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Date:

KIRKOR

ARCHITECTS AND PLANNERS

20 De Boers Drive Suite 400
Toronto, ON M3J 0H1

Revisions:
No. | Revision: | Date:

4	SPA Submission	01-13-2023
3	SPA Submission	08-25-2022
2	Zoning Resubmission #1	12-17-2021
1	Zoning By-law Amendment	12-12-2017

No. | Issued For: | Date:

Drawing Title:

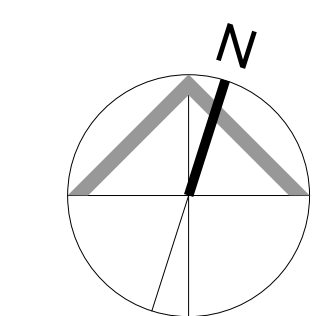
Site Plan

Client:
415 Yonge Limited Partnership

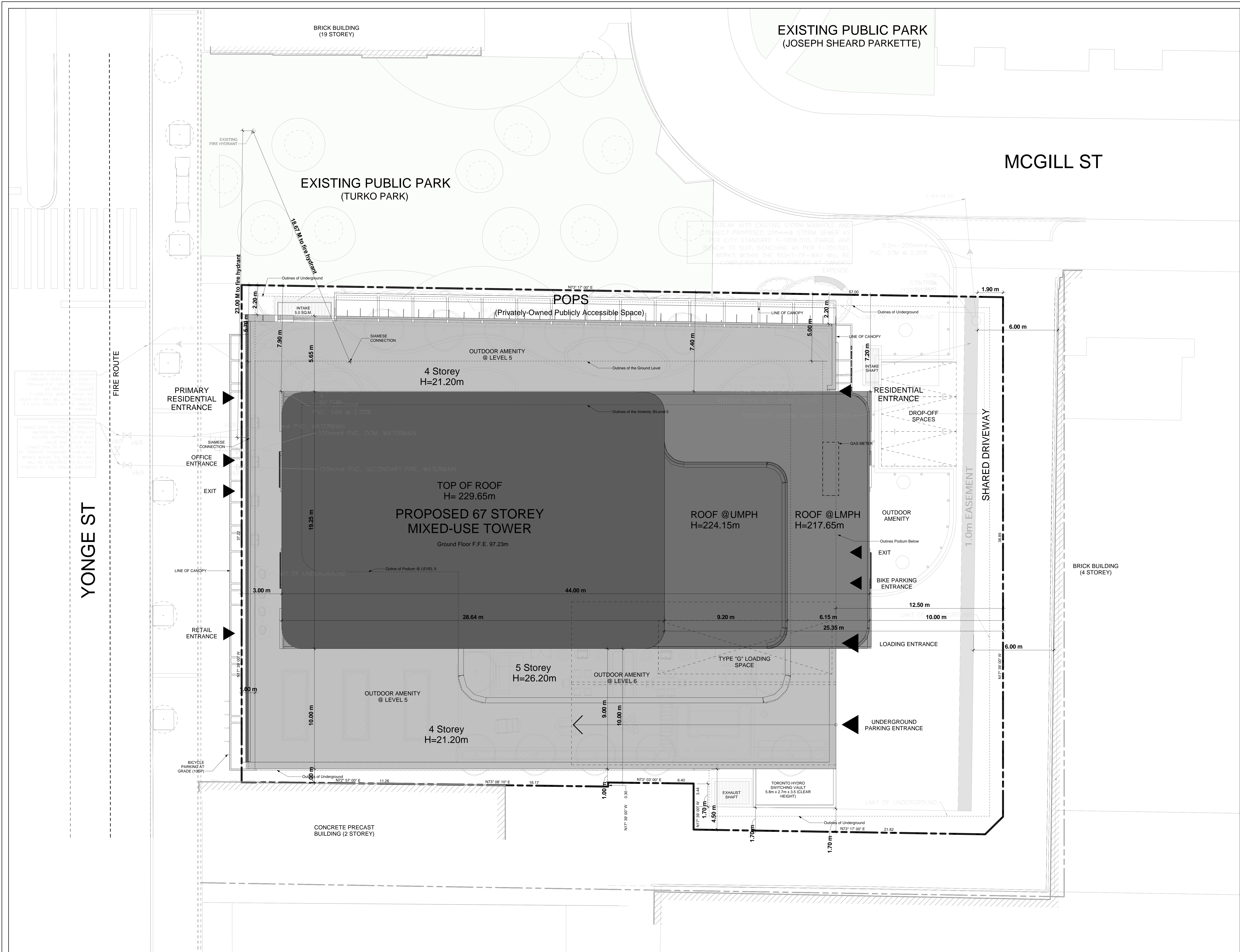
Project:
415 Yonge St

415&409 Yonge St 9&17 McGill St, Toronto

Scale:
1 : 100
Drawn by:
T.T, A.E
Checked by:
A.E
Project No.:
21-050
Date:
Jan 13, 2023
Drawing No.:



dA1.4



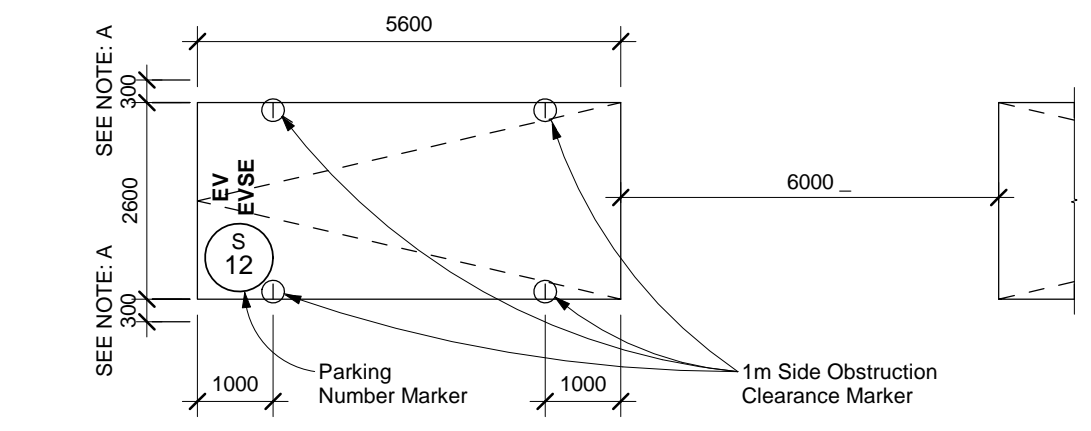
Site Plan
1 : 100

1
dA1.4

LEGEND:

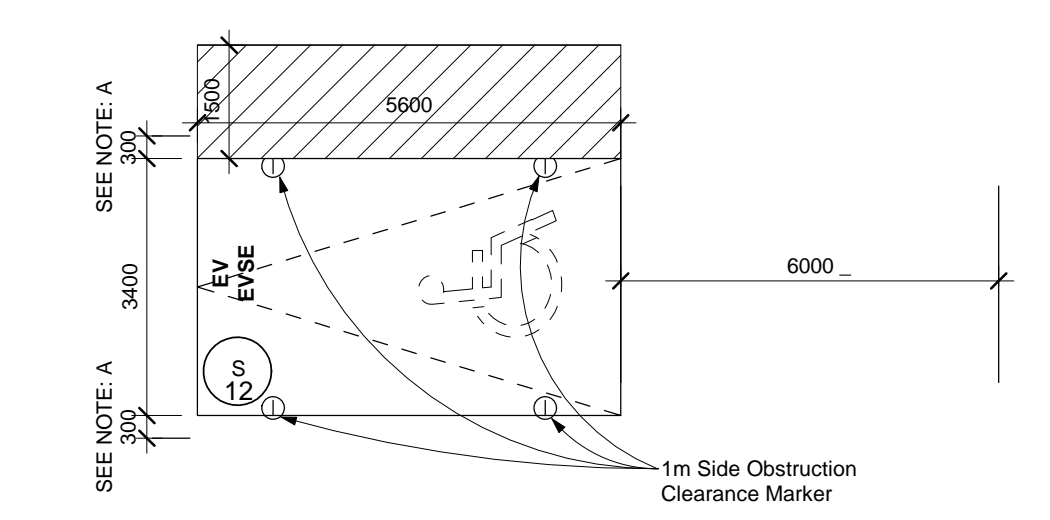
TYPICAL PARKING SPACE:

Drive Aisle @ 6m min.

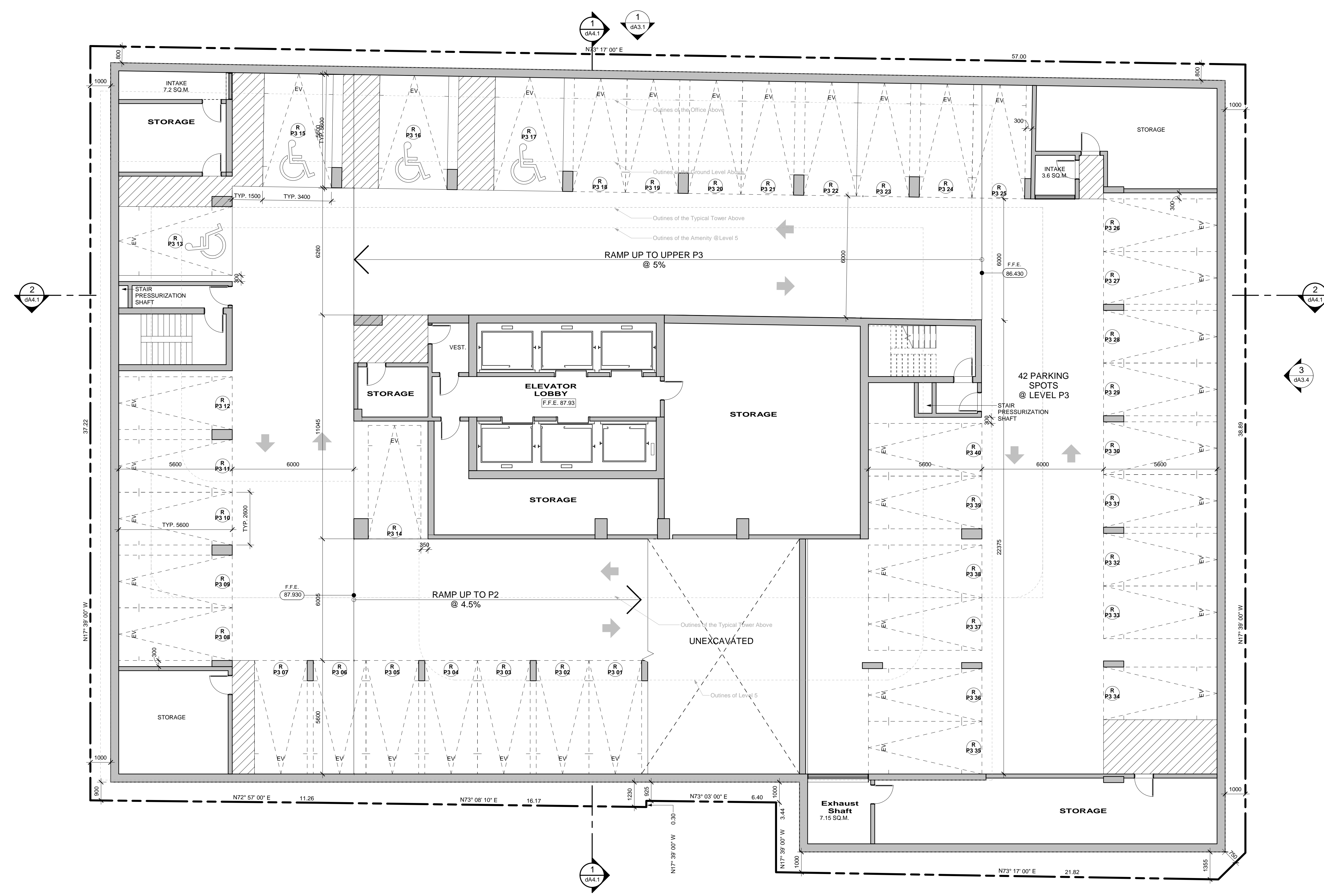


NOTE: A- PROVIDE AN ADDITIONAL 300mm FOR PARKING SPACE WIDTH WHEN OBSTRUCTIONS OCCUR BETWEEN THE FRONT AND REAR 1000mm
B- EV, ELECTRIC VEHICLES (PROVIDED WITH LEVEL 2 CHARGING OR HIGHER)
C- EVSE, ROUGH-IN CONDUITS FOR FUTURE ELECTRIC VEHICLE SUPPLY EQUIPMENT

ACCESSIBLE PARKING SPACE:

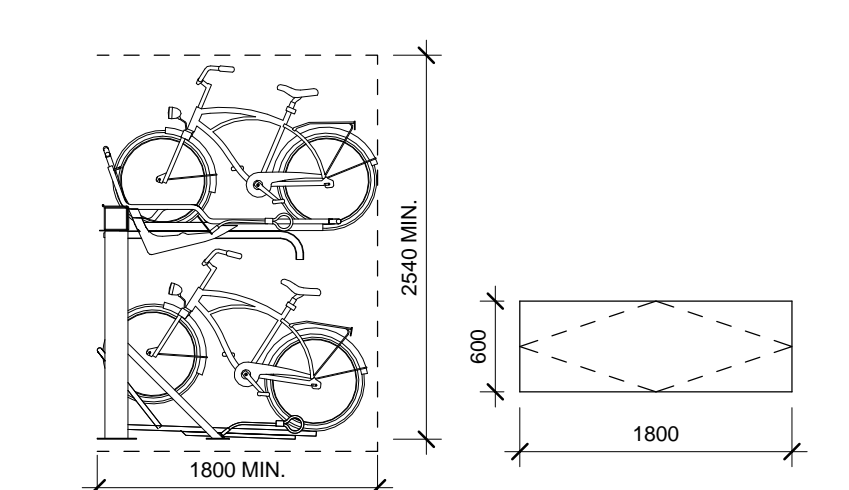


NOTE: A- PROVIDE AN ADDITIONAL 300mm FOR PARKING SPACE WIDTH WHEN OBSTRUCTIONS OCCUR BETWEEN THE FRONT AND REAR 1000mm
B- EV, ELECTRIC VEHICLES (PROVIDED WITH LEVEL 2 CHARGING OR HIGHER)
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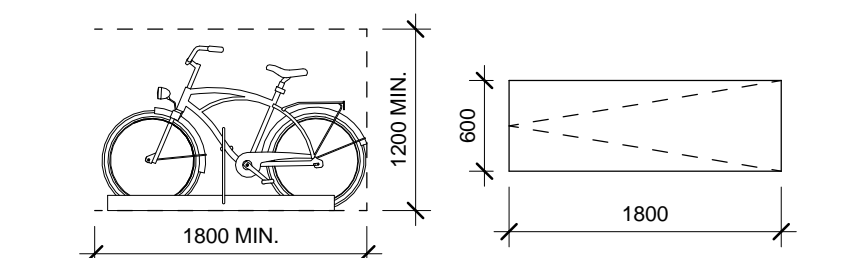


Typical Parking Notes 2 dA2.1 NTS

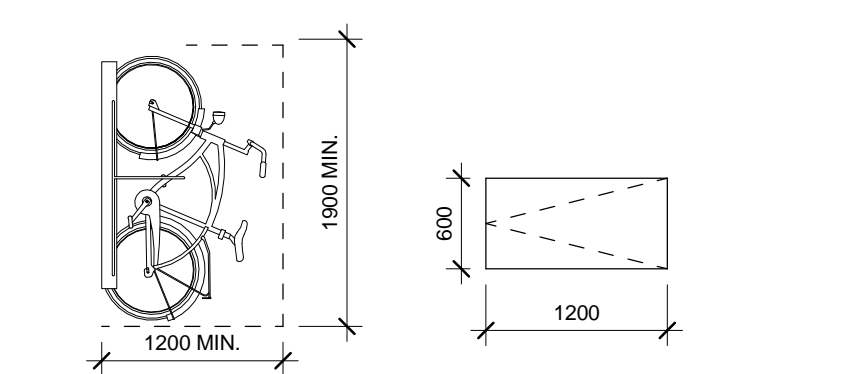
TYPICAL BICYCLE PARKING SPACE:



SECTION VIEW PLAN VIEW TYPE 1: STACKED BICYCLE PARKING



SECTION VIEW PLAN VIEW TYPE 2: HORIZONTAL BICYCLE PARKING



SECTION VIEW PLAN VIEW TYPE 3: VERTICAL BICYCLE PARKING

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Revisions table with columns for No., Revision, and Date.

Revision history table with columns for No., Description, and Date.

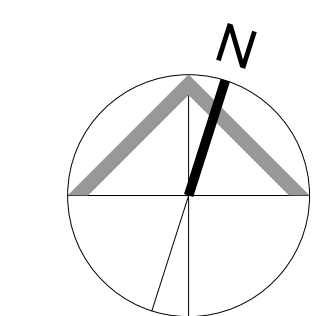
Parking Level P3 Floor Plan

Client: 415 Yonge Limited Partnership

Project: 415 Yonge St

415&409 Yonge St 9&17 McGill St, Toronto

Scale: As indicated
Drawn by: T.T., A.E.
Checked by: A.E.
Project No.: 21-050
Date: Jan 13, 2023
Drawing No.:



dA2.1

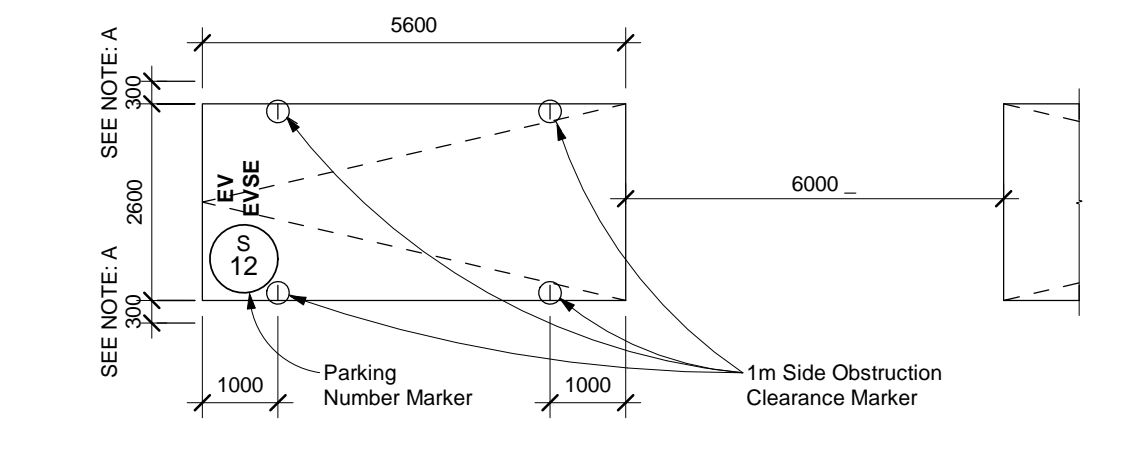
Floor Plan - Level P3 3 dA2.1 1 : 100

Typical Bicycle Parking 1 dA2.1 NTS

LEGEND:

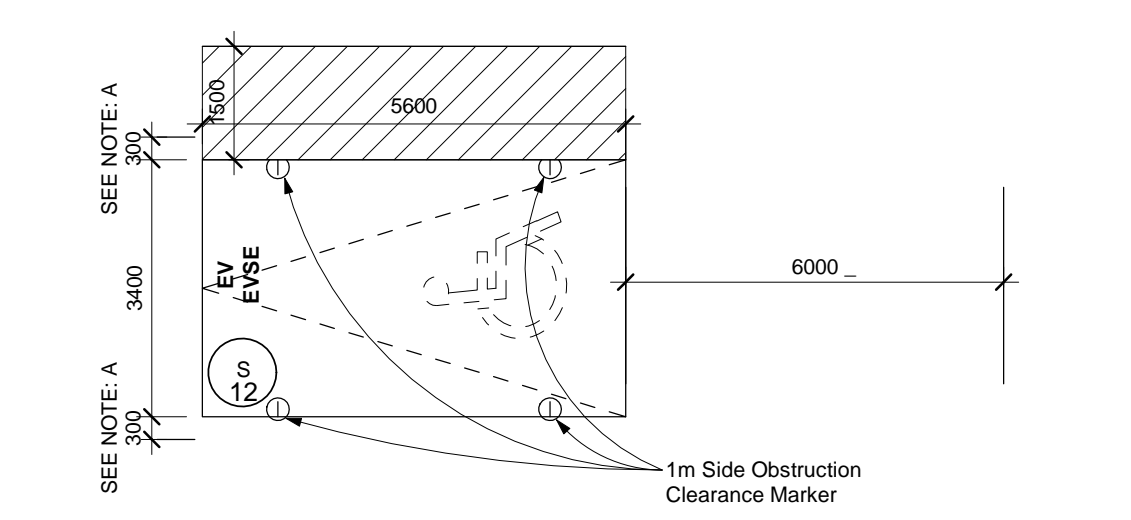
TYPICAL PARKING SPACE:

Drive Aisle @ 6m min.



NOTE: A- PROVIDE AN ADDITIONAL 300mm FOR PARKING SPACE WIDTH WHEN OBSTRUCTIONS OCCUR BETWEEN THE FRONT AND REAR 1000mm
B- EV, ELECTRIC VEHICLES (PROVIDED WITH LEVEL 2 CHARGING OR HIGHER)
C- EVSE, ROUGH-IN CONDUITS FOR FUTURE ELECTRIC VEHICLE SUPPLY EQUIPMENT

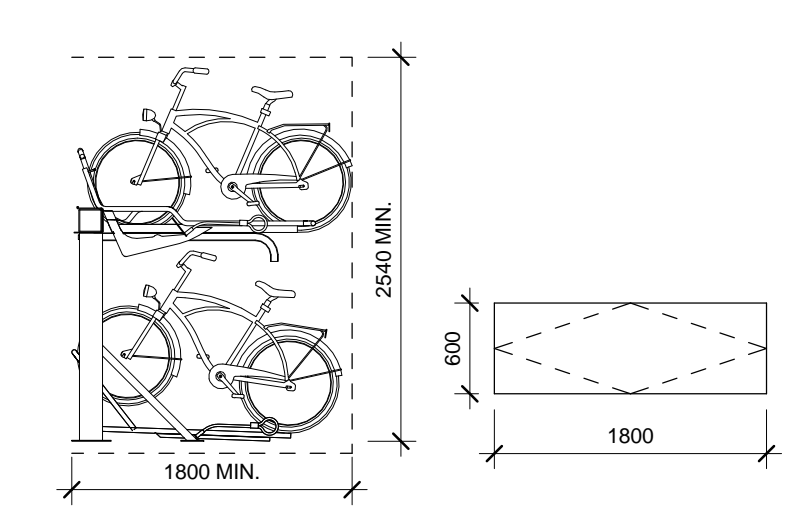
ACCESSIBLE PARKING SPACE:



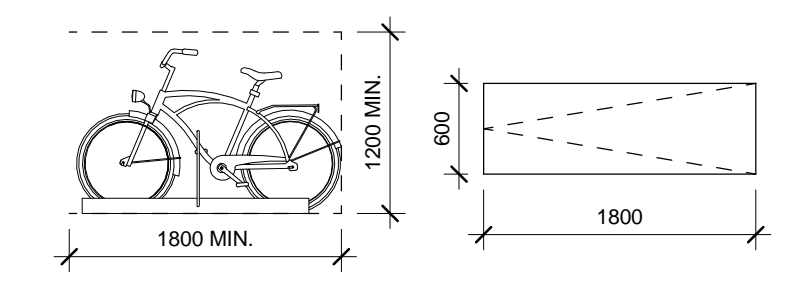
NOTE: A- PROVIDE AN ADDITIONAL 300mm FOR PARKING SPACE WIDTH WHEN OBSTRUCTIONS OCCUR BETWEEN THE FRONT AND REAR 1000mm
B- EV, ELECTRIC VEHICLES (PROVIDED WITH LEVEL 2 CHARGING OR HIGHER)
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Typical Parking Notes 2 dA2.2 NTS

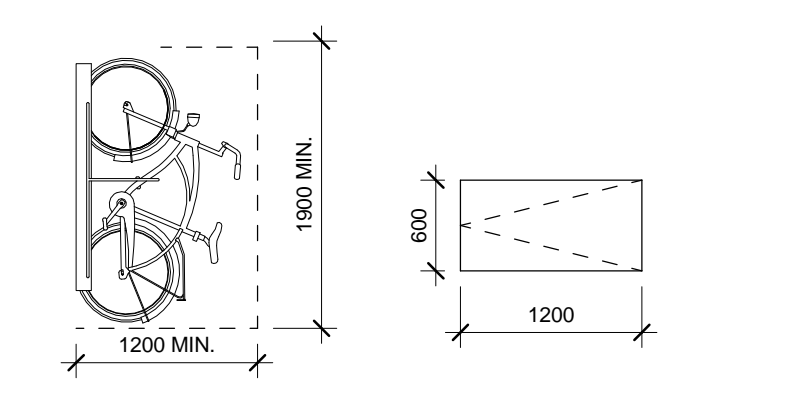
TYPICAL BICYCLE PARKING SPACE:



SECTION VIEW PLAN VIEW TYPE 1: STACKED BICYCLE PARKING



SECTION VIEW PLAN VIEW TYPE 2: HORIZONTAL BICYCLE PARKING



SECTION VIEW PLAN VIEW TYPE 3: VERTICAL BICYCLE PARKING

Parking Level P2 Floor Plan

Client: 415 Yonge Limited Partnership

Project: 415 Yonge St

Address: 415&409 Yonge St 9&17 McGill St, Toronto

Scale: As indicated

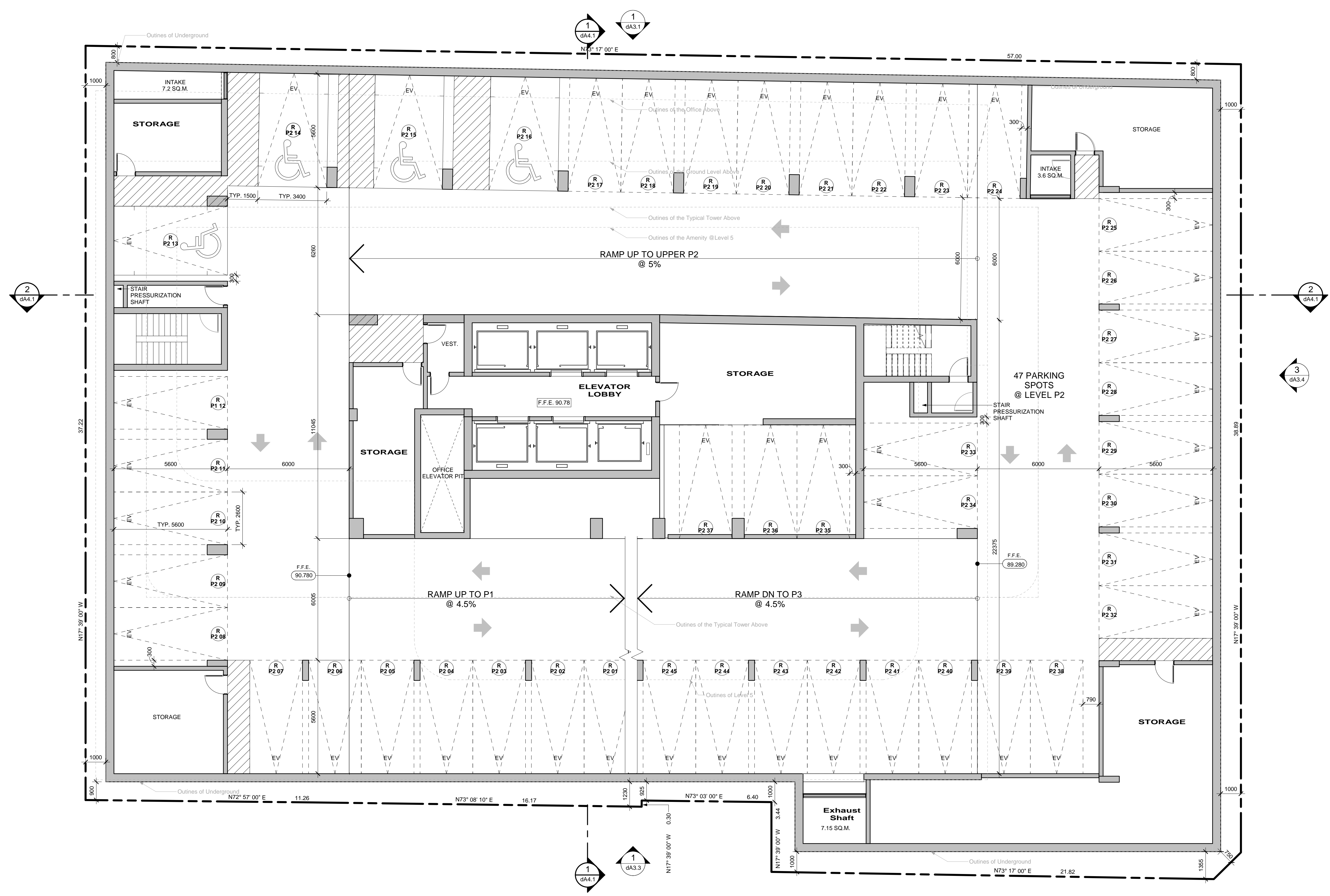
Drawn by: T.T, A.E

Checked by: A.E

Project No.: 21-050

Date: Jan 13, 2023

Drawing No.: dA2.2



Floor Plan - Level P2 3 dA2.2 1 : 100

Typical Bicycle Parking 1 dA2.2 NTS

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No.	Revision	Date

No.	Issued For	Date
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3	SPA Submission	08-25-2022
2	Zoning Resubmission #1	12-17-2021
1	Zoning By-law Amendment	12-12-2017

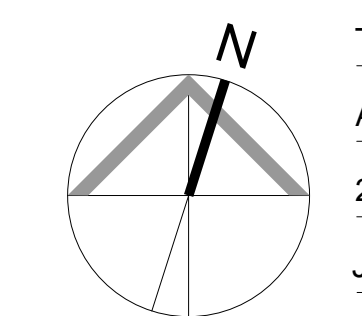
Drawing Title: Parking Level P2 Floor Plan

Client: 415 Yonge Limited Partnership

Project: 415 Yonge St

Address: 415&409 Yonge St 9&17 McGill St, Toronto

Scale: As indicated
Drawn by: T.T, A.E
Checked by: A.E
Project No.: 21-050
Date: Jan 13, 2023
Drawing No.: dA2.2

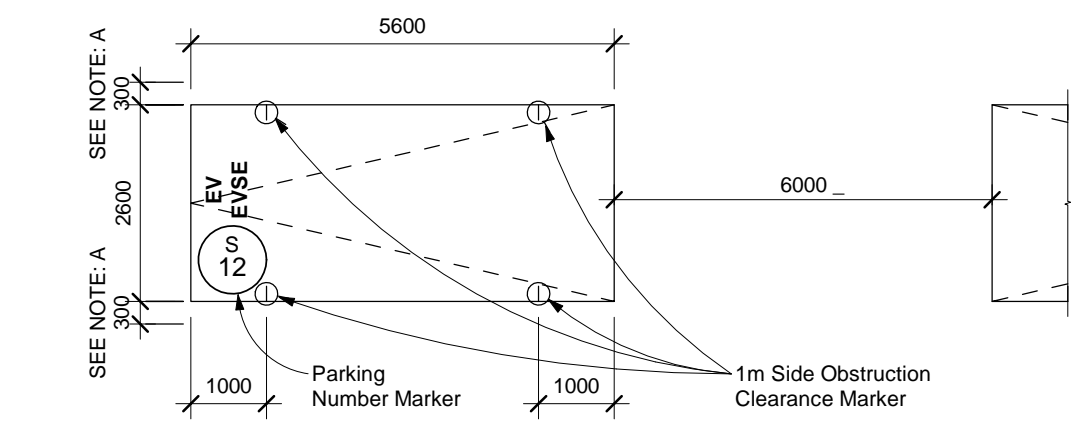


dA2.2

LEGEND:

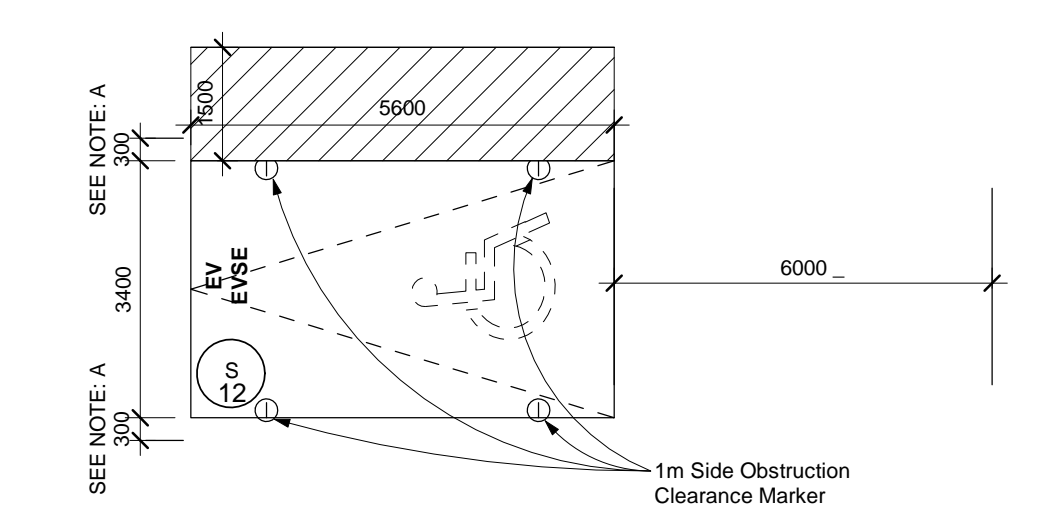
TYPICAL PARKING SPACE:

Drive Aisle @ 6m min.



NOTE: A- PROVIDE AN ADDITIONAL 300mm FOR PARKING SPACE WIDTH WHEN OBSTRUCTIONS OCCUR BETWEEN THE FRONT AND REAR 1000mm
 B- EV: ELECTRIC VEHICLES (PROVIDED WITH LEVEL 2 CHARGING OR HIGHER)
 C- EVSE: ROUGH-IN CONDUITS FOR FUTURE ELECTRIC VEHICLE SUPPLY EQUIPMENT

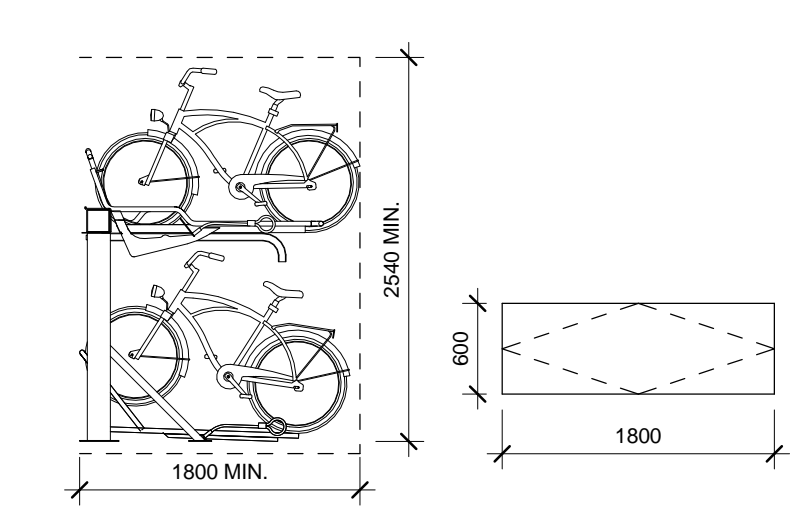
ACCESSIBLE PARKING SPACE:



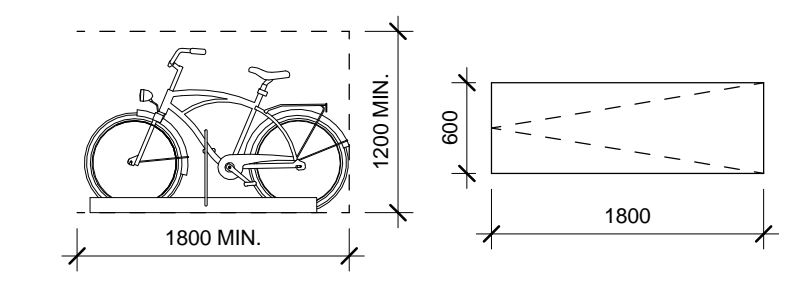
NOTE: A- PROVIDE AN ADDITIONAL 300mm FOR PARKING SPACE WIDTH WHEN OBSTRUCTIONS OCCUR BETWEEN THE FRONT AND REAR 1000mm
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Typical Parking Notes **2**
 NTS dA2.3

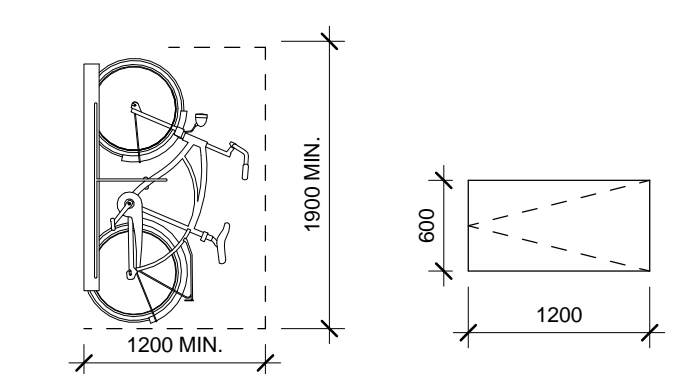
TYPICAL BICYCLE PARKING SPACE:



SECTION VIEW TYPE 1: STACKED BICYCLE PARKING



SECTION VIEW TYPE 2: HORIZONTAL BICYCLE PARKING



SECTION VIEW TYPE 3: VERTICAL BICYCLE PARKING

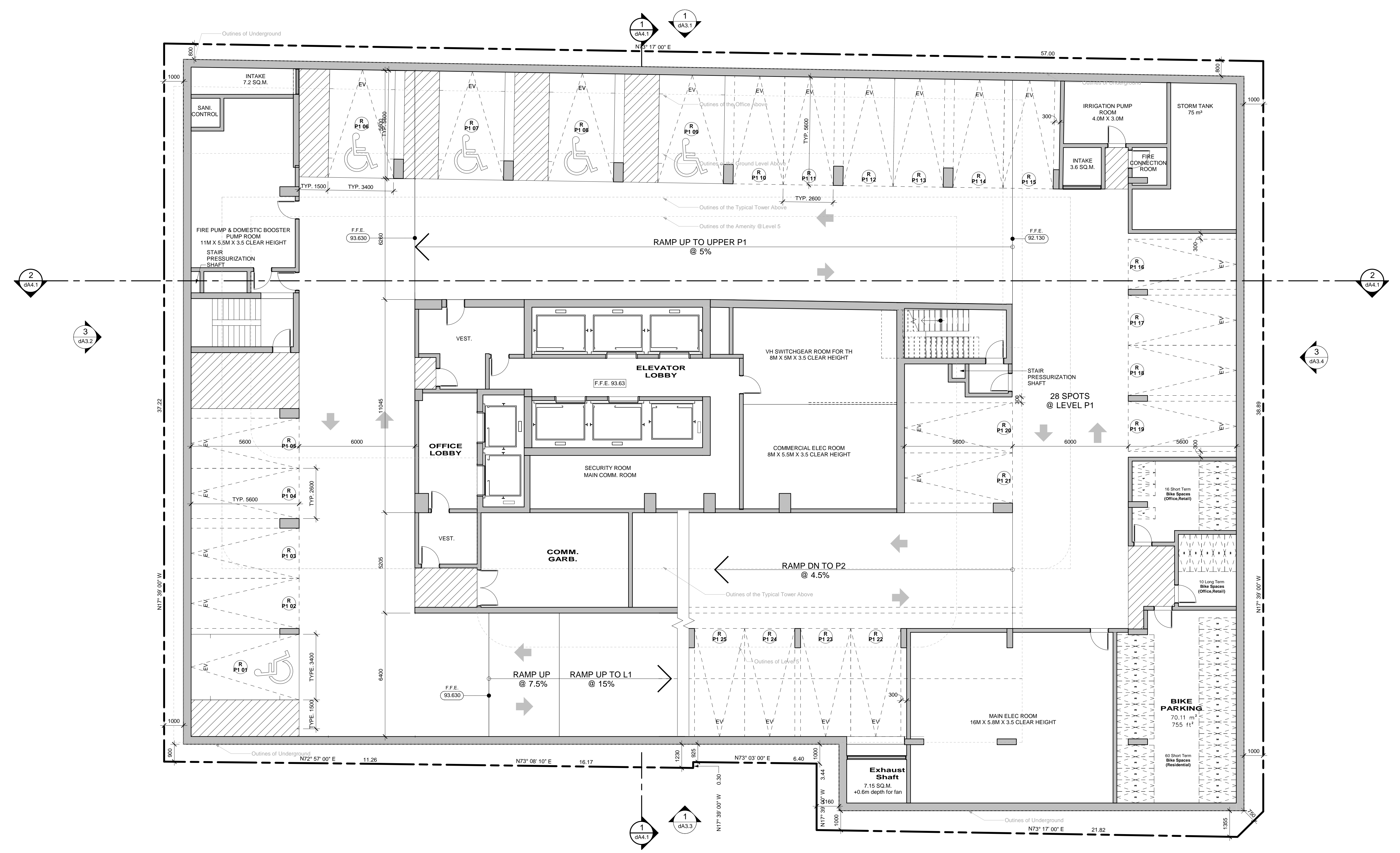
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No.	Revision	Date



Floor Plan - Level P1 **3**
 1 : 100 dA2.3

Typical Bicycle Parking **1**
 NTS dA2.3

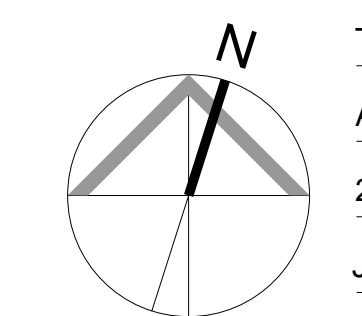
Parking Level P1 Floor Plan

Client:
415 Yonge Limited Partnership

Project:
415 Yonge St

415&409 Yonge St 9&17 McGill St, Toronto

As indicated	Scale:
T.T, A.E	Drawn by
A.E	Checked by
21-050	Project No.
Jan 13, 2023	Date
	Drawing No.



dA2.3

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General 2
dA2.4



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Revisions:
No. | Revision | Date

LEGEND

LOADING AREA
200MM REINFORCED CONCRETE WITH GRADE (NOT TO EXCEED 2%)

RESIDENTIAL GARBAGE/RECYCLING STORAGE ROOM

WASTE DIVERSION SYSTEM: TWO CHUTE WITH BI-SORTER

CITY OF TORONTO REQUIREMENTS:
GARBAGE/RECYCLING: 25m² / FIRST 50 UNITS + 13m² / EACH ADDITIONAL 50 UNITS + 10m² (UNCOMPACTED GARBAGE) + 6m² (HOUSEHOLD HAZARDOUS)

CALCULATED GARBAGE/RECYCLING REQUIREMENT:
25m² + (13m² x ((596-50)/50)) = 168.00m²
BULK ITEMS 10.00m²
HAZARDOUS ITEMS 6.00m²
TOTAL: 184.00m²

NUMBER OF COLLECTION BINS REQUIRED :
CALCULATION:
GARBAGE STORAGE: 1 BIN PER 50 UNITS (596 UNITS / 50 = 12 BINS)
RECYCLING STORAGE: 1 BIN PER 50 UNITS (596 UNITS / 50 = 12 BINS)
ORGANIC STORAGE: 1 BIN PER 50 UNITS (596 UNITS / 50 = 12 BINS)
TOTAL NUMBER OF BINS: 36 BINS

BINS DESIGNATION:
G = GARBAGE
R = RECYCLING
O = ORGANIC
C = COMMERCIAL

STAGING AREA: 5m² FOR EVERY 50 UNITS > 50
CALCULATION: (596 - 50) / 50 x 5m² = 55m²

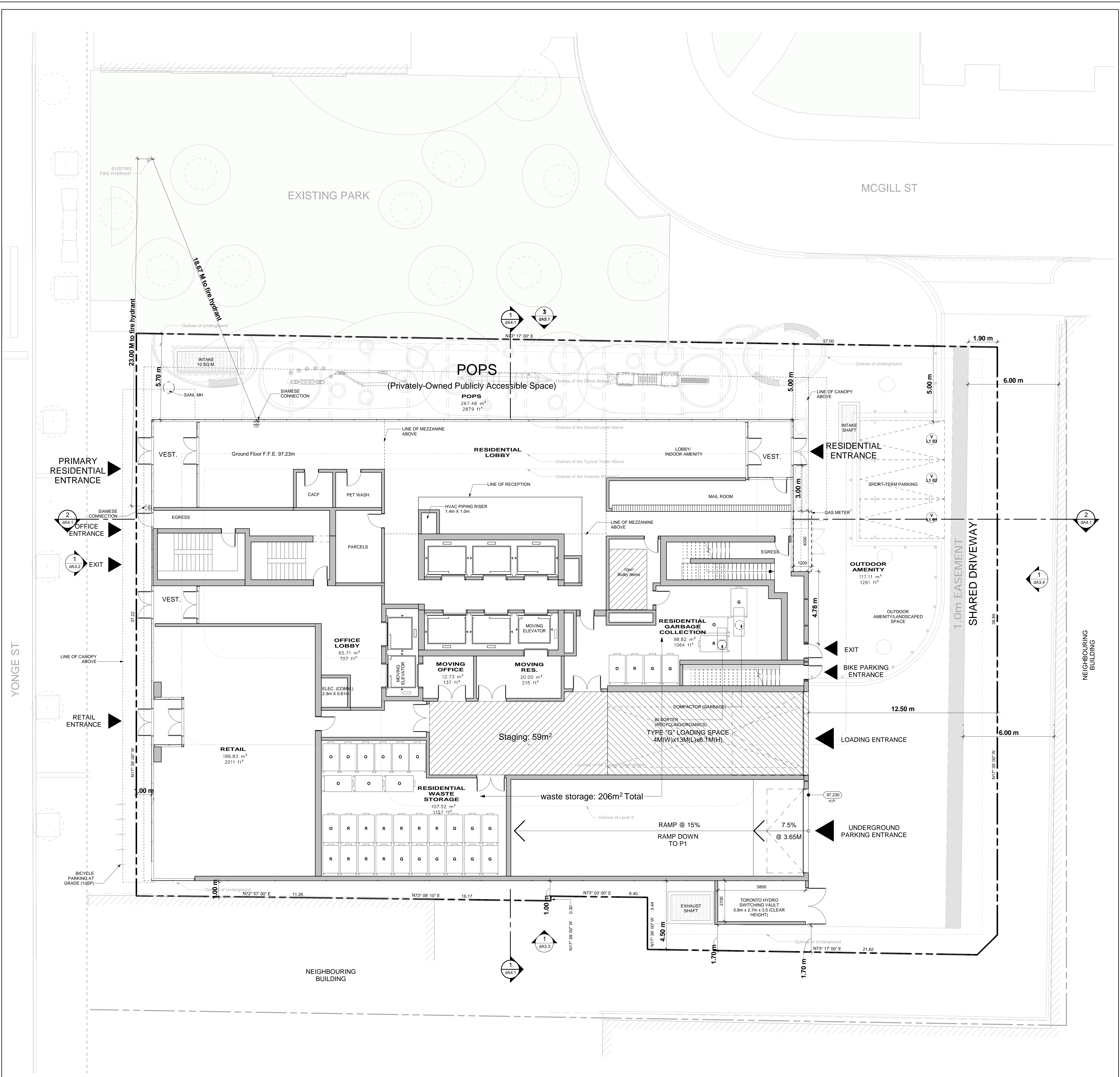
PROPOSED ACCESS ROUTE FOR WASTE COLLECTION VEHICLE TO HAVE MINIMUM 4.4m VERTICAL CLEARANCE THROUGHOUT AND DESIGNED TO SAFELY SUPPORT 35,000kg.
STRUCTURAL ENGINEER TO DESIGN AREA TO CONFORM AS FOLLOWS:
(A) DESIGN CODE - ONTARIO BUILDING CODE
(B) DESIGN LOAD - CITY BULK LIFT VEHICLE IN ADDITION TO BUILDING CODE REQUIREMENTS
(C) IMPACT FACTOR - 5% FOR MAXIMUM VEHICLE SPEEDS TO 15KM/H AND 20% FOR HIGHER SPEEDS

ACCESS DRIVEWAYS TO BE USED BY THE COLLECTION VEHICLE WILL HAVE MAXIMUM GRADIENT OF 8%

A TRAINED ON-SITE STAFF MEMBER MUST BE AVAILABLE TO MANOEUVRE BINS FOR THE COLLECTION DRIVER AND ALSO ACT AS A FLAGMAN WHEN THE TRUCK IS REVERSING. IN THE EVENT THE ON-SITE STAFF MEMBER IS UNAVAILABLE AT THE TIME THE CITY COLLECTION VEHICLES ARRIVE ON SITE, THE COLLECTION VEHICLE WILL LEAVE THE SITE AND NOT RETURN UNTIL THE NEXT SCHEDULED COLLECTION DAY.

WASTE BINS FOR NON-RESIDENTIAL COMPONENT WILL BE LABELLED SEPARATELY FROM THOSE FOR THE RESIDENTIAL COMPONENT. SHARED LOADING SPACE WILL NOT BE OCCUPIED ON DAYS WHEN CITY COLLECTION SERVICES ARE SCHEDULED FOR RESIDENTIAL COMPONENT. A PRIVATE CONTRACTOR MUST COLLECT ALL SOLID WASTE FROM THE COMMERCIAL COMPONENT.

Waste Management Notes 1
NTS dA2.4



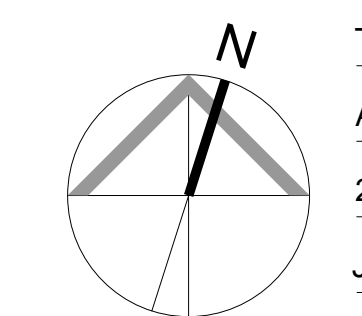
Floor Plan - Level 1 3
1 : 100 dA2.4

Level 1 Floor Plan

Client:
415 Yonge Limited Partnership

Project:
415 Yonge St

415&409 Yonge St 9&17 McGill St, Toronto
Scale:
As indicated
Drawn by: T.T, A.E.
Checked by: A.E.
Project No.: 21-050
Date: Jan 13, 2023
Drawing No.:



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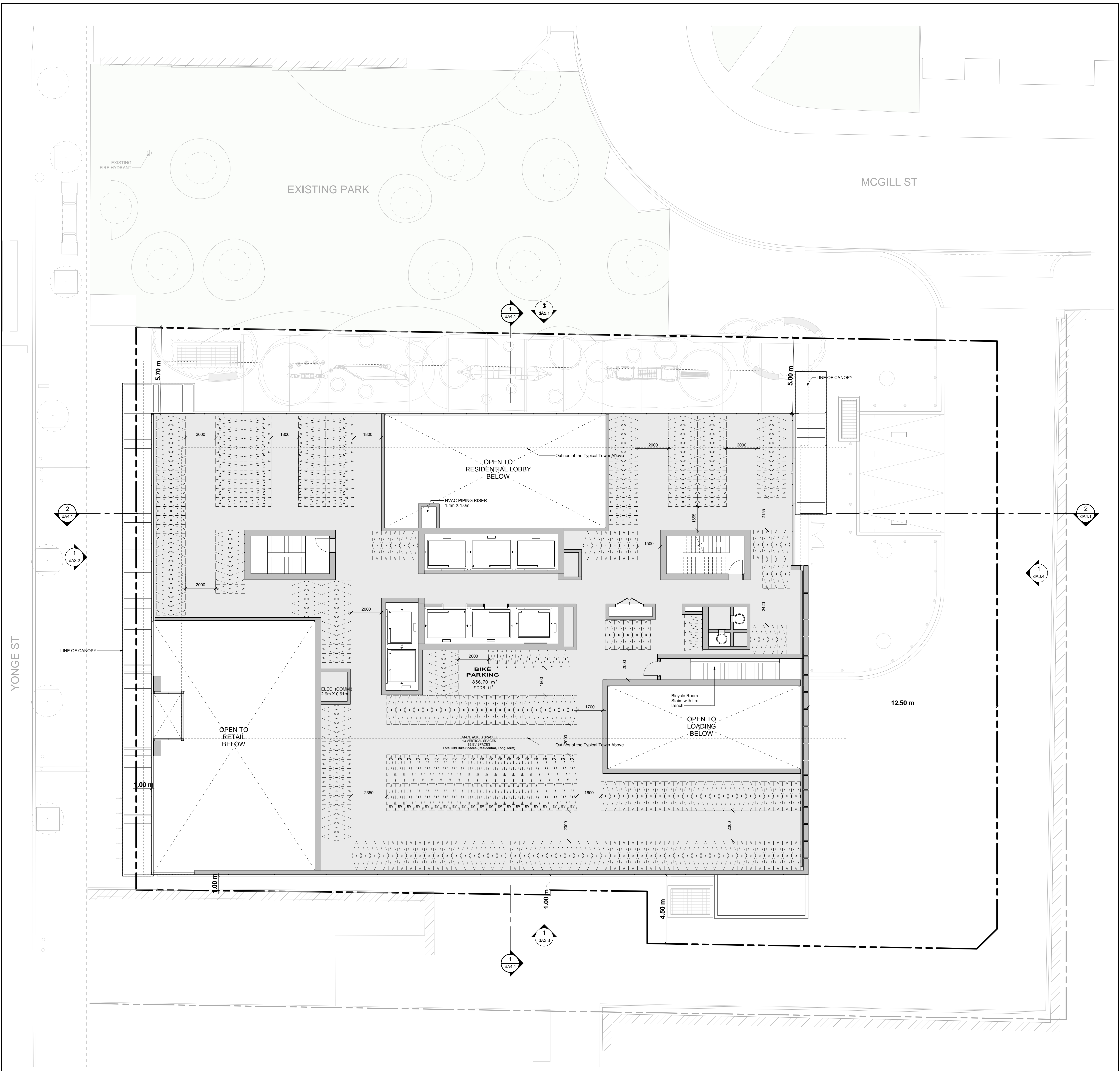
Date:

KIRKOR

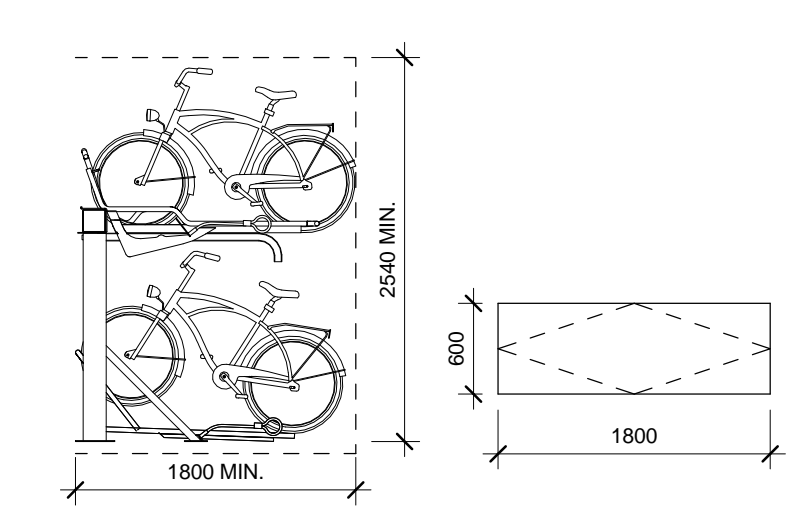
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Toronto, ON M3J 0H1

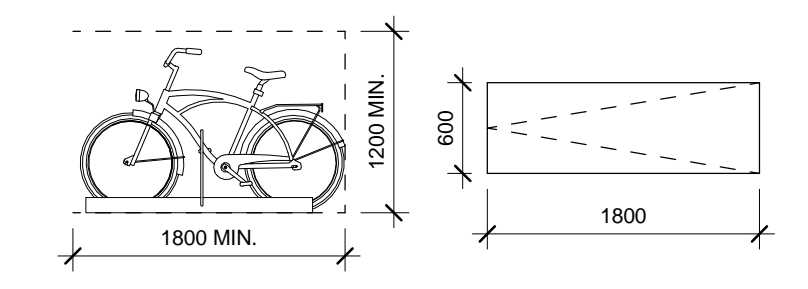
No.	Revision:	Date:



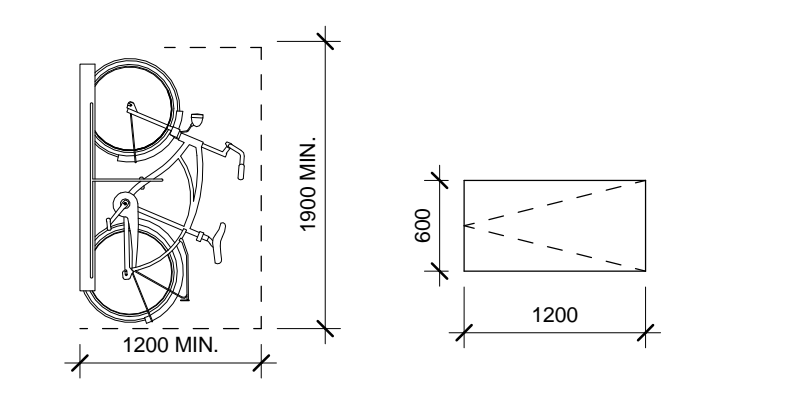
TYPICAL BICYCLE PARKING SPACE:



SECTION VIEW
TYPE 1: STACKED BICYCLE PARKING



SECTION VIEW
TYPE 2: HORIZONTAL BICYCLE PARKING



SECTION VIEW
TYPE 3: VERTICAL BICYCLE PARKING

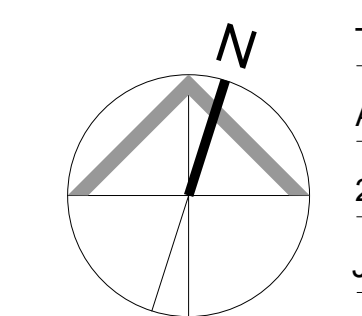
Level Mezzanine Floor Plan

Client:
415 Yonge Limited Partnership

Project:
415 Yonge St

Address:
415&409 Yonge St 9&17 McGill St, Toronto

As indicated	Scale:
T.T., A.E.	Drawn by
A.E.	Checked by
21-050	Project No.:
Jan 13, 2023	Date:
	Drawing No.:



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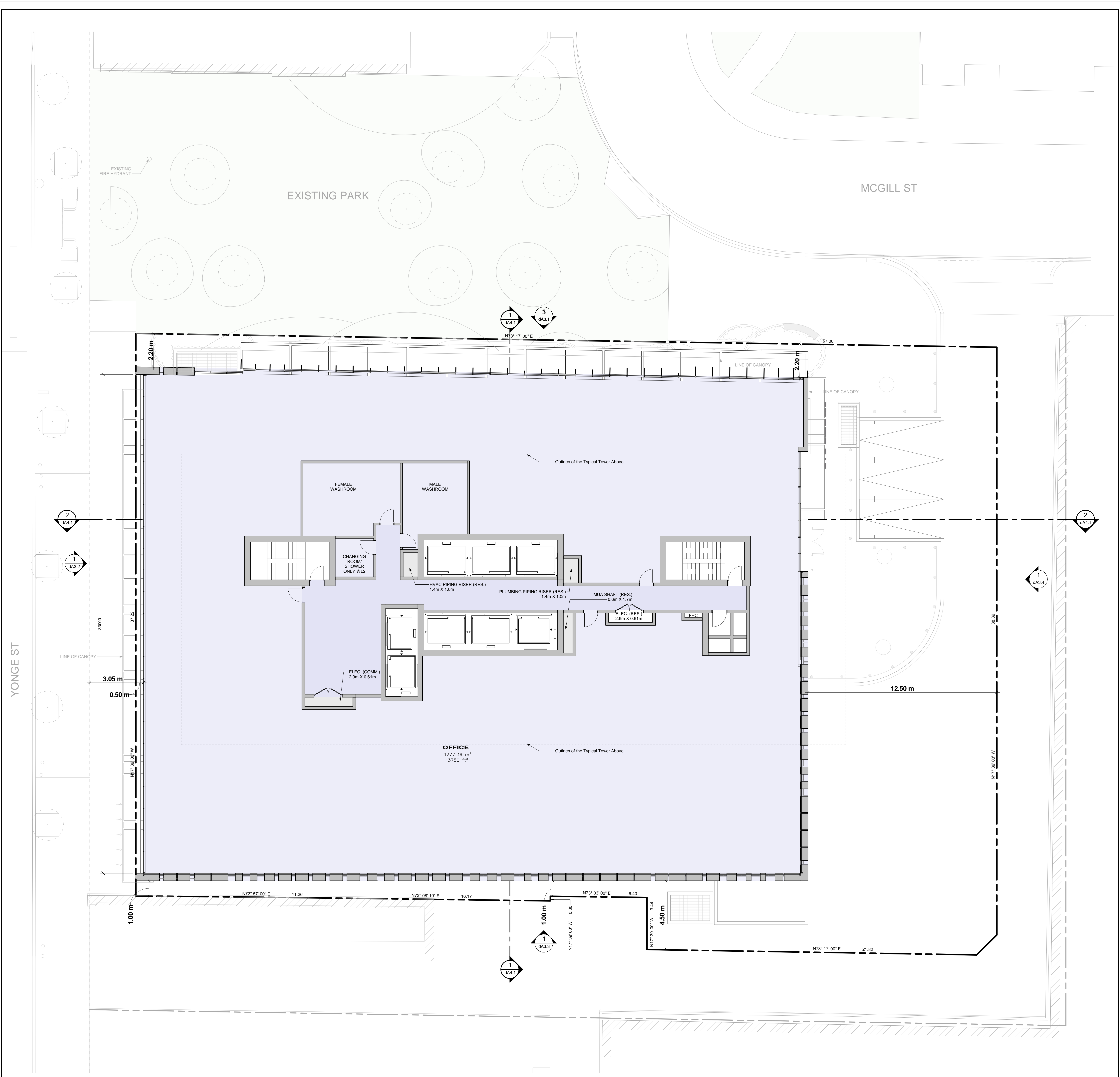
Date:

KIRKOR
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20 De Boers Drive Suite 400
Toronto, ON M3J 0H1

Revisions:

No.	Revision	Date



Outline of the Typical Tower Above

FEMALE WASHROOM

MALE WASHROOM

CHANGING ROOM / SHOWER ONLY (BL2)

HVAC PIPING RISER (RES.) 1.4m X 1.0m

PLUMBING PIPING RISER (RES.) 1.4m X 1.0m

MUA SHAFT (RES.) 0.6m X 1.7m

ELEC. (RES.) 2.9m X 0.61m

PHK

OFFICE 1277.39 m² 13750 ft²

Outline of the Typical Tower Above

Floor Plan - Levels 2-4 1
1 : 100 dA2.6

4	SPA Submission	01-13-2023
3	SPA Submission	08-25-2022
2	Zoning Resubmission #1	12-17-2021
1	Zoning By-law Amendment	12-12-2017

No. Issued For: _____ Date: _____

Levels 2-3 Floor Plan

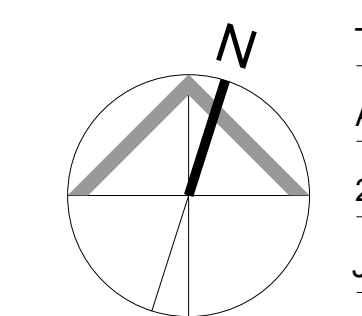
Client:

415 Yonge Limited Partnership

Project:

415 Yonge St

415&409 Yonge St 9&17 McGill St, Toronto
Scale: 1 : 100
Drawn by: T.T. A.E.
Checked by: A.E.
Project No.: 21-050
Date: Jan 13, 2023
Drawing No.: _____



dA2.6

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3	SPA Submission	08-25-2022
2	Zoning Resubmission #1	12-17-2021
1	Zoning By-law Amendment	12-12-2017

No. Issued For: _____ Date: _____

Drawing Title:

Level 4 Floor Plan

Client:

415 Yonge Limited Partnership

Project:

415 Yonge St

415&409 Yonge St 9&17 McGill St, Toronto

Scale: 1 : 100

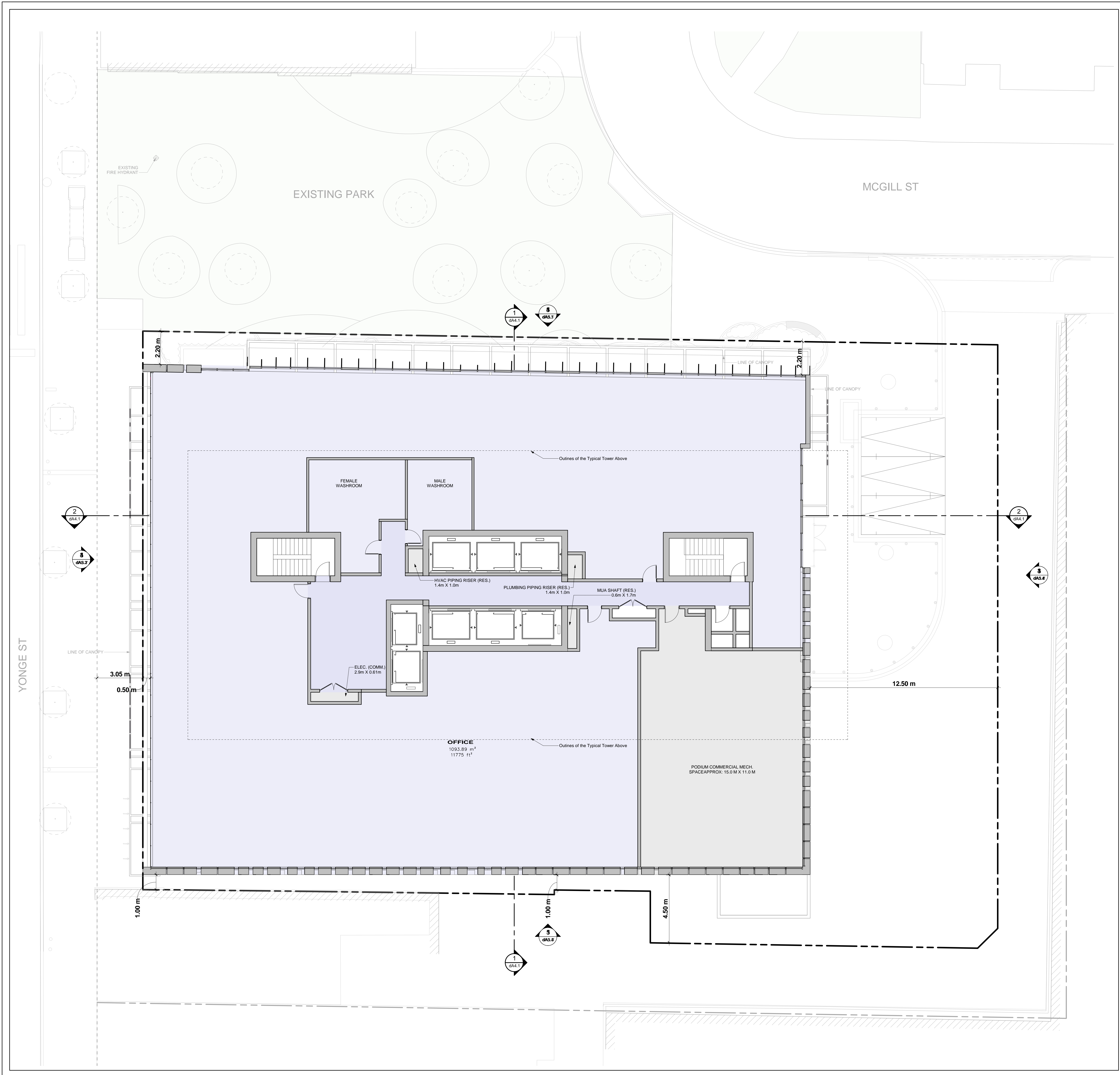
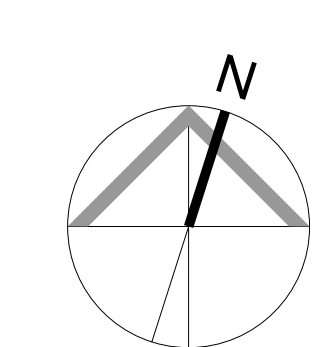
Drawn by: T.T, A.E

Checked by: A.E

Project No.: 21-050

Date: Jan 13, 2023

Drawing No.: dA2.7



Floor Plan - Level 4 1
1 : 100 dA2.7

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20 De Boers Drive Suite 400
Toronto, ON M3J 0H1

No. Revision Date

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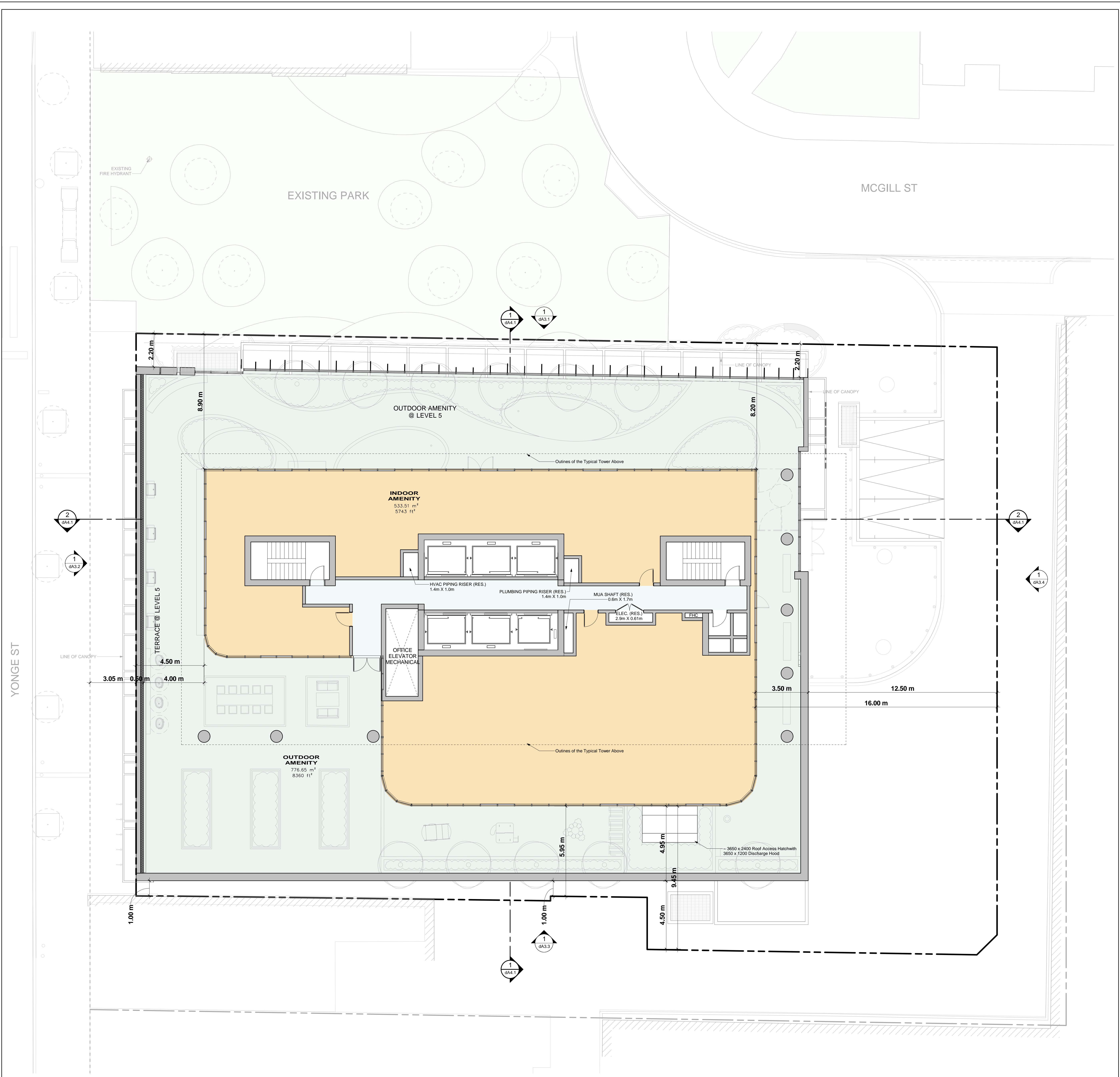
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Floor Plan - Levels 5
1 : 100

1
dA2.8

No.	Revision	Date
4	SPA Submission	01-13-2023
3	SPA Submission	08-25-2022
2	Zoning Resubmission #1	12-17-2021
1	Zoning By-law Amendment	12-12-2017

No. Issued For: Date:

Drawing Title:

Level 5 Floor Plan

Client:

415 Yonge Limited Partnership

Project:

415 Yonge St

415&409 Yonge St 9&17 McGill St, Toronto

Scale: 1 : 100

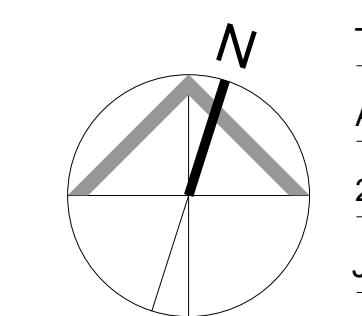
Drawn by: T.T., A.E.

Checked by: A.E.

Project No.: 21-050

Date: Jan 13, 2023

Drawing No.: dA2.8



1
dA2.8

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Revisions:
No. | Revision: | Date:

4	SPA Submission	01-13-2023
3	SPA Submission	08-25-2022
2	Zoning Resubmission #1	12-17-2021
1	Zoning By-law Amendment	12-12-2017

No. | Issued For: | Date:

Drawing Title:

Level 6 Floor Plan

Client:
415 Yonge Limited Partnership

Project:
415 Yonge St

415&409 Yonge St 9&17 McGill St, Toronto

Scale:
1 : 100

Drawn by:
T.T., A.E.

Checked by:
A.E.

Project No.:

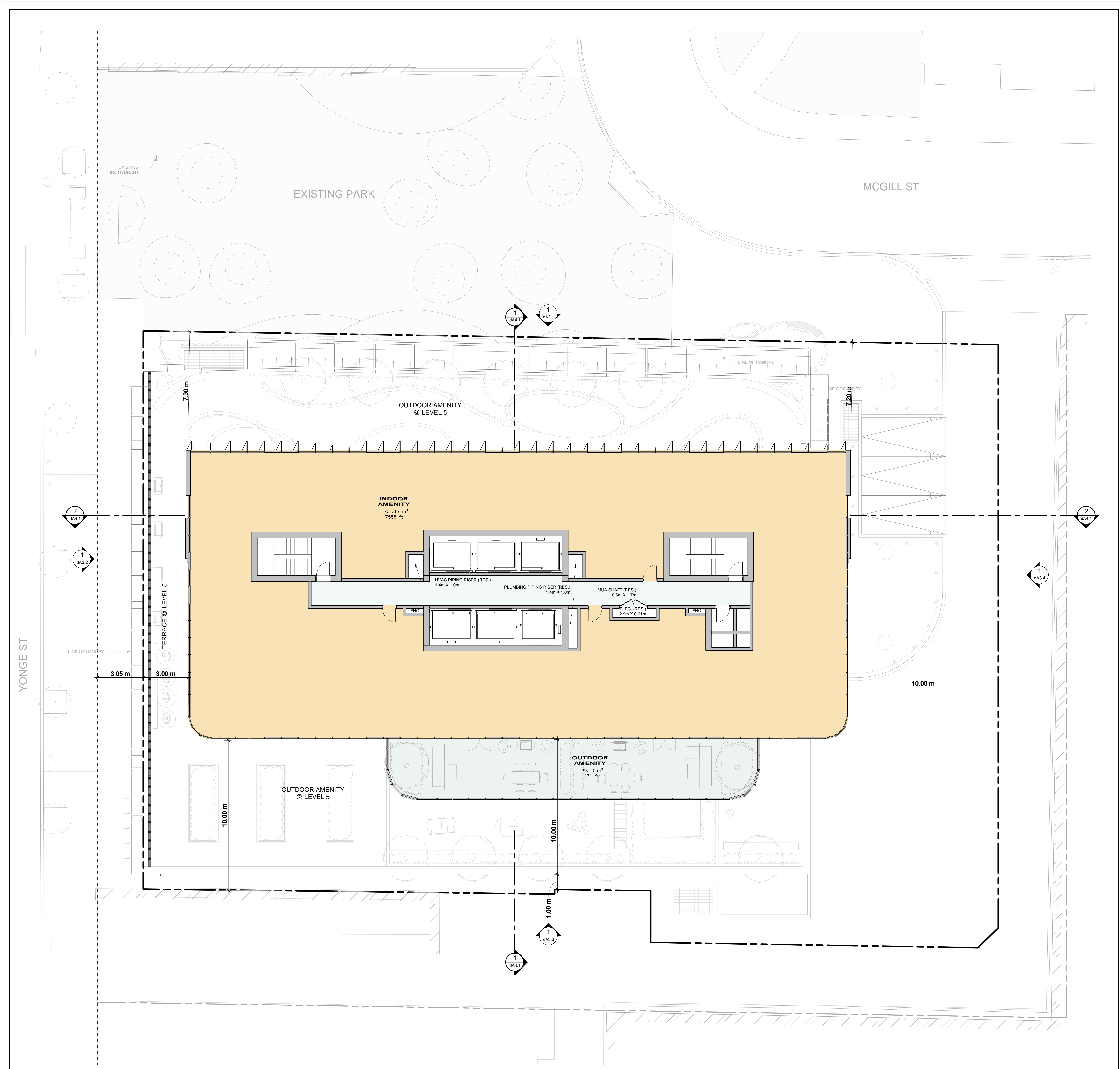
21-050

Date:

Jan 13, 2023

Drawing No.:

dA2.9



Floor Plan - Levels 6
1 : 100

1
dA2.9

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No. Revision: Date:

4	SPA Submission	01-13-2023
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1	Zoning By-law Amendment	12-12-2017
No.	Issued For:	Date:

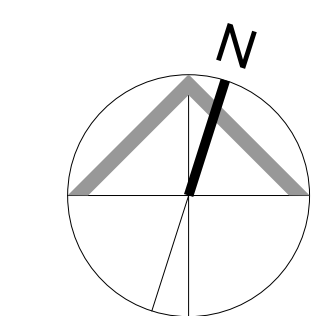
Drawing Title:
Level 7 Floor Plan

Client:
415 Yonge Limited Partnership

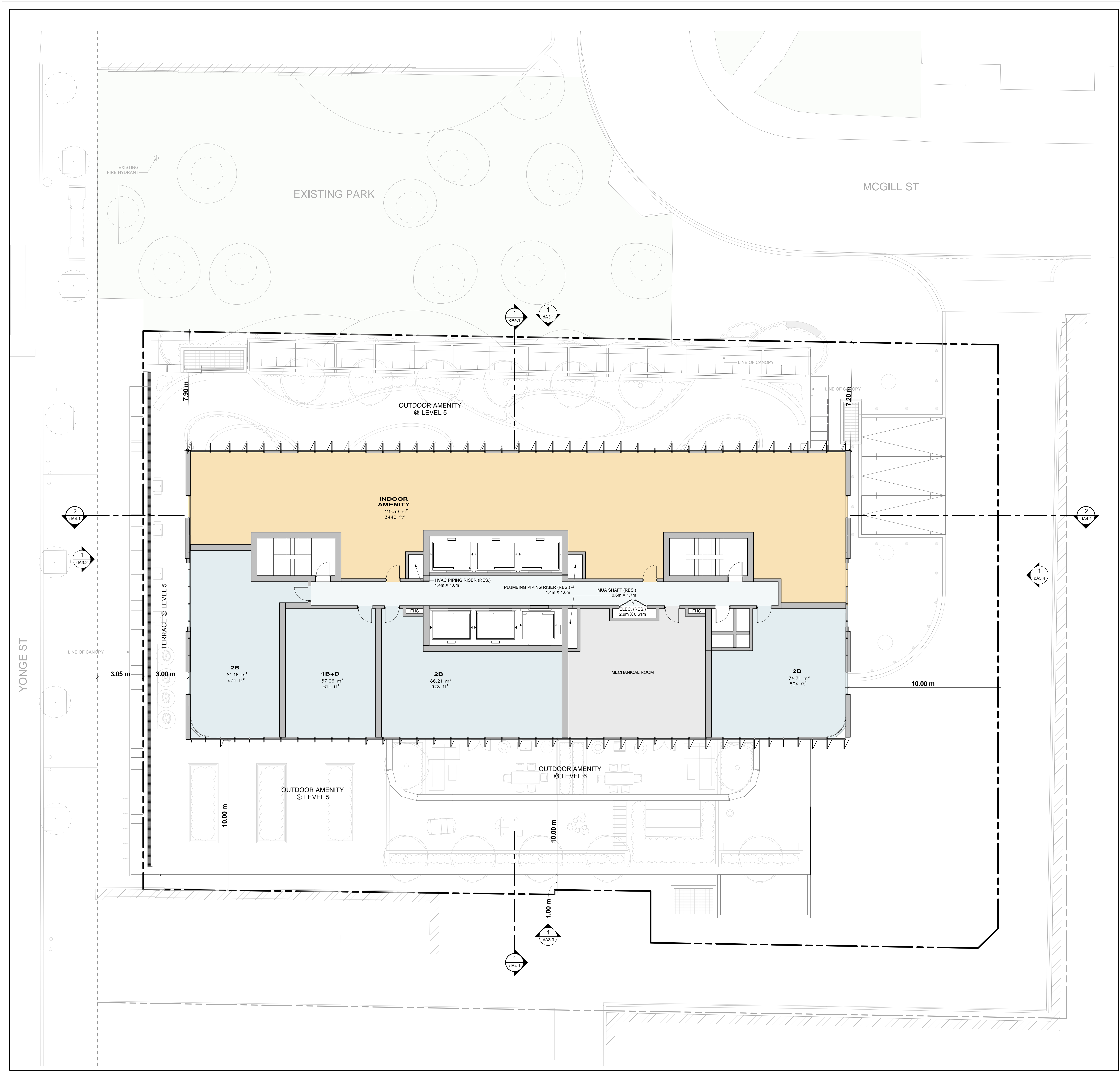
Project:
415 Yonge St

415&409 Yonge St 9&17 McGill St, Toronto

Scale:
1 : 100
Drawn by:
T.T, A.E
Checked by:
A.E
Project No.:
21-050
Date:
Jan 13, 2023
Drawing No.:



dA2.10



Floor Plan - Level 7
1 : 100

1
dA2.10

2023.01.11.03

File Name: 17102023_21-050.dwg Date: 2023.01.11.03

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Revisions:
No. | Revision: | Date:

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3	SPA Submission	08-25-2022
2	Zoning Resubmission #1	12-17-2021
1	Zoning By-law Amendment	12-12-2017

No.: Issued For: Date:

Drawing Title:

Levels 8-23 Floor Plan

Client:

415 Yonge Limited Partnership

Project:

415 Yonge St

415&409 Yonge St 9&17 McGill St, Toronto

Scale: 1 : 100

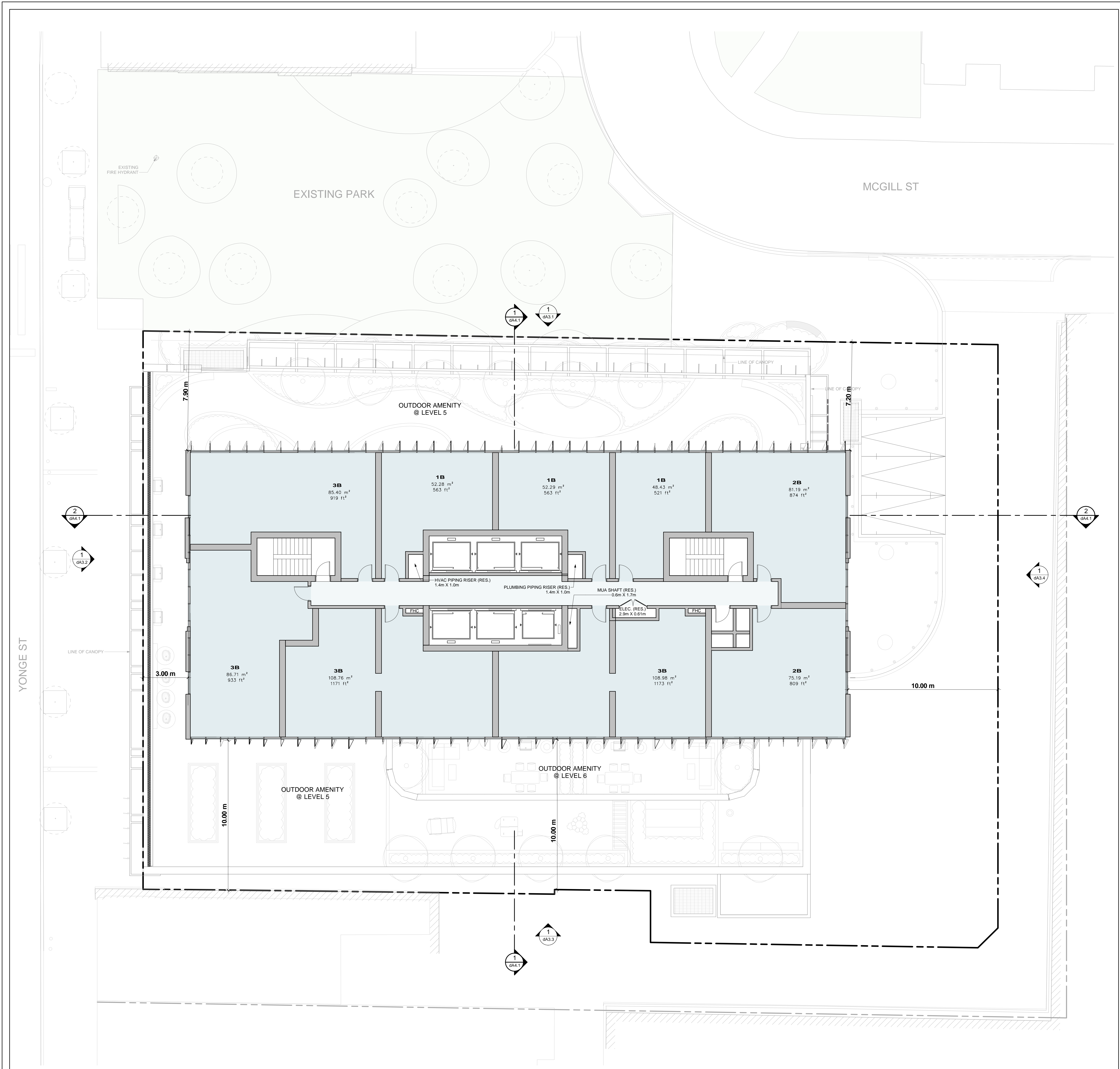
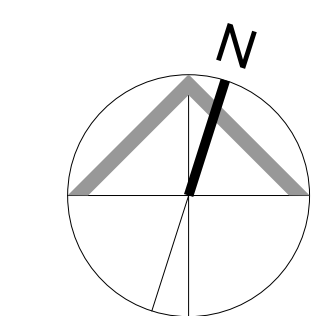
Drawn by: T.T, A.E

Checked by: A.E

Project No.: 21-050

Date: Jan 13, 2023

Drawing No.: dA2.11



Floor Plan - Levels 8-23
1 : 100

1
dA2.11

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No.	Revision	Date

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2	Zoning Resubmission #1	12-17-2021
1	Zoning By-law Amendment	12-12-2017

No.: Issued For: Date:

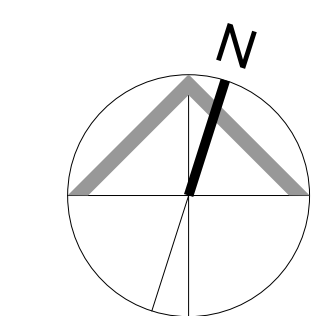
Levels 31-49 Floor Plan

Client:
415 Yonge Limited Partnership

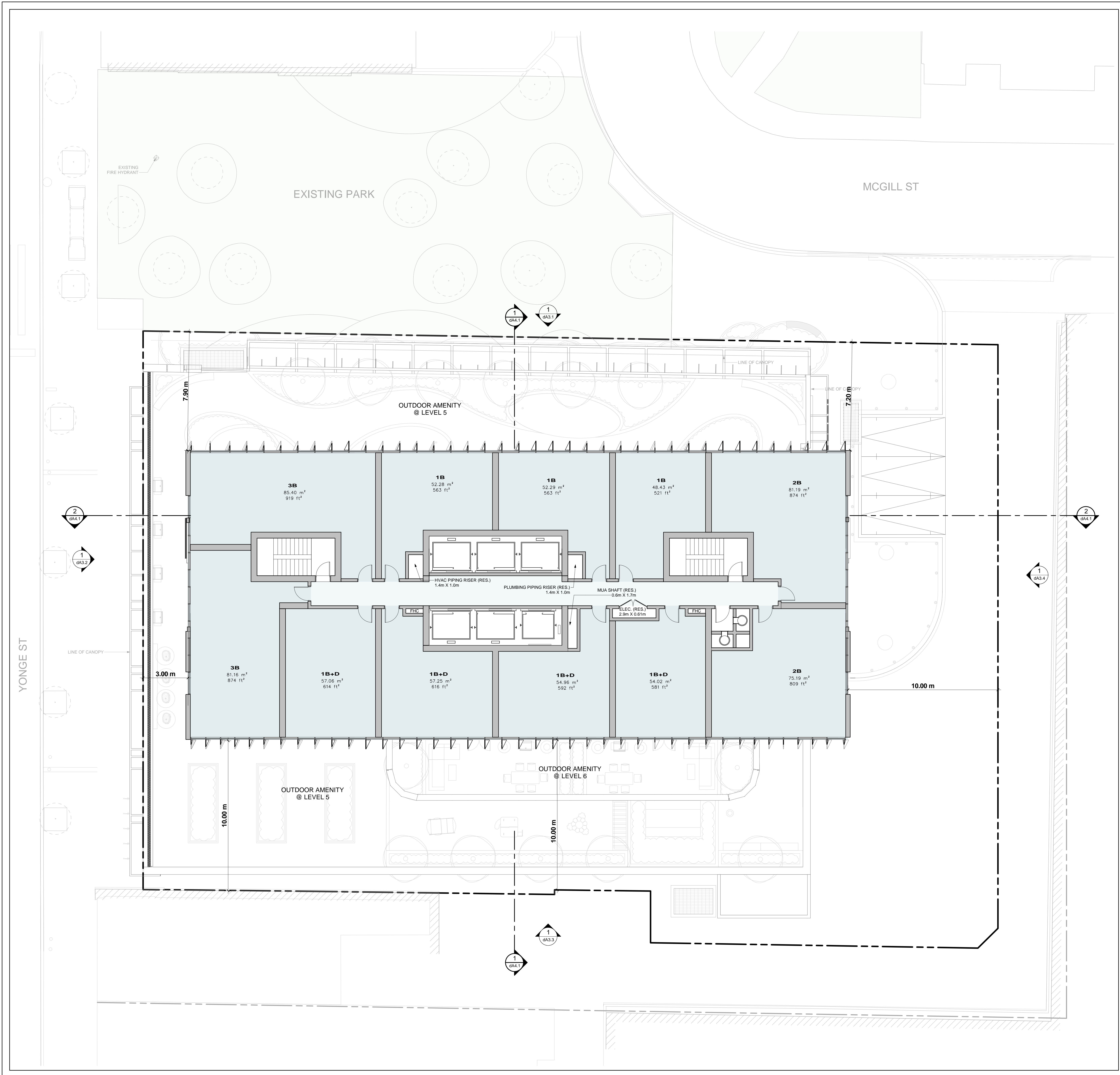
Project:
415 Yonge St

415&409 Yonge St 9&17 McGill St, Toronto

Scale: 1 : 100
 Drawn by: T.T., A.E.
 Checked by: A.E.
 Project No.: 21-050
 Date: Jan 13, 2023
 Drawing No.:



dA2.13



Floor Plan - Levels 31-49
1 : 100

1
dA2.13

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4	SPA Submission	01-13-2023
3	SPA Submission	08-25-2022
2	Zoning Resubmission #1	12-17-2021
1	Zoning By-law Amendment	12-12-2017
No.	Issued For:	Date:

Level 50 Floor Plan

Client:
415 Yonge Limited Partnership

Project:
415 Yonge St

415&409 Yonge St 9&17 McGill St, Toronto

Scale:
1 : 100

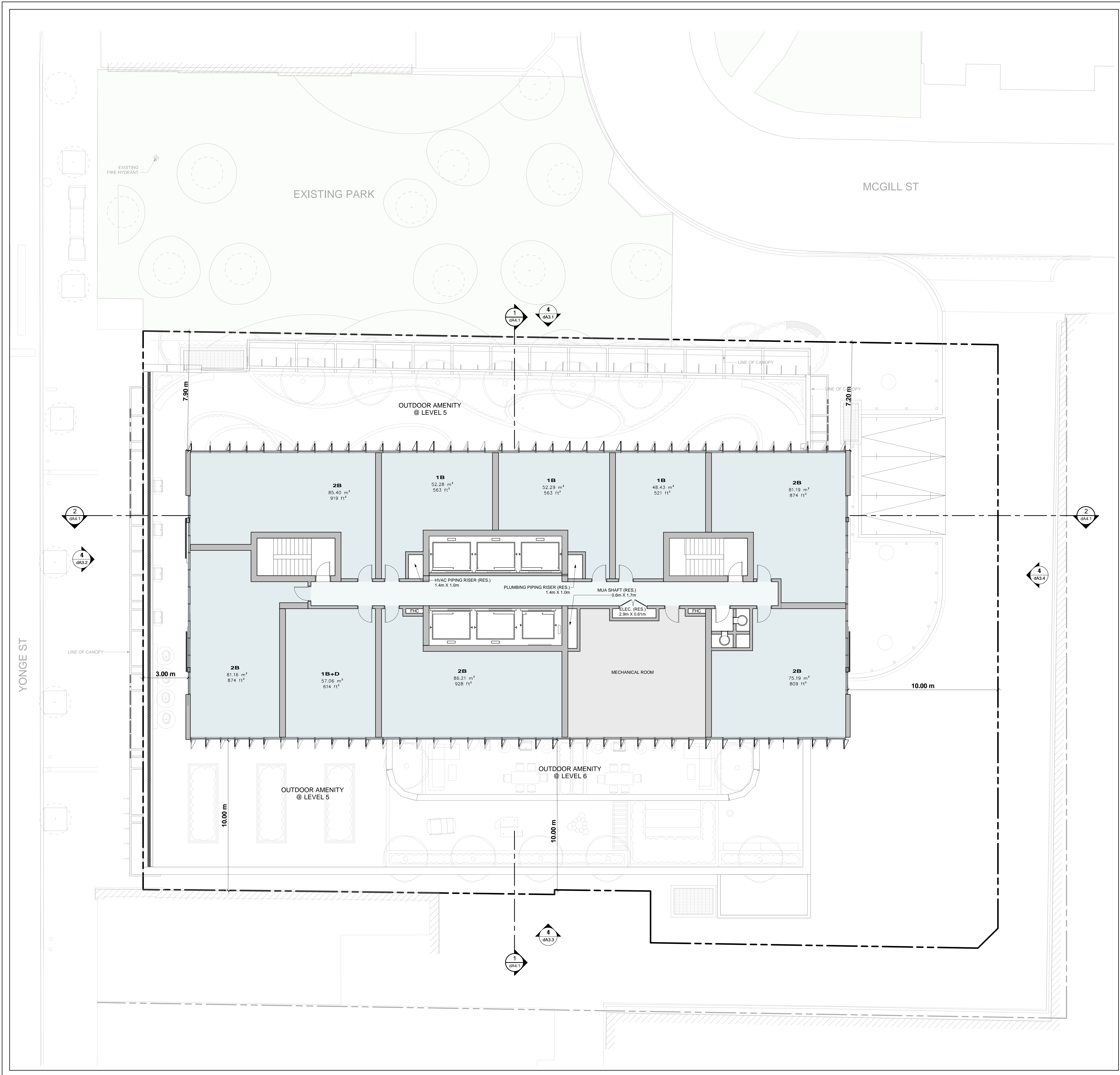
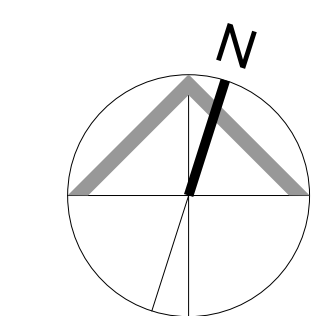
Drawn by:
T.T., A.E.

Checked by:
A.E.

Project No.:
21-050

Date:
Jan 13, 2023

Drawing No.:
dA2.14



Floor Plan - Level 50
1 : 100

1
dA2.14

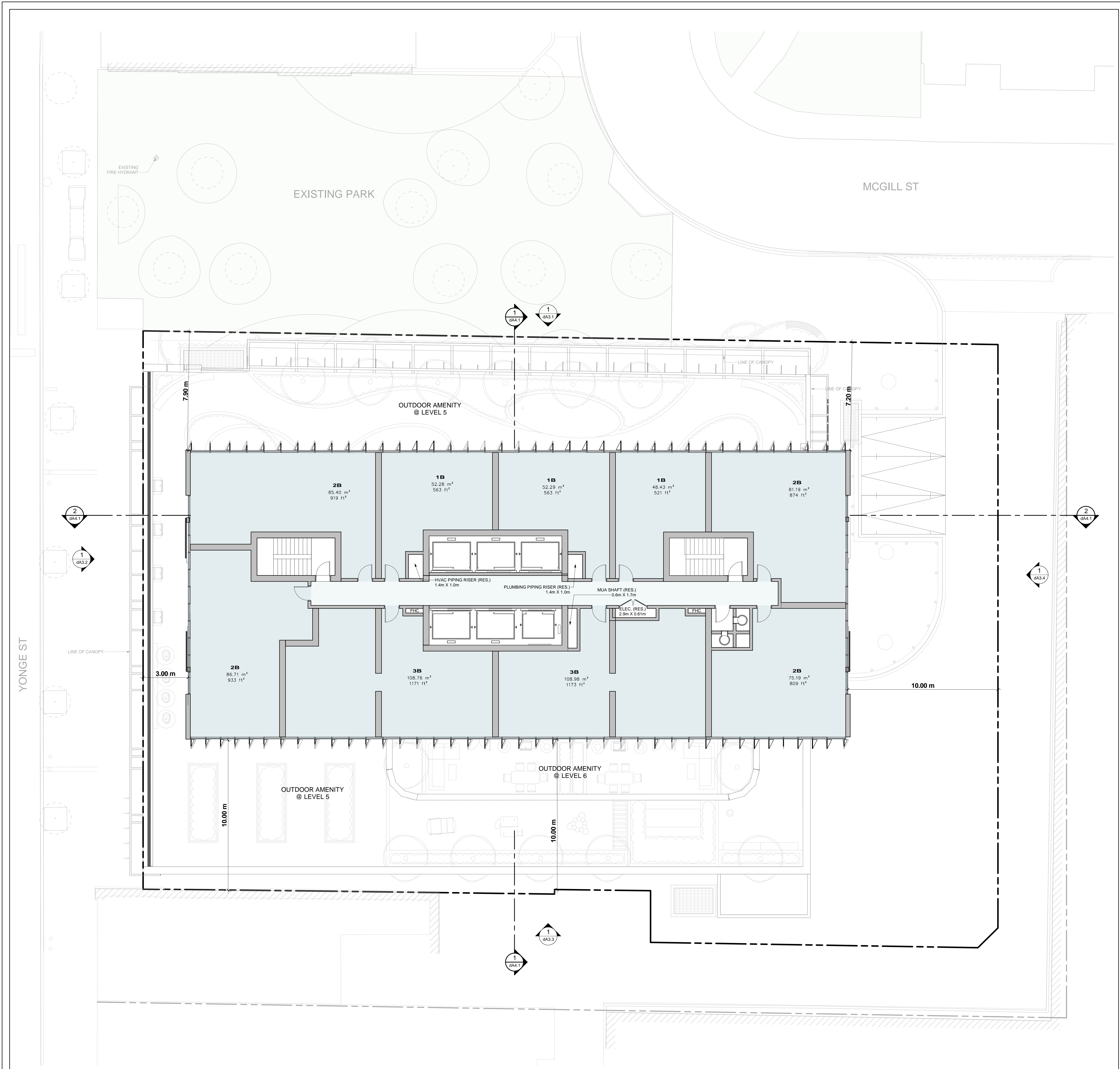
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No.	Revision	Date



4	SPA Submission	01-13-2023
3	SPA Submission	08-25-2022
2	Zoning Resubmission #1	12-17-2021
1	Zoning By-law Amendment	12-12-2017

No.: Issued For: Date:

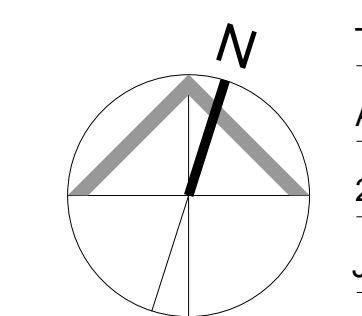
Drawing Title:
Levels 51-67 Floor Plan

Client:
415 Yonge Limited Partnership

Project:
415 Yonge St

415&409 Yonge St 9&17 McGill St, Toronto
Scale: 1 : 100

Drawn by: T.T, A.E.
Checked by: A.E.
Project No.: 21-050
Date: Jan 13, 2023
Drawing No.:



dA2.15

Floor Plan - Level 51-67
1 : 100

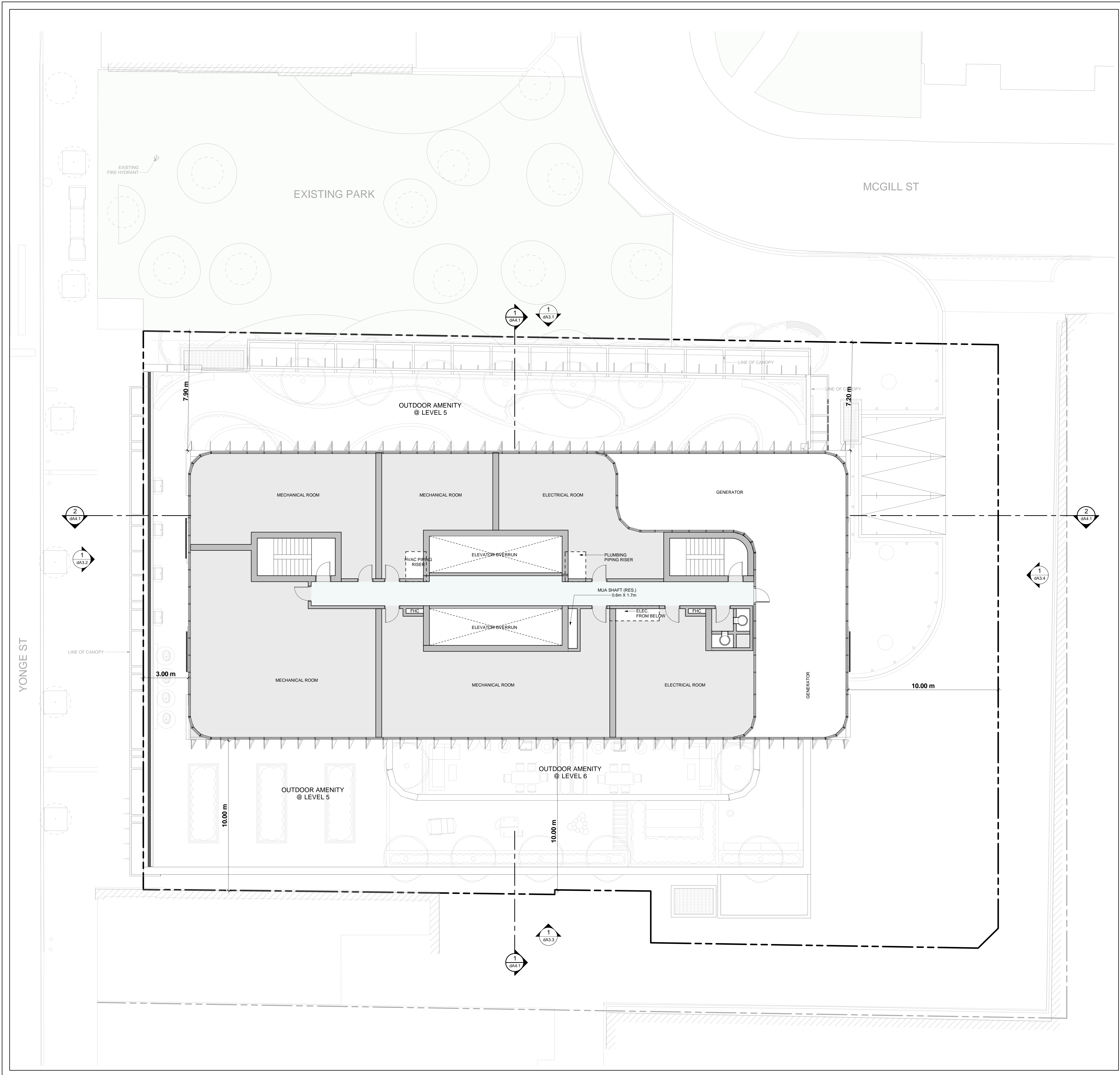
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dA2.15

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No.	Revision	Date



4	SPA Submission	01-13-2023
3	SPA Submission	08-25-2022
2	Zoning Resubmission #1	12-17-2021
1	Zoning By-law Amendment	12-12-2017

No.: Issued For: Date:

Drawing Title:
Levels Lower Mechanical PH Floor Plan

Client:
415 Yonge Limited Partnership

Project:
415 Yonge St

415&409 Yonge St 9&17 McGill St, Toronto

Scale:
1 : 100

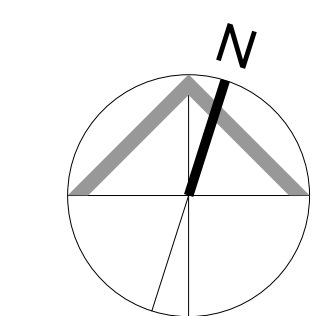
Drawn by:
T.T., A.E.

Checked by:
A.E.

Project No.:
21-050

Date:
Jan 13, 2023

Drawing No.:
dA2.16



Floor Plan - Level Lower Mech PH 1 : 100 dA2.16

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Revisions:
No. | Revision: | Date:

4	SPA Submission	01-13-2023
3	SPA Submission	08-25-2022
2	Zoning Resubmission #1	12-17-2021
1	Zoning By-law Amendment	12-12-2017

No. | Issued For: | Date:

Drawing Title:

Roof Plan

Client:

415 Yonge Limited Partnership

Project:

415 Yonge St

415&409 Yonge St 9&17 McGill St, Toronto
Scale: 1 : 100

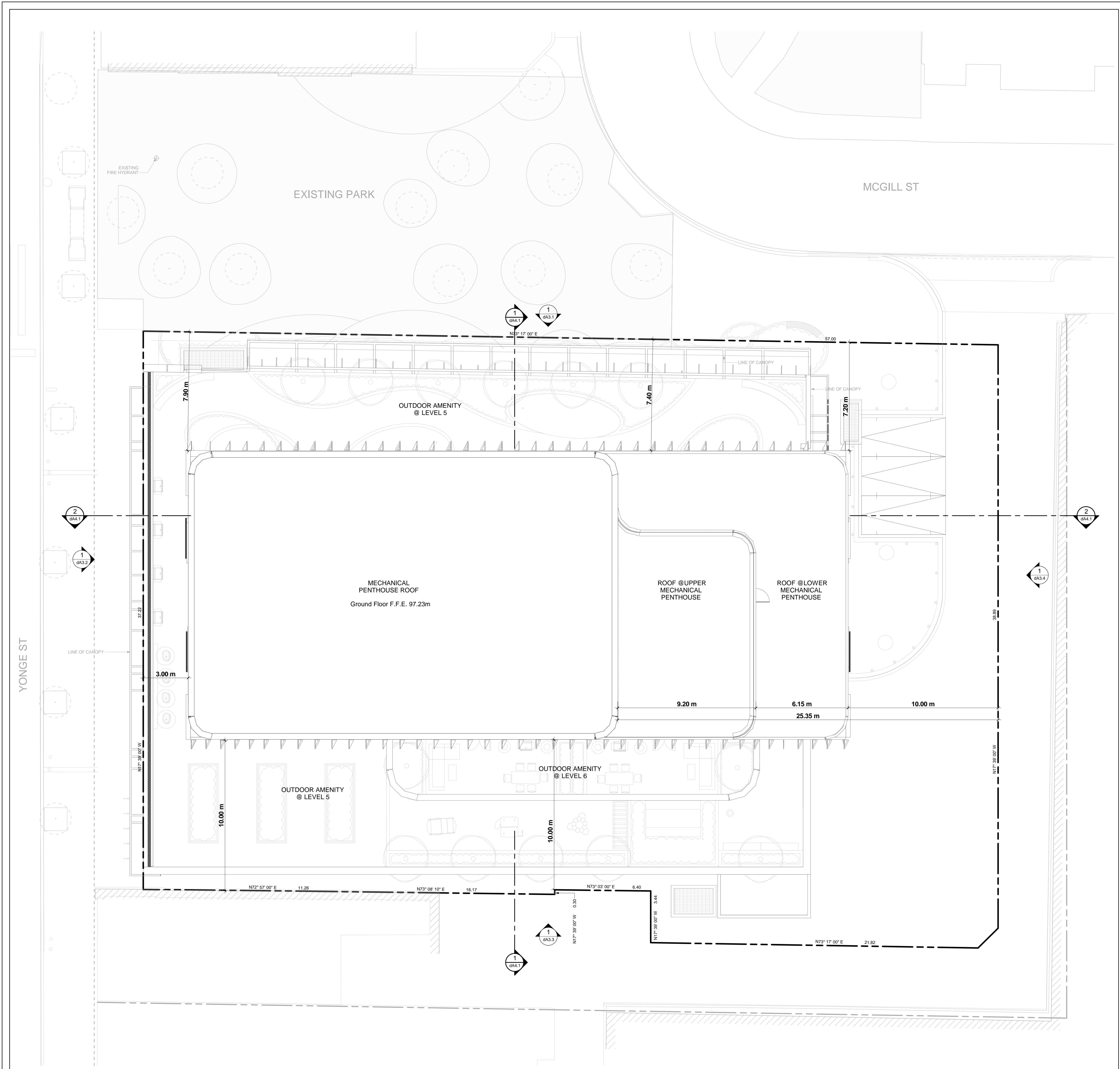
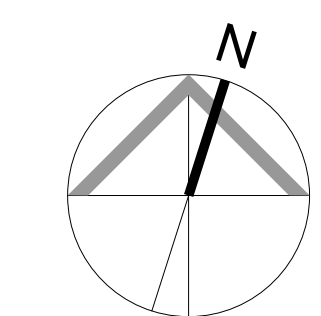
Drawn by: T.T., A.E.

Checked by: A.E.

Project No.: 21-050

Date: Jan 13, 2023

Drawing No.: dA2.18



Floor Plan - Level Roof
1 : 100

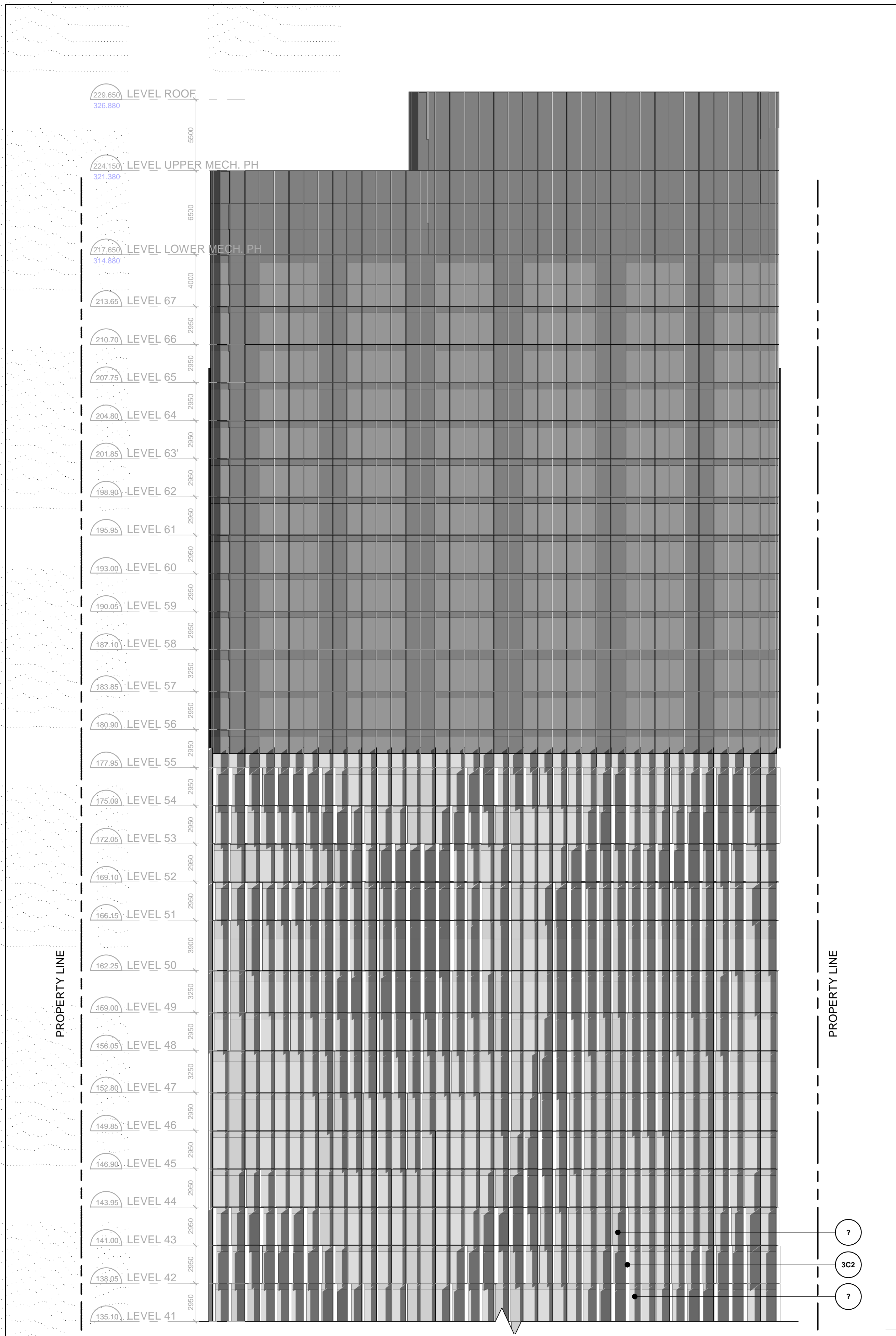
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dA2.18

EXTERIOR FINISH LEGEND

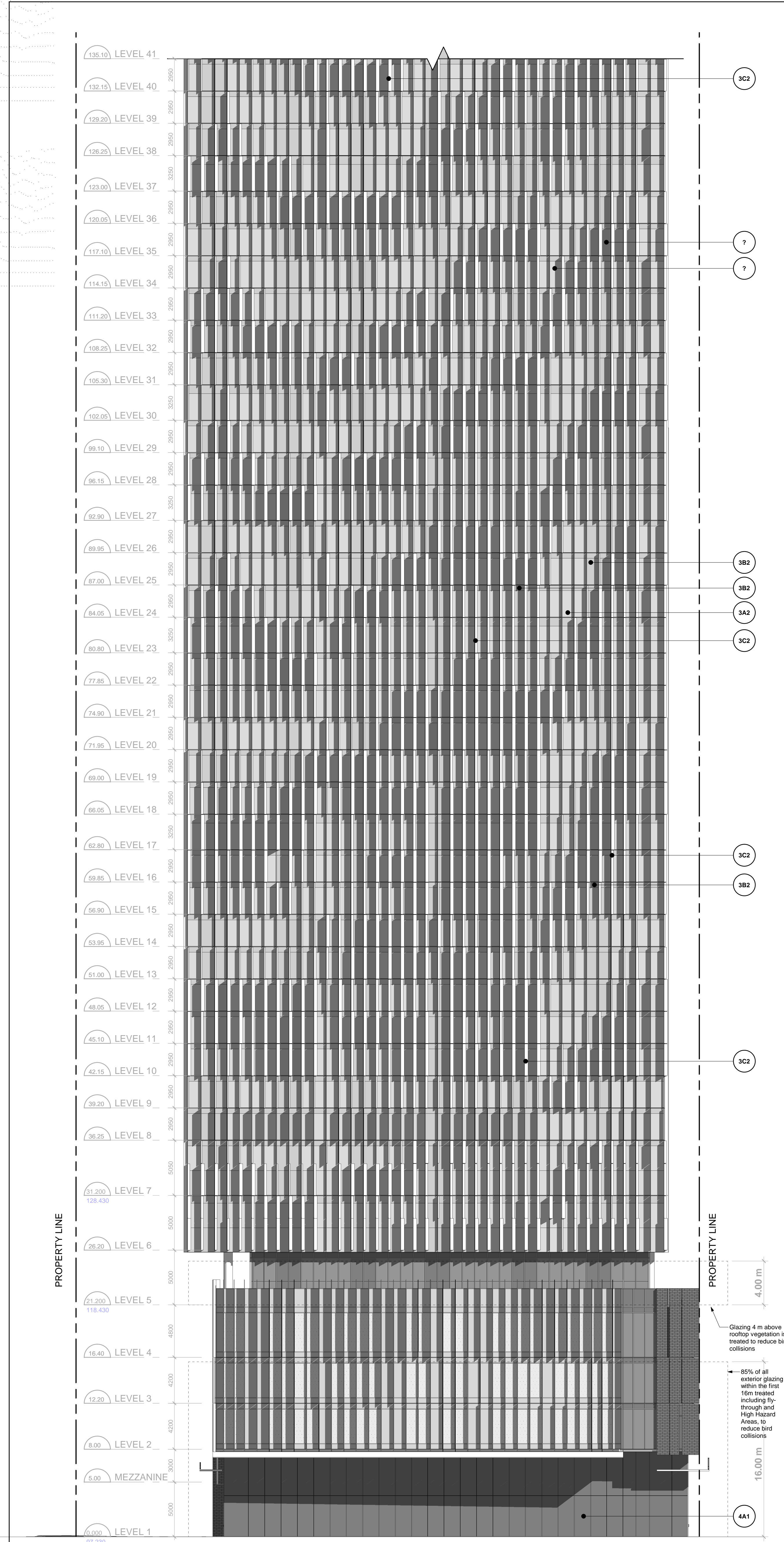
415 YONGE STREET

- 1A1 PRE-CAST CONCRETE (TEXTURED PATTERN)
- 1A2 PRE-CAST CONCRETE (BRICK VANEER)
- 1A3 PRE-CAST CONCRETE (DARK)
- 3A1 WINDOW WALL - VISION PANEL (DARK)
- 3B1 WINDOW WALL - GLASS SPANDREL / METAL LOUVRE PANEL (DARK)
- 3A2 WINDOW WALL - VISION PANEL (LIGHT)
- 3B2 WINDOW WALL - VISION PANEL (WHITE)
- 3C2 WINDOW WALL - GLASS SPANDREL / METAL LOUVRE PANEL (LIGHT)
- 3D2 METAL EXTRUSION - FINS (LIGHT)
- 4A1 CURTAIN WALL - VISION PANEL (DARK)
- 4B1 CURTAIN WALL - SHADOW BOX (DARK)
- 4C1 CURTAIN WALL - FRITTED VISION PANEL (DARK)
- 4D1 CURTAIN WALL - METAL LOUVRES
- 4A2 CURTAIN WALL - VISION PANEL (LIGHT)
- 4B2 CURTAIN WALL - SHADOW BOX (LIGHT)
- 4C2 CURTAIN WALL - FRITTED VISION PANEL (LIGHT)
- 4D2 CURTAIN WALL - METAL LOUVRES (LIGHT)
- 5A1 GLASS CANOPY

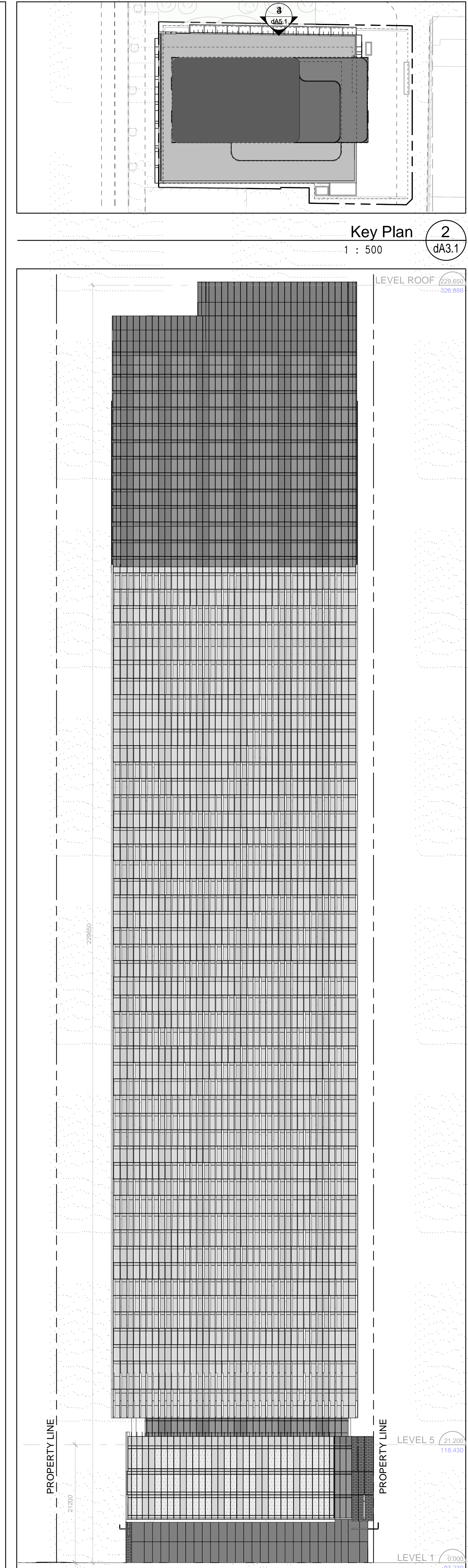
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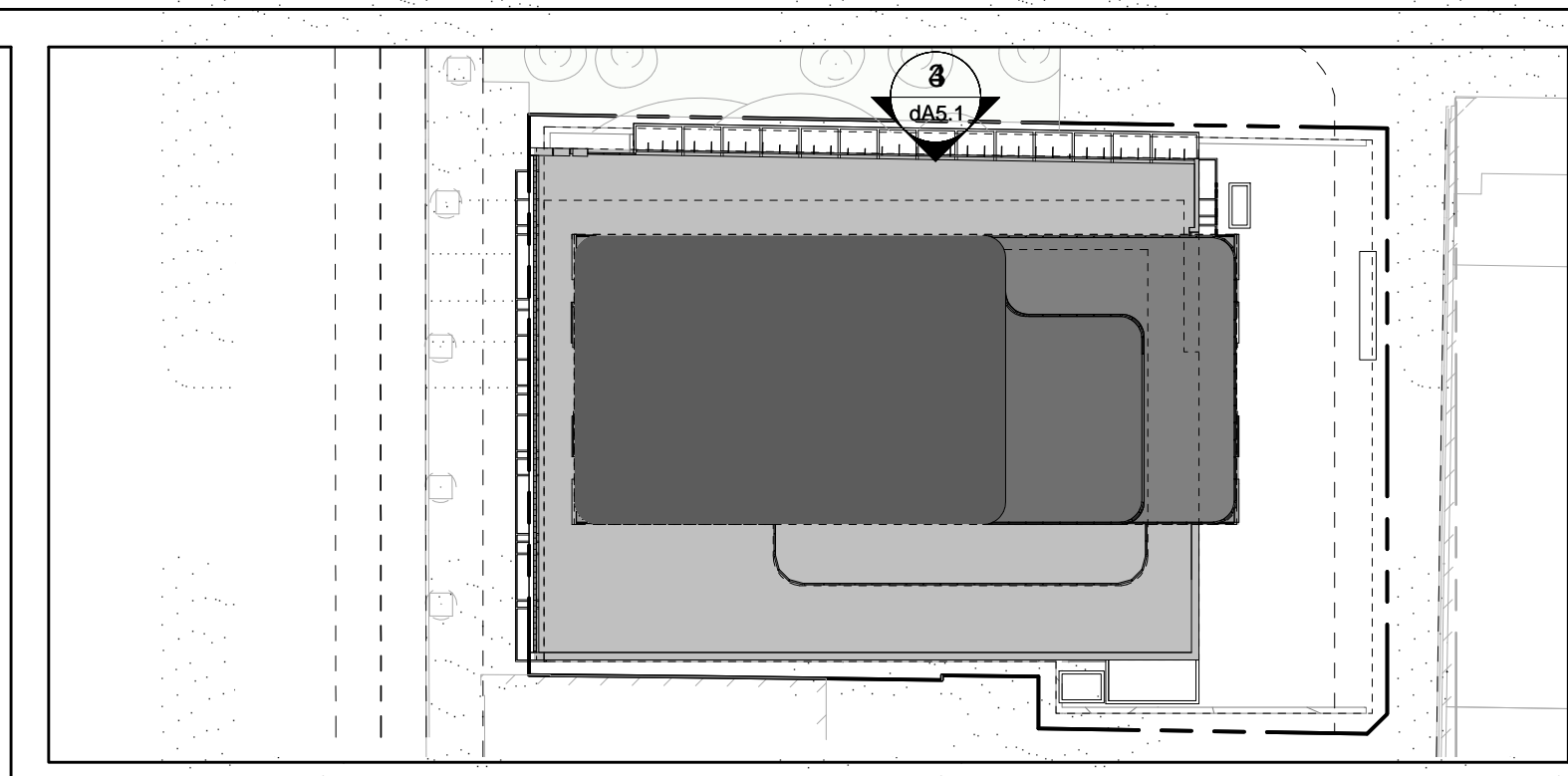
North Elevation-Part II **4**
1 : 200 dA3.1



North Elevation-Part I **3**
1 : 200 dA3.1



North Key Elevation **1**
1 : 400 dA3.1



Key Plan **2**
1 : 500 dA3.1

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No.	Revision	Date

4	SPA Submission	01-13-2023
3	SPA Submission	08-25-2022
2	Zoning Resubmission #1	12-17-2021
1	Zoning By-law Amendment	12-12-2017

North Elevation

Client:
415 Yonge Limited Partnership

Project:
415 Yonge St

415&409 Yonge St 9&17 McGill St, Toronto

Scale:
As indicated
Drawn by:
T.T, A.E
Checked by:
A.E
Project No.:
21-050
Date:
Jan 13, 2023

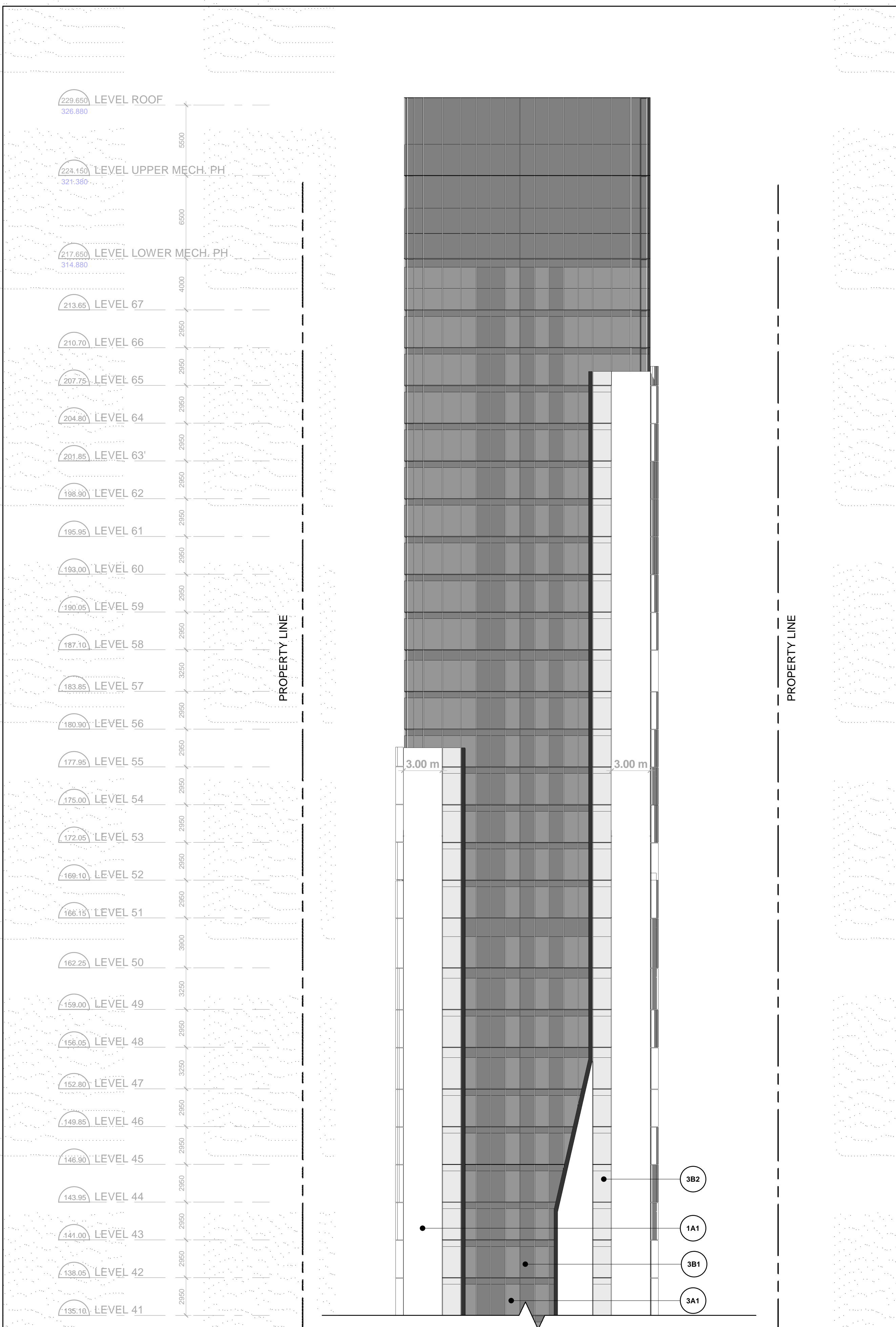
Drawing No.:
dA3.1

EXTERIOR FINISH LEGEND

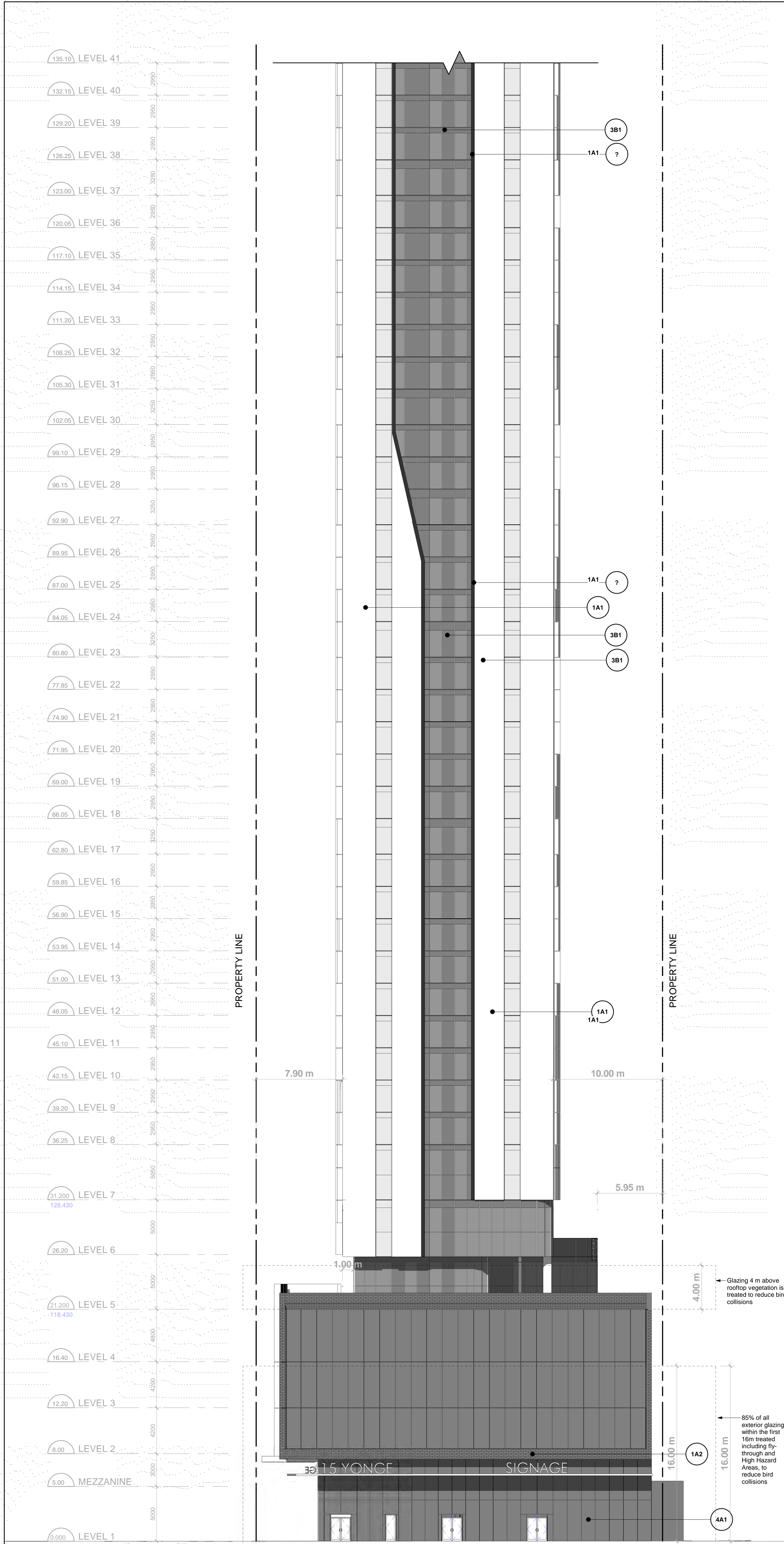
415 YONGE STREET

- (1A1) PRE-CAST CONCRETE (TEXTURED PATTERN)
- (1A2) PRE-CAST CONCRETE (BRICK VANEER)
- (1A3) PRE-CAST CONCRETE (DARK)
- (3A1) WINDOW WALL - VISION PANEL (DARK)
- (3B1) WINDOW WALL - GLASS SPANDREL / METAL LOUVRE PANEL (DARK)
- (3A2) WINDOW WALL - VISION PANEL (LIGHT)
- (3B2) WINDOW WALL - VISION PANEL (WHITE)
- (3C2) WINDOW WALL - GLASS SPANDREL / METAL LOUVRE PANEL (LIGHT)
- (3D2) METAL EXTRUSION - FINS (LIGHT)
- (4A1) CURTAIN WALL - VISION PANEL (DARK)
- (4B1) CURTAIN WALL - SHADOW BOX (DARK)
- (4C1) CURTAIN WALL - FRITTED VISION PANEL (DARK)
- (4D1) CURTAIN WALL - METAL LOUVRES
- (4A2) CURTAIN WALL - VISION PANEL (LIGHT)
- (4B2) CURTAIN WALL - SHADOW BOX (LIGHT)
- (4C2) CURTAIN WALL - FRITTED VISION PANEL (LIGHT)
- (4D2) CURTAIN WALL - METAL LOUVRES (LIGHT)
- (5A1) GLASS CANOPY

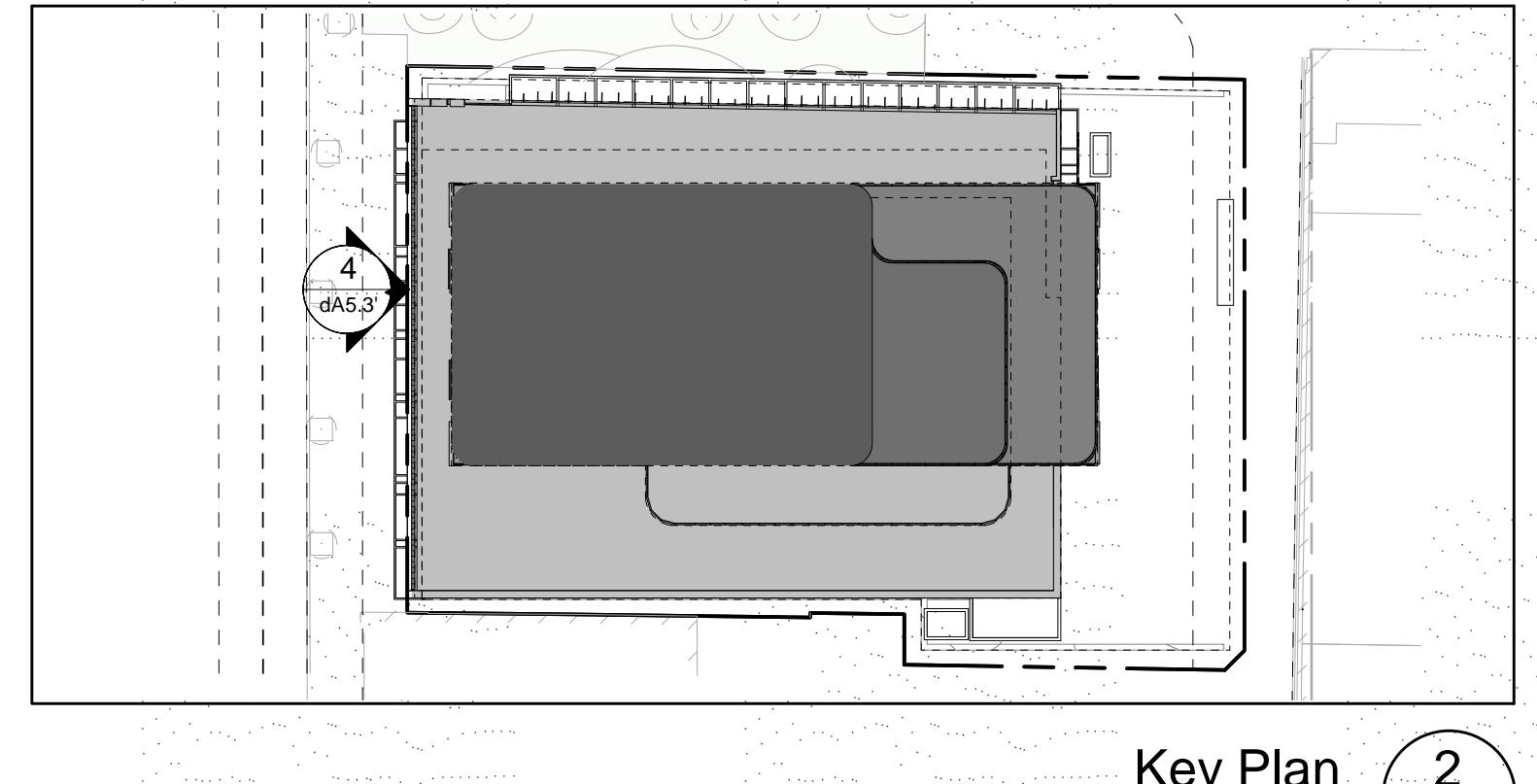
Material Legend 5
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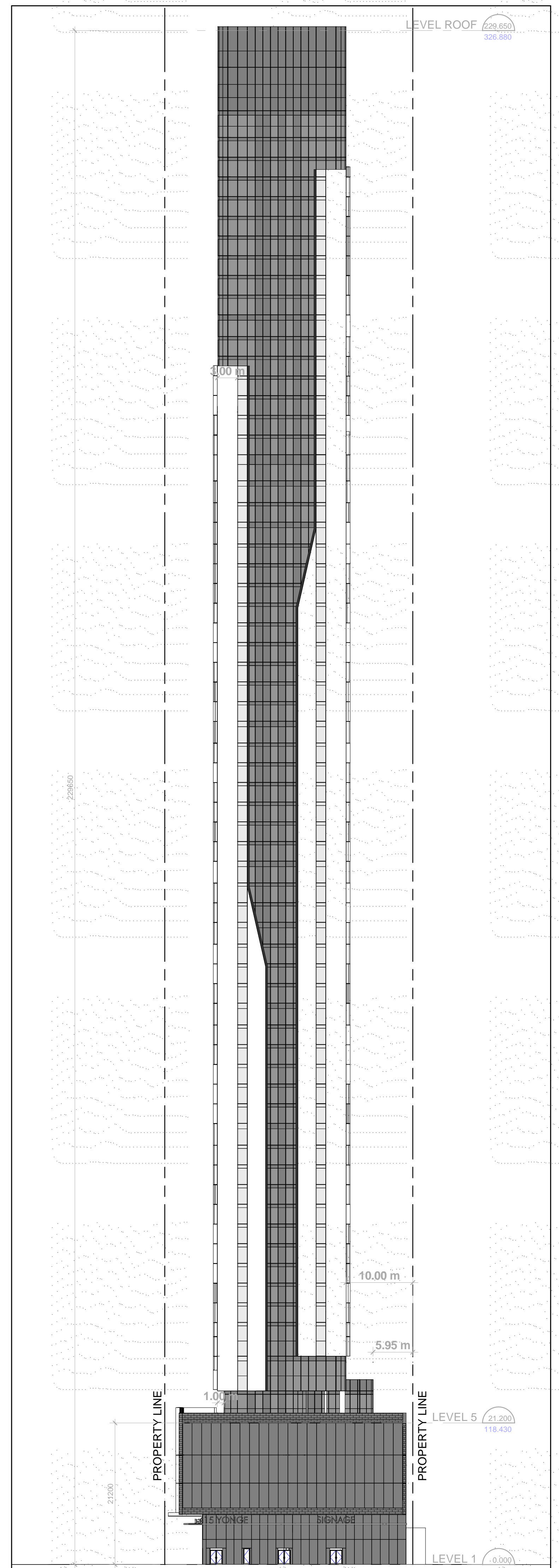
West Elevation-Part II 4
1 : 200 dA3.2



West Elevation-Part I 3
1 : 200 dA3.2



Key Plan 2
1 : 500 dA3.2



West Key Elevation 1
1 : 400 dA3.2

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2	Zoning Resubmission #1	12-17-2021
1	Zoning By-law Amendment	12-12-2017

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Drawing Title: _____

West Elevation

Client:
415 Yonge Limited Partnership

Project:
415 Yonge St

415&409 Yonge St 9&17 McGill St, Toronto
Scale:
As indicated
Drawn by: T.T, A.E
Checked by: A.E
Project No.: 21-050
Date: Jan 13, 2023
Drawing No.:

dA3.2

EXTERIOR FINISH LEGEND

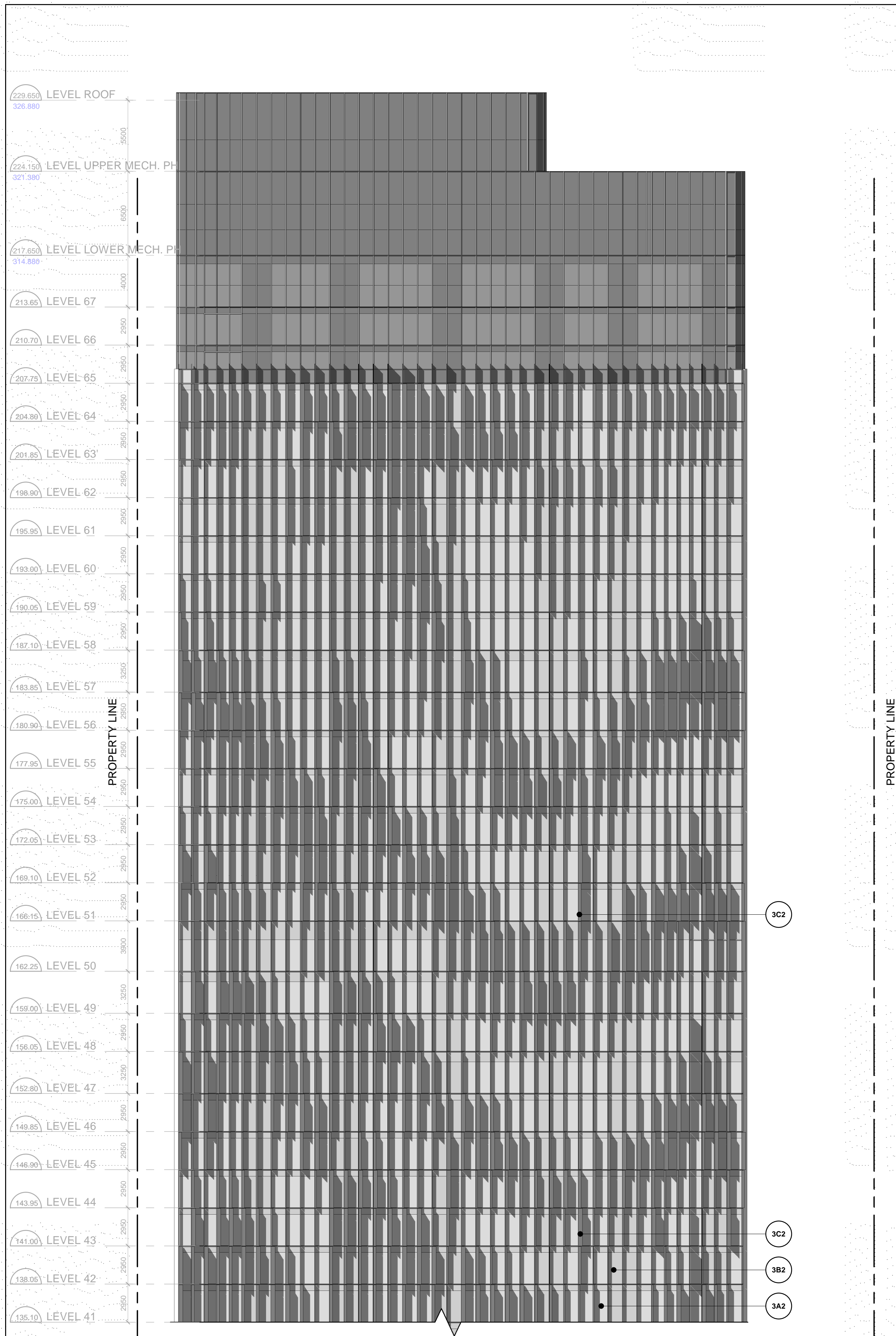
415 YONGE STREET

- 1A1 PRE-CAST CONCRETE (TEXTURED PATTERN)
- 1A2 PRE-CAST CONCRETE (BRICK VANEER)
- 1A3 PRE-CAST CONCRETE (DARK)
- 3A1 WINDOW WALL - VISION PANEL (DARK)
- 3B1 WINDOW WALL - GLASS SPANDREL / METAL LOUVRE PANEL (DARK)
- 3A2 WINDOW WALL - VISION PANEL (LIGHT)
- 3B2 WINDOW WALL - VISION PANEL (WHITE)
- 3C2 WINDOW WALL - GLASS SPANDREL / METAL LOUVRE PANEL (LIGHT)
- 3D2 METAL EXTRUSION - FINS (LIGHT)

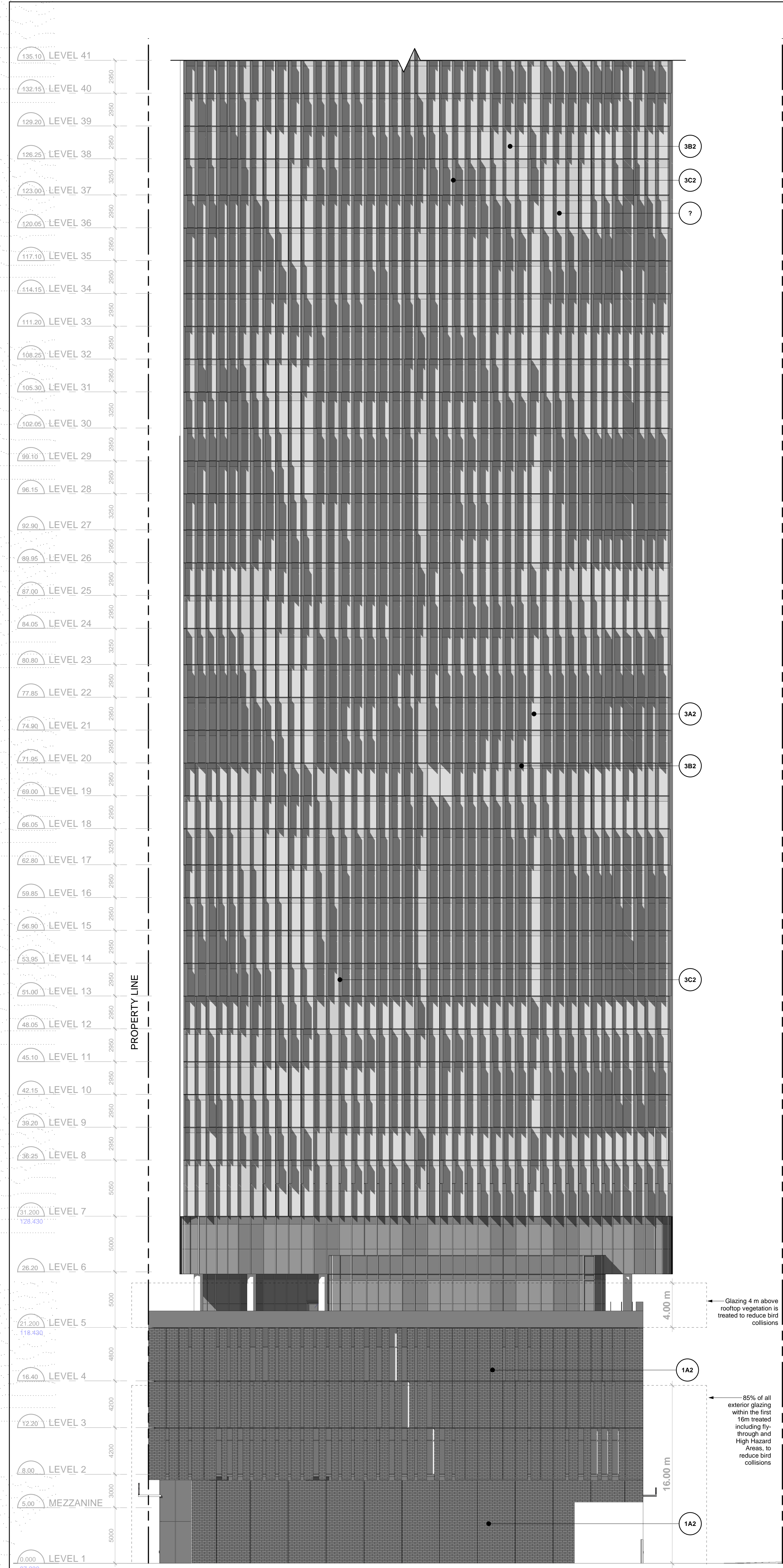
- 4A1 CURTAIN WALL - VISION PANEL (DARK)
- 4B1 CURTAIN WALL - SHADOW BOX (DARK)
- 4C1 CURTAIN WALL - FRITTED VISION PANEL (DARK)
- 4D1 CURTAIN WALL - METAL LOUVRES
- 4A2 CURTAIN WALL - VISION PANEL (LIGHT)
- 4B2 CURTAIN WALL - SHADOW BOX (LIGHT)
- 4C2 CURTAIN WALL - FRITTED VISION PANEL (LIGHT)
- 4D2 CURTAIN WALL - METAL LOUVRES (LIGHT)

5A1 GLASS CANOPY

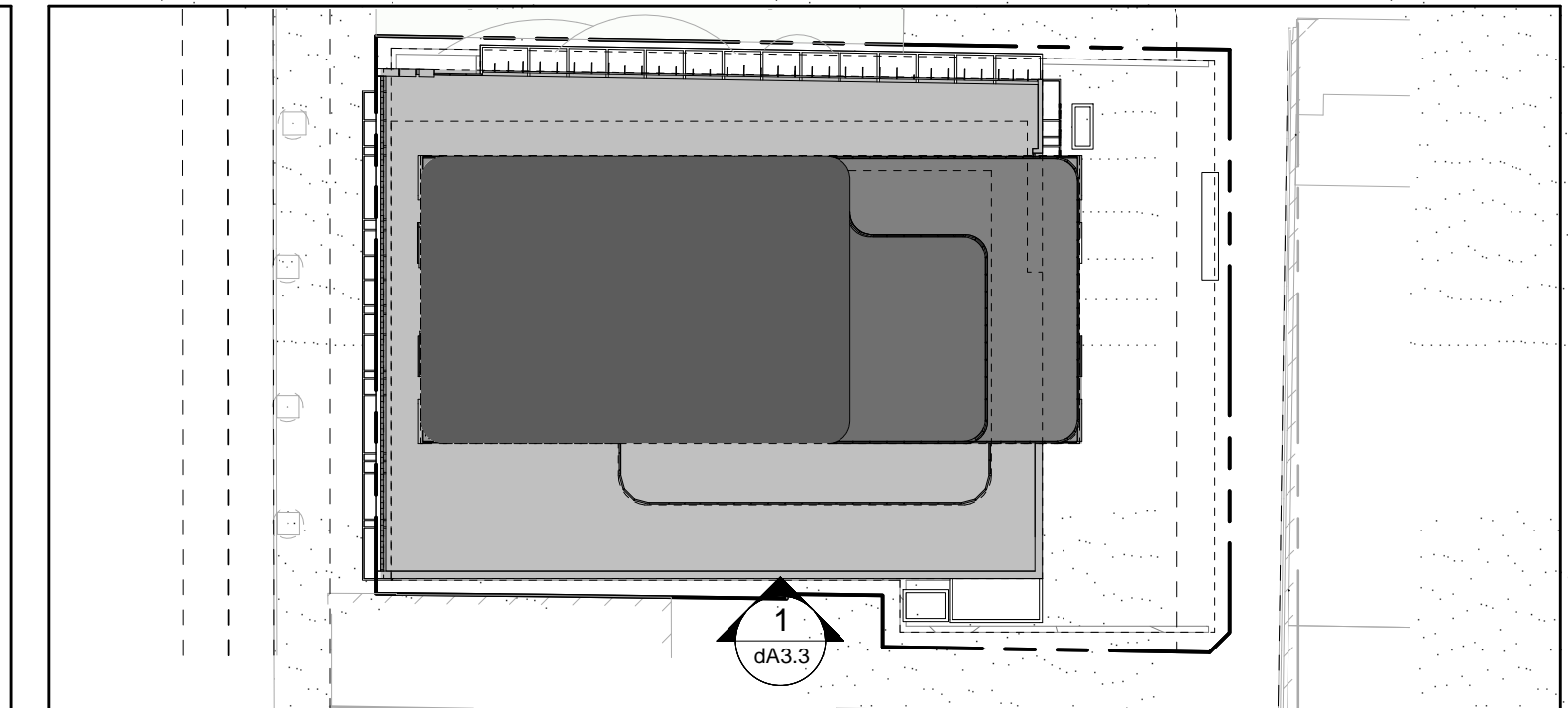
Material Legend 5
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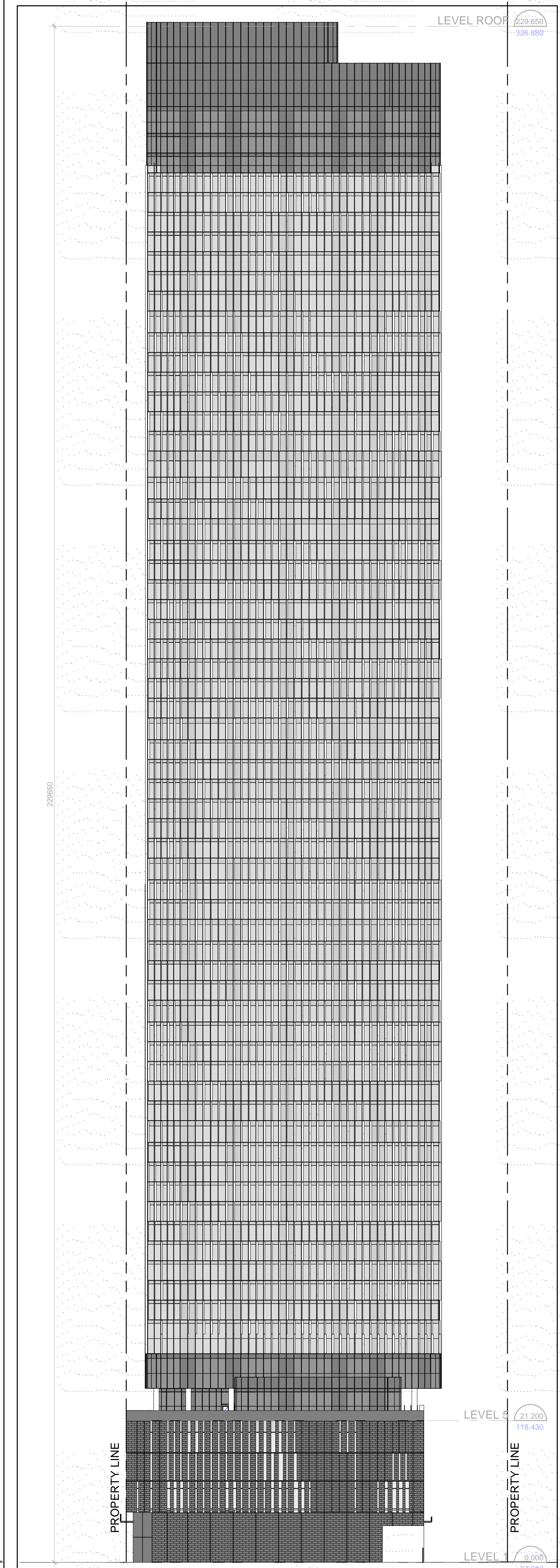
South Elevation-Part II 4
1 : 200 dA3.3



South Elevation-Part I 3
1 : 200 dA3.3



Key Plan 2
1 : 500 dA3.3



South Key Elevation 1
1 : 400 dA3.3

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Date:

KIRKOR
ARCHITECTS AND PLANNERS
20 De Boers Drive Suite 400
Toronto, ON M3J 0H1

No.	Revision	Date

4	SPA Submission	01-13-2023
3	SPA Submission	08-25-2022
2	Zoning Resubmission #1	12-17-2021
1	Zoning By-law Amendment	12-12-2017

No. Issued For: _____ Date: _____
Drawing Title: _____

South Elevation

Client:
415 Yonge Limited Partnership

Project:
415 Yonge St

415&409 Yonge St 9&17 McGill St, Toronto
Scale:
As indicated
Drawn by: T.T, A.E.
Checked by: A.E.
Project No.: 21-050
Date: Jan 13, 2023
Drawing No.:

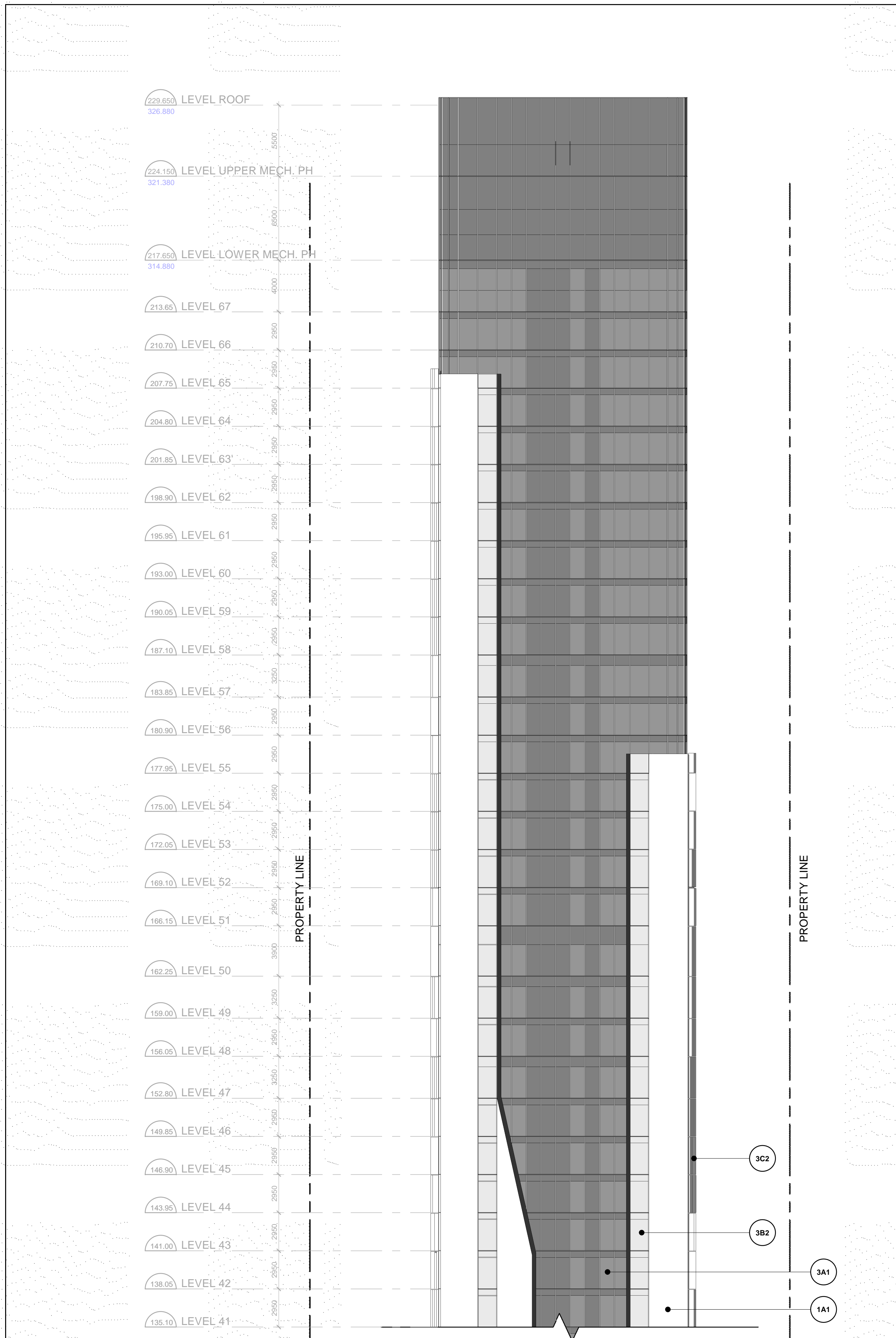
dA3.3

EXTERIOR FINISH LEGEND

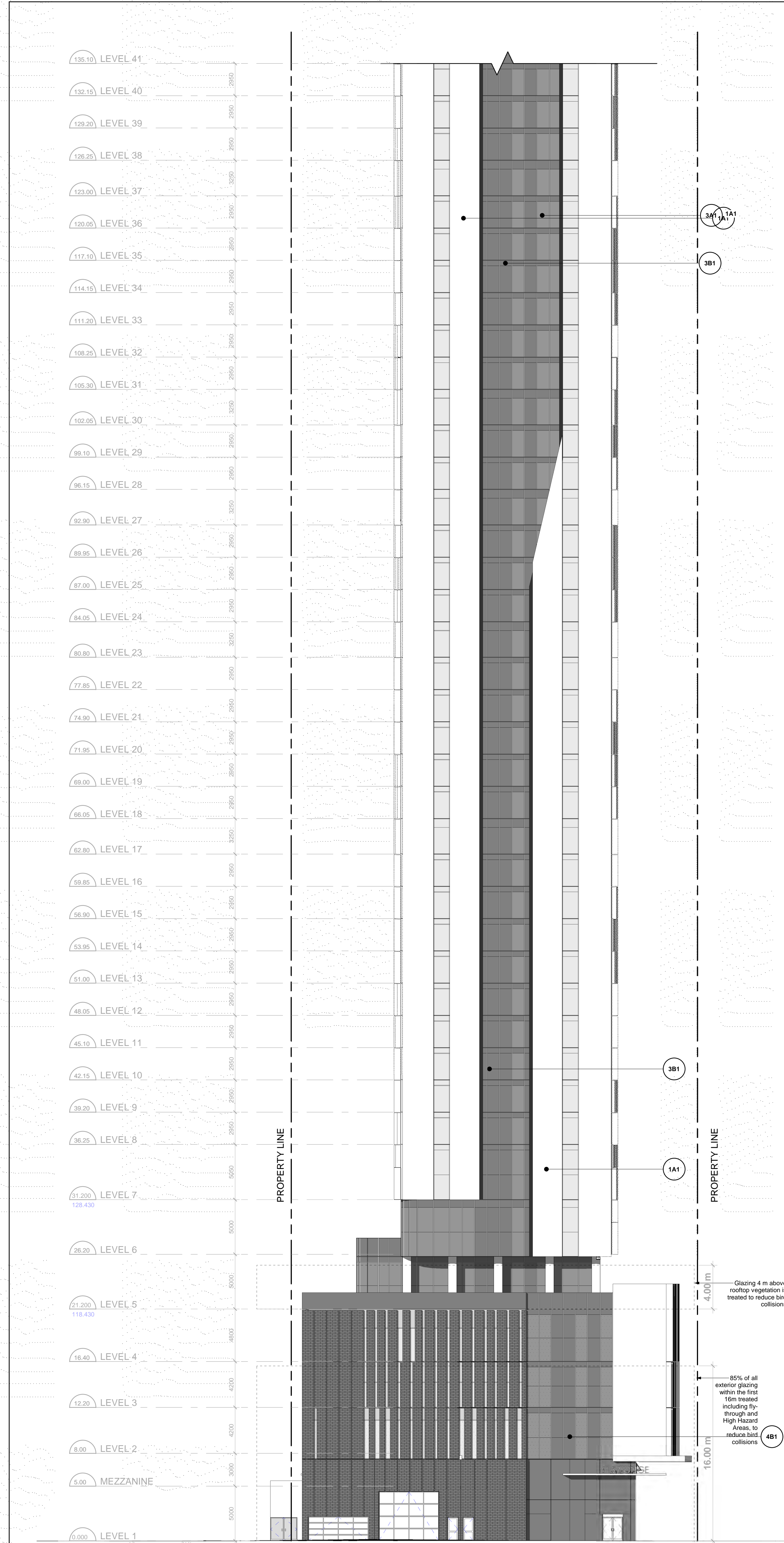
415 YONGE STREET

- 1A1 PRE-CAST CONCRETE (TEXTURED PATTERN)
- 1A2 PRE-CAST CONCRETE (BRICK VANEER)
- 1A3 PRE-CAST CONCRETE (DARK)
- 3A1 WINDOW WALL - VISION PANEL (DARK)
- 3B1 WINDOW WALL - GLASS SPANDREL / METAL LOUVRE PANEL (DARK)
- 3A2 WINDOW WALL - VISION PANEL (LIGHT)
- 3B2 WINDOW WALL - VISION PANEL (WHITE)
- 3C2 WINDOW WALL - GLASS SPANDREL / METAL LOUVRE PANEL (LIGHT)
- 3D2 METAL EXTRUSION - FINS (LIGHT)
- 4A1 CURTAIN WALL - VISION PANEL (DARK)
- 4B1 CURTAIN WALL - SHADOW BOX (DARK)
- 4C1 CURTAIN WALL - FRITTED VISION PANEL (DARK)
- 4D1 CURTAIN WALL - METAL LOUVRES
- 4A2 CURTAIN WALL - VISION PANEL (LIGHT)
- 4B2 CURTAIN WALL - SHADOW BOX (LIGHT)
- 4C2 CURTAIN WALL - FRITTED VISION PANEL (LIGHT)
- 4D2 CURTAIN WALL - METAL LOUVRES (LIGHT)
- 5A1 GLASS CANOPY

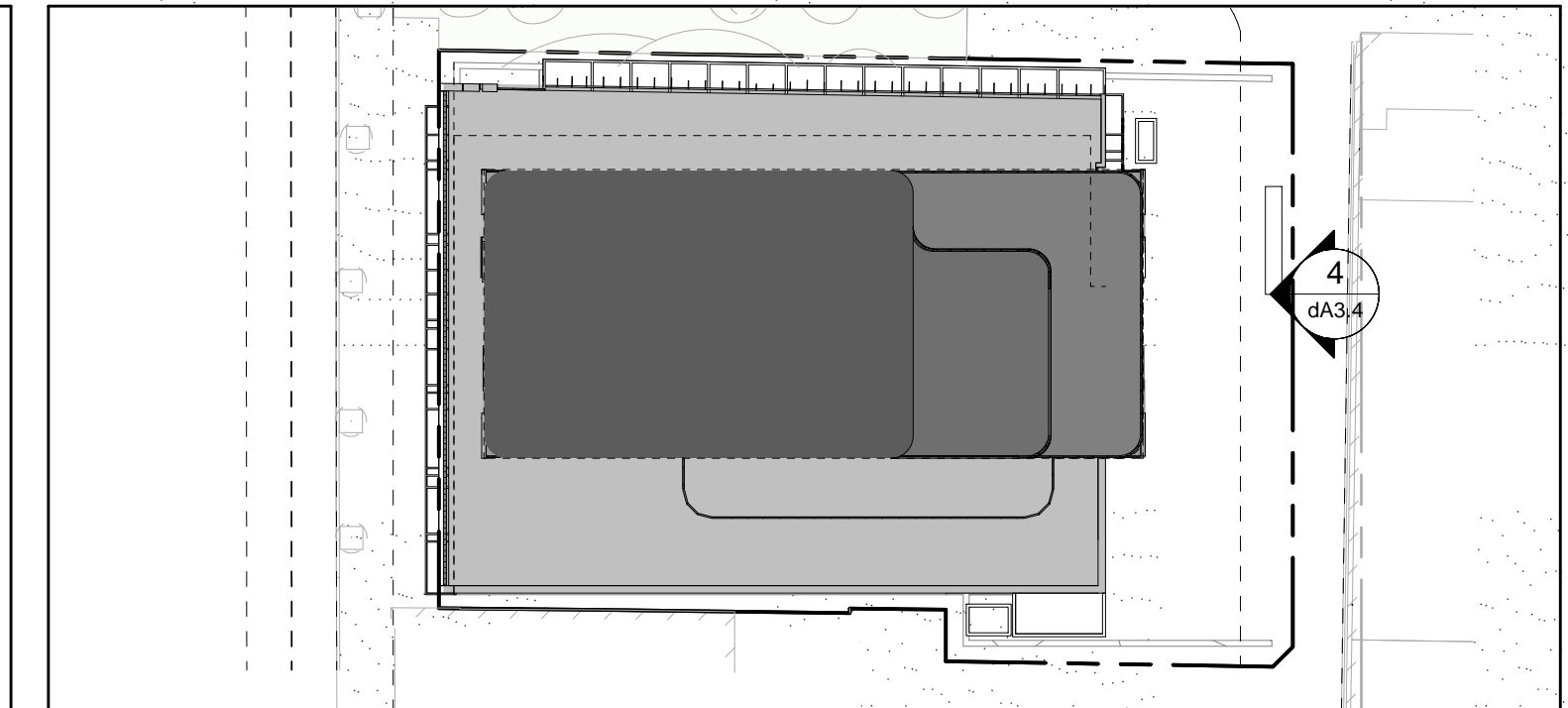
Material Legend **5**
dA3.4



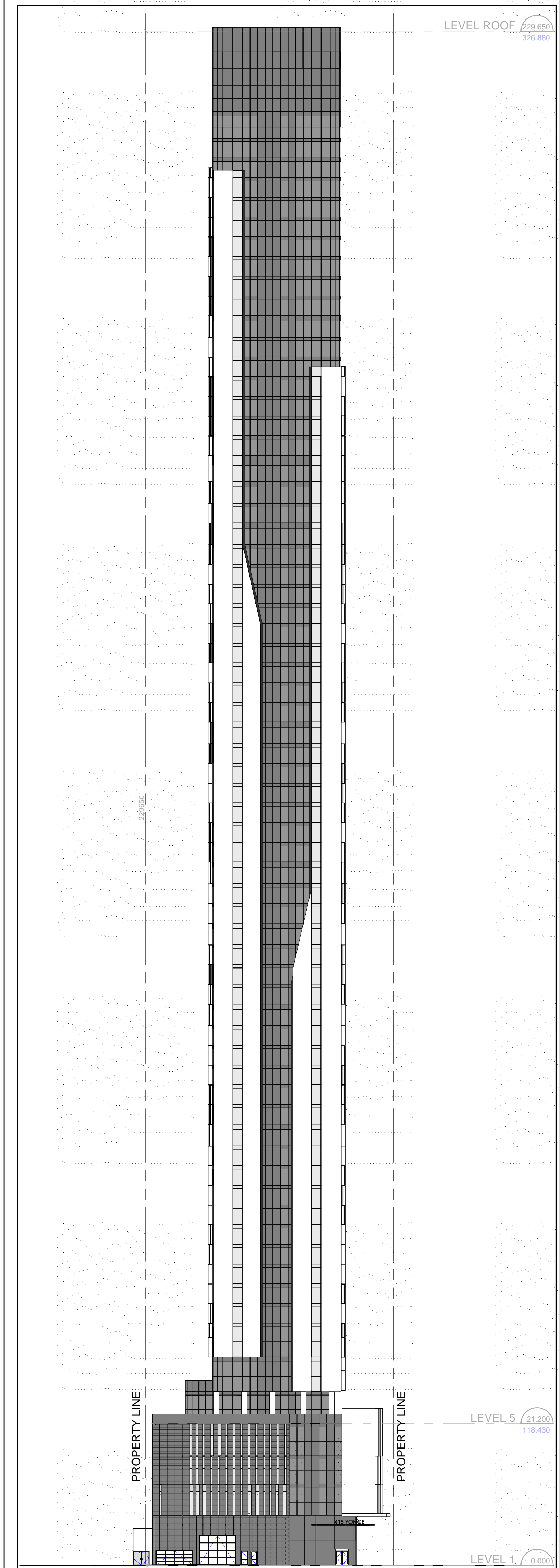
East Elevation-Part II **4**
1 : 200 dA3.4



East Elevation-Part I **3**
1 : 200 dA3.4



Key Plan **2**
1 : 500 dA3.4



East Key Elevation **1**
1 : 400 dA3.4

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No.	Revision	Date

4	SPA Submission	01-13-2023
3	SPA Submission	08-25-2022
2	Zoning Resubmission #1	12-17-2021
1	Zoning By-law Amendment	12-12-2017

No. Issued For: _____ Date: _____

Drawing Title:

East Elevation

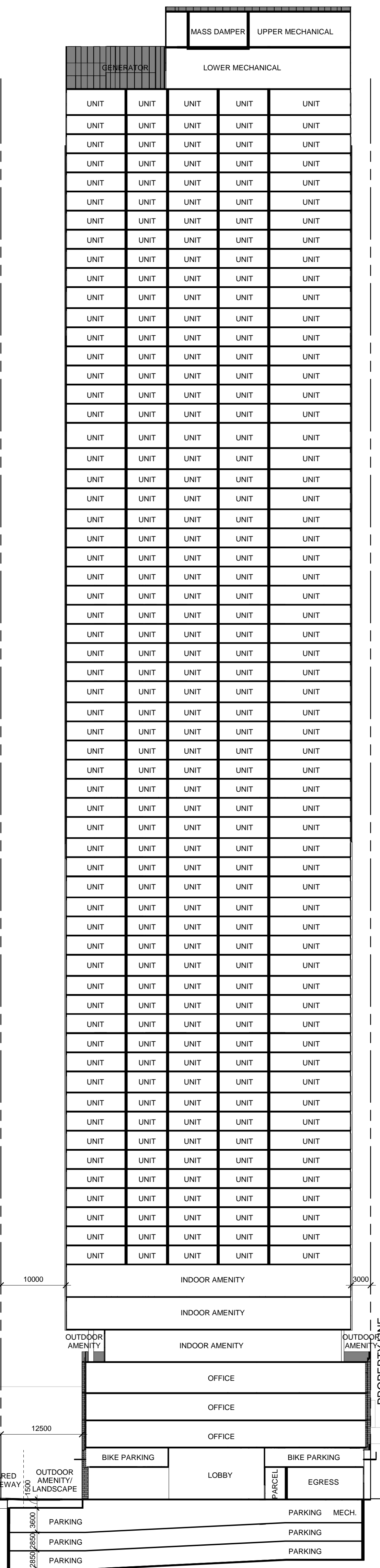
Client:
415 Yonge Limited Partnership

Project:
415 Yonge St

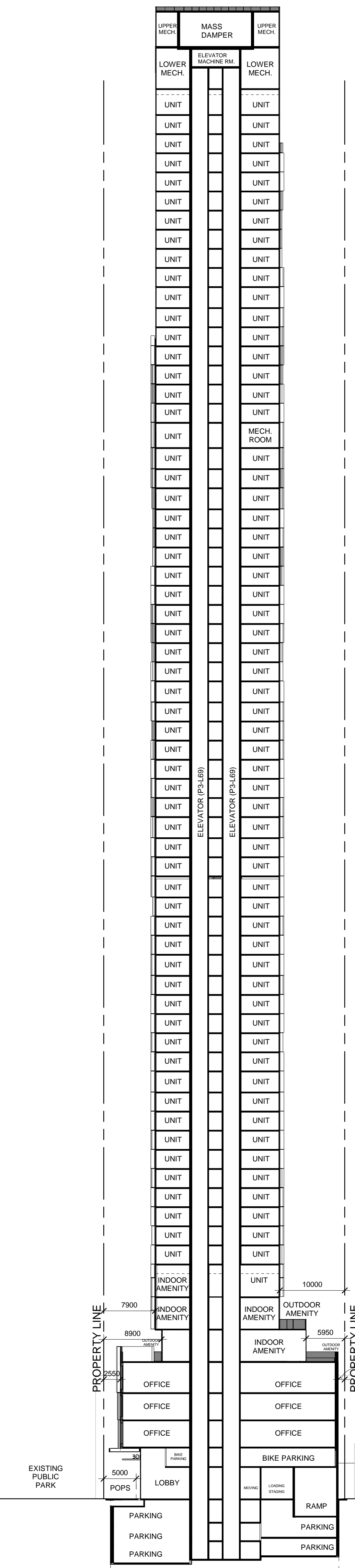
415&409 Yonge St 9&17 McGill St, Toronto
Scale:
As indicated
Drawn by: T.T, A.E.
Checked by: A.E.
Project No.: 21-050
Date: Jan 13, 2023
Drawing No.:

dA3.4

229.600 LEVEL ROOF
 224.150 LEVEL UPPER MECH. PH
 217.850 LEVEL LOWER MECH. PH
 213.850 LEVEL 67
 210.700 LEVEL 66
 207.750 LEVEL 65
 204.800 LEVEL 64
 201.850 LEVEL 63
 198.900 LEVEL 62
 195.950 LEVEL 61
 193.000 LEVEL 60
 190.050 LEVEL 59
 187.100 LEVEL 58
 184.150 LEVEL 57
 181.200 LEVEL 56
 178.250 LEVEL 55
 175.300 LEVEL 54
 172.350 LEVEL 53
 169.400 LEVEL 52
 166.450 LEVEL 51
 163.500 LEVEL 50
 160.550 LEVEL 49
 157.600 LEVEL 48
 154.650 LEVEL 47
 151.700 LEVEL 46
 148.750 LEVEL 45
 145.800 LEVEL 44
 142.850 LEVEL 43
 139.900 LEVEL 42
 136.950 LEVEL 41
 134.000 LEVEL 40
 131.050 LEVEL 39
 128.100 LEVEL 38
 125.150 LEVEL 37
 122.200 LEVEL 36
 119.250 LEVEL 35
 116.300 LEVEL 34
 113.350 LEVEL 33
 110.400 LEVEL 32
 107.450 LEVEL 31
 104.500 LEVEL 30
 101.550 LEVEL 29
 98.600 LEVEL 28
 95.650 LEVEL 27
 92.700 LEVEL 26
 89.750 LEVEL 25
 86.800 LEVEL 24
 83.850 LEVEL 23
 80.900 LEVEL 22
 77.950 LEVEL 21
 75.000 LEVEL 20
 72.050 LEVEL 19
 69.100 LEVEL 18
 66.150 LEVEL 17
 63.200 LEVEL 16
 60.250 LEVEL 15
 57.300 LEVEL 14
 54.350 LEVEL 13
 51.400 LEVEL 12
 48.450 LEVEL 11
 45.500 LEVEL 10
 42.550 LEVEL 9
 39.600 LEVEL 8
 36.650 LEVEL 7
 33.700 LEVEL 6
 30.750 LEVEL 5
 27.800 LEVEL 4
 24.850 LEVEL 3
 21.900 LEVEL 2
 18.950 MEZZANINE
 16.000 LEVEL 1
 13.050 LEVEL P1
 10.100 LEVEL P2
 7.150 LEVEL P3



229.600 LEVEL ROOF
 224.150 LEVEL UPPER MECH. PH
 217.850 LEVEL LOWER MECH. PH
 213.850 LEVEL 67
 210.700 LEVEL 66
 207.750 LEVEL 65
 204.800 LEVEL 64
 201.850 LEVEL 63
 198.900 LEVEL 62
 195.950 LEVEL 61
 193.000 LEVEL 60
 190.050 LEVEL 59
 187.100 LEVEL 58
 184.150 LEVEL 57
 181.200 LEVEL 56
 178.250 LEVEL 55
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 131.050 LEVEL 39
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 125.150 LEVEL 37
 122.200 LEVEL 36
 119.250 LEVEL 35
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 33.700 LEVEL 6
 30.750 LEVEL 5
 27.800 LEVEL 4
 24.850 LEVEL 3
 21.900 LEVEL 2
 18.950 MEZZANINE
 16.000 LEVEL 1
 13.050 LEVEL P1
 10.100 LEVEL P2
 7.150 LEVEL P3



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Toronto, ON M3J 0H1

Revisions:

No.	Revision	Date
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4	SPA Submission	01-13-2023
3	SPA Submission	08-25-2022
2	Zoning Resubmission #1	12-17-2021
1	Zoning By-law Amendment	12-12-2017

No.: Issued For: Date:

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Drawing Title:

Building Sections

Client:
415 Yonge Limited Partnership

Project:
415 Yonge St

415&409 Yonge St 9&17 McGill St, Toronto

1 : 400	Scale:
T.T, A.E	Drawn by:
A.E	Checked by:
21-050	Project No.:
Jan 13, 2023	Date:

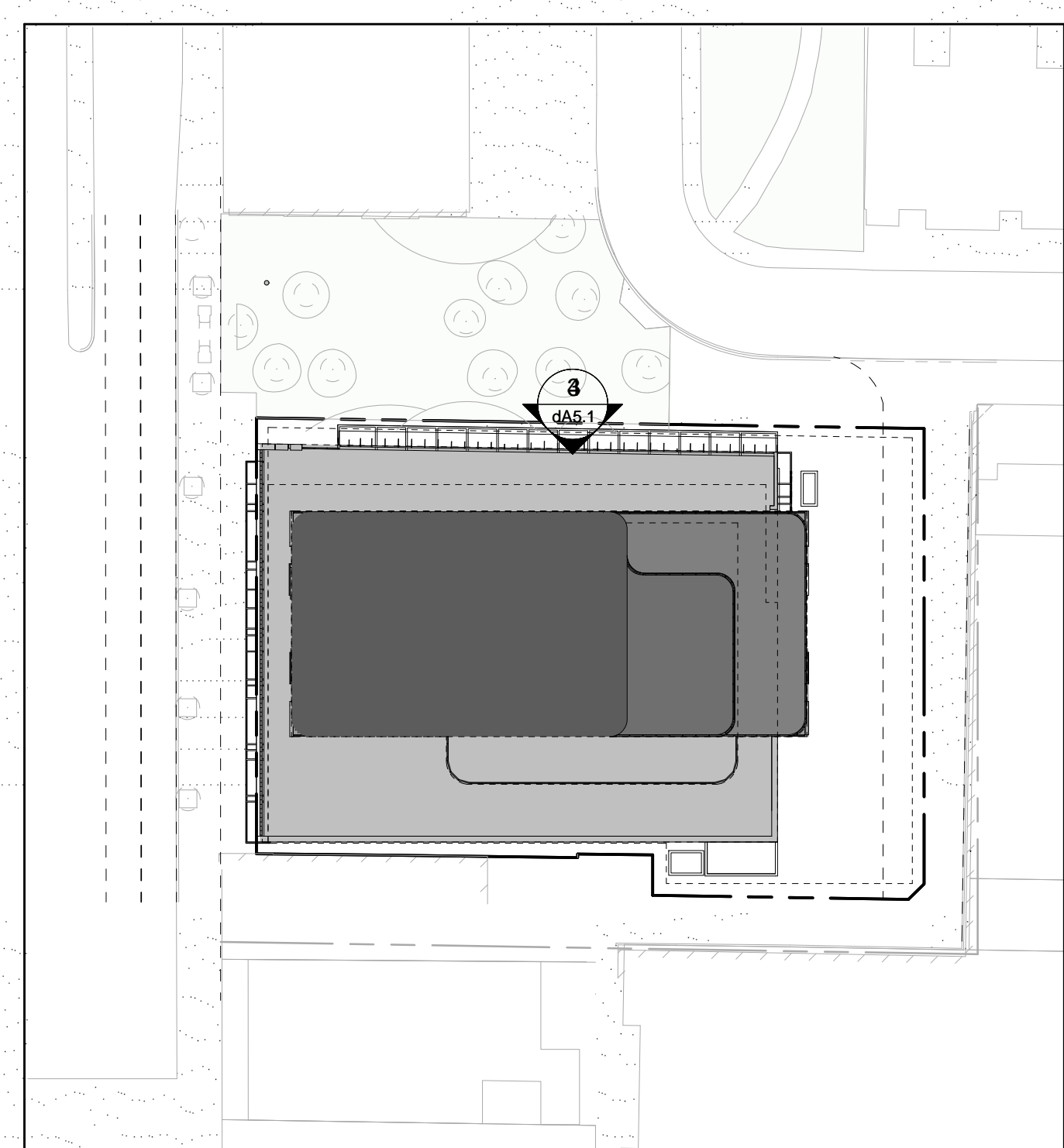
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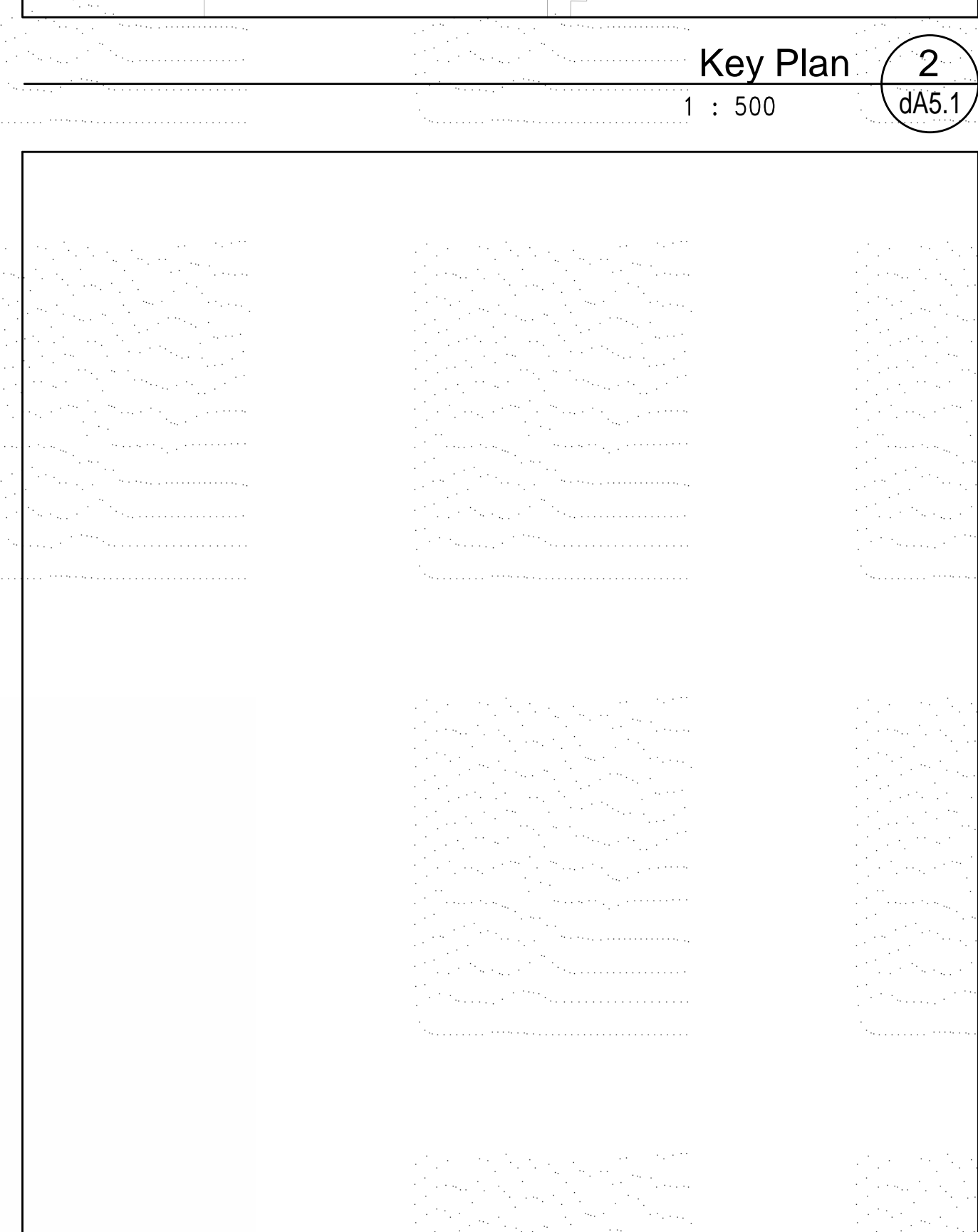
North Elevation-Part I 4
1 : 50 dA5.1



North Elevation-Part II 3
1 : 50 dA5.1



Key Plan 2
1 : 500 dA5.1



EXTERIOR FINISH LEGEND

- 415 YONGE STREET
- 1A1 PRE-CAST CONCRETE (TEXTURED PATTERN)
 - 1A2 PRE-CAST CONCRETE (BRICK VANEER)
 - 1A3 PRE-CAST CONCRETE (DARK)
 - 3A1 WINDOW WALL - VISION PANEL (DARK)
 - 3B1 WINDOW WALL - GLASS SPANDREL / METAL LOUVRE PANEL (DARK)
 - 3A2 WINDOW WALL - VISION PANEL (LIGHT)
 - 3B2 WINDOW WALL - GLASS SPANDREL / METAL LOUVRE PANEL (LIGHT)
 - 3C2 METAL EXTRUSION - FINIS (LIGHT)
 - 4A1 CURTAIN WALL - VISION PANEL (DARK)
 - 4B1 CURTAIN WALL - SHADOW BOX (DARK)
 - 4C1 CURTAIN WALL - FRITTED VISION PANEL (DARK)
 - 4D1 CURTAIN WALL - METAL LOUVRES
 - 4A2 CURTAIN WALL - VISION PANEL (LIGHT)
 - 4B2 CURTAIN WALL - SHADOW BOX (LIGHT)
 - 4C2 CURTAIN WALL - FRITTED VISION PANEL (LIGHT)
 - 4D2 CURTAIN WALL - METAL LOUVRES (LIGHT)
 - 5A1 GLASS CANOPY

Exterior Finish Legend 1
dA5.1

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1	Zoning By-law Amendment	12-12-2017

Colored Elevations - North Part I & II

Client:
415 Yonge Limited Partnership

Project:
415 Yonge St

415&409 Yonge St 9&17 McGill St, Toronto
Scale:
As indicated
Drawn by:
T.T, A.E
Checked by:
A.E
Project No.:
21-050
Date:
Jan 13, 2023
Drawing No.:

dA5.1