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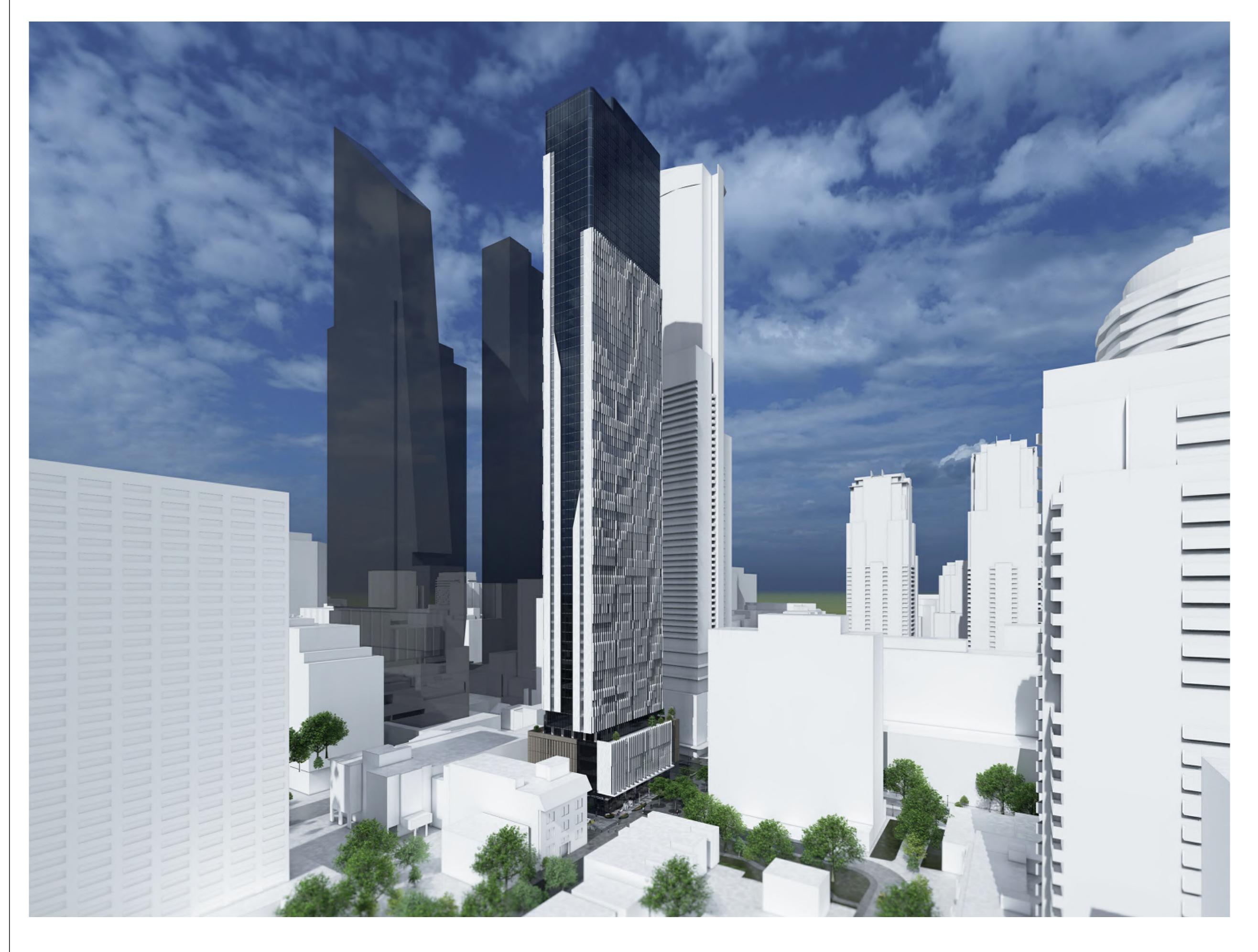
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ARCHITECTS AND PLANNERS

20 De Boers Drive Suite 400

415 YONGE ST, TORONTO

Proposed Mixed-Use Development



	DRAWING LIST	1 =
		ZBA Resubmission (Dec 17, 2021)
Sheet Numbe	r Sheet Name	ZBA
12 SITE PLAN	APPROVAL	
A0 dA0.0	Cover Sheet	
uA0.0	Cover Street	
A1	Contact Plan	
dA1.1 dA1.2	Context Plan Site Statistics & Survey Plan	
dA1.3	Green Roof Plan & Truck Maneuvers	
dA1.4	Site Plan	
A2 dA2.1	Parking Level P3 Floor Plan	T _
dA2.1	Parking Level P3 Floor Plan Parking Level P2 Floor Plan	-
dA2.3	Parking Level P1 Floor Plan	
dA2.4	Level 1 Floor Plan	
dA2.5	Level Mezzanine Floor Plan	
dA2.6	Levels 2-3 Floor Plan	
dA2.7 dA2.8	Level 4 Floor Plan Level 5 Floor Plan	_
dA2.6	Level 6 Floor Plan	
dA2.10	Level 7 Floor Plan	
dA2.11	Levels 8-23 Floor Plan	
dA2.12	Levels 24-30 Floor Plan	
dA2.13	Levels 31-49 Floor Plan	
dA2.14	Level 50 Floor Plan	-
dA2.15 dA2.16	Levels 51-67 Floor Plan Levels Lower Mechanical PH Floor Plan	
dA2.10	Level Mechanical PH Plan	
dA2.18	Roof Plan	
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dA3.2	West Elevation	
dA3.3	South Elevation	
dA3.4	East Elevation	
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dA5.1 dA5.2	Colored Elevations - North Part I & II Colored Elevations - West/East	
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dA6.1	3D Perspectives	
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dA7.0	General Notes	
dA7.1	Existing Sun Shadow Study - March	
dA7.2	Existing Sun Shadow Study - June	•
dA7.3	Existing Sun Shadow Study - September	
dA7.4	Existing Sun Shadow Study - December	•
dA7.5 dA7.6	Proposed Sun Shadow Study - March Proposed Sun Shadow Study - June	
dA7.6	Proposed Sun Shadow Study - June Proposed Sun Shadow Study - September	
		1

DEVELOPER

415 YONGE ST. LIMITED PARTNERSHIP 168-555 WEST 12th AVENUE VANCOUVER, BC V5Z 3X7 T: 604-716-6861

ARCHITECT

KIRKOR ARCHITECTS AND 20 DE BOERS DRIVE, SUITE 400 TORONTO, ON M3J 0H1

T: 416-665-6060

PLANNING CONSULTANT

BOUSEFIELDS 3 CHURCH ST. SUITE 200 TORONTO, ON M5E 1M2 T: 416-947-9744

CIVIL ENGINEER

COUTNERPOINT ENEGINEERING 8395 JANE ST. SUITE 100 VAUGHAN, ON L4K 5Y2 T: 416-629-7805

LANDSCAPE ARCHITECT

219 DUFFERIN ST. SUITE 100C TORONTO, ON M6K 3J1 T: 416-469-4343

GEOTECHNICAL ENGINEER

90 SCARSDALE ROAD TORONTO, ON M3B 2R7 T: 416-245-0011

WIND CONSULTANT

GRADIANT WIND ENGINEERING INC. 127 WALLGREEN RD. OTTOWA, ON K0A 1L0 T: 613-836-0934

ENVIRONMENTAL CONSULTANT

EQ BUILDING PERFORMANCE INC. 20 FLORAL PARKWAY CONCORD, ON L4K 4R1 T: 416-645-1186

Cover Sheet

415 Yonge Limited Partnership

415&409 Yonge St 9&17 McGill St, Toronto

T.T, A.E Checked by: A.E 21-050 Jan 13, 2023

STRUCTURAL ENGINEER

JABLONSKY, AST AND PARTNERS 400 - 3 CONCORDE GATE TORONTO, ON M3C 3N7 T: 416-447-7405

TERRAPEX 90 SCARSDALE ROAD TORONTO, ON M3B 2R7

T: 416-245-0011

ENVIRO / HYDROG CONSULTANT TRANSPORTATION ENGINEER PARADIGM TRANSPORTATION SOLUTIONS LTD.

5A-150 PINEBUSH ROAD,

T: 905-807-2420

CAMBRIDGE, ON N1R 8J8

SPEIGHT, VAN NOSTRAND & GIBSON LIMITED 750 OAKDALE ROAD, UNIT 65&66 TORONTO, ON M3N 2Z4

SURVEYOR

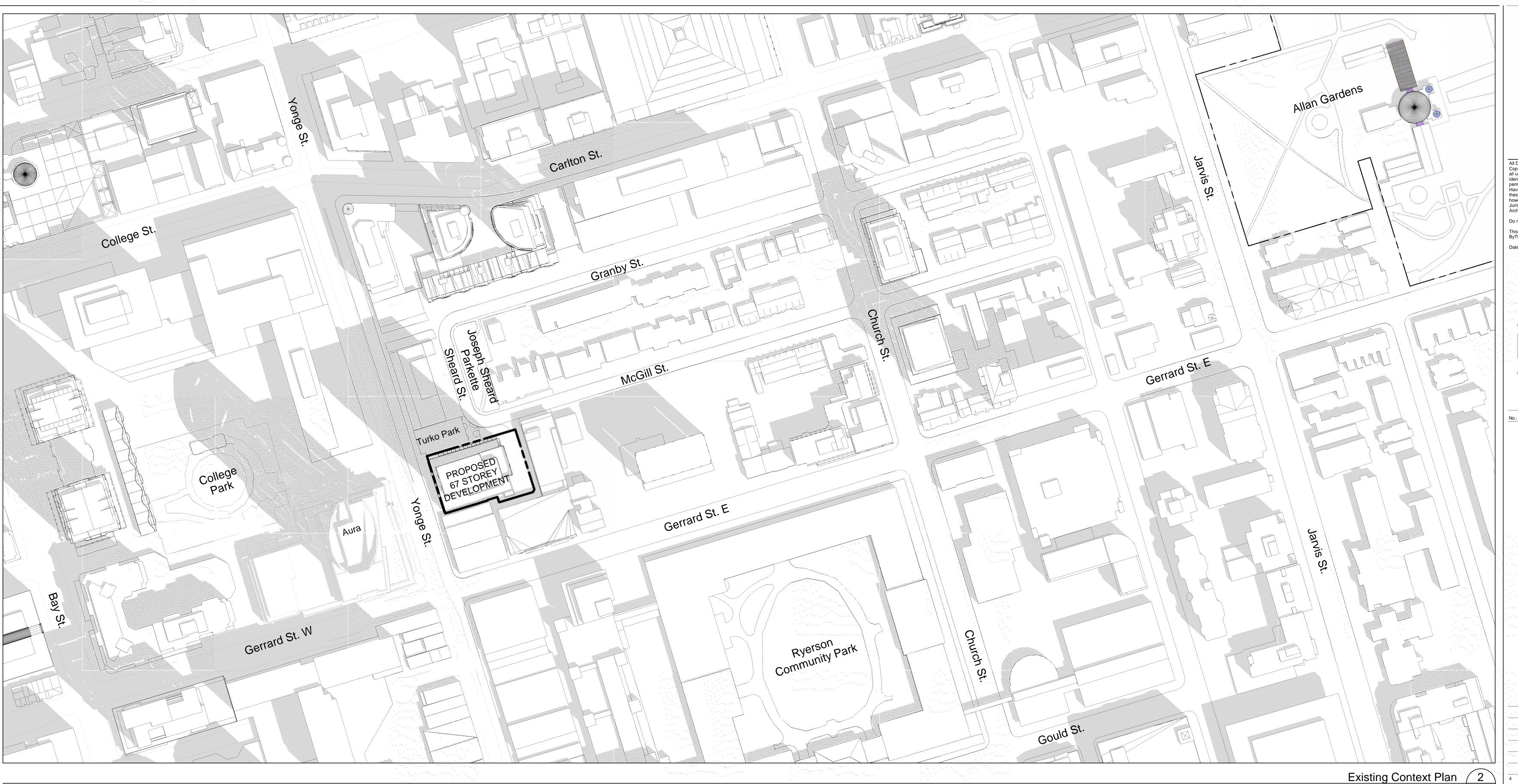
T: 416-749-7864

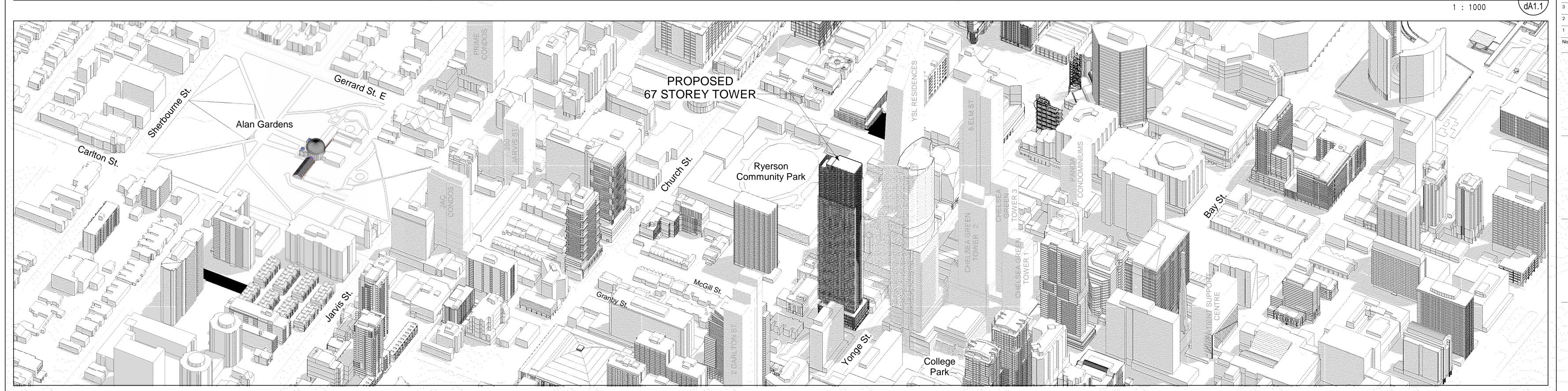
ACOUSTIC ENGINEER

HCG ENGINEERING 2000 ARGENTIA ROAD, PLAZA ONE, SUITE 203 MISSISSAUGA, ON L5N 1P7 T: 905-826-4044

SNC LAVALIN 100 SHEPPARD AVE. E. SUITE 1100 TORONTO, ON M2N 6N5 T: 416-445-8255

MECH. & ELEC. ENGINEER





Aerial 3D Context View With Future Developments 1



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KIRKOR

ARCHITECTS AND PLANNERS

20 De Boers Drive Suite 400 Toronto, ON M3J 0H1

No.: Revision: Date:

 SPA Submission
 01-13-2023

 SPA Submission
 08-25-2022

 Zoning Resubmission #1
 12-17-2021

 Zoning By-law Amendment
 12-12-2017

Context Plan

415 Yonge Limited Partnership

415 Yonge St

415&409 Yonge St 9&17 McGill St, Toronto

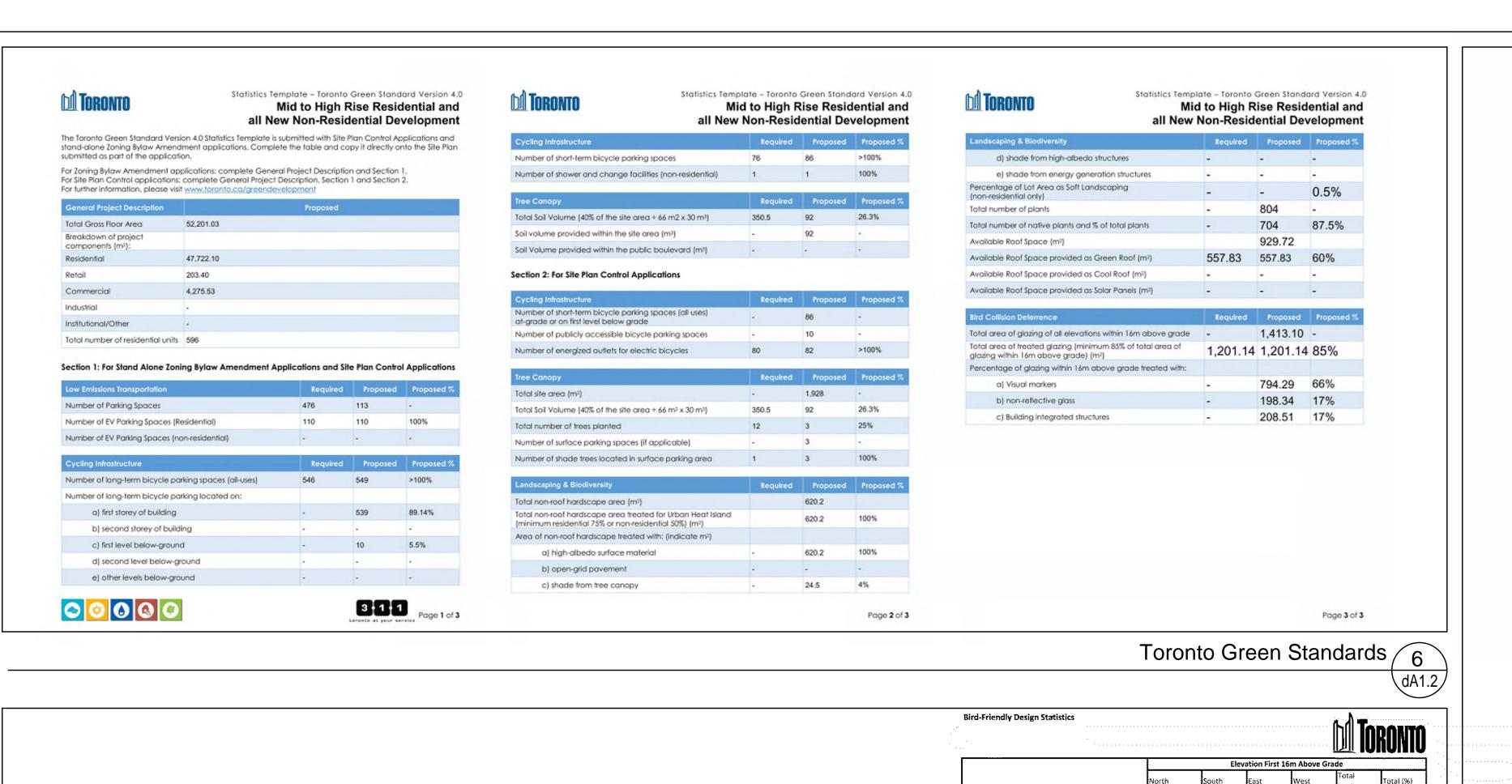
N

Project No.:
21-050

Date:

Jan 13, 2023

dA1 1



Glazing Area (m²) facing High Hazard Area

Elevation First 4m Above Rooftop Vegetation

treated Area (m²)

Visual Markers (m²)

Shaded (m²)

Building Window: Wall Ratio

Toronto, Ontario M3J 2KB Tel: 426-665-6060 Fax: 416-665-5234 Name of Project: 415 Yongo St Location: 415 Yonge St. Toronto ON The Ontario Building Code 2012 OBC, O.Reg. 332/12 as amended to O.Reg. 762/20 Data Matrix Part 3 Reference High Rise Mixed-Use Residential Building Project Description: New Residential Apartment Building Group C - Residential occupancies 3.1.2.1.(1) Group E - Mercantile occupancies Subsidiary Occupancy(s) Group A2 - Assembly occupancies (Amenity Areas) 3.1.2.1.(1) Group F2 - Medium hazard industrial occupancies (Storage and Service Room) 1185 m² 52201 m² 6 Number of Storeys: 68 Above Grade: 68 2.10. & 3.2.5 Number of streets/Fire Fighter Access: Building Classification: Group C - Residential occupancies 3.2.2.42 3.2.2.57. Group E - Mercantile occupancies Group F3 - Medium hazard industrial occupancies (Storage Garage) 3.2.2.15 Standpipe required: Fire Alarm required: 12 Water Service/Supply is Adequate 3.2.2.20. - 83. 8 54 Construction Restrictions: Horizontal Assemblies FRR (Hours) Required Fire Resistance Rating (FRR) Listed Design No. or Description (St Roof OHr & 2Hr for Occupied roof er to A3 Schedule isted Design No. or Description (SG Roof OHr & 2Hr for Occupied roof Refer to A8 Schedule Fire-Resistance DESCRIPTION OF FIRE SEPARATIONS Rating Reference 2 hours Firefighters Bevator Shaft 1 hour (1) 3.6.2.1(6) 2 hour 1 hour (t) 2 hours (3) Electrical Equipment Vault (N/A) Suite-to-Suite Fire Separation (Including Suite to Corridor Fire Separation (C Storage / Locker Rooms for Residents Residential Public Corridor 1 hour Floor Separations (Including Occupied Roof Tettaces and Floor-to-Floor Fire Separations) Mezzanine Floor Assembly 1 hour 3.2.2.42 Garbage Chute Intake Room 45 min. Garbage Chute Discharge Room Garbage Chute Shaft Central Alarm and Control Facility 2 hours Emergency Generator Room 2 hours 2 hour (With Fuel Fired Equipment) stibules to protect elevators on below-grade levels (1) 2 h if housing emergency life safety circuits / equipment. (2) Without closures at outlet into Discharge Room (1 h otherwise). (3) 3 hour if not sprinklered (3.2.6.7.(1)) n a Group C major occupancy apartment building, not less than 15% of all residential suites shall be provided with a barrier-free path of travel to meet the OBC requirements outline in sentences 3.5.2.1 (5) & (6) OBC Matrix 3

20 De Boers Dr. # 400

415 Yonge Street Toronto, Ontario MIXED-USE DEVELOPMENT January 13, 2023 .0 LOT AREA 267.48 Lot Area Excluding POPS 1,917.96 0.19 0 GROSS FLOOR AREA (GFA) 2.1 GROSS FLOOR AREA (GFA)- DEFINITION Bytaw 569-2013 Section 40.5.40.40(3)
Gross Floor Area Calculations for a Mixed Use Building in the Commercial Residential Zone Category
In the Commercial Residential Zone category the gross floor area of a mixed use building is reduced by the area in the building used for: (A) parking, loading and bicycle parking below-ground;(B) required bicycle parking spaces at the ground level and required bicycle parking spaces at or above-ground. (C) storage rooms, washrooms, electrical, ulstry, mechanical and ventilation rooms in the basement;
(D) shower and change facilities required by this By-law for required bicycle parking spaces;
(E) amenity space required by this By-law: (F) elevator shafts; (G) garbage shafts; (H) mechanical penthouse; and (I) exit stairwells in the building. 2.2 GROSS FLOOR AREA (GFA) - RESIDENTIAL Floor Levels Level P3 34.37 34.37 Level P1 37.73 37.73 601.79 6,478 601.79 6,478 Level Mezzanine (Excluding Bike Parking) 4.58 4.58 3.03 9.09 98 Level 2-4 (Excluding Office) 12.66 Level 5 (Excluding By-Law reg. Amenity) 12.66 171.47 171.47 1,846 Level 6 (Excluding By-Law reg. Amenity) 767.47 8,261 Total Gross Floor Area - Residential (Excluding By-Law req. Amenity 47,722.10 513,693 2.2.1 REQUIRED AMENITY 1,192.00 12,831 indoor Amenity Outdoor Amenity
Total Required Amenity 1,192.00 12,831 2,384.00 25,662 2 PROPOSED AMENITY Floor Levels 1 701.86 7,555 701.86 7,555 319.59 3,440 1,554.96 16,73° 319.59 Level 7
Total Indoor Amenity Total Outdoor Amenity 2,431.01 26,168 Total Amenity Provided (Indoor and Outdoor) 362.96 3,907 Amenity Area included in GFA (Total Area Not Required in By-Law) 2.3 GROSS FLOOR AREA (GFA) - OFFICE Floor Levels Level P1 \$ 65.06 85.06 916 Level Mezz 10.80 4.146.78 44,636 4,275.53 46,023 Level 2-4
Total Gross Floor Area - Office 3 1,382.26 14,879 2.4 GROSS FLOOR AREA (GFA) - RETAIL Floor Levels Total Gross Floor Area - Retail 2.5 YOTAL GROSS FLOOR AREA (GFA) 52,201.03 561,906 Grand Total GFA divided by LOT AREA 23.89 times 4.0 UNIT COUNT PROPOSED Floor Levels no. of floors ST<45sm ST>45sm 1 BED Average Unit Size (sq.m.) 51.00 52.94 Required Barrier-Free Units (15%)

Total parking proposed 5Spaces + 1Space for every 50 in excess of 100 More than 100 parking spaces 506 Effective Parking Spaces : *all residential parking spaces provided for dwelling units located in an apartment building, mixed use building, multiple dwelling unit building, excluding visitor parking spaces, must include an energized outlet capable of providing Level 2 charging (EV) or higher to the parking space; (as per TGSV4.0 - AQ1.2) Electric Vehicle Visitor SPA Submission 08-25-2022 (a) depote the many operative properties for dwelling units in an apartment building or a mixed use building are:

(A) in Bicycle Zone 1, a minimum of 1.0 bicycle parking spaces for each dwelling unit, allocated as 0.9 "long-term" bicycle parking space per dwelling unit and 0.1 "short-term" bicycle parking space per dwelling unit. 12-17-2021

Parking Area Ratio

3+0.2/100m²

Zoning Resubmission #1 No.: Issued For: Site Statistics & Survey

415 Yonge Limited Partnership

12-12-2017

Drawing Title:

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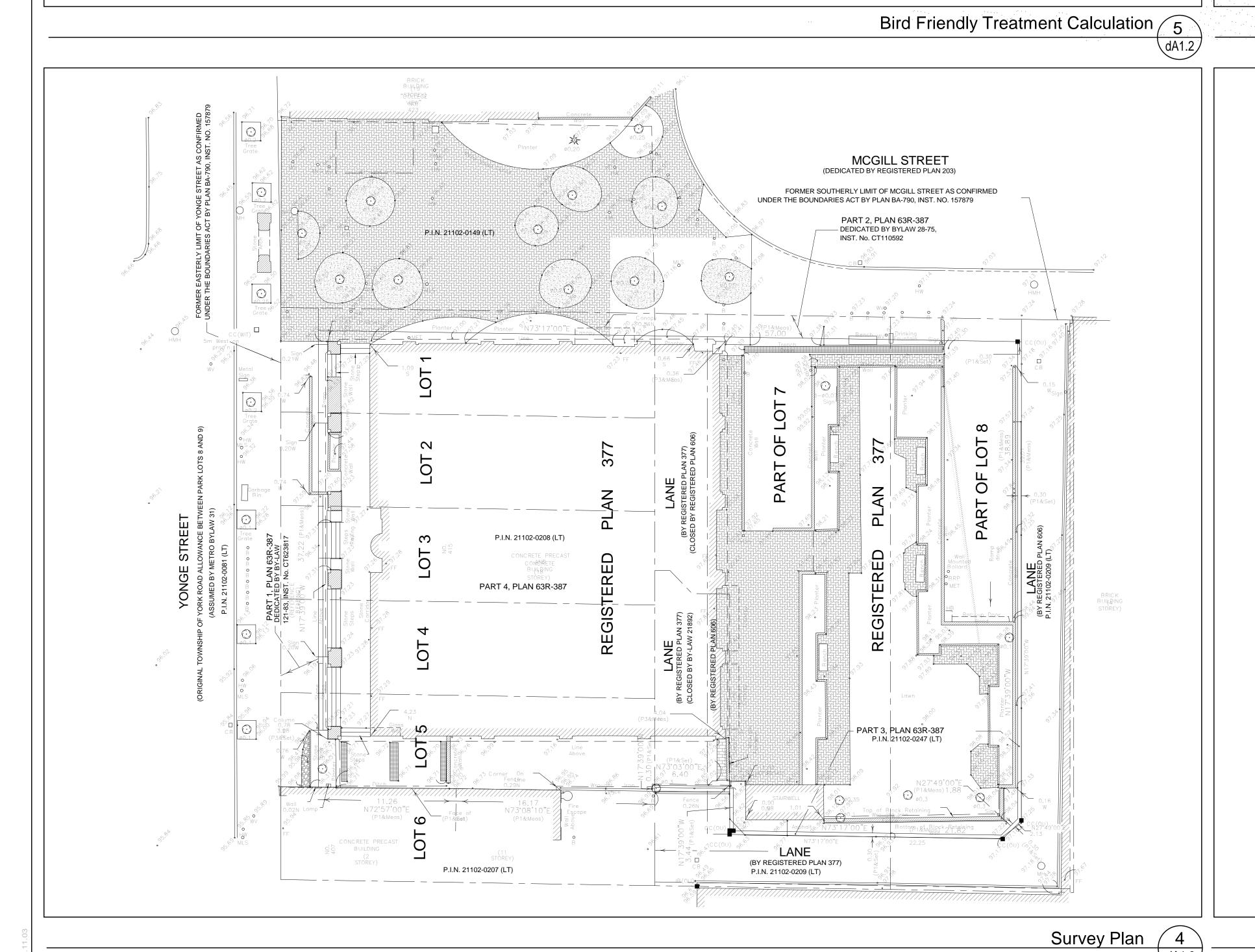
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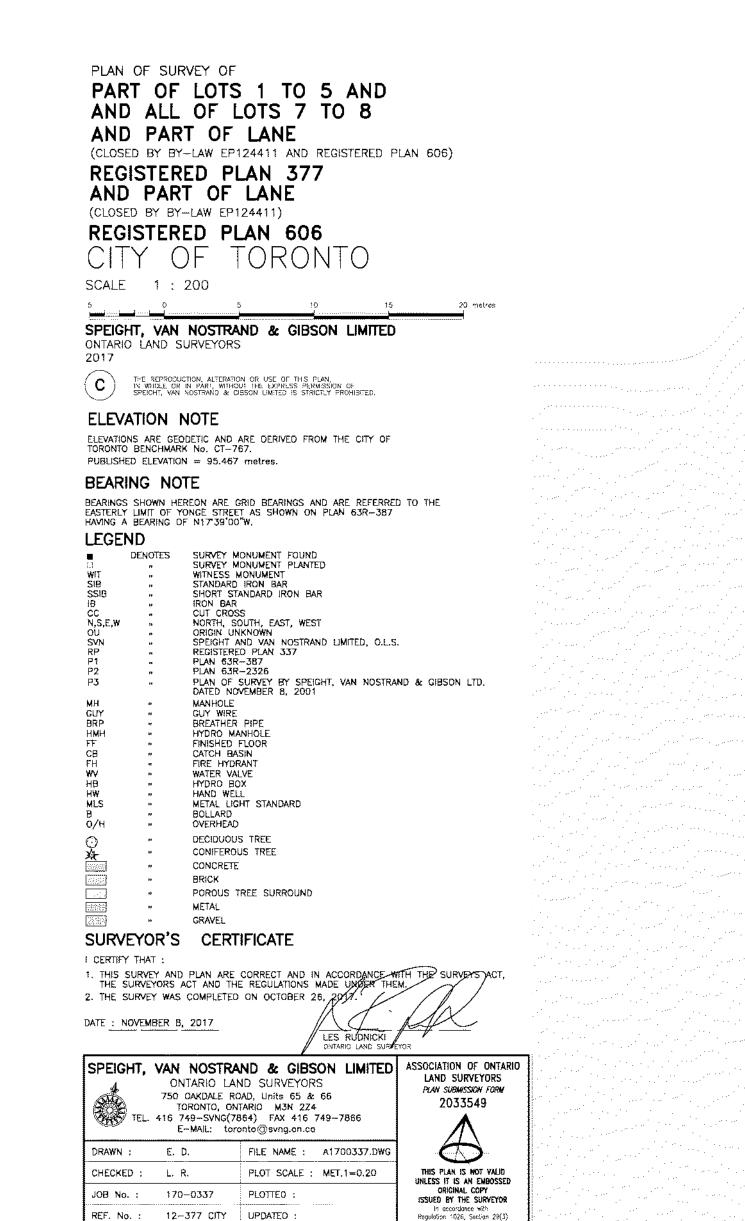
415 Yonge St

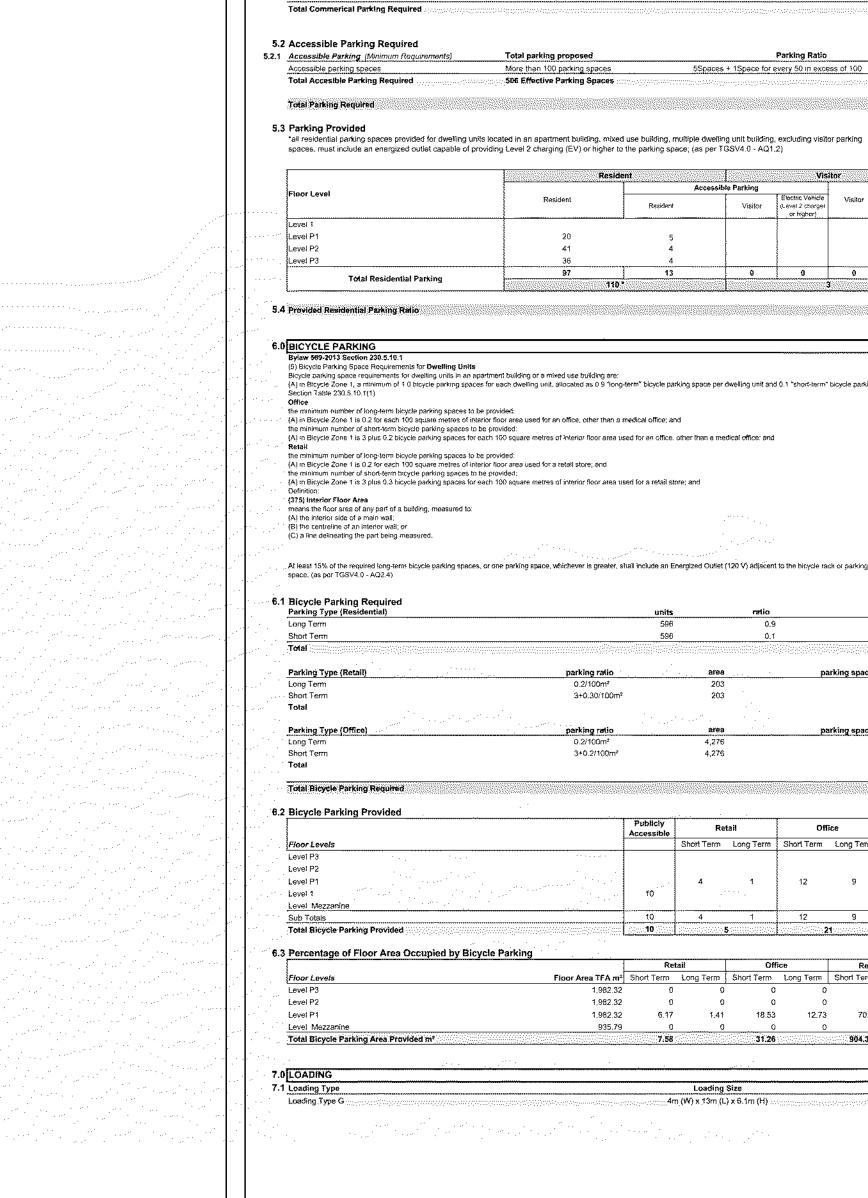
415&409 Yonge St 9&17 McGill St, Toronto

Checked by: Jan 13, 2023

Site Statistics 1 \dA1.2/







5.1 Parking Required

1,1 Residential Parking (By-Law 89-2022)

Bachelor Unit (Larger than 45sq.m.)

1.2 Non Residential Parking (By-Law 89-202 Retail (If more than 200sq.m.)

Survey Credits 2

Number of Loading Area

Accessible Short Term Long Term Short Term Long Term Long Term Long Term

1,982.32 0 0 0 0 0 0 1,982.32 0 0 0 0 0

1,982.32 6.17 1.41 18.53 12.73 70.11

Loading Size -----4m (W) x 13m (L) x 6.1m (H)

400 - 3 Concorde Gate Toronto, ON M3C 3N7 Telephone (416) 447-7405 www.astint.on.ca Email jap@astint.on.ca

August 10, 2022

415 Yonge Limited Partnership 168-555 W, 12th Avenue Vancouver, BC V5Z 3X7

Attn: Ms. Denise She

Re: 415 Yonge Street, Toronto, ON Collection Vehicle Loading Our Project No. 22167

Dear Ms. She,

This is to confirm that the garage roof structure of the above referenced building will be designed and constructed to safely support a fully loaded collection vehicle (35,000 kilograms) for the full anticipated route of travel, in accordance with the Ontario Building Code 2012, and will conform to the following:

Design Code – Ontario Building Code

Design Load - City bulk lift vehicle in addition Building Code requirements. Impact Factor – 5% for maximum vehicular speeds to 15 km/h and 30% for higher speeds.

Should you have any questions or require any additional information, please contact this office at your convenience.

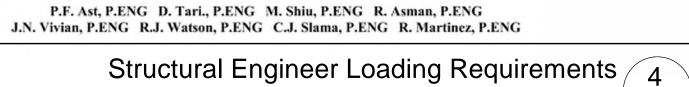
Yours very truly,

JABLONSKY, AST AND PARTNERS CONSULTING ENGINEERS

Jeff Vivian, P. Eng.

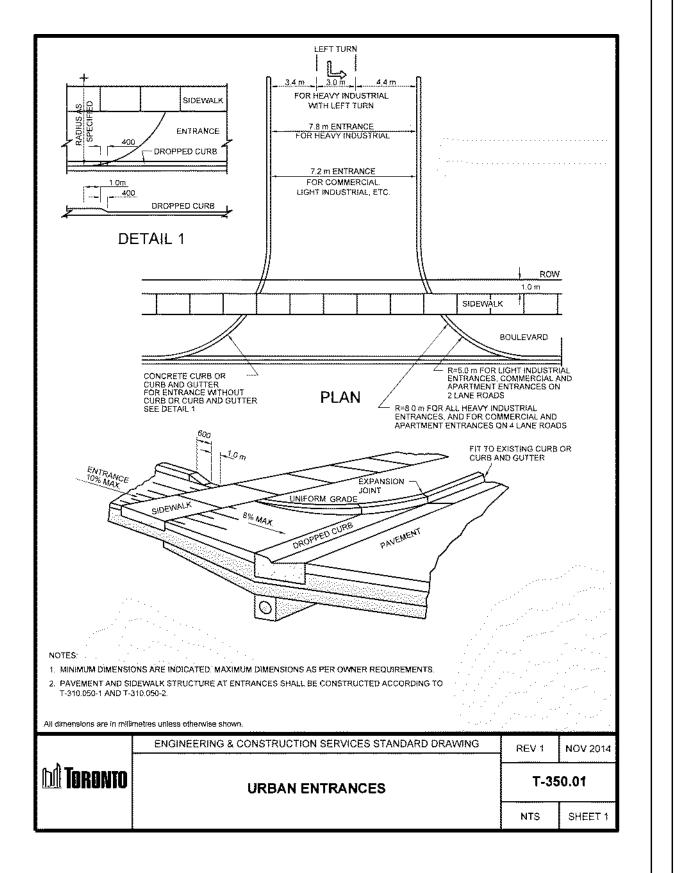
LEGEND

cc: Keesa Hutchinson, Kirkor Brett Fine, Kirkor



J.N. VIVIAN

25 mm R ---. SLOPE AT DRIVEWAY — FINISHED ROAD — SURFACE MORTAR CUSHION ----50 mm x 75 mm KEYWAY — SEE DETAIL FOR USE WITH RIGID PAVEMENT MOUNTABLE 180 25 mm R -**KEYWAY DETAIL** SLOPE AT DRIVEWAY — MORTAR CUSHION --/ FOR USE WITH FLEXIBLE PAVEMENT 1. EXPANSION JOINTS SHALL BE SPACED 6 m APART OR COINCIDE WITH JOINTS IN ADJACENT SIDEWALK AND CONCRETE ROAD BASE. t = 130 mm, 150 mm, OR 180 mm TO SUIT CONCRETE SIDEWALK, CONCRETE BOULEVARD OR CONCRETE DRIVEWAY MEASURED FROM TOP OF CURB DEPRESSION. 3, 10 mm FOR SIDEWALK RAMPS AND DISABILITY ACCESSES 4. ENTRANCE TERMINATION ACCORDING TO DRAWING T-350.01. DROP CURB AT ENTRANCE, TYP 70-100 mm, 5. 2 - 15 M REINFORCING BARS FOR INDUSTRIAL AND COMMERCIAL DRIVEWAYS, 50 mm CONCRETE COVER, TO BE EXTENDED 500 mm BEYOND WIDTH OF DRIVEWAY ON EACH END. limensions are in millimetres unless otherwise showr ENGINEERING & CONSTRUCTION SERVICES STANDARD DRAWING **1** Toronto T-600.11-1 **CONCRETE CURB**



Curb Details 3

\dA1.3



Green Roof Statistics

The Green Roof Statistics Template is required to be submitted for Site Plan Control Applications where a green roof is required under the Toronto Municipal Code Chapter 492, Green Roofs. Complete the table below and copy it directly onto the Roof Plan submitted as part of any Site Plan Control Application requiring a green roof in accordance with the Bylaw. Refer to Section § 492-1 of the Municipal Code for a complete list of defined terms, and greater clarity and certainty regarding the intent and application of the terms included in the template. The Toronto Municipal Code Chapter 492, Green Roofs can be found online at: http://www.toronto.ca/legdocs/municode/1184_492.pdf

Green Roof Statistics

			Proposed
Gross Floor Area, as defined in Green Roof Bylaw (m2)			60,399.29
Total Roof Area (m ²)			1,545.35
Area of Residential Private Terraces (m ²)			0
Rooftop Outdoor Amenity Space, if in a Residential Building (m2)		615.63	
Area of Renewable Energy Devices (m ²)			N/A
Tower (s)Roof Area with floor plate less than 750 m ²	2		
Total Available Roof Space (m ²)		929.72	
Green Roof Coverage		Required	Proposed
Coverage of Available Roof Space (m ²)		557.83	557.83
Coverage of Available Roof Space (%)		60%	60%

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No.: Revision:

\ dA1.3

LOADING AREA 200MM REINFORCED CONCRETE WITH

RESIDENTIAL GARBAGE/RECYCLING STORAGE ROOM

GRADE (NOT TO EXCEED 2%)

WASTE DIVERSION SYSTEM: TWO CHUTE WITH BI-SORTER CITY OF TORONTO REQUIREMENTS:

GARBAGE/RECYCLING: 25m²/FIRST 50 UNITS + 13m²/EACH ADDITIONAL 50 UNITS + 10m² (UNCOMPACTED GARBAGE) + 6m² (HOUSEHOLD HARZARDOUS)

CALCUATED GARBAGE/RECYCLING REQUIREMENT: $25m^2 + (13m^2 \times ((596-50)/50)) = 168.00m^2$ BULK ITEMS 10.00m² HAZARDOUS ITEMS 6.00m² TOTAL: 184.00m²

NUMBER OF COLLECTION BINS REQUIRED: CALCULATION:

GARBAGE STORAGE: 1 BIN PER 50 UNITS (596 UNITS / 50 = 12 BINS) RECYCLING STORAGE: 1 BIN PER 50 UNITS (596 UNITS / 50 = 12 BINS) ORGANIC STORAGE: 1 BIN PER 50 UNITS (596 UNITS / 50 = 12 BINS)

TOTAL NUMBER OF BINS: 36 BINS

BINS DESIGNATION: G = GARBAGE R = RECYCLING O = ORGANIC C = COMMERCIAL

STAGING AREA: 5m² FOR EVERY 50 UNITS > 50 CALCULATION: $(596 - 50) / 50 \times 5m^2 = 55m^2$

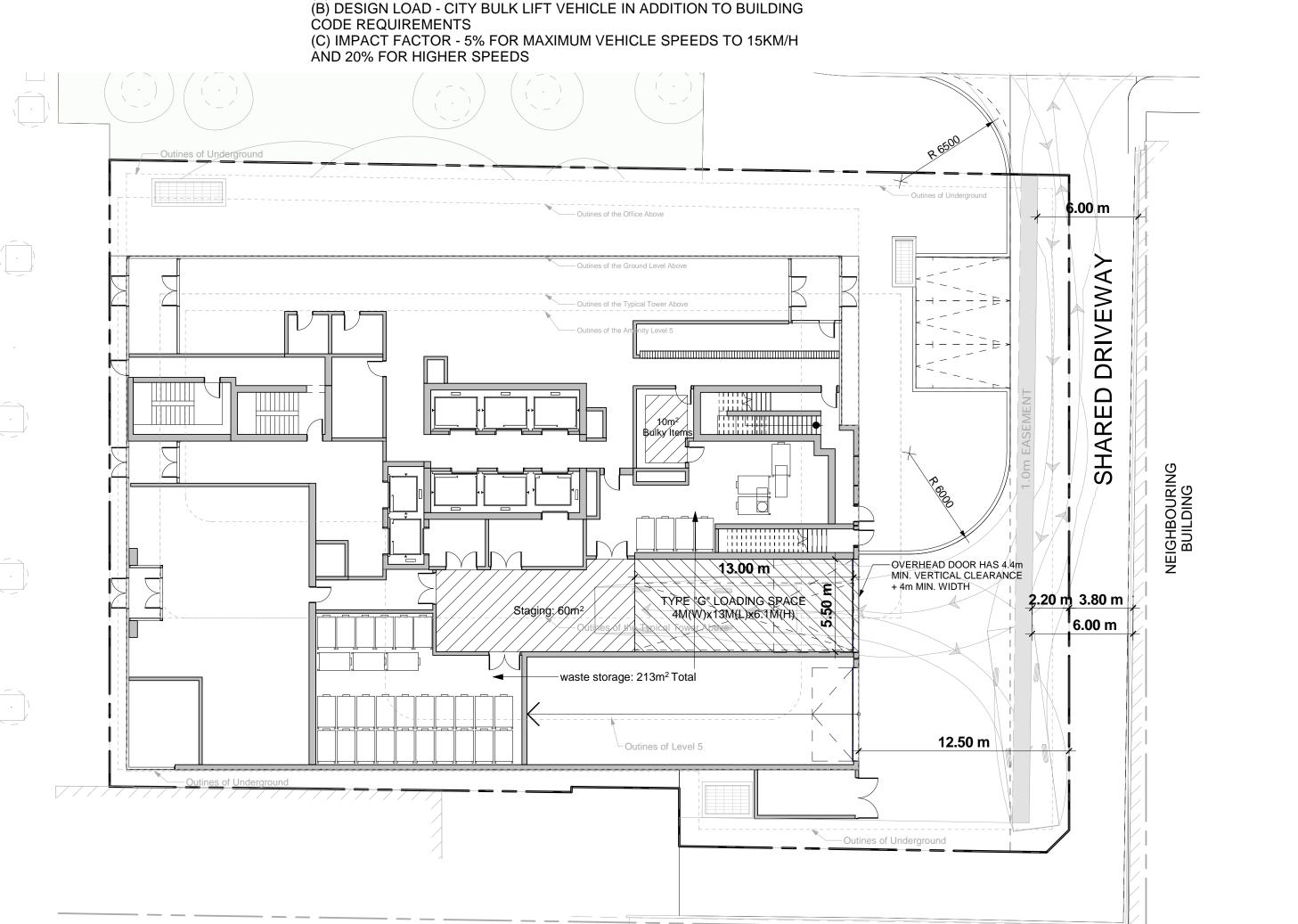
PROPOSED ACCESS ROUTE FOR WASTE COLLECTION VEHICLE TO HAVE MINIMUM 4.4m VERTICAL CLEARANCE THROUGHOUT AND DESIGNED TO SAFELY SUPPORT 35,000kg. STRUCTURAL ENGINEER TO DESIGN AREA TO CONFORM AS FOLLOWS: (A) DESIGN CODE - ONTARIO BUILDING CODE

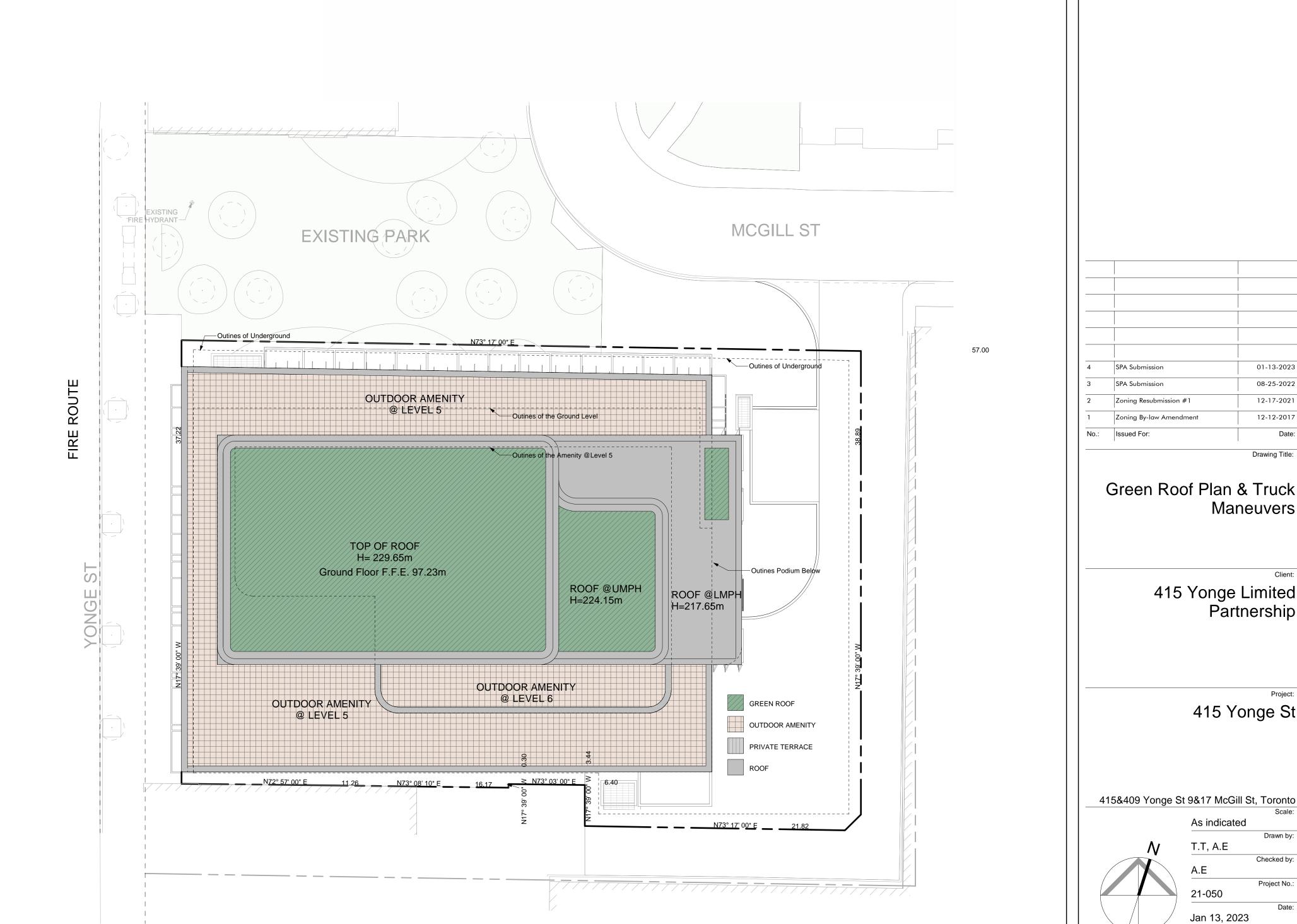
ACCESS DRIVEWAYS TO BE USED BY THE COLLECTION VEHICLE WILL HAVE MAXIMUM GRADIENT OF 8%

NTS SHEET

A TRAINED ON-SITE STAFF MEMBER MUST BE AVAILABLE TO MANOEUVRE BINS FOR THE COLLECTION DRIVER AND ALSO ACT AS A FLAGMAN WHEN THE TRUCK IS REVERSING. IN THE EVENT THE ON-SITE STAFF MEMBER IS UNAVAILABLE AT THE TIME THE CITY COLLECTION VEHICLES ARRIVE ON SITE, THE COLLECTION VEHICLE WILL LEAVE THE SITE AND NOT RETURN UNTIL THE NEXT SCHEDULED COLLECTION DAY.

WASTE BINS FOR NON-RESIDENTIAL COMPONENT WILL BE LABELLED SEPARATELY FROM THOSE FOR THE RESIDENTIAL COMPONENT. SHARED LOADING SPACE WILL NOT BE OCCUPIED ON DAYS WHEN CITY COLLECTION SERVICES ARE SCHEDULED FOR RESIDENTIAL COMPONENT. A PRIVATE CONTRACTOR MUST COLLECT ALL SOLID WASTE FROM THE COMMERCIAL COMPONENT.





Green Roof Calculation Diagram

SPA Submission

SPA Submission

Zoning Resubmission #1

Zoning By-law Amendment

Green Roof Plan & Truck

415 Yonge Limited

01-13-2023 08-25-2022

12-17-2021

12-12-2017

Drawing Title:

Maneuvers

Partnership

415 Yonge St

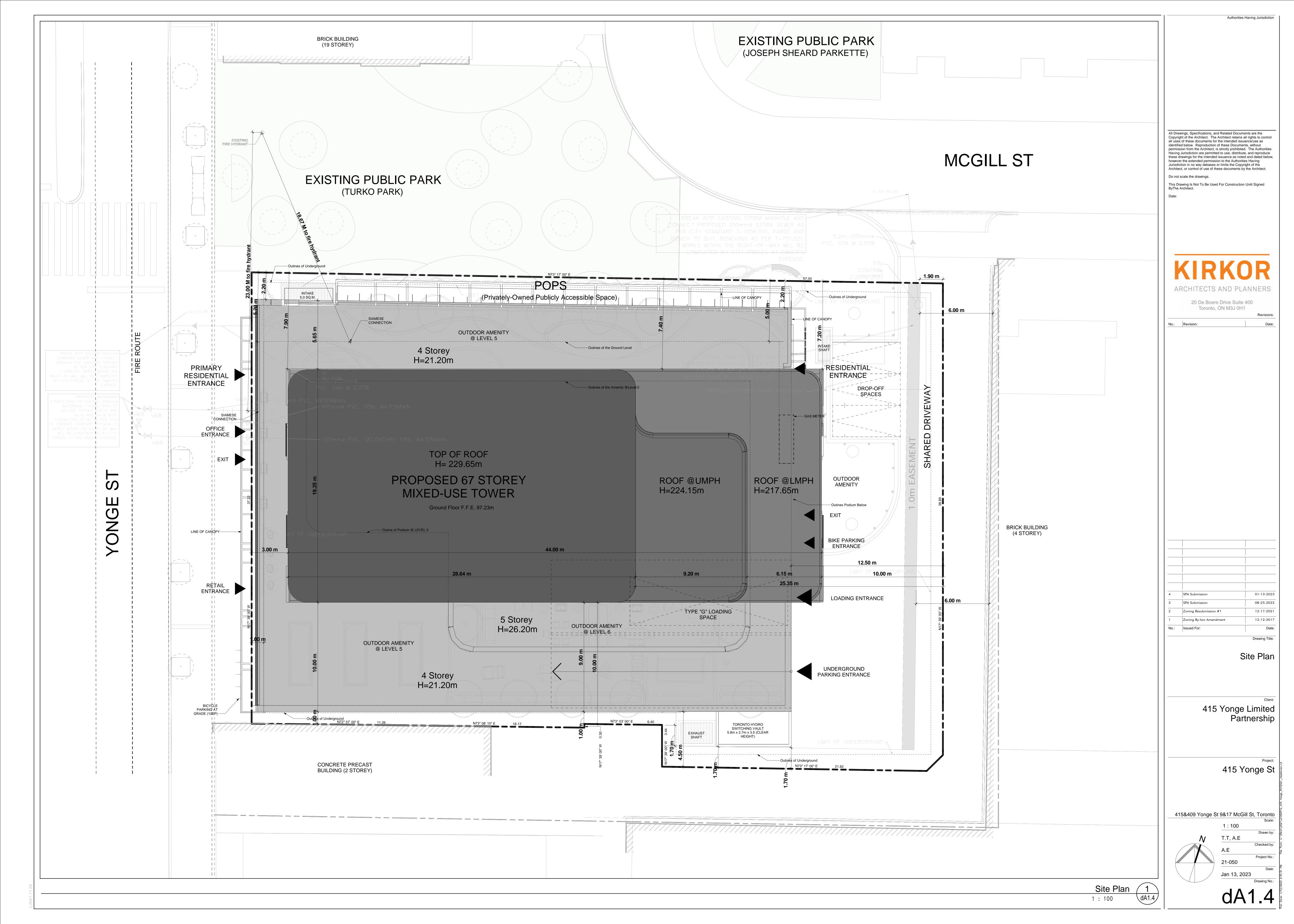
Truck Maneuver Diagram

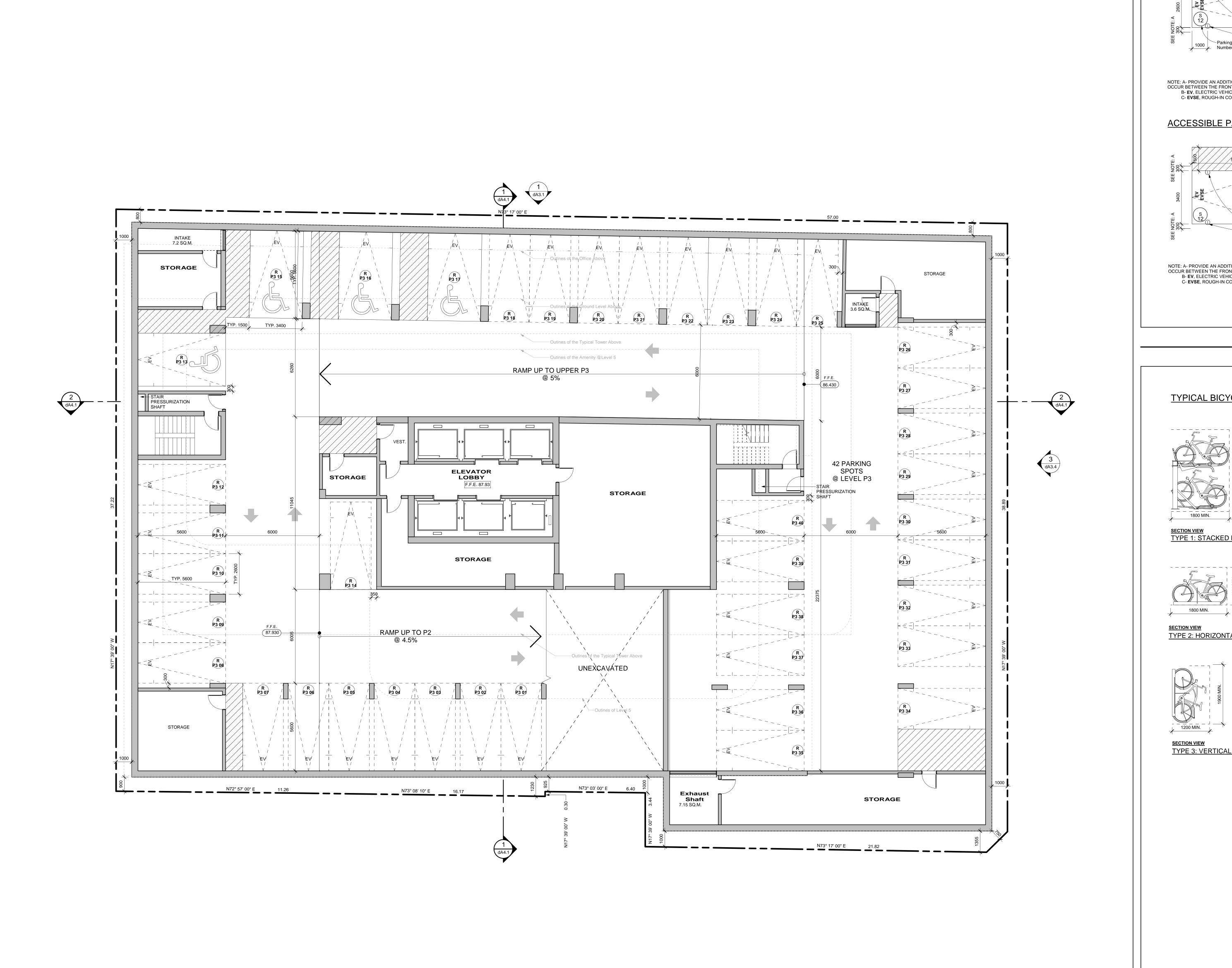
Green Roof Statistics

dA1.3

Jan 13, 2023

As indicated

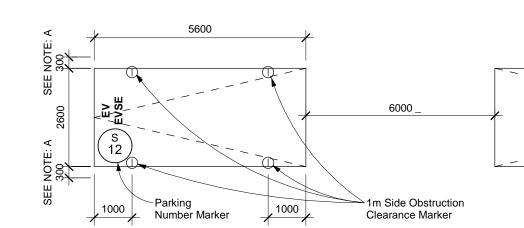




LEGEND:

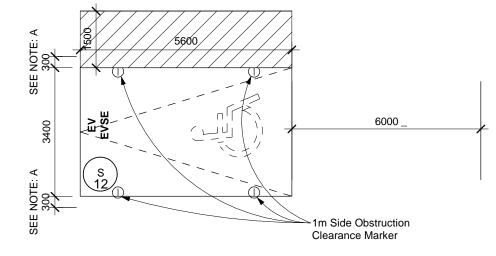
TYPICAL PARKING SPACE:

Drive Aisle @ 6m min.



NOTE: A- PROVIDE AN ADDITIONAL 300mm FOR PARKING SPACE WIDTH WHEN OBSTRUCTIONS OCCUR BETWEEN THE FRONT AND REAR 1000mm B- EV, ELECTRIC VEHICLES (PROVIDED WITH LEVEL 2 CHARGING OR HIGHER)
C- EVSE, ROUGH-IN CONDUITS FOR FUTURE ELECTRIC VEHICLE SUPPLY EQIPMENT

ACCESSIBLE PARKING SPACE:



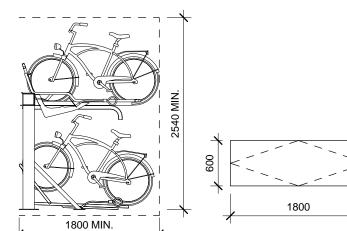
NOTE: A- PROVIDE AN ADDITIONAL 300mm FOR PARKING SPACE WIDTH WHEN OBSTRUCTIONS OCCUR BETWEEN THE FRONT AND REAR 1000mm

B- EV, ELECTRIC VEHICLES (PROVIDED WITH LEVEL 2 CHARGING OR HIGHER)
C- EVSE, ROUGH-IN CONDUITS FOR FUTURE ELECTRIC VEHICLE SUPPLY EQIPMENT

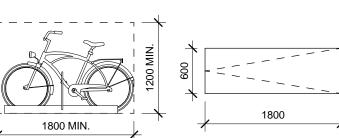
Typical Parking Notes 2

NTS dA2.1

TYPICAL BICYCLE PARKING SPACE:

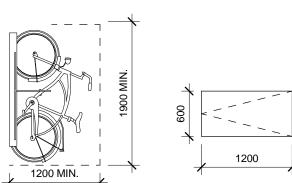


SECTION VIEW
TYPE 1: STACKED BICYCLE PARKING



SECTION VIEW

TYPE 2: HORIZONTAL BICYCLE PARKING



SECTION VIEW
TYPE 3: VERTICAL BICYCLE PARKING

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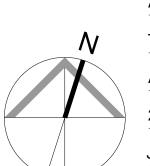
08-25-2022 SPA Submission Zoning Resubmission #1 Zoning By-law Amendment

Parking Level P3 Floor Plan

415 Yonge Limited Partnership

415 Yonge St

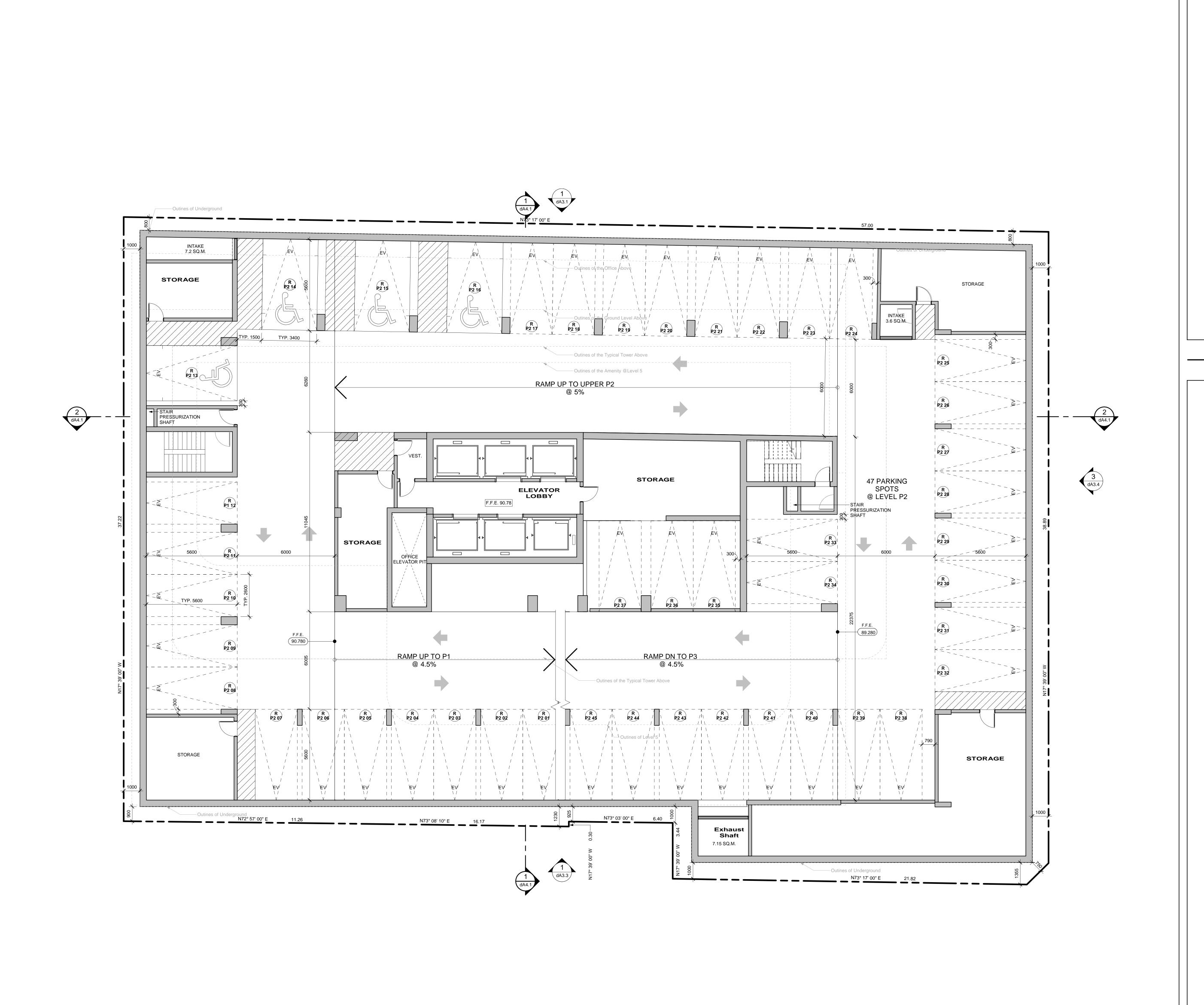
415&409 Yonge St 9&17 McGill St, Toronto



Jan 13, 2023

Floor Plan - Level P3 3 1:100 dA2.1

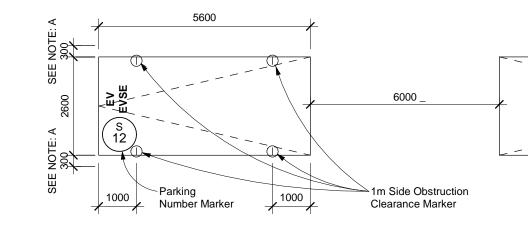
Typical Bicycle Parking 1



LEGEND:

TYPICAL PARKING SPACE:

Drive Aisle @ 6m min.

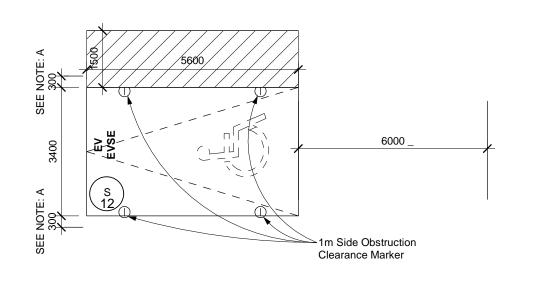


NOTE: A- PROVIDE AN ADDITIONAL 300mm FOR PARKING SPACE WIDTH WHEN OBSTRUCTIONS OCCUR BETWEEN THE FRONT AND REAR 1000mm

B- EV, ELECTRIC VEHICLES (PROVIDED WITH LEVEL 2 CHARGING OR HIGHER)

C- EVSE, ROUGH-IN CONDUITS FOR FUTURE ELECTRIC VEHICLE SUPPLY EQIPMENT

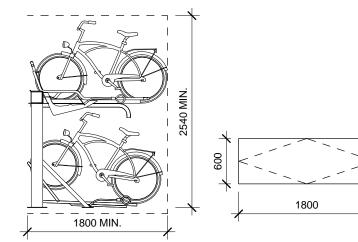
ACCESSIBLE PARKING SPACE:



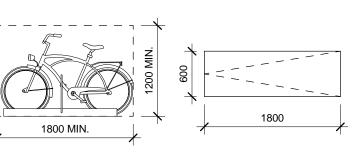
NOTE: A- PROVIDE AN ADDITIONAL 300mm FOR PARKING SPACE WIDTH WHEN OBSTRUCTIONS OCCUR BETWEEN THE FRONT AND REAR 1000mm B- EV, ELECTRIC VEHICLES (PROVIDED WITH LEVEL 2 CHARGING OR HIGHER) C- EVSE, ROUGH-IN CONDUITS FOR FUTURE ELECTRIC VEHICLE SUPPLY EQIPMENT

Typical Parking Notes 2

TYPICAL BICYCLE PARKING SPACE:

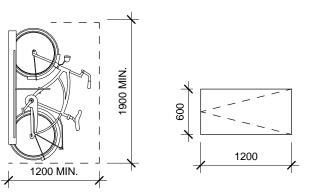


SECTION VIEW
TYPE 1: STACKED BICYCLE PARKING



SECTION VIEW

TYPE 2: HORIZONTAL BICYCLE PARKING



SECTION VIEW
TYPE 3: VERTICAL BICYCLE PARKING

Floor Plan - Level P2 3 1:100 dA2.2

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ARCHITECTS AND PLANNERS

20 De Boers Drive Suite 400 Toronto, ON M3J 0H1

SPA Submission

Zoning Resubmission #1

Zoning By-law Amendment

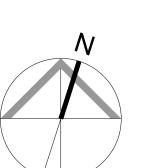
Parking Level P2 Floor Plan

08-25-2022

415 Yonge Limited Partnership

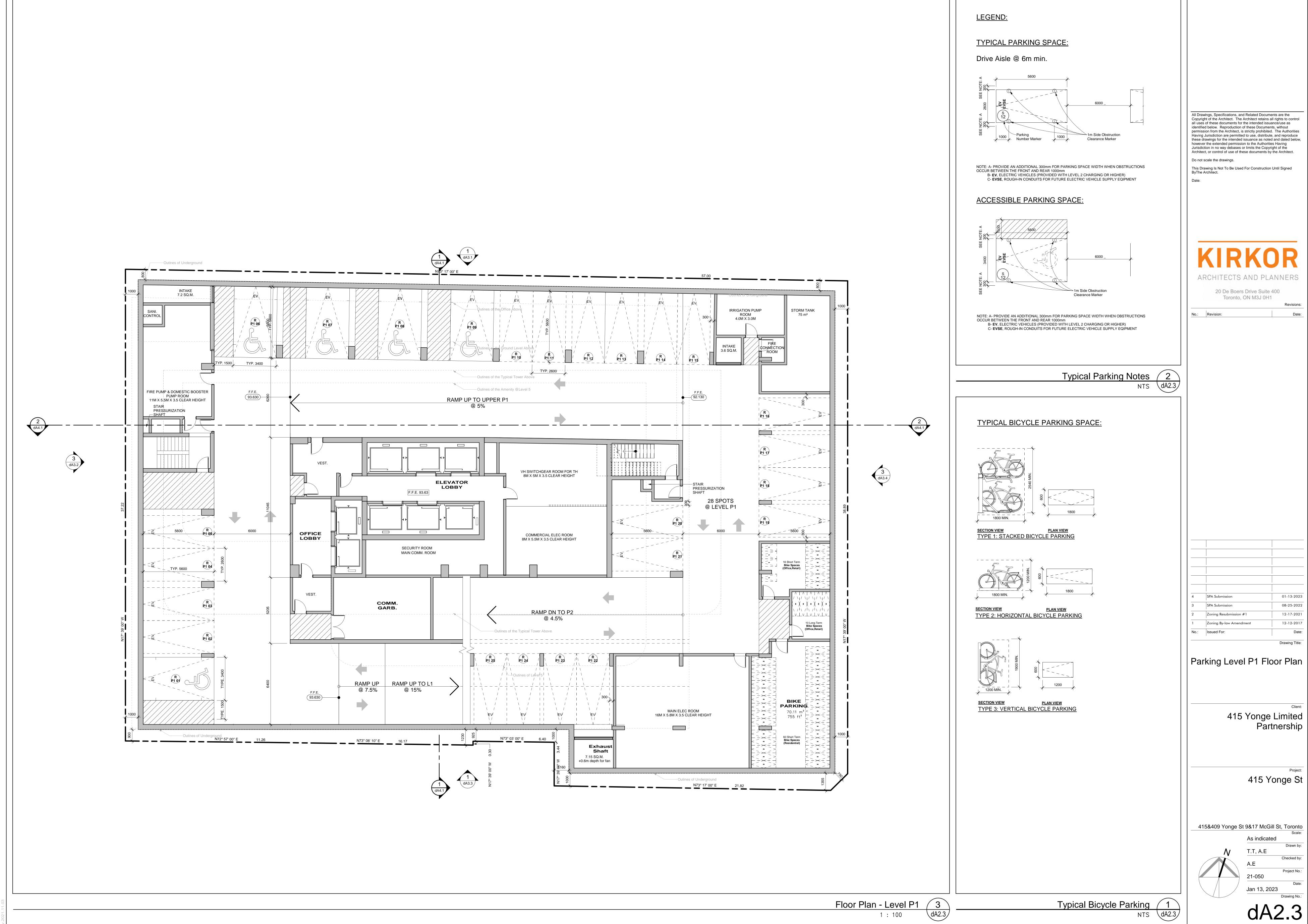
415 Yonge St

415&409 Yonge St 9&17 McGill St, Toronto

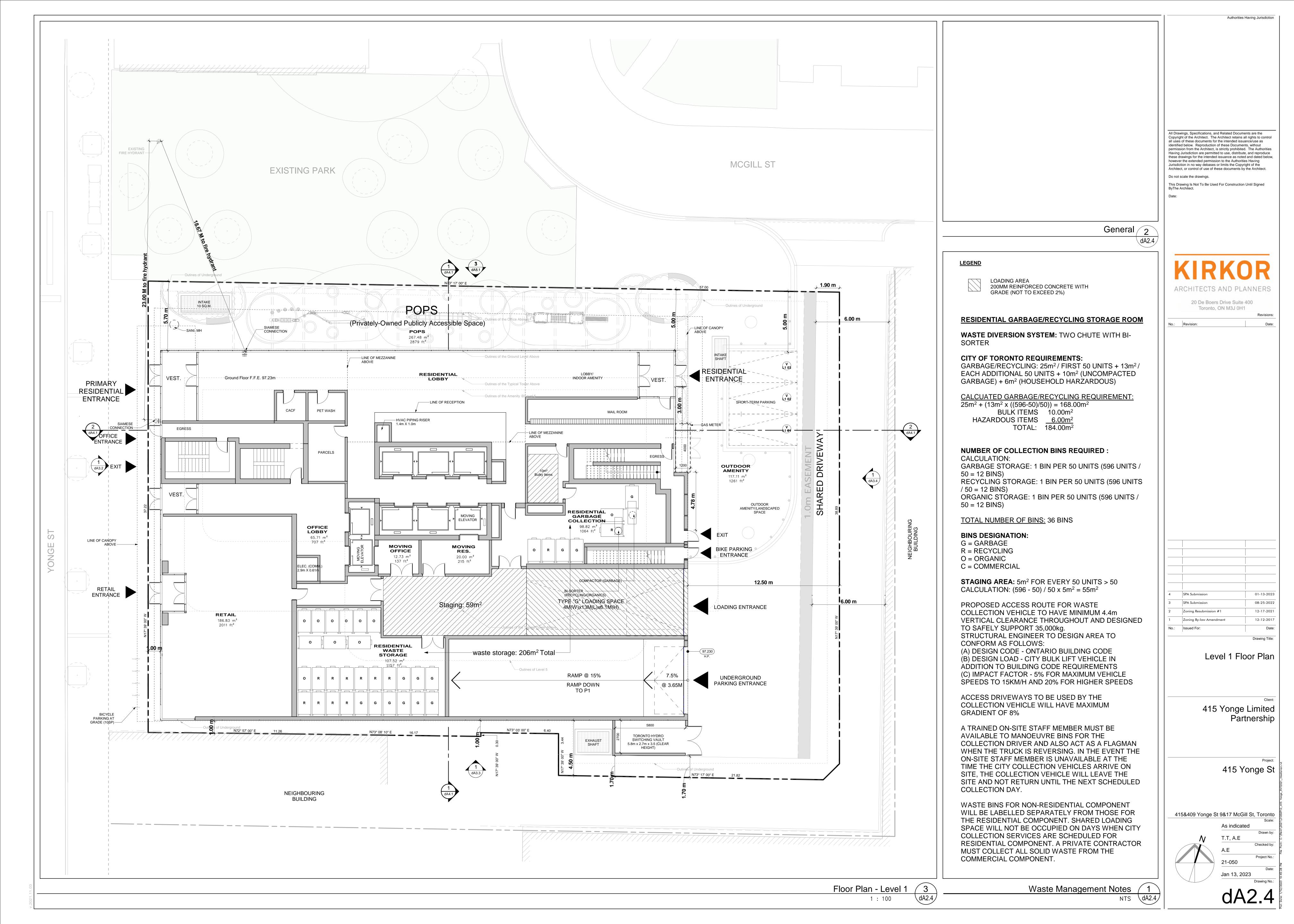


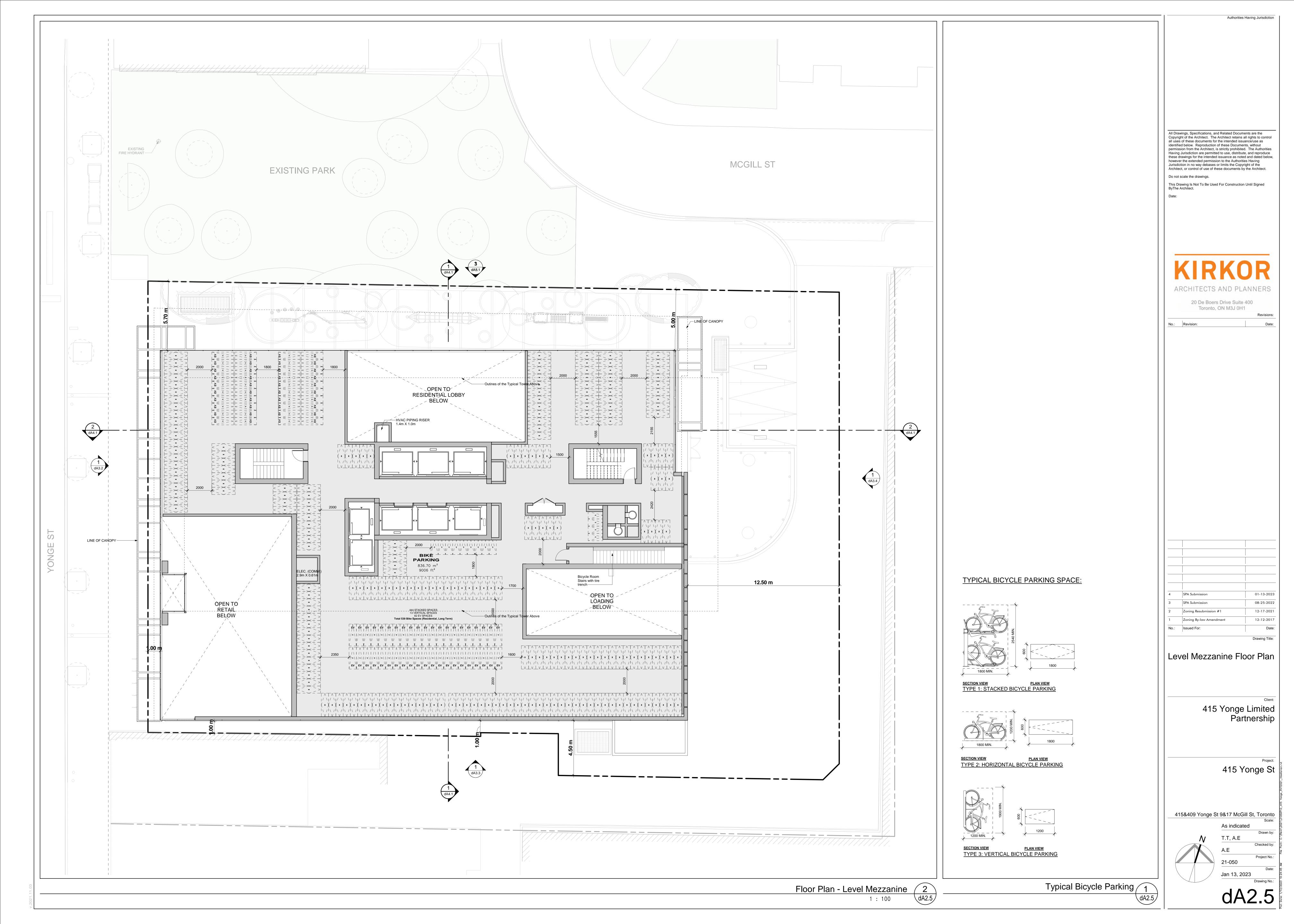
Jan 13, 2023

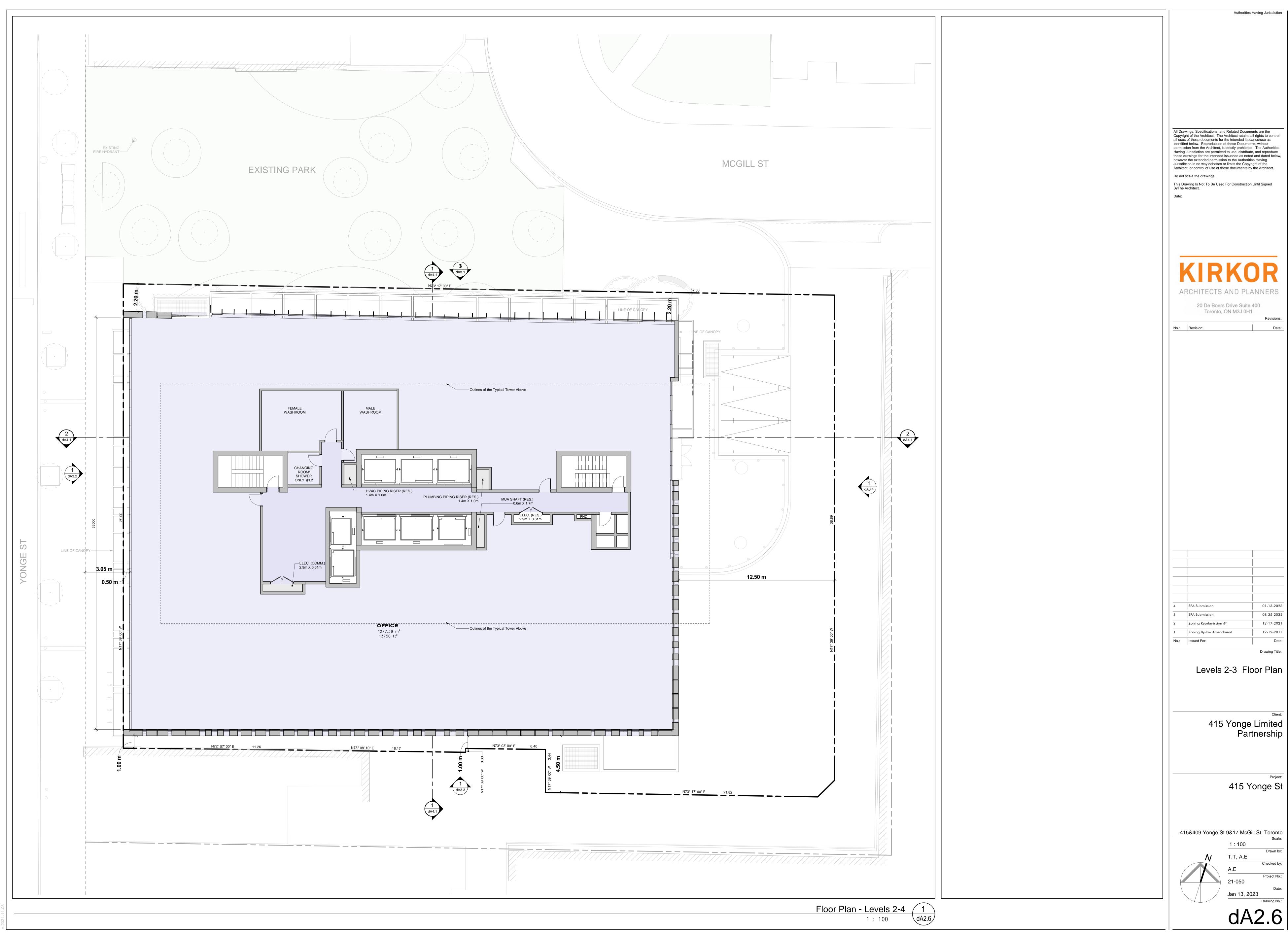
Typical Bicycle Parking 1

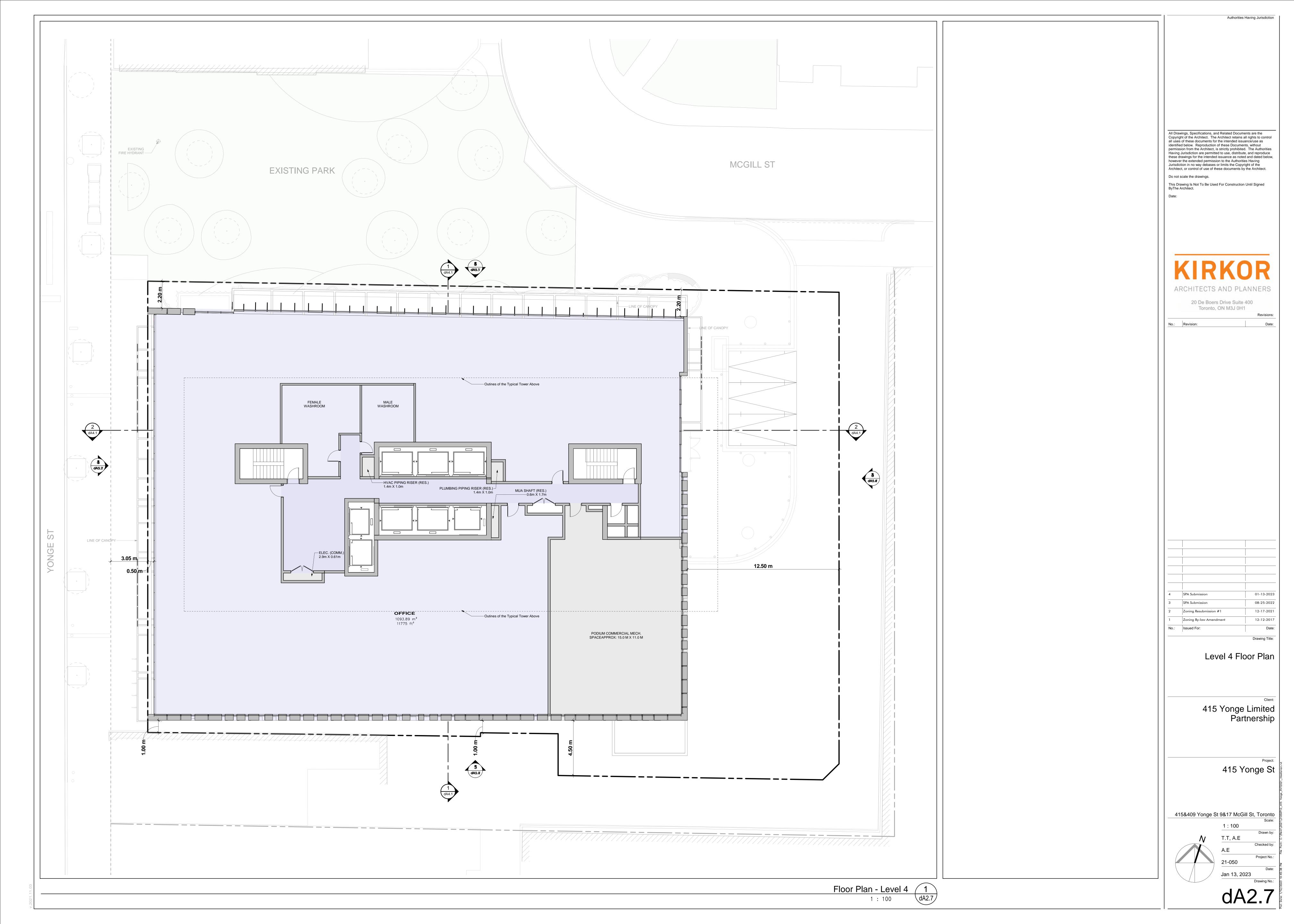


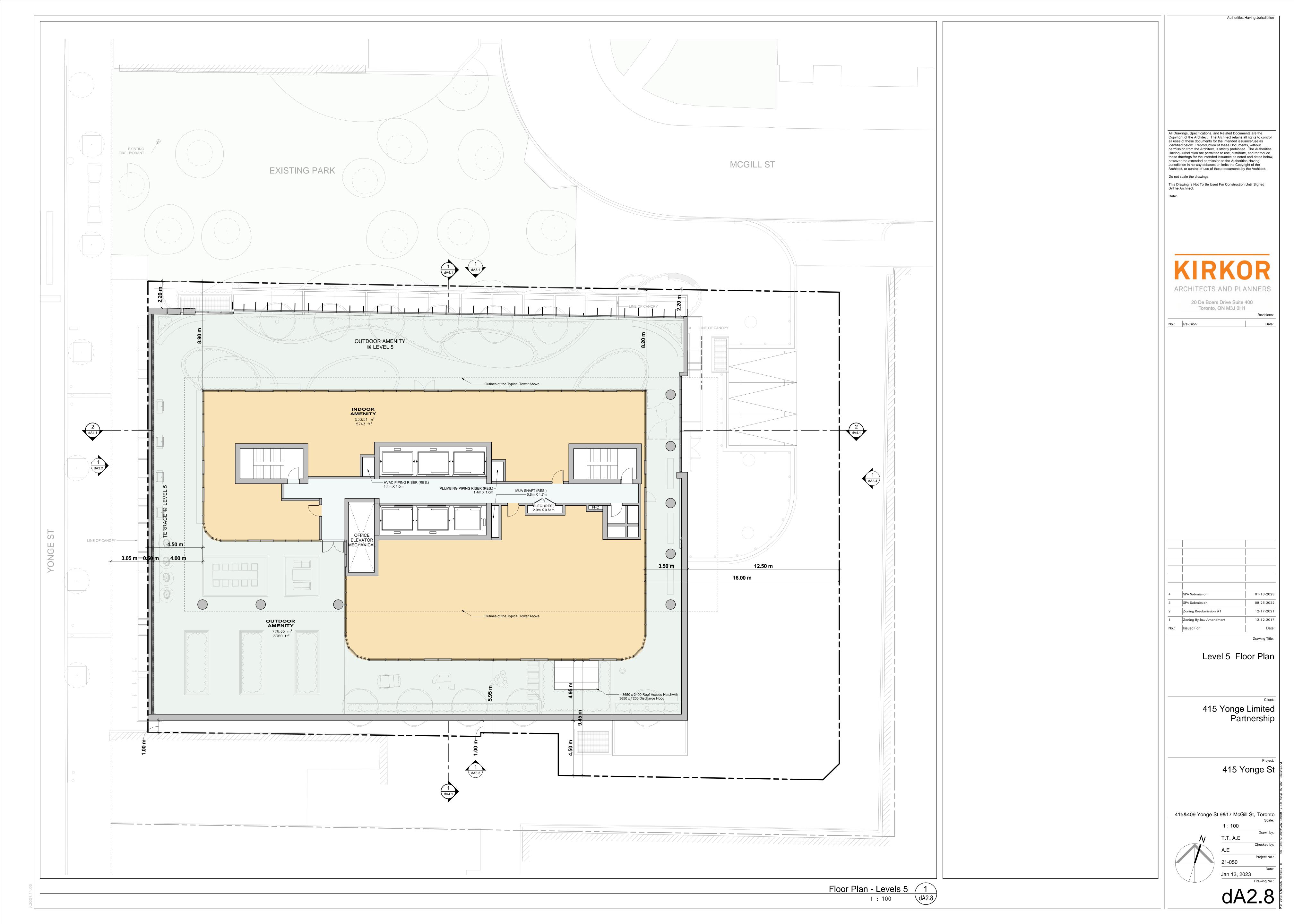
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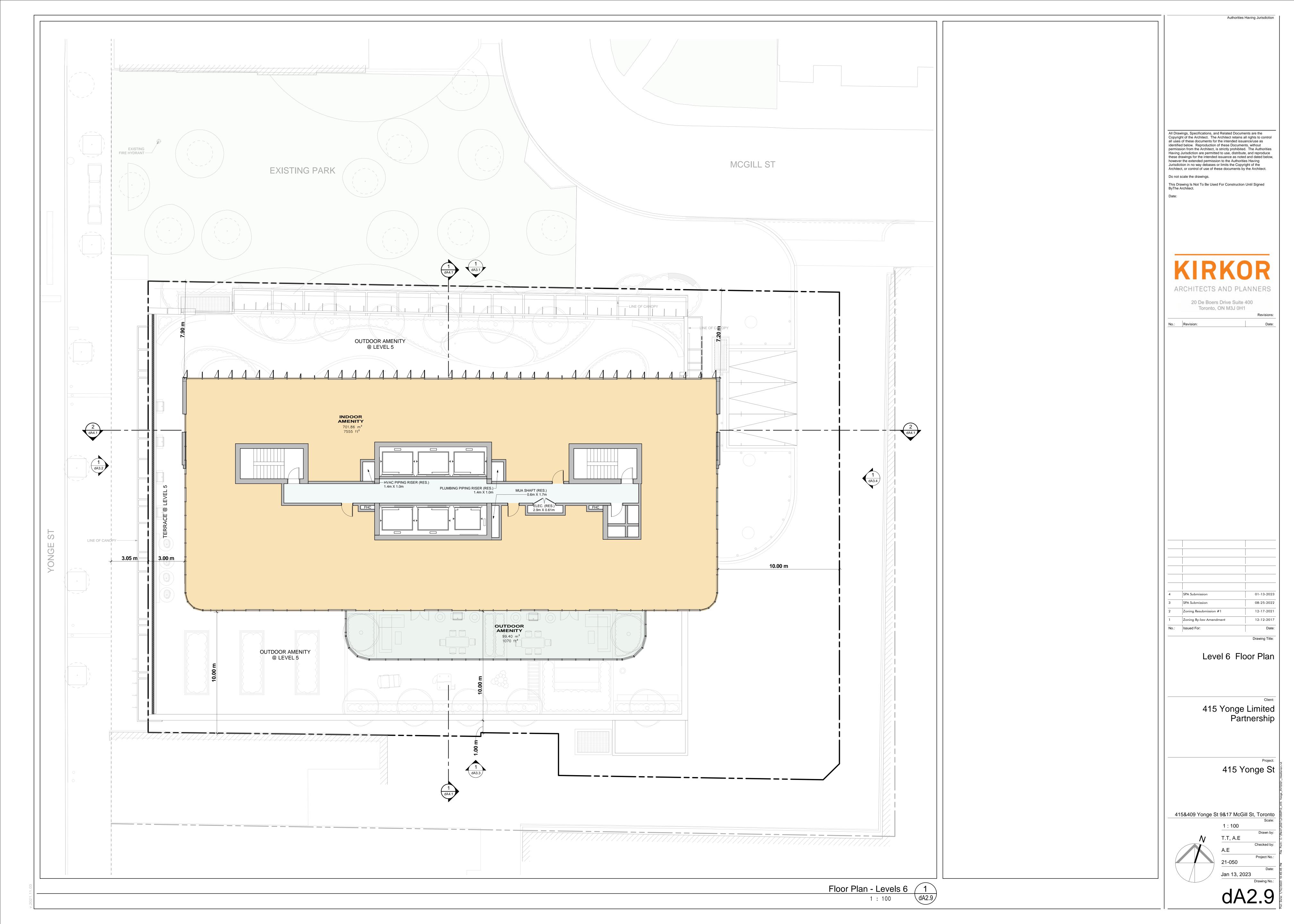


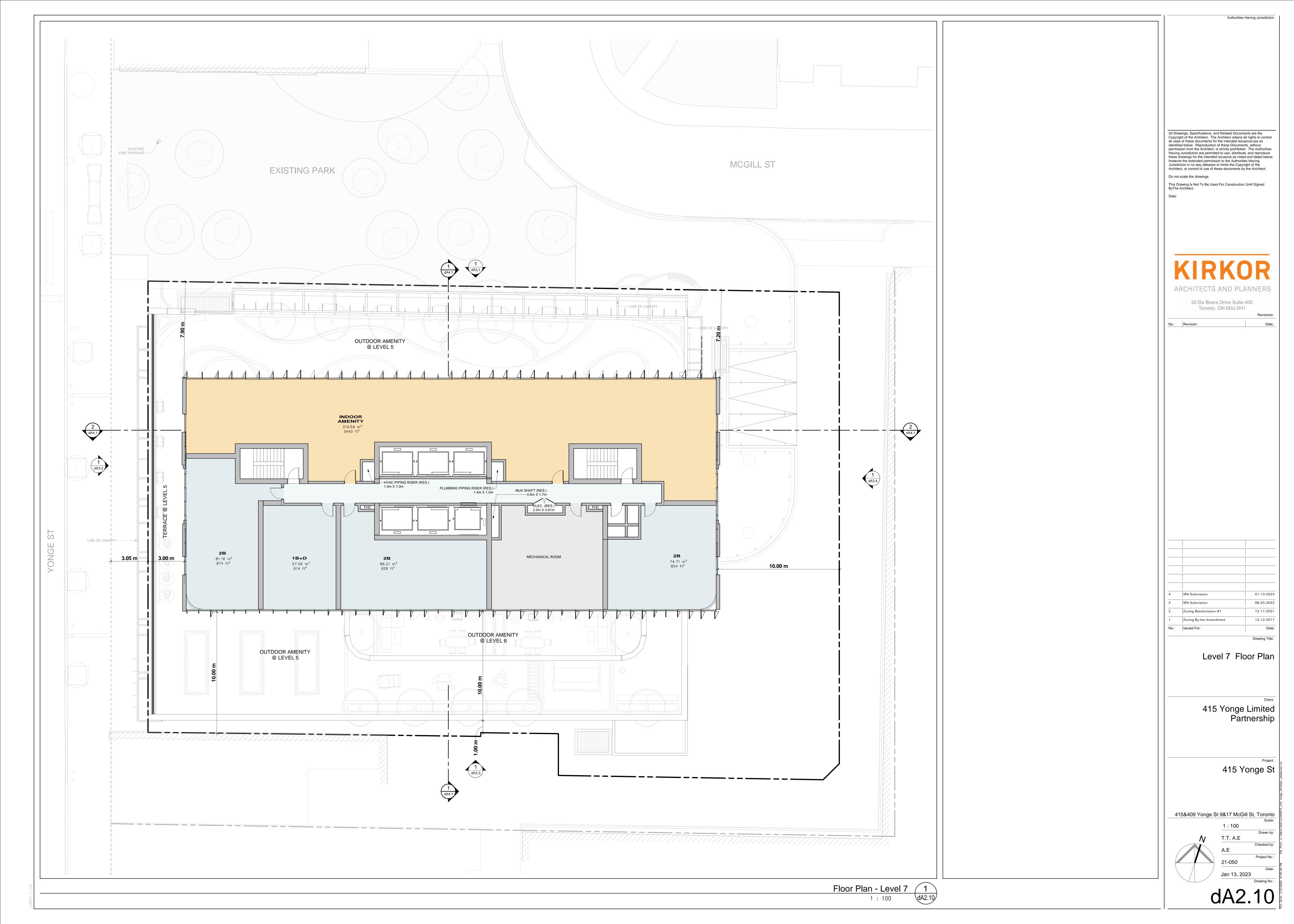


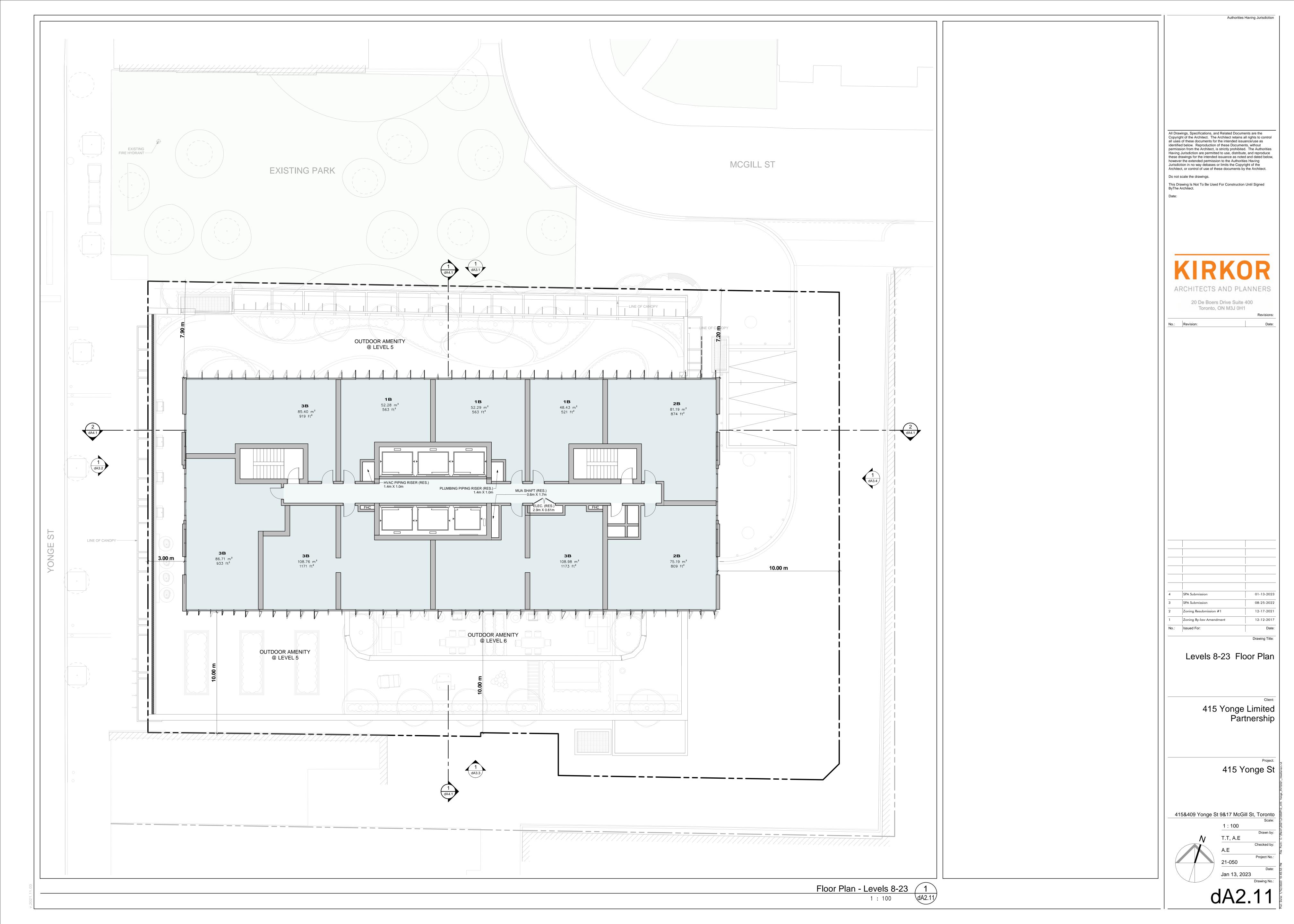


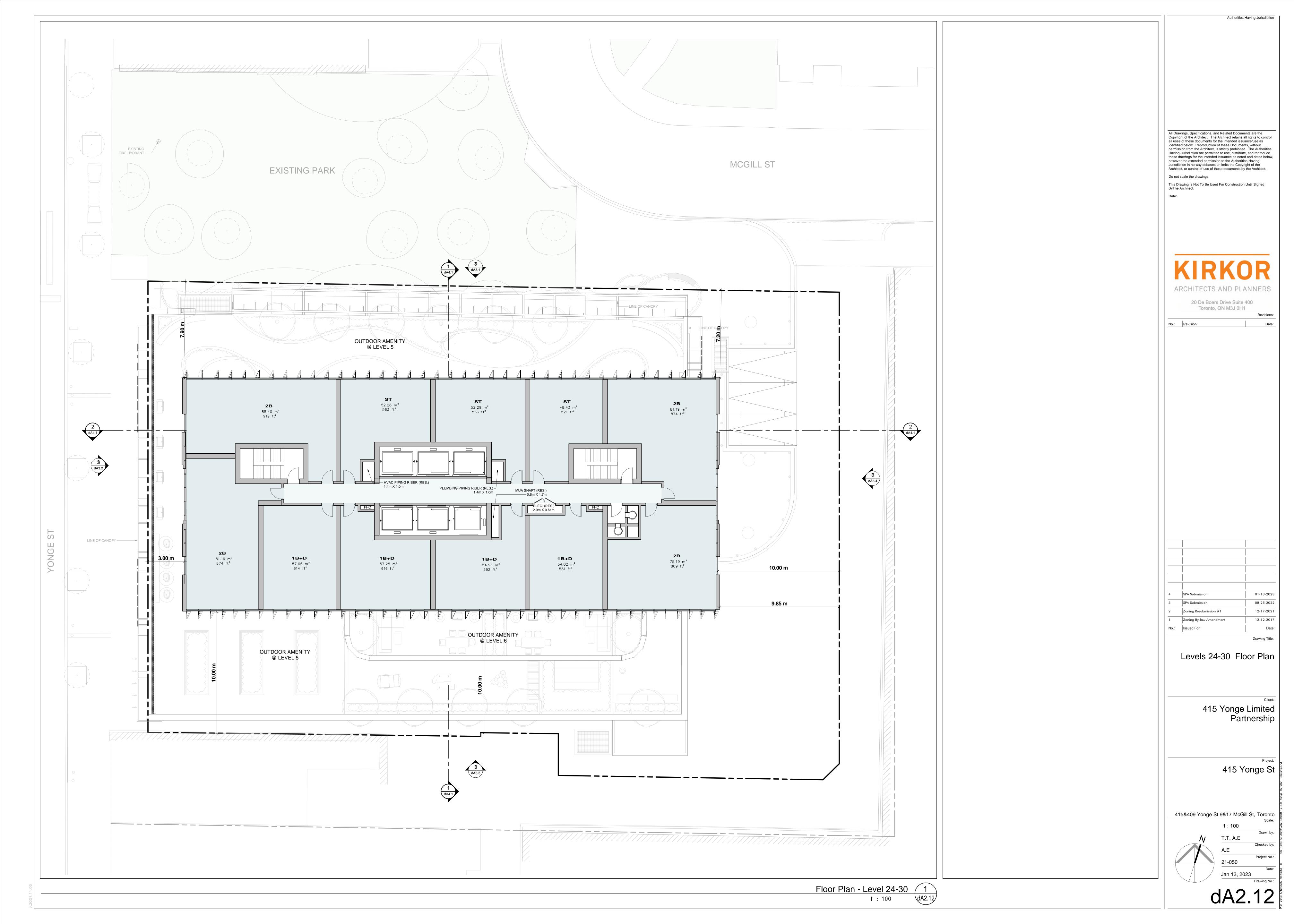


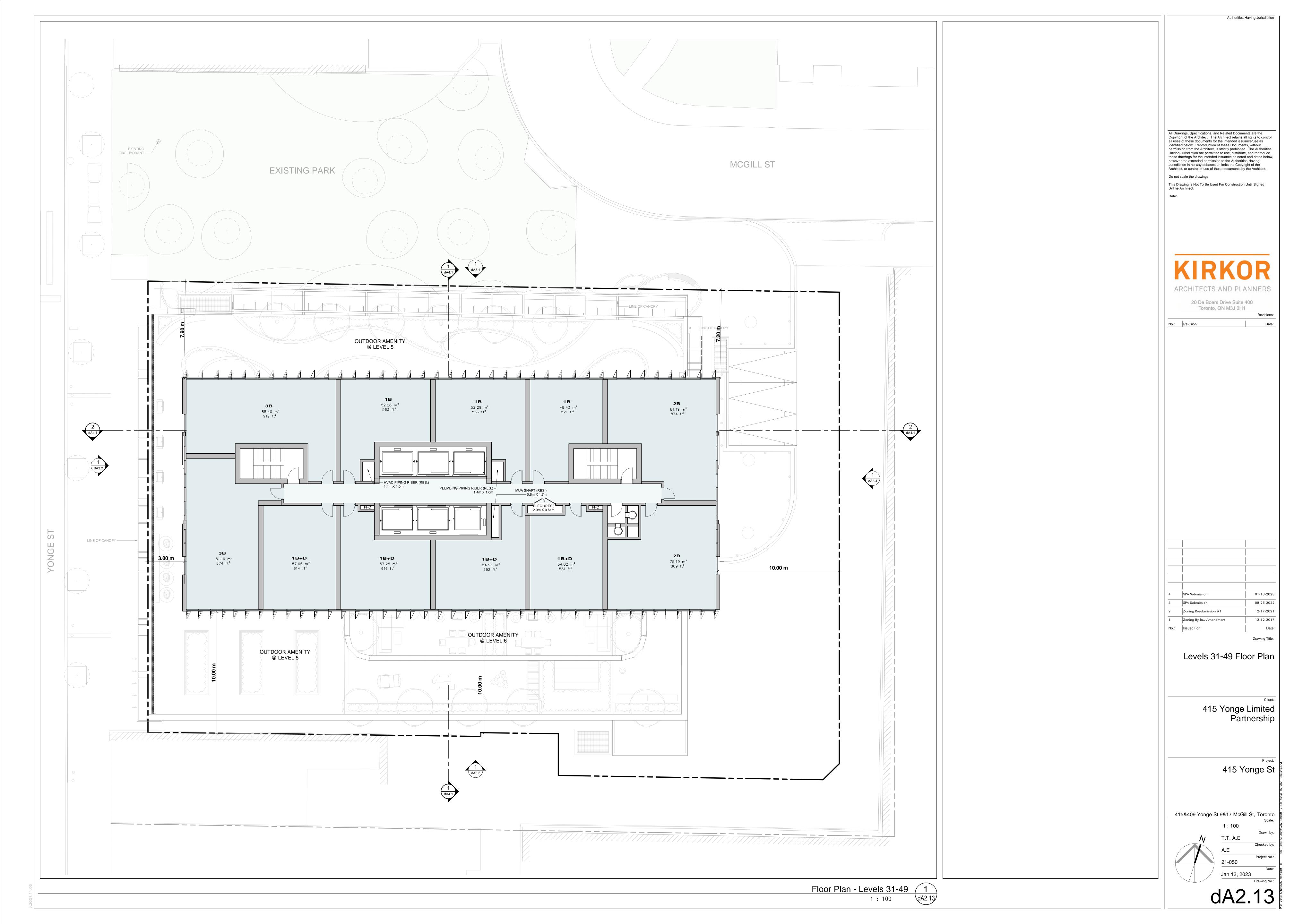


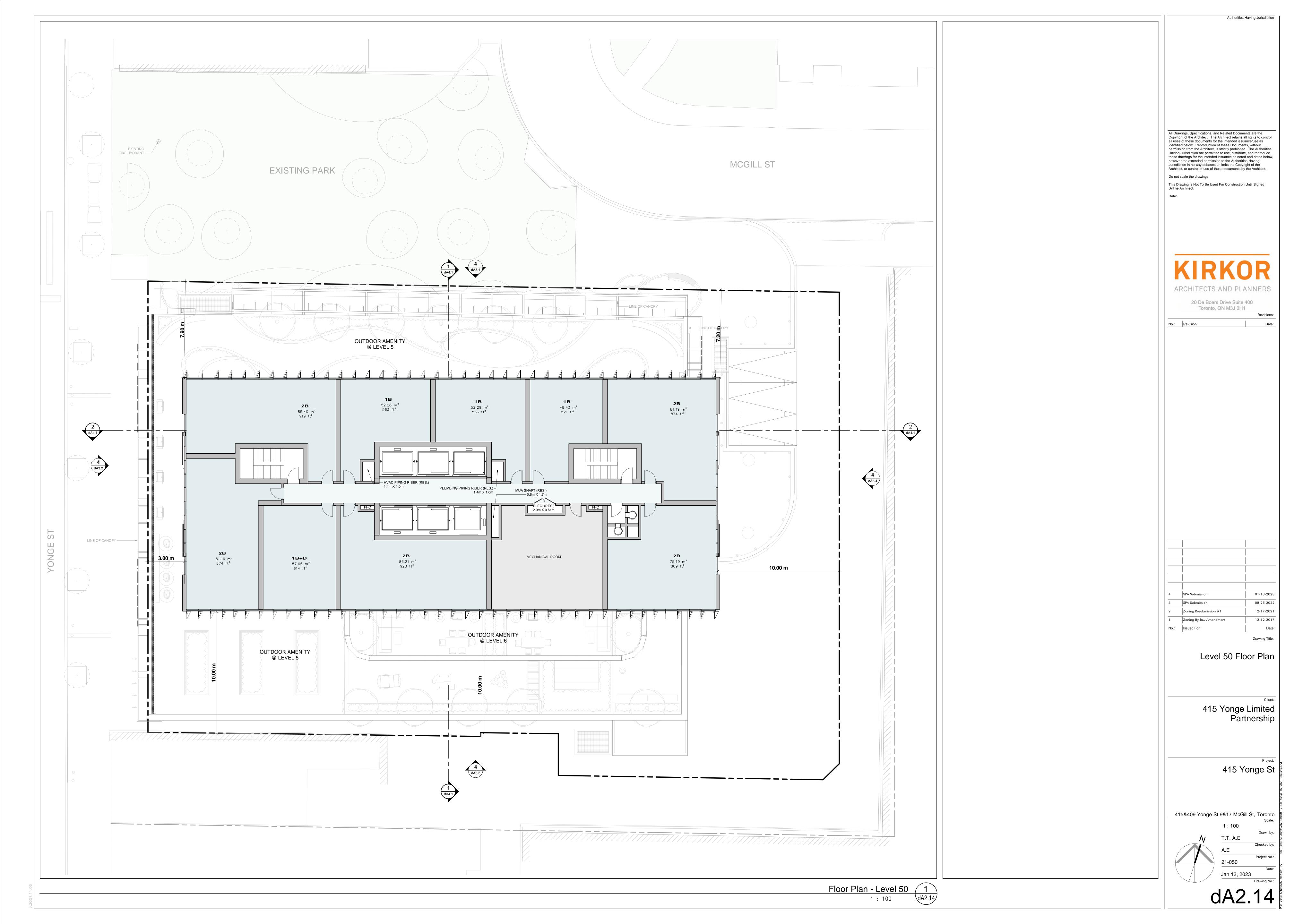


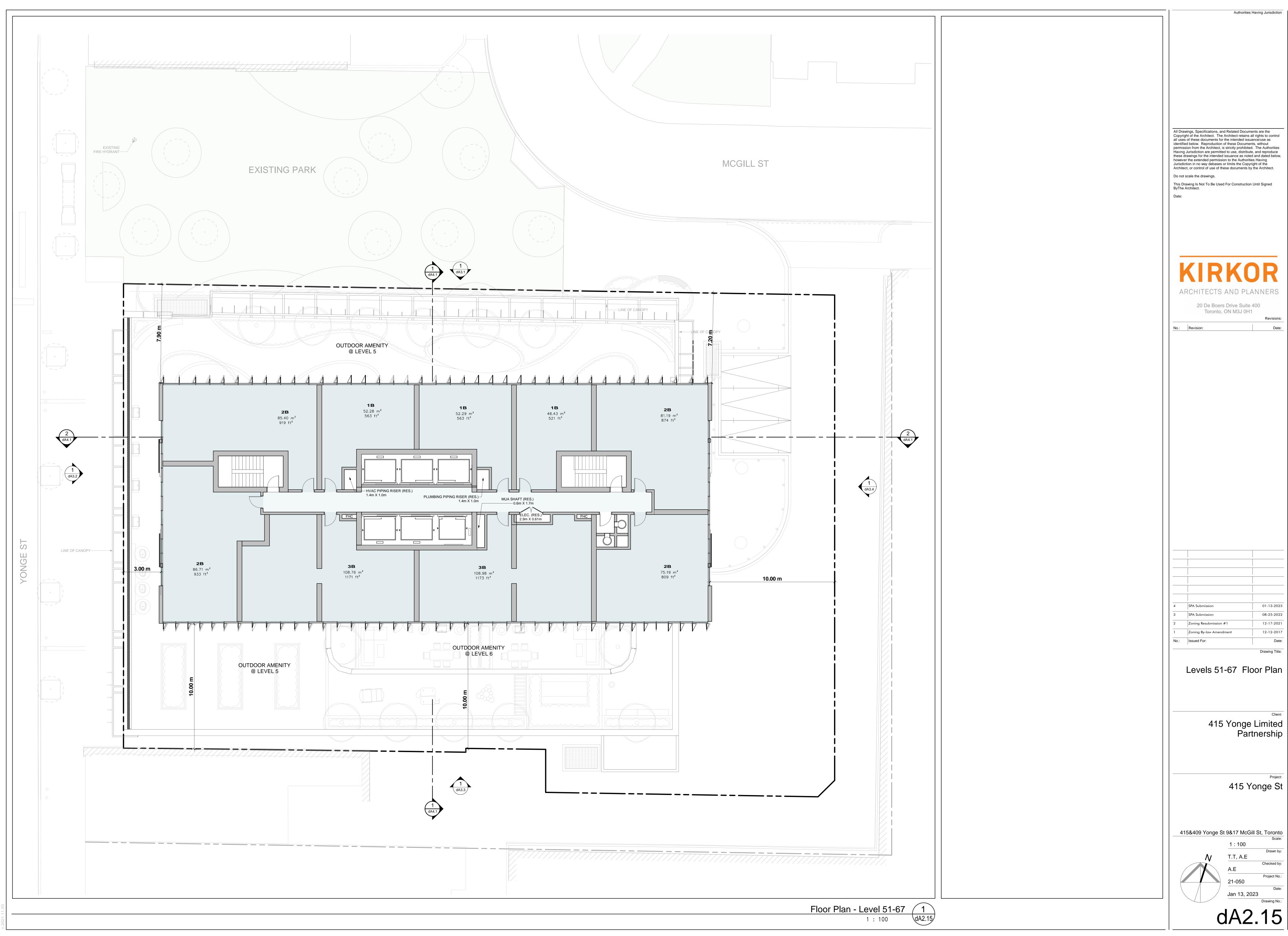


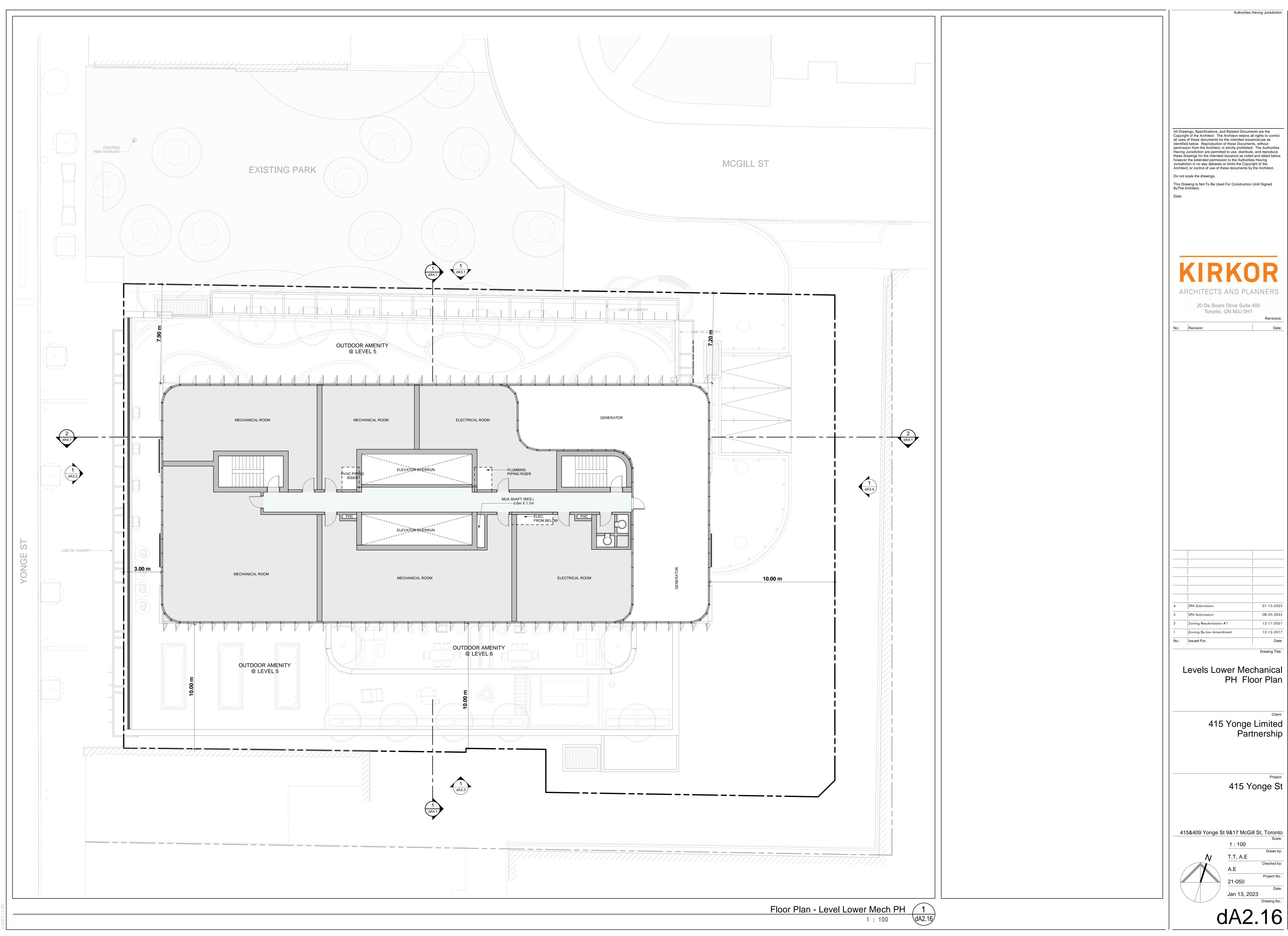


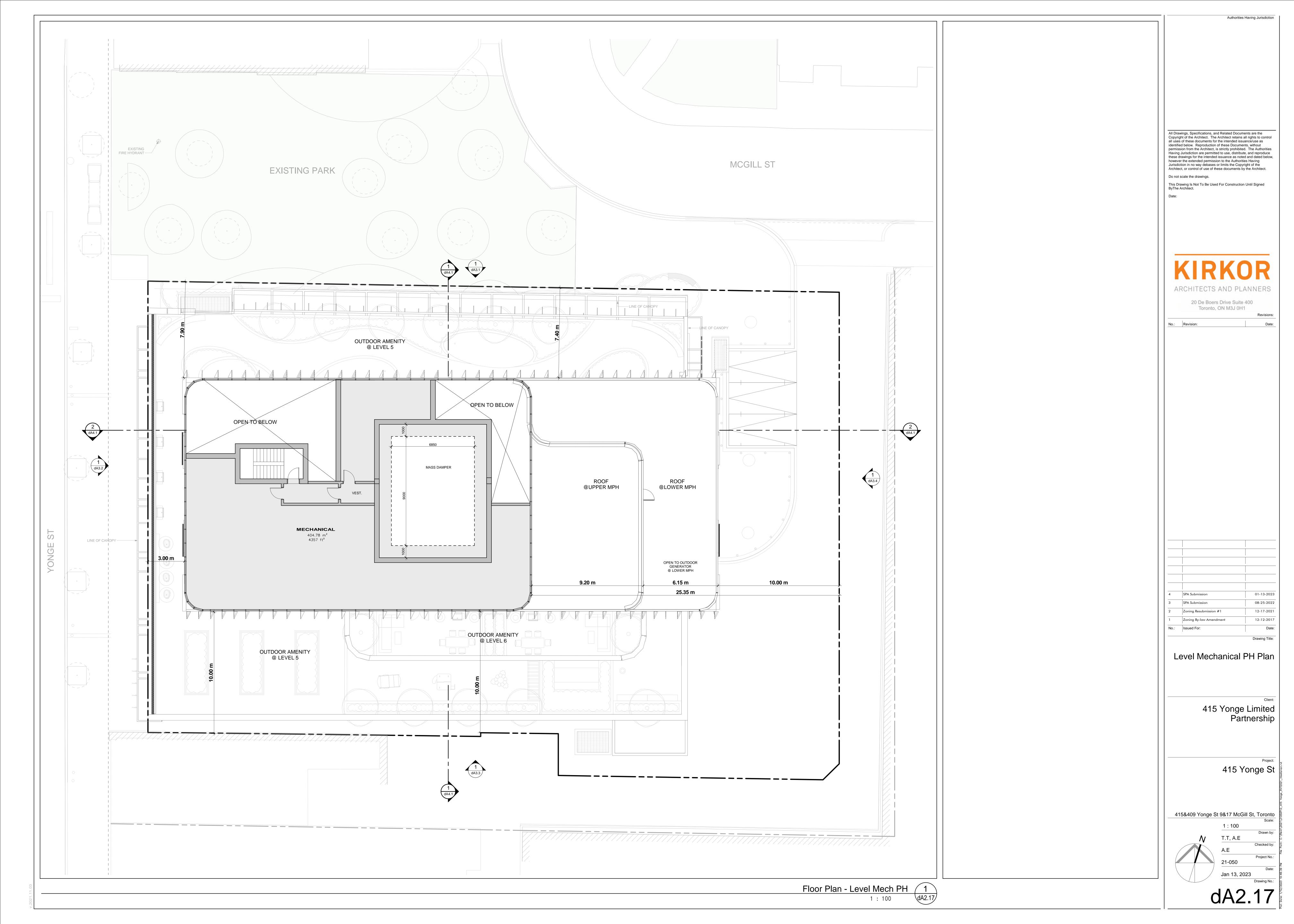


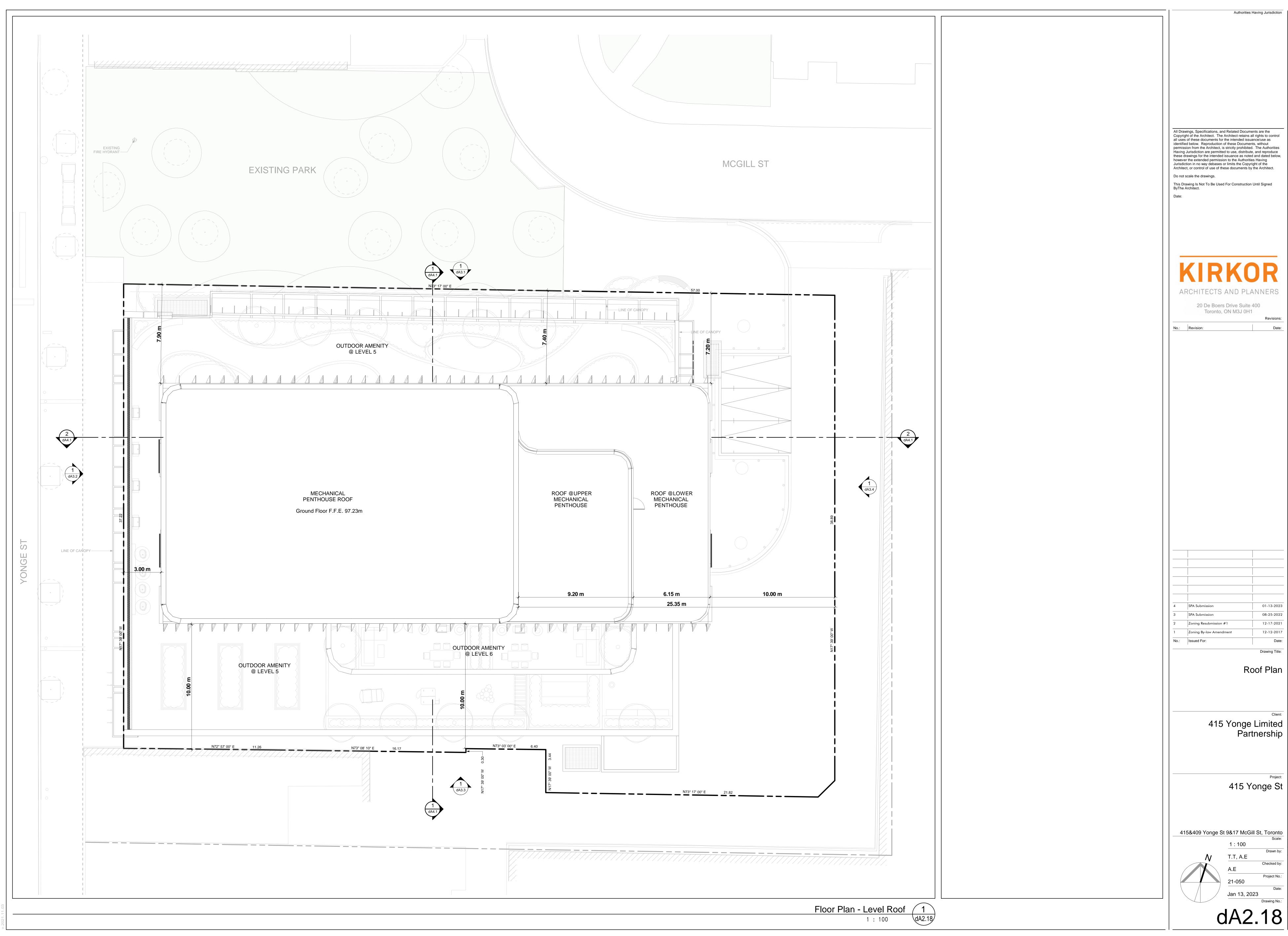


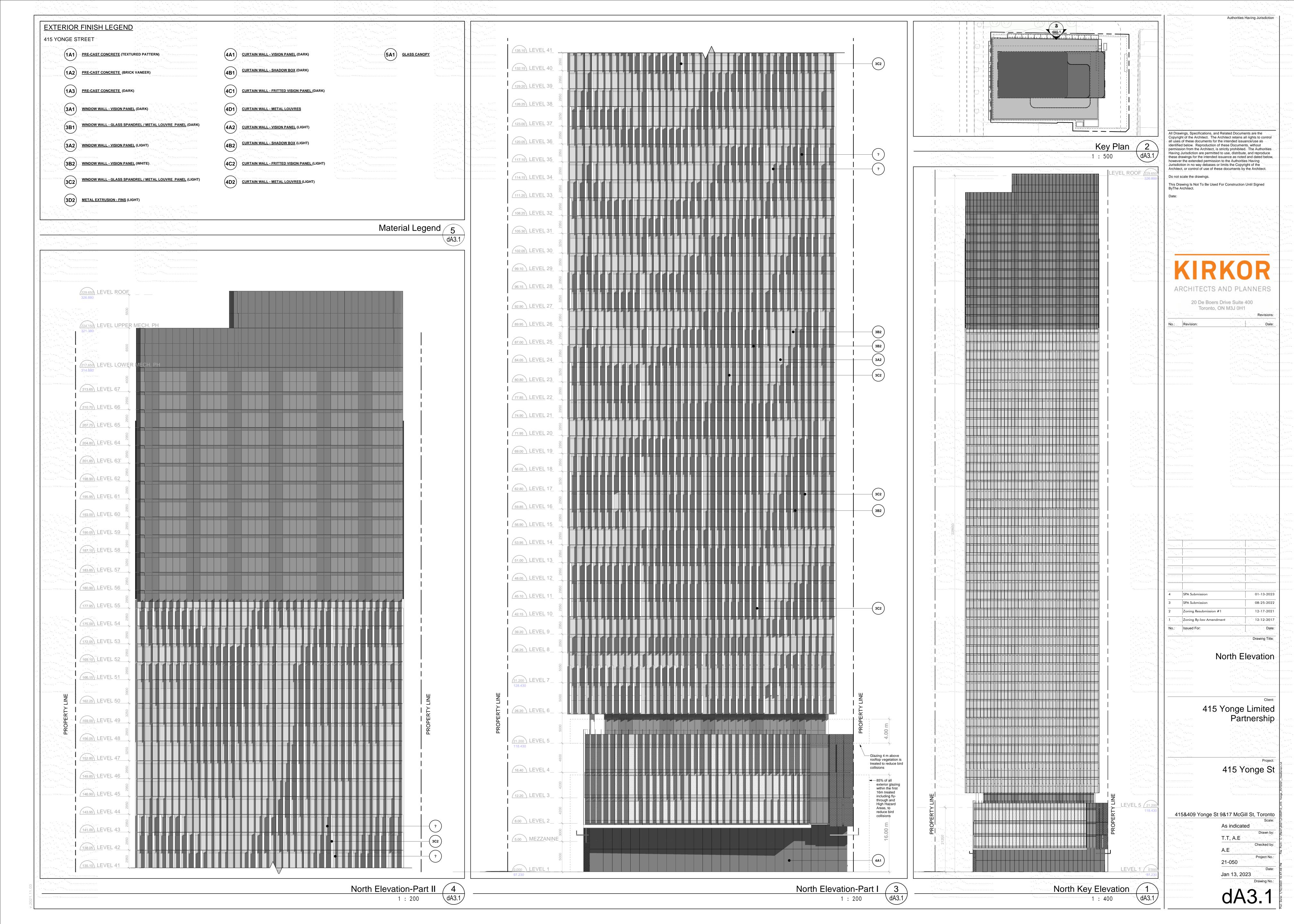


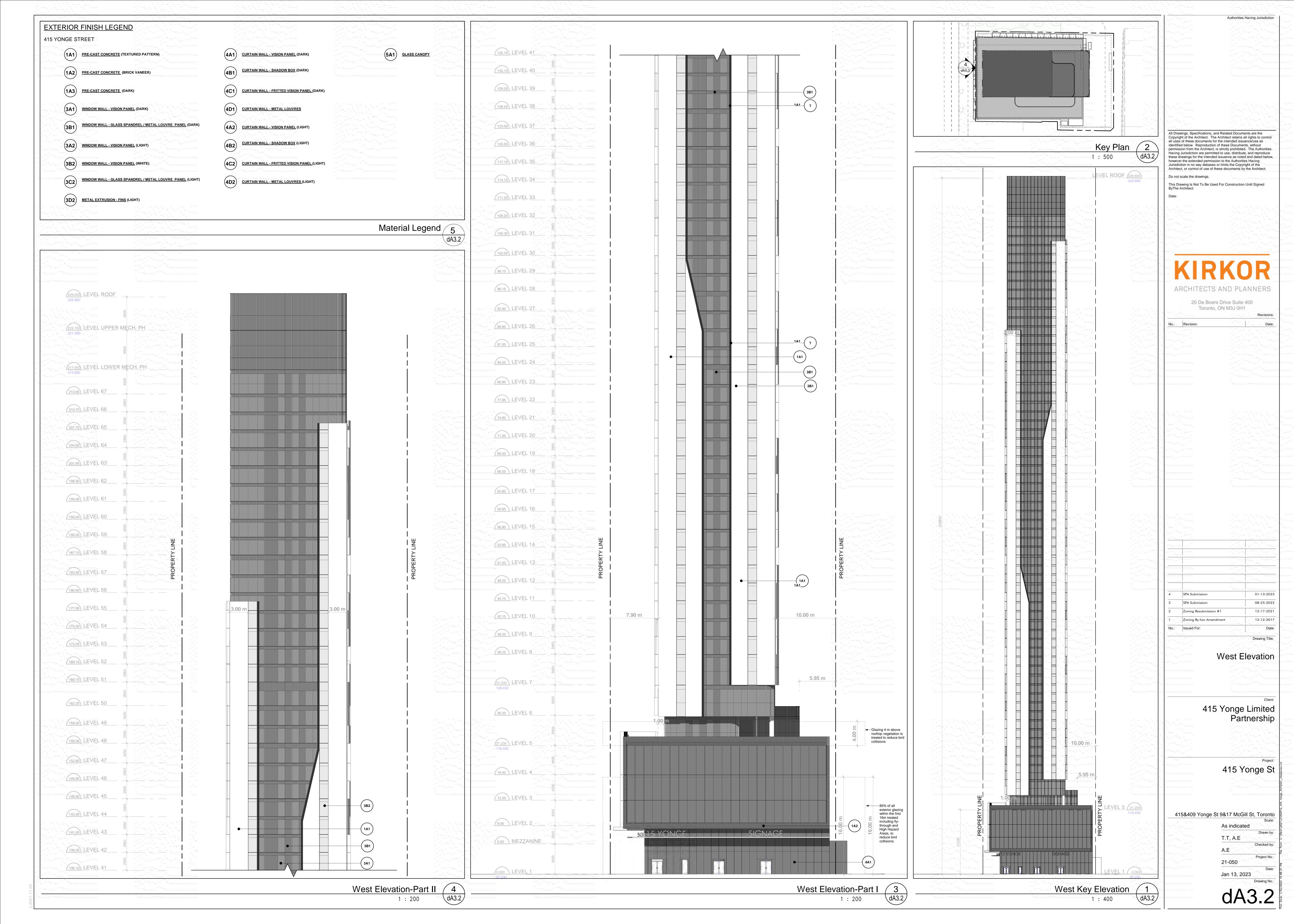


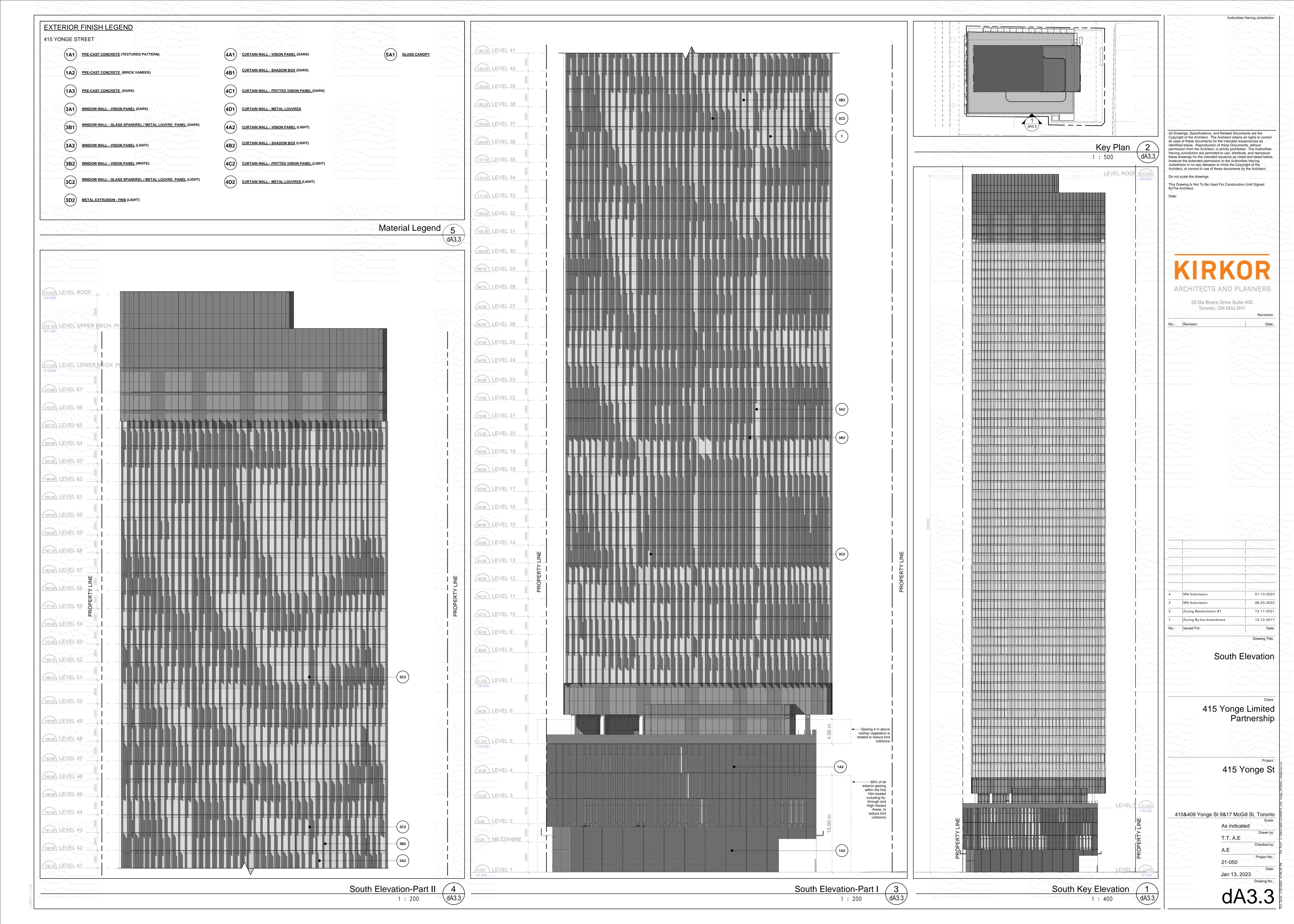


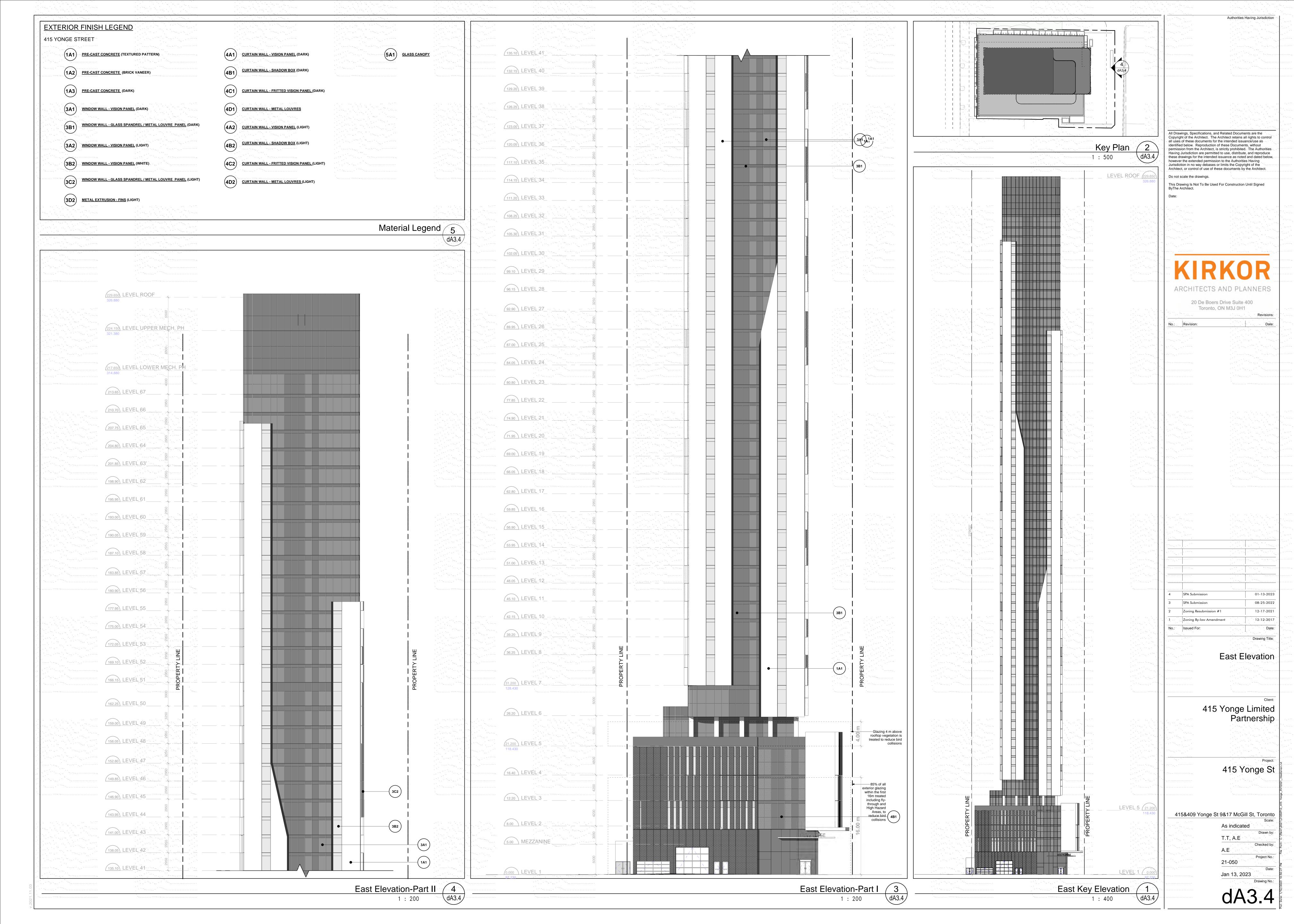


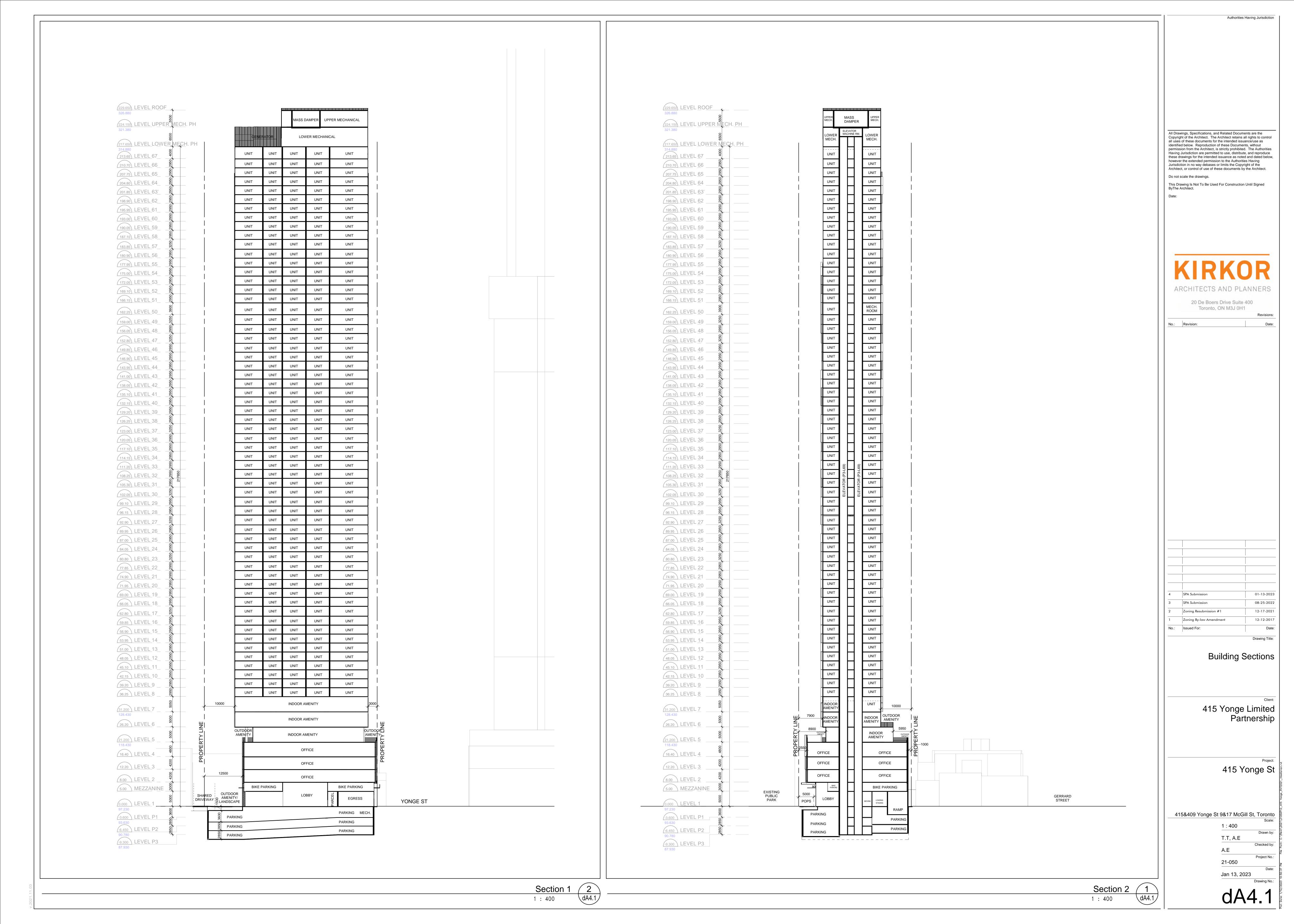


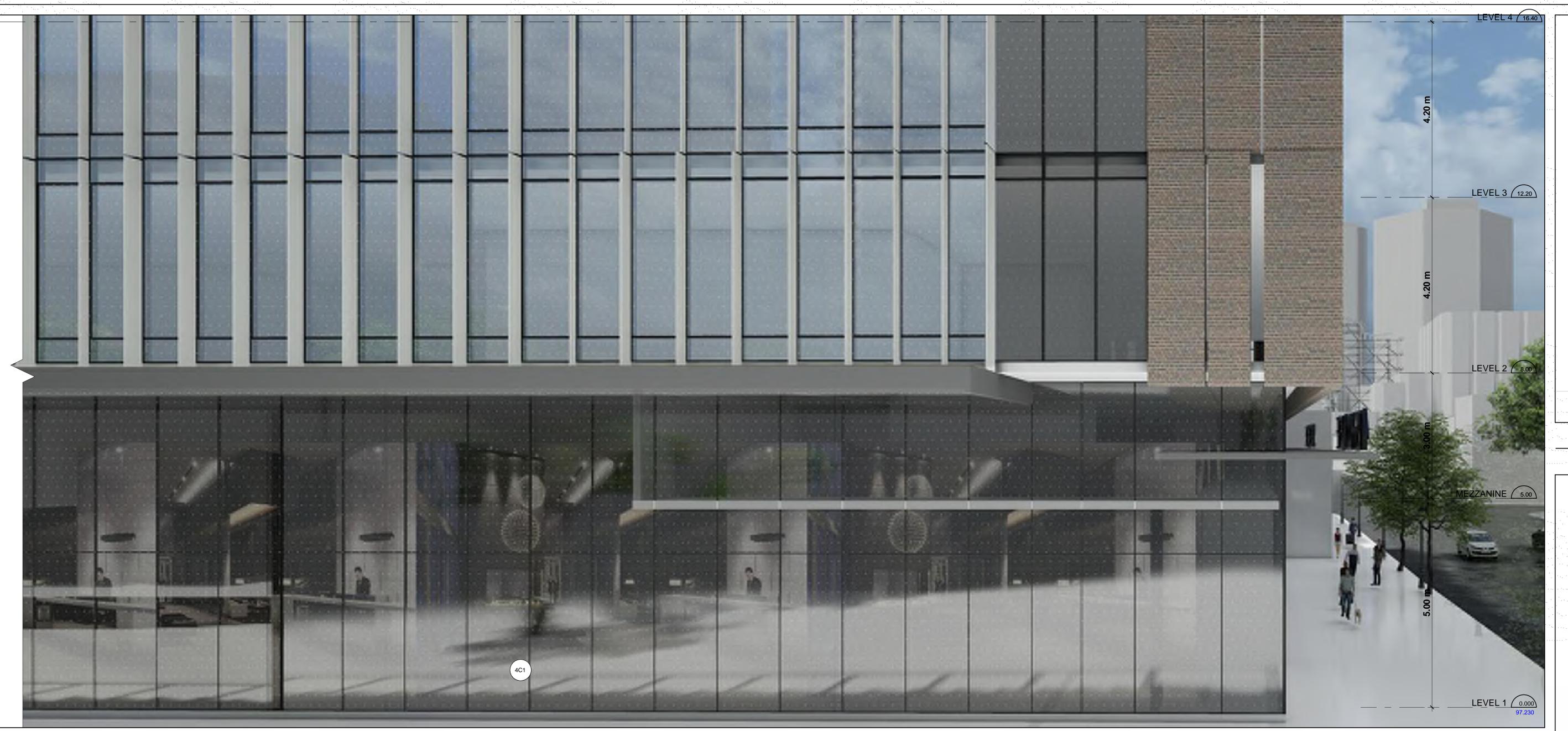


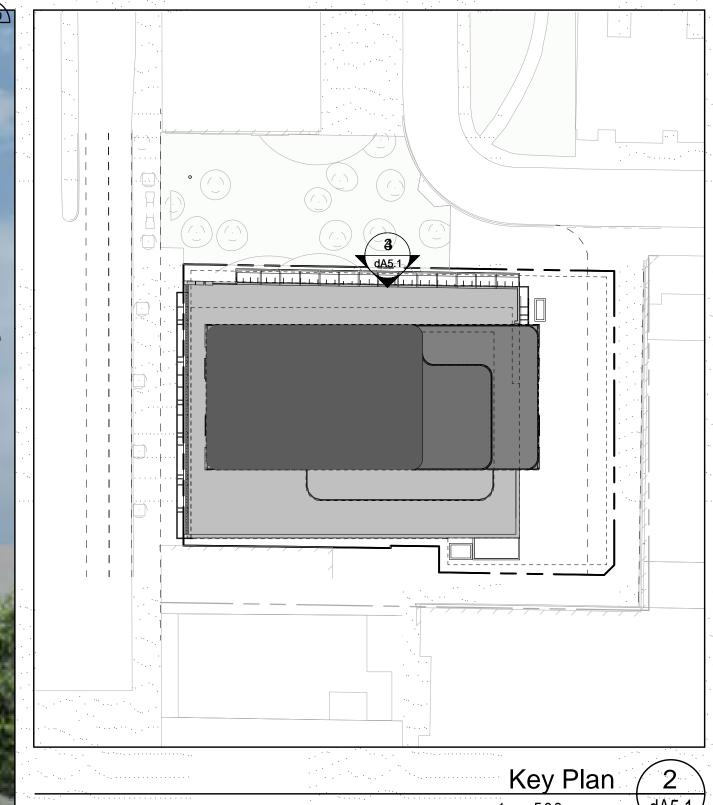












ARCHITECTS AND PLANNERS

20 De Boers Drive Suite 400 Toronto, ON M3J 0H1

08-25-2022

SPA Submission

Zoning Resubmission #1

Colored Elevations - North Part I & II

415 Yonge Limited Partnership

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EXTERIOR FINISH LEGEND

415 YONGE STREET 1A1) PRE-CAST CONCRETE (TEXTURED PATTERN)

1A2 PRE-CAST CONCRETE (BRICK VANEER)

(3A1) WINDOW WALL - VISION PANEL (DARK)

1A3 PRE-CAST CONCRETE (DARK)

WINDOW WALL - GLASS SPANDREL / METAL LOUVRE PANEL (DARK)

MINDOW WALL - VISION PANEL (LIGHT)

(4A1) CURTAIN WALL - VISION PANEL (DARK)



North Elevation-Part I 4

(4B1) CURTAIN WALL - SHADOW BOX (DARK) (4C1) CURTAIN WALL - FRITTED VISION PANEL (DARK) (4D1) CURTAIN WALL - METAL LOUVRES 415 Yonge St 4A2 CURTAIN WALL - VISION PANEL (LIGHT) 4B2 CURTAIN WALL - SHADOW BOX (LIGHT) 415&409 Yonge St 9&17 McGill St, Toronto 4C2 CURTAIN WALL - FRITTED VISION PANEL (LIGHT) As indicated 4D2 CURTAIN WALL - METAL LOUVRES (LIGHT) T.T, A.E 5A1 GLASS CANOPY 21-050 Jan 13, 2023 Exterior Finish Legend 1 North Elevation-Part II 3 1:50 dA5.1 dA5.1

