

1 RICHVIEW

Proposed 29-Story Rental Building
1 Richview Rd, Toronto, Ontario

Betovan Construction Ltd.



DRAWING LIST				Re-Zoning (14/12/2018)	Re-Zoning (07/10/2020)	Issue#5 (Dec21, 2021)	Issue#6 (Add Date)
Sheets: Sheet Type	Sheet Number	Sheet Name					
12 SITE PLAN APPROVAL							
A0							
Cover Sheet	dA0.0	Cover Sheet					
A1							
Admin	dA1.1	Context Plan, OBC Matrix, Green Roof Statistics					
	dA1.2	Building Statistics					
Site Plan	dA1.3	Expropriation Plan					
Site Plan	dA1.4	Site Plan					
	dA1.5	Survey					
Site Plan	dA1.6	Existing Building First Floor					
A2							
	dA2.1	Parking Level 2 Floor Plan					
Floor Plans	dA2.2	Parking Level 1 Floor Plan					
Floor Plans	dA2.3	First Floor Plan					
Floor Plans	dA2.4	Second Floor Plan					
Floor Plans	dA2.5	Floor Plans - Podium					
Floor Plans	dA2.6	Floor Plans - Levels 5 and 6					
Floor Plans	dA2.7	Floor Plans - Levels 7 - 29 and Roof					
A4							
Elevations	dA4.1	Elevations - North					
Elevations	dA4.2	Elevations - South					
	dA4.3	Elevation East & West					
Elevations	dA4.5	Site and Enlarged Elevations					
A5							
Building Sections	dA5.1	Building Sections					
	dA5.2	Building Sections					
Building Sections	dA5.3	Angular planes from existing parks and Neighbourhoods					
A6							
Perspectives	dA6.1	3D Views (Renderings)					
A7							
	dA7.1	Shadow Study - June 21					
	dA7.2	Shadow Study March/September 21					
	dA7.3	Shadow Study December 21					

Authorities Having Jurisdiction

All Drawings, Specifications, and Related Documents are the Copyright of the Architect. The Architect retains all rights to control all uses of these documents for the intended issuance/use as identified below. Reproduction of these Documents, without permission from the Architect, is strictly prohibited. The Authorities Having Jurisdiction are permitted to use, distribute, and reproduce these drawings for the intended issuance as noted and dated below, however the extended permission to the Authorities Having Jurisdiction in no way debases or limits the Copyright of the Architect, or control of use of these documents by the Architect.

Do not scale the drawings.

This Drawing is Not To Be Used For Construction Until Signed By The Architect.

Date:

KIRKOR
ARCHITECTS AND PLANNERS

20 De Boers Drive Suite 400
Toronto, ON M3J 0H1

Revisions:

No.:	Revision:	Date:

DRAFT

7.	Re-Zoning	Re-submission	Feb 13, 2023
6.	Re-Zoning	Re-submission	Feb 10, 2023
5.	Re-Zoning	Re-submission	Feb 08, 2023
4.	Re-Zoning	Re-submission	Feb 03, 2023
3.	Re-Zoning	Re-submission	Dec 22, 2020
2.	Re-Zoning	Re-submission	Oct 07, 2020
1.	Re-Zoning		Dec 14, 2018

No.:	Issued For:	Date:

CONSULTANT TEAM

15-067 1 RICHVIEW BUILDING C - Residential Infill

CLIENT:
NAME: H&R Developments
ADDRESS: 3625 Dufferin Street, Suite 409, Toronto, ON, M3K 1N4
Evan Miller
TEL: 416.373.4180
emiller@hr-dev.com

PROJECT ARCHITECT:
NAME: Kirkor Architects and Planners
ADDRESS: 20 Martin Ross Ave., Toronto, ON, M3J 2K8
Cliff Korman, Farzad Gorji
TEL: (416) 665-6060
FAX: (416) 665-1234
http://www.kirkorarchitects.com/

PLANNER:
NAME: Goldberg Group
ADDRESS: 2098 Avenue Road, Toronto, Ontario, M5M 4A9
Michael Goldberg, Talia Ocean
TEL.: (416) 322-6364
FAX: (416) 932-9327
tocean@goldberggroup.ca, mgoldberg@goldberggroup.ca

LANDSCAPE ARCHITECT:
NAME: SBK
ADDRESS: 5770 Hurontario St., Suite 320, Mississauga, ON L5R 3G5
Mathieu Strybos, Joshua Beitz
TEL.: (416) 695-4949x224
FAX: (905) 712-3101
http://www.strybos.com/

CIVIL ENGINEER:
NAME: Schaeffer & Associates Limited
ADDRESS: 6 Ronrose Drive, Concord, Ontario L4K 4R3
Hacik Tozcu, Koryun Shabikian
TEL.: (905) 738-6100
FAX: (905) 738-6875
shaefers.com

ACOUSTIC ENGINEER:
NAME: Valcoustics Canada Ltd.
ADDRESS: 30 Wertheim Court, Unit 25, Richmond Hill, Ontario, L4B 1B9 Canada
Michael Lightstone
TEL.: (905) 764-5223
FAX: (905) 764-6813
www.valcoustics.com

ENERGY CONSULTANT:
NAME: EQ Building Performance Inc.
ADDRESS: 20 Floral Parkway Concord, ON L4K 4R1
Samantha Menard
TEL.: 416.645.1186
www.eqbuilding.com

WIND CONSULTANT:
NAME: Theakston Environmental Control
ADDRESS: 596 Glengarry Crescent, P.O. Box 390, Fergus, ON, N1M 3E2
Stephen Pollock
TEL.: (519)787-2910
FAX: (519)787-2918
spollock@theakston.com

TRAFFIC CONSULTANT:
NAME: Dillon Consulting
ADDRESS: 235 Yorkland Boulevard Suite 800, Toronto, Ontario, M2J 4Y8
Mike Walters
TEL.: (416) 229-4646
FAX: (416) 229-4692
mwalters@dillon.ca

SURVEYOR:
NAME: KRCMAR
ADDRESS: 1137 Centre Street, Suite 101, Thornhill, Ontario, L4J 3M6
Tom Krcmar
TEL.: (905)738-0053
FAX: (905) 738-9221
tom@krcmar.ca

Client:
HR Developments | Fieldgate

Betovan Construction Ltd.
Proposed Residential Development

Drawing Title:
Cover Sheet

Scale:

Drawn by:
Author

Checked by:
Checker

Project No.:
15-067

Date:
Oct 13, 2023

Drawing No.:

dA0.0



Statistics Template – Toronto Green Standard Version 4.0

Mid to High Rise Residential and all New Non-Residential Development

The Toronto Green Standard Version 4.0 Statistics Template is submitted with Site Plan Control Applications and stand-alone Zoning Bylaw Amendment applications. Complete the table and copy it directly onto the Site Plan submitted as part of the application.

For Zoning Bylaw Amendment applications: complete General Project Description and Section 1.
For Site Plan Control applications: complete General Project Description, Section 1 and Section 2.
For further information, please visit www.toronto.ca/greendevlopment

General Project Description	Proposed
Total Gross Floor Area	22,450 m ²
Breakdown of project components (m ²):	
Residential	22,450 m ²
Retail	-
Commercial	-
Industrial	-
Institutional/Other	-
Total number of residential units	306

Section 1: For Stand Alone Zoning Bylaw Amendment Applications and Site Plan Control Applications

Low Emissions Transportation	Required	Proposed	Proposed %
Number of Parking Spaces	637	637	100
Number of EV Parking Spaces (Residential)	260	260	100
Number of EV Parking Spaces (non-residential)	-	-	-

Cycling Infrastructure	Required	Proposed	Proposed %
Number of long-term bicycle parking spaces (all-uses)	209	209	100
Number of long-term bicycle parking located on:			
a) first storey of building	-	-	-
b) second storey of building	209	209	100
c) first level below-ground	-	-	-
d) second level below-ground	-	-	-
e) other levels below-ground	-	-	-



Statistics Template – Toronto Green Standard Version 4.0

Mid to High Rise Residential and all New Non-Residential Development

Cycling Infrastructure	Required	Proposed	Proposed %
Number of short-term bicycle parking spaces	21	21	100
Number of shower and change facilities (non-residential)			

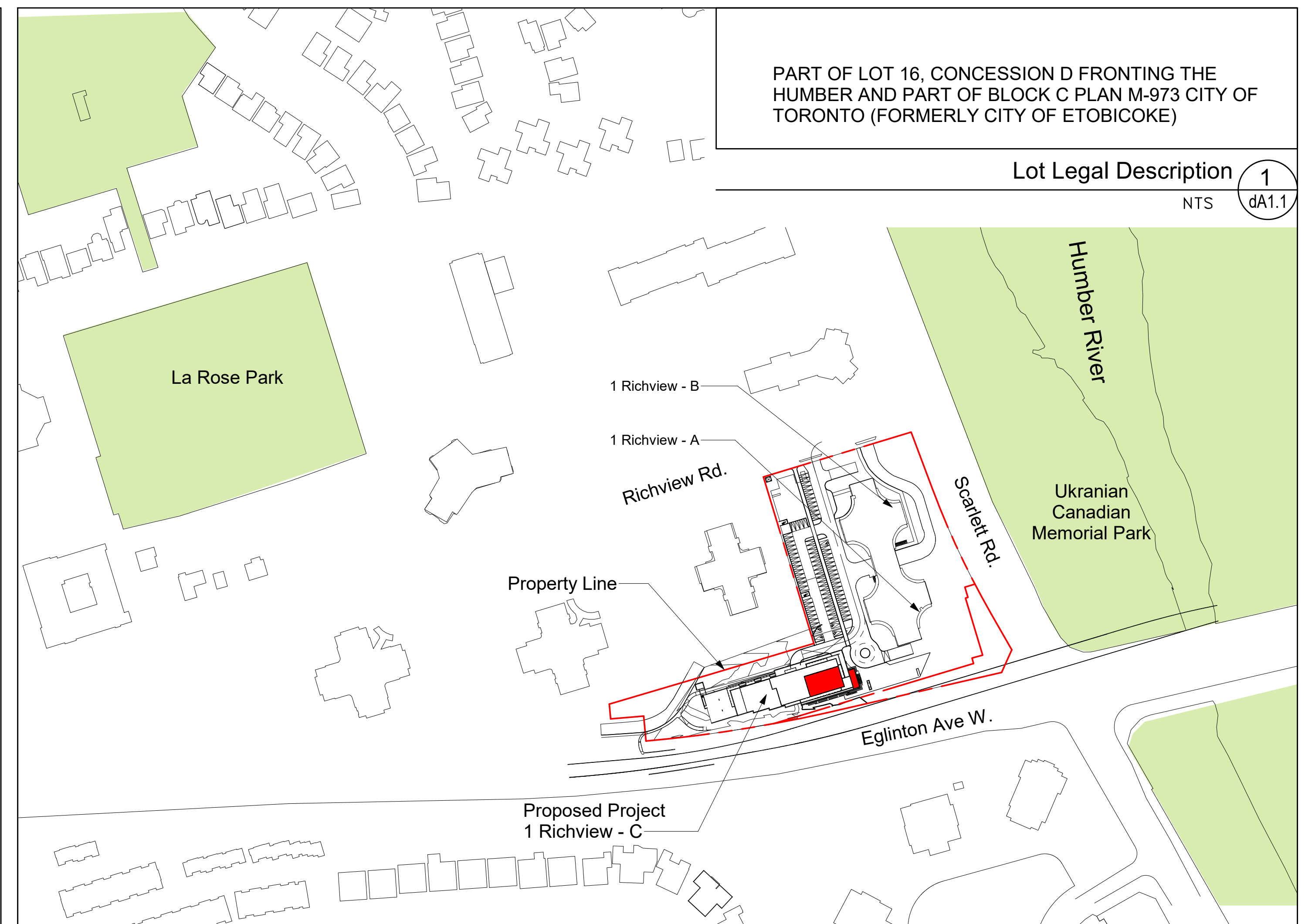
Tree Canopy	Required	Proposed	Proposed %
Total Soil Volume (40% of the site area + 66 m ² x 30 m ³)	1096	1416	129
Soil volume provided within the site area (m ³)		1416	100
Soil Volume provided within the public boulevard (m ³)			

Section 2: For Site Plan Control Applications

Cycling Infrastructure	Required	Proposed	Proposed %
Number of short-term bicycle parking spaces (all uses) at-grade or on first level below grade			
Number of publicly accessible bicycle parking spaces			
Number of energized outlets for electric bicycles			

Tree Canopy	Required	Proposed	Proposed %
Total site area (m ²)		6029	
Total Soil Volume (40% of the site area + 66 m ² x 30 m ³)	1096	1416	129
Total number of trees planted	36	36	100
Number of surface parking spaces (if applicable)			
Number of shade trees located in surface parking area			

Landscaping & Biodiversity	Required	Proposed	Proposed %
Total non-roof hardscape area (m ²)		2638	
Total non-roof hardscape area treated for Urban Heat Island (minimum residential 75% or non-residential 50%) (m ²)	1978	1995	76
Area of non-roof hardscape treated with: (Indicate m ²)			
a) high-albedo surface material		1995	100
b) open-grid pavement			
c) shade from tree canopy			

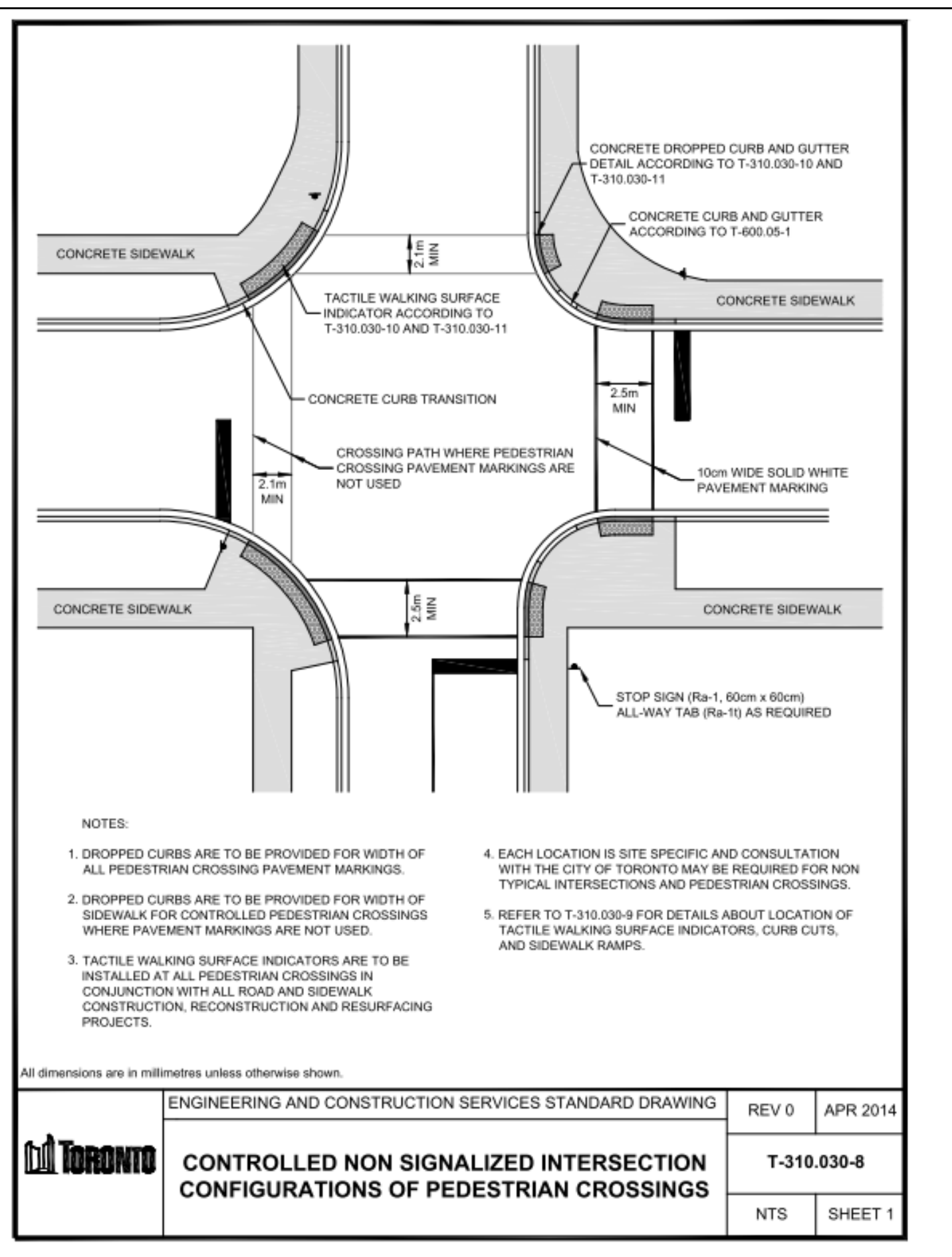


PART OF LOT 16, CONCESSION D FRONTING THE HUMBER AND PART OF BLOCK C PLAN M-973 CITY OF TORONTO (FORMERLY CITY OF ETOBICOKE)

Lot Legal Description 1 NTS dA1.1

TGS Stats Table 4 NTS dA1.1

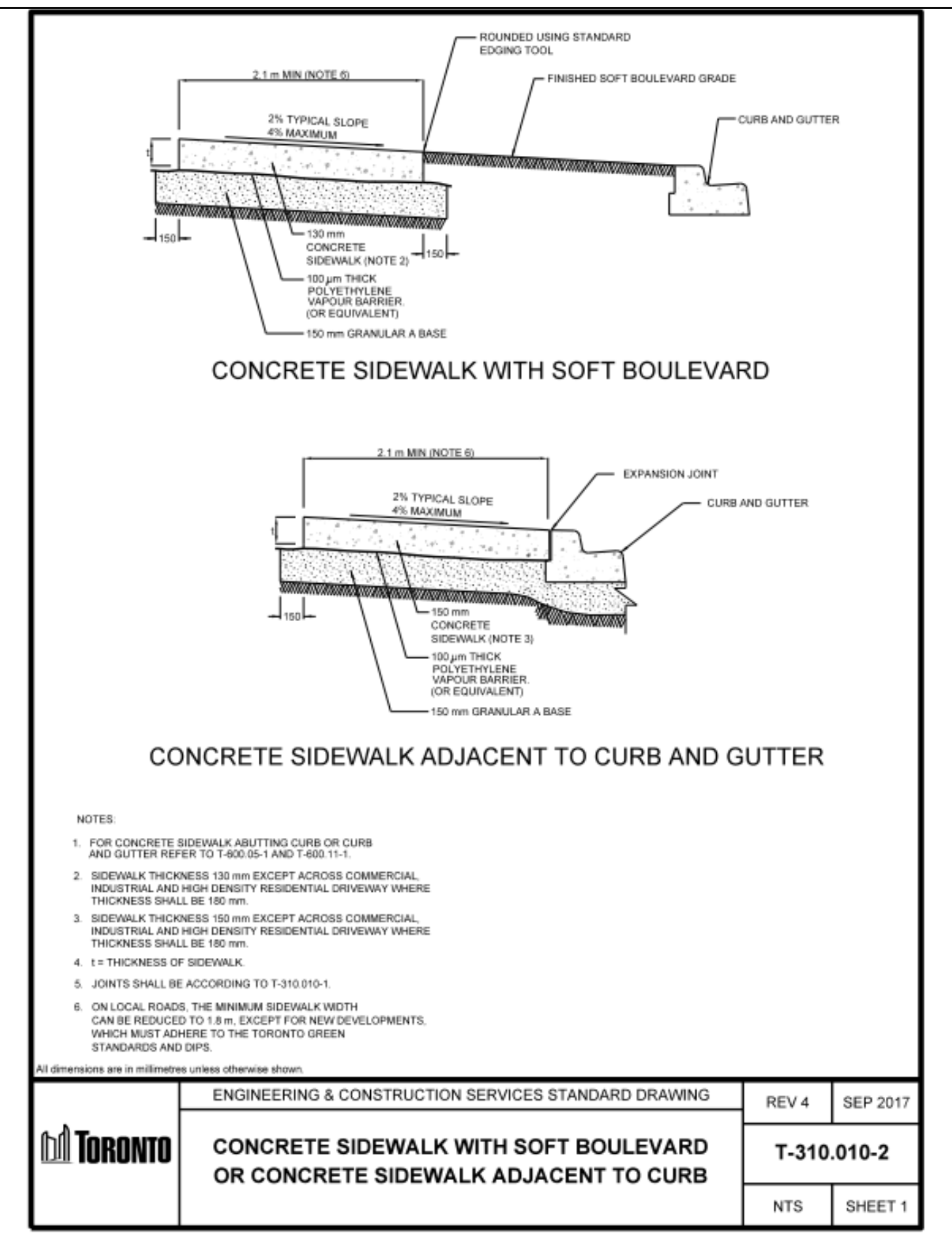
CONTEXT PLAN 2 NTS dA1.1



- NOTES:
- DROPPED CURBS ARE TO BE PROVIDED FOR WIDTH OF ALL PEDESTRIAN CROSSING PAVEMENT MARKINGS.
 - DROPPED CURBS ARE TO BE PROVIDED FOR WIDTH OF SIDEWALK FOR CONTROLLED PEDESTRIAN CROSSINGS WHERE PAVEMENT MARKINGS ARE NOT USED.
 - TACTILE WALKING SURFACE INDICATORS ARE TO BE INSTALLED AT ALL PEDESTRIAN CROSSINGS IN CONJUNCTION WITH ALL ROAD AND SIDEWALK CONSTRUCTION, RECONSTRUCTION AND RESURFACING PROJECTS.
 - EACH LOCATION IS SITE SPECIFIC AND CONSULTATION WITH THE CITY OF TORONTO MAY BE REQUIRED FOR NON TYPICAL INTERSECTIONS AND PEDESTRIAN CROSSINGS.
 - REFER TO T-310.030-9 FOR DETAILS ABOUT LOCATION OF TACTILE WALKING SURFACE INDICATORS, CURB CUTS, AND SIDEWALK RAMPS.

ENGINEERING & CONSTRUCTION SERVICES STANDARD DRAWING	REV 0	APR 2014
CONTROLLED NON SIGNALIZED INTERSECTION CONFIGURATIONS OF PEDESTRIAN CROSSINGS	T-310.030-8	
	NTS	SHEET 1

T-310.030-8 6 NTS dA1.1



- NOTES:
- FOR CONCRETE SIDEWALK ABUTTING CURB OR CURB AND GUTTER REFER TO T-600.05-1 AND T-600.11-1.
 - SIDEWALK THICKNESS 150 mm EXCEPT ACROSS COMMERCIAL, INDUSTRIAL AND HIGH DENSITY RESIDENTIAL DRIVEWAY WHERE THICKNESS SHALL BE 180 mm.
 - SIDEWALK THICKNESS 100 mm EXCEPT ACROSS COMMERCIAL, INDUSTRIAL AND HIGH DENSITY RESIDENTIAL DRIVEWAY WHERE THICKNESS SHALL BE 180 mm.
 - 1 + THICKNESS OF SIDEWALK.
 - JOINTS SHALL BE ACCORDING TO T-310.010-1.
 - ON LOCAL ROADS, THE MINIMUM SIDEWALK WIDTH CAN BE REDUCED TO 1.8 m, EXCEPT FOR NEW DEVELOPMENTS, WHICH MUST ADHERE TO THE TORONTO GREEN STANDARDS AND DIPS.

ENGINEERING & CONSTRUCTION SERVICES STANDARD DRAWING	REV 4	SEP 2017
CONCRETE SIDEWALK WITH SOFT BOULEVARD OR CONCRETE SIDEWALK ADJACENT TO CURB	T-310.010-2	
	NTS	SHEET 1

T-310.010-2_Rev4_Sep2017 5 NTS dA1.1



Green Roof Statistics

The Green Roof Statistics Template is required to be submitted for Site Plan Control Applications where a green roof is required under the Toronto Municipal Code Chapter 492, Green Roofs. Complete the table below and copy it directly onto the Roof Plan submitted as part of any Site Plan Control Application requiring a green roof in accordance with the Bylaw. Refer to Section § 492-1 of the Municipal Code for a complete list of defined terms, and greater clarity and certainty regarding the intent and application of the terms included in the template. The Toronto Municipal Code Chapter 492, Green Roofs can be found online at: http://www.toronto.ca/legdocs/municode/1184_492.pdf

Green Roof Statistics

Available Roof Space Calculation	Proposed
Gross Floor Area, as defined in Green Roof Bylaw (m ²)	22,450
Total Roof Area (m ²)	1,453
Area of Residential Private Terraces (m ²)	217
Rooftop Outdoor Amenity Space, if in a Residential Building (m ²)	342
Area of Renewable Energy Devices (m ²)	-
Tower (s)Roof Area with floor plate less than 750 m ²	748
Total Available Roof Space (m ²)	146
Green Roof Coverage	Required Proposed
Coverage of Available Roof Space (m ²)	87 110
Coverage of Available Roof Space (%)	60% 75%

GREEN ROOF STATISTICS 3 NTS dA1.1

All Drawings, Specifications, and Related Documents are the Copyright of the Architect. The Architect retains all rights to control all uses of these documents for the intended issuance/use as identified below. Reproduction of these Documents, without permission from the Architect, is strictly prohibited. The Authorities Having Jurisdiction are permitted to use, distribute, and reproduce these drawings for the intended issuance as noted and dated below, however the extended permission to the Authorities Having Jurisdiction in no way debases or limits the Copyright of the Architect, or control of use of these documents by the Architect.

Do not scale the drawings.
This Drawing is Not To Be Used For Construction Until Signed By The Architect.

Date:



20 De Boers Drive Suite 400
Toronto, ON M3J 0H1

Revisions:
No. Revision Date

DRAFT

7.	Re-Zoning	Re-submission	Feb 13, 2023
6.	Re-Zoning	Re-submission	Feb 10, 2023
5.	Re-Zoning	Re-submission	Feb 08, 2023
4.	Re-Zoning	Re-submission	Feb 03, 2023
3.	Re-Zoning	Re-submission	Dec 22, 2020
2.	Re-Zoning	Re-submission	Oct 07, 2020
1.	Re-Zoning		Dec 14, 2018

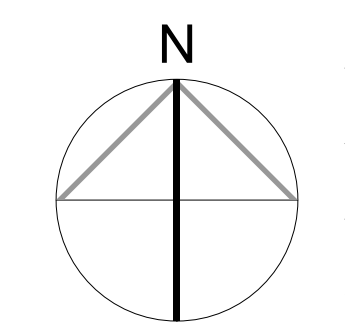
No.:	Issued For:	Date:
------	-------------	-------

Client: HR Developments | Fieldgate

Betovan Construction Ltd.
Proposed Residential Development

Context Plan, OBC Matrix, Green Roof Statistics

Scale:	1 : 2000
Drawn by:	Author
Checked by:	Checker
Project No.:	15-067
Date:	Oct 13, 2023
Drawing No.:	



dA1.1

PROJECT STATISTICS
1 Richview
 29 Storey Residential Infill
 Feb/03/2023 15067

Site plan approval # if applicable **TBD**

1.0 LOT AREA

Part No.	sq.m.	acres	hectres
Lot 16, Con. D	19,851	4.9032	1.98

2.0 ZONING DESIGNATION

Zoning :	RA
Legal Description :	Part of Lot 16, Concession D Fronting the Humber and Park of Block C, Plan M-973 City of Toronto
Minimum Lot Frontage:	24m
Minimum Lot area for each dwelling:	16 sq.m.

3.0 GROSS FLOOR AREAS

3.1 GFA PROPOSED For New Building (all common & residential areas, excluding shafts, mechanical, retail, parking & amenity areas)

	sq.m.	sq.ft.
Level P2	25.00	269
Level P1	25.00	269
Ground Level	226.59	2,439
Level 2	1,225.07	13,187
Level 3	1,516.85	16,327
Level 4 (Including Indoor Amenity Area)	1,403.78	15,078
Level 5 (Including Indoor Amenity Area)	1,364.77	14,690
Level 6 (Including Indoor Amenity Area)	703.38	7,571
Level 7 - 29	23 x 703.38	16,881.12
Total GFA (Including Indoor Amenity Area)	23,369	251,268
TOTAL GFA (New Building) (Excluding Required Indoor Amenity Area)	22,450	241,653

3.3 GFA 1A Richview Rd (Existing Building)

	sq.m.	sq.ft.
Ground Floor	468	5,038
Retail	106	1,141
Amenity Area	512	5,511
Levels 2-19	21,746	234,067
Total 1A Richview Rd	22,832	245,756

3.4 GFA 1B Richview Rd (Existing Building)

	sq.m.	sq.ft.
Ground Floor	799	8,600
Retail	145	1,561
Amenity Area	89	958
Levels 2-19	21,746	234,067
Total 1B Richview Rd	22,779	245,188

GRAND TOTAL GFA **68,060** **732,611**

4.0 FLOOR SPACE INDEX (GFA divided by LOT AREA)

FSI with only Existing Buildings	2.30
FSI with New Building	3.43

5.0 LOT COVERAGE (Ground Floor Area divided by Lot Area)

5.1 Ground Floor Area

	sq.m.	sq.ft.
1A Richview Rd.	2,233	24,036
1B Richview Rd.	1,088	11,711
New Building	1,718	18,492

5.2 Lot Coverage

Existing Coverage	16.7%	3,321	35,747
Coverage with New Building	25.4%	5,039	54,239

5.3 Landscape Area Coverage

LANDSCAPE AREA	49.0%	9,718	104,604
----------------	-------	-------	---------

6.0 UNIT COUNT

6.1 Existing Buildings Unit Count (1A, 1B)

	1B	1B+D	2B	2B+D	3B	Total
1A Richview Rd.	91	0	73	0	18	182 units
1B Richview Rd.	91	0	74	0	18	183 units
Total Units	182	0	147	0	36	365 units
Percent	50%	0%	40%	0%	10%	

6.2 New Building Unit Count

	1B	1B+D	2B	2B+D	3B	Units/Floor	Total
Ground Floor	0	0	0	0	0	0	0 units
Level 2	0	6	3	0	1	10	10 units/ floor
Level 3	0	6	3	0	2	11	11 units/ floor
Level 4-5	0	6	3	0	2	11	22 units/ floor
Level 6	6	1	2	0	1	10	10 units/ floor
Level 7 - 29	6	1	3	0	1	11	253 units/ floor
Total Units	144	48	83	0	31		306 units
Percent	47%	16%	27%	0%	10%		100%
Total Units (New and Existing)							671 units

6.3 Growing Up Guidelines Unit Count

	2B	3B	Units/Floor	Total
Ground Floor	0	0	0	0 units
Level 2	0	1	1	1 units
Level 3	0	2	2	2 units/ floor
Level 4-5	0	2	2	4 units/ floor
Level 6	1	1	2	2 units/ floor
Level 7 - 29	1	1	2	46 units/ floor
Total Units	24	31		55 units
Percent	8%	10%		18%

7.0 PARKING (PA4)

7.1 Parking Proposed 1A Richview Rd

All Units	0.85 x	182 units	156	spaces
Visitor	0.10 x	182 units	18	spaces
Parking Proposed 1A Richview Rd	0.95		173	spaces

7.2 Parking Proposed 1B Richview Rd

All Units	0.85 x	183 units	156	spaces
Visitor	0.10 x	183 units	18	spaces
Parking Proposed 1B Richview Rd	0.95		174	spaces

7.3 Parking Proposed New Building

All Units	0.85 x	306 units	260	spaces
Visitor	0.10 x	306 units	31	spaces
Parking Proposed New Building	0.95		291	spaces
Total Parking Required			637	spaces

7.4 Barrier Free Parking Required

First 100 Spaces	5	spaces
Each 50 spaces above 100 spaces	11	spaces
Total Barrier Free Parking Required	16	spaces

7.5 Total Parking Provided

	New Resident	Existing Resident	Visitor	Total
Residential				
P2 Level	157			157
P1 Level	179	189		368
Ground	45		67	112
Total Parking	381	189	67	637

7.6 Barrier Free Parking Spaces Provided

P2 Level	4	spaces
P1 Level	5	spaces
Ground	7	spaces
Total Parking	16	spaces

7.7 Parking to Unit Ratio

0.95

7.5 Number of EVSE Parking Spaces

All 260 residential Parking Spaces designated for the New Building, will be provided with energized outlet (EVSE).

8.0 Bicycle Parking (Bicycle Zone 2)

8.1 Bicycle Parking Required (New building only)

Long Term	0.68/ unit			
Short Term	0.07/unit	0.68x 306 units	209	spaces
		0.07x 306 units	21	spaces
Total Bicycle Parking Required			230	spaces

8.2 Bicycle Parking Provided (New & EXISTING building)

Long Term on L2 (NEW BLDG.)	206	spaces
Short Term on L1 (NEW BLDG.)	21	spaces
Short Term on L1 (FOR EXISTING BLDG.)	20	spaces
Total Bicycle Parking Provided	247	spaces

9.0 Amenity Area

EXISTING CONDITION

9.1 Indoor Amenity Area Required for EXISTING Buildings

1A Richview Rd	2 m ² / unit	2 x 182 units	364	m ²
1B Richview Rd	2 m ² / unit	2 x 183 units	366	m ²
Total Amenity Area Required for EXISTING Buildings			730	m²

9.2 Outdoor Amenity Area Required for EXISTING Buildings

1A Richview Rd	2 m ² / unit	2 x 182 units	364	m ²
1B Richview Rd	2 m ² / unit	2 x 183 units	366	m ²
Total Amenity Area Required for EXISTING Buildings			730	m²

9.3 Indoor Amenity Area Provided in EXISTING Buildings

1A Richview Rd - Pool @ L1	236	m ²
1A Richview Rd - Change room, Women's @ P1	76	m ²
1A Richview Rd - Change room, Men's @ L1	111	m ²
Total Amenity Area Provided for EXISTING Buildings	423	m²

9.4 Outdoor Amenity Areas Provided in EXISTING Condition

	sq.m.	sq.ft.
Playground	96	1,033
Sitting Areas @ Grade	60	646
Total Outdoor Amenity Area Provided in EXISTING Condition	156	1,679

WITH NEW DEVELOPMENT

9.5 Indoor Amenity Area Required

1A Richview Rd	2 m ² / unit	2 x 182 units	364	m ²
1B Richview Rd	2 m ² / unit	2 x 183 units	366	m ²
New Building	2 m ² / unit	2 x 306 units	612	m ²
Total Amenity Area Required			1342	m²

9.6 Indoor Amenity Area Provided

1A Richview Rd - Pool @ L1	236	m ²
1A Richview Rd - Change room, Women's @ P1	76	m ²
1A Richview Rd - Change room, Men's @ L1	111	m ²
New Building - Multi Purpose Room @ L4	550	m ²
New Building - Multi Purpose Room @ L5	505	m ²
New Building - Multi Purpose Room @ L6	60	m ²
Total Amenity Area Provided	1538	m²

9.7 Outdoor Amenity Area Required

1A Richview Rd	2 m ² / unit	2 x 182 units	364	m ²
1B Richview Rd	2 m ² / unit	2 x 183 units	366	m ²
New Building	2 m ² / unit	2 x 306 units	612	m ²
Total Amenity Area Required			1342	m²

9.8 Outdoor Amenity Areas Provided

	sq.m.	sq.ft.
Outdoor Open Space @ Grade	600	6,458
Playground	348	3,746
Sitting Areas @ Grade	557	5,995
Level 6 - Outdoor Amenity	340	3,660
Total Amenity Area	1845	19,859

All Drawings, Specifications, and Related Documents are the Copyright of the Architect. The Architect retains all rights to control all uses of these documents for the intended issuance/use as identified below. Reproduction of these Documents, without permission from the Architect, is strictly prohibited. The Authorities Having Jurisdiction are permitted to use, distribute, and reproduce these drawings for the intended issuance as noted and dated below, however the extended permission to the Authorities Having Jurisdiction in no way debases or limits the Copyright of the Architect, or control of use of these documents by the Architect.

Do not scale the drawings.
 This Drawing is Not To Be Used For Construction Until Signed By The Architect.
 Date:

Revisions:

No.:	Revision:	Date:
7.	Re-Zoning Re-submission	Feb 13, 2023
6.	Re-Zoning Re-submission	Feb 10, 2023
5.	Re-Zoning Re-submission	Feb 08, 2023
4.	Re-Zoning Re-submission	Feb 03, 2023
3.	Re-Zoning Re-submission	Dec 22, 2020
2.	Re-Zoning Re-submission	Oct 07, 2020
1.	Re-Zoning	Dec 14, 2018

Client:
HR Developments | Fieldgate

Proposed Residential Development
Betovan Construction Ltd.

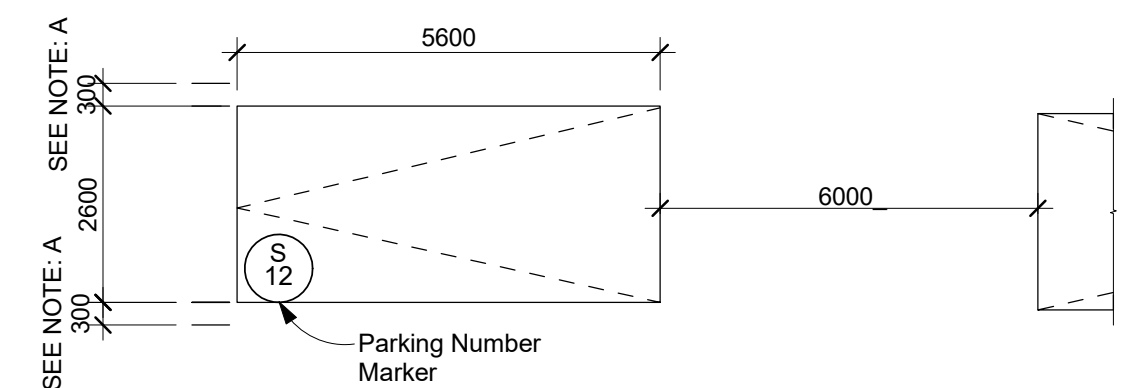
Building Title:
Building Statistics

Scale:
 Drawn by:
Author
 Checked by:
Checker
 Project No.:
15-067
 Date:
Oct 13, 2023
 Drawing No.:

DRAFT

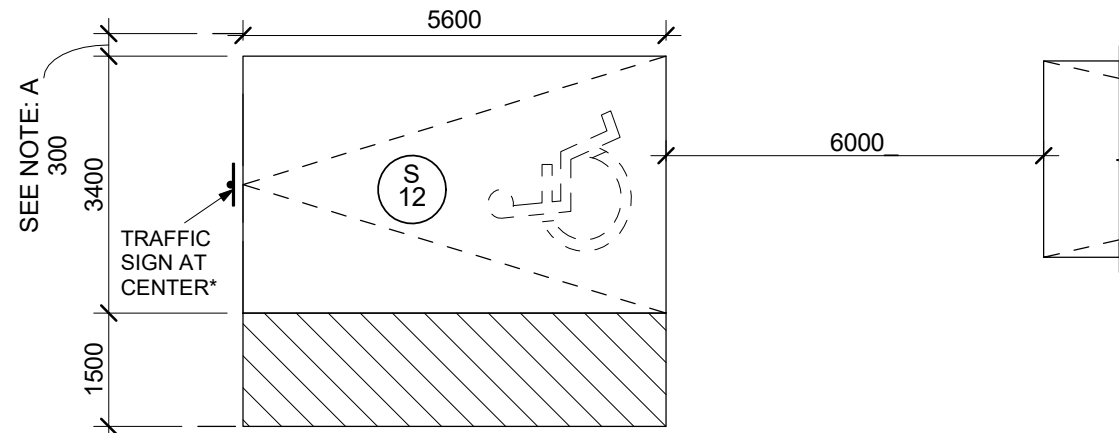
TYPICAL PARKING SPACE:

Drive Aisle @ 6m min.



NOTES:
A- PROVIDE AN ADDITIONAL 300mm FOR PARKING SPACE WIDTH WHEN OBSTRUCTIONS OCCUR BETWEEN THE FRONT AND REAR 1000mm

BARRIER FREE PARKING SPACE:



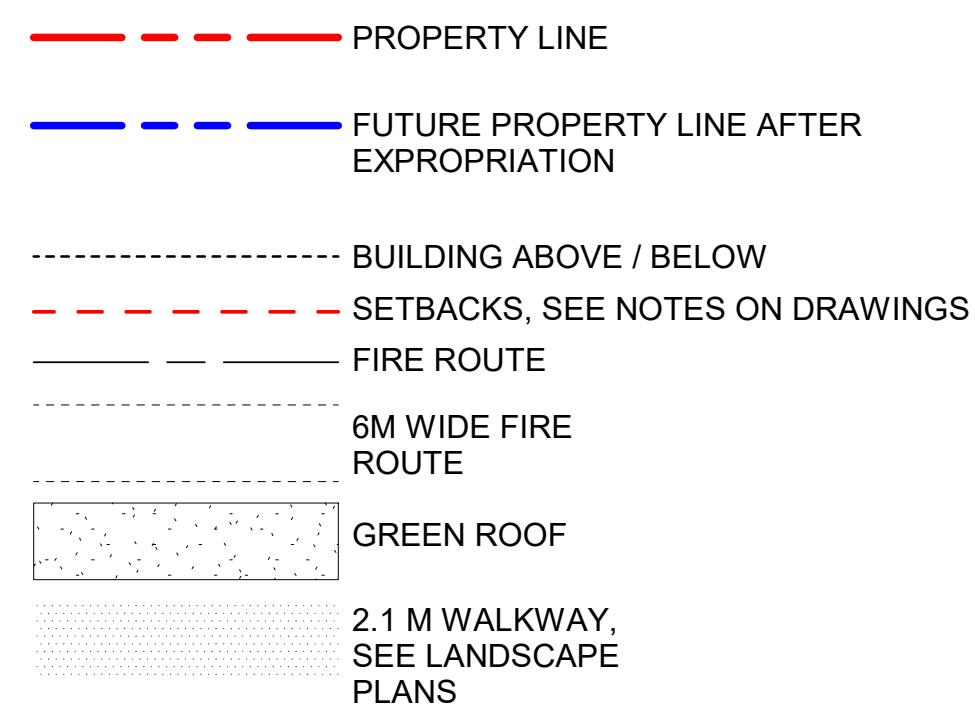
NOTE:
A- PROVIDE AN ADDITIONAL 300mm FOR PARKING SPACE WIDTH WHEN OBSTRUCTIONS OCCUR BETWEEN THE FRONT AND REAR 1000mm
B- GROUND LEVEL PARKING CAN BE DIFFERENTIATED THROUGH DIFFERENT TONES AND PATTERN OF UNIT PAVERS, SEE L-D5
* PROVIDE "VAN ACCESSIBLE" SIGN FOR TYPE A ONLY

PARKING SPACES LEGEND 4
NTS dA1.3

NOTES:

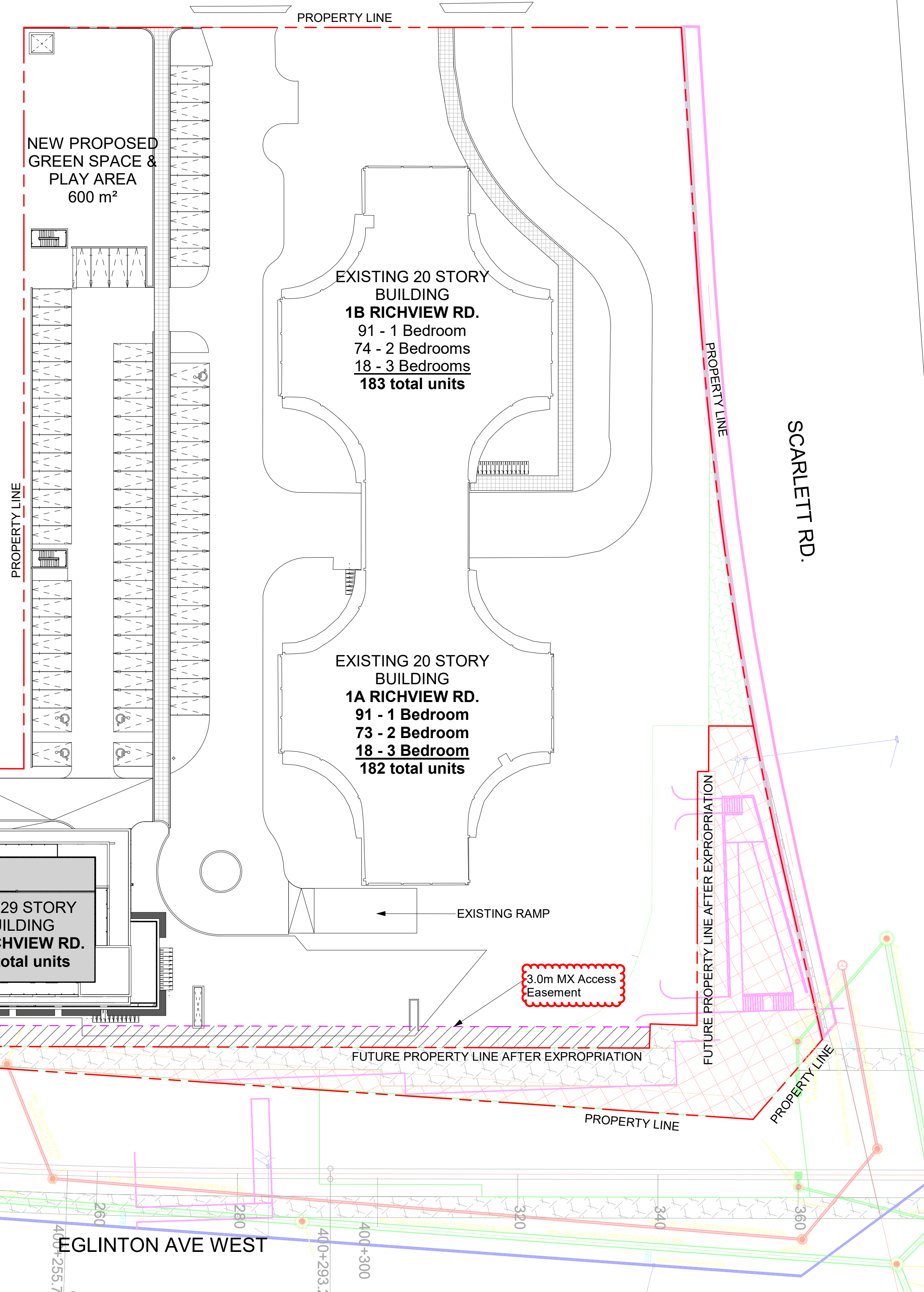
- FOR LANDSCAPE INFORMATION - REFER TO SBK LANDSCAPE DWG
- FOR SITE SERVICING / GRADING DETAILS - REFER TO SCHAEFFERS SITE SERVICING GRADING DWG
- FOR TRAFFIC SIGN INFO - REFER TO TRAFFIC REPORT BY DILLON CONSULTING.
- SEE FIRST FLOOR PLAN, SECOND FLOOR PLAN, CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL GRADING INFORMATION
- A TRAINED ON-SITE STAFF WILL BE AVAILABLE TO ACT AS A FLAGMAN WHEN TRUCKS ARE REVERSING FROM THE LOADING SPACE.
- 3 LEVS AND 127 EVSES WILL BE RPOVIDED AT GRADE AND P1 LEVEL
- MAXIMUM POROSITY OF VENTILATION GRATES IS 20 MM X 20 MM.
- DARK SKY COMPLIANT FXTURES FOR EXTERIOR LIGHTING
- "THE EXISTING SIDEWALKS ALONG THE RICHVIEW ROAD, SCARLETT ROAD AND EGLINTON AVENUE WEST FRONTAGES OF THE PROPERTY SHALL BE RECONSTRUCTED BY THE OWNER TO THE SATISFACTION OF THE CITY AND AT NO COST TO THE MUNICIPALITY".

NOTES 3
NTS dA1.3



LINE WEIGHT LEGEND 2
NTS dA1.3

PART:	INTEREST:	PIN:	CONTRACT:	AREA:
PART 1	FEE SIMPLE	073820150	EG, SRS	770.9m ²
PART 2	FEE SIMPLE	073820150	EG, SRS	53.2m ²
PART 3	EASEMENT	073820150	EG, SRS	447.8m ²
PART 4	EASEMENT	073820150	EG, SRS	115.4m ²
PART 5	TEMP. EASEMENT	073820150	SRS	123.6m ²
PART 6	TEMP. EASEMENT	073820150	SRS	402.5m ²
PART 7	TEMP. EASEMENT	073820150	EG	556.0m ²



All Drawings, Specifications, and Related Documents are the Copyright of the Architect. The Architect retains all rights to control all uses of these documents for the intended issuance/use as identified below. Reproduction of these Documents, without permission from the Architect, is strictly prohibited. The Authorities Having Jurisdiction are permitted to use, distribute, and reproduce these drawings for the intended issuance as noted and dated below, however the extended permission to the Authorities Having Jurisdiction in no way debases or limits the Copyright of the Architect, or control of use of these documents by the Architect.

Do not scale the drawings.
This Drawing is Not To Be Used For Construction Until Signed By The Architect.
Date:

KIRKOR
ARCHITECTS AND PLANNERS
20 De Boers Drive Suite 400
Toronto, ON M3J 0H1

No.:	Revision:	Date:

DRAFT

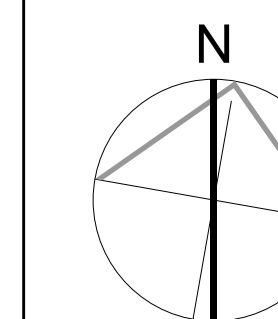
No.:	Issued For:	Date:
7.	Re-Zoning Re-submission	Feb 13, 2023
6.	Re-Zoning Re-submission	Feb 10, 2023
5.	Re-Zoning Re-submission	Feb 08, 2023
4.	Re-Zoning Re-submission	Feb 03, 2023
3.	Re-Zoning Re-submission	Dec 22, 2020
2.	Re-Zoning Re-submission	Oct 07, 2020
1.	Re-Zoning	Dec 14, 2018

Client:
HR Developments | Fieldgate

Betovan Construction Ltd.
Proposed Residential Development

Drawing Title:
Expropriation Plan

Scale:
As indicated
Drawn by:
Author
Checked by:
Checker
Project No.:
15-067
Date:
Oct 13, 2023
Drawing No.:

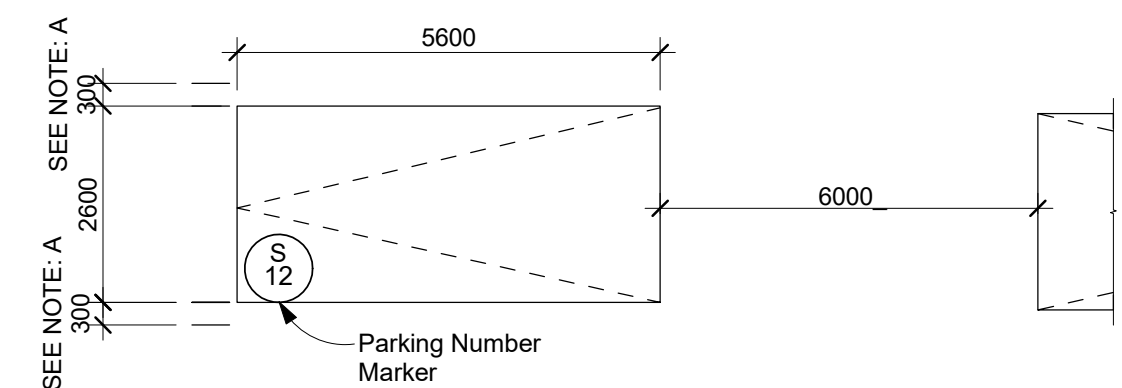


Expropriation Plan 1
Scale: 1:400 dA1.3

dA1.3

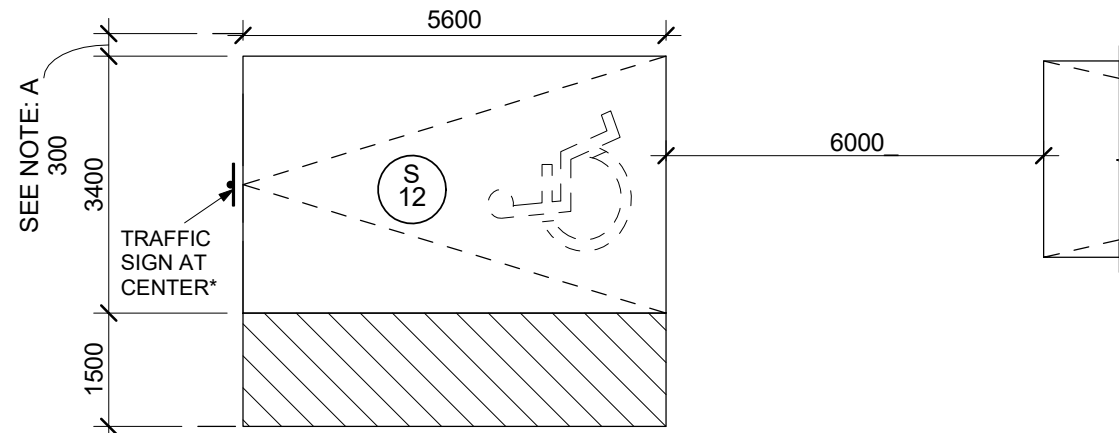
TYPICAL PARKING SPACE:

Drive Aisle @ 6m min.



NOTES:
A- PROVIDE AN ADDITIONAL 300mm FOR PARKING SPACE WIDTH WHEN OBSTRUCTIONS OCCUR BETWEEN THE FRONT AND REAR 1000mm

BARRIER FREE PARKING SPACE:



NOTE:
A- PROVIDE AN ADDITIONAL 300mm FOR PARKING SPACE WIDTH WHEN OBSTRUCTIONS OCCUR BETWEEN THE FRONT AND REAR 1000mm
B- GROUND LEVEL PARKING CAN BE DIFFERENTIATED THROUGH DIFFERENT TONES AND PATTERN OF UNIT PAVERS, SEE L-D5
* PROVIDE "VAN ACCESSIBLE" SIGN FOR TYPE A ONLY

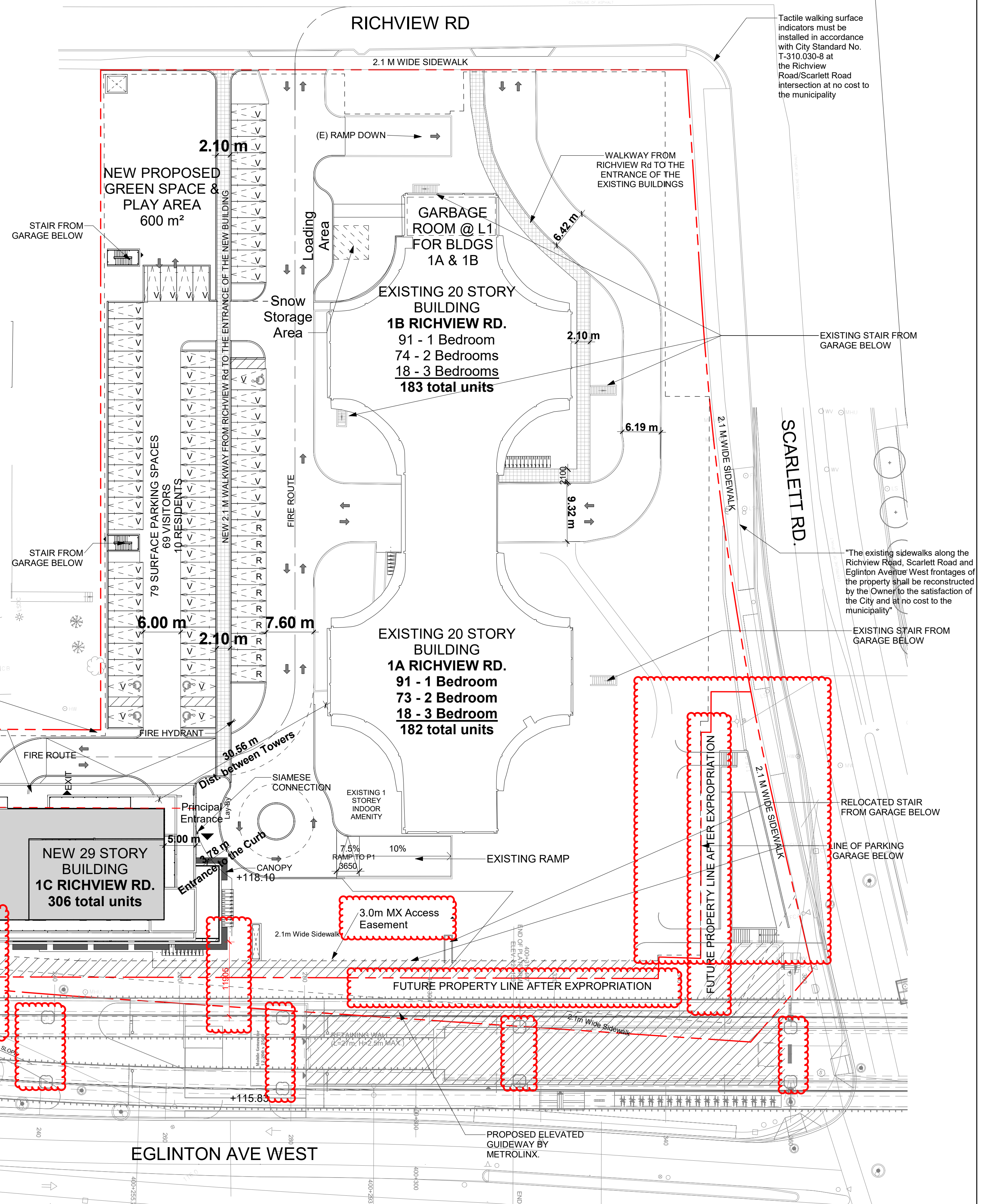
PARKING SPACES LEGEND 4
NTS dA1.4

- NOTES:**
- FOR LANDSCAPE INFORMATION - REFER TO SBK LANDSCAPE DWG
 - FOR SITE SERVICING / GRADING DETAILS - REFER TO SCHAEFFERS SITE SERVICING GRADING DWG
 - FOR TRAFFIC SIGN INFO - REFER TO TRAFFIC REPORT BY DILLON CONSULTING.
 - SEE FIRST FLOOR PLAN, SECOND FLOOR PLAN, CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL GRADING INFORMATION
 - A TRAINED ON-SITE STAFF WILL BE AVAILABLE TO ACT AS A FLAGMAN WHEN TRUCKS ARE REVERSING FROM THE LOADING SPACE.
 - 3 LEVS AND 127 EVSES WILL BE PROVIDED AT GRADE AND P1 LEVEL
 - MAXIMUM POROSITY OF VENTILATION GRATES IS 20 MM X 20 MM.
 - DARK SKY COMPLIANT FIXTURES FOR EXTERIOR LIGHTING
 - "THE EXISTING SIDEWALKS ALONG THE RICHVIEW ROAD, SCARLETT ROAD AND EGLINTON AVENUE WEST FRONTAGES OF THE PROPERTY SHALL BE RECONSTRUCTED BY THE OWNER TO THE SATISFACTION OF THE CITY AND AT NO COST TO THE MUNICIPALITY".

NOTES 3
NTS dA1.4

- LINE WEIGHT LEGEND** 2
NTS dA1.4
- PROPERTY LINE
 - FUTURE PROPERTY LINE AFTER EXPROPRIATION
 - BUILDING ABOVE / BELOW
 - SETBACKS, SEE NOTES ON DRAWINGS
 - FIRE ROUTE
 - 6M WIDE FIRE ROUTE
 - GREEN ROOF
 - 2.1 M WALKWAY, SEE LANDSCAPE PLANS

PROPERTY LINE



All Drawings, Specifications, and Related Documents are the Copyright of the Architect. The Architect retains all rights to control all uses of these documents for the intended issuance/use as identified below. Reproduction of these Documents, without permission from the Architect, is strictly prohibited. The Authorities Having Jurisdiction are permitted to use, distribute, and reproduce these drawings for the intended issuance as noted and dated below, however the extended permission to the Authorities Having Jurisdiction in no way debases or limits the Copyright of the Architect, or control of use of these documents by the Architect.

Do not scale the drawings.
This Drawing is Not To Be Used For Construction Until Signed By The Architect.
Date:

KIRKOR
ARCHITECTS AND PLANNERS
20 De Boers Drive Suite 400
Toronto, ON M3J 0H1

Revisions:	Date:
No.:	Revision:

DRAFT

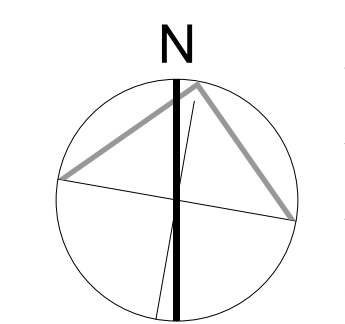
No.:	Issued For:	Date:
7.	Re-Zoning Re-submission	Feb 13, 2023
6.	Re-Zoning Re-submission	Feb 10, 2023
5.	Re-Zoning Re-submission	Feb 08, 2023
4.	Re-Zoning Re-submission	Feb 03, 2023
3.	Re-Zoning Re-submission	Dec 22, 2020
2.	Re-Zoning Re-submission	Oct 07, 2020
1.	Re-Zoning	Dec 14, 2018

Client:
HR Developments | Fieldgate

Proposed Residential Development
Betovan Construction Ltd.

Drawing Title:
Site Plan

Scale:
As indicated
Drawn by:
Author
Checked by:
Checker
Project No.:
15-067
Date:
Oct 13, 2023
Drawing No.:



SITE PLAN 1
Scale: 1:400 dA1.4

dA1.4

LINE WEIGHT LEGEND 2

NTS dA1.6

- PROPERTY LINE
- FUTURE PROPERTY LINE AFTER EXPROPRIATION
- BUILDING ABOVE / BELOW
- SETBACKS, SEE NOTES ON DRAWINGS
- FIRE ROUTE
- 6M WIDE FIRE ROUTE
- GREEN ROOF
- 2.1 M WALKWAY, SEE LANDSCAPE PLANS

All Drawings, Specifications, and Related Documents are the Copyright of the Architect. The Architect retains all rights to control all uses of these documents for the intended issuance/use as identified below. Reproduction of these Documents, without permission from the Architect, is strictly prohibited. The Authorities Having Jurisdiction are permitted to use, distribute, and reproduce these drawings for the intended issuance as noted and dated below, however the extended permission to the Authorities Having Jurisdiction in no way debases or limits the Copyright of the Architect, or control of use of these documents by the Architect.

Do not scale the drawings.
This Drawing is Not To Be Used For Construction Until Signed By The Architect.
Date:

KIRKOR

ARCHITECTS AND PLANNERS

20 De Boers Drive Suite 400
Toronto, ON M3J 0H1

Revisions:

No.	Revision	Date
-----	----------	------

DRAFT

7.	Re-Zoning Re-submission	Feb 13, 2023
6.	Re-Zoning Re-submission	Feb 10, 2023
5.	Re-Zoning Re-submission	Feb 08, 2023
4.	Re-Zoning Re-submission	Feb 03, 2023
3.	Re-Zoning Re-submission	Dec 22, 2020
2.	Re-Zoning Re-submission	Oct 07, 2020
1.	Re-Zoning	Dec 14, 2018

No.: Issued For: Date:

Client:
HR Developments | Fieldgate

Betovan Construction Ltd.
Proposed Residential Development

Drawing Title:
Existing Building First Floor

Scale:
As indicated

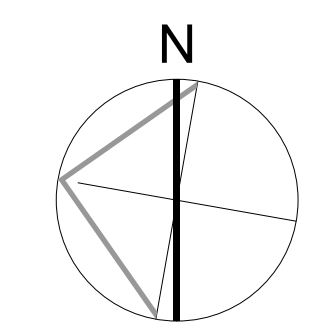
Drawn by:
Author

Checked by:
Checker

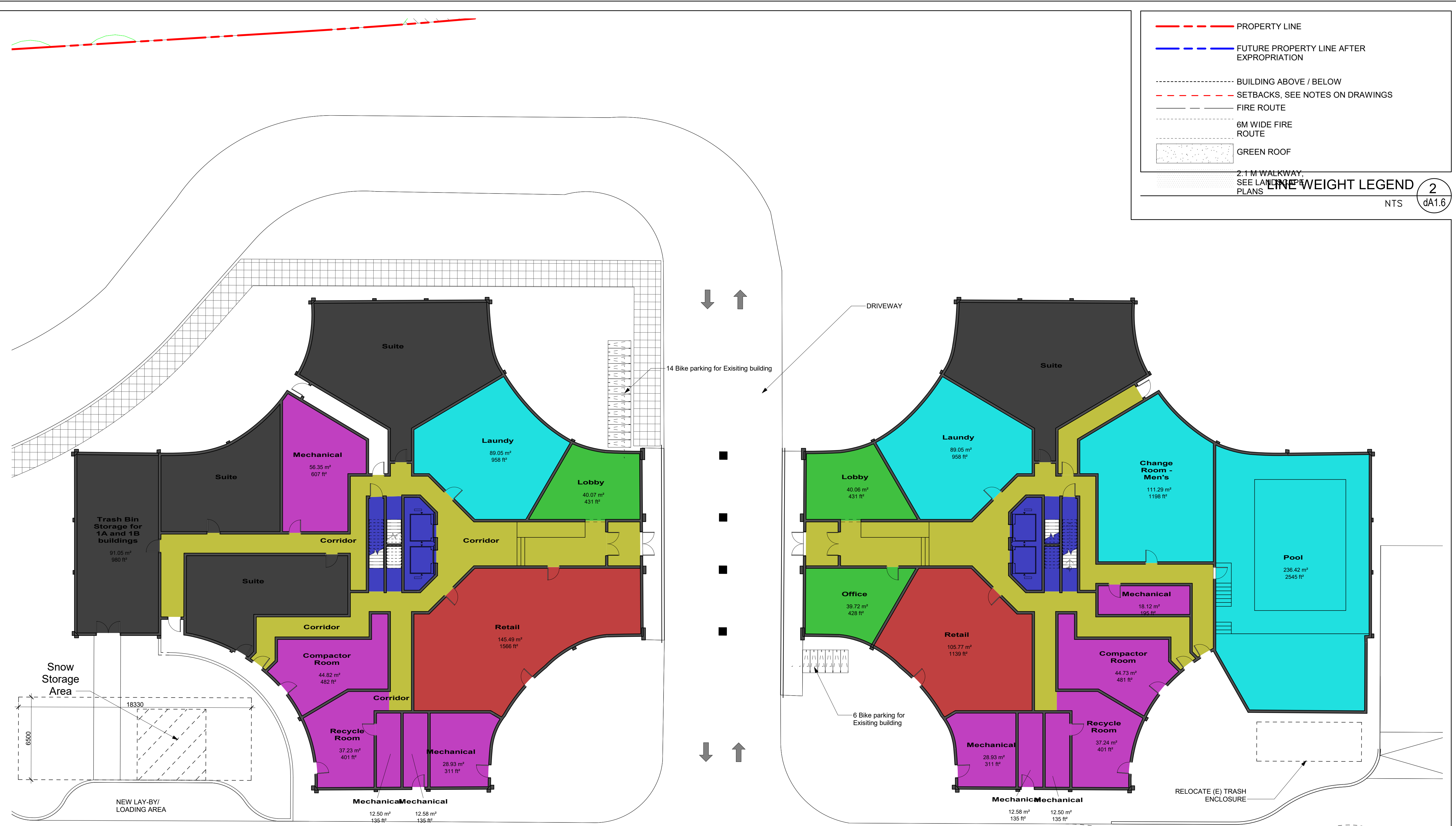
Project No.:
15-067

Date:
Oct 13, 2023

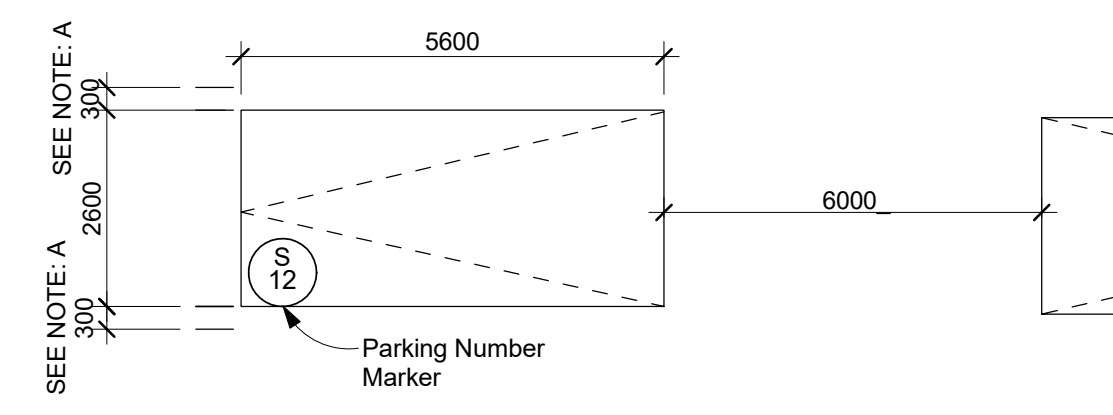
Drawing No.:



dA1.6

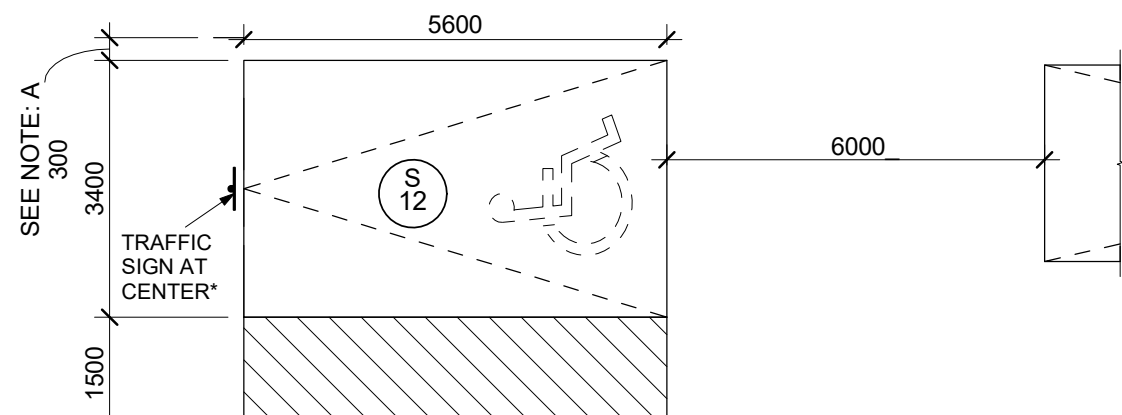


TYPICAL PARKING SPACE:
Drive Aisle @ 6m min.



NOTES:
A- PROVIDE AN ADDITIONAL 300mm FOR PARKING SPACE WIDTH WHEN OBSTRUCTIONS OCCUR BETWEEN THE FRONT AND REAR 1000mm

BARRIER FREE PARKING SPACE:



NOTE:
A- PROVIDE AN ADDITIONAL 300mm FOR PARKING SPACE WIDTH WHEN OBSTRUCTIONS OCCUR BETWEEN THE FRONT AND REAR 1000mm
B- GROUND LEVEL PARKING CAN BE DIFFERENTIATED THROUGH DIFFERENT TONES AND PATTERN OF UNIT PAVERS, SEE L-D5
* PROVIDE "VAN ACCESSIBLE" SIGN FOR TYPE A ONLY

PARKING SPACES LEGEND

NTS **2**
dA2.1

PART:	INTEREST:	PIN:	CONTRACT:	AREA:
PART 1	FEE SIMPLE	073820150	EG, SRS	770.9m ²
PART 2	FEE SIMPLE	073820150	EG, SRS	53.2m ²
PART 3	EASEMENT	073820150	EG, SRS	447.8m ²
PART 4	EASEMENT	073820150	EG, SRS	115.4m ²
PART 5	TEMP. EASEMENT	073820150	SRS	123.6m ²
PART 6	TEMP. EASEMENT	073820150	SRS	402.5m ²
PART 7	TEMP. EASEMENT	073820150	EG	556.0m ²

METROLINX LEGEND

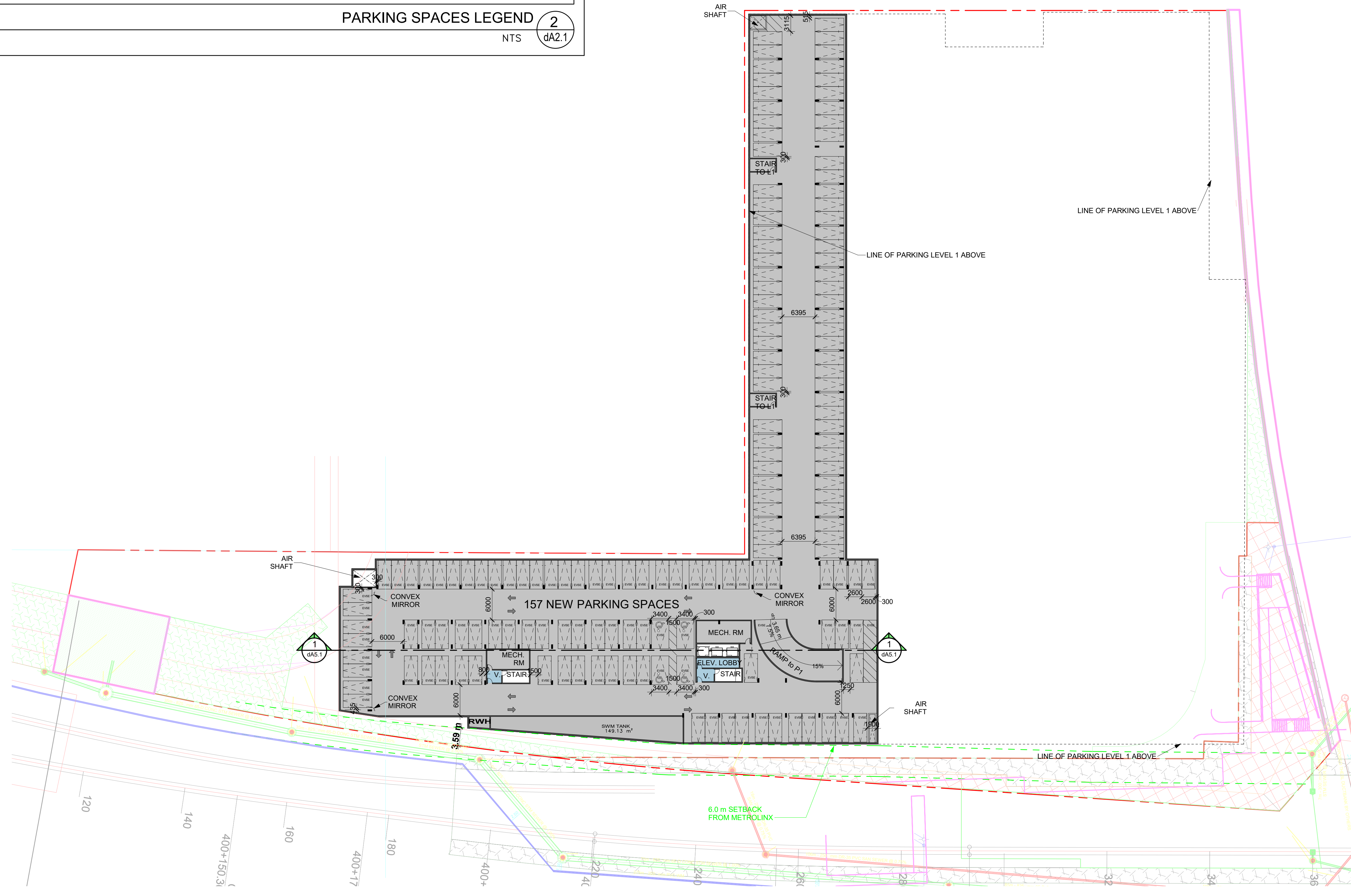
NTS **3**
dA2.1

NOTES:

- FOR LANDSCAPE INFORMATION - REFER TO SBK LANDSCAPE DWG
- FOR SITE SERVICING / GRADING DETAILS - REFER TO SCHAEFFERS SITE SERVICING GRADING DWG
- FOR TRAFFIC SIGN INFO - REFER TO TRAFFIC REPORT BY DILLON CONSULTING.
- SEE FIRST FLOOR PLAN, CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL GRADING INFORMATION

NOTES

NTS **4**
dA2.1



12 A2 Floor Plan - Level P2

Scale: 1 : 400

1
dA2.1

KIRKOR
ARCHITECTS AND PLANNERS
20 De Boers Drive Suite 400
Toronto, ON M3J 0H1

Revisions:
No.: Revision: Date:

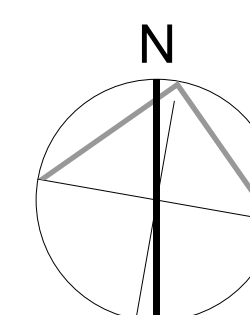
DRAFT

No.:	Revision:	Date:
7.	Re-Zoning Re-submission	Feb 13, 2023
6.	Re-Zoning Re-submission	Feb 10, 2023
5.	Re-Zoning Re-submission	Feb 08, 2023
4.	Re-Zoning Re-submission	Feb 03, 2023
3.	Re-Zoning Re-submission	Dec 22, 2020
2.	Re-Zoning Re-submission	Oct 07, 2020
1.	Re-Zoning	Dec 14, 2018
No.:	Issued For:	Date:

Client:
HR Developments | Fieldgate

Betovan Construction Ltd.
Proposed Residential Development

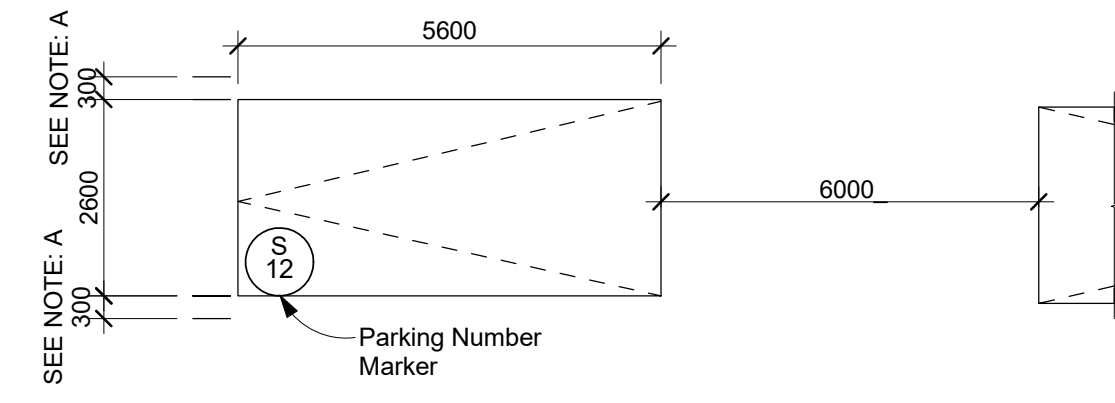
Drawing Title:
Parking Level 2 Floor Plan



Scale:
As indicated
Drawn by:
Author
Checked by:
Checker
Project No.:
15-067
Date:
Oct 13, 2023
Drawing No.:

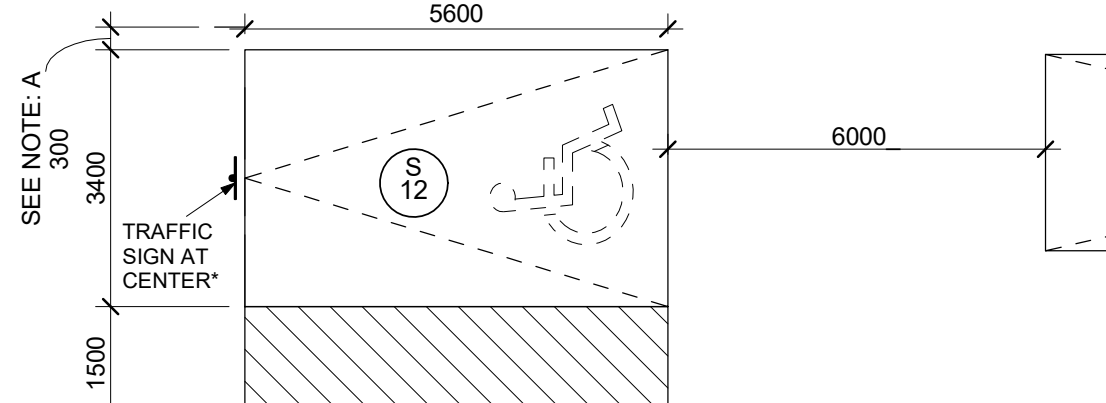
dA2.1

TYPICAL PARKING SPACE:
Drive Aisle @ 6m min.



NOTES:
A- PROVIDE AN ADDITIONAL 300mm FOR PARKING SPACE WIDTH WHEN OBSTRUCTIONS OCCUR BETWEEN THE FRONT AND REAR 1000mm

BARRIER FREE PARKING SPACE:



NOTE:
A- PROVIDE AN ADDITIONAL 300mm FOR PARKING SPACE WIDTH WHEN OBSTRUCTIONS OCCUR BETWEEN THE FRONT AND REAR 1000mm
B- GROUND LEVEL PARKING CAN BE DIFFERENTIATED THROUGH DIFFERENT TONES AND PATTERN OF UNIT PAVERS. SEE L-D5
* PROVIDE "VAN ACCESSIBLE" SIGN FOR TYPE A ONLY

PARKING SPACES LEGEND 2
NTS dA2.2

PART:	INTEREST:	PIN:	CONTRACT:	AREA:
PART 1	FEE SIMPLE	073820150	EG, SRS	770.9m ²
PART 2	FEE SIMPLE	073820150	EG, SRS	53.2m ²
PART 3	EASEMENT	073820150	EG, SRS	447.8m ²
PART 4	EASEMENT	073820150	EG, SRS	115.4m ²
PART 5	TEMP. EASEMENT	073820150	SRS	123.6m ²
PART 6	TEMP. EASEMENT	073820150	SRS	402.5m ²
PART 7	TEMP. EASEMENT	073820150	EG	556.0m ²

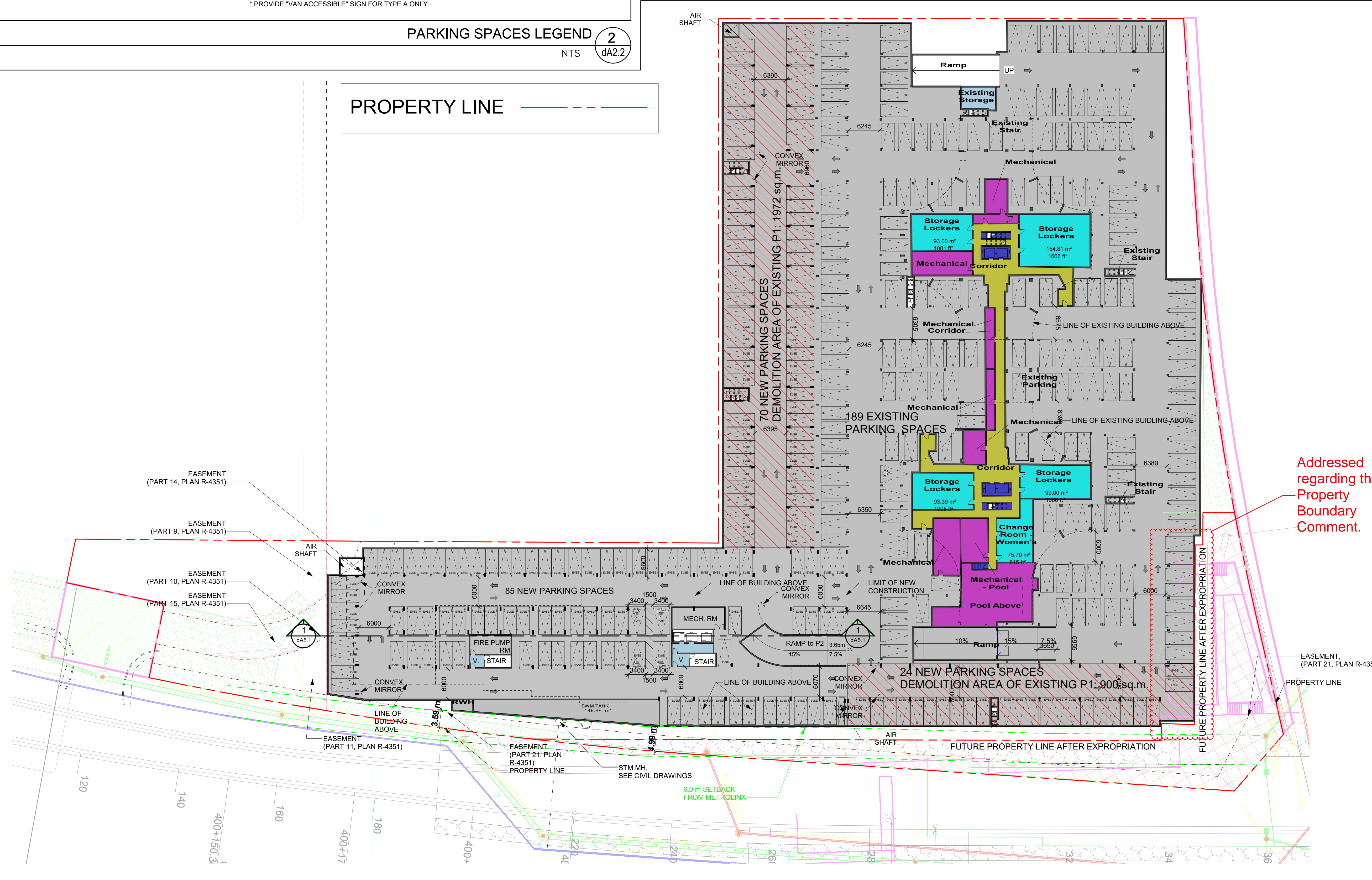
METROLINX LEGEND 3
NTS dA2.2

NOTES:

- FOR LANDSCAPE INFORMATION - REFER TO SBK LANDSCAPE DWG
- FOR SITE SERVICING / GRADING DETAILS - REFER TO SCHAEFFERS SITE SERVICING GRADING DWG
- FOR TRAFFIC SIGN INFO - REFER TO TRAFFIC REPORT BY DILLON CONSULTING.
- SEE FIRST FLOOR PLAN, CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL GRADING INFORMATION

NOTES 4
NTS dA2.2

PROPERTY LINE



KIRKOR
ARCHITECTS AND PLANNERS
20 De Boers Drive Suite 400
Toronto, ON M3J 0H1

No.:	Revision:	Date:

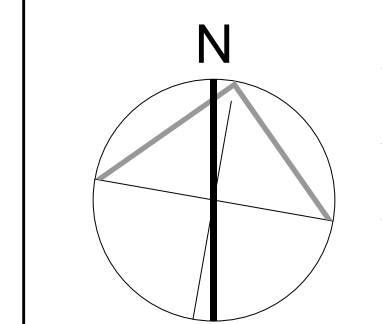
DRAFT

No.:	Issued For:	Date:
7.	Re-Zoning Re-submission	Feb 13, 2023
6.	Re-Zoning Re-submission	Feb 10, 2023
5.	Re-Zoning Re-submission	Feb 08, 2023
4.	Re-Zoning Re-submission	Feb 03, 2023
3.	Re-Zoning Re-submission	Dec 22, 2020
2.	Re-Zoning Re-submission	Oct 07, 2020
1.	Re-Zoning	Dec 14, 2018

Client:
HR Developments | Fieldgate
Proposed Residential Development

Parking Level 1 Floor Plan

Scale:
As indicated
Drawn by:
Author
Checked by:
Checker
Project No.:
15-067
Date:
Oct 13, 2023
Drawing No.:



FLOOR PLAN LEVEL P1 1
Scale: 1 : 400 dA2.2

dA2.2

All Drawings, Specifications, and Related Documents are the Copyright of the Architect. The Architect retains all rights to control all uses of these documents for the intended issuance/use as identified below. Reproduction of these Documents, without permission from the Architect, is strictly prohibited. The Authorities Having Jurisdiction are permitted to use, distribute, and reproduce these drawings for the intended issuance as noted and dated below, however the extended permission to the Authorities Having Jurisdiction in no way debases or limits the Copyright of the Architect, or control of use of these documents by the Architect.

Do not scale the drawings.
This Drawing is Not To Be Used For Construction Until Signed By The Architect.
Date:

Plot Date: 10/16/2023 7:48:42 AM File Path: C:\Users\3201\OneDrive\Documents\15-067-1\Revised - R07023.dwg

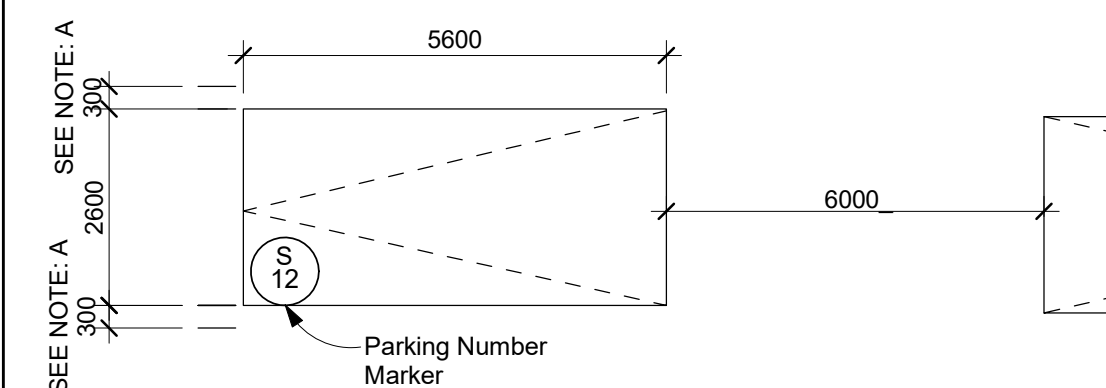
GARBAGE AND RECYCLING STORAGE

1.2.c City of Toronto Requirement
 Garbage: 2.5 m² (FOR THE FIRST 50 UNITS)
 + 13 m² (FOR EACH ADDITIONAL 50 UNITS)
 + 10 m² (FOR BULKY STORAGE)
 Calculations:
 Total Units: 306
 306/50=256
 256/50=5.12 x 13= 66.56 m²
 Calculated Waste Storage Room Requirement: 25m² + 66.56 m² = **91.56 m²** + **10 m²** (Bulky RM) = 101.56 m² required space
 TOTAL PROVIDED: 131.31 m²

- A trained on-site staff member will be available to manoeuvre bins for the collection driver and also act as a flagman when the truck is reversing. In the event the on-site staff is unavailable at the time the City collection vehicle arrives at the site, the collection vehicle will leave the site and not return until the next scheduled collection day
- All access driveways to be used by the collection vehicle will have maximum gradient of 8%, have a minimum vertical clearance of 4.4 metres throughout, a minimum width of 4.5 metres throughout and be 6 metres wide at point of ingress and egress.
- For Non-Res Waste management, the bins that will be used for the non-residential waste will be labelled separately from the bins for the residential waste
- For Non-Res Waste management, the non-residential component will only schedule use of the type G loading space on opposite days from the collection days of the residential component to ensure that the Type G loading space will be vacant for City Waste Collection.

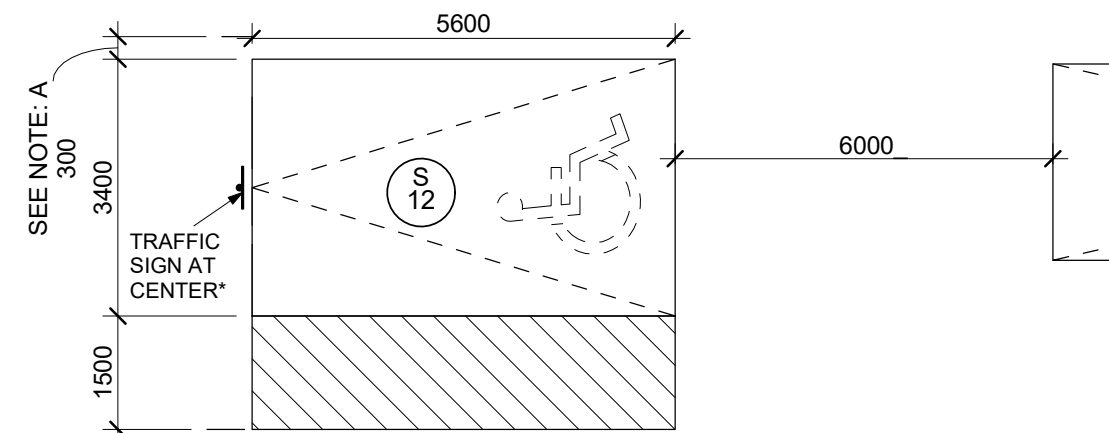
TYPICAL PARKING SPACE:

Drive Aisle @ 6m min.



NOTES:
 A- PROVIDE AN ADDITIONAL 300mm FOR PARKING SPACE WIDTH WHEN OBSTRUCTIONS OCCUR BETWEEN THE FRONT AND REAR 1000mm

BARRIER FREE PARKING SPACE:



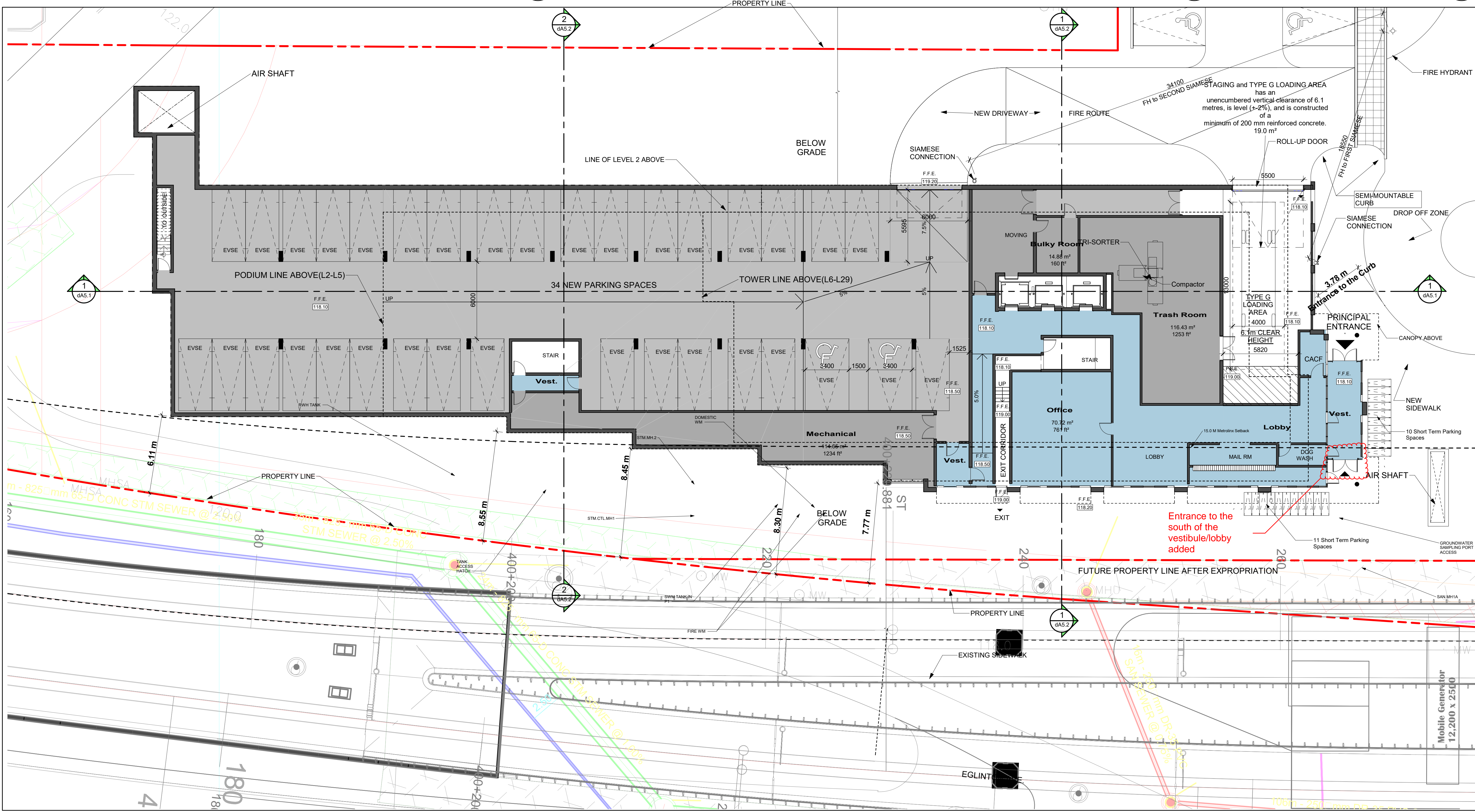
NOTE:
 A- PROVIDE AN ADDITIONAL 300mm FOR PARKING SPACE WIDTH WHEN OBSTRUCTIONS OCCUR BETWEEN THE FRONT AND REAR 1000mm
 B- GROUND LEVEL PARKING CAN BE DIFFERENTIATED THROUGH DIFFERENT TONES AND PATTERN OF UNIT PAVERS, SEE L-D5
 * PROVIDE "VAN ACCESSIBLE" SIGN FOR TYPE A ONLY

- PROPERTY LINE
- FUTURE PROPERTY LINE AFTER EXPROPRIATION
- BUILDING ABOVE / BELOW
- SETBACKS, SEE NOTES ON DRAWINGS
- FIRE ROUTE
- 6M WIDE FIRE ROUTE
- GREEN ROOF
- 2.1 M WALKWAY, SEE LANDSCAPE PLANS

NOTES 3
 NTS dA2.3

PARKING SPACES LEGEND 3
 NTS dA2.3

LINE WEIGHT LEGEND 2
 NTS dA2.3



All Drawings, Specifications, and Related Documents are the Copyright of the Architect. The Architect retains all rights to control all uses of these documents for the intended issuance/use as identified below. Reproduction of these Documents, without permission from the Architect, is strictly prohibited. The Authorities Having Jurisdiction are permitted to use, distribute, and reproduce these drawings for the intended issuance as noted and dated below, however the extended permission to the Authorities Having Jurisdiction in no way debases or limits the Copyright of the Architect, or control of use of these documents by the Architect.

Do not scale the drawings.
 This Drawing is Not To Be Used For Construction Until Signed By The Architect.
 Date:

KIRKOR
 ARCHITECTS AND PLANNERS

20 De Boers Drive Suite 400
 Toronto, ON M3J 0H1

No.	Revision:	Date:

DRAFT

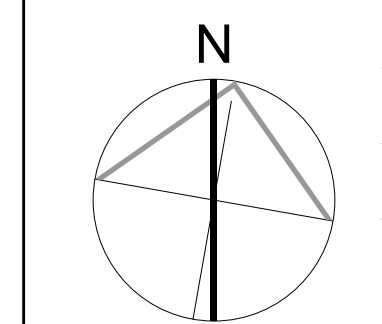
No.	Revision:	Date:
7.	Re-Zoning Re-submission	Feb 13, 2023
6.	Re-Zoning Re-submission	Feb 10, 2023
5.	Re-Zoning Re-submission	Feb 08, 2023
4.	Re-Zoning Re-submission	Feb 03, 2023
3.	Re-Zoning Re-submission	Dec 22, 2020
2.	Re-Zoning Re-submission	Oct 07, 2020
1.	Re-Zoning	Dec 14, 2018

Client:
HR Developments | Fieldgate

Proposed Residential Development
Betovan Construction Ltd.

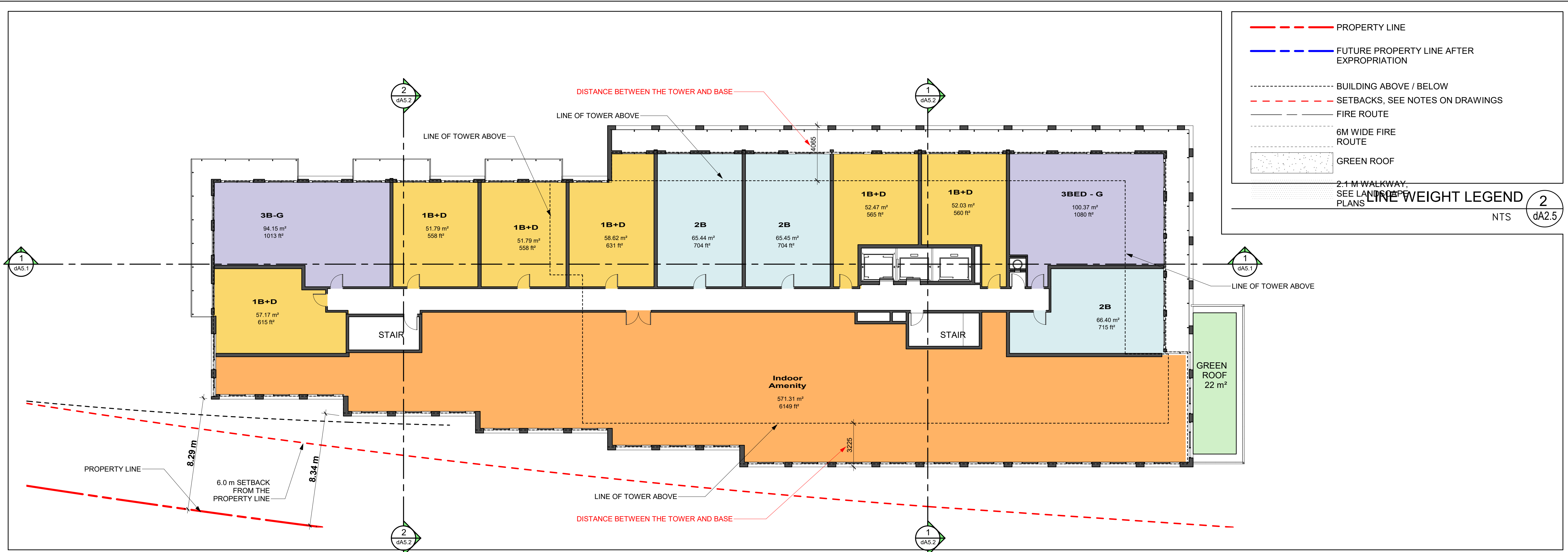
Drawing Title:
First Floor Plan

Scale:
 As indicated
 Drawn by:
Author
 Checked by:
Checker
 Project No.:
 15-067
 Date:
 Oct 13, 2023
 Drawing No.:

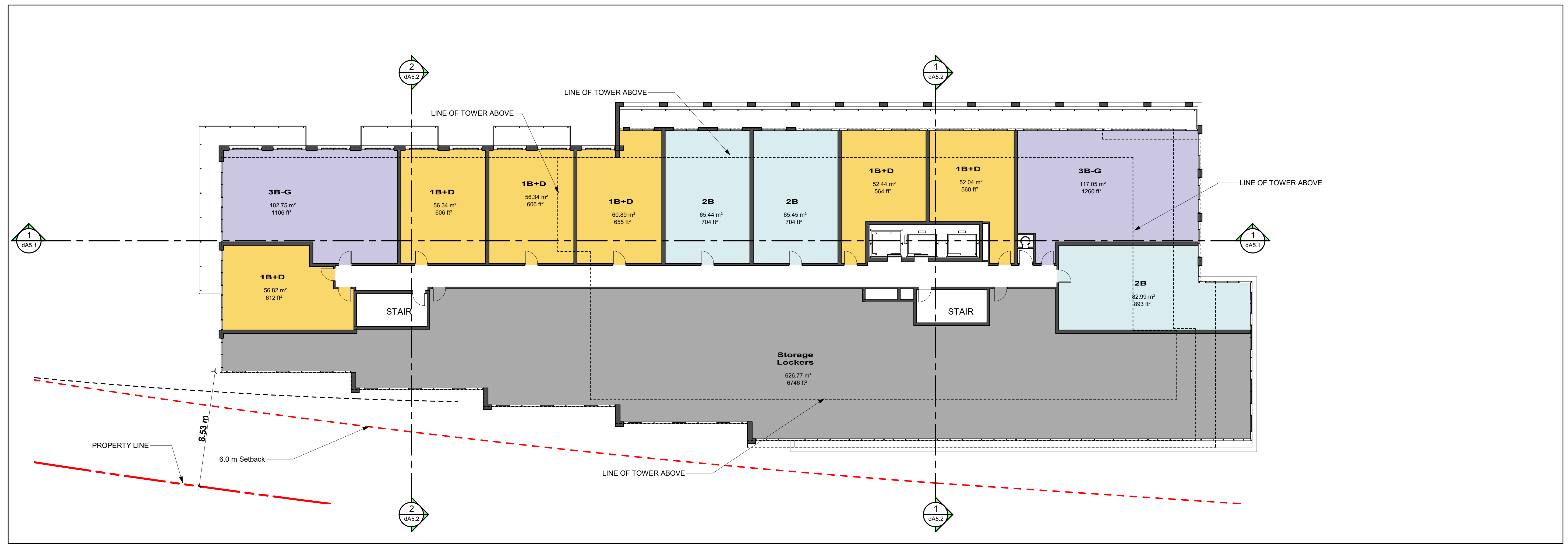


FLOOR PLAN LEVEL 1
 Scale: 1:150
 1
 dA2.3

dA2.3



FLOOR PLAN LEVEL 4 **2**
Scale: 1:150 **dA2.5**



FLOOR PLAN LEVEL 3 **1**
Scale: 1:150 **dA2.5**

All Drawings, Specifications, and Related Documents are the Copyright of the Architect. The Architect retains all rights to control all uses of these documents for the intended issuance/use as identified below. Reproduction of these Documents, without permission from the Architect, is strictly prohibited. The Authorities Having Jurisdiction are permitted to use, distribute, and reproduce these drawings for the intended issuance as noted and dated below, however the extended permission to the Authorities Having Jurisdiction in no way debases or limits the Copyright of the Architect, or control of use of these documents by the Architect.

Do not scale the drawings.
This Drawing is Not To Be Used For Construction Until Signed By The Architect.

Date:

KIRKOR
ARCHITECTS AND PLANNERS

20 De Boers Drive Suite 400
Toronto, ON M3J 0H1

No.	Revision	Date

DRAFT

No.	Issued For	Date
7.	Re-Zoning Re-submission	Feb 13, 2023
6.	Re-Zoning Re-submission	Feb 10, 2023
5.	Re-Zoning Re-submission	Feb 08, 2023
4.	Re-Zoning Re-submission	Feb 03, 2023
3.	Re-Zoning Re-submission	Dec 22, 2020
2.	Re-Zoning Re-submission	Oct 07, 2020
1.	Re-Zoning	Dec 14, 2018

Client:
HR Developments | Fieldgate

Betovan Construction Ltd.
Proposed Residential Development

Drawing Title:
Floor Plans - Podium

Scale:
As indicated

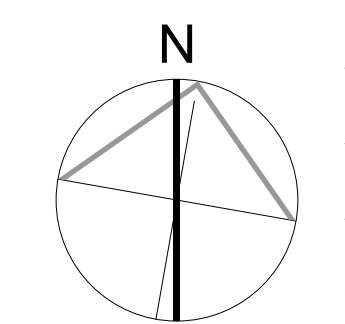
Drawn by:
Author

Checked by:
Checker

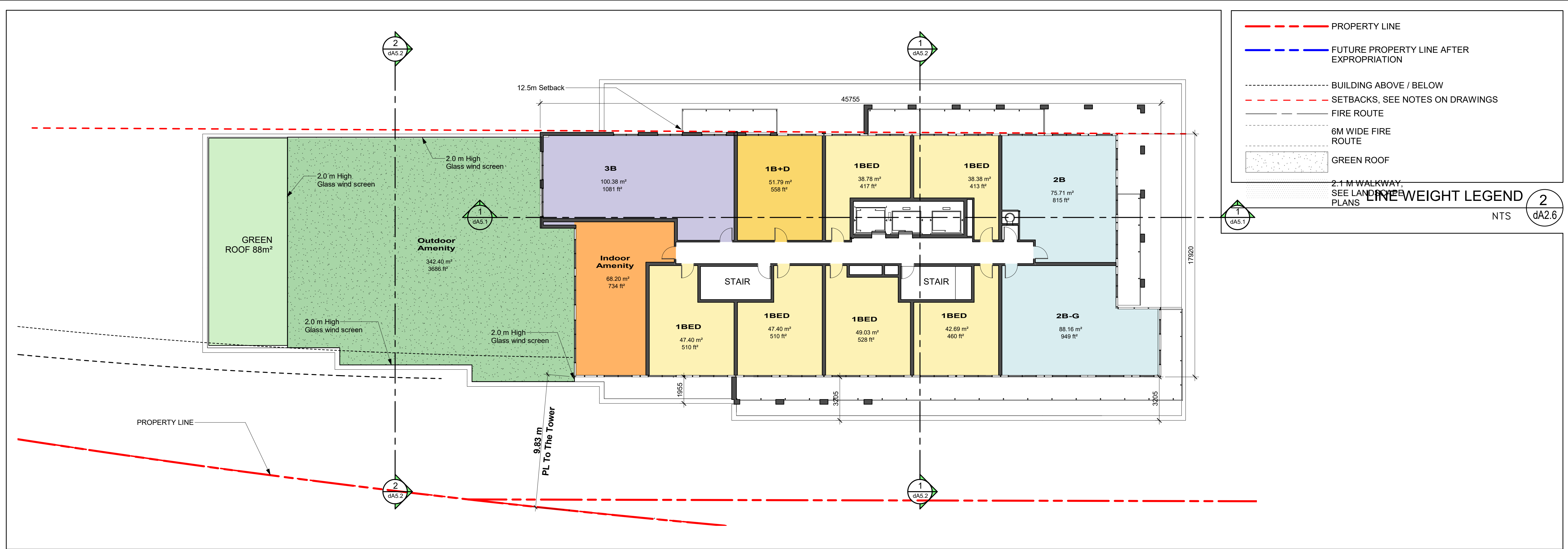
Project No.:
15-067

Date:
Oct 13, 2023

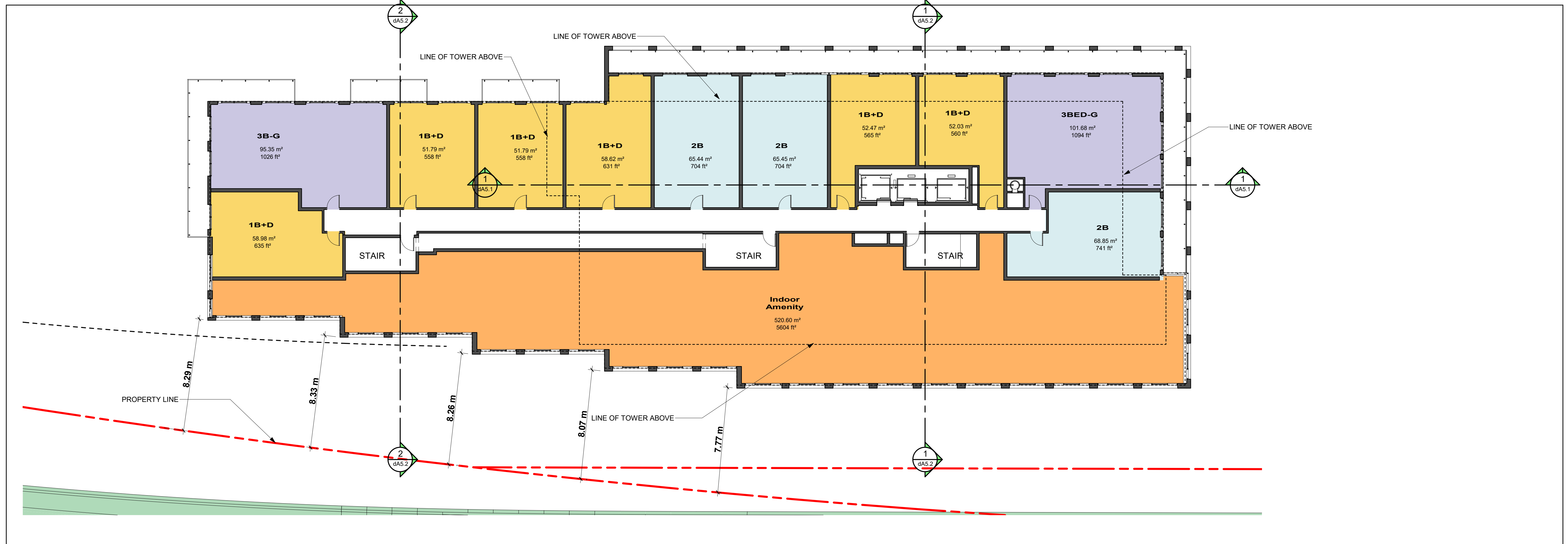
Drawing No.:



dA2.5



FLOOR PLAN LEVEL 6
Scale: 1:150



FLOOR PLAN LEVEL 5
Scale: 1:150

All Drawings, Specifications, and Related Documents are the Copyright of the Architect. The Architect retains all rights to control all uses of these documents for the intended issuance/use as identified below. Reproduction of these Documents, without permission from the Architect, is strictly prohibited. The Authorities Having Jurisdiction are permitted to use, distribute, and reproduce these drawings for the intended issuance as noted and dated below, however the extended permission to the Authorities Having Jurisdiction in no way debases or limits the Copyright of the Architect, or control of use of these documents by the Architect.

Do not scale the drawings.
This Drawing is Not To Be Used For Construction Until Signed By The Architect.
Date:

KIRKOR
ARCHITECTS AND PLANNERS
20 De Boers Drive Suite 400
Toronto, ON M3J 0H1

No.	Revision	Date

DRAFT

No.	Issued For	Date
7.	Re-Zoning Re-submission	Feb 13, 2023
6.	Re-Zoning Re-submission	Feb 10, 2023
5.	Re-Zoning Re-submission	Feb 08, 2023
4.	Re-Zoning Re-submission	Feb 03, 2023
3.	Re-Zoning Re-submission	Dec 22, 2020
2.	Re-Zoning Re-submission	Oct 07, 2020
1.	Re-Zoning	Dec 14, 2018

Client:
HR Developments | Fieldgate

Betovan Construction Ltd.
Proposed Residential Development

Drawing Title:
Floor Plans - Levels 5 and 6

Scale:
As indicated

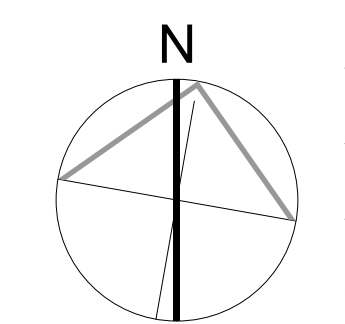
Drawn by:
Author

Checked by:
Checker

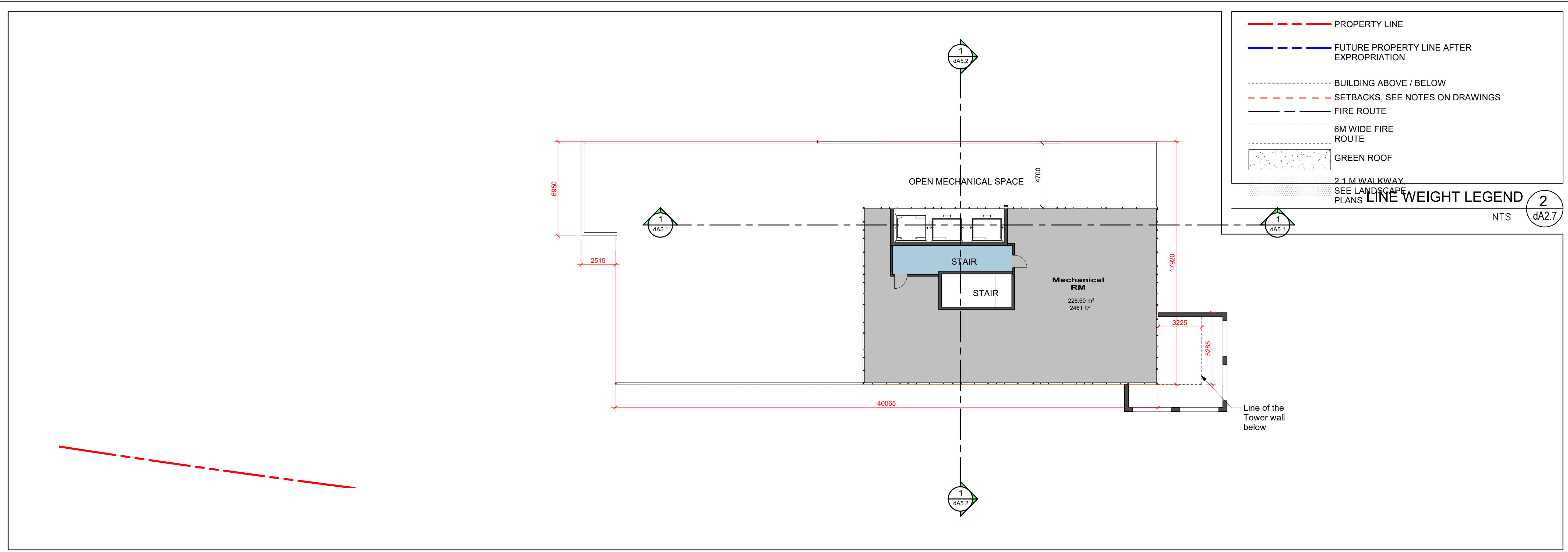
Project No.:
15-067

Date:
Oct 13, 2023

Drawing No.:
1



dA2.6



All Drawings, Specifications, and Related Documents are the Copyright of the Architect. The Architect retains all rights to control all uses of these documents for the intended issuance/use as identified below. Reproduction of these Documents, without permission from the Architect, is strictly prohibited. The Authorities Having Jurisdiction are permitted to use, distribute, and reproduce these drawings for the intended issuance as noted and dated below, however the extended permission to the Authorities Having Jurisdiction in no way debases or limits the Copyright of the Architect, or control of use of these documents by the Architect.

Do not scale the drawings.
This Drawing is Not To Be Used For Construction Until Signed By The Architect.

Date:

KIRKOR
ARCHITECTS AND PLANNERS

20 De Boers Drive Suite 400
Toronto, ON M3J 0H1

Revisions:

No.:	Revision:	Date:



DRAFT

7.	Re-Zoning Re-submission	Feb 13, 2023
6.	Re-Zoning Re-submission	Feb 10, 2023
5.	Re-Zoning Re-submission	Feb 08, 2023
4.	Re-Zoning Re-submission	Feb 03, 2023
3.	Re-Zoning Re-submission	Dec 22, 2020
2.	Re-Zoning Re-submission	Oct 07, 2020
1.	Re-Zoning	Dec 14, 2018

No.: Issued For: Date:

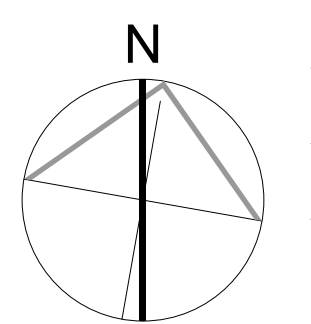
Client:
HR Developments | Fieldgate

Betovan Construction Ltd.
Proposed Residential Development

Drawing Title:
Floor Plans - Levels 7 - 29 and Roof

Scale:
As indicated

Drawn by:
Author
Checked by:
Checker
Project No.:
15-067
Date:
Oct 13, 2023
Drawing No.:



FLOOR PLAN LEVEL 7-29
Scale: 1 : 150
1 dA2.7

dA2.7