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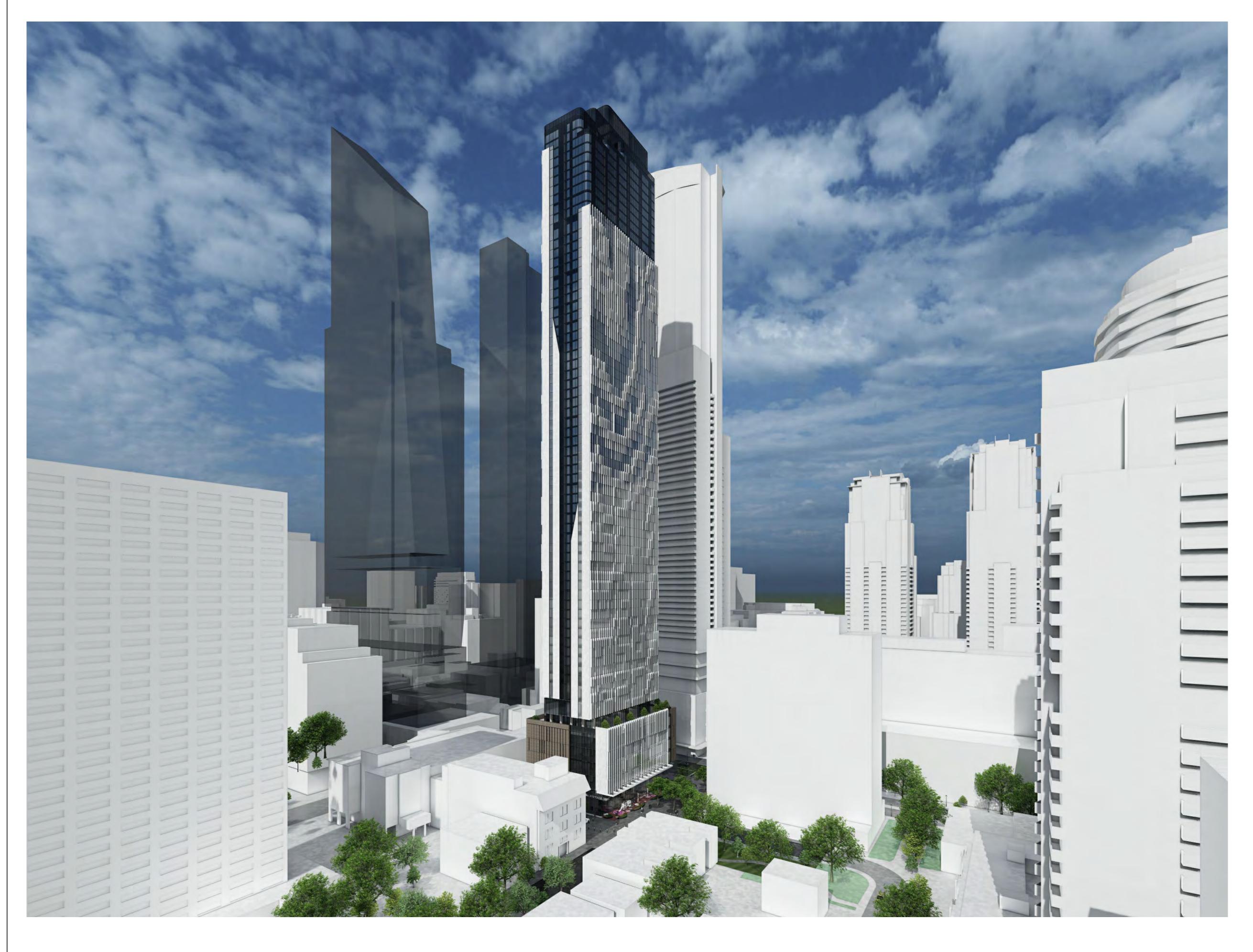
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ARCHITECTS AND PLANNERS

20 De Boers Drive Suite 400

415 YONGE ST, TORONTO

Proposed Mixed-Use Development



	DRAWING LIST			
		ZBA Resubmission (Dec 17, 2021)	Site Plan Approval (Aug 25, 2022)	Site Plan Approval (Jan 13, 2023)
Sheet Number	Sheet Name	ZBA	Site P	Site P
12 SITE PLAN A	APPROVAL			
A0 dA0.0	Cover Sheet			•
	12. 2. 2. 2. 2.			
A1 dA1.1	Context Plan			_
dA1.1	Site Statistics & Survey Plan			-
dA1.3	Green Roof Plan & Truck Maneuvers			-
dA1.4	Site Plan	•	-	-
		<u>'</u>		
A2 1	Parking Level D2 Floor Plan		Ι_	Ι.
dA2.1 dA2.2	Parking Level P3 Floor Plan Parking Level P2 Floor Plan			-
dA2.3	Parking Level P1 Floor Plan	- 1		
dA2.4	Level 1 Floor Plan	<u> </u>		
dA2.5	Level Mezzanine Floor Plan	•	•	
dA2.6	Levels 2-4 Floor Plan	-	•	-
dA2.7	Level 5 Floor Plan			•
dA2.8	Level 6 Floor Plan	•	•	•
dA2.9	Level 7 Floor Plan		•	•
dA2.10 dA2.11	Level 8 Floor Plan Levels 9-24 Floor Plan		-	•
dA2.11	Levels 3-24 Floor Plan	•	•	-
dA2.13	Level 51 Floor Plan		-	
dA2.14	Levels 52-56 Floor Plan		-	-
dA2.15	Levels 57-64 Floor Plan		•	-
dA2.16	Level 65			
dA2.17	Level 66			
dA2.18	Levels Lower Mechanical PH Floor Plan		•	-
dA2.19' dA2.20'	Level Mechanical PH Plan Roof Plan		-	-
UA2.20	ROOI FIAIT		-	-
A3				
dA3.1	North Elevation		•	-
dA3.2	West Elevation	•	•	-
dA3.3	South Elevation	•	•	•
dA3.4	East Elevation		•	•
A4				
dA4.1	Building Sections	•	•	•
A5	Colored Flouriero, North Dart 1911	<u> </u>		1
dA5.1 dA5.2	Colored Elevations - North Part I & II Colored Elevations - West/East		-	
unu.2	COLOTON ETOYALIOTIS - YYOSI/ Edol			-
A6				
dA6.1	3D Perspectives	•	•	•
dA6.2	3D Perspectives	•	•	•
۸.7				
A7 dA7.0	General Notes		_	-
dA7.0 dA7.1	Existing Sun Shadow Study - June		•	
dA7.1	Existing Sun Shadow Study - Warch/September			-
dA7.3	Existing Sun Shadow Study - December	-		-
dA7.4	Proposed Sun Shadow Study - June		-	
dA7.5	Proposed Sun Shadow Study - March/September		•	•
dA7.6	Proposed Sun Shadow Study - December			

DEVELOPER

415 YONGE ST. LIMITED PARTNERSHIP 168-555 WEST 12th AVENUE VANCOUVER, BC V5Z 3X7 T: 604-716-6861

ARCHITECT

PLANNERS 20 DE BOERS DRIVE, SUITE 400 TORONTO, ON M3J 0H1 T: 416-665-6060

PLANNING CONSULTANT BOUSEFIELDS

T: 416-947-9744

3 CHURCH ST. SUITE 200 8395 JANE ST. SUITE 100 TORONTO, ON M5E 1M2 VAUGHAN, ON L4K 5Y2 T: 416-629-7805

CIVIL ENGINEER COUTNERPOINT ENEGINEERING

LANDSCAPE ARCHITECT 219 DUFFERIN ST. SUITE 100C TORONTO, ON M6K 3J1

T: 416-469-4343

GEOTECHNICAL ENGINEER 90 SCARSDALE ROAD TORONTO, ON M3B 2R7 T: 416-245-0011

WIND CONSULTANT GRADIANT WIND ENGINEERING INC. 127 WALLGREEN RD. OTTOWA, ON K0A 1L0 T: 613-836-0934

ENVIRONMENTAL CONSULTANT EQ BUILDING PERFORMANCE INC. 20 FLORAL PARKWAY CONCORD, ON L4K 4R1

T: 416-645-1186

Cover Sheet

415 Yonge Limited Partnership

415 Yonge St

415&409 Yonge St 9&17 McGill St, Toronto

T.T, A.E Checked by: 21-050

STRUCTURAL ENGINEER

JABLONSKY, AST AND PARTNERS 400 - 3 CONCORDE GATE TORONTO, ON M3C 3N7 T: 416-447-7405

TERRAPEX 90 SCARSDALE ROAD TORONTO, ON M3B 2R7

T: 416-245-0011

PARADIGM TRANSPORTATION SOLUTIONS LTD. 5A-150 PINEBUSH ROAD, CAMBRIDGE, ON N1R 8J8

T: 905-807-2420

ENVIRO / HYDROG CONSULTANT TRANSPORTATION ENGINEER

SURVEYOR

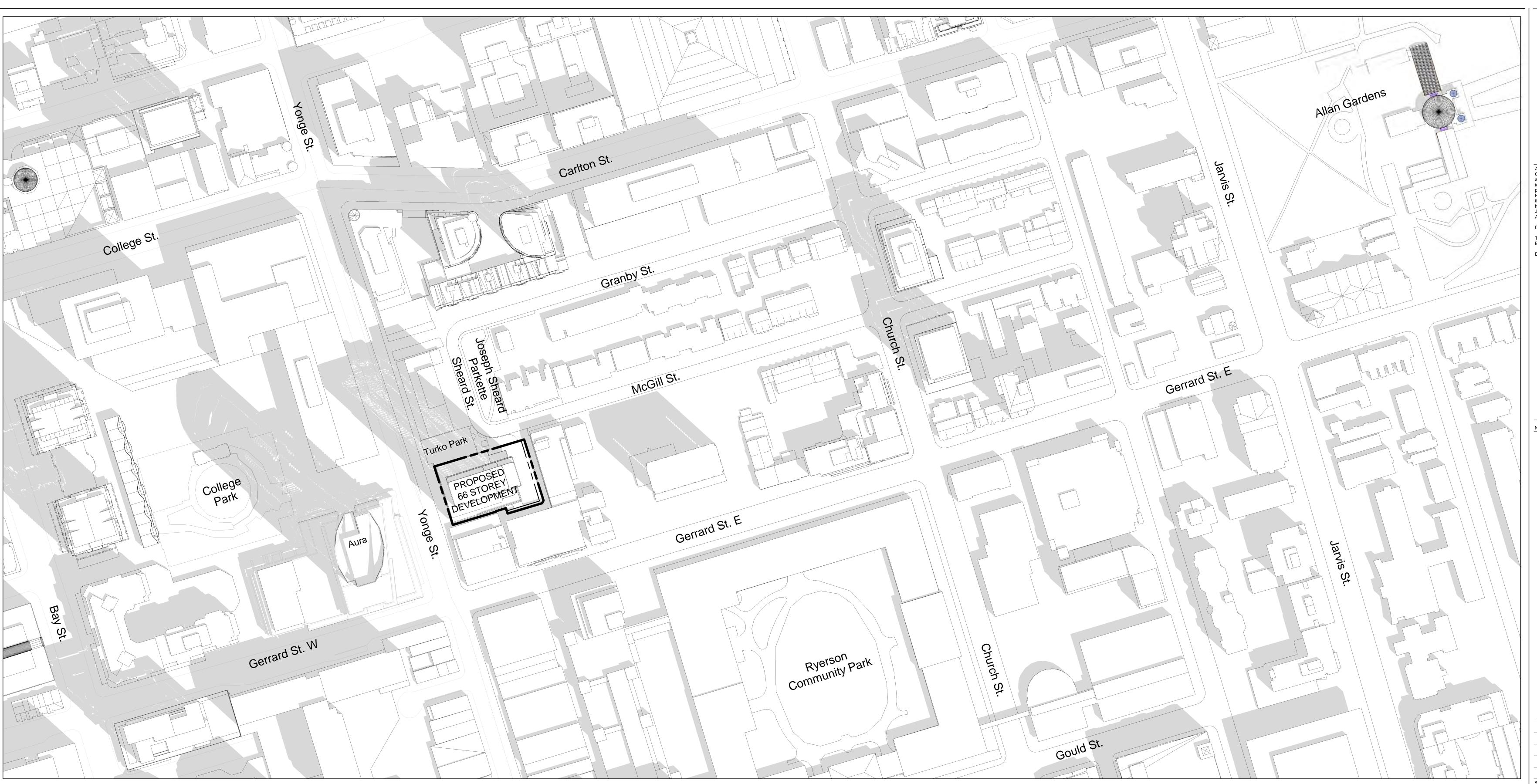
SPEIGHT, VAN NOSTRAND & GIBSON LIMITED 750 OAKDALE ROAD, UNIT 65&66 TORONTO, ON M3N 2Z4 T: 416-749-7864

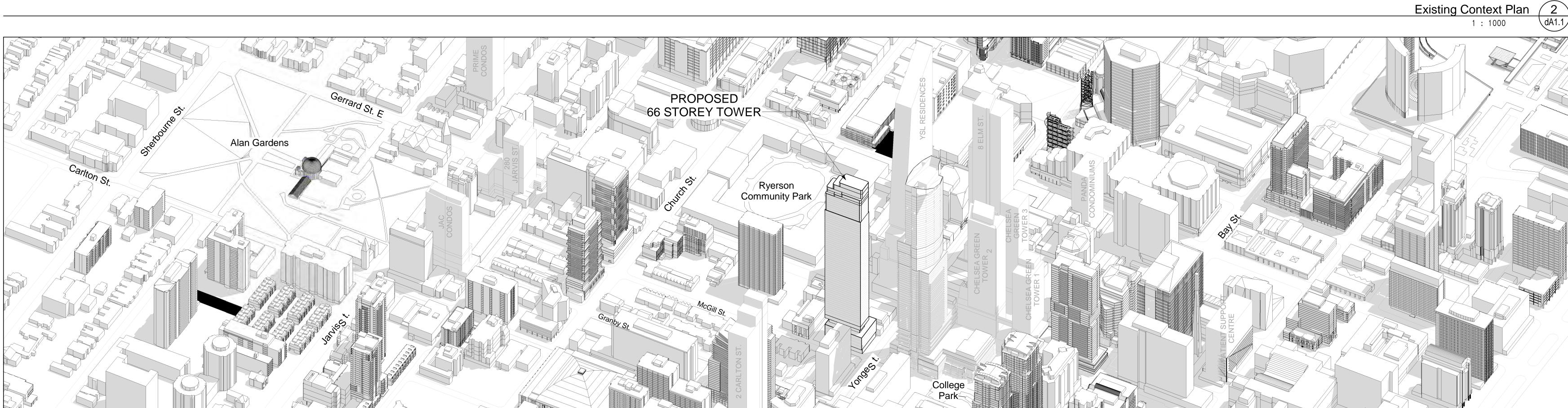
ACOUSTIC ENGINEER HCG ENGINEERING 2000 ARGENTIA ROAD,

T: 905-826-4044

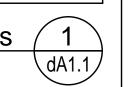
PLAZA ONE, SUITE 203 MISSISSAUGA, ON L5N 1P7 TORONTO, ON M2N 6N5 T: 416-445-8255

MECH. & ELEC. ENGINEER SNC LAVALIN 100 SHEPPARD AVE. E. SUITE 1100





Aerial 3D Context View With Future Developments 1



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KIRKOR

ARCHITECTS AND PLANNERS

20 De Boers Drive Suite 400 Toronto, ON M3J 0H1

Revision

No.: Revision: Date:

/ITHOU PREJUDICE

5	Revised Architectural Drawings and Statistics and Updated Shadow Study	27-02-2023
4	SPA Submission	01-13-2023
3	SPA Submission	08-25-2022
2	Zoning Resubmission #1	12-17-2021
1	Zoning By-law Amendment	12-12-2017
No.:	Issued For:	Date:

Context Plan

Drawing Title:

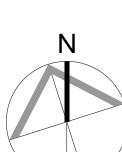
415 Yonge Limited Partnership

415 Yonge St

415&409 Yonge St 9&17 McGill St, Toronto
Scale:

1:1000

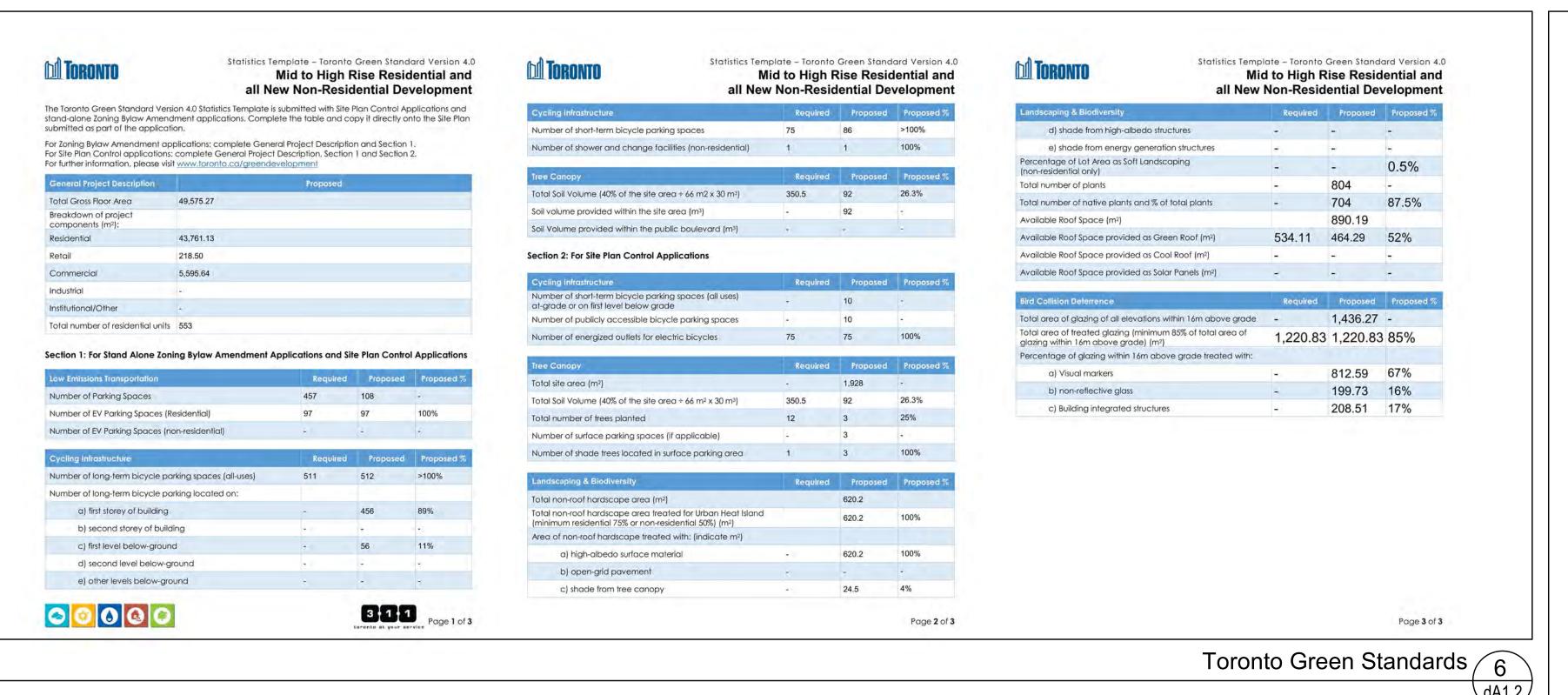
Drawn by:



Project No.:

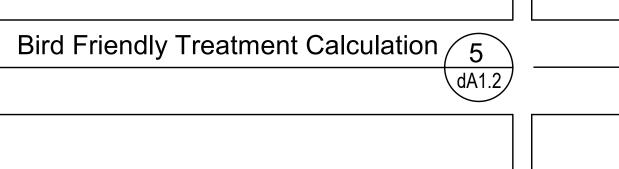
Date:

dA1.

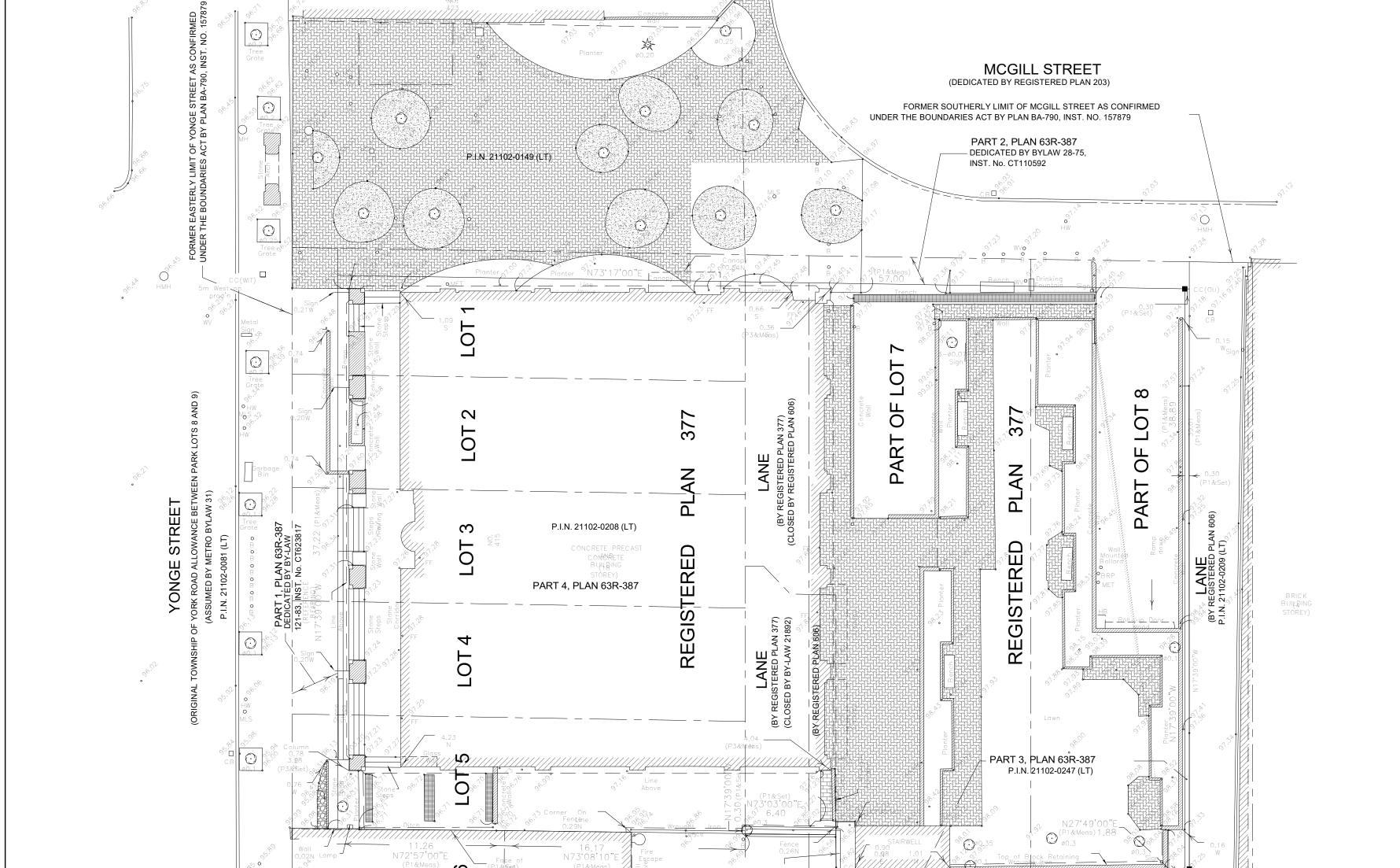


Bird-Friendly Design Statistics Glazing Area (m²) Glazing Area (m²) facing High Hazard Area ntreated Area (m²) reated Area (m²) 79.60 128.17 281.49 812.59 Visual Markers (m²) Non-reflective glass (m²) Shaded (m²)

Building Window: Wall Ratio



Survey Plan

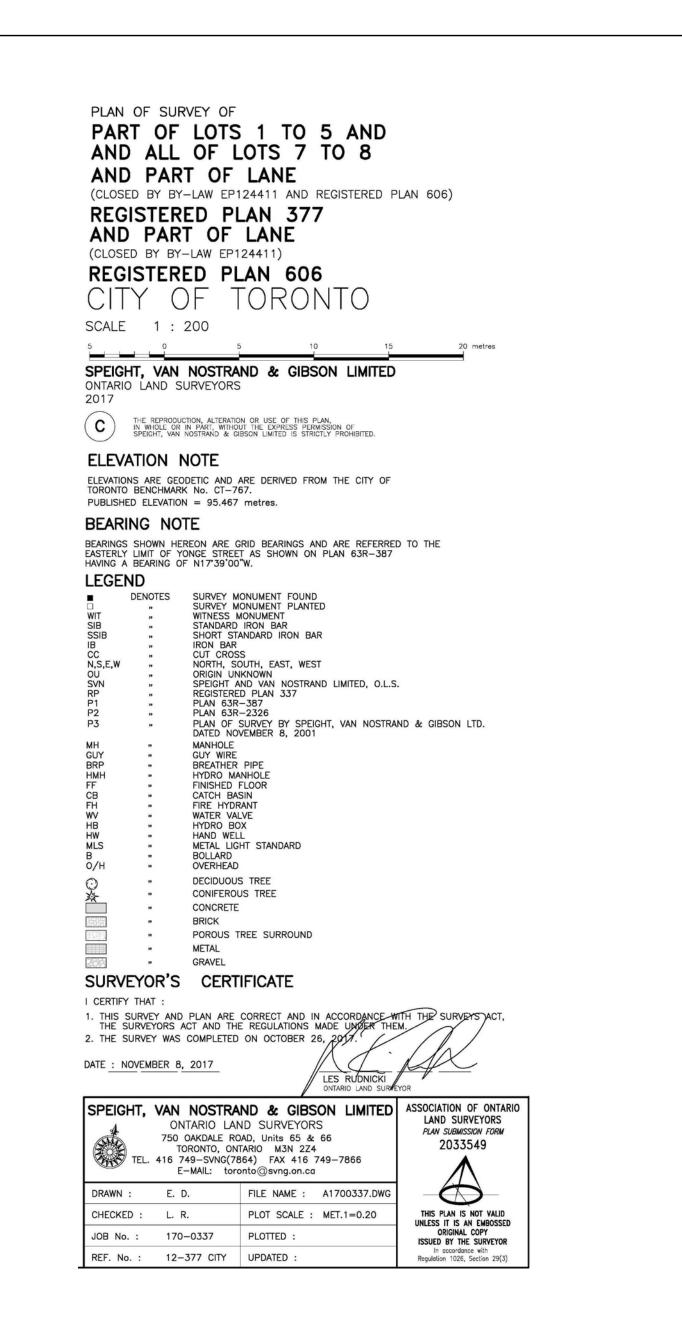


P.I.N. 21102-0207 (LT)

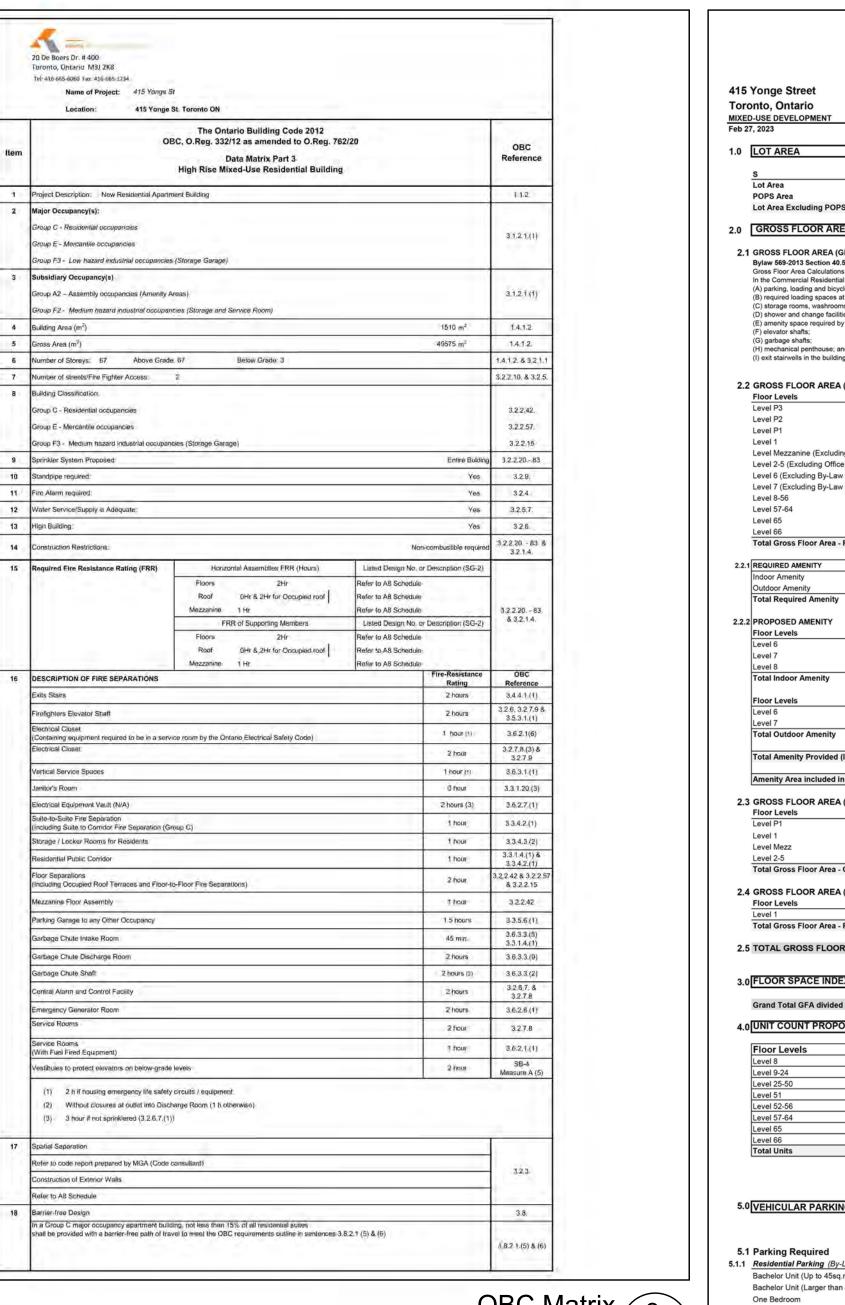
LANE

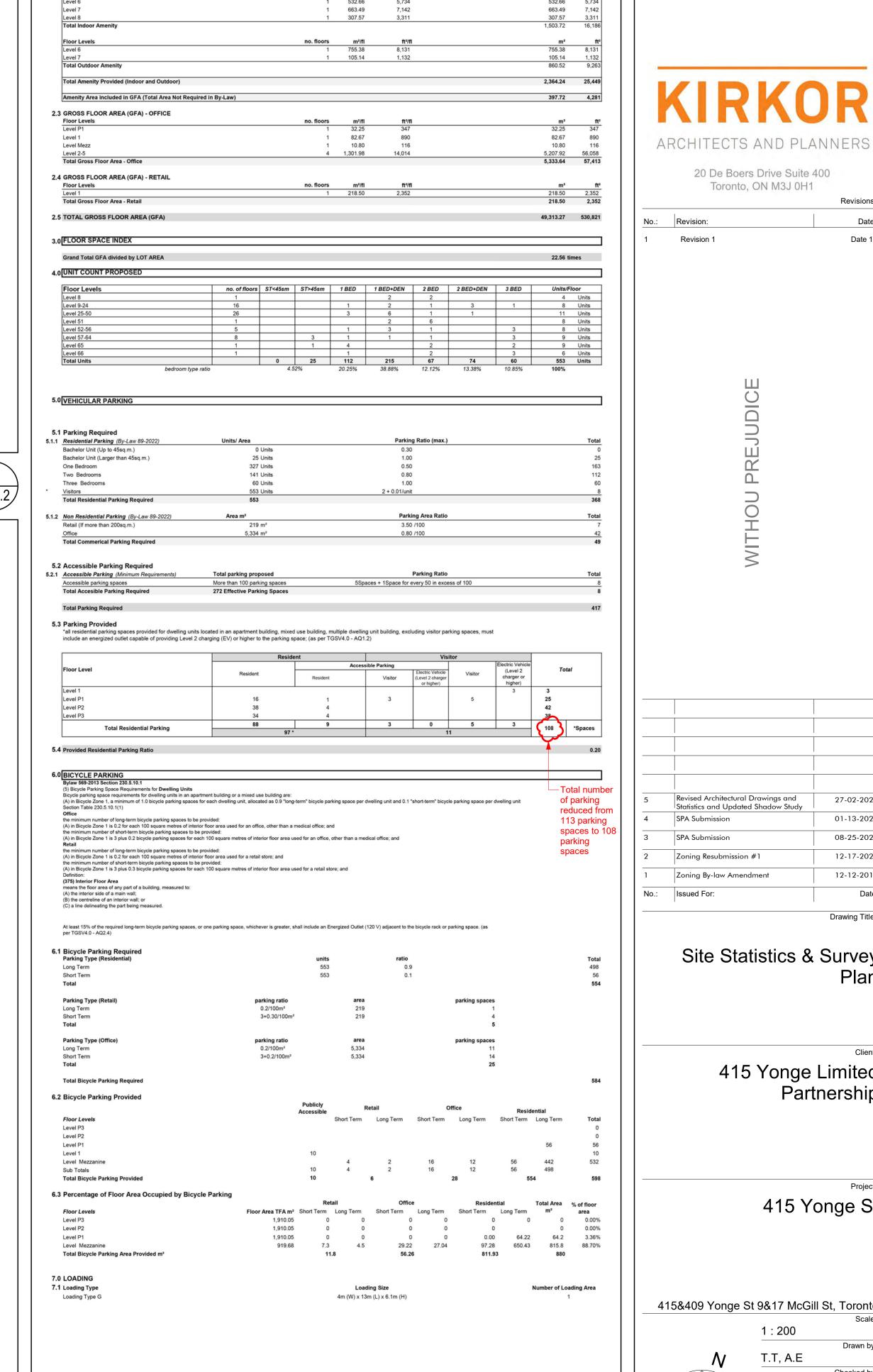
(BY REGISTERED PLAN 377)

P.I.N. 21102-0209 (LT)



Survey Credits 2





Lot Area Excluding POPS 1,917.96 2.0 GROSS FLOOR AREA (GFA Bylaw 569-2013 Section 40.5.40.40(3) Gross Floor Area Calculations for a Mixed Use Building in the Commercial Residential Zone Category
In the Commercial Residential Zone category the gross floor area of a mixed use building is reduced by the area in the building used for: (A) parking, loading and bicycle parking below-ground;
(B) required loading spaces at the ground level and required bicycle parking spaces at or above-ground; (B) required loading spaces at the ground is level and required bicycle parking spaces at or above-gro (C) storage rooms, washrooms, electrical, utility, mechanical and ventilation rooms in the basement; (D) shower and change facilities required by this By-law for required bicycle parking spaces; (E) amenity space required by this By-law; (F) elevator shafts; (G) garbage shafts; (H) mechanical penthouse; and(I) exit stairwells in the building. All Drawings, Specifications, and Related Documents are the Copyright of the Architect. The Architect retains all rights to control 2.2 GROSS FLOOR AREA (GFA) - RESIDENTIAL all uses of these documents for the intended issuance/use as identified below. Reproduction of these Documents, without permission from the Architect, is strictly prohibited. The Authorities 33.59 33.59 Having Jurisdiction are permitted to use, distribute, and reproduce 52.94 52.94 these drawings for the intended issuance as noted and dated below, 598.23 598.23 6,439 however the extended permission to the Authorities Having Level Mezzanine (Excluding Bike Parking) Jurisdiction in no way debases or limits the Copyright of the Level 2-5 (Excluding Office) Architect, or control of use of these documents by the Architect. Level 6 (Excluding By-Law req. Amenity) 56.44 56.44 Level 7 (Excluding By-Law req. Amenity) 176.67 176.67 Do not scale the drawings. 730.63 35,800.87 385,357 708.42 5,667.36 61,003 This Drawing Is Not To Be Used For Construction Until Signed 676.97 649.97 6,996 **43,761.13 471,056** ByThe Architect. Level 66
Total Gross Floor Area - Residential (Excluding By-Law req. Amenity) 1,106.00 11,905

Revised Architectural Drawings and 27-02-2023 Statistics and Updated Shadow Study SPA Submission 08-25-2022 Zoning Resubmission #1 12-17-2021 12-12-2017 No.: Issued For: Drawing Title:

20 De Boers Drive Suite 400

Toronto, ON M3J 0H1

Authorities Having Jurisdiction

Site Statistics & Survey

415 Yonge Limited Partnership

415 Yonge St

415&409 Yonge St 9&17 McGill St, Toronto

Site Statistics /

\dA1.2/

Checked by:

415 Yonge Limited Partnership 168-555 W, 12th Avenue Vancouver, BC V5Z 3X7

Attn: Ms. Denise She

Re: 415 Yonge Street, Toronto, ON Collection Vehicle Loading Our Project No. 22167

Dear Ms. She,

This is to confirm that the garage roof structure of the above referenced building will be designed and constructed to safely support a fully loaded collection vehicle (35,000 kilograms) for the full anticipated route of travel, in accordance with the Ontario Building Code 2012, and will conform to the following:

- Design Code Ontario Building Code
- Design Load City bulk lift vehicle in addition Building Code requirements.
- Impact Factor 5% for maximum vehicular speeds to 15 km/h and 30% for higher speeds.

Should you have any questions or require any additional information, please contact this office at your convenience.

P.F. Ast, P.ENG D. Tari., P.ENG M. Shiu, P.ENG R. Asman, P.ENG

Yours very truly,

JABLONSKY, AST AND PARTNERS CONSULTING ENGINEERS

Jeff Vivian, P. Eng.

LOADING AREA

CITY OF TORONTO REQUIREMENTS:

 $25m^2 + (13m^2 \times ((553-50)/50)) = 155.78m^2$

HAZARDOUS ITEMS 6.00m²

BULK ITEMS 10.00m²

TOTAL: 171.78m²

(HOUSEHOLD HARZARDOUS)

200MM REINFORCED CONCRETE WITH

GRADE (NOT TO EXCEED 2%)

RESIDENTIAL GARBAGE/RECYCLING STORAGE ROOM

CALCUATED GARBAGE/RECYCLING REQUIREMENT:

WASTE DIVERSION SYSTEM: TWO CHUTE WITH BI-SORTER

GARBAGE/RECYCLING: 25m²/FIRST 50 UNITS + 13m²/EACH

ADDITIONAL 50 UNITS + 10m² (UNCOMPACTED GARBAGE) + 6m²

LEGEND

cc: Keesa Hutchinson, Kirkor Brett Fine, Kirkor

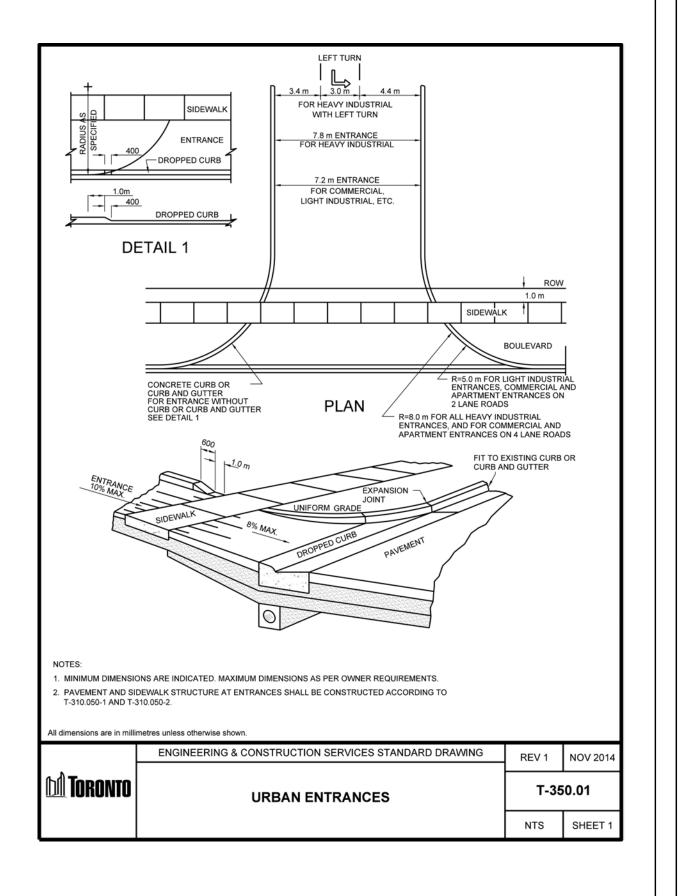
J.N. Vivian, P.ENG R.J. Watson, P.ENG C.J. Slama, P.ENG R. Martinez, P.ENG

J.N. VIVIAN

25 mm R -SLOPE AT DRIVEWAY -MORTAR CUSHION -50 mm x 75 mm KEYWAY -SEE DETAIL FOR USE WITH RIGID PAVEMENT MOUNTABLE 180 25 mm R — **KEYWAY DETAIL** SLOPE AT DRIVEWAY -MORTAR CUSHION -FOR USE WITH FLEXIBLE PAVEMENT 1. EXPANSION JOINTS SHALL BE SPACED 6 m APART OR COINCIDE WITH JOINTS IN ADJACENT SIDEWALK AND CONCRETE ROAD BASE.

2. t = 130 mm, 150 mm, OR 180 mm TO SUIT CONCRETE SIDEWALK, CONCRETE BOULEVARD OR CONCRETE DRIVEWAY MEASURED FROM TOP OF CURB DEPRESSION. 3. 10 mm FOR SIDEWALK RAMPS AND DISABILITY ACCESSES. 4. ENTRANCE TERMINATION ACCORDING TO DRAWING T-350.01. DROP CURB AT ENTRANCE, TYP 70-100 mm, 5. 2 - 15 M REINFORCING BARS FOR INDUSTRIAL AND COMMERCIAL DRIVEWAYS, 50 mm CONCRETE limensions are in millimetres unless otherwise showr ENGINEERING & CONSTRUCTION SERVICES STANDARD DRAWING

CONCRETE CURB





Green Roof Statistics

The Green Roof Statistics Template is required to be submitted for Site Plan Control Applications where a green roof is required under the Toronto Municipal Code Chapter 492, Green Roofs. Complete the table below and copy it directly onto the Roof Plan submitted as part of any Site Plan Control Application requiring a green roof in accordance with the Bylaw. Refer to Section § 4921 of the Municipal Code for a complete list of defined terms, and greater clarity and certainty regarding the intent and application of
the terms included in the template. The Toronto Municipal Code Chapter 492, Green Roofs can be found online at: http://www.toronto.ca/legdocs/municode/1184_492.pdf

Green Roof Statistics

		Proposed
Gross Floor Area, as defined in Green Roof Bylaw (m2)		
Total Roof Area (m²)		
Area of Residential Private Terraces (m ²)		
Rooftop Outdoor Amenity Space, if in a Residential Building (m ²)		
Area of Renewable Energy Devices (m²)		
Tower (s)Roof Area with floor plate less than 750	m ²	
Total Available Roof Space (m²)		
Green Roof Coverage	Required	Proposed
Coverage of Available Roof Space (m ²)	385.27	385.27
Coverage of Available Roof Space (%)	60%	60%

Authorities Having Jurisdiction

ARCHITECTS AND PLANNERS

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20 De Boers Drive Suite 400 Toronto, ON M3J 0H1

No.: Revision:

Green Roof Statistics

\dA1.3

Structural Engineer Loading Requirements 4

√dA1.3

CALCULATION:

GARBAGE STORAGE: 1 BIN PER 50 UNITS (553 UNITS / 50 = 11 BINS)

BINS DESIGNATION: G = GARBAGE

> O = ORGANIC C = COMMERCIAL

STAGING AREA: 5m² FOR EVERY 50 UNITS > 50 CALCULATION: $(553 - 50) / 50 \times 5m^2 = 50m^2$

PROPOSED ACCESS ROUTE FOR WASTE COLLECTION VEHICLE TO HAVE MINIMUM 4.4m VERTICAL CLEARANCE THROUGHOUT AND DESIGNED TO SAFELY SUPPORT 35,000kg.

(B) DESIGN LOAD - CITY BULK LIFT VEHICLE IN ADDITION TO BUILDING CODE REQUIREMENTS (C) IMPACT FACTOR - 5% FOR MAXIMUM VEHICLE SPEEDS TO 15KM/H

ACCESS DRIVEWAYS TO BE USED BY THE COLLECTION VEHICLE WILL HAVE MAXIMUM GRADIENT OF 8% A TRAINED ON-SITE STAFF MEMBER MUST BE AVAILABLE TO

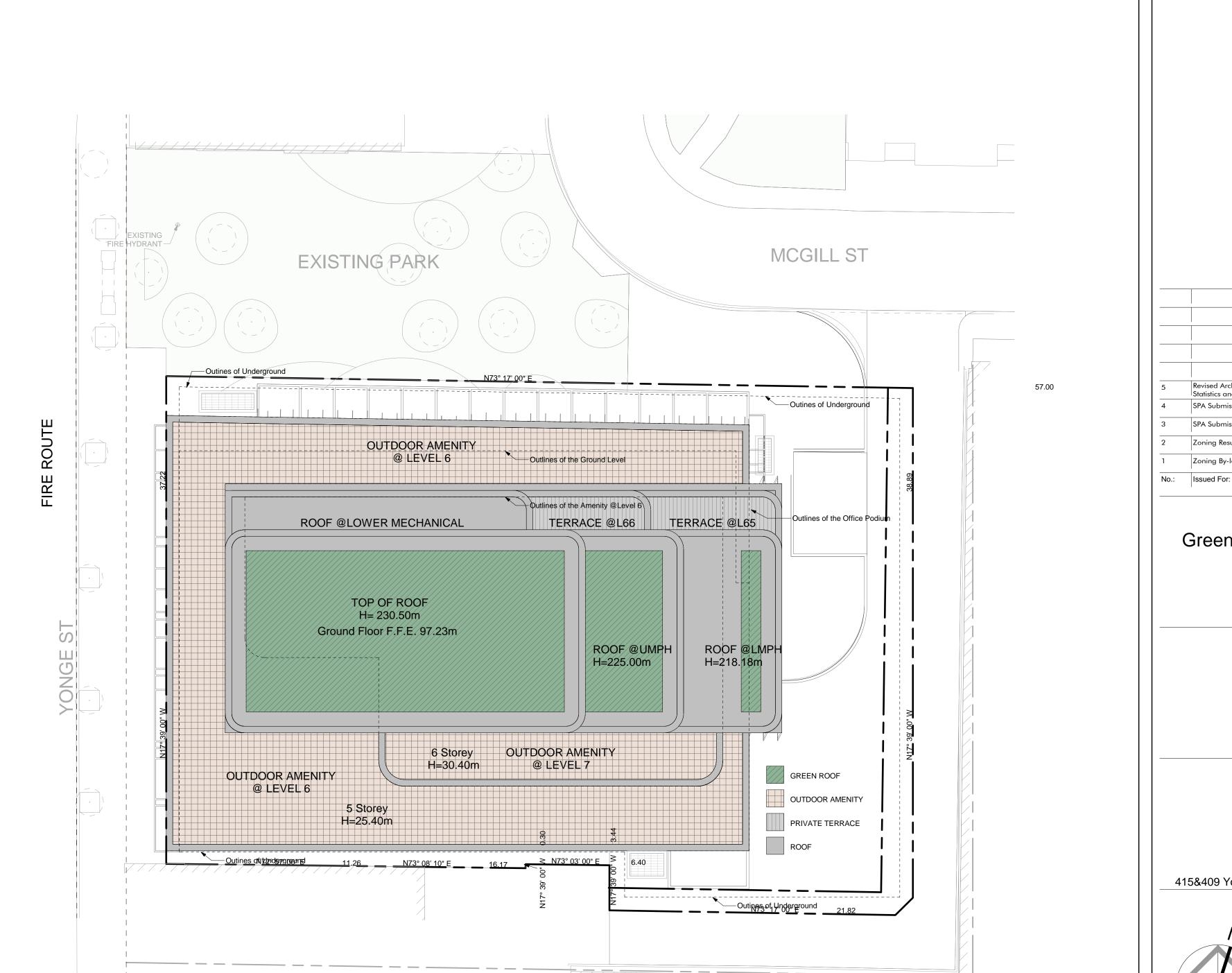
T-600.11-1

NTS SHEET

MANOEUVRE BINS FOR THE COLLECTION DRIVER AND ALSO ACT AS A FLAGMAN WHEN THE TRUCK IS REVERSING. IN THE EVENT THE ON-SITE STAFF MEMBER IS UNAVAILABLE AT THE TIME THE CITY COLLECTION VEHICLES ARRIVE ON SITE, THE COLLECTION VEHICLE WILL LEAVE THE SITE AND NOT RETURN UNTIL THE NEXT SCHEDULED COLLECTION DAY.

WASTE BINS FOR NON-RESIDENTIAL COMPONENT WILL BE LABELLED SEPARATELY FROM THOSE FOR THE RESIDENTIAL COMPONENT. SHARED LOADING SPACE WILL NOT BE OCCUPIED ON DAYS WHEN CITY COLLECTION SERVICES ARE SCHEDULED FOR RESIDENTIAL COMPONENT. A PRIVATE CONTRACTOR MUST COLLECT ALL SOLID WASTE FROM THE COMMERCIAL COMPONENT.

Curb Details 3 \dA1.3



NUMBER OF COLLECTION BINS REQUIRED:

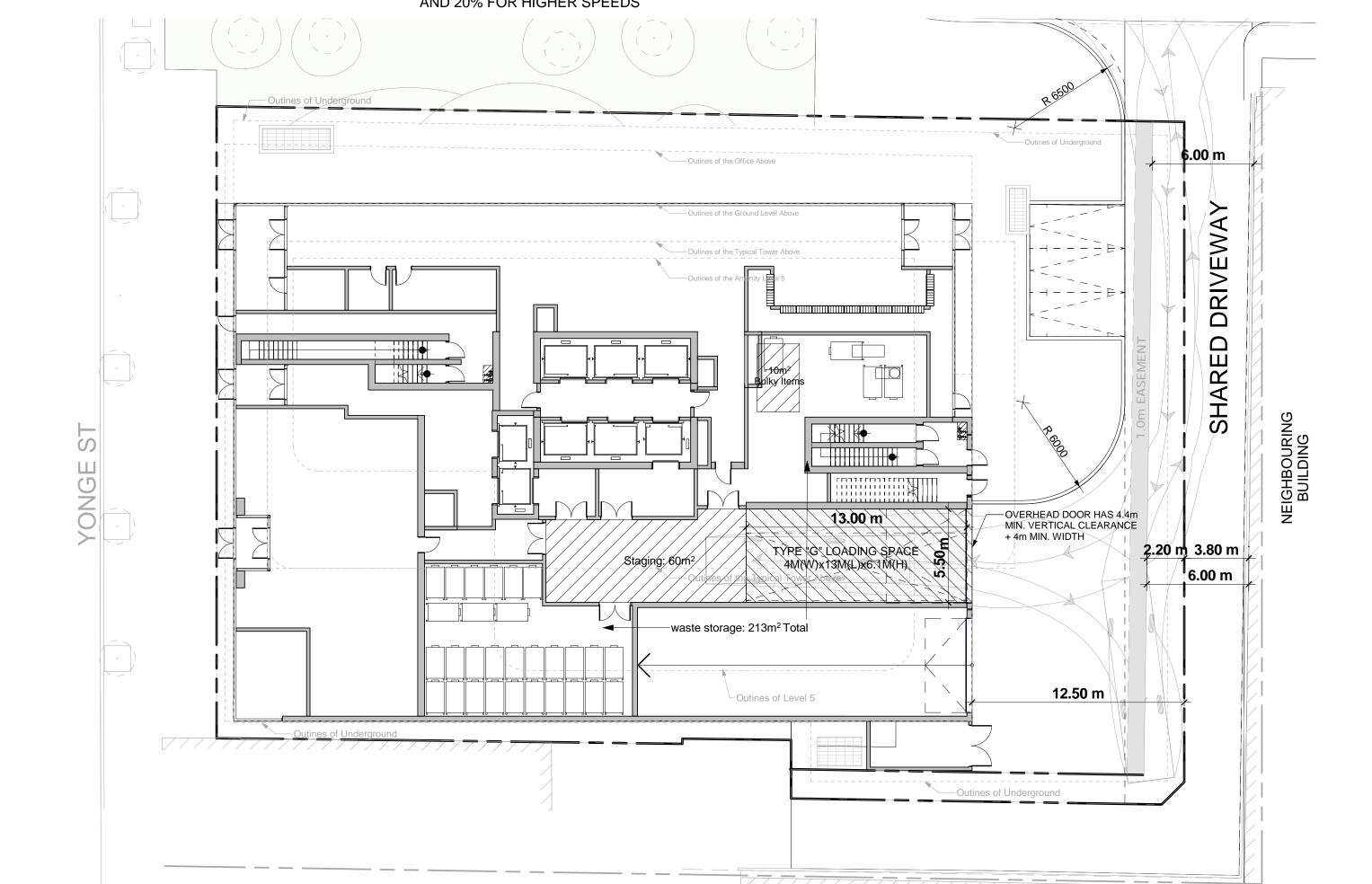
RECYCLING STORAGE: 1 BIN PER 50 UNITS (553 UNITS / 50 = 11 BINS) ORGANIC STORAGE: 1 BIN PER 50 UNITS (553 UNITS / 50 = 11 BINS)

TOTAL NUMBER OF BINS: 33 BINS

R = RECYCLING

STRUCTURAL ENGINEER TO DESIGN AREA TO CONFORM AS FOLLOWS: (A) DESIGN CODE - ONTARIO BUILDING CODE

AND 20% FOR HIGHER SPEEDS



Truck Maneuver Diagram

Green Roof Calculation Diagram

As indicated

415&409 Yonge St 9&17 McGill St, Toronto

Revised Architectural Drawings and Statistics and Updated Shadow Study

Green Roof Plan & Truck

415 Yonge Limited

SPA Submission

Zoning Resubmission #1

Zoning By-law Amendment

08-25-2022

12-17-2021

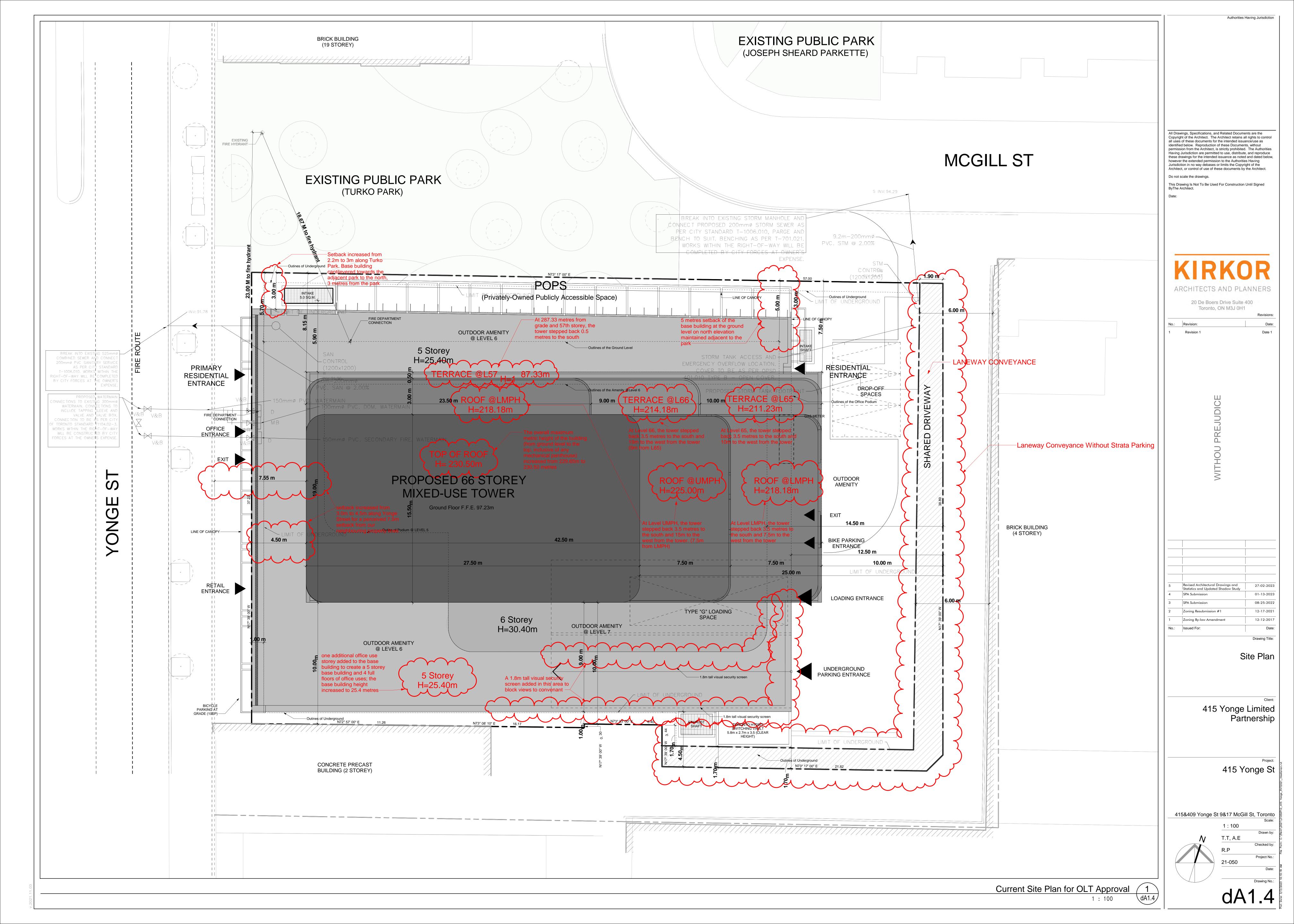
12-12-2017

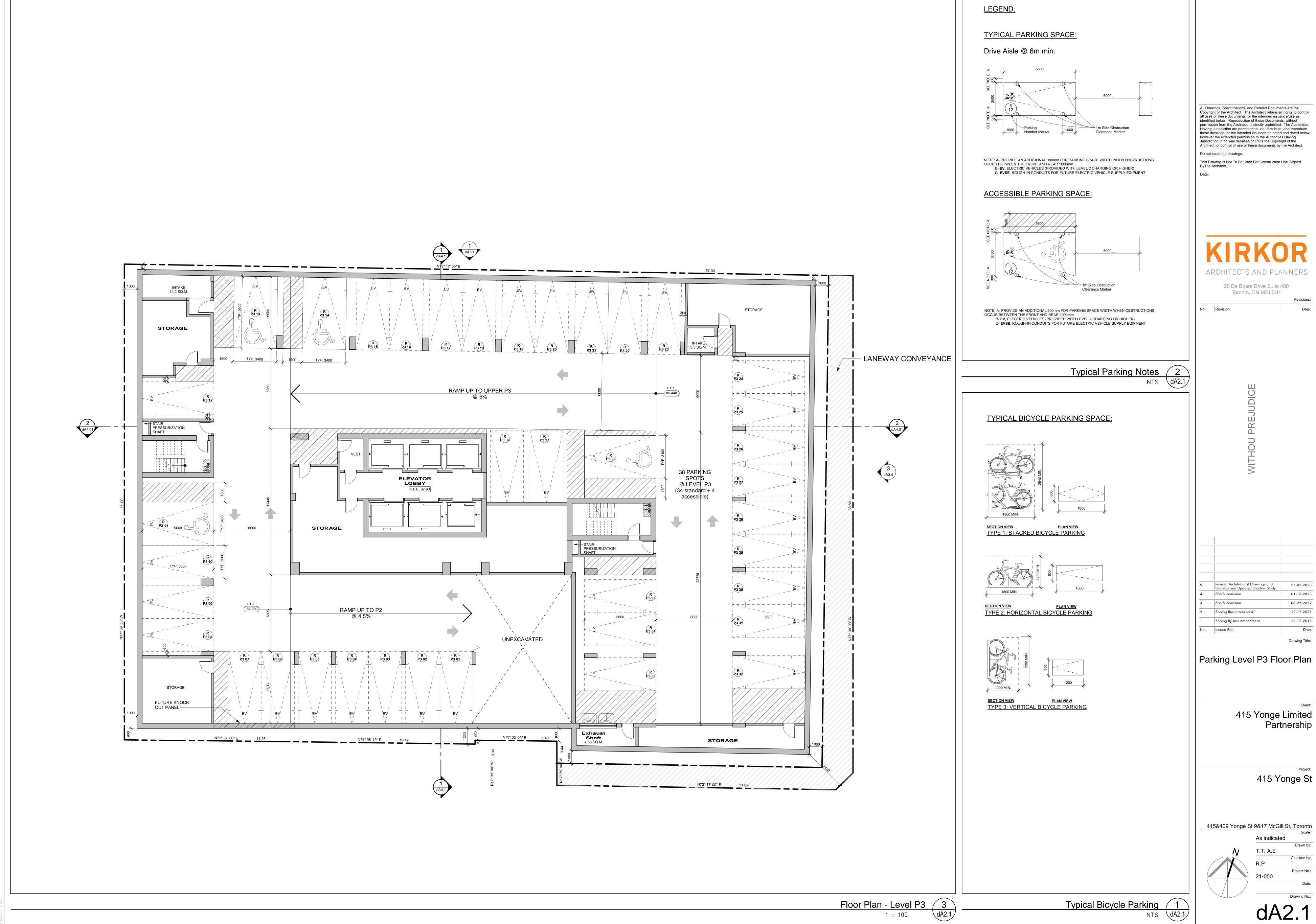
Drawing Title:

Maneuvers

Partnership

415 Yonge St

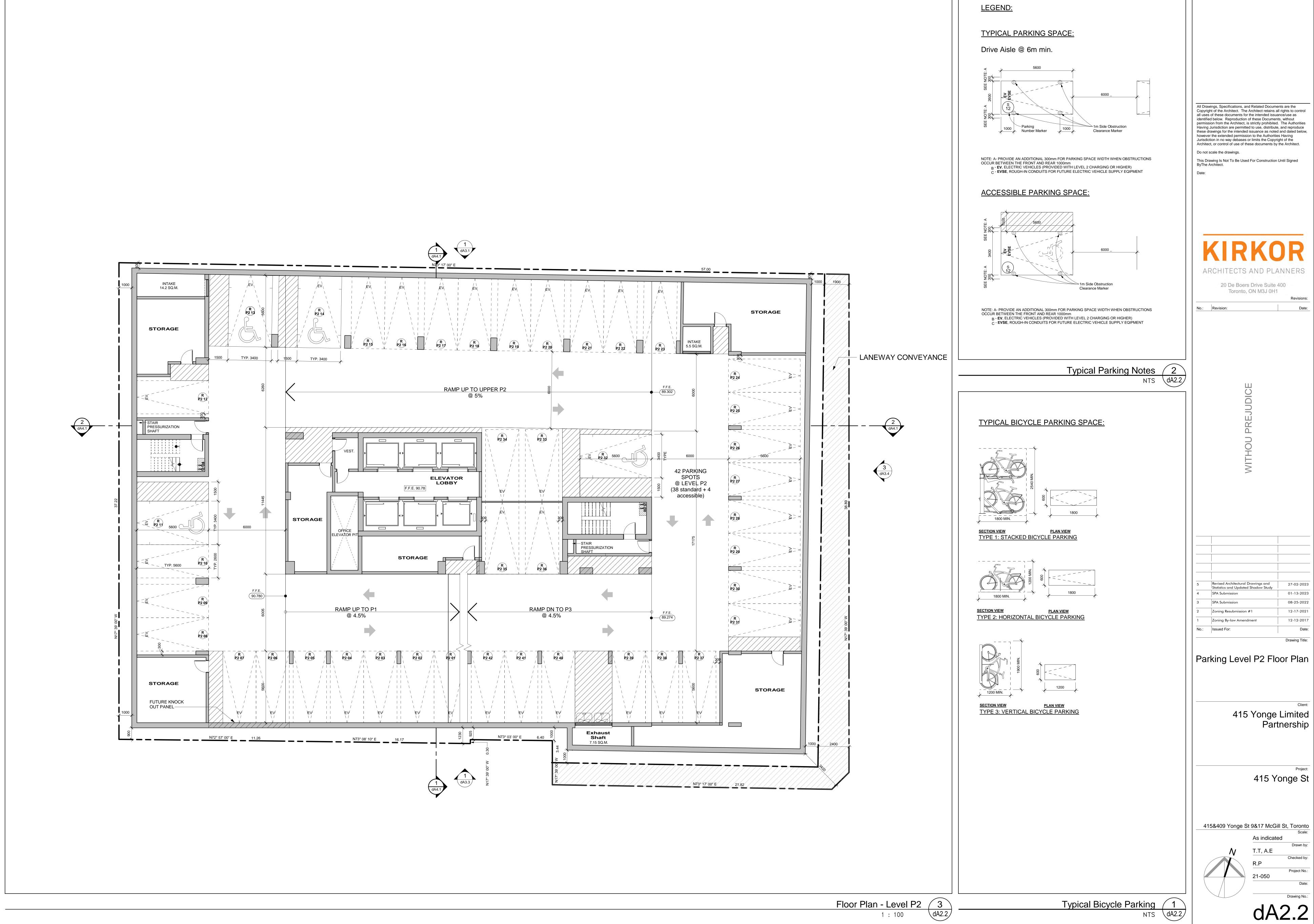




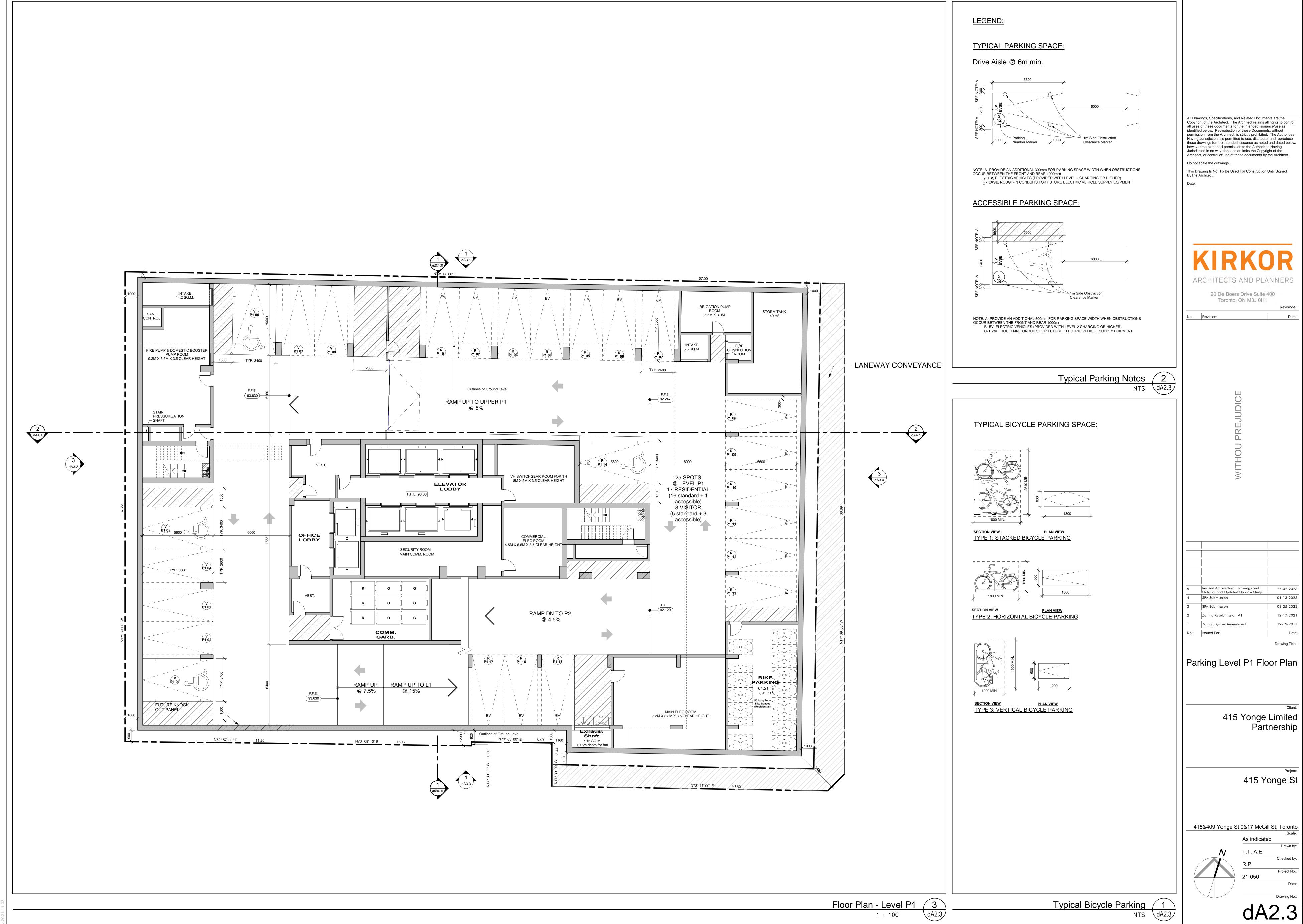
Authorities Having Jurisdiction

08-25-2022

dA2.1

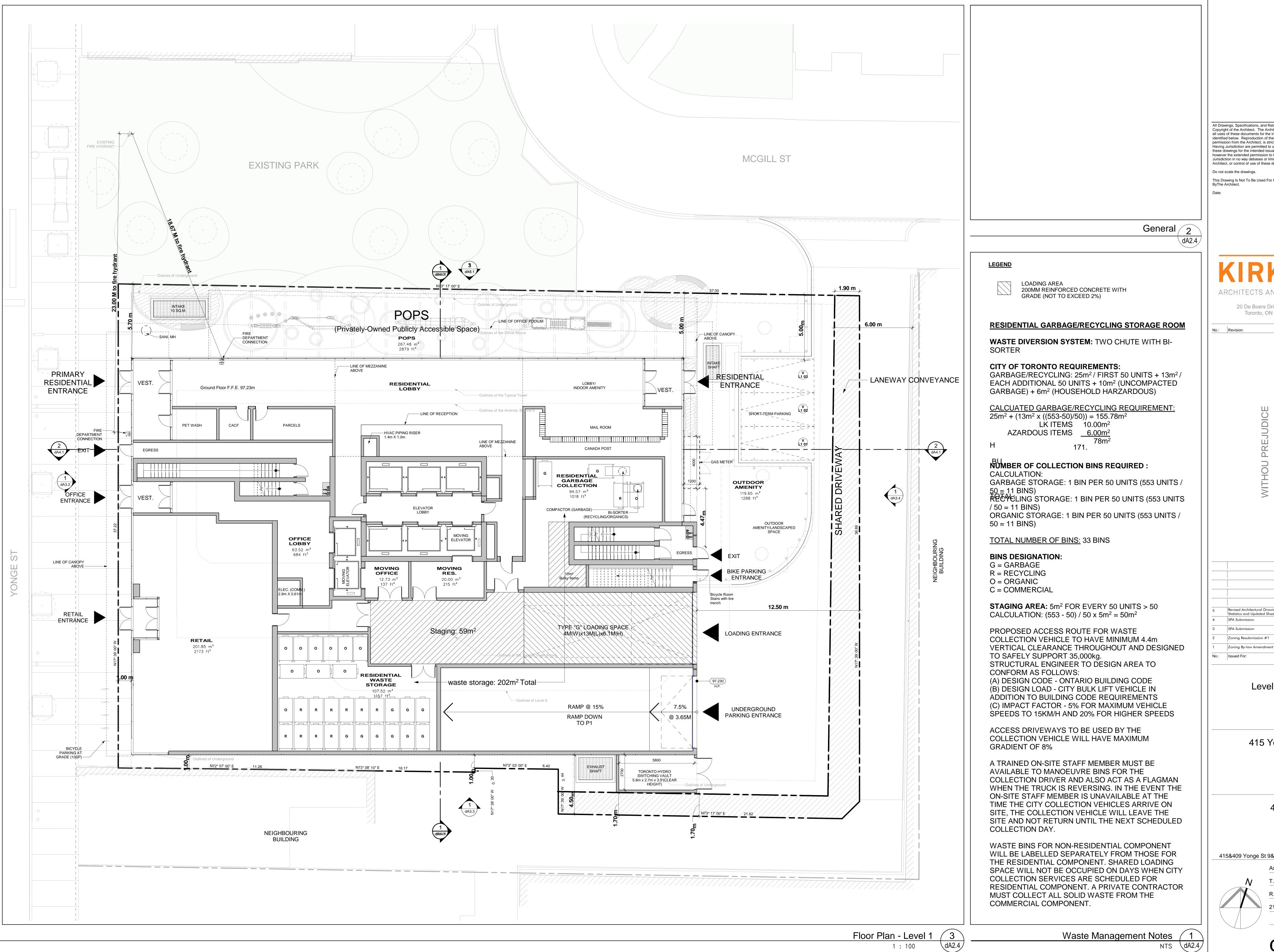


Authorities Having Jurisdiction



Authorities Having Jurisdiction

dA2.3



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ARCHITECTS AND PLANNERS

20 De Boers Drive Suite 400 Toronto, ON M3J 0H1

Revised Architectural Drawings and Statistics and Updated Shadow Study 08-25-2022 Zoning Resubmission #1

Level 1 Floor Plan

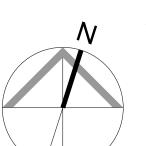
12-12-2017

Drawing Title:

415 Yonge Limited Partnership

415 Yonge St

415&409 Yonge St 9&17 McGill St, Toronto As indicated



T.T, A.E

6.SAb 6.SAb 001:1 Floor Plan - Level Mezzanine Typical Bicycle Parking 21-050 TYPE 3: VERTICAL BICYCLE PARKING **SECTION VIEW** ∃.A ,T.T As indicated 415&409 Yonge St 9&17 McGill St, Toronto 12 agnoY 214 TYPE 2: HORIZONTAL BICYCLE PARKING **SECTION VIEW** bətimidəgnoy 214 qidərəntraq TYPE 1: STACKED BICYCLE PARKING SECTION VIEW Level Mezzanine Floor Plan No.: Issued For: TnembnemA wal-ya gninoZ 12-12-2017 12-17-2021 f # noissimduseA gninoZ -- REȚAIL--OPEN TO 08-25-2022 noissimdu2 A92 01-13-2023 noissimdu2 A92 **TYPICAL BICYCLE PARKING SPACE:** ա 0Շ.ՀՐ Bicycle Room Stairs with tire ²m e1.00a PARKING ELEVATOR YBBY HVAC PIPING RISER RESIDÈNTIAL LOBBY \sim Óben to \sim —Outlines of the Typical Tower Above ╌┝╌⋛╼╾╡ No.: Revision: ∕—ГІИЁОЕ С∀ИОЬХ TIME OF OFFICE PODIUM Revisions: Toronto, ON M3J 0H1 20 De Boers Drive Suite 400 ARCHITECTS AND PLANNERS This Drawing Is Not To Be Used For Construction Until Signed Do not scale the drawings. **EXISTING PARK** Architect, or control of use of these documents by the Architect MCGIFF ST however the extended permission to the Authorities Having Jurisdiction in no way debases or limits the Copyright of the these drawings for the intended issuance as noted and dated below, Having Jurisdiction are permitted to use, distribute, and reproduce permission from the Architect, is strictly prohibited. The Authorities identified below. Reproduction of these Documents, without all uses of these documents for the intended issuance/use as Copyright of the Architect. The Architect retains all rights to control All Drawings, Specifications, and Related Documents are the Authorities Having Jurisdiction

