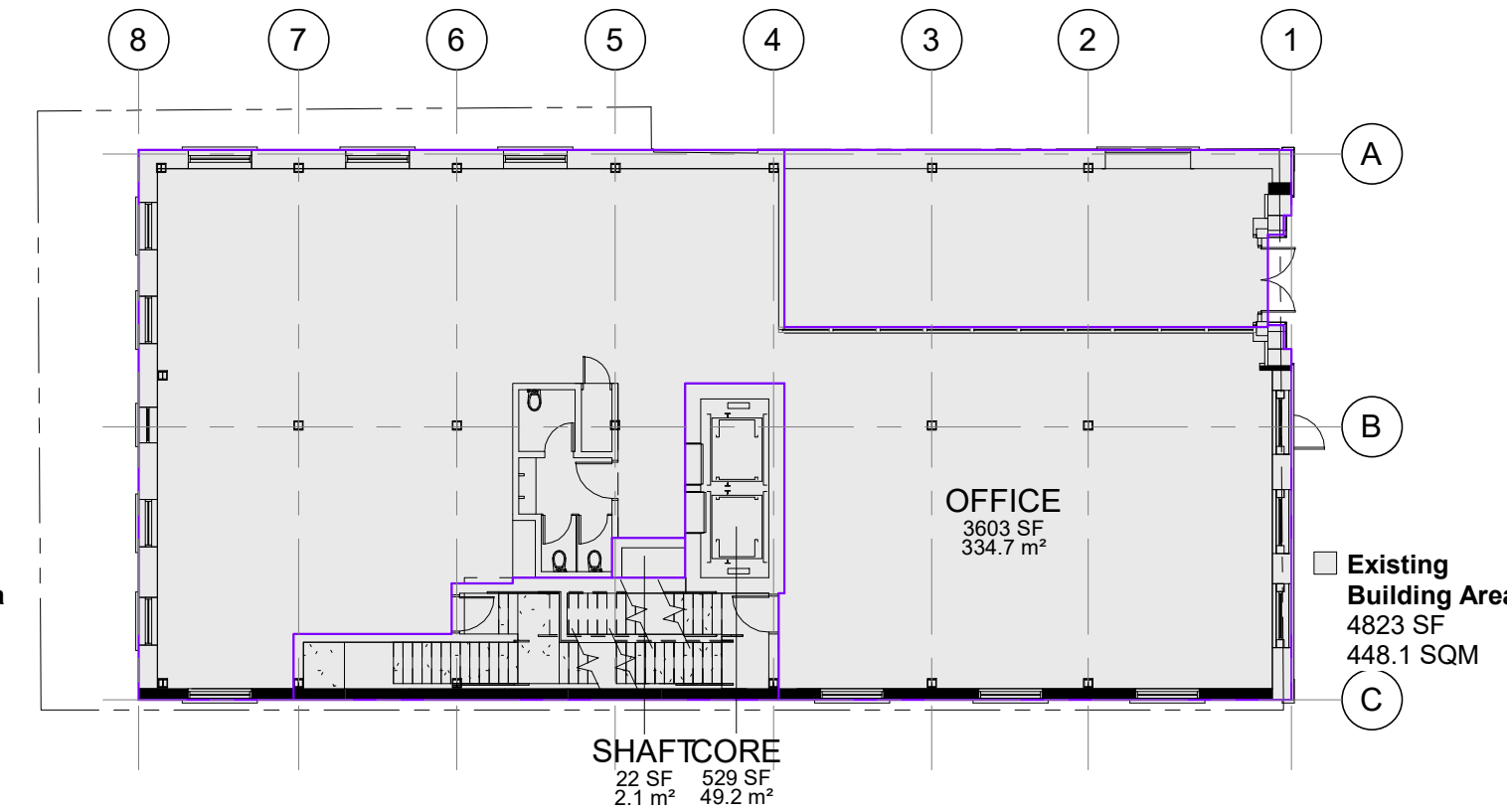




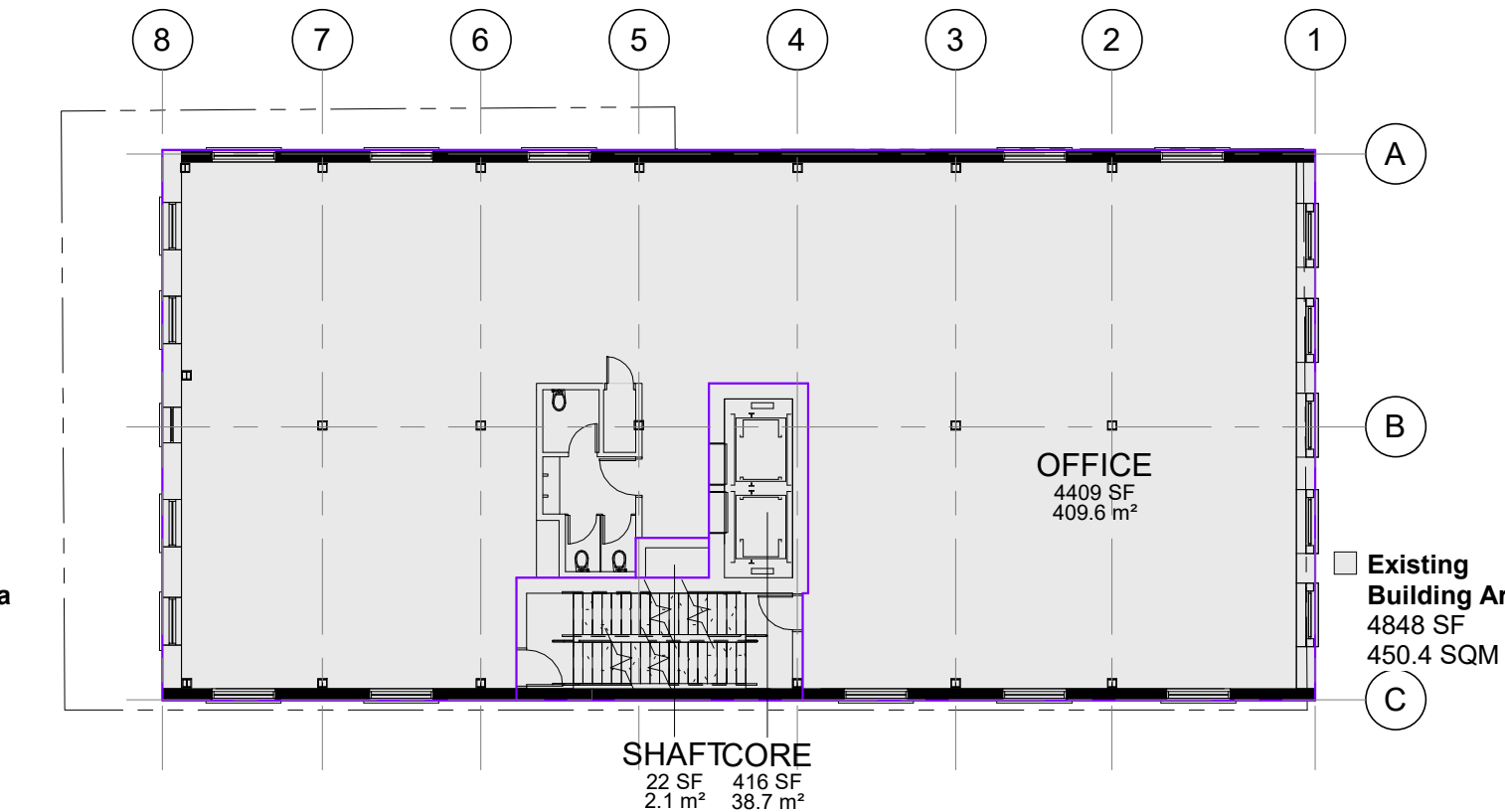
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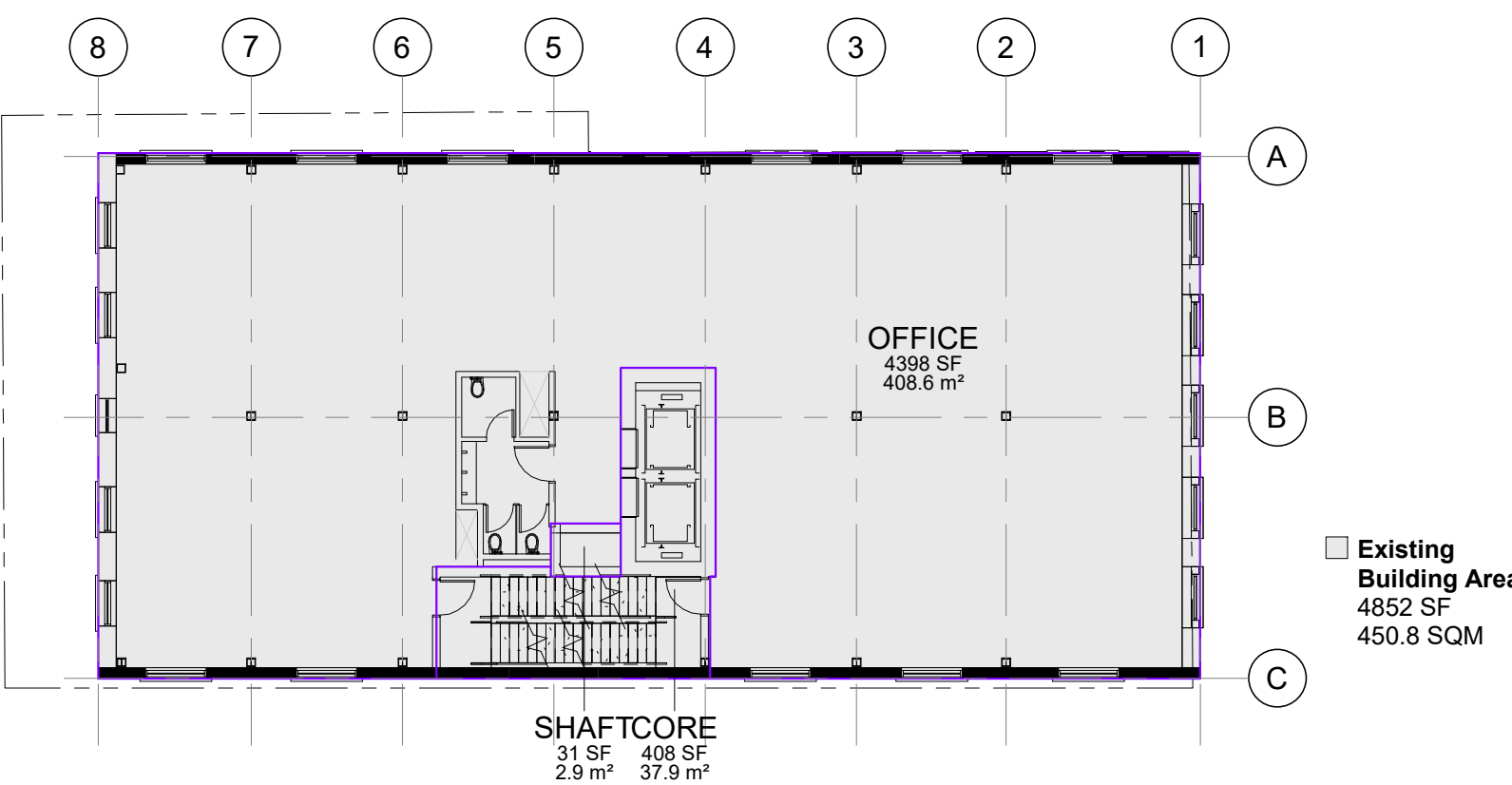
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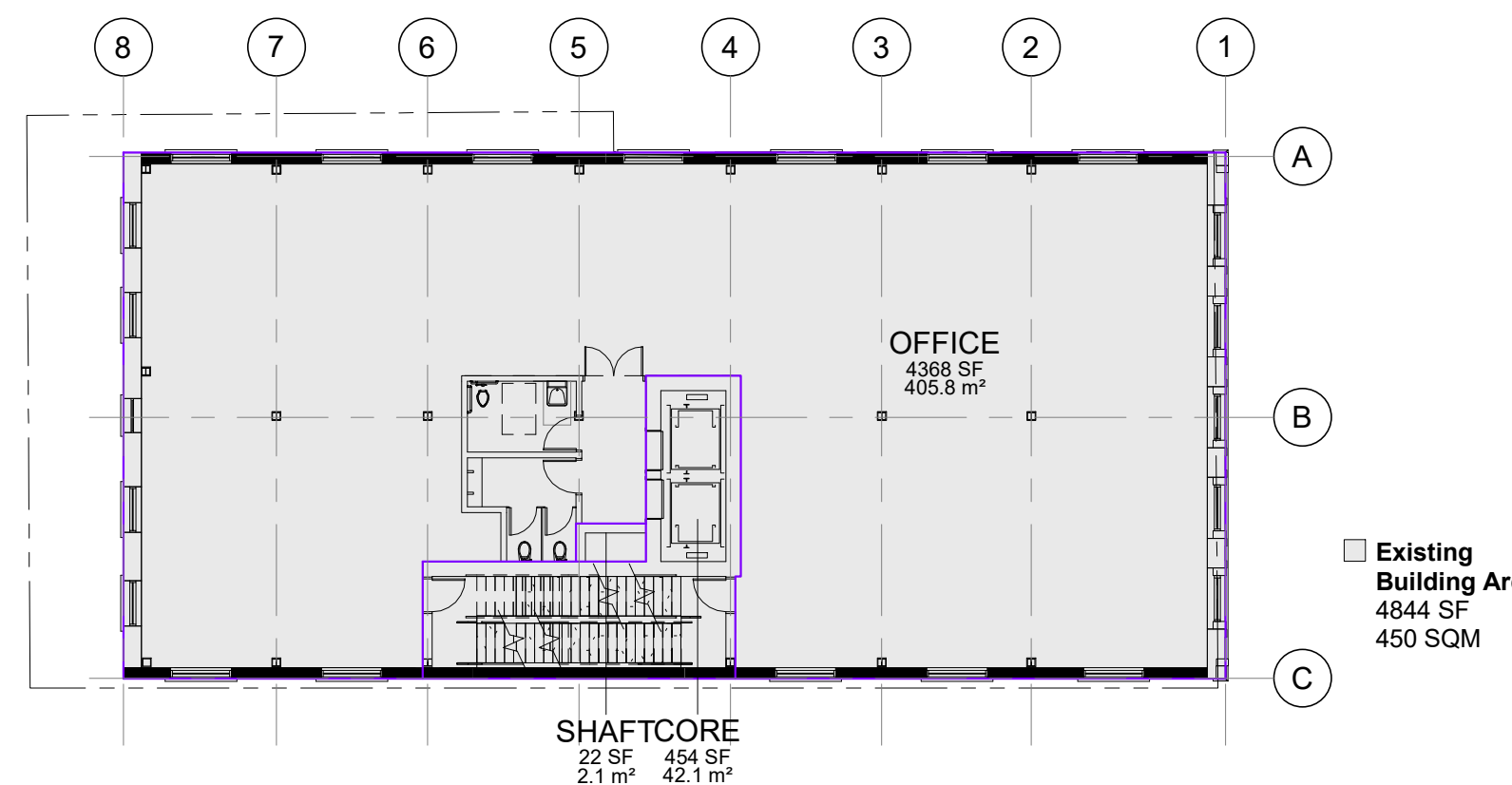
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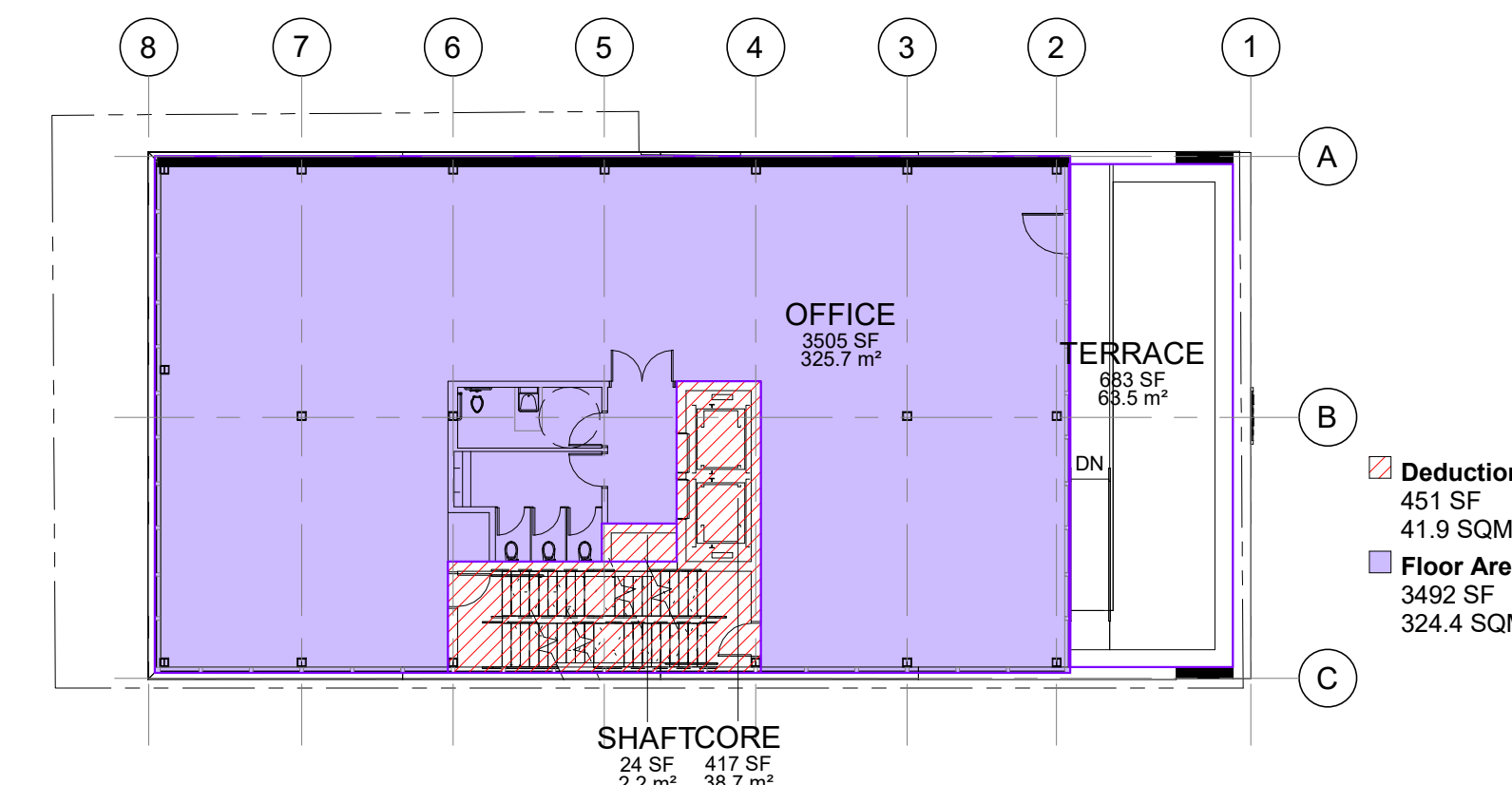
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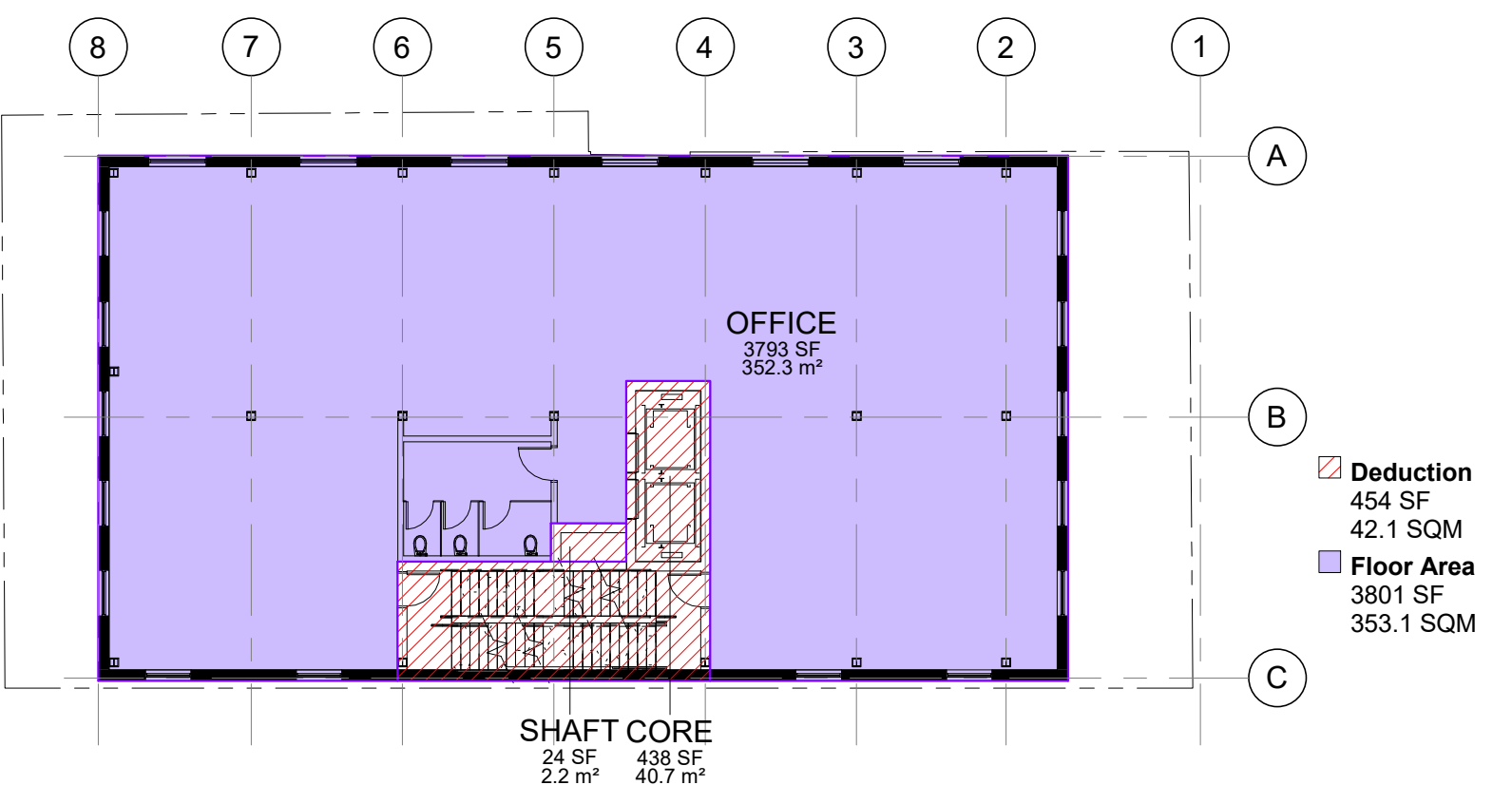
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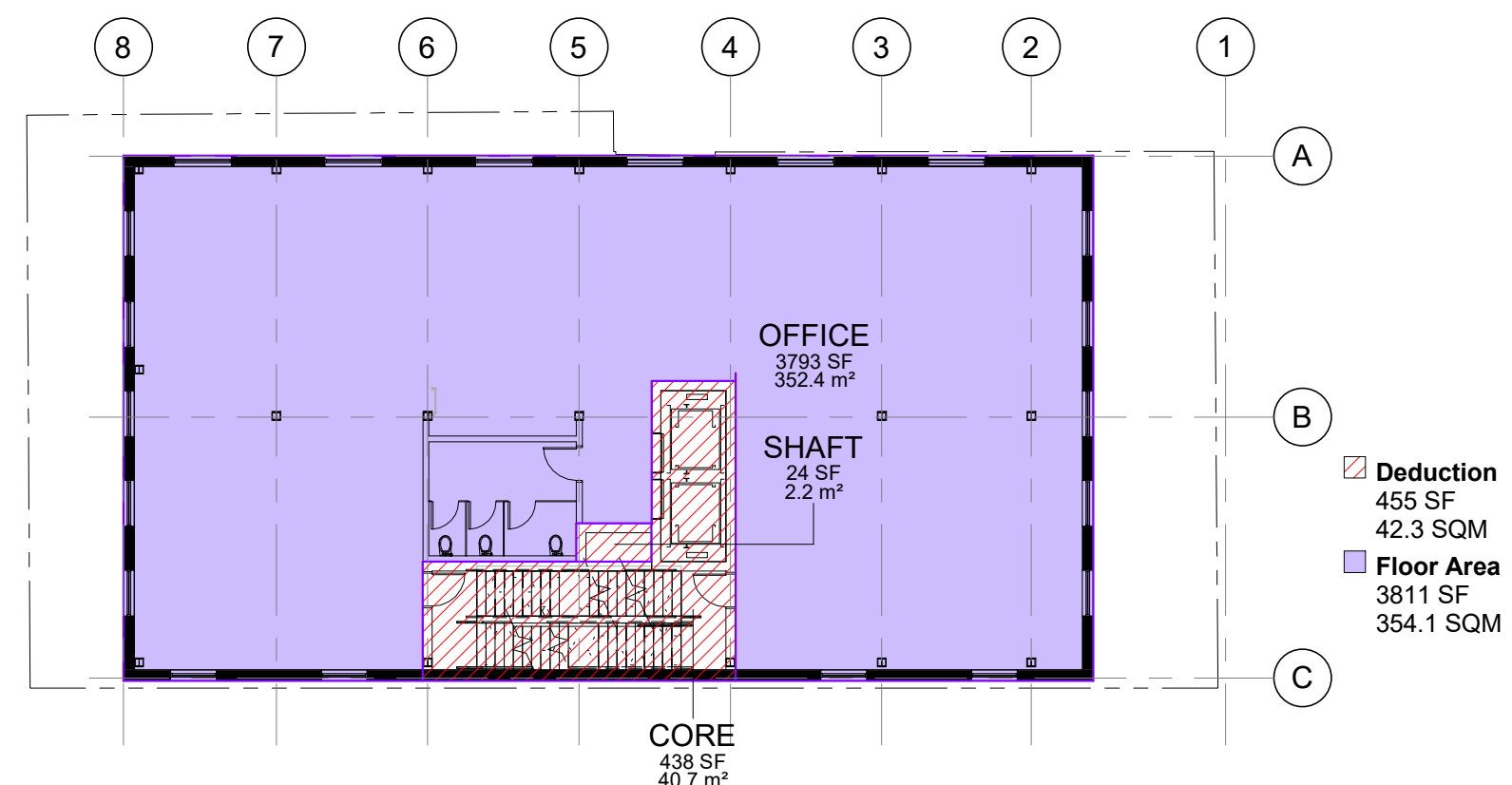
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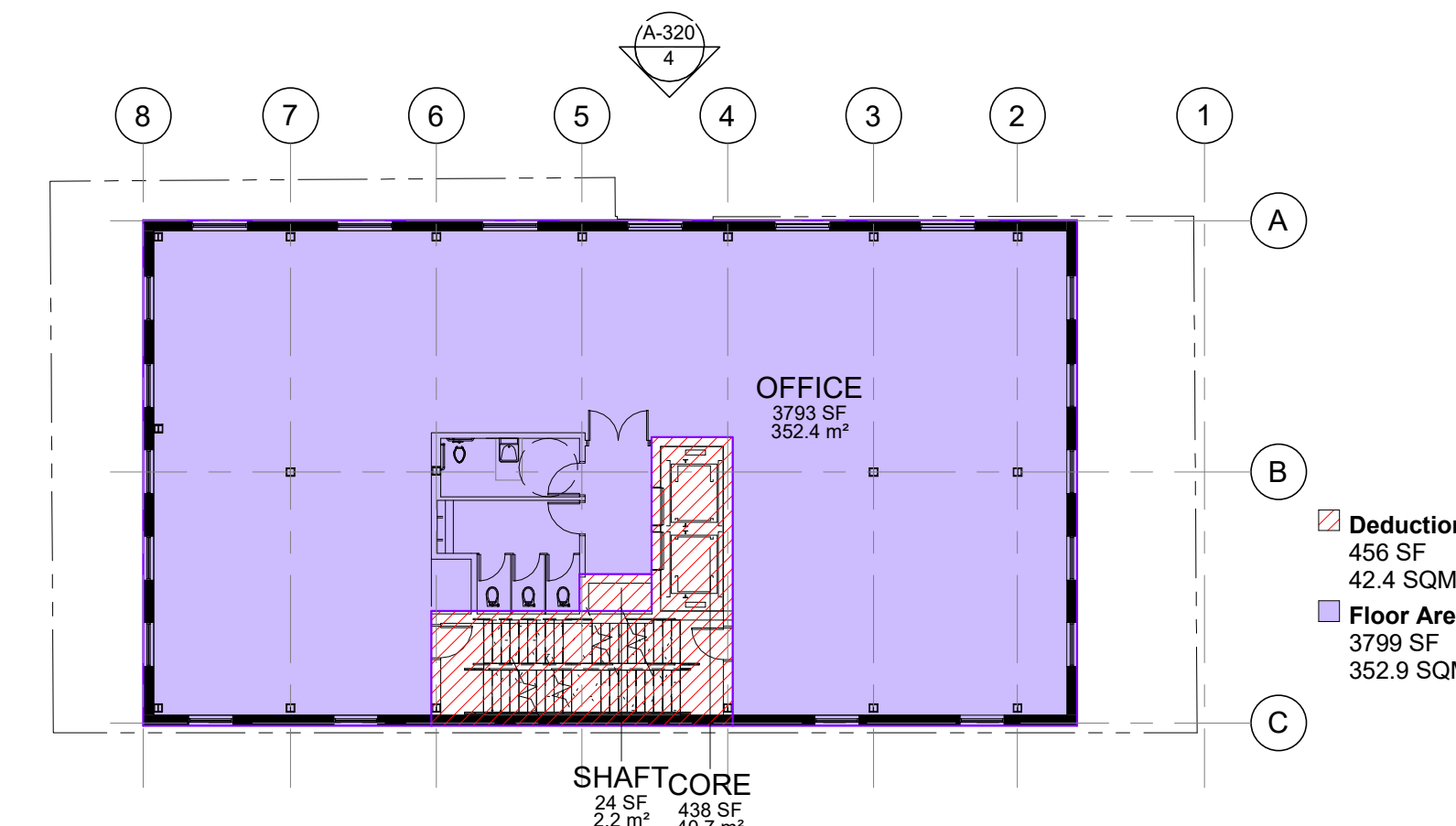
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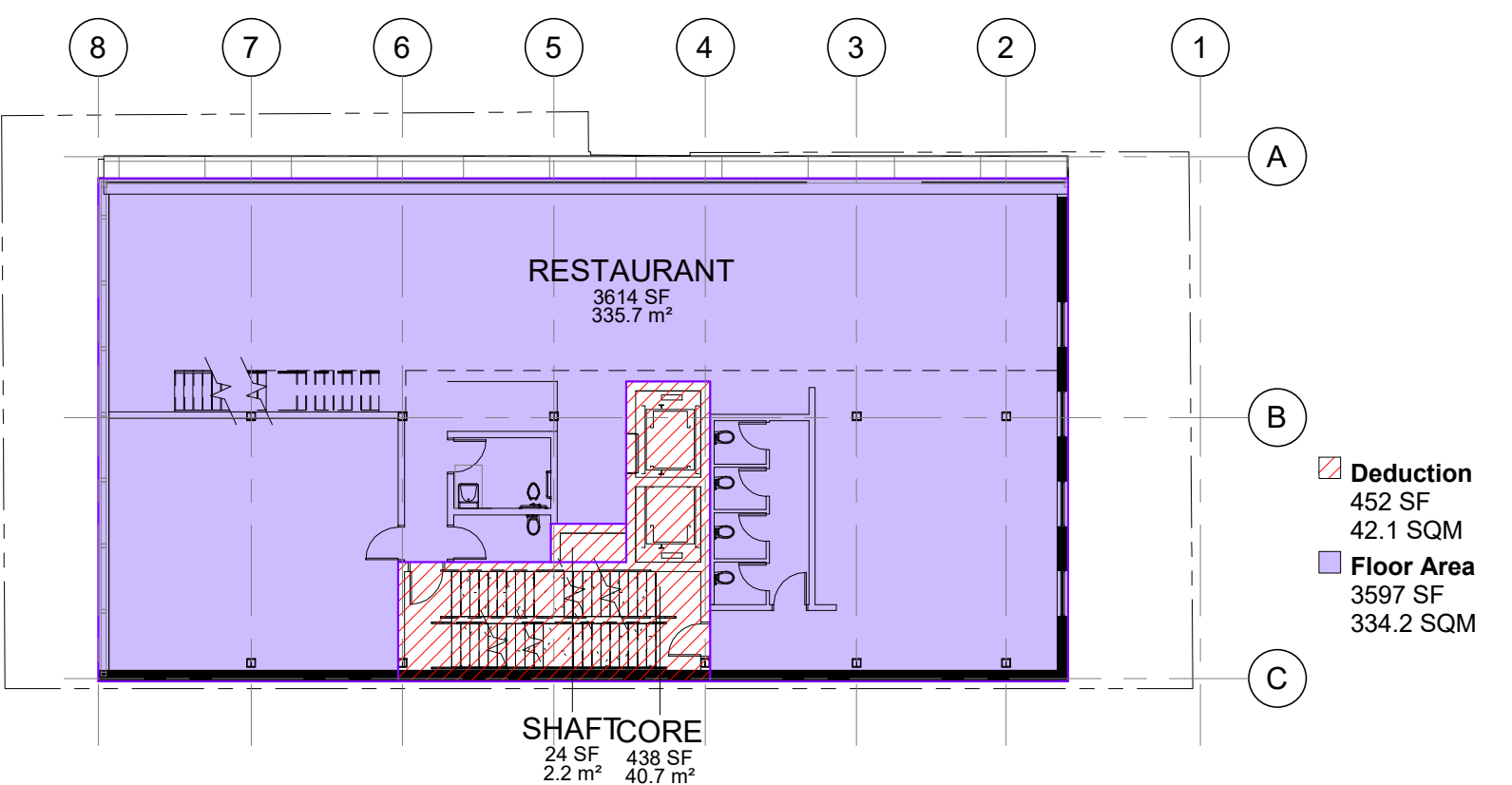
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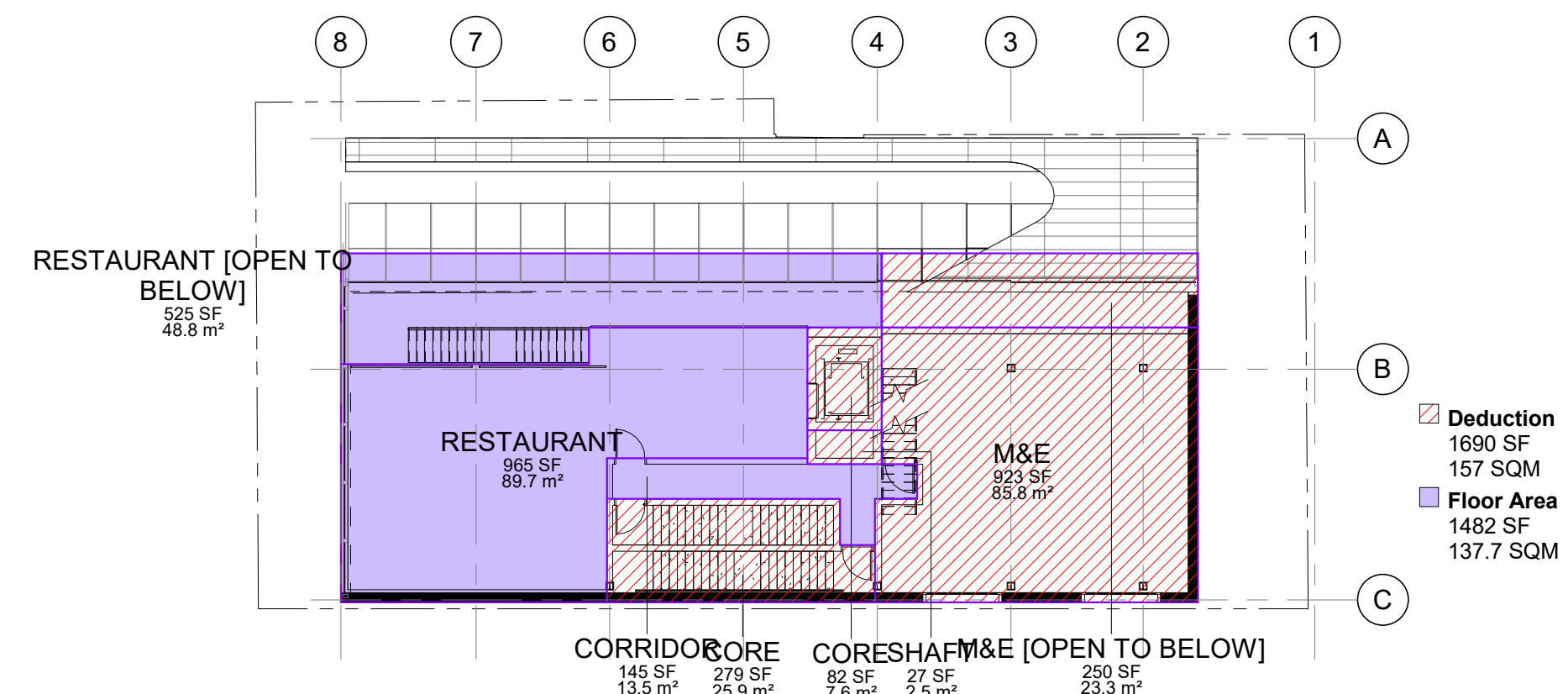
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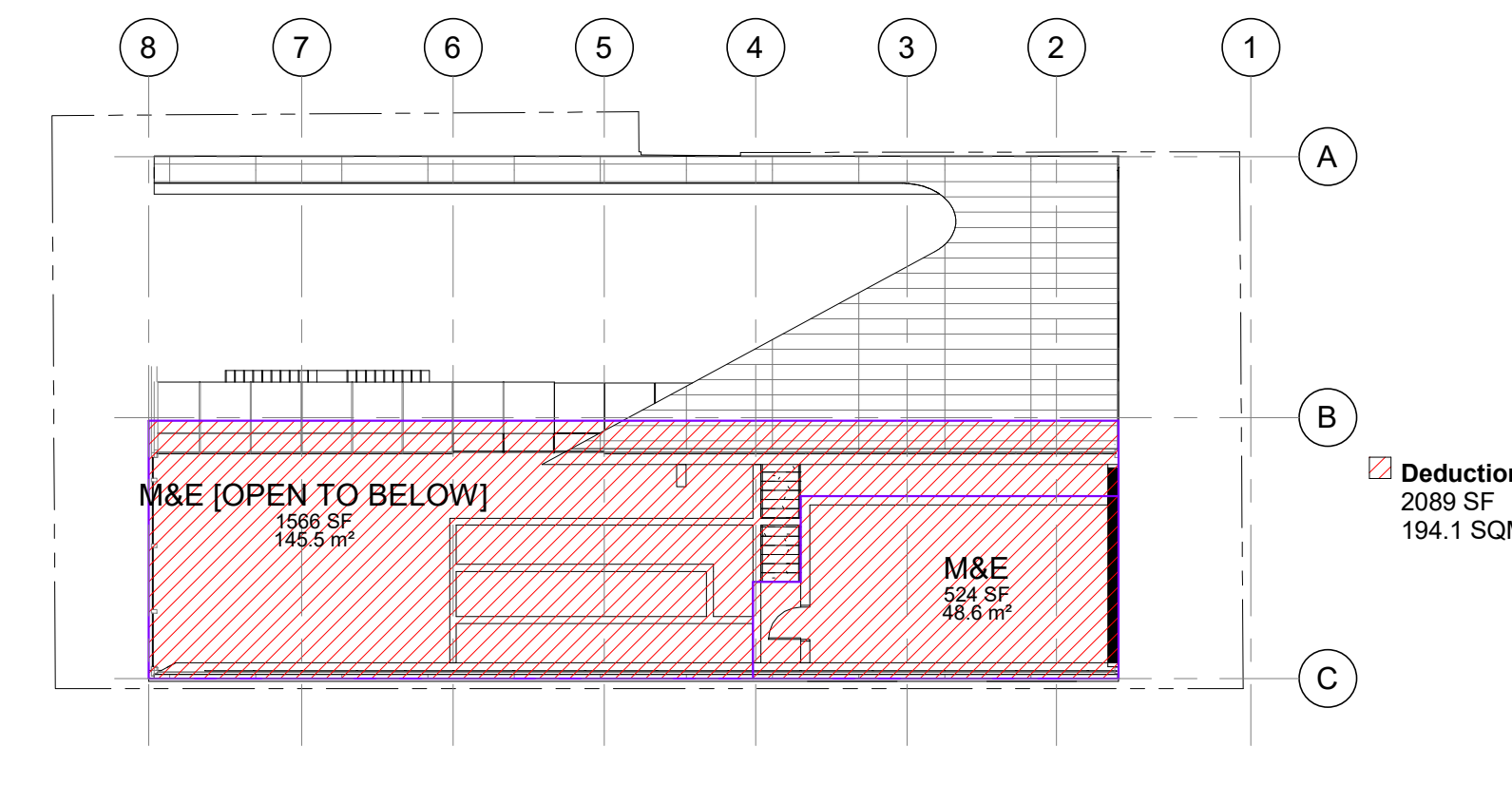
9 LEVEL 009  
1: 200



10 LEVEL 010  
1: 200



11 LEVEL 011  
1: 200



12 LEVEL 011 MECH. MEZZ.  
1: 200

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NOTES

Existing Building Area  
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Deduction 451 SF  
41.9 SQM  
Floor Area 3492 SF  
324.4 SQM

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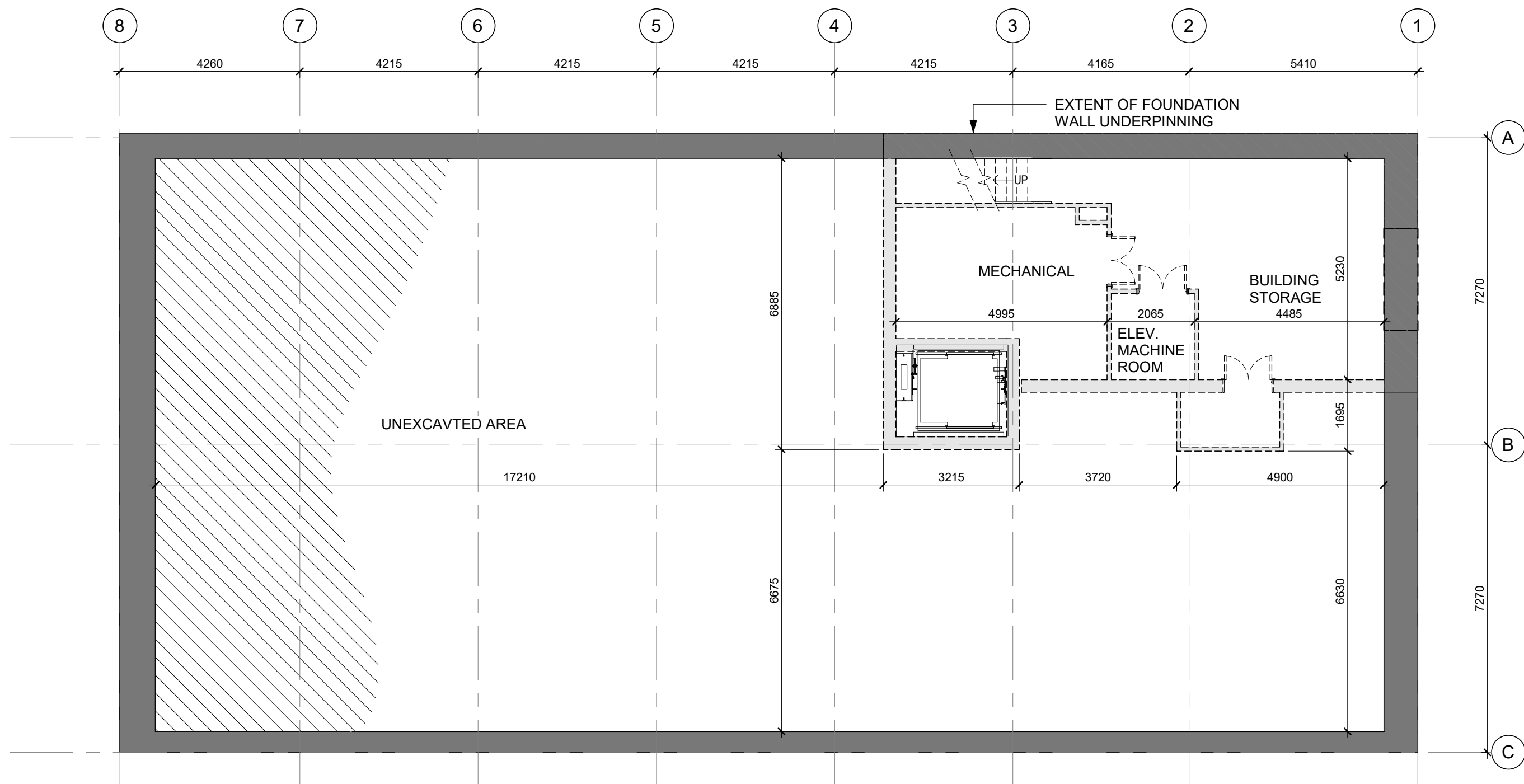
**SvN** ARCHITECTS  
110 Adelaide St. E.  
Toronto, ON M5C 1K9  
info@svn-arch.com  
416.593.6169

160 JOHN STREET  
160 John Street  
Toronto, ON

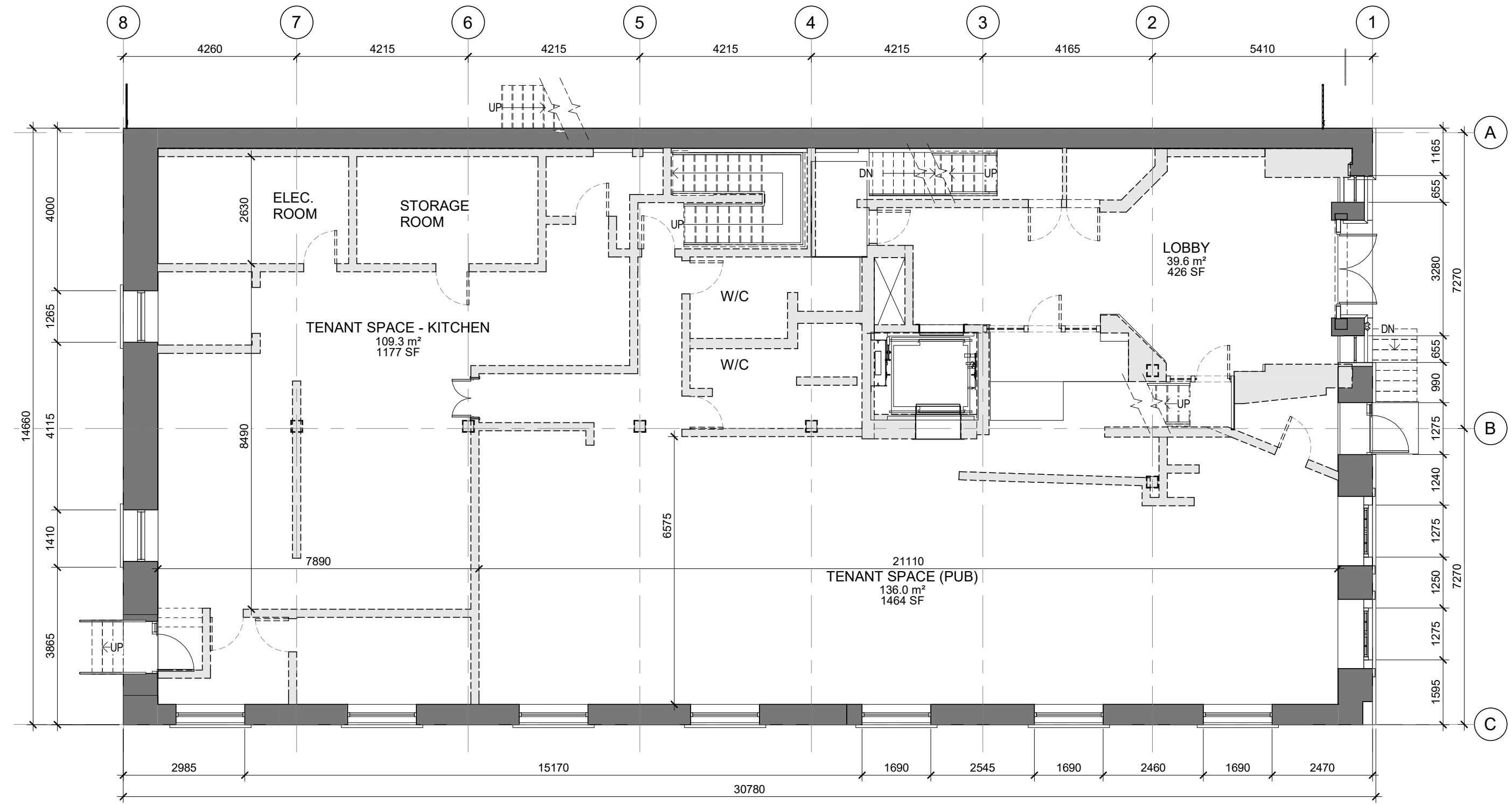
VERTICAL ADDITION  
AREA PLANS - 569-2013

PROJECT 41926 DRAWN Author  
SCALE 1: 200 CHECKED Checker  
DATE 04/01/2023 PLOTTED

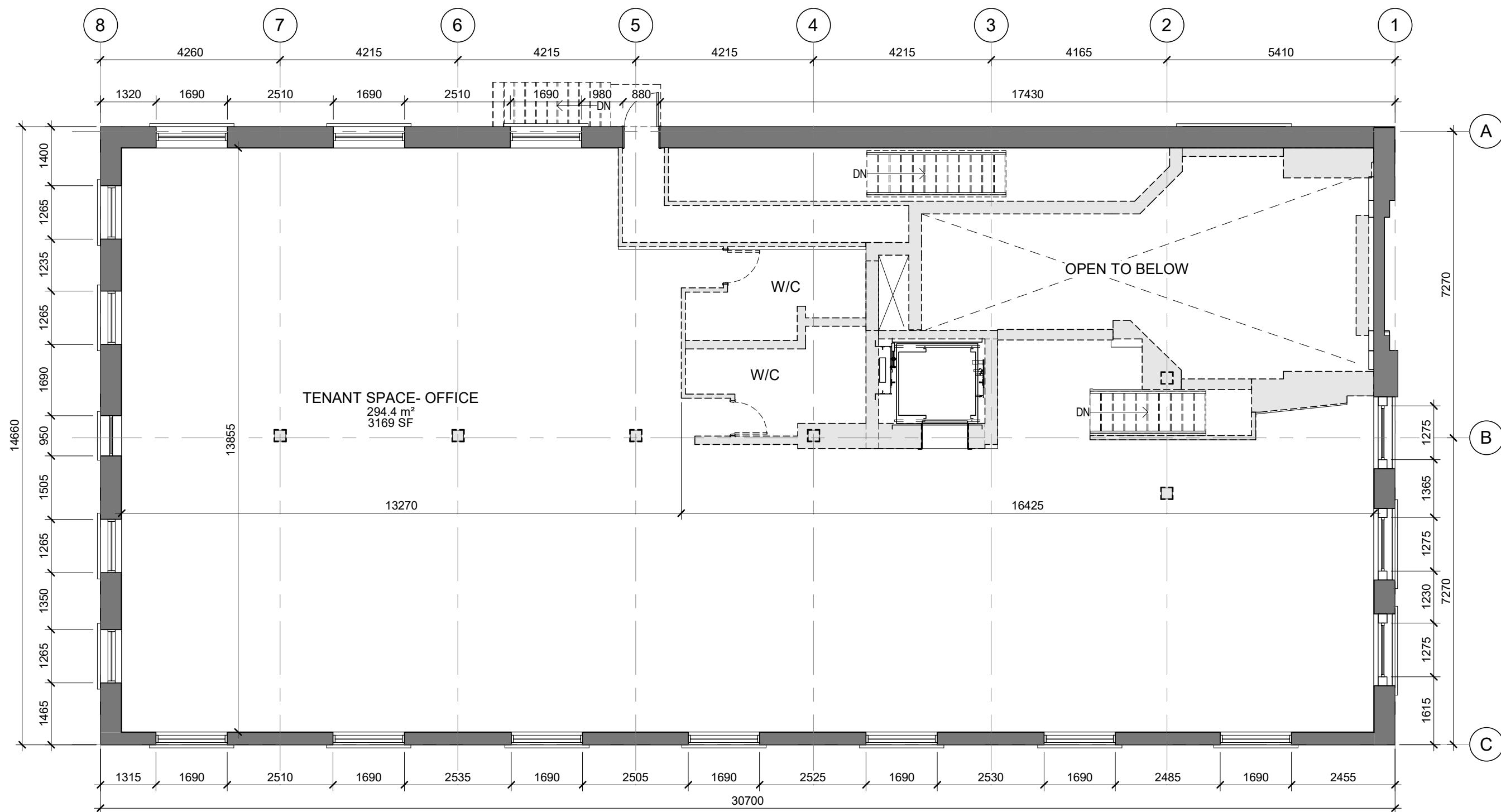
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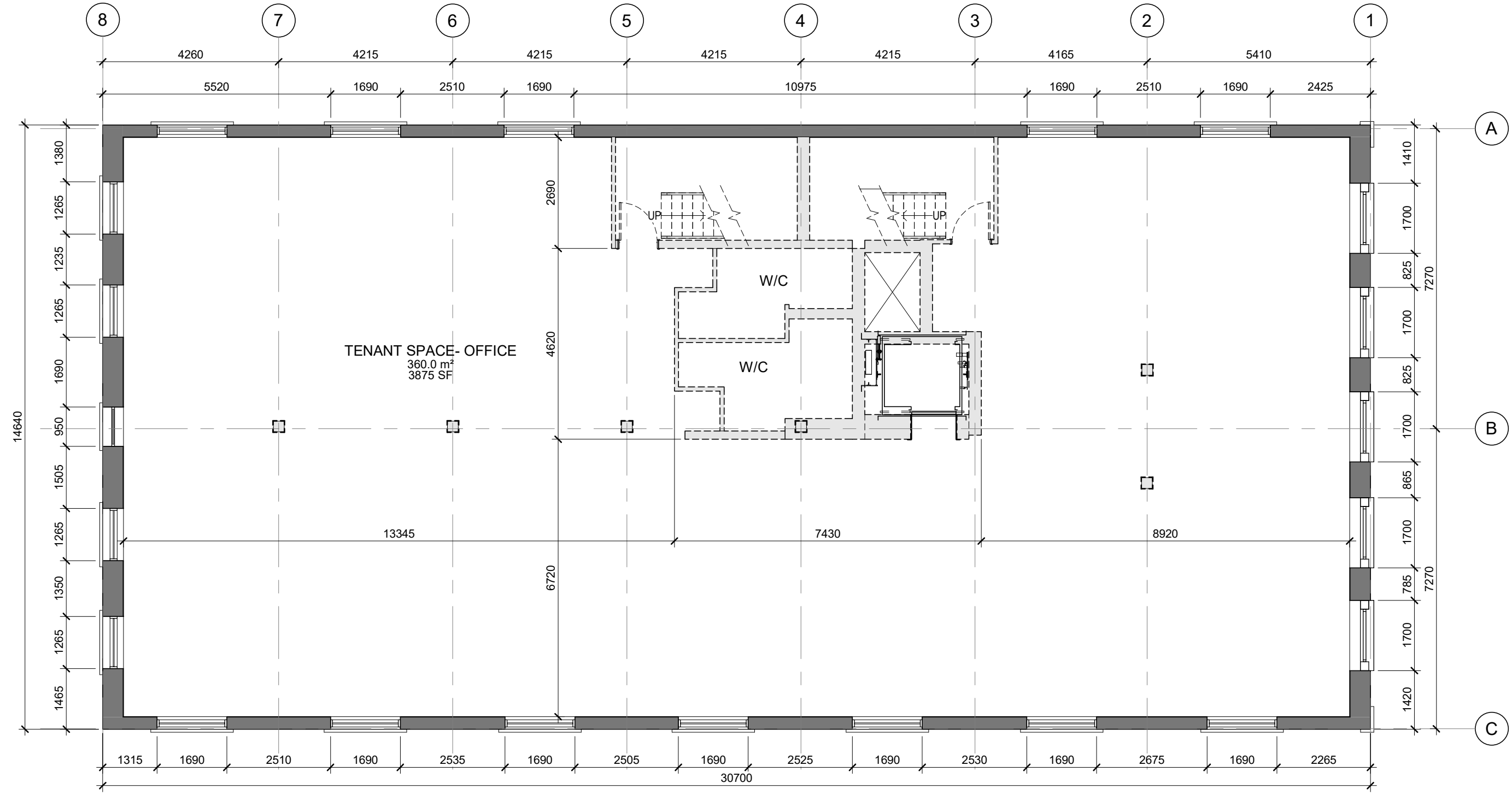
1 BASEMENT - EXISTING  
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2 LEVEL 01 EXISTING  
1 : 100



3 LEVEL 02 EXISTING  
1 : 100



4 LEVEL 3-5 EXISTING  
1 : 100

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NO.	DATE	REVISION / COMMENT
1	15 08 2018	Issued for Coordination
2	31 08 2018	Issued for Coordination
3	13 09 2018	Issued for SPA #1
4	14 02 2020	Issued for SPA #2
5	03 02 2022	Issued for SPA #3
7	06 12 2022	Subject to Mediation Privilege
8	04 01 2023	Issued for Rezoning

NOTES

- ALL INTERIOR PARTITION & WALLS TO BE DEMOLISHED ARE SHOWN DASHED WITH LIGHT GRAY FILL

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Toronto, Ontario M4V  
1K9  
T. 416.961.7110  
W. bagroup.com

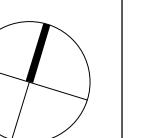
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Toronto, Ontario M5V  
3H5  
T. 519.823.1311  
W. rwdi.com



160 JOHN STREET  
160 John Street  
Toronto, ON

VERTICAL ADDITION

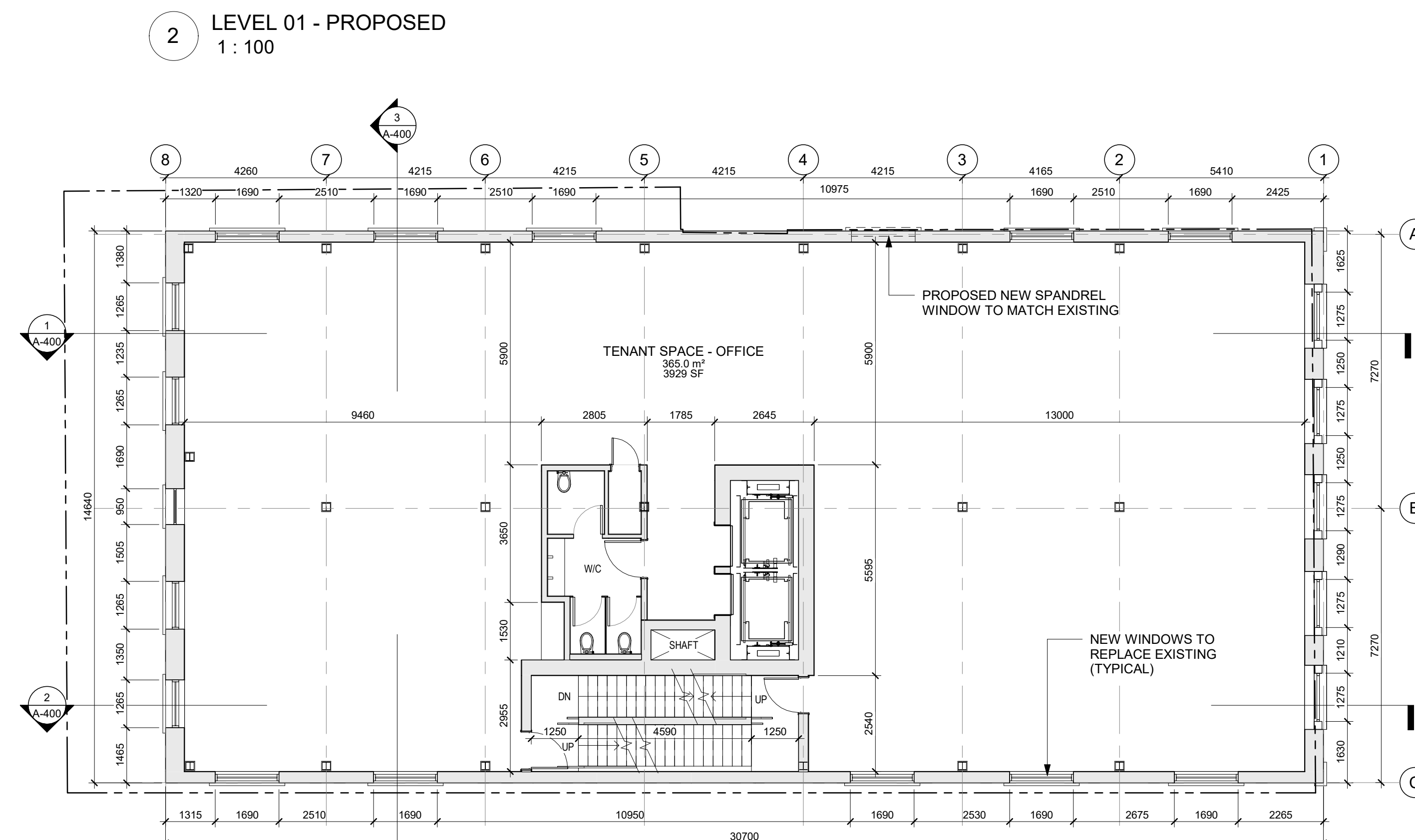
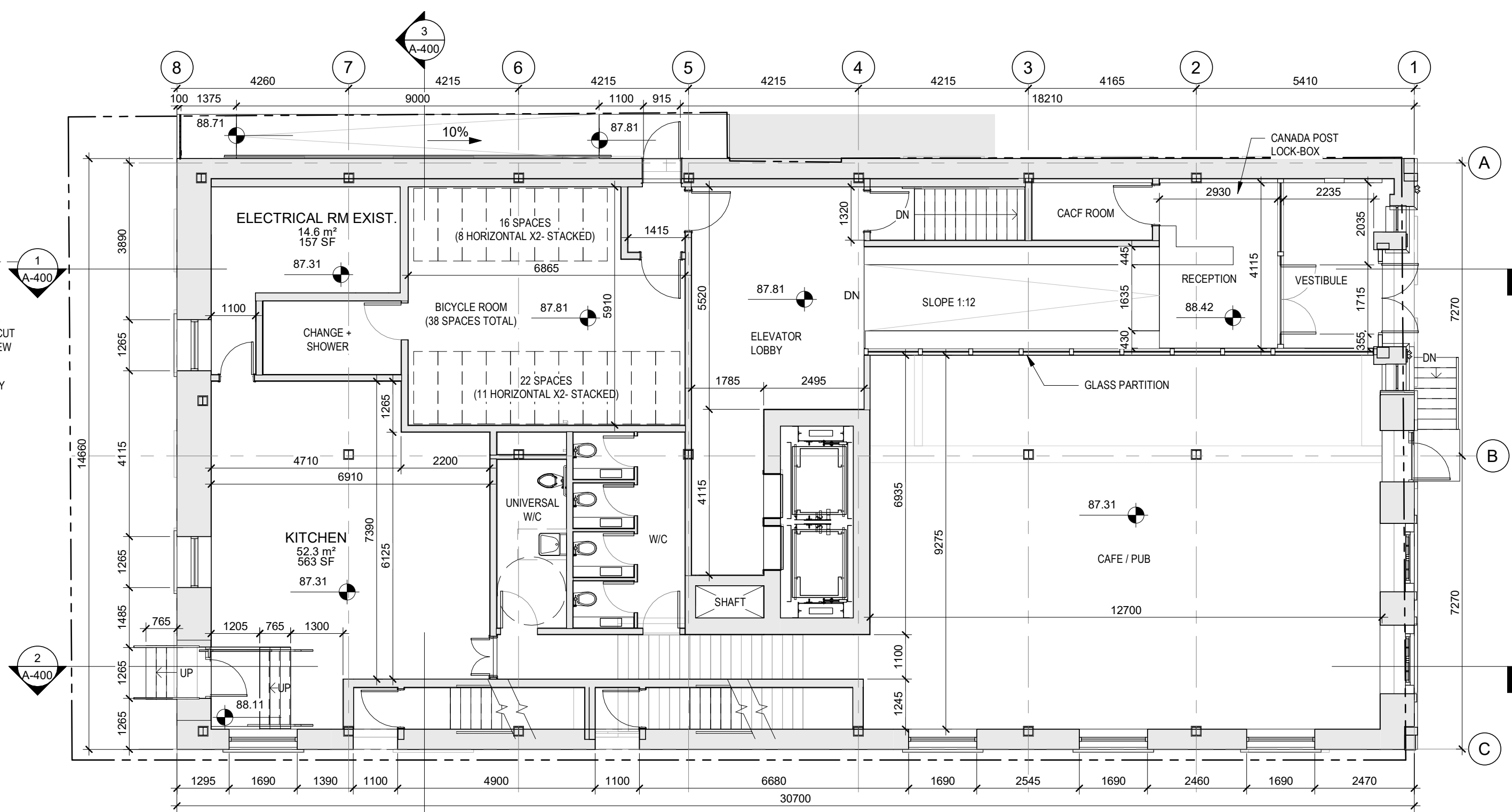
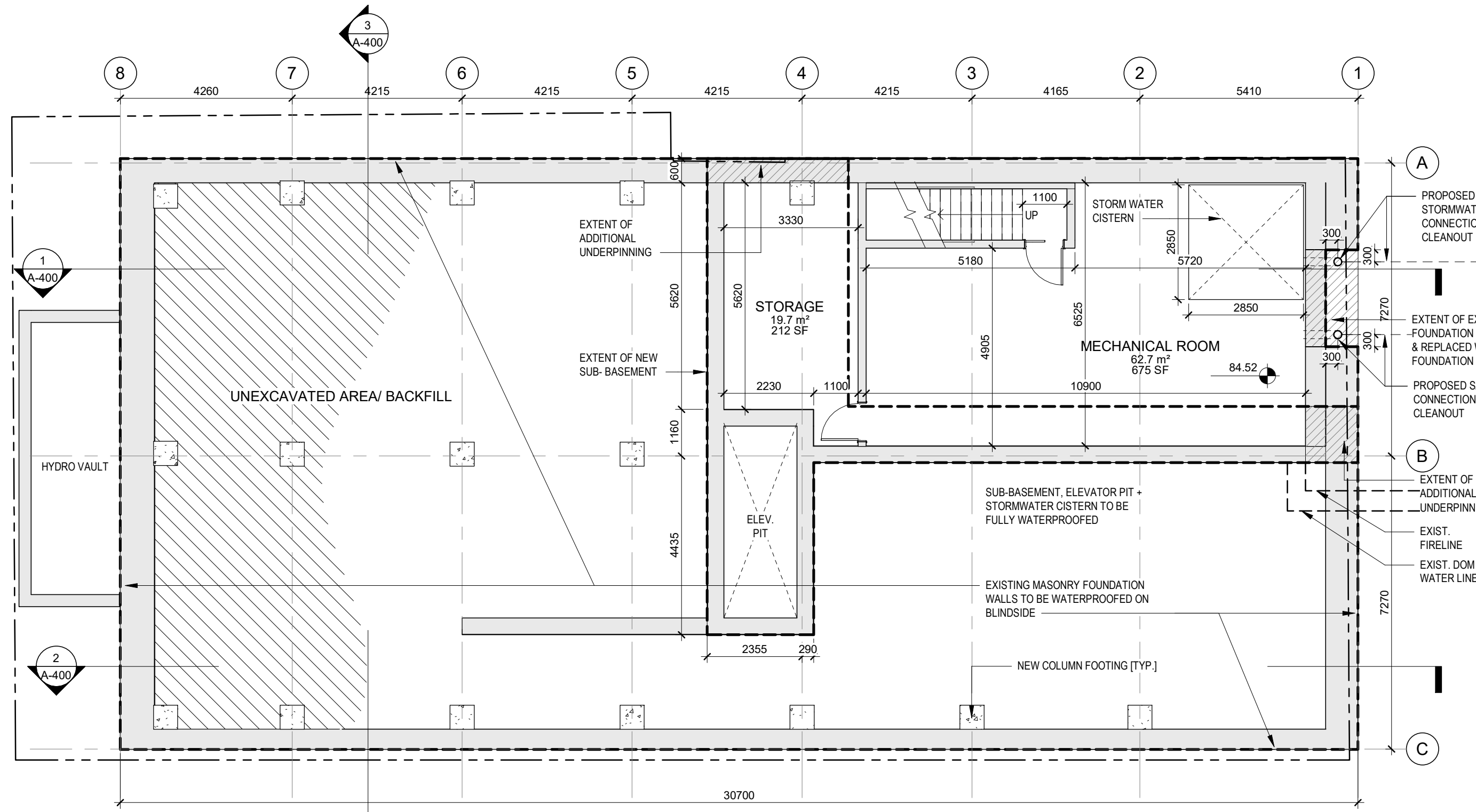
EXISTING PLANS



PROJECT 41826 DRAWN AE  
SCALE 1 : 100 CHECKED LB  
DATE 04/01/2023 PLOTTED

A-050





1 SUB-BASEMENT - PROPOSED  
1 : 100

2 LEVEL 01 - PROPOSED  
1 : 100

3 LEVEL 02 - PROPOSED  
1 : 100

4 LEVEL 3-4 - PROPOSED  
1 : 100

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741 Rowntree Dairy Road  
Woodbridge, ON L4L 5T9  
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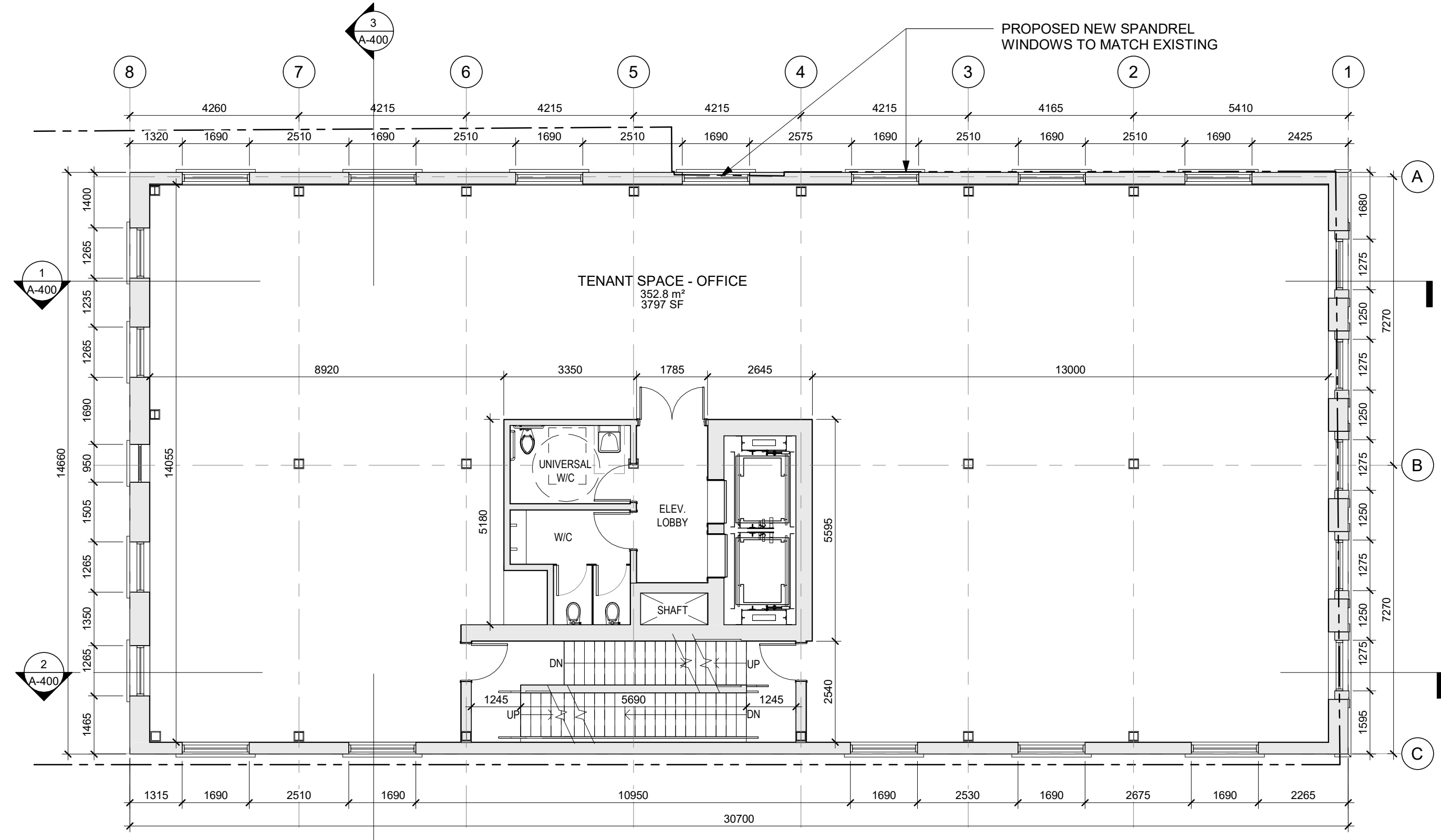
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160 John Street  
Toronto, ON

VERTICAL ADDITION  
PROPOSED PLANS

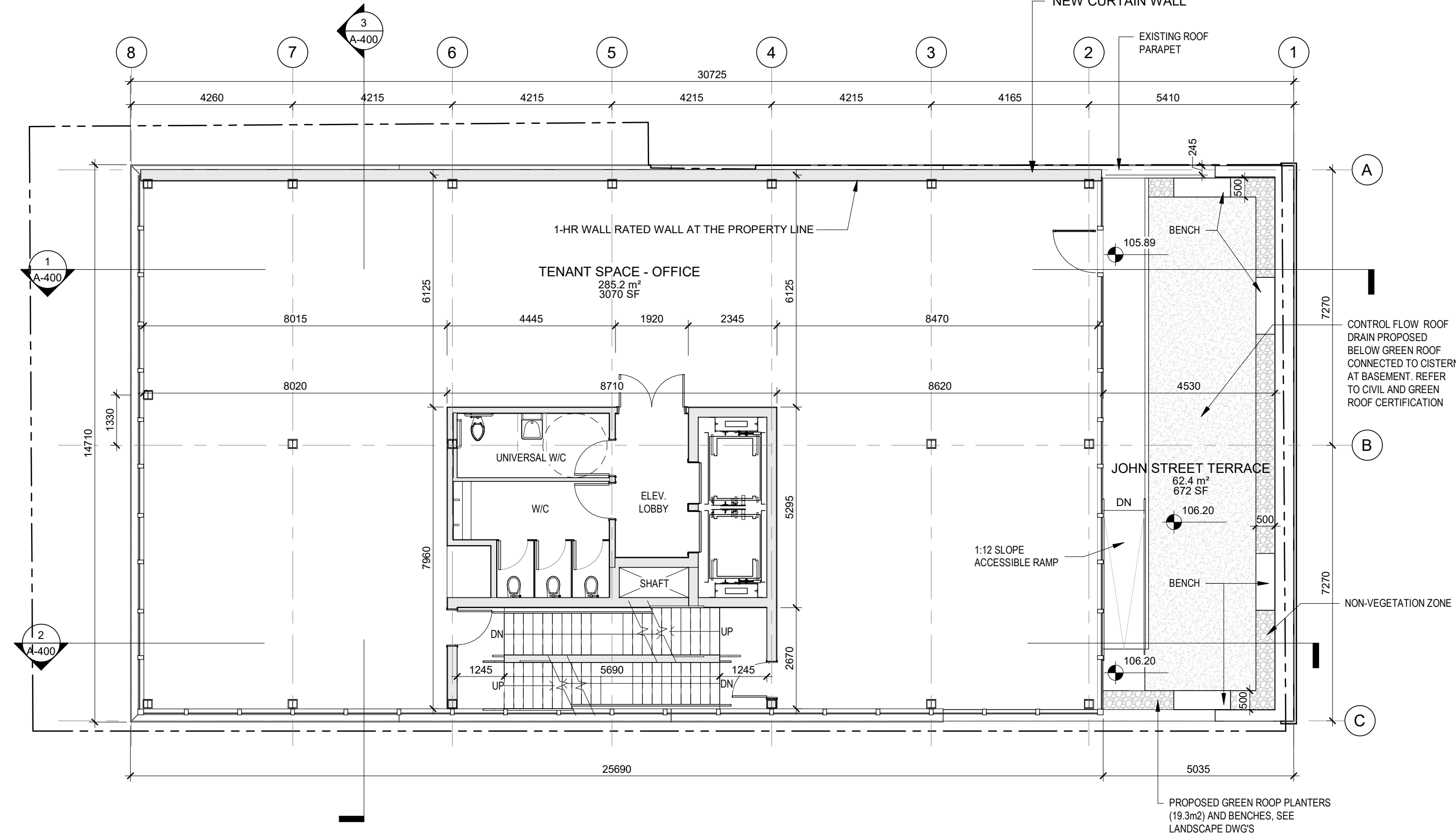
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SCALE	1 : 100	CHECKED	LB
DATE	04/01/2023	PLOTTED	

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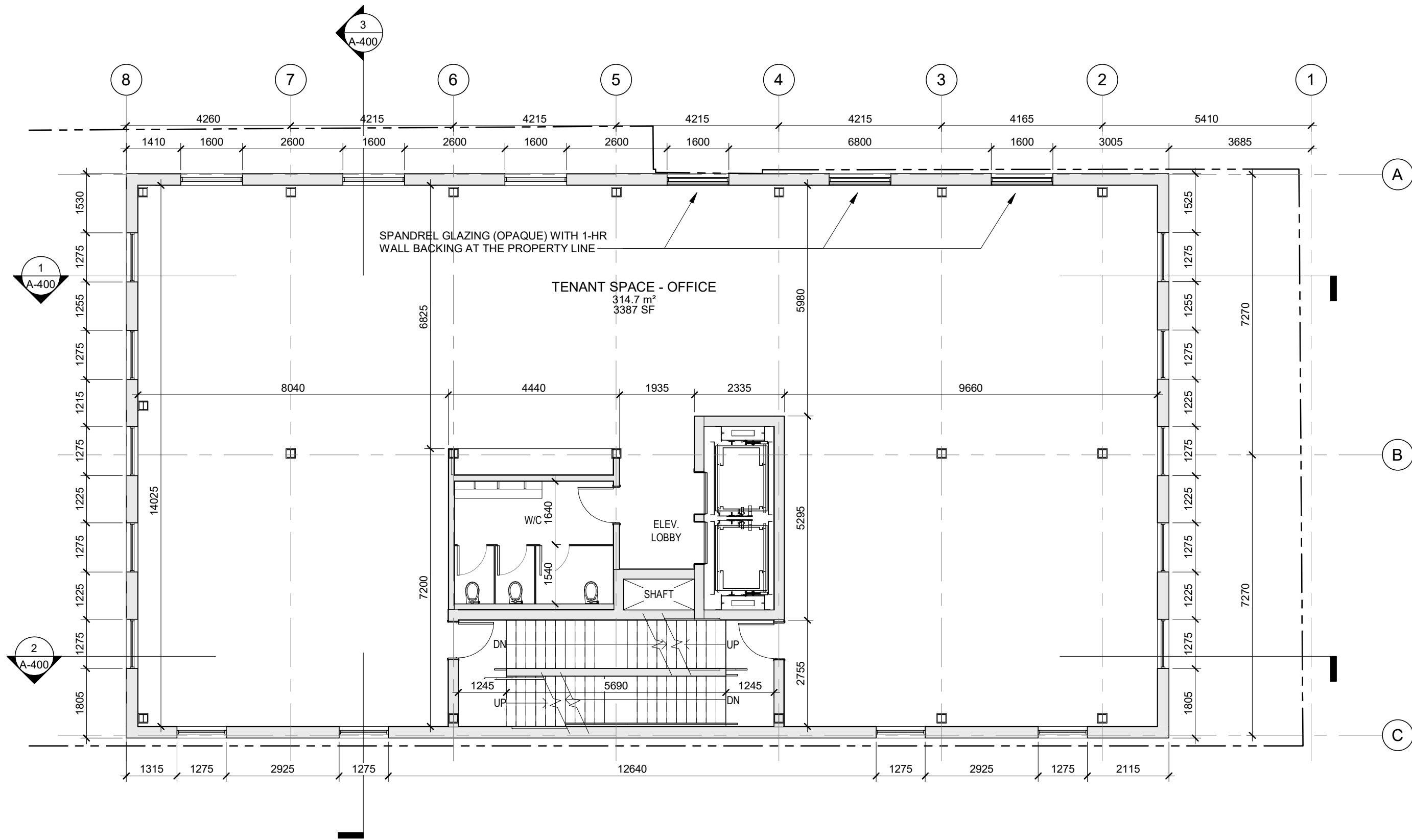




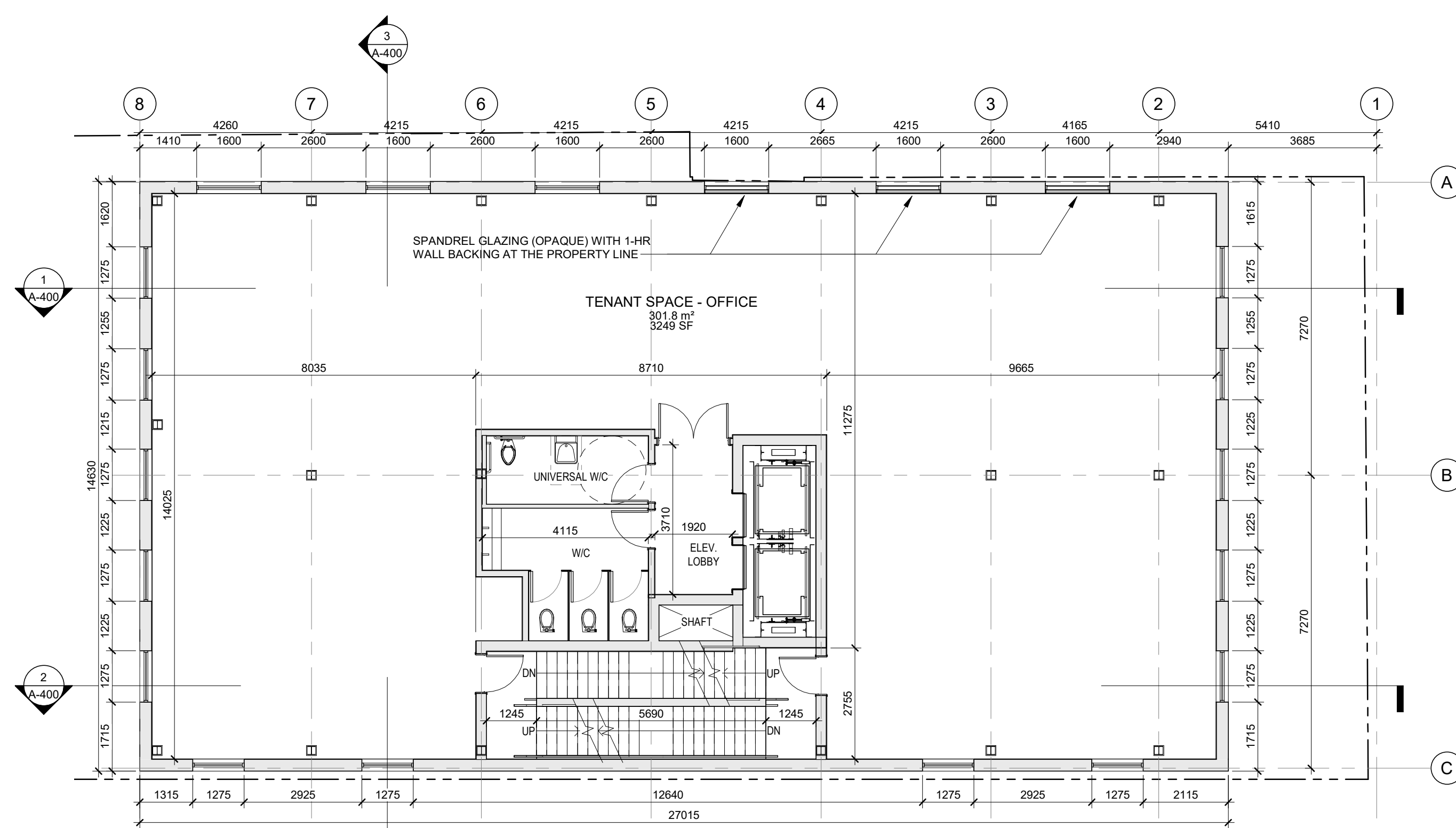
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2 Level 06 - PROPOSED UNIVERSAL W/C  
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3 LEVEL 07 - 08 PROPOSED  
1 : 100



4 LEVEL 09 PROPOSED UNIVERSAL W/C  
1 : 100

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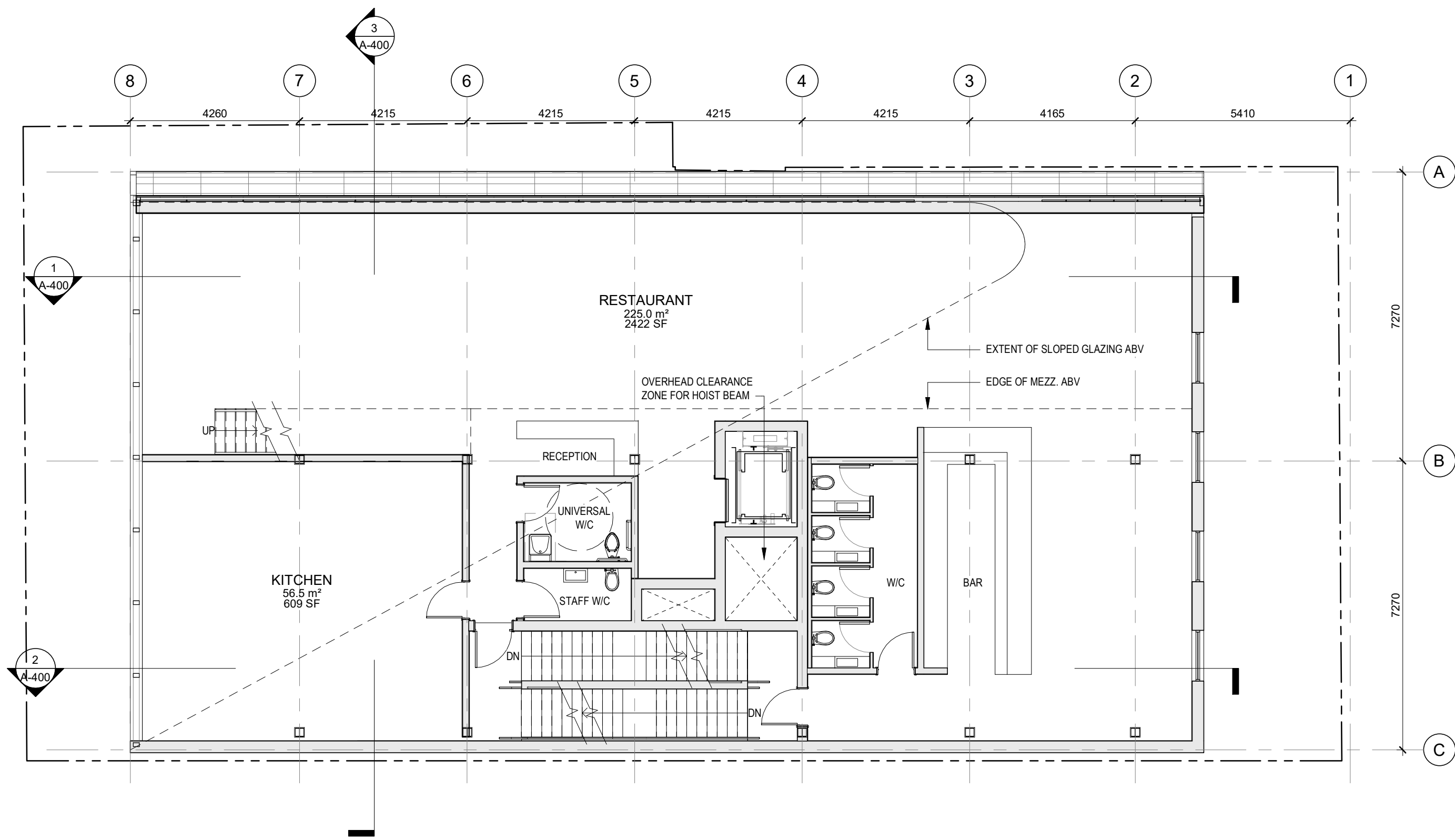
160 JOHN STREET  
160 John Street  
Toronto, ON

VERTICAL ADDITION  
PROPOSED PLANS

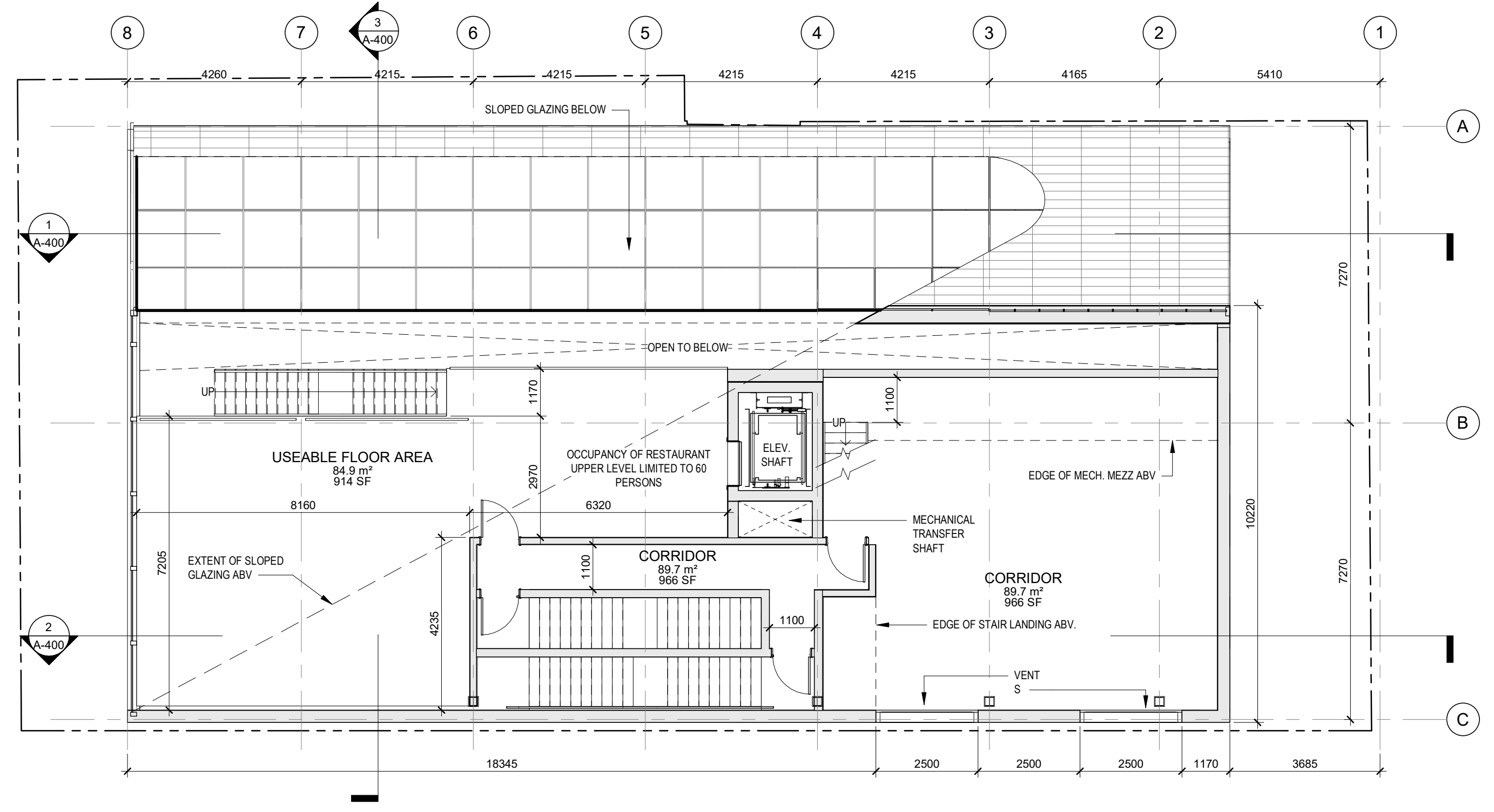


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SCALE	1 : 100	CHECKED	LB
DATE	04/01/2023	PLOTTED	

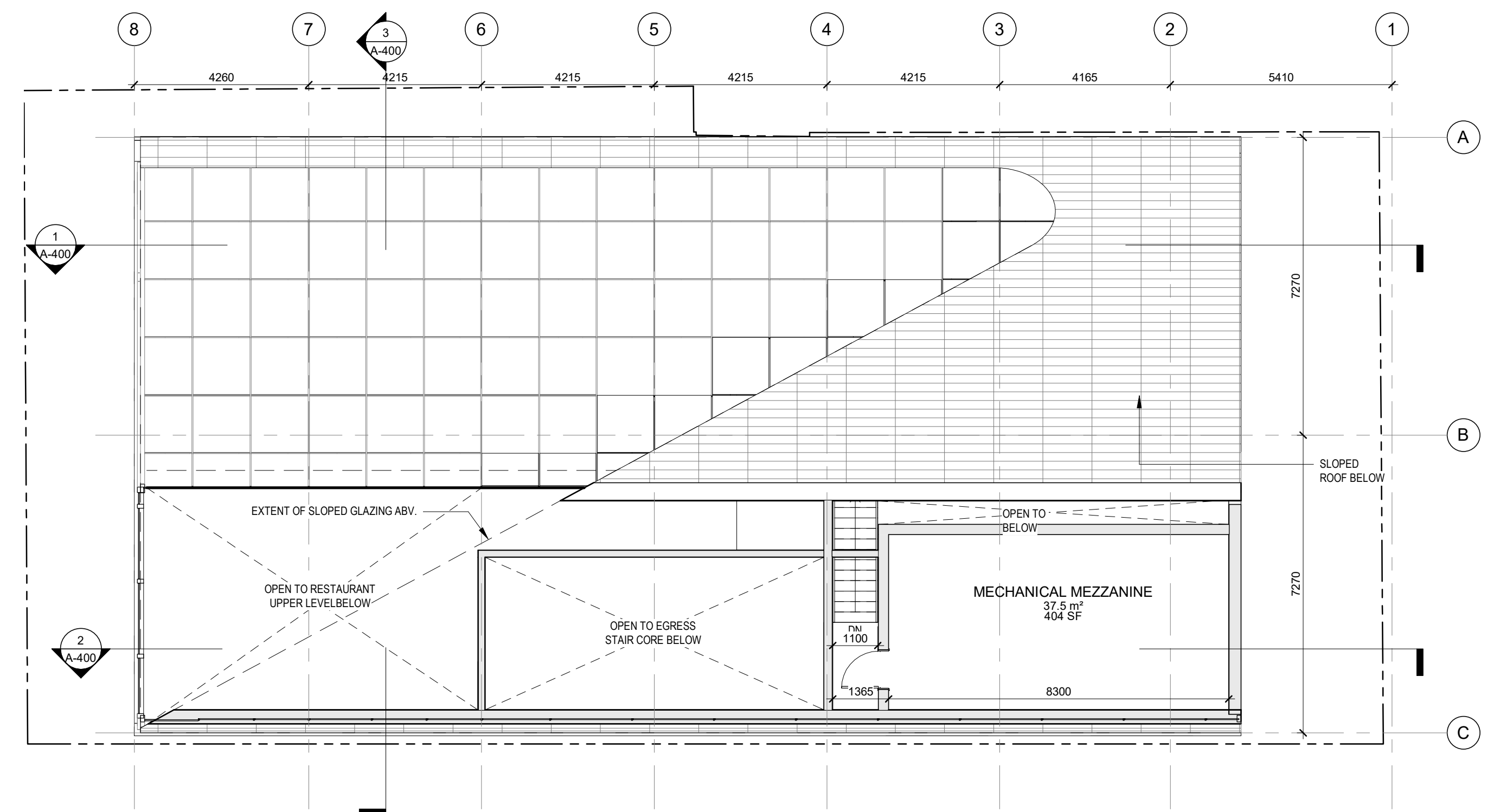
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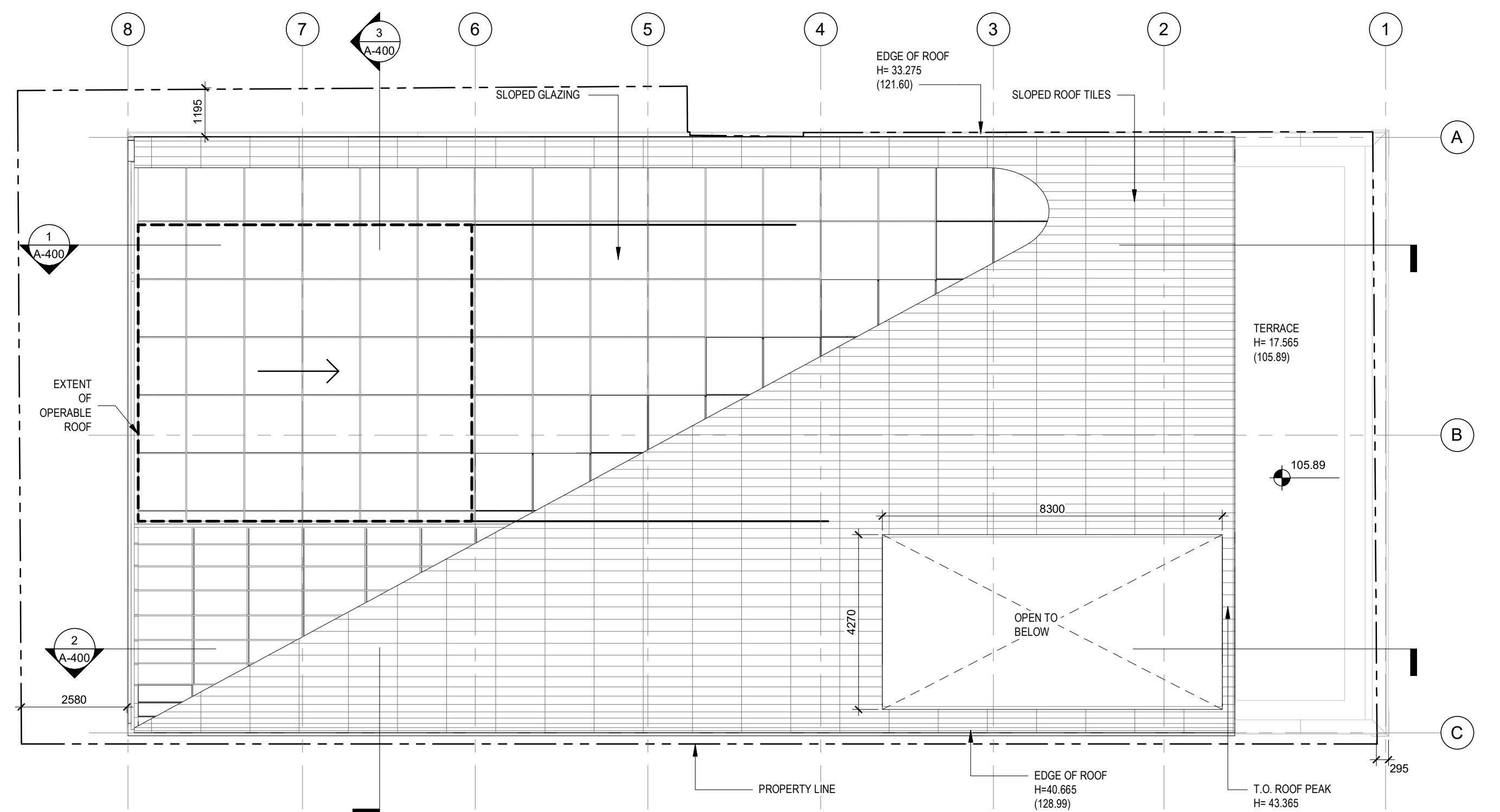
1 LEVEL 10 PROPOSED  
1 : 100



2 LEVEL 11 PROPOSED  
1 : 100



3 LEVEL 11 MECH. MEZZ.  
1 : 100



4 PROPOSED ROOF  
1 : 100

Green Roof Statistics		
	Proposed	(ADDITION AREA) (WITHIN PARAPETS)
Gross Floor Area, as defined in Green Roof Bylaw (m <sup>2</sup> )	2463.1	
Total Roof Area (m <sup>2</sup> )	417.7	
Area of Residential Private Terraces (m <sup>2</sup> )	0	
Rooftop Outdoor Amenity Space, if in a Residential Building (m <sup>2</sup> )	0	
Area of Renewable Energy Devices (m <sup>2</sup> )	0	
Tower (s) Roof Area with floor plate less than 750 m <sup>2</sup>	0	
Total Available Roof Space (m <sup>2</sup> )	417.7	
<b>Green Roof Coverage</b>	<b>Required</b>	<b>Proposed</b>
Coverage of Available Roof Space (m <sup>2</sup> )	83.54	39.1
Coverage of Available Roof Space (%)	20%	9.4%

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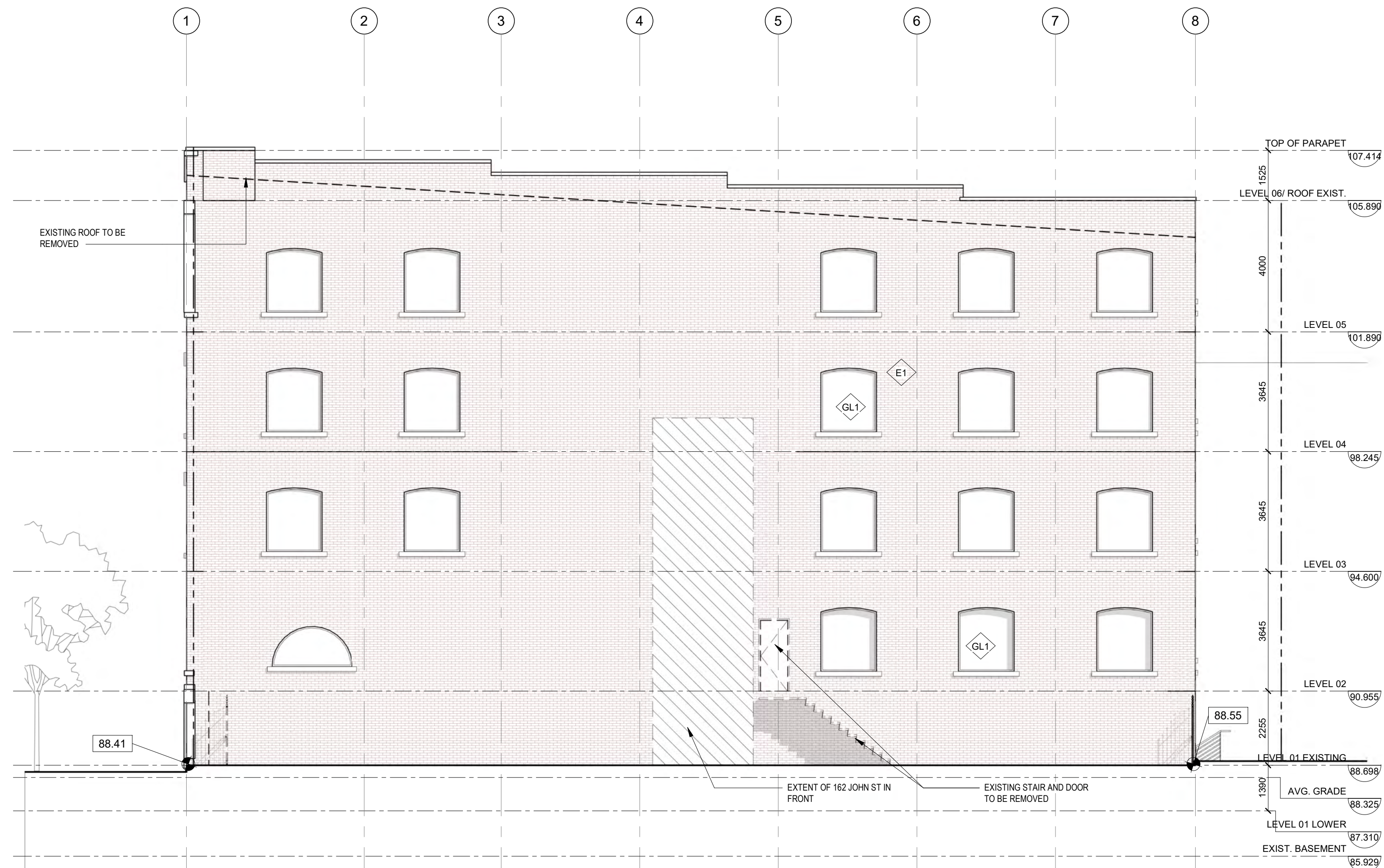
160 JOHN STREET  
160 John Street  
Toronto, ON

VERTICAL ADDITION  
PROPOSED PLANS

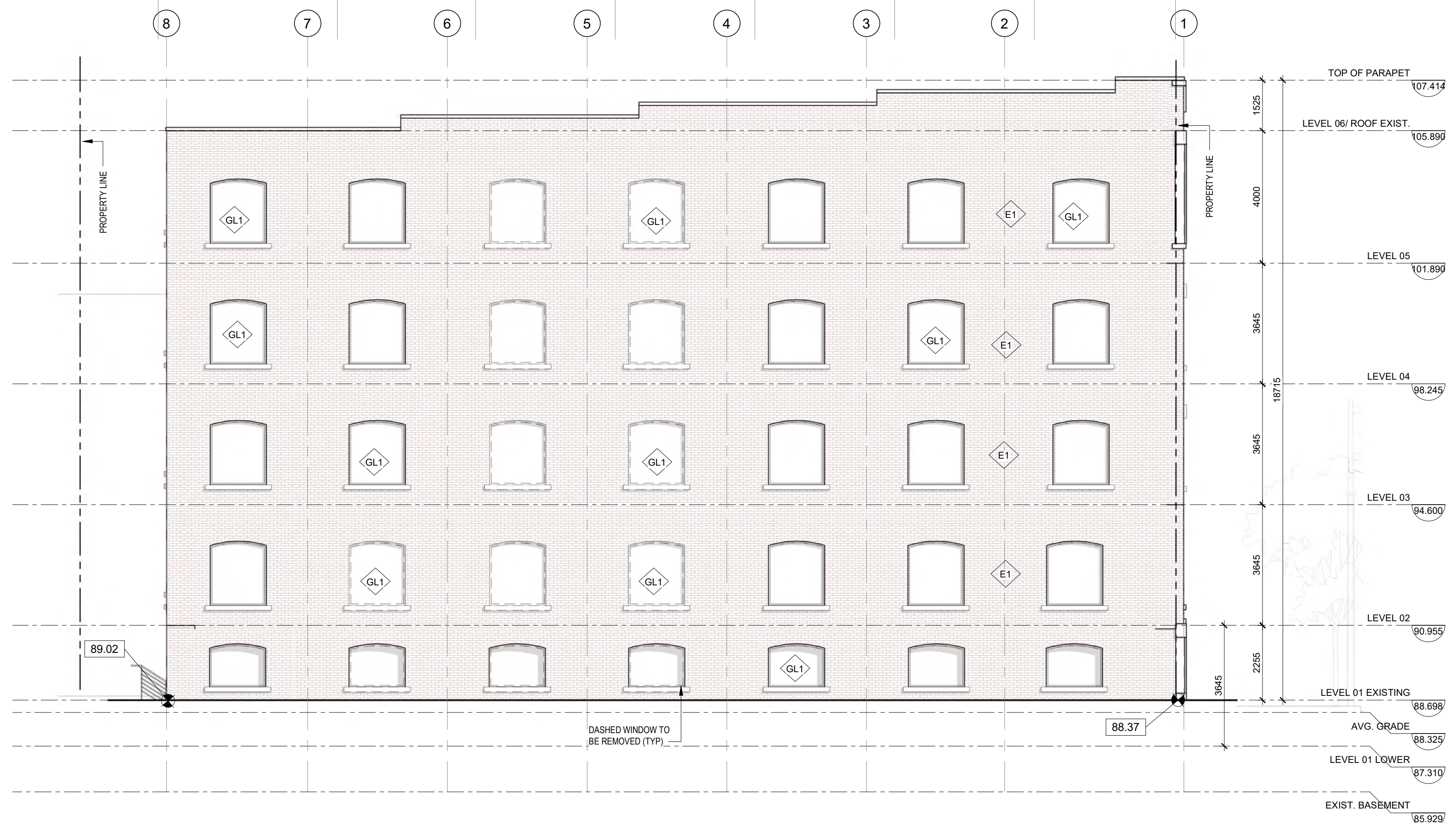
PROJECT 41826 DRAWN AE  
SCALE 1:100 CHECKED LB  
DATE 04/01/2023 PLOTTED

A-102





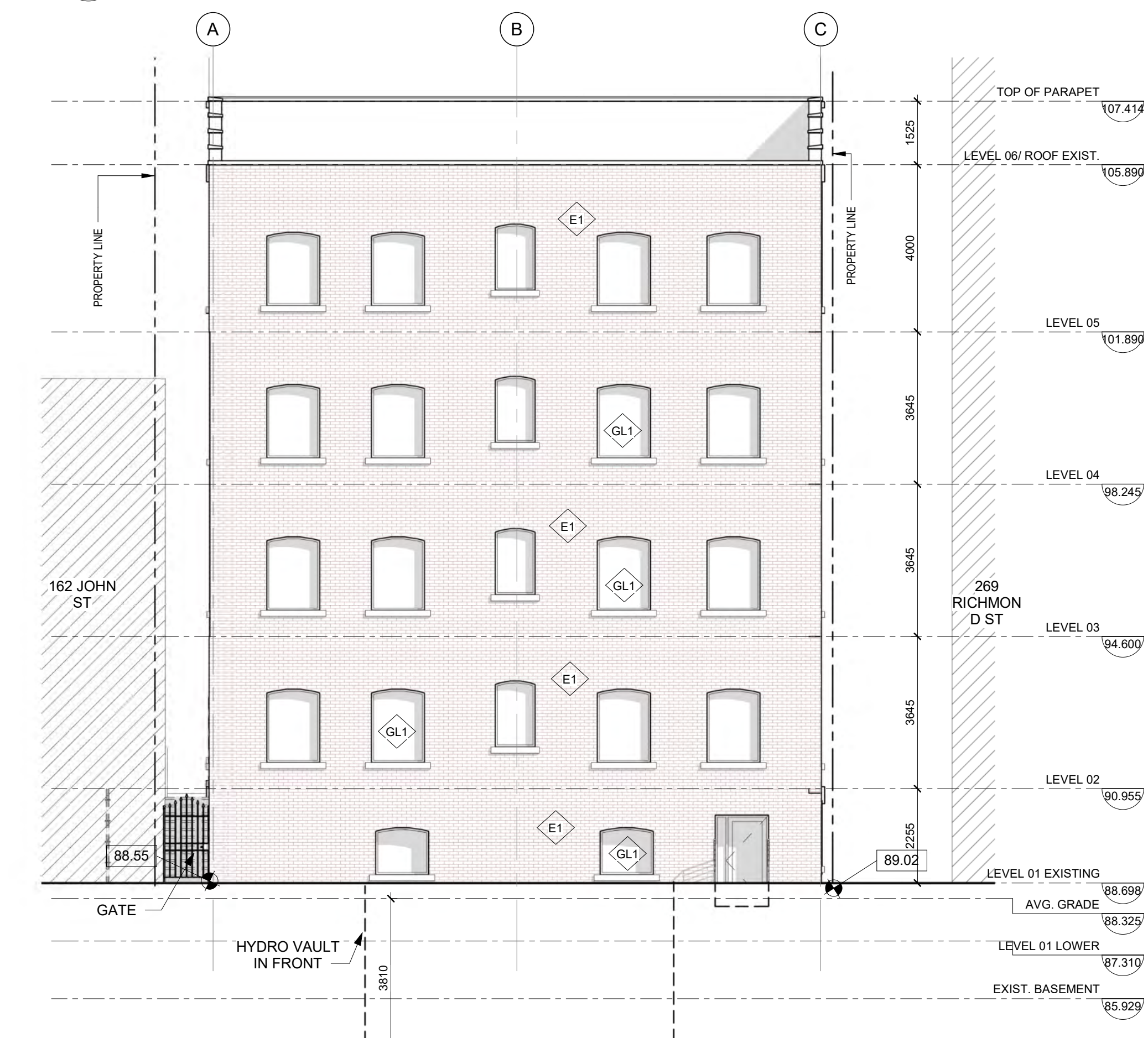
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1 : 100



3 SOUTH ELEVATION EXISTING  
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2 EAST ELEVATION EXISTING  
1 : 100



4 WEST ELEVATION EXISTING  
1 : 100

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8	04 01 2023	Issued for Rezoning

NOTES

EXTERIOR CLADDING

LEGEND:

- E-1 - EXISTING BRICK
- E-2 - REPAIR BRICK TO MATCH EXISTING
- E-3 - EXISTING PRECAST CONCRETE SILL, LINTEL & JAMB
- E-4 - GLAZED WHITE TILE RAINSCREEN
- E-5 - PANELIZED CLADDING
- GL1 - GLASS
- GL2 - CURTAIN WALL / RIBBON WINDOW
- GL3 - PRIVACY GLAZING  
(Example: Glass block or opaque glazing so as to ensure zero visibility into or from 160 John while allowing for light penetration.)
- SP - SPANDREL PANEL

ALL NORTH, SOUTH, & WEST FACING WINDOWS TO BE PROTECTED WITH SPRINKLERS AS REQUIRED BY O.B.C

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T. 905.264.0054  
W. valdorengineering.com

269 RICHMOND ST  
160 JOHN STREET  
Toronto, ON

VERTICAL ADDITION  
EXISTING ELEVATIONS

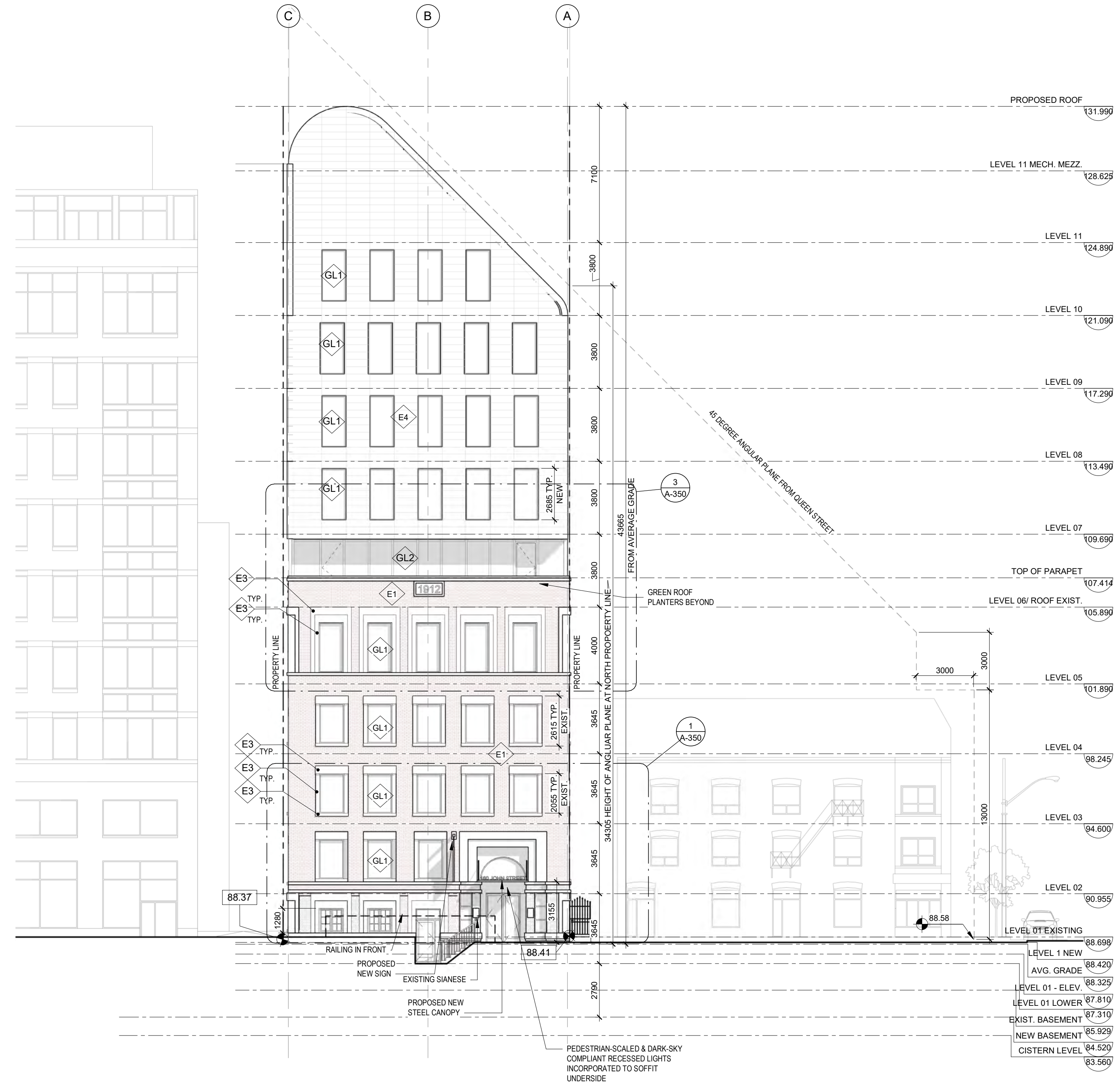
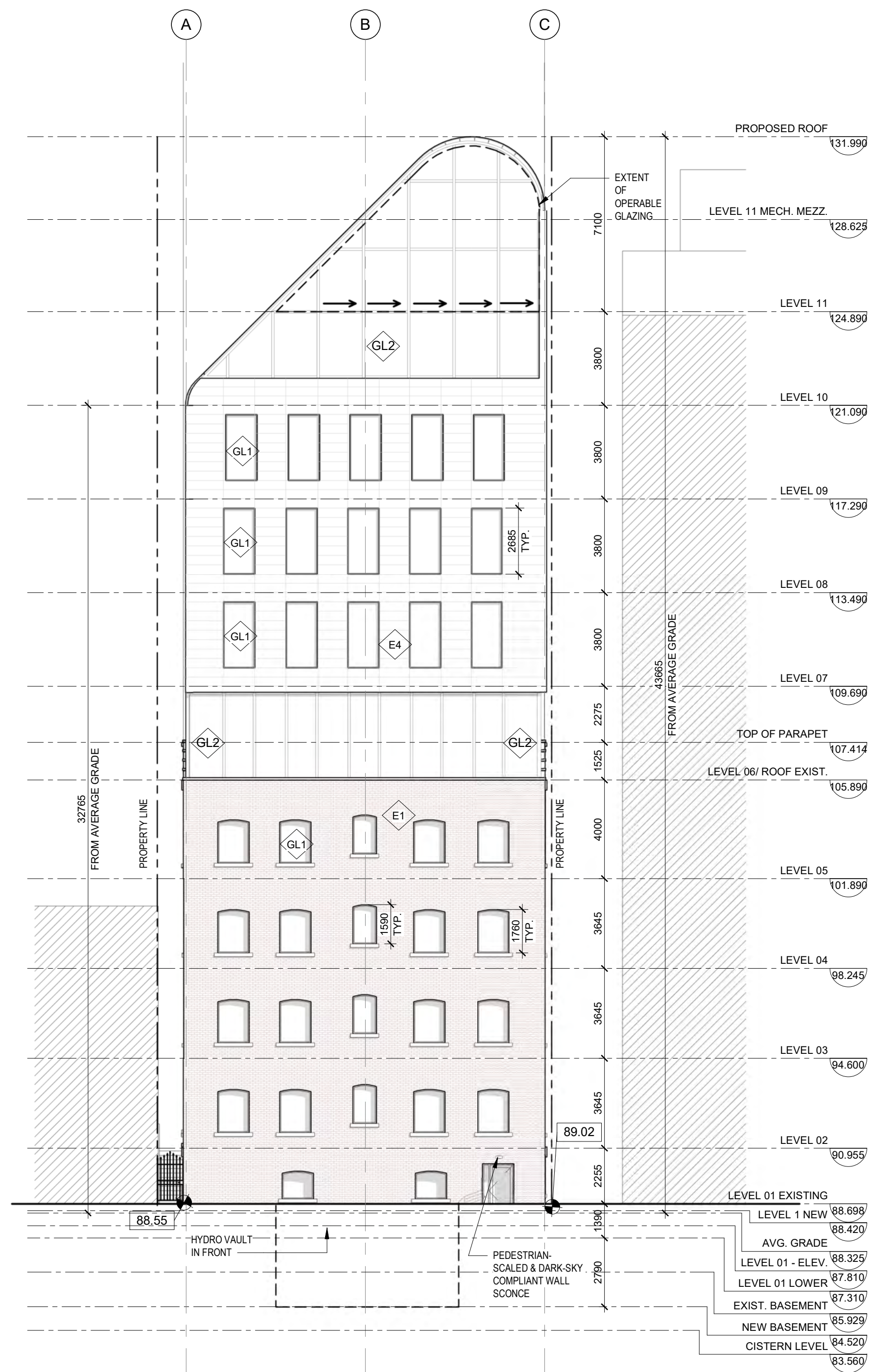
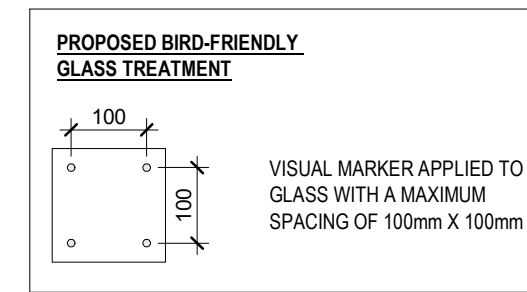
PROJECT 41926 DRAWN AE  
SCALE As Indicated CHECKED LB  
DATE 04/01/2023 PLOTTED

A-300



For further information, please visit [www.toronto.ca/greendevlopment](http://www.toronto.ca/greendevlopment)  
Within 12m of Grade

Elevation	Vision Glazing	Low-Reflectance (Opaque Materials)	Visual Markers	Shaded	Total Area (m <sup>2</sup> )	Total Treated Area (%)
North	39.6m <sup>2</sup>	0	37.5m <sup>2</sup>		37.5m <sup>2</sup>	94.7%
East	41.0m <sup>2</sup>	0	29.9m <sup>2</sup>	3.4m <sup>2</sup>	33.3m <sup>2</sup>	81.2%
South	48.2m <sup>2</sup>	0	41.0m <sup>2</sup>		41.0m <sup>2</sup>	85.0%
West	34.4m <sup>2</sup>	0	32.0m <sup>2</sup>		32.0m <sup>2</sup>	93.0%
Totals (m <sup>2</sup> )	163.2m <sup>2</sup>	0	140.4m <sup>2</sup>	3.4m <sup>2</sup>	143.8m <sup>2</sup>	88.5%
Totals (%)			86.02%	2.48%		88.5%



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NOTES

EXTERIOR CLADDING  
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- SP - SPANDREL PANEL

ALL NORTH, SOUTH, & WEST FACING WINDOWS TO BE PROTECTED WITH SPRINKLERS AS REQUIRED BY O.B.C

- |   |  |
|---|--|
| Heritage Consultant<br>E.R.A<br>625 Church Street #600<br>Toronto, ON M4Y 2G1<br>T. 416.963.4437<br>W. eraarch.ca                               | Geotechnical Consultant<br>Terraprobe<br>11 Indell Ln<br>Brampton, ON L6T 3Y3<br>T. 905.796.2650<br>W. terraprobe.ca                       |
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160 JOHN STREET  
160 John Street  
Toronto, ON

VERTICAL ADDITION

PROPOSED ELEVATION

PROJECT	41926	DRAWN	AE
SCALE	As Indicated	CHECKED	LB
DATE	04/01/2023	PLOTTED	

A-310



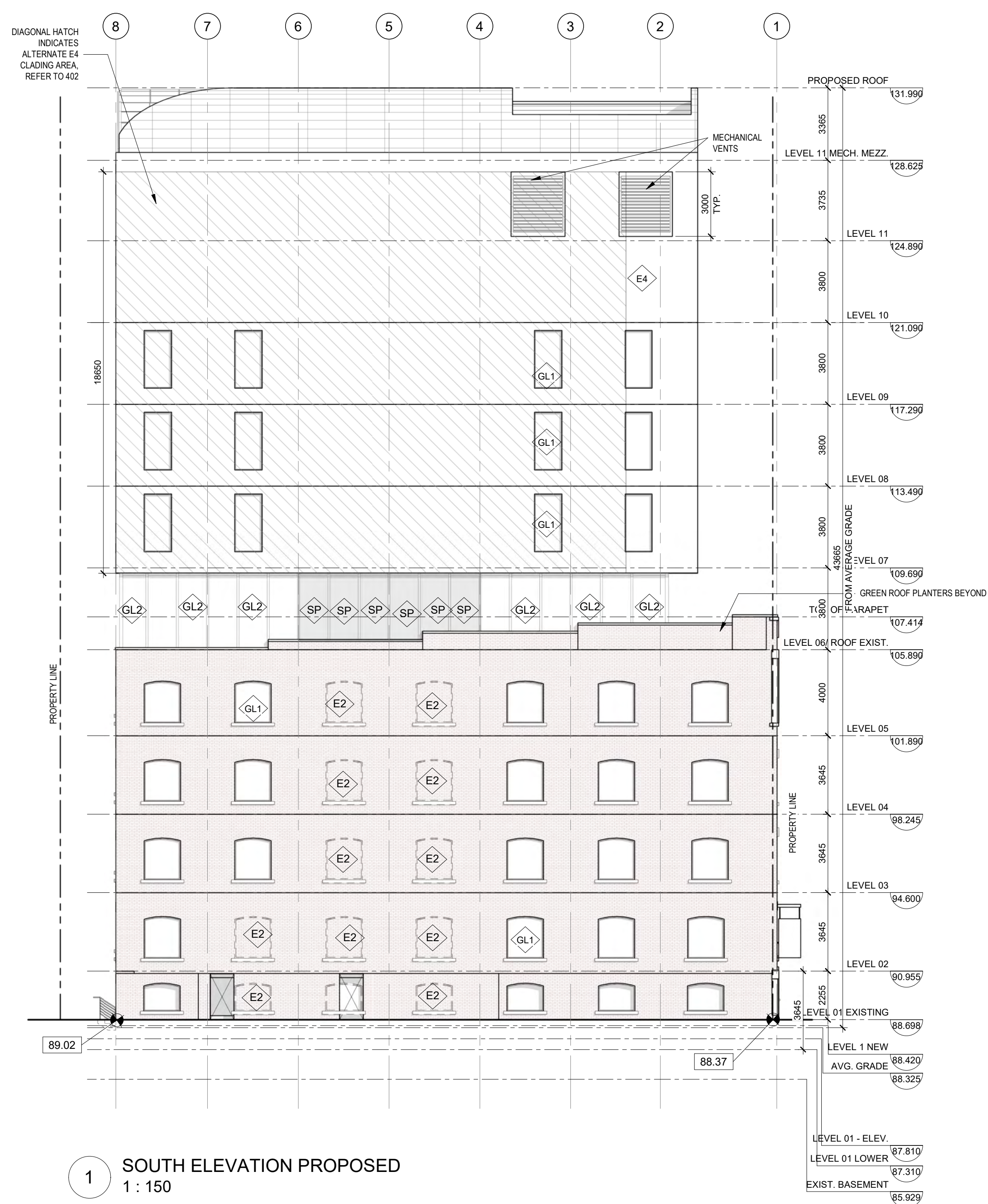
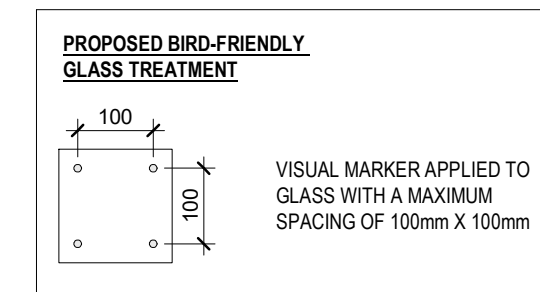
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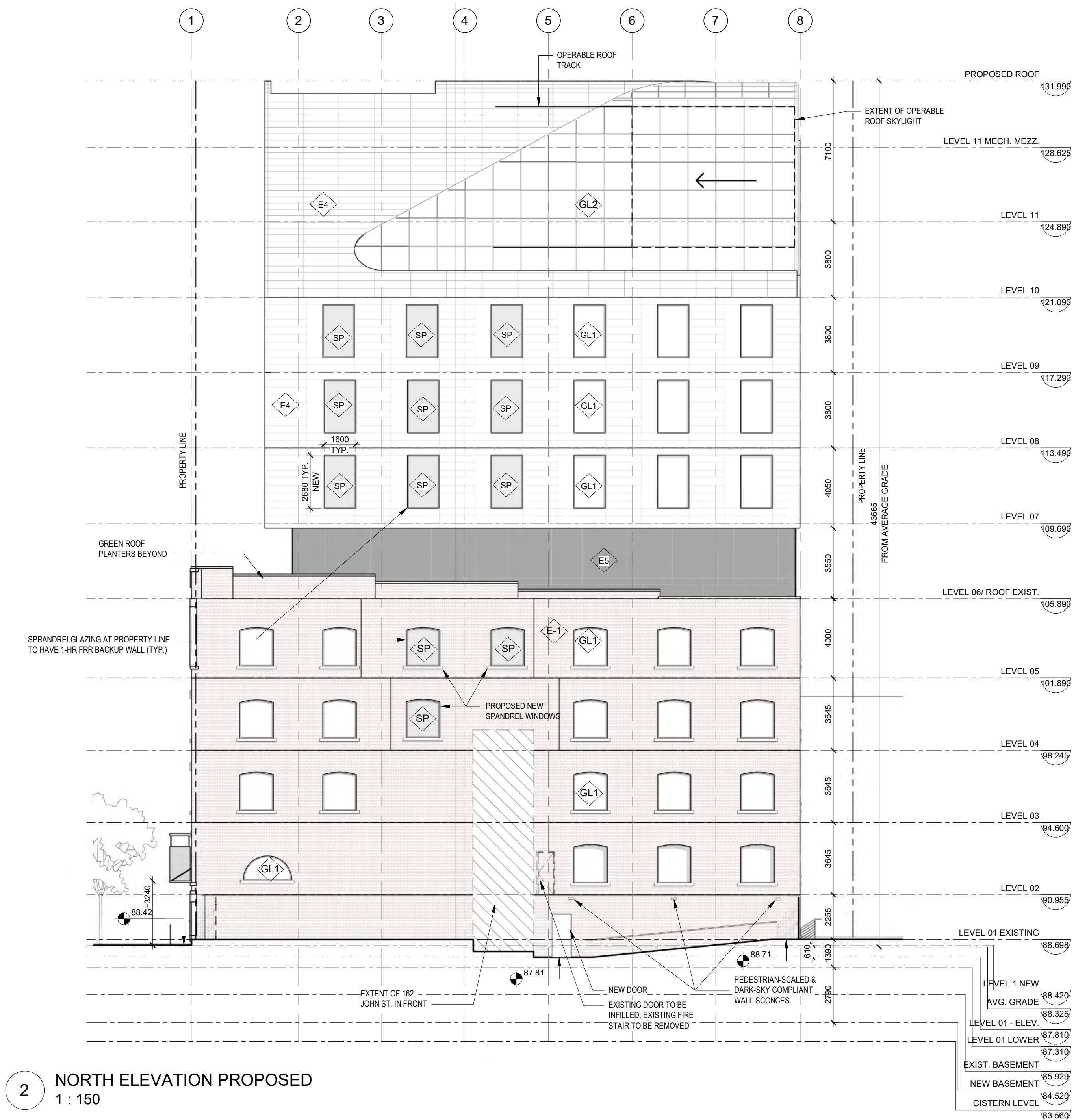
Statistics Template - Toronto Green Standard Version 3.0  
 Bird Friendly Design

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1 SOUTH ELEVATION PROPOSED  
 1: 150



2 NORTH ELEVATION PROPOSED  
 1: 150

NOTES

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160 JOHN STREET  
 160 John Street  
 Toronto, ON

VERTICAL ADDITION  
 PROPOSED ELEVATION

PROJECT 41926 DRAWN AE  
 SCALE As indicated CHECKED LB  
 DATE 04/01/2023 PLOTTED

A-311



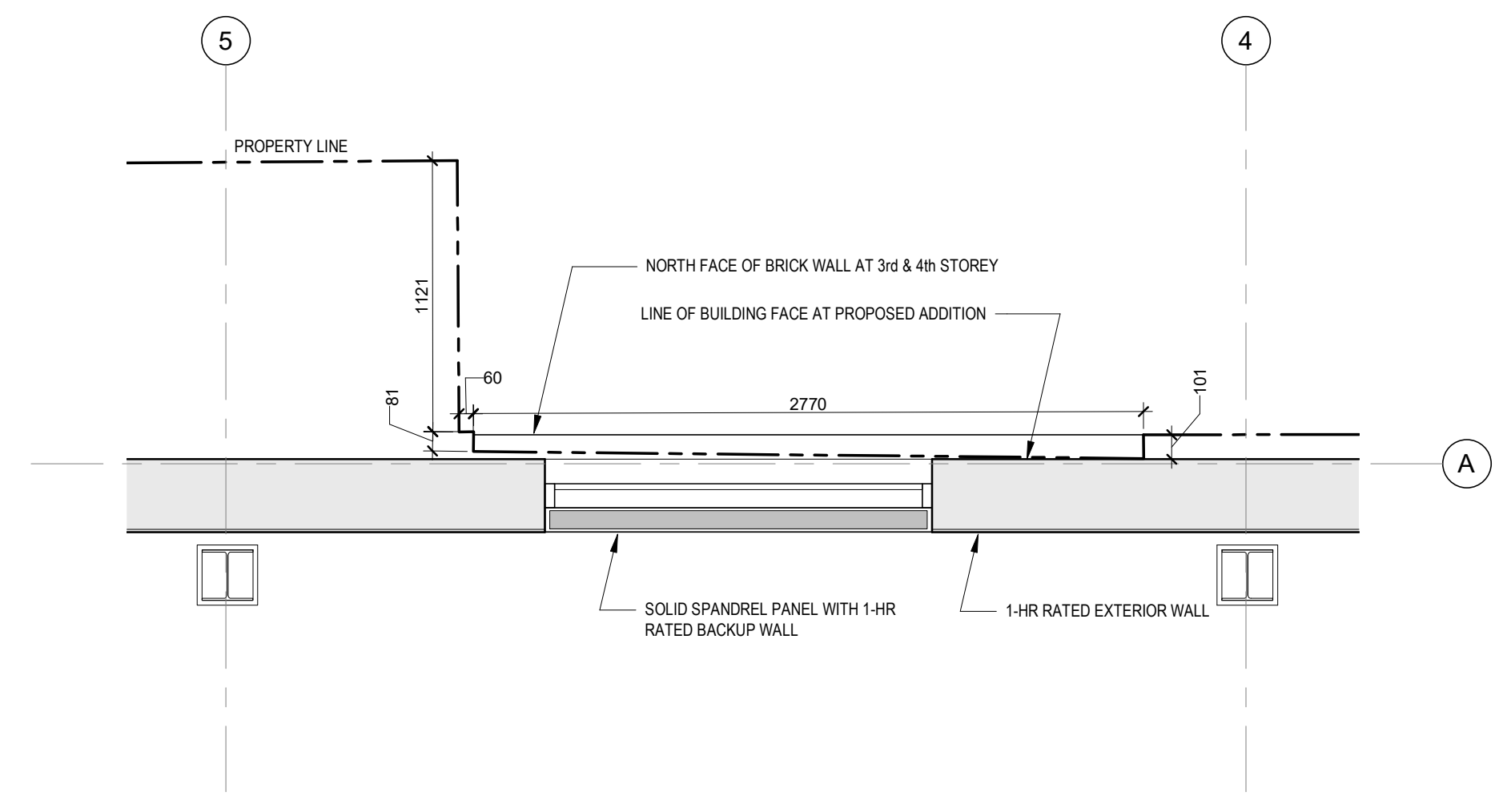
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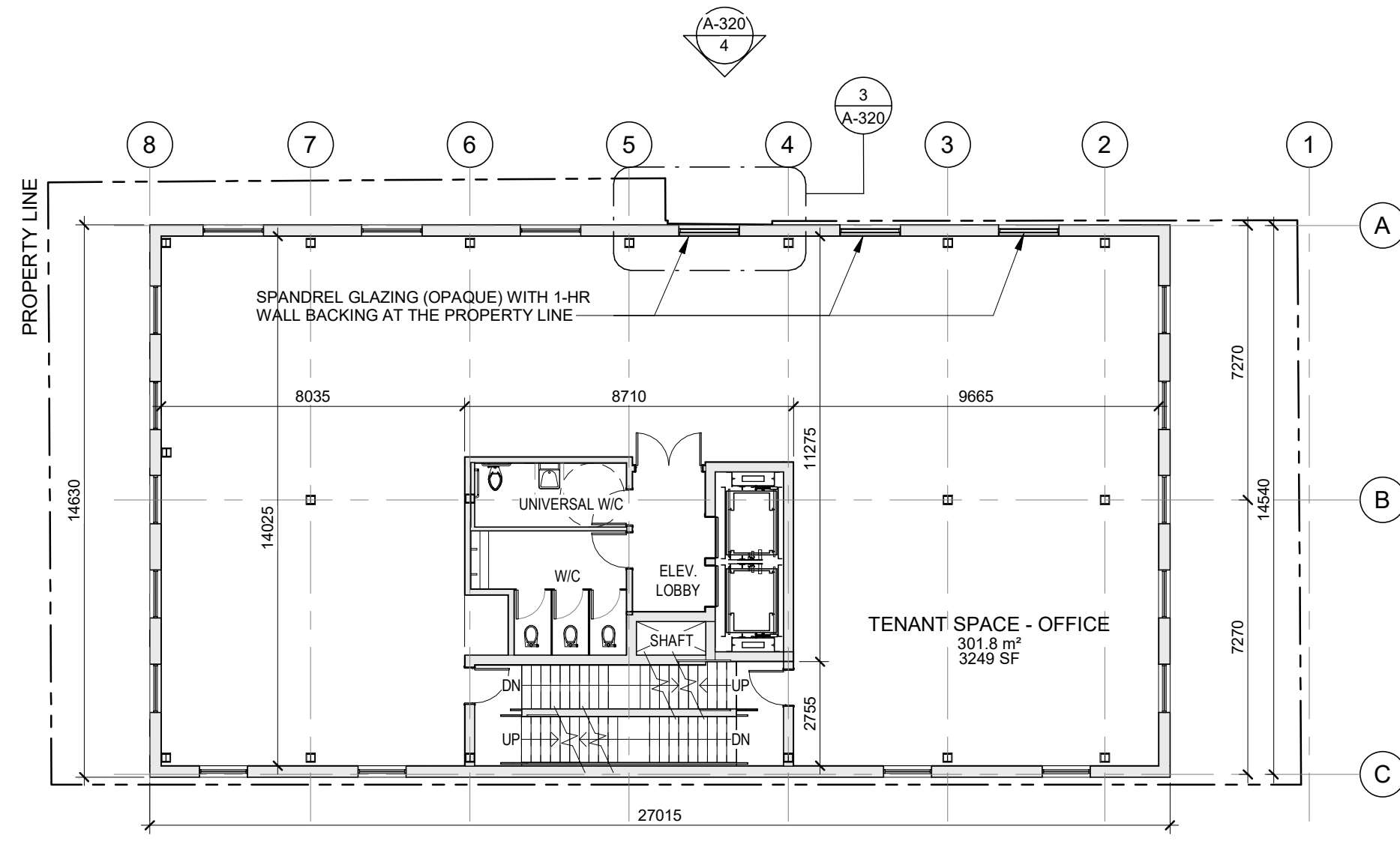
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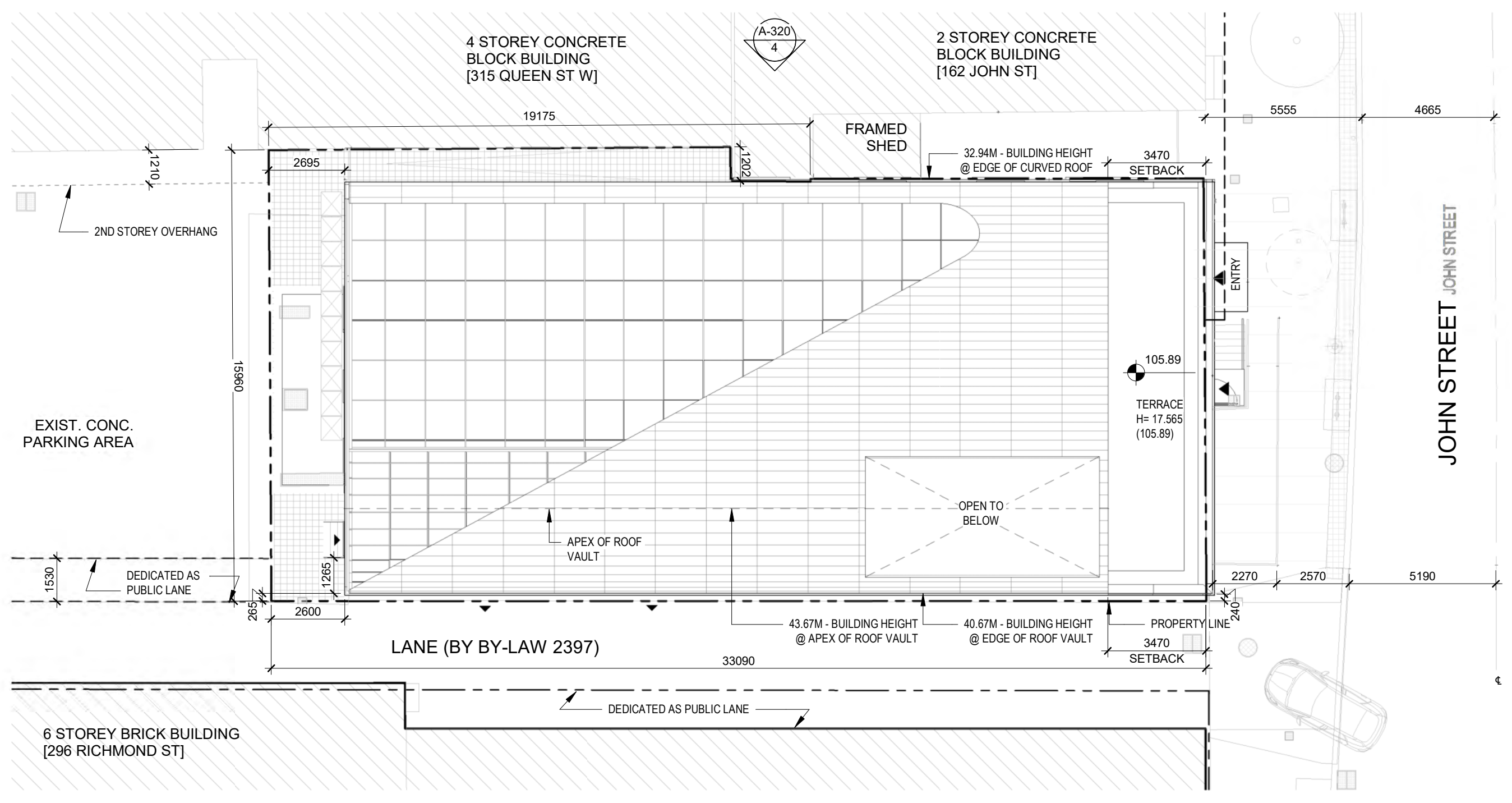
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**3 BUILDING FACE AT NORTH P.L. LEVELS 7-9**  
1 : 25



**2 LEVELS 7-9 PLAN**  
1 : 150



**1 PROPOSED ROOF PLAN**  
1 : 150



**4 REVISED NORTH ELEVATION**  
1 : 150

**GLAZING**  
**NO GLAZING**  
**PRIVACY GLAZING**  
 (Example: Glass block or opaque glazing so as to ensure zero visibility into or from 160 John while allowing for light penetration.)



**160 JOHN STREET**  
160 John Street  
Toronto, ON

**VERTICAL ADDITION**  
**NORTH FACADE & PROPERTY LINE DETAIL**

PROJECT	41926	DRAWN	YSI
SCALE	As Indicated	CHECKED	SD
DATE	04/01/2023	PLOTTED	

**A-320**





3 PROPOSED ADDITON - RENDERED ELEVATION  
1 : 50



2 PERSPECTIVE DETAIL



1 GROUND LEVEL - RENDERED ELEVATION  
1 : 50

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160 JOHN STREET  
160 John Street  
Toronto, ON

VERTICAL ADDITION  
RENDERED ELEVATIONS

PROJECT	41926	DRAWN	Author
SCALE	As Indicated	CHECKED	Checker
DATE	04/01/2023	PLOTTED	

A-350



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Toronto, ON M5C 1K9  
info@svn-arch.com  
416.933.6969

160 JOHN STREET  
160 John Street  
Toronto, ON

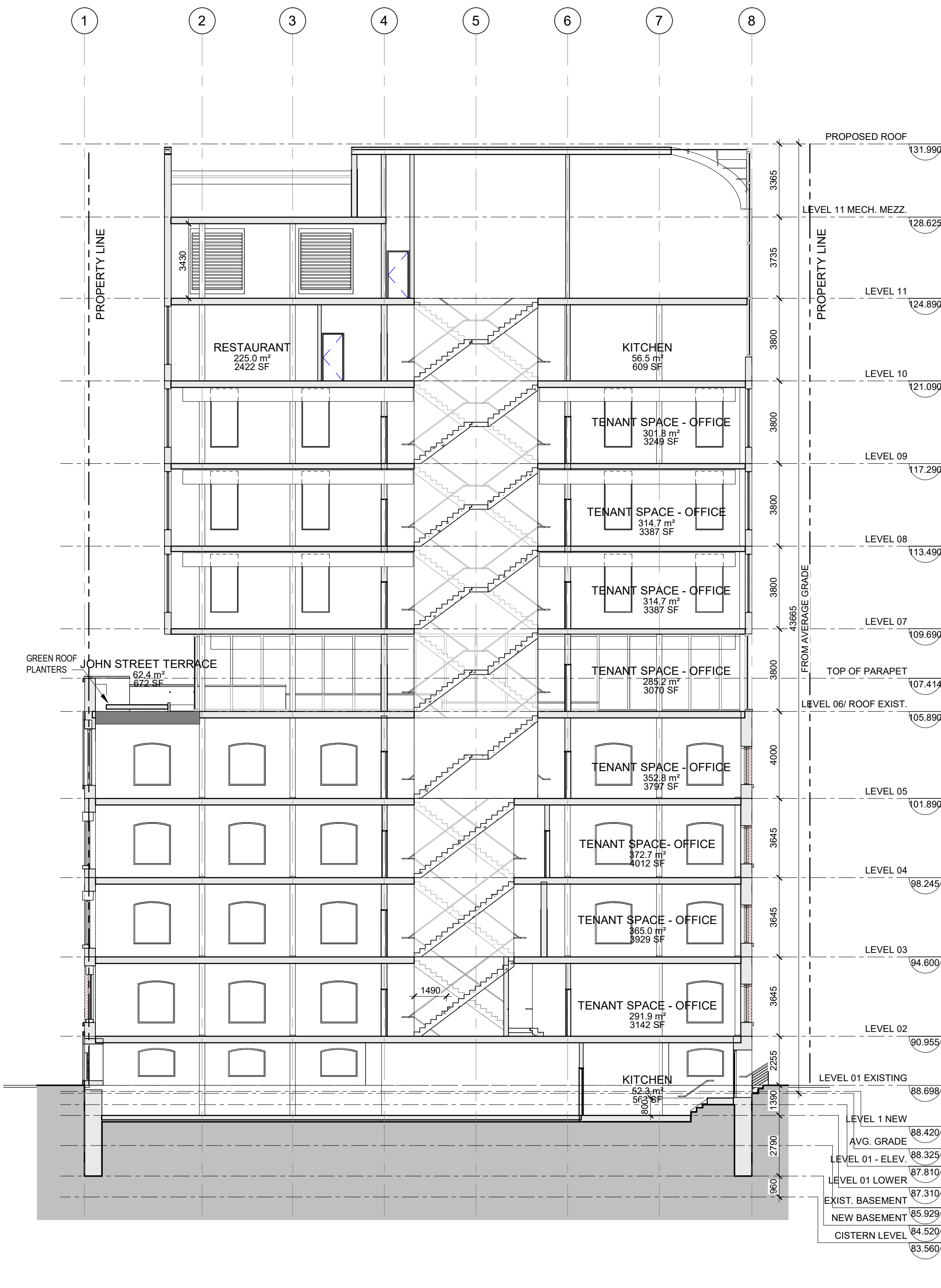
VERTICAL ADDITION  
BUILDING SECTIONS

PROJECT 41926 DRAWN AE  
SCALE 1:150 CHECKED LB  
DATE 04/01/2023 PLOTTED

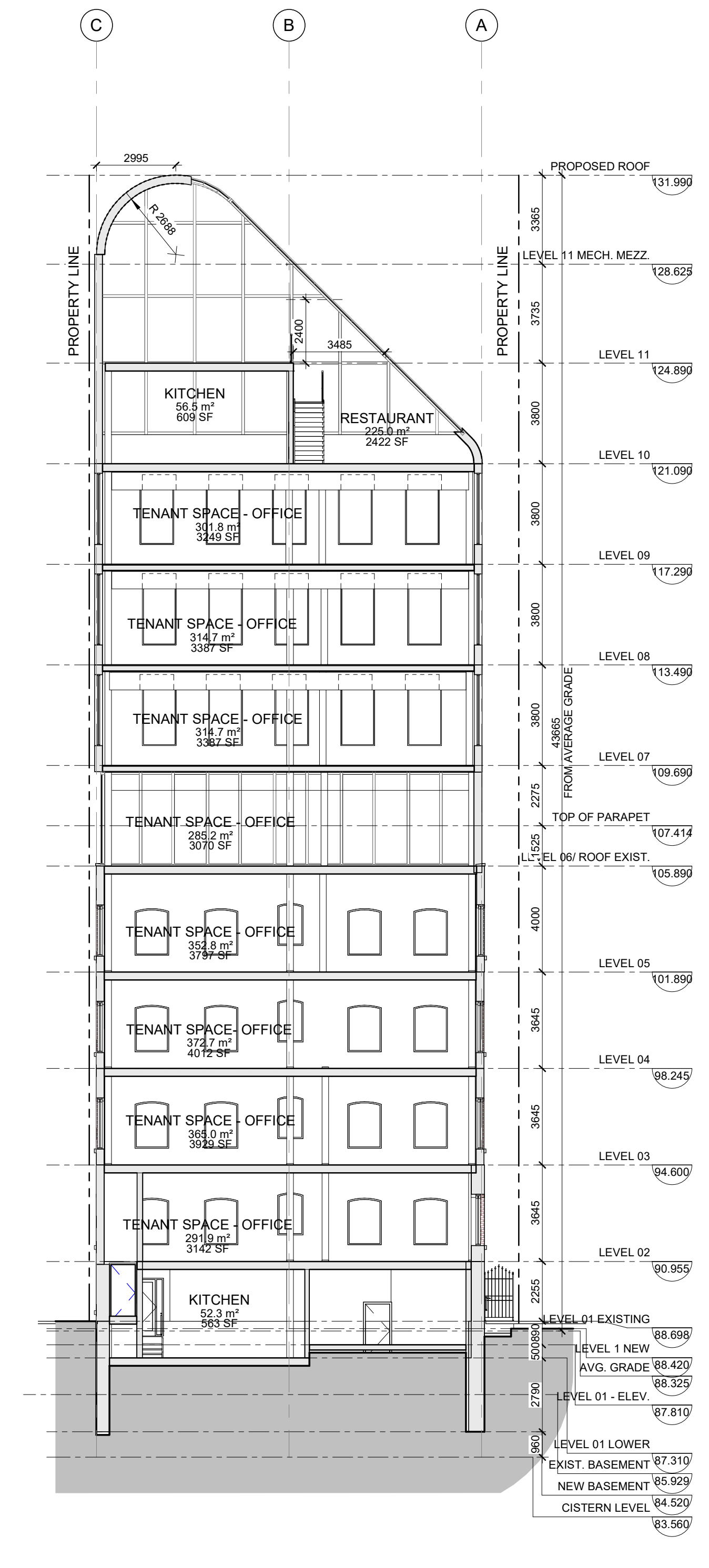
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1 Building Section 1  
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2 Building Section 2  
1: 150

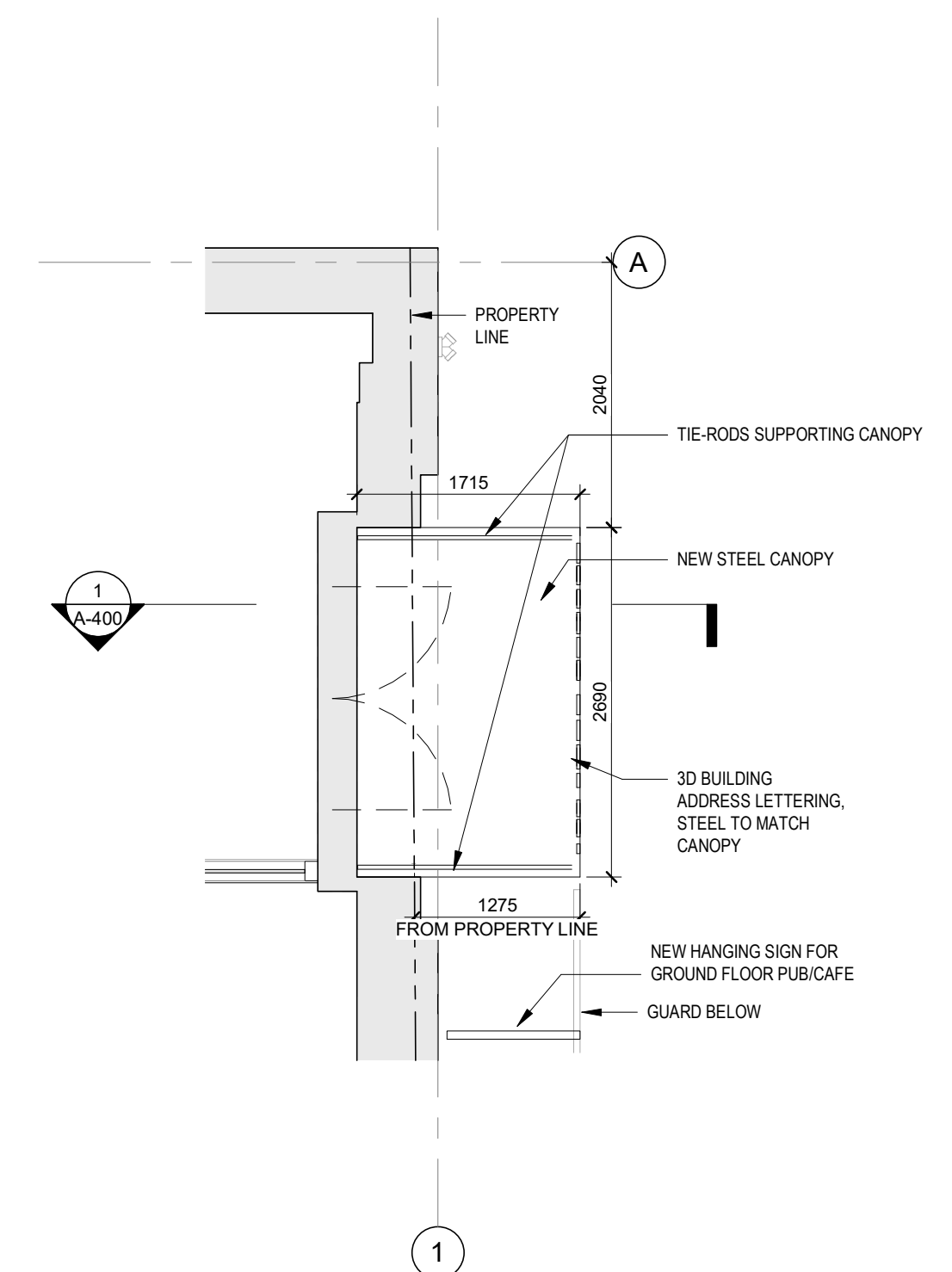


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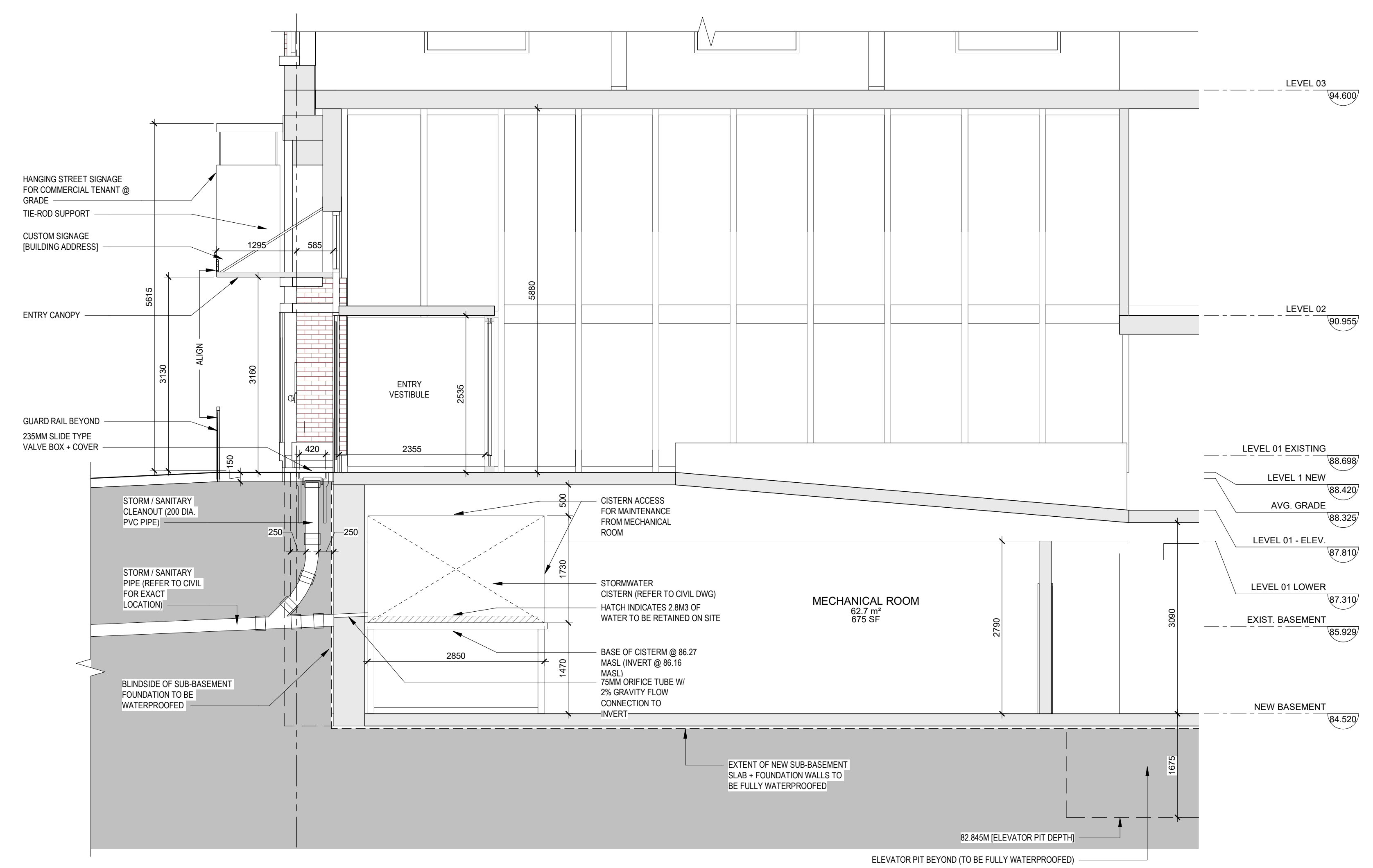
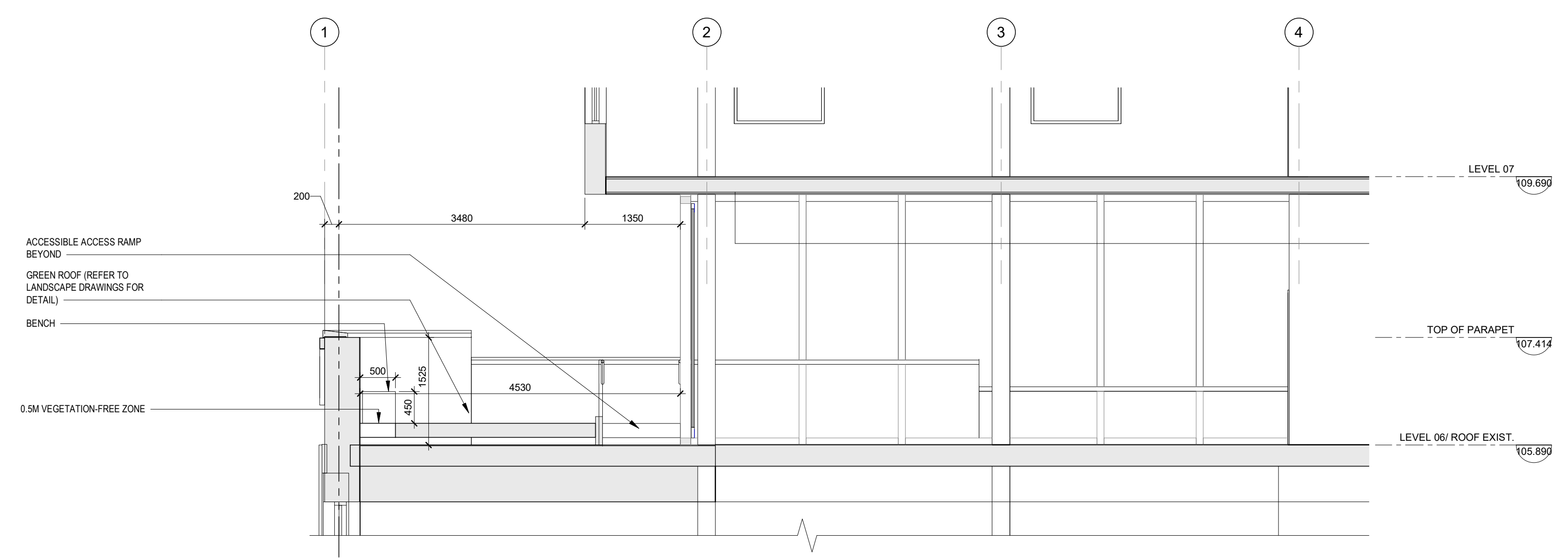




3 PERSPECTIVE DETAIL



2 CANOPY PLAN DETAIL  
1 : 50



1 BUILDING SECTION @ JOHN ST ENTRANCE  
1 : 50

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NOTES

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160 JOHN STREET  
160 John Street  
Toronto, ON

VERTICAL ADDITION

BUILDING ENTRANCE  
DETAILS

PROJECT	41926	DRAWN	Author
SCALE	1 : 50	CHECKED	Checker
DATE	04/01/2023	PLOTTED	

A-500

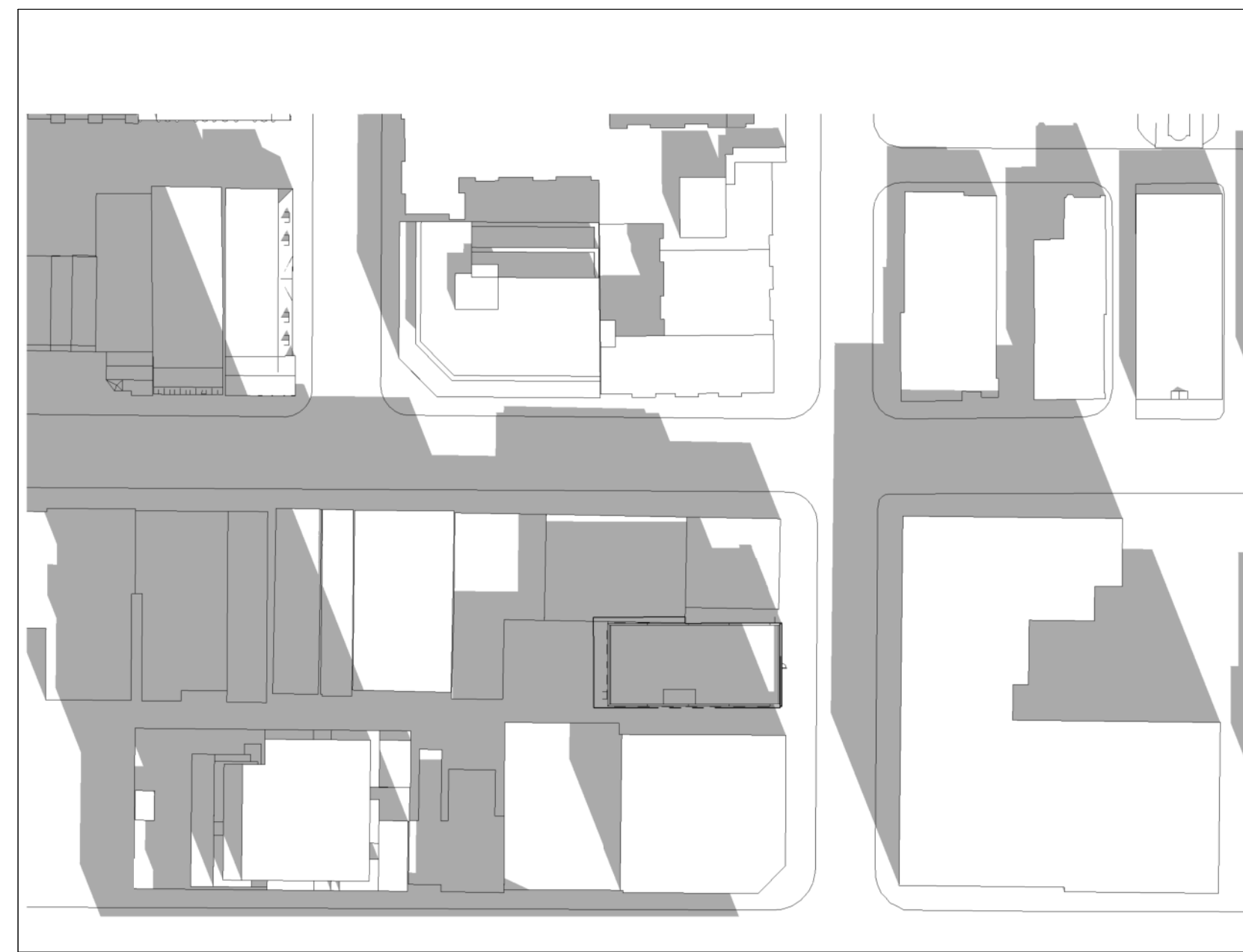


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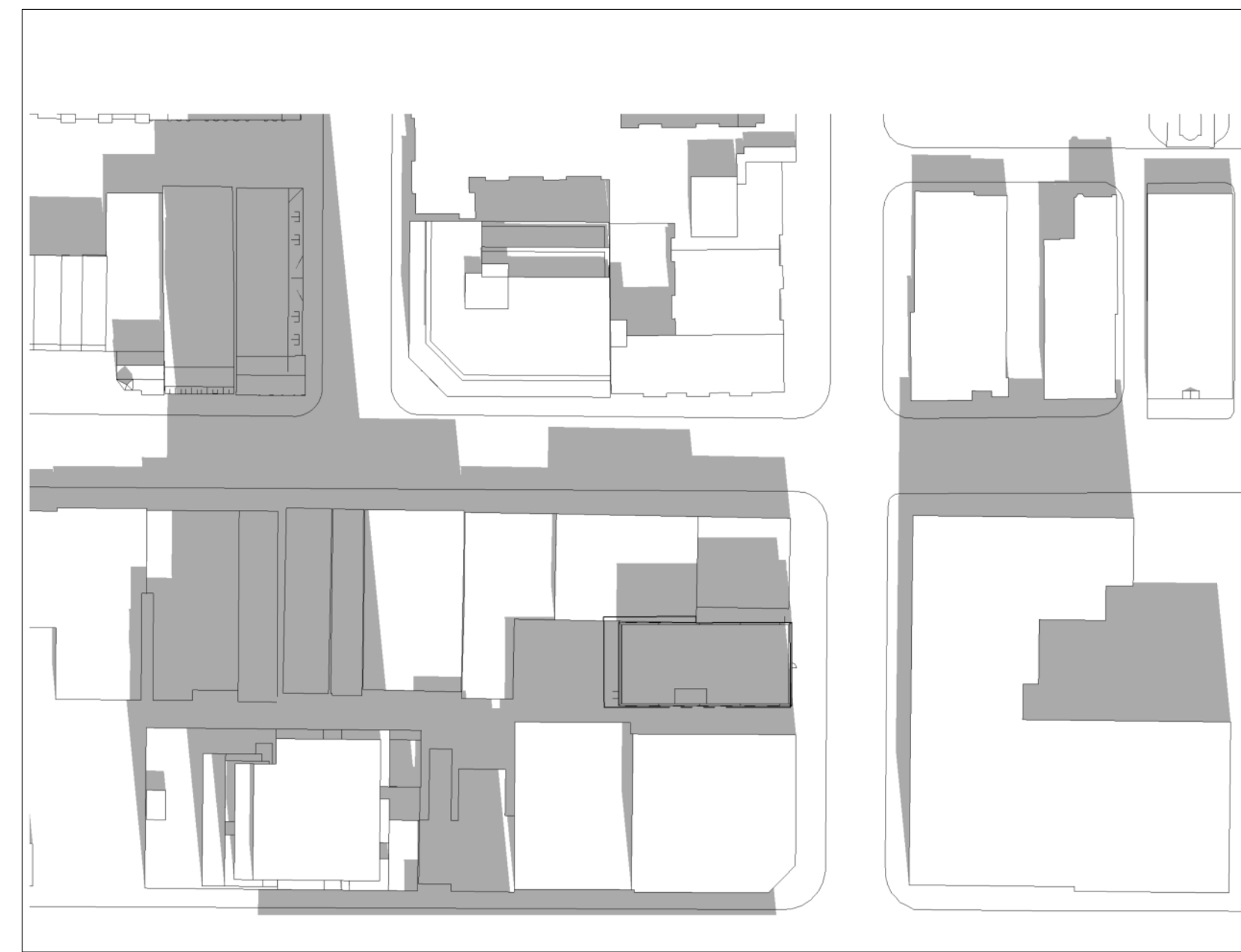
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1	15 08 2018	Issued for Coordination
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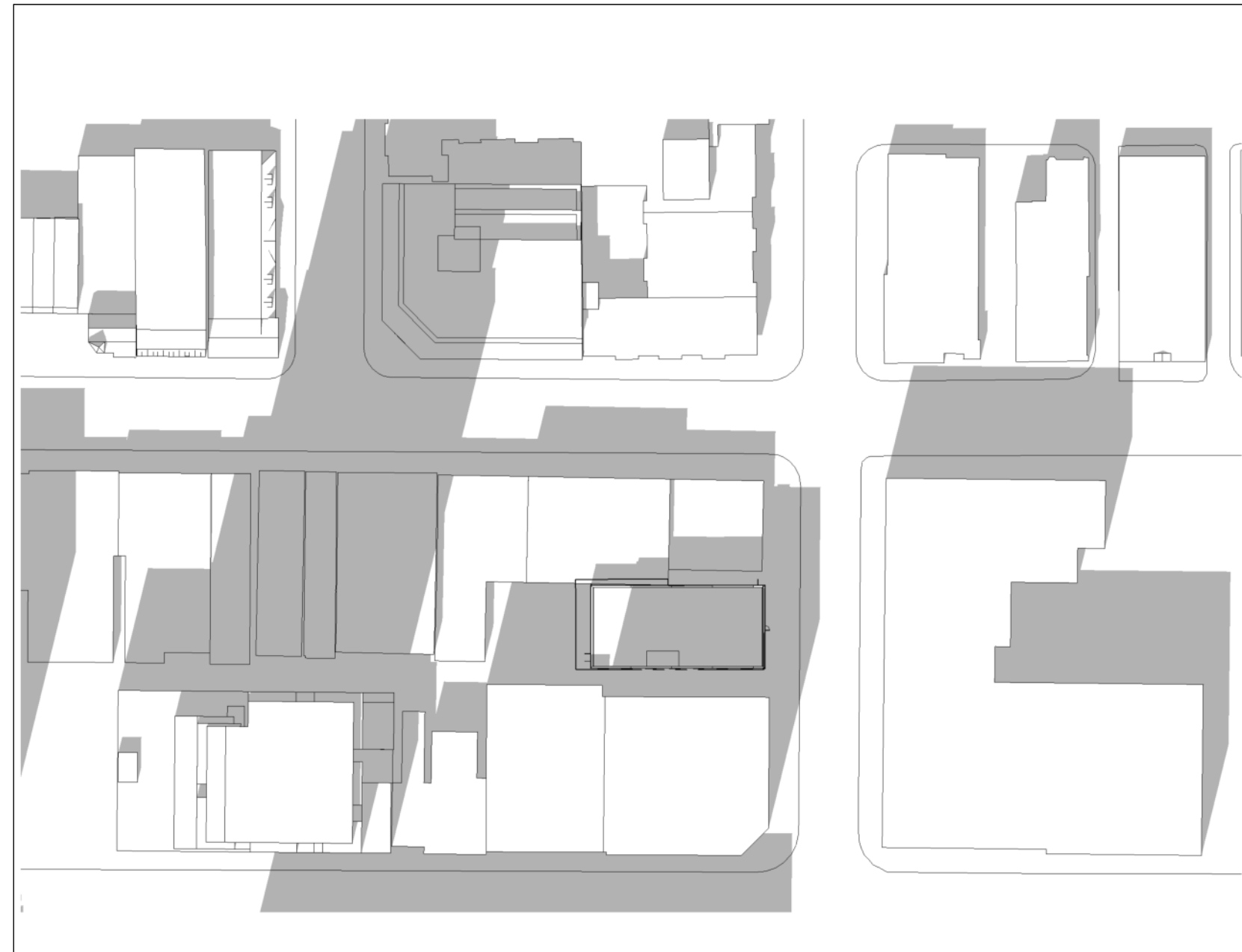
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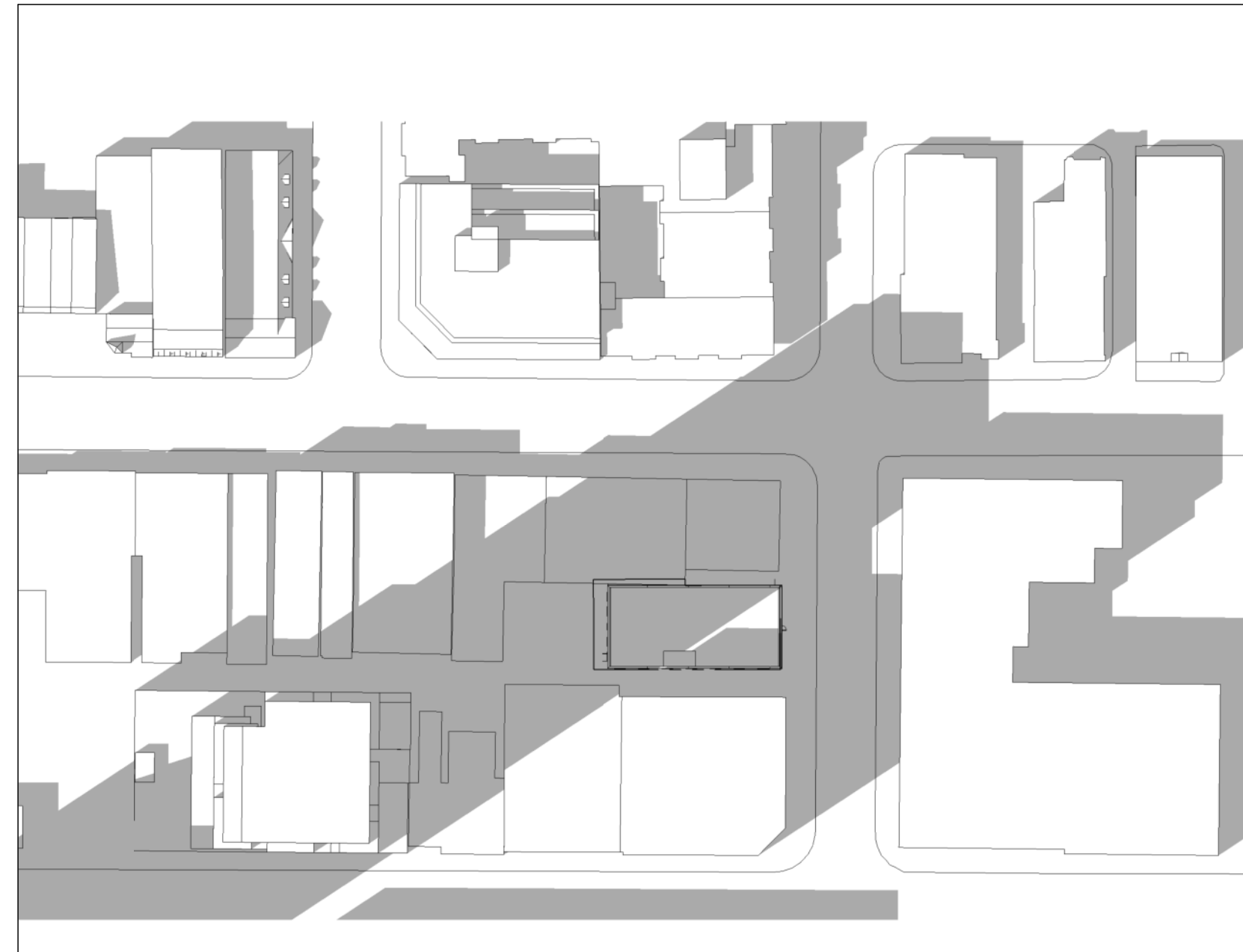
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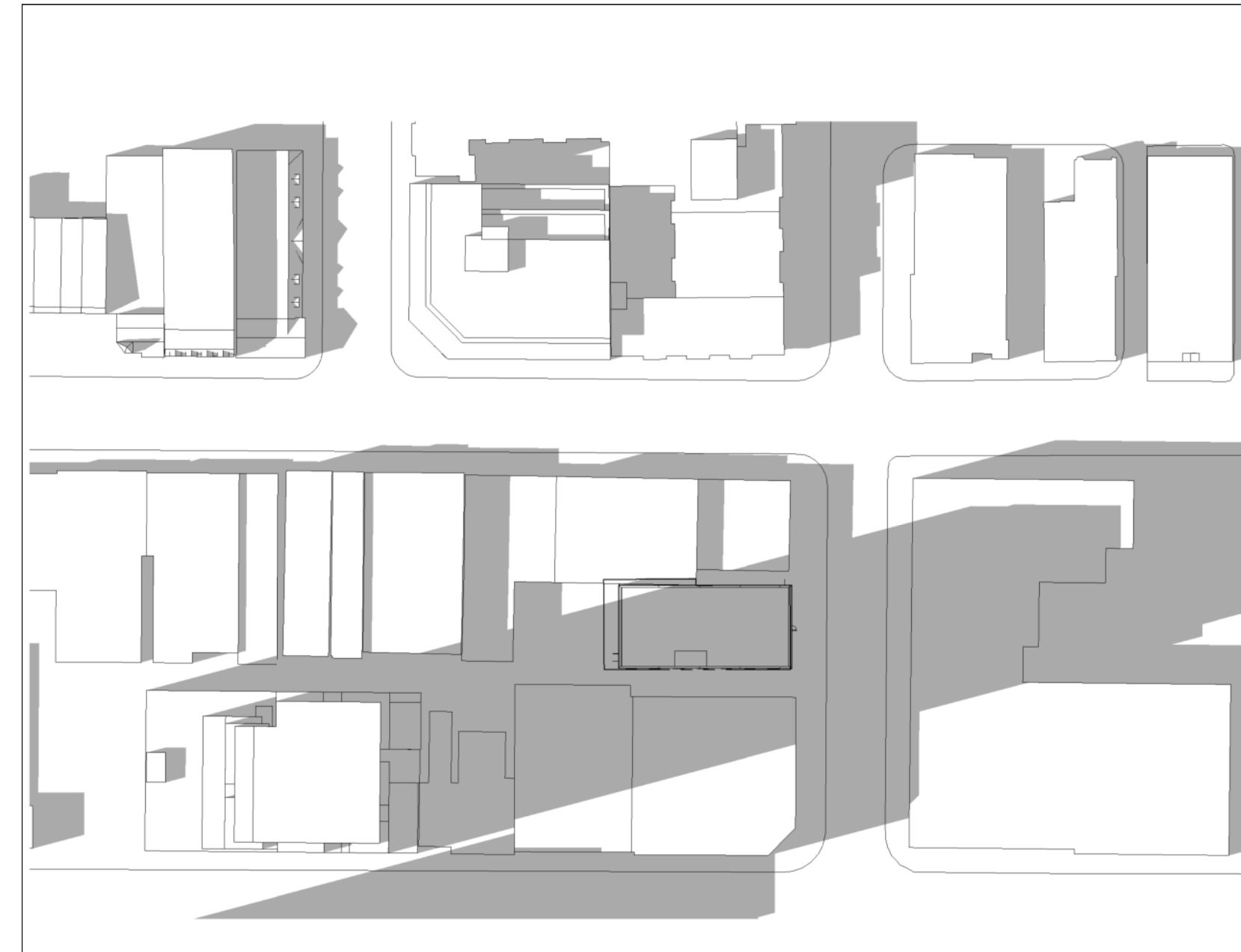
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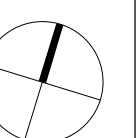
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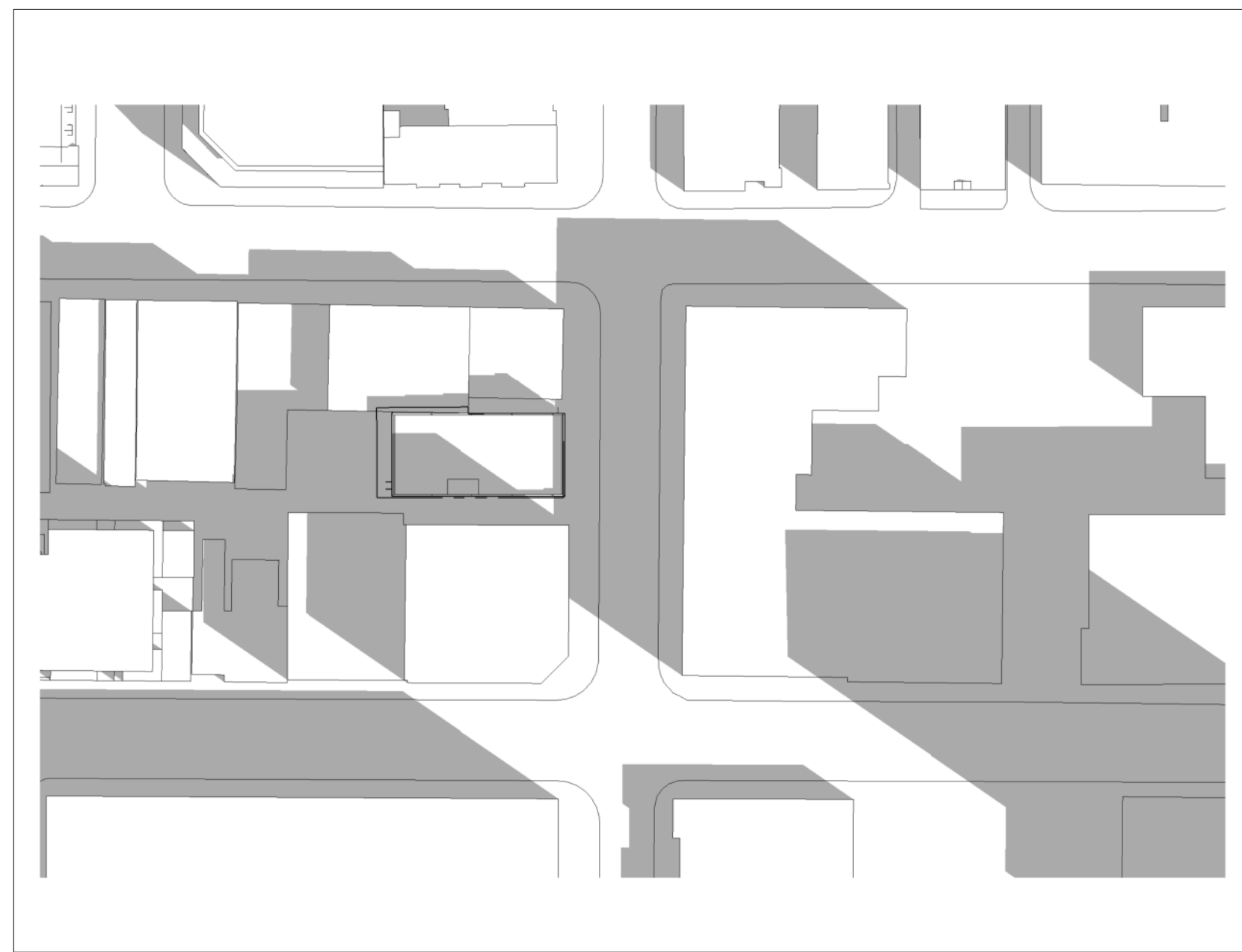
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SUN SHADOW STUDY  
EXISTING MARCH /  
SEPTEMBER

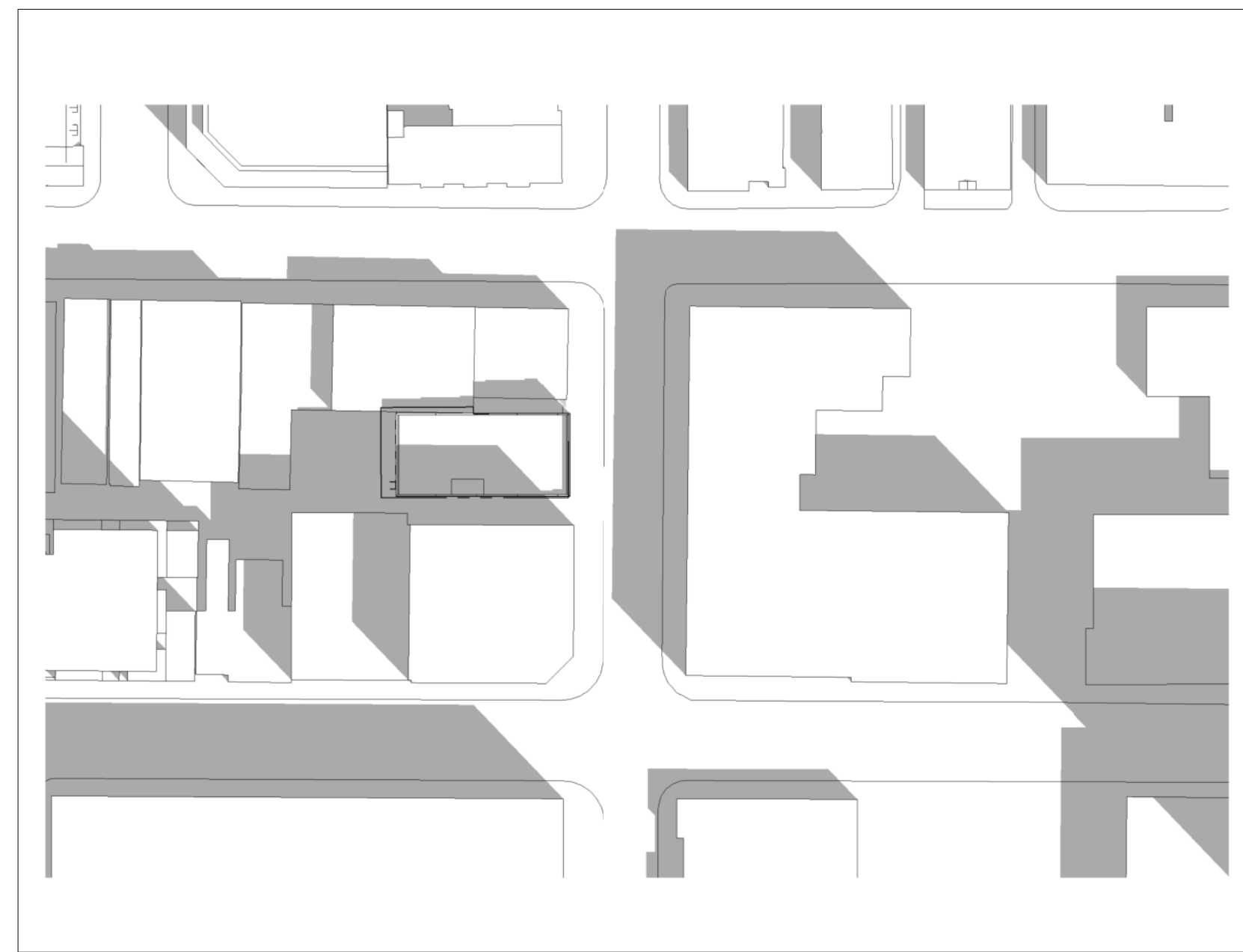


PROJECT	41826	DRAWN	Author
SCALE	1 : 1000	CHECKED	Checker
DATE	04/01/2023	PLOTTED	

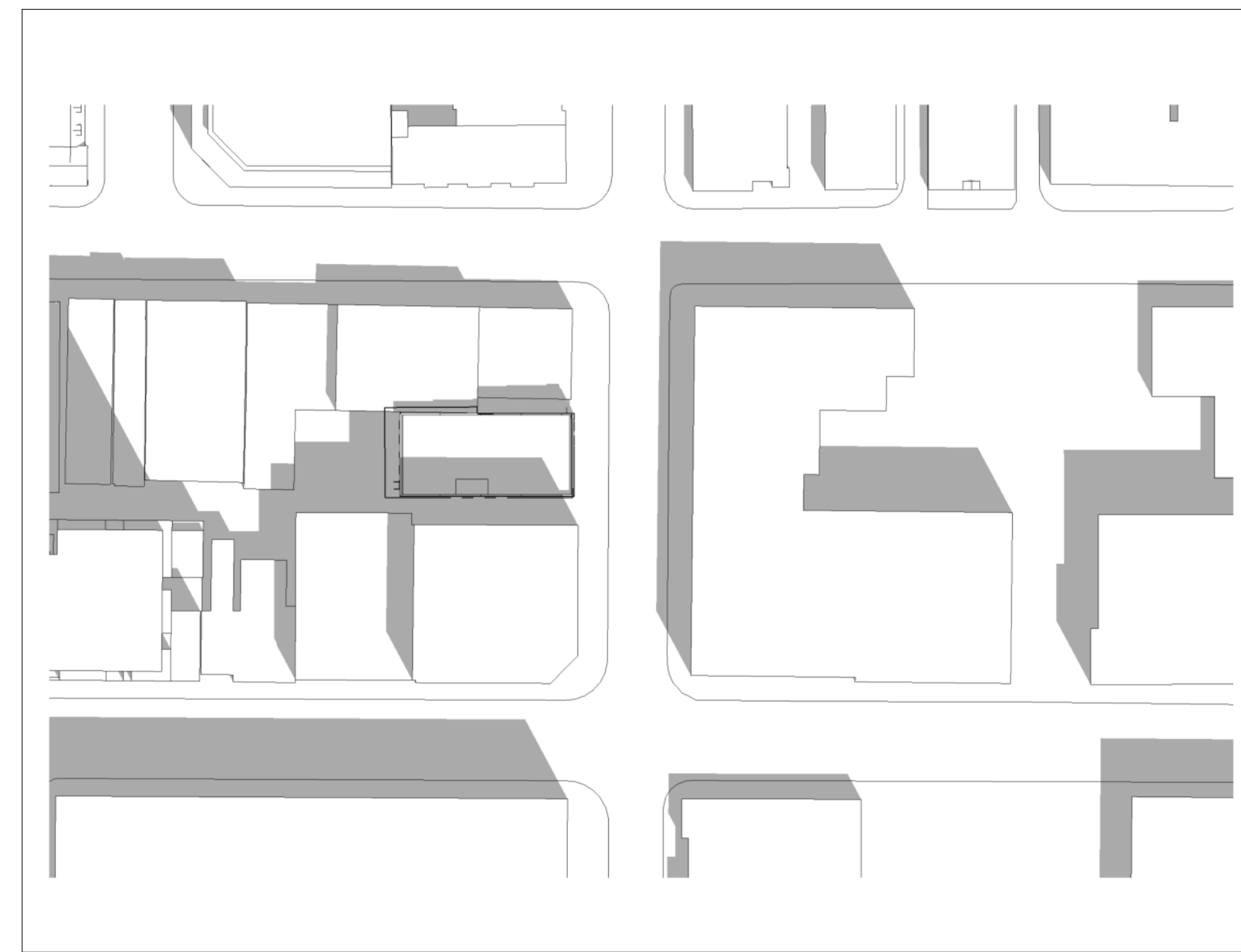
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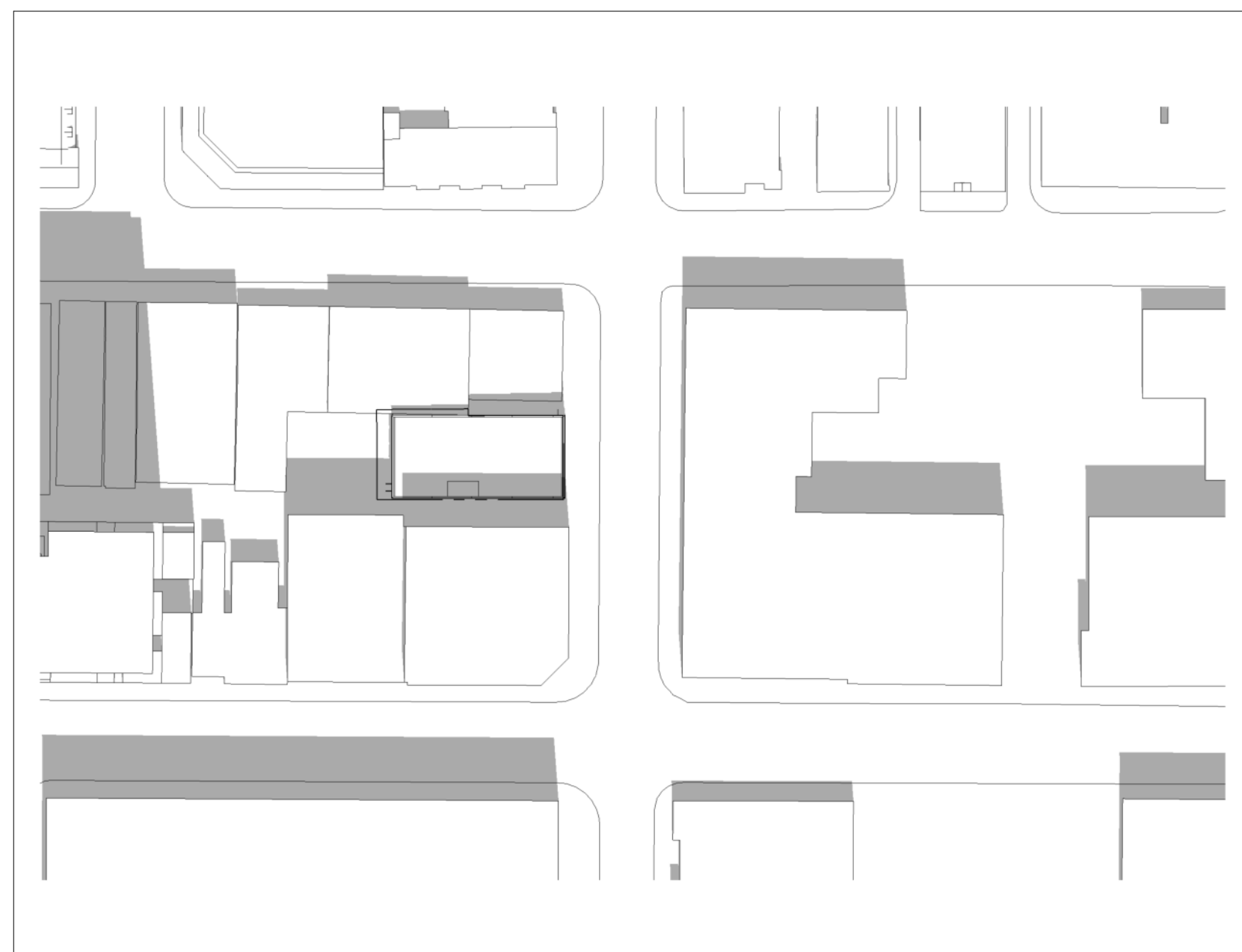
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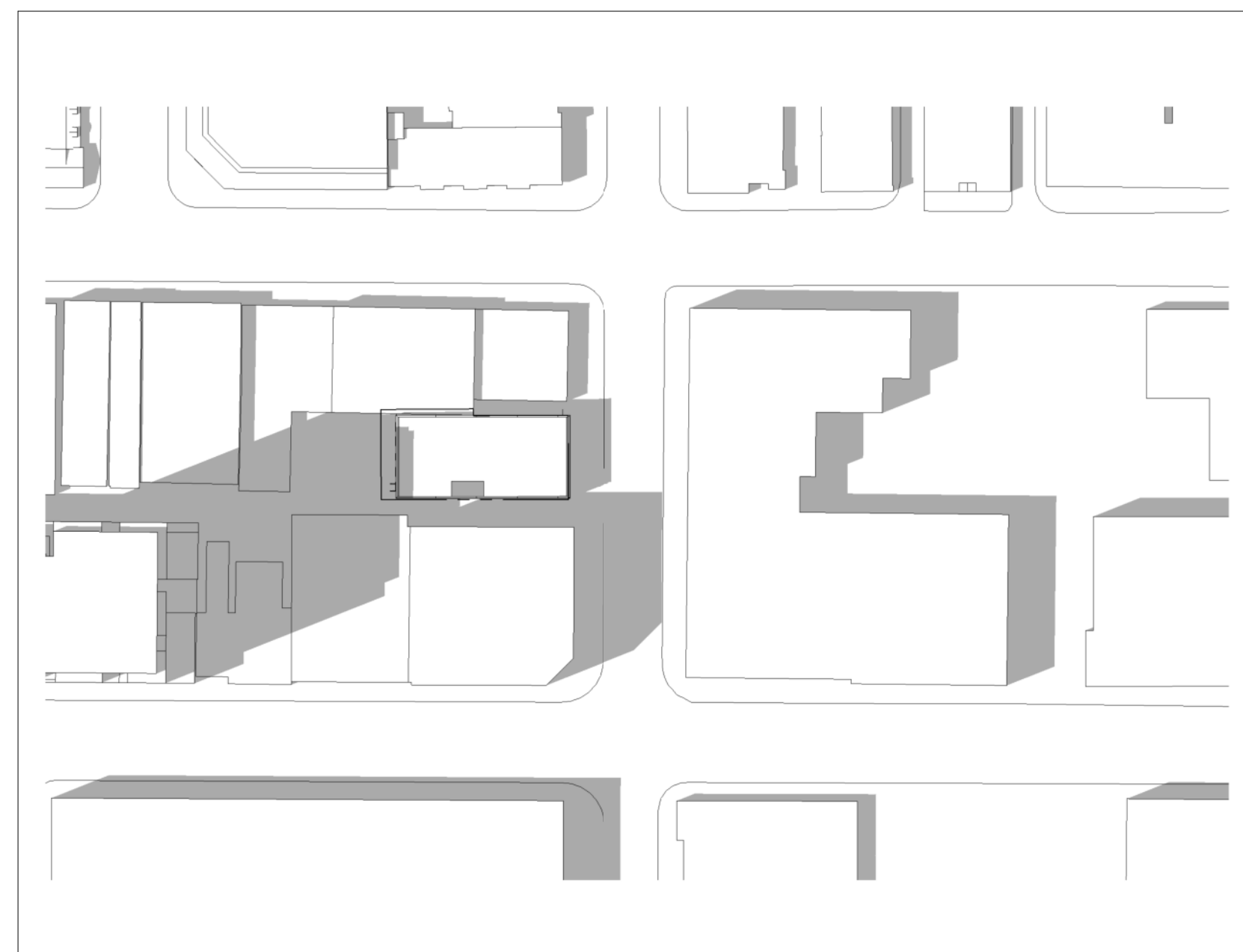
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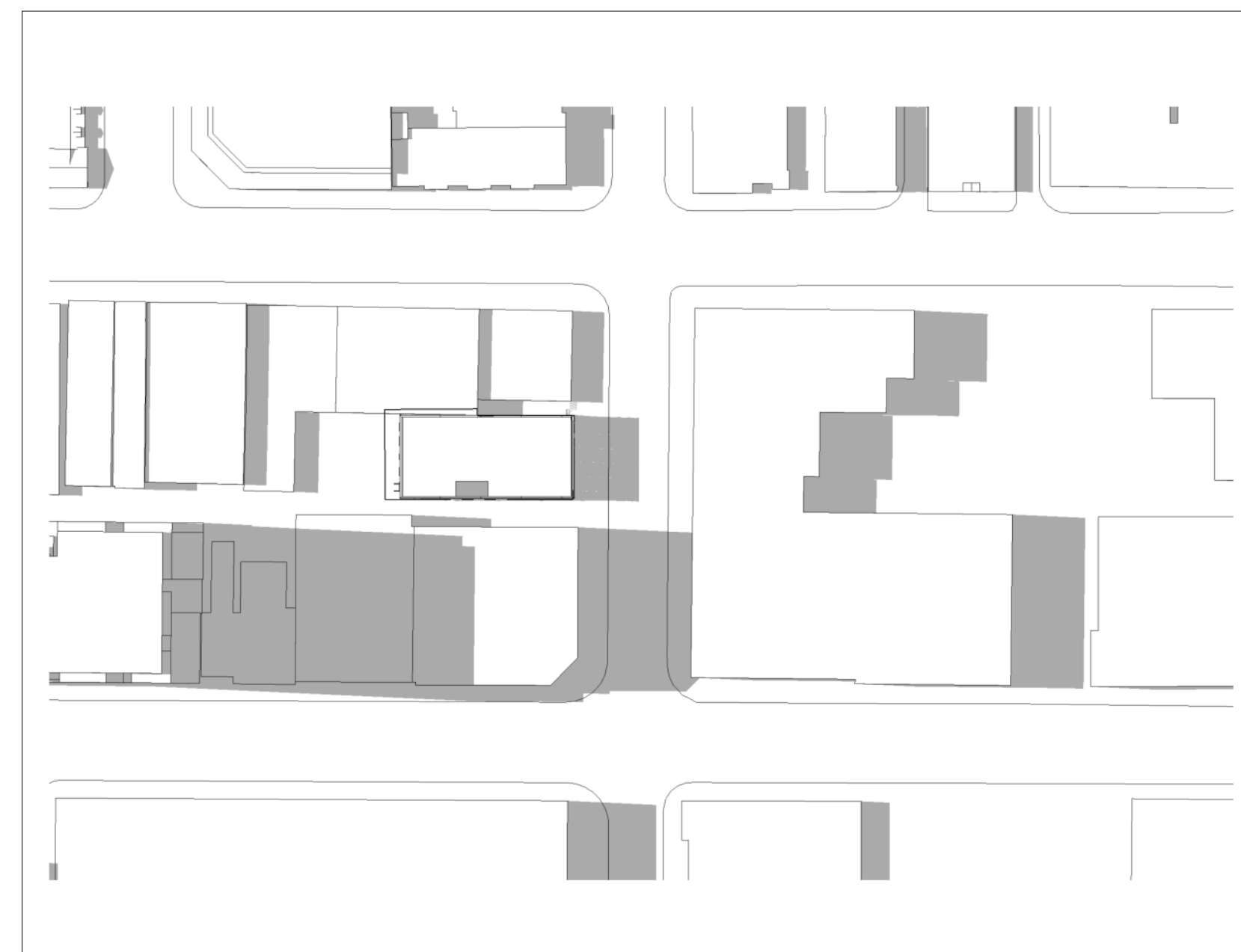
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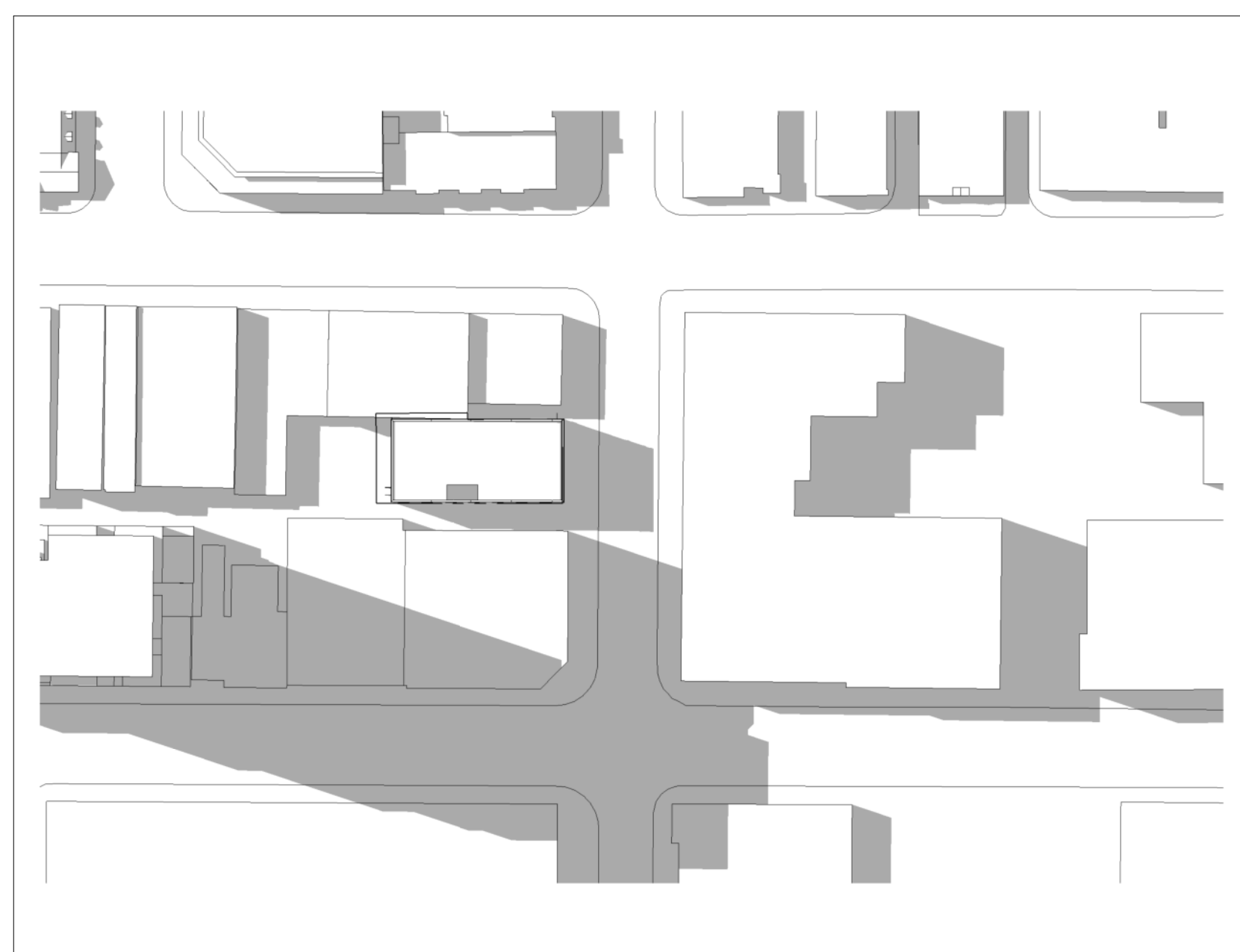
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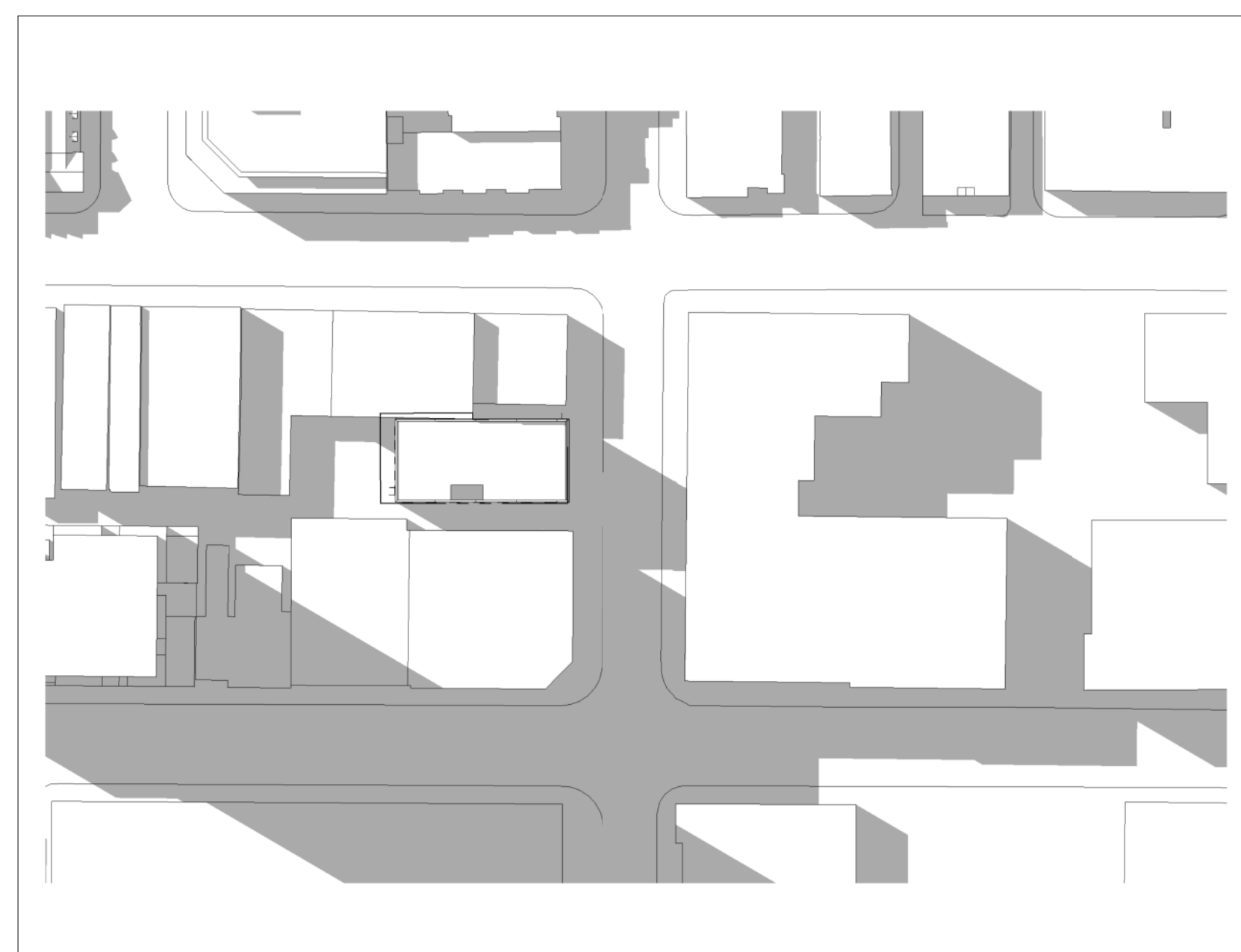
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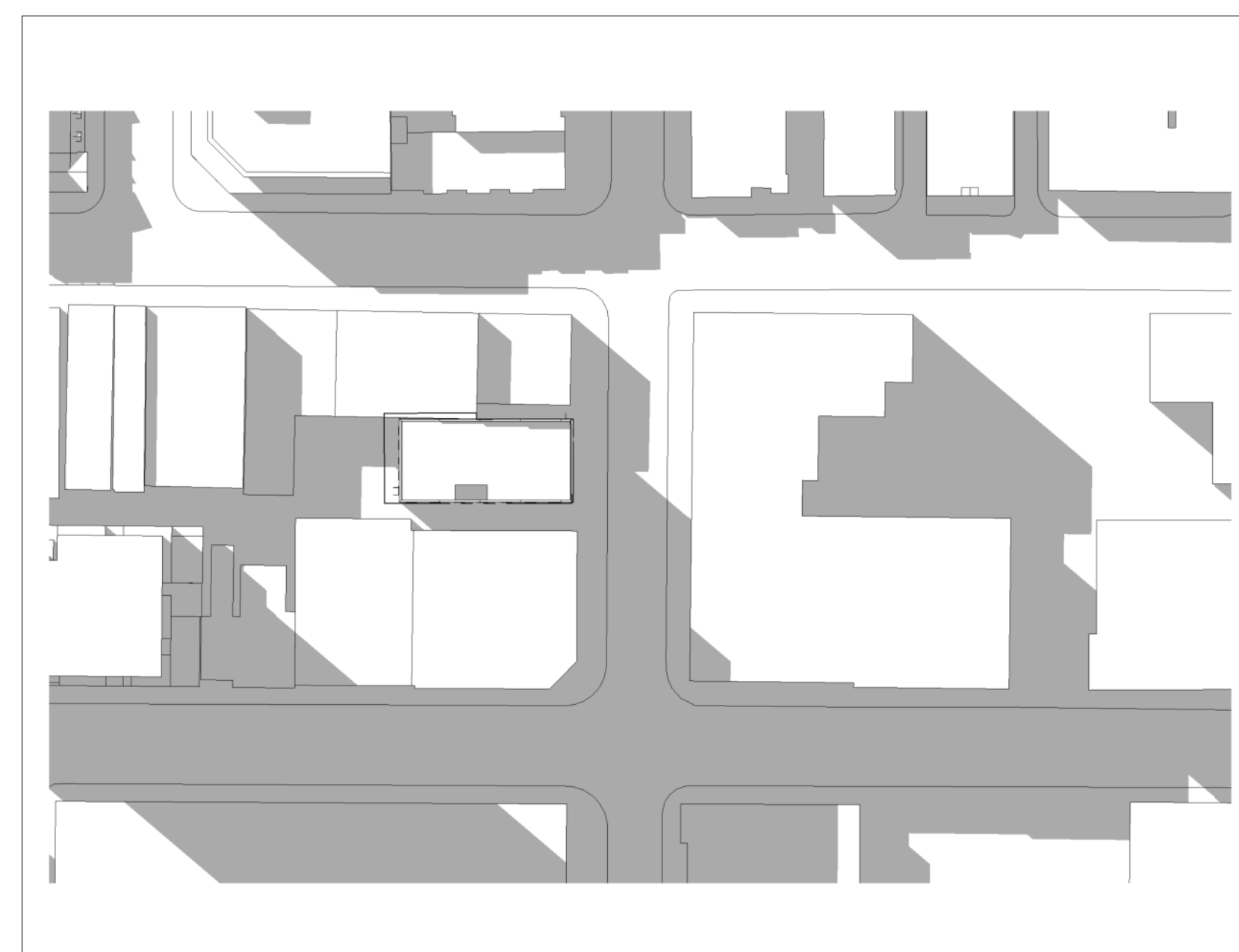
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9 June 21- 0618 PM existing  
1 : 1000

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NOTES

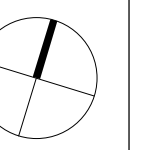
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160 JOHN STREET  
160 John Street  
Toronto, ON

VERTICAL ADDITION

SUN SHADOW STUDY  
EXISTING JUNE



PROJECT	41826	DRAWN	Author
SCALE	1 : 1000	CHECKED	Checker
DATE	04/01/2023	PLOTTED	

A-601



1 December 21-0918 AM EXISTING  
1 : 1000



2 December 21-1018 AM EXISTING  
1 : 1000



3 December 21-1118 AM EXISTING  
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4 December 21-1218 PM EXISTING  
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7 December 21-0418 PM EXISTING  
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8 December 21-0518 PM EXISTING  
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9 December 21-0618 PM EXISTING  
1 : 1000

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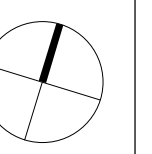
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VERTICAL ADDITION

SUN SHADOW STUDY  
EXISTING DECEMBER



PROJECT	41826	DRAWN	Author
SCALE	1 : 1000	CHECKED	Checker
DATE	04/01/2023	PLOTTED	

A-602



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5	03 02 2022	Issued for SPA #3
8	04 01 2023	Issued for Rezoning

NOTES

 NEW NET SHADOW CAST BY VERTICAL ADDITION

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E.R.A  
625 Church Street #600  
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Geotechnical Consultant  
Terraprobe  
11 Indell Ln  
Brampton, ON L6T 3Y3  
T. 905.796.2650  
W. terraprobe.ca

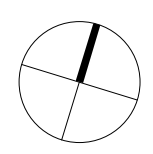
Transportation Consultant  
BA Consulting Group Ltd  
45 St Clair Ave W  
Toronto, Ontario M4V 1K9  
T. 416.961.7110  
W. bagroup.com

Wind Consultant  
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400 - 901 King St W  
Toronto, Ontario M5V 3H5  
T. 519.823.1311  
W. rwdi.com



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Toronto, ON

VERTICAL ADDITION  
SUN-SHADOW STUDY  
PROPOSED MARCH /  
SEPTEMBER

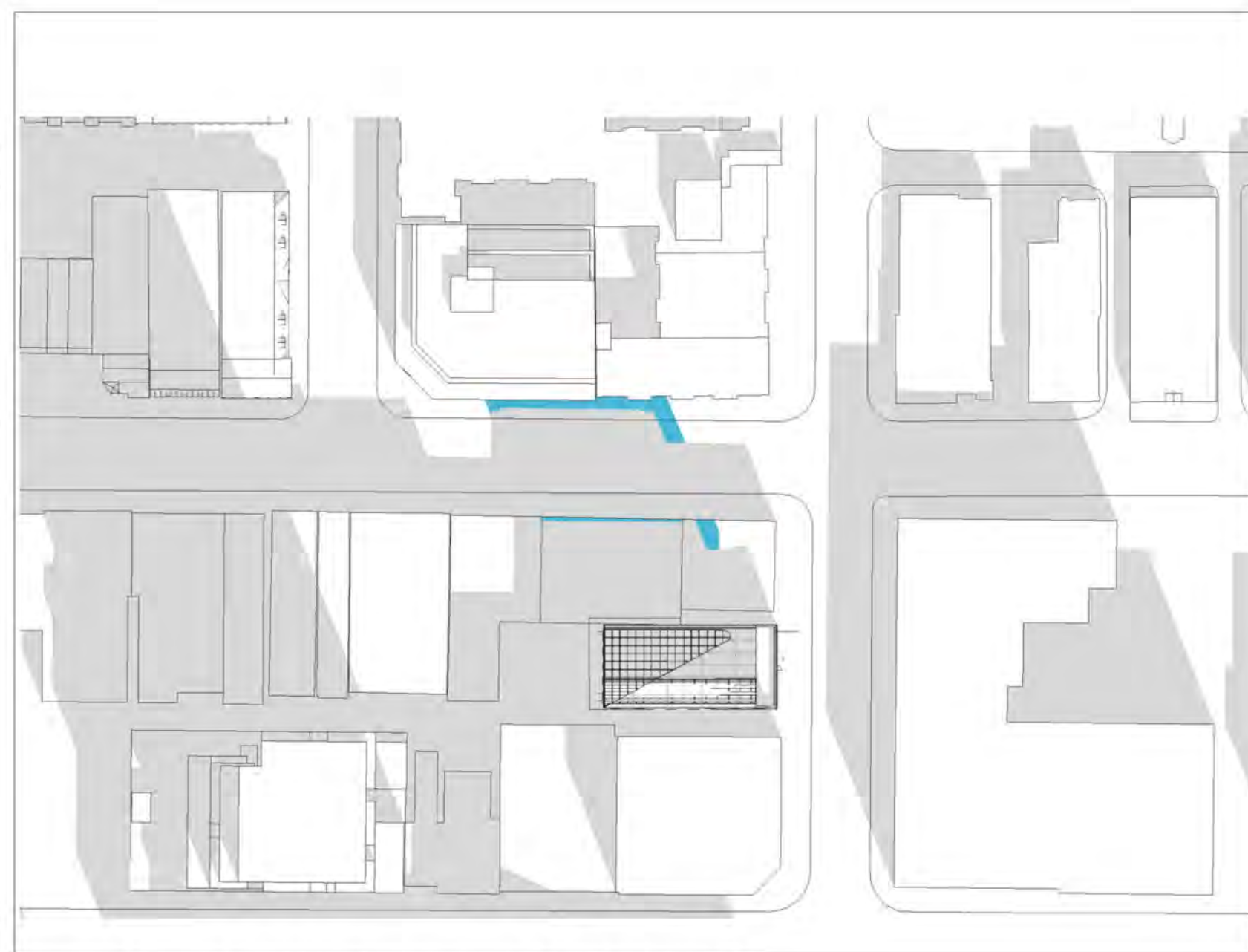


PROJECT 41826 DRAWN Author  
SCALE 1:100 CHECKED Checker  
DATE 04/01/2023 PLOTTED

**A-603**



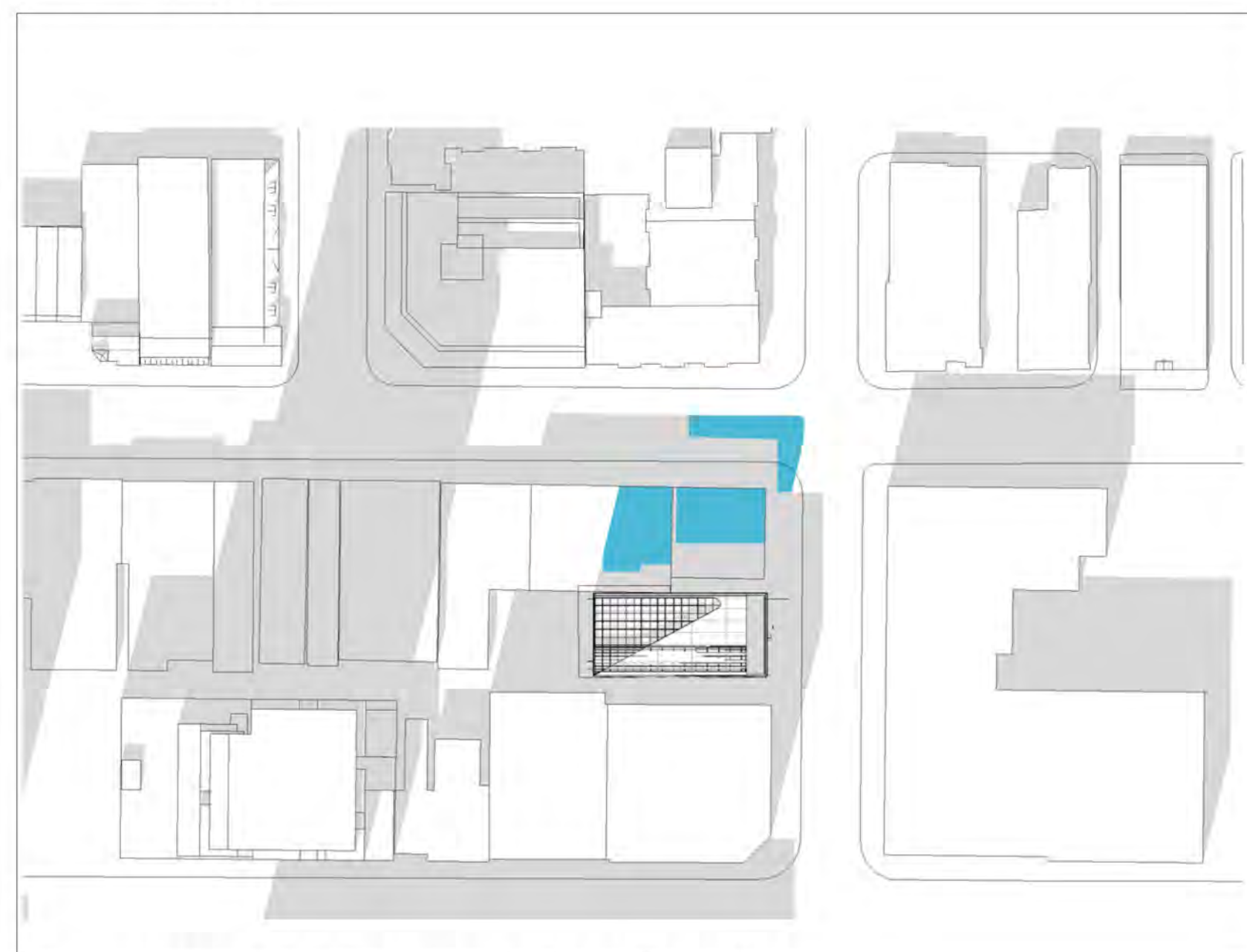
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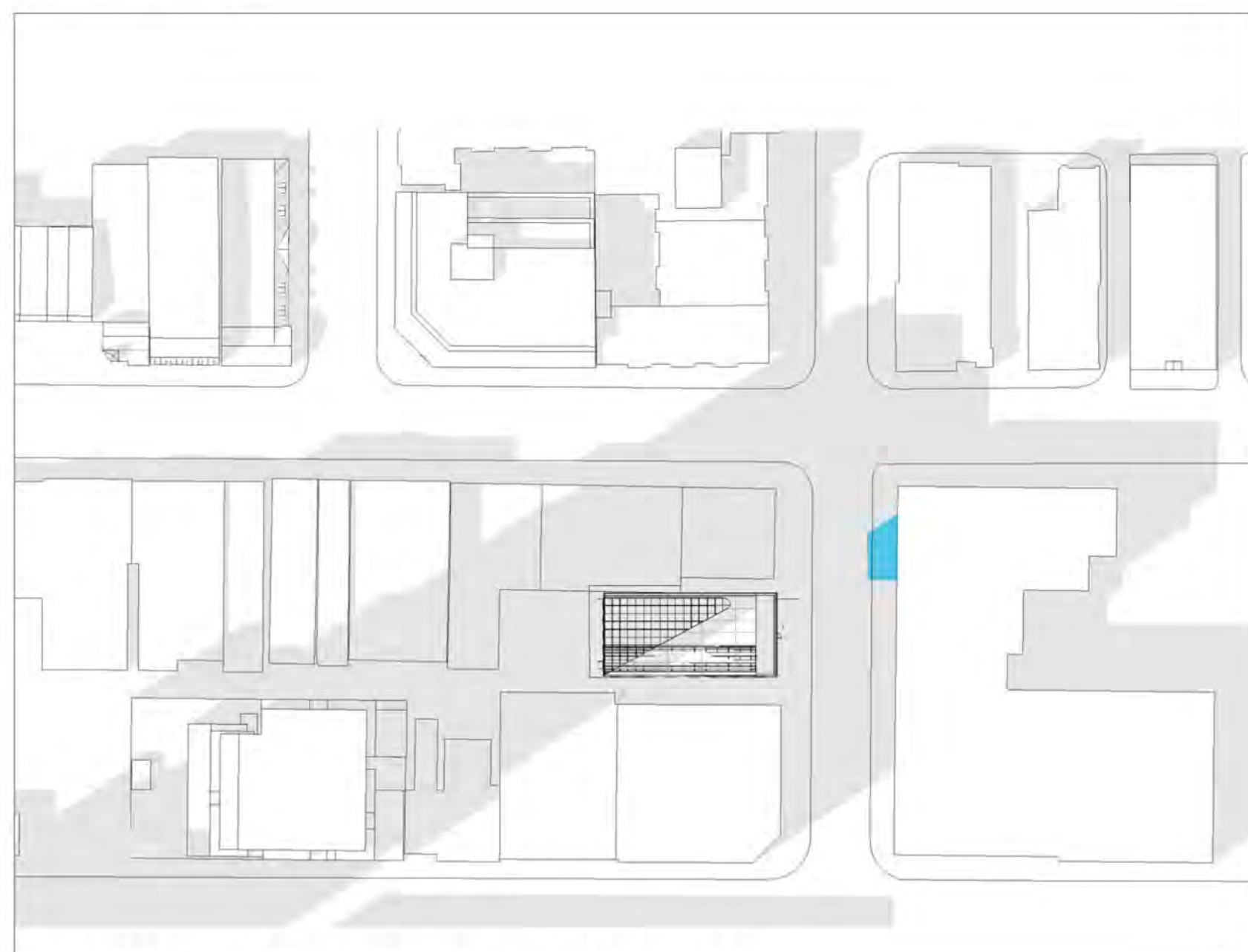
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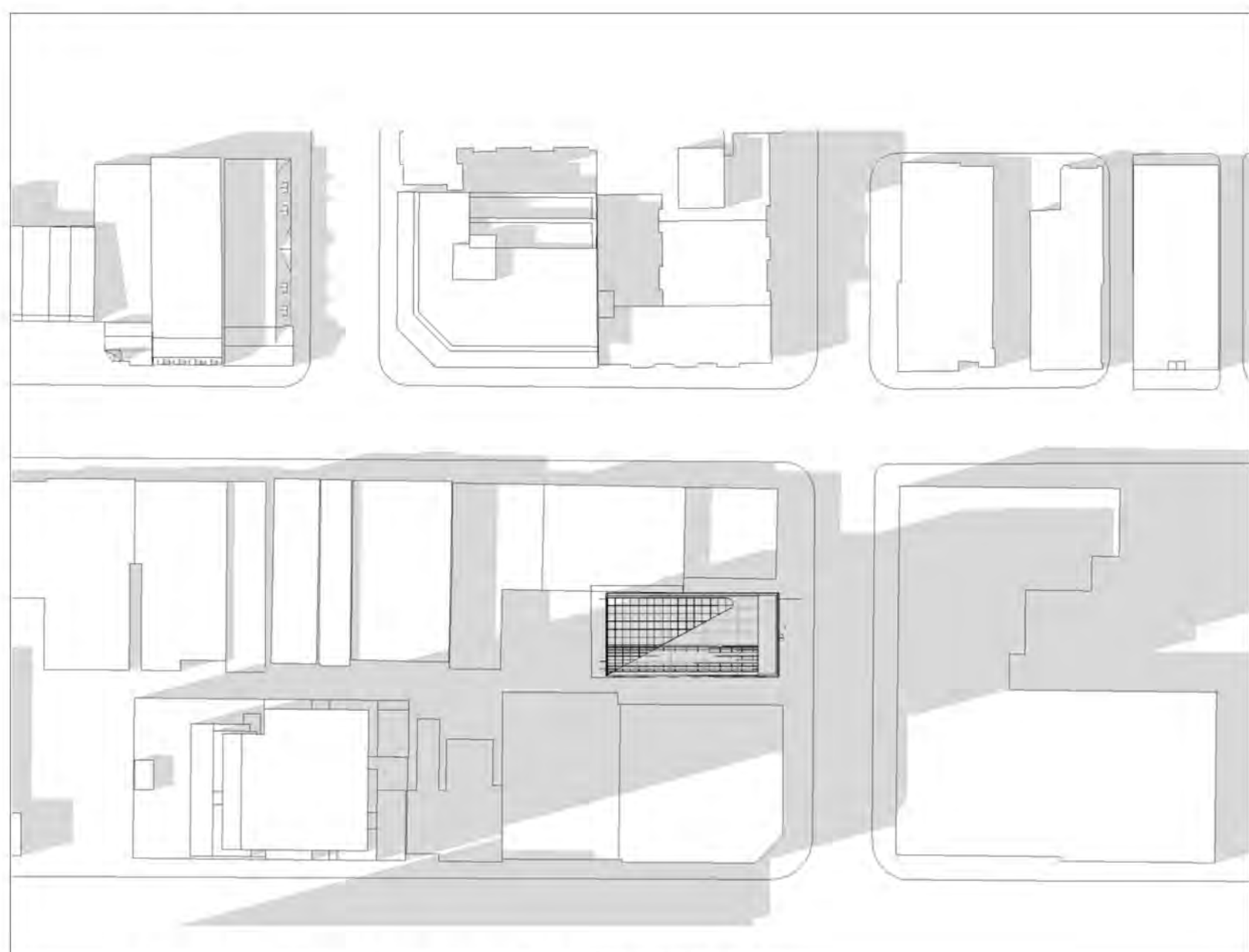
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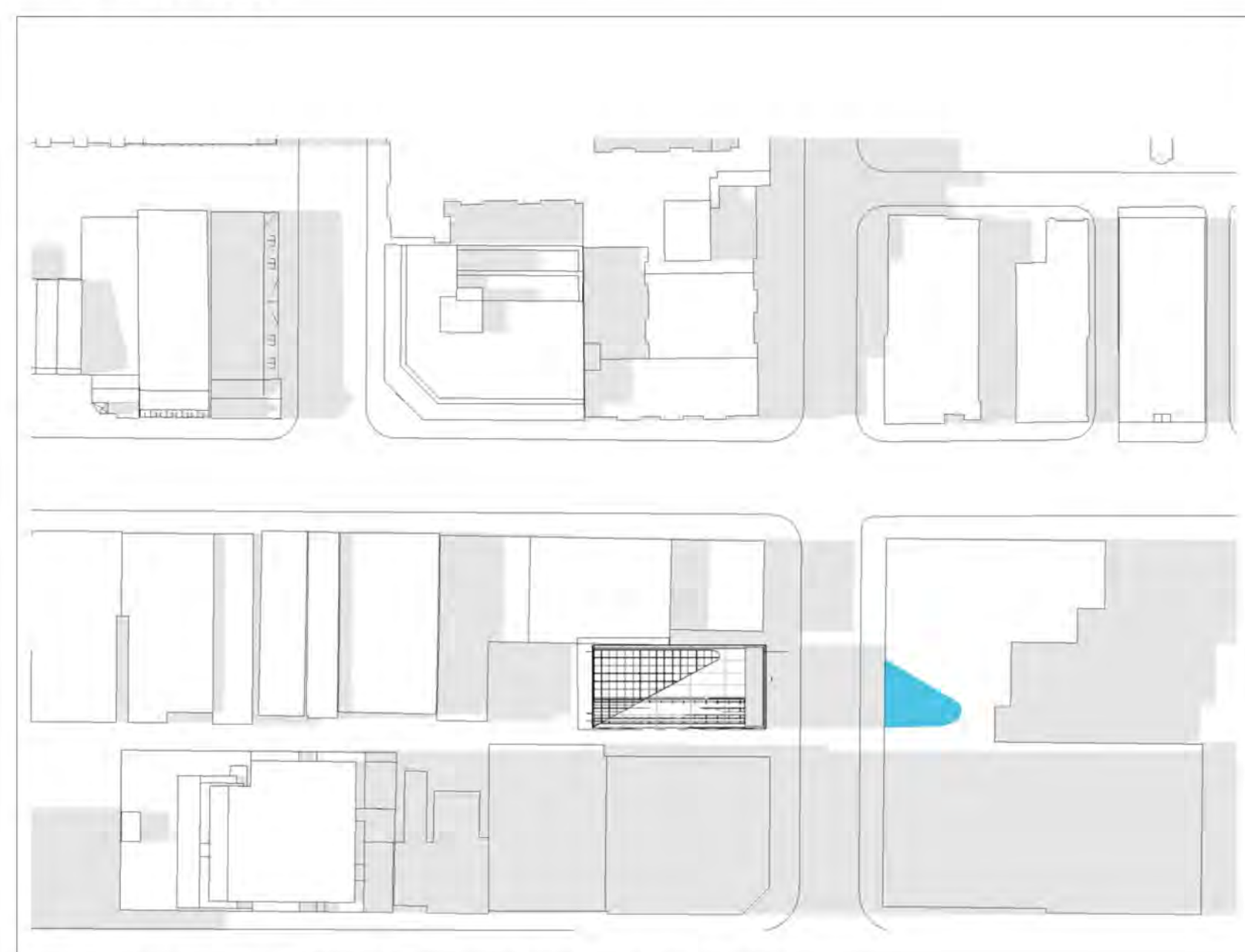
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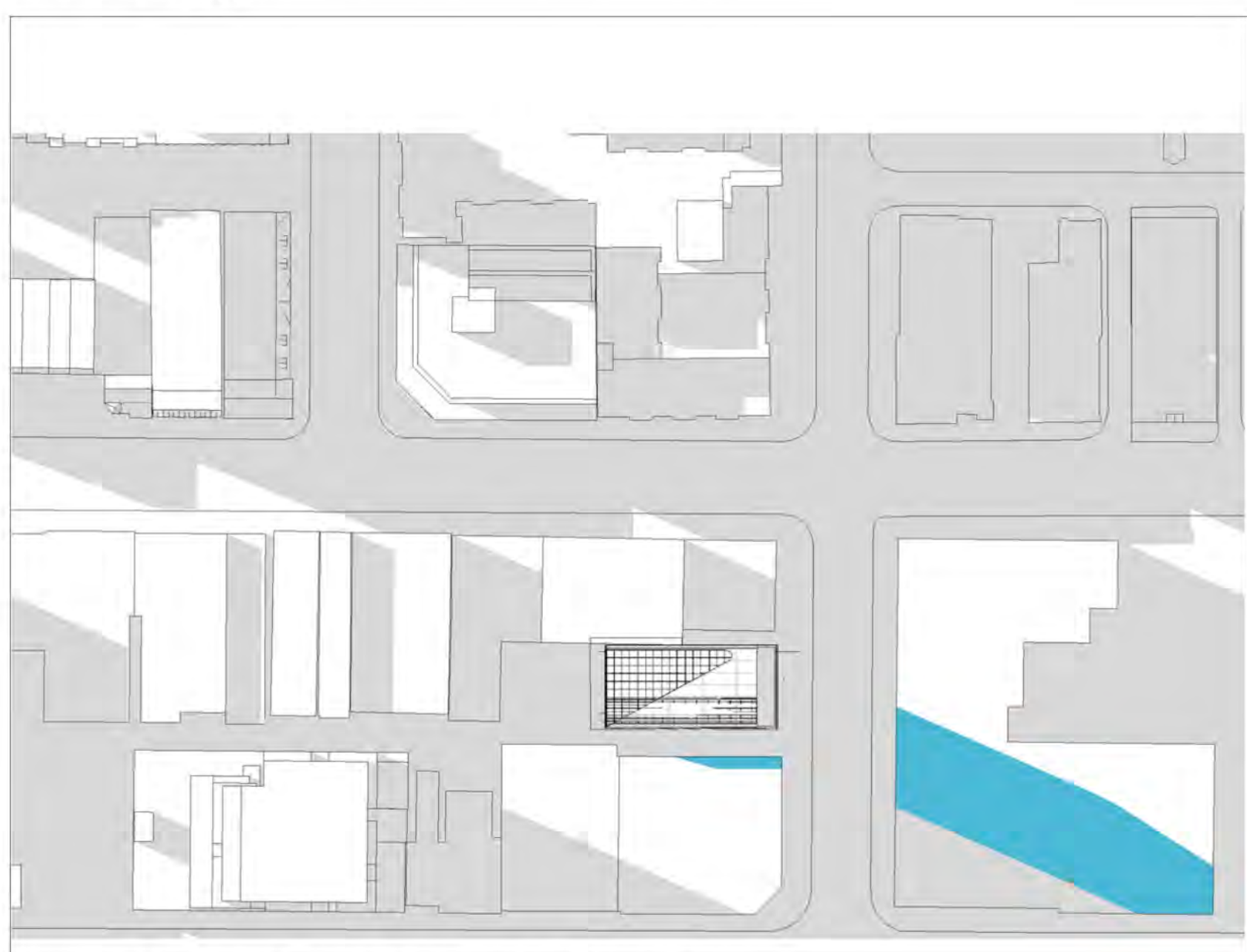
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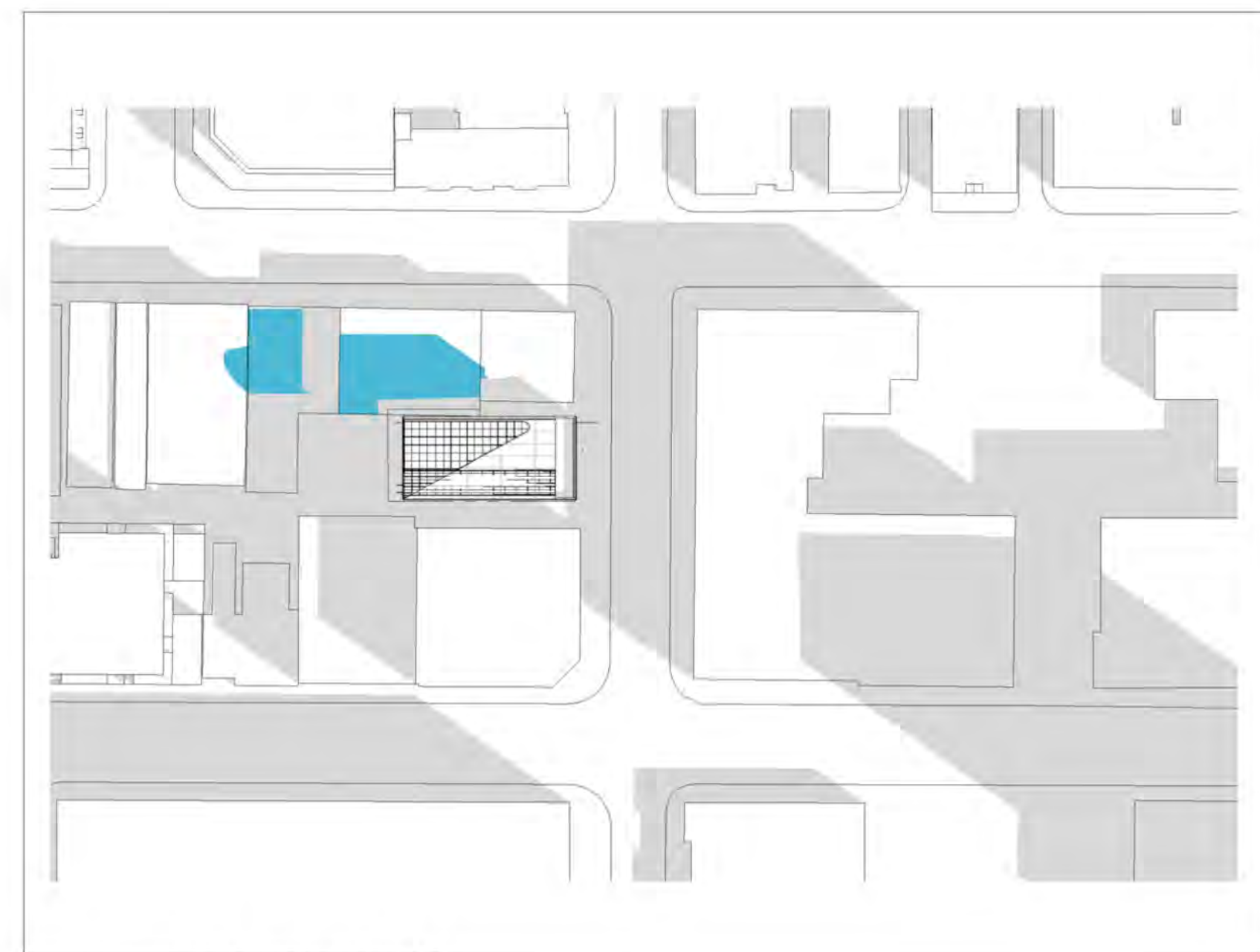


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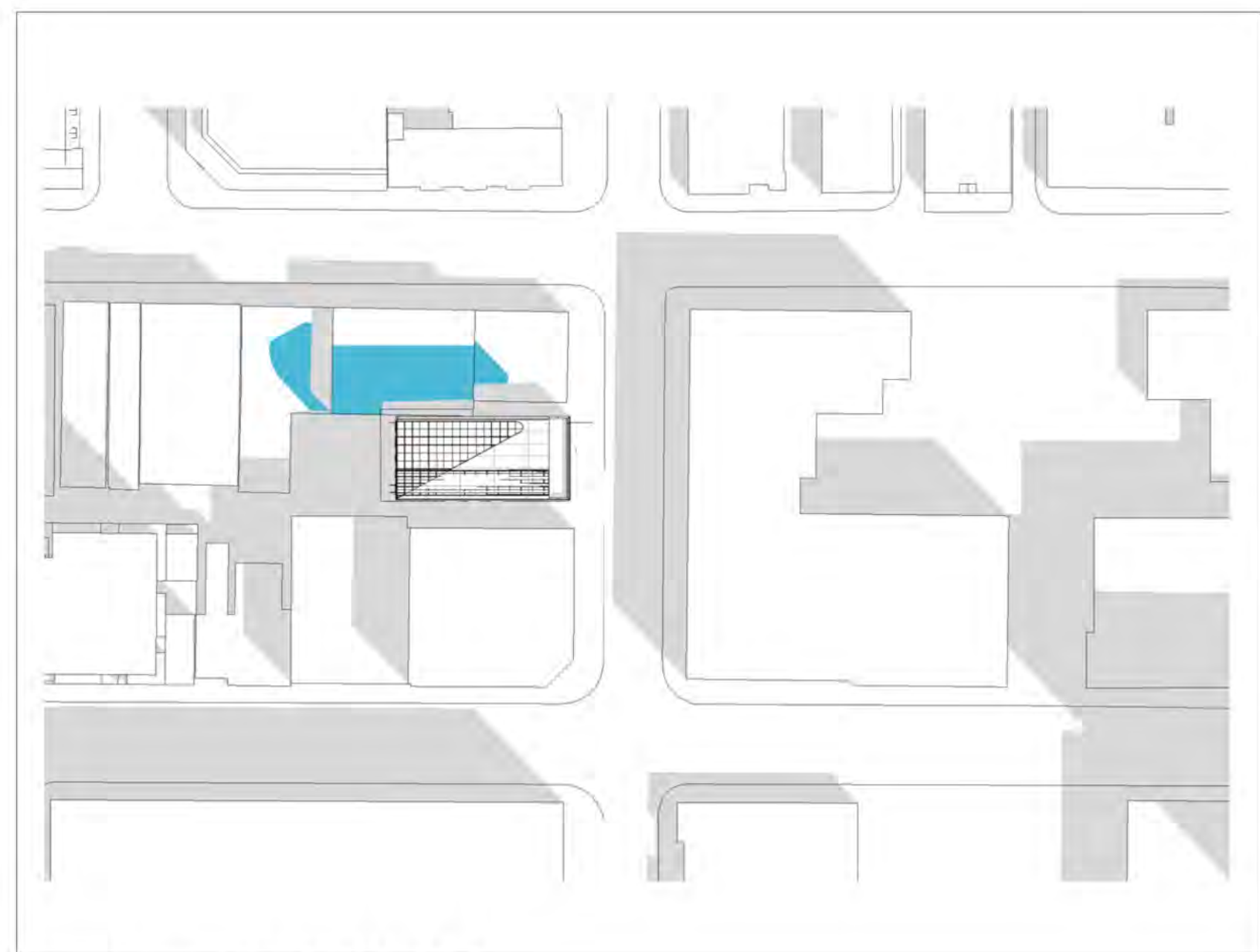


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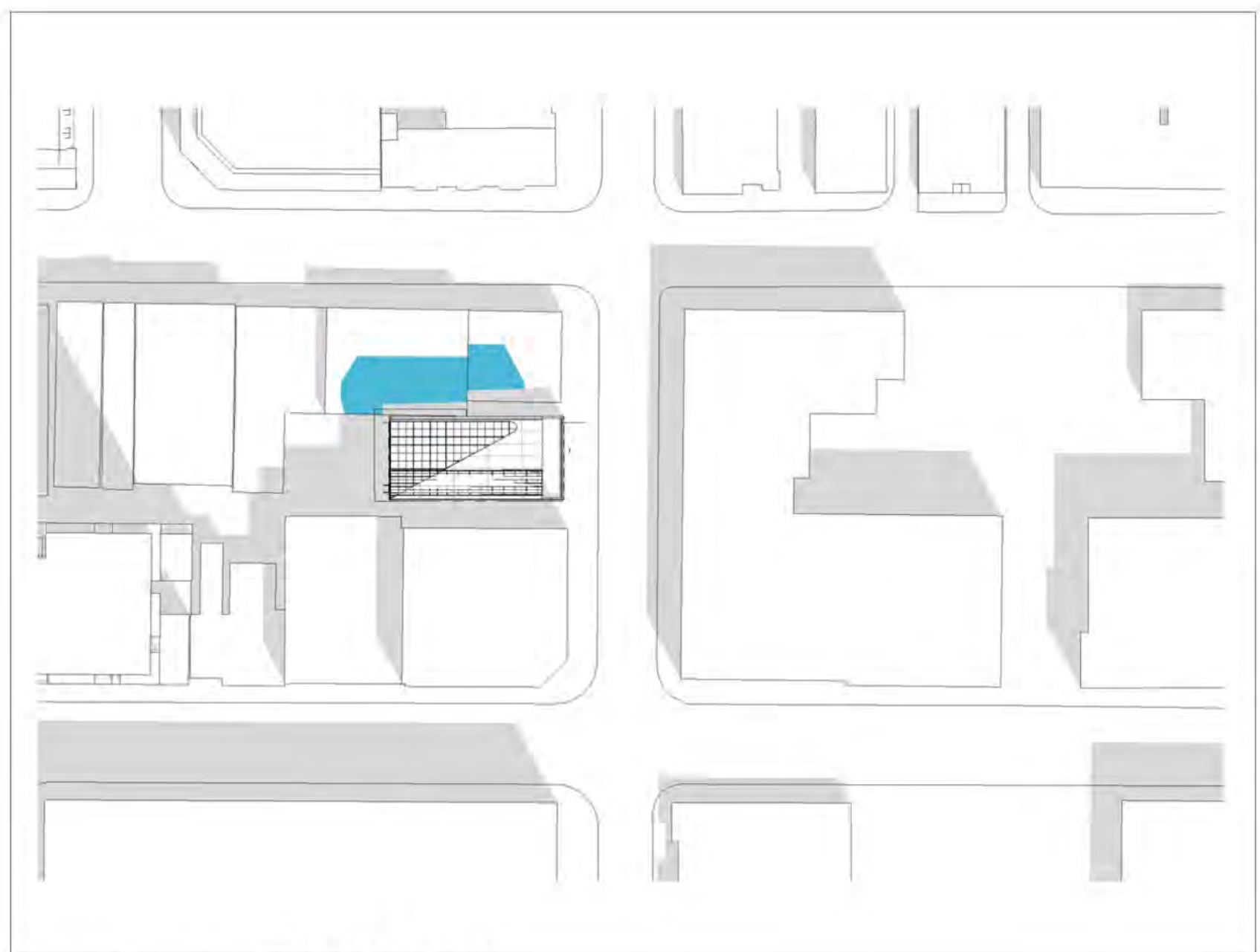




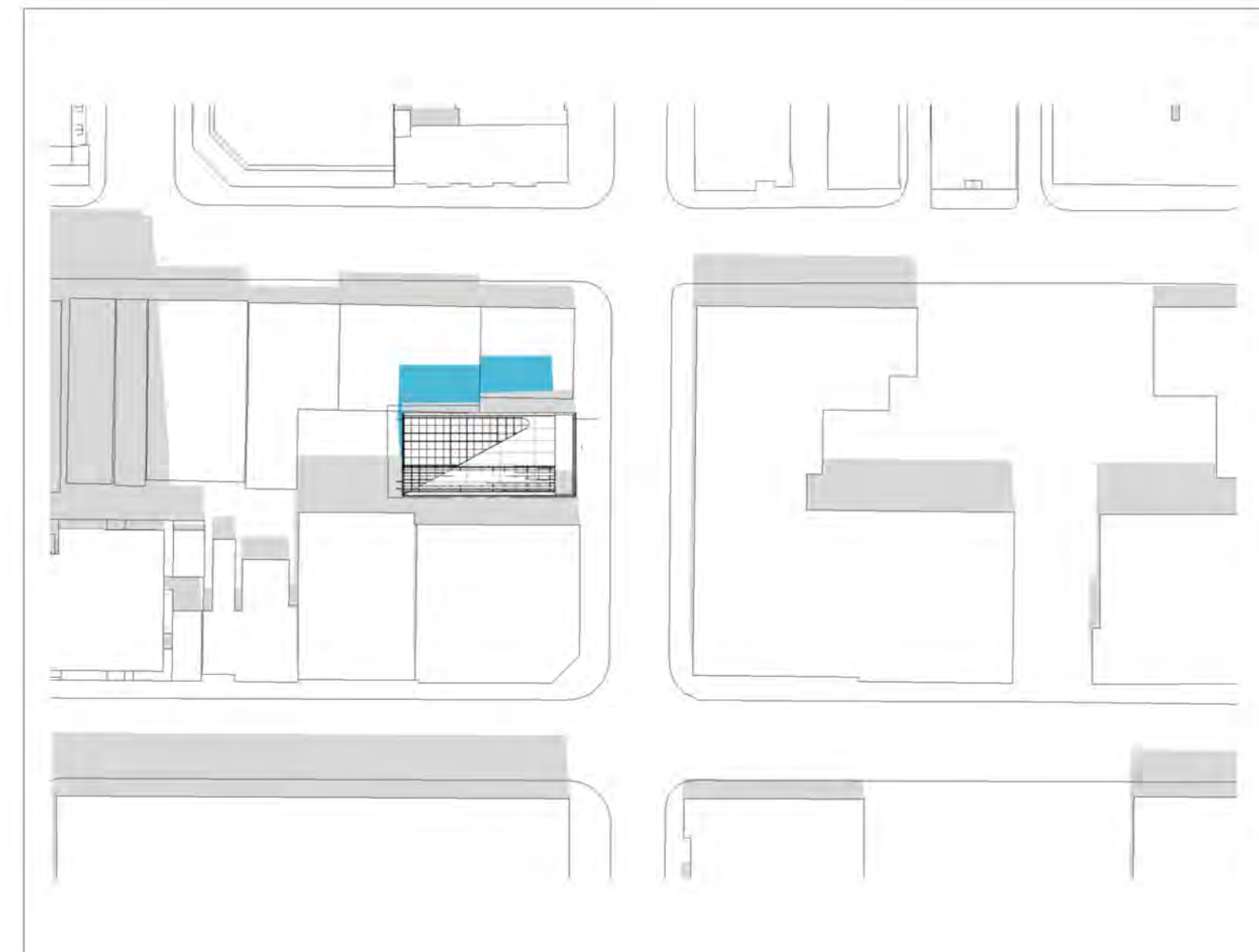
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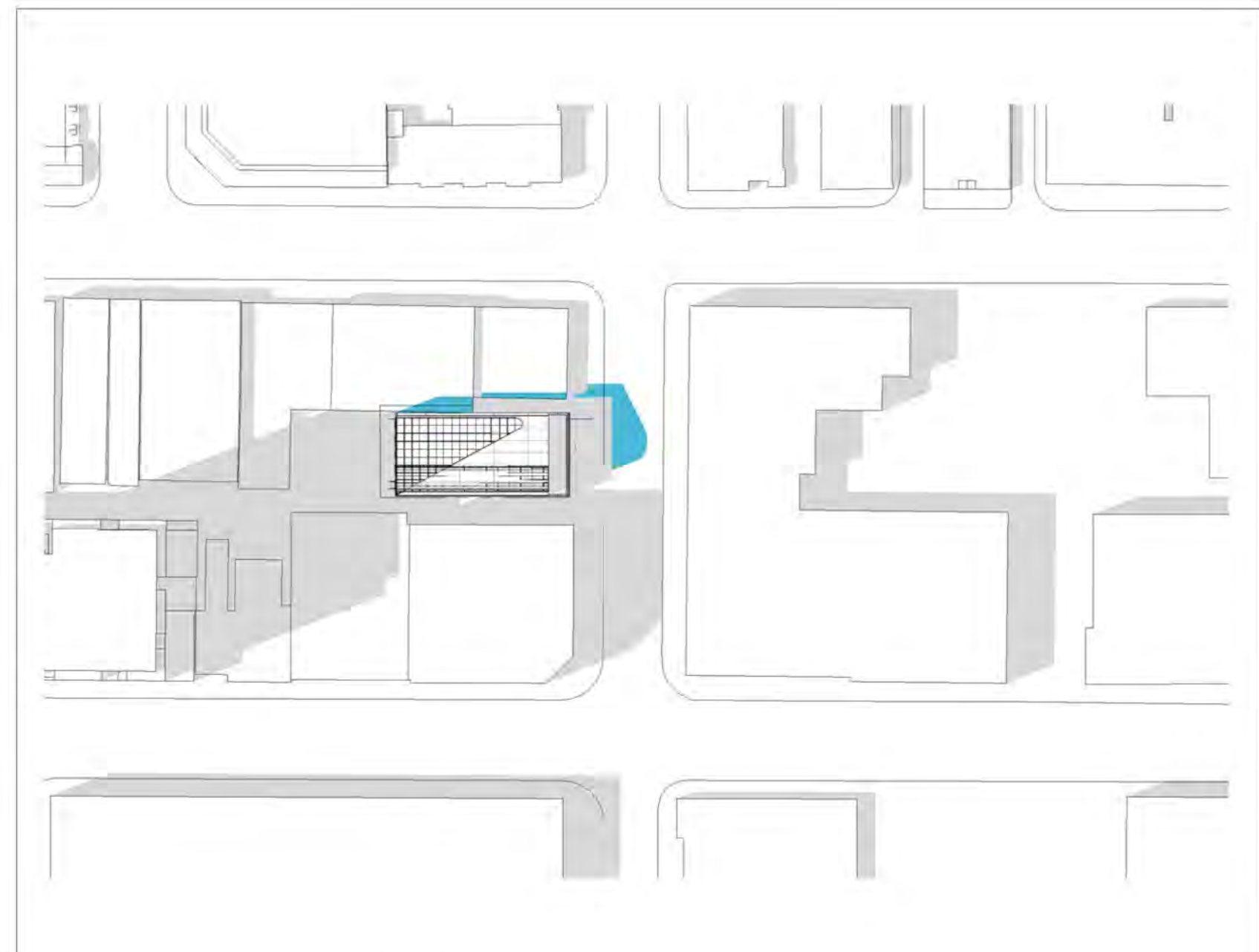
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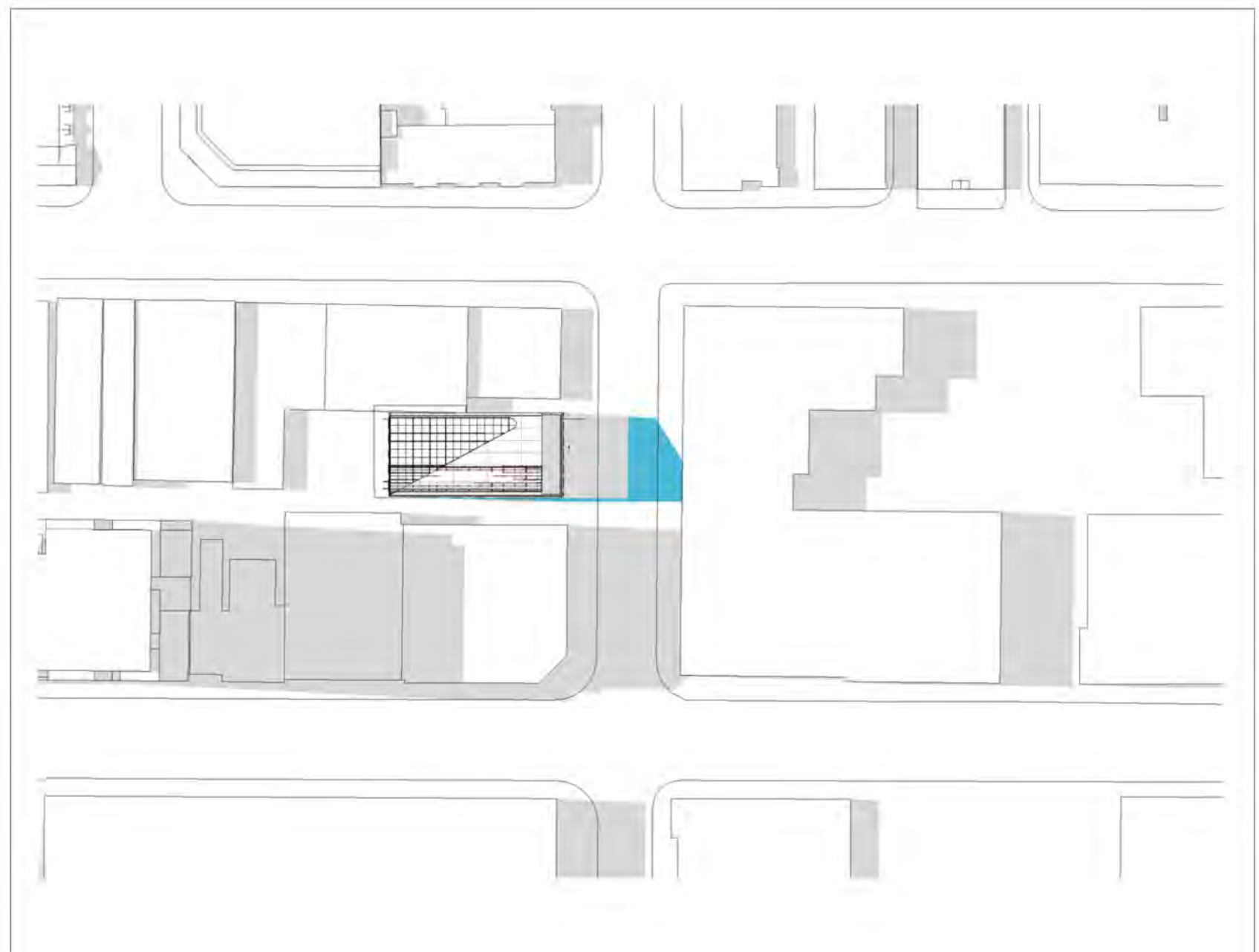
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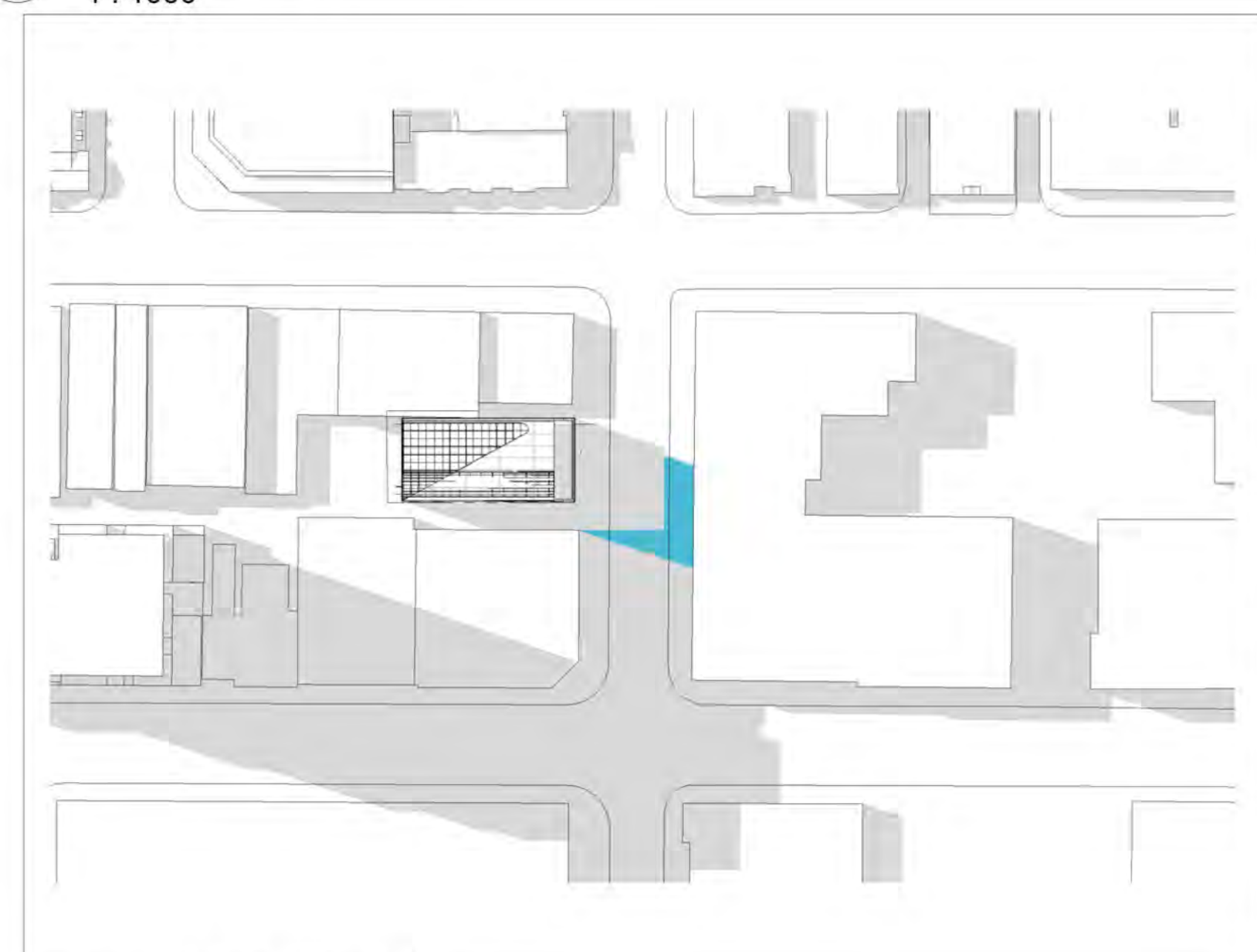
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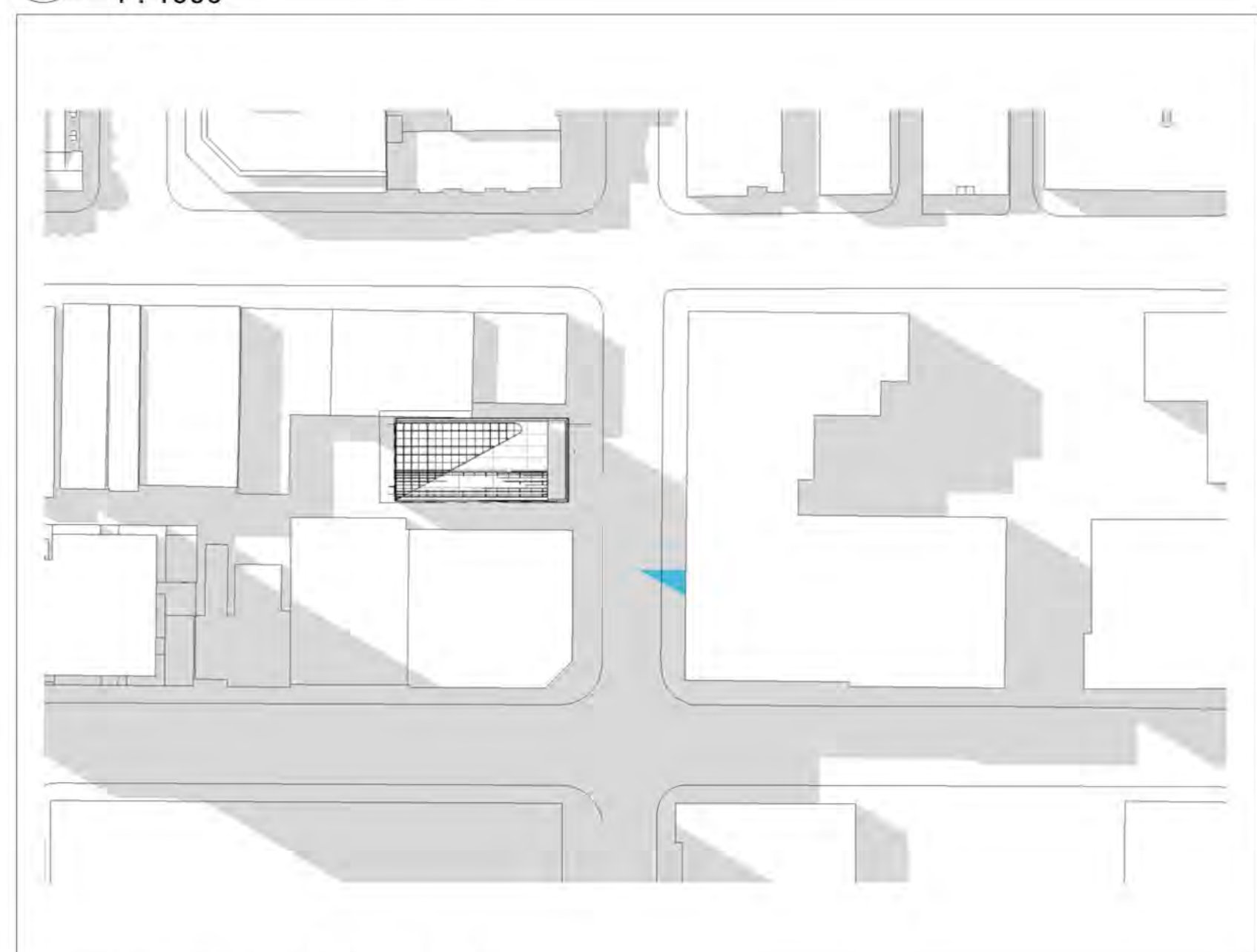
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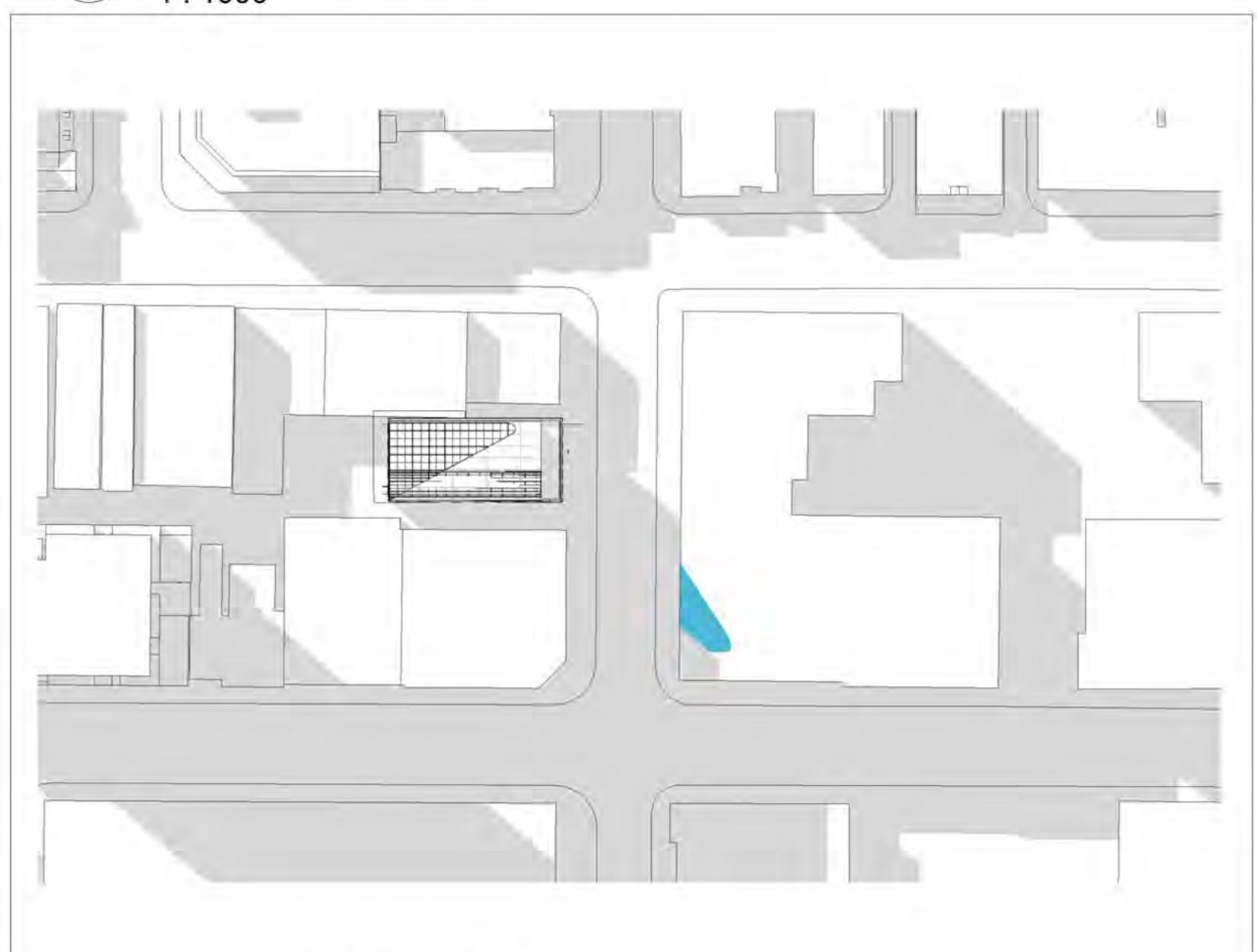
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7 June 21- 0418 PM  
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NOTES

 NEW NET SHADOW CAST BY VERTICAL ADDITION

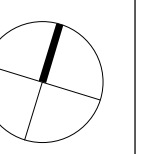
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160 JOHN STREET  
160 John Street  
Toronto, ON

VERTICAL ADDITION

SUN-SHADOW STUDY  
PROPOSED JUNE



PROJECT	41926	DRAWN	Author
SCALE	1 : 100	CHECKED	Checker
DATE	04/01/2023	PLOTTED	

**A-604**



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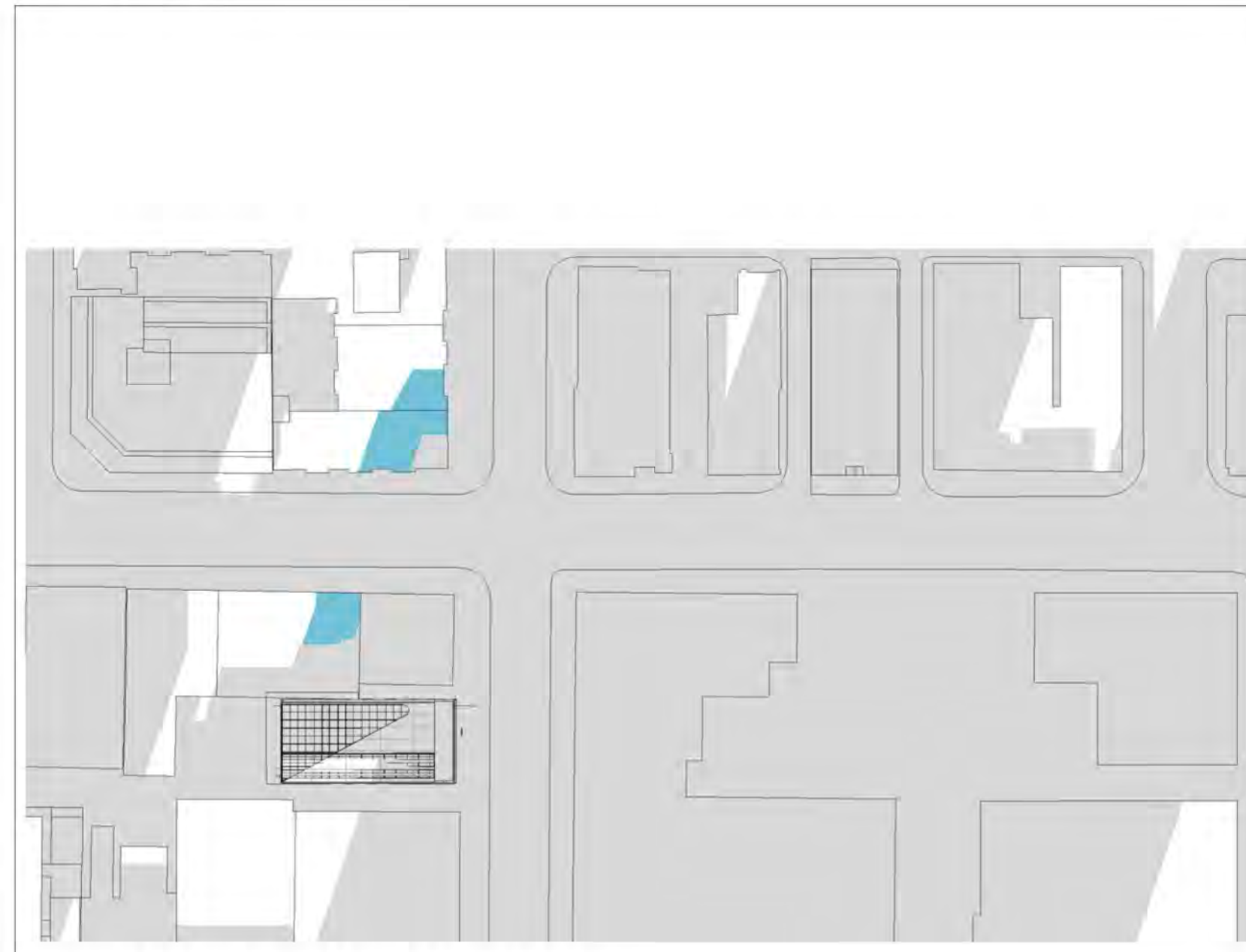
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5 December 21-0218 PM  
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7 December 21-0418 PM  
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8 December 21-0518 PM  
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9 December 21-0618 PM  
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■ NEW NET SHADOW CAST BY VERTICAL ADDITION

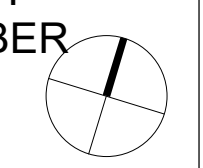
Heritage Consultant E.R.A 625 Church Street #600 Toronto, ON M4Y 2G1 T. 416.963.4437 W. eraarch.ca	Geotechnical Consultant Terraprobe 11 Indell Ln Brampton, ON L6T 3Y3 T. 905.796.2650 W. terraprobe.ca
Structural Consultant Blackwell Structural Engineers 1301 - 134 Peter Street Toronto, ON M5V 2H2 T. 416.593.5300 W. blackwell.ca	Transportation Consultant BA Consulting Group Ltd 45 St Clair Ave W Toronto, Ontario M4V 1K9 T. 416.961.7110 W. bagroup.com
M.E.P Consultant MCW Consultants Ltd. 615, 207 Queens Quay W Toronto, ON M5J 1A7 T. 416.598.2920 W. mcw.com	Wind Consultant RWDI 400 - 901 King St W Toronto, Ontario M5V 3H5 T. 519.823.1311 W. rwdi.com
Civil Consultant Valdor Engineering Inc. 741 Rowntree Dairy Road Woodbridge, ON L4L 5T9 T. 905.264.0054 W. valdorengineering.com	



160 JOHN STREET  
160 John Street  
Toronto, ON

VERTICAL ADDITION

SUN-SHADOW STUDY  
PROPOSED DECEMBER



PROJECT	41826	DRAWN	Author
SCALE	1 : 100	CHECKED	Checker
DATE	04/01/2023	PLOTTED	

**A-605**