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**CONFIDENTIAL & WITHOUT PREJUDICE**

November 30, 2023

VIA EMAIL ([Mark.Crawford@toronto.ca](mailto:Mark.Crawford@toronto.ca) & [Ultra.Gautam@toronto.ca](mailto:Ultra.Gautam@toronto.ca))

City of Toronto Legal Services  
Metro Hall, 26<sup>th</sup> Floor  
55 John Street  
Toronto ON M5V 3C6

**Attention: Mark Crawford, Counsel &  
Ultra Gautam, Counsel**

Dear Sir:

**RE: Confidential & Without Prejudice Settlement Offer**  
**OLT File No.: OLT-22-004109**  
**Subject Lands: 699-711 Lawrence Avenue West (the "Subject Lands")**  
**Applicant/Appellant: Midtown West Residences Ltd.**  
**City File No.: 22 110042 NNY 08 OZ**

As you are aware, we are counsel to Midtown West Residences Ltd. ("**Midtown**"), the registered owner ("**Owner**") of 699-711 Lawrence Avenue West and the Applicant/Appellant in respect of the above-noted application for a Zoning By-law amendment (the "**Application**").

After considerable effort, and a productive Tribunal-led mediation held on September 13 and 28, 2023, we are pleased to transmit this letter to you outlining the terms of Midtown's offer to settle its appeal before the Ontario Land Tribunal (the "**Tribunal**") of the Application (the "**Appeal**").

As a result of the mediation process, our client made several revisions to the mixed-use residential building contemplated by the Application (the "**Proposal**") as more particularly identified in Schedule "A" to this letter.

The proposed revisions include significant changes to the built form design of the Proposal including the removal of balconies from the second and third storey of the residential component of the Proposal. The number of residential storeys was reduced from forty (40) to thirty-eight (38). Additionally, setbacks at grade were increased from the south and west property lines; and significant setbacks from the podium and southern property line to the residential tower were realized on all faces of the Proposal.

Additionally, per the discussion at mediation and at the request of the City of Toronto ("**City**"), Midtown is prepared to accept a holding provision with respect to the Zoning By-law amendment related to any required improvements to the municipal infrastructure and provision of an updated Functional Servicing Report.

On the basis of the revised form of the Proposal, we are pleased to confirm that our client is prepared to settle its Appeal in accordance with the following terms:



1. The parties will agree to jointly request that the Tribunal:
  - a. Approve the proposed Zoning By-law Amendment, with the inclusion of a holding provision, in a form that is satisfactory to the City (as more particularly noted below), to permit the Proposal based on the revised architectural plans prepared by CORE Architects Inc., dated November 9, 2023, enclosed herewith (the **“Revised Plans”**);
  - b. Withhold its final Order approving the Zoning By-law Amendment to permit the Proposal to be withheld until the Tribunal receives confirmation from the City Solicitor that:
    - i. the Owner has satisfactorily addressed matters related to Transportation Services and Engineering and Construction Services as outlined in the City’s Engineering and Construction Services Memorandum, dated April 21, 2022; and provided updated technical reports and studies related to transportation matters, if required, to the satisfaction of the General Manager, Transportation Services and Chief Engineer and Executive Director, Engineering and Construction Services;
    - ii. the Owner has addressed all outstanding issues raised by Urban Forestry, Tree Protection and Plan Review as they relate to the Application, to the satisfaction of the General Manager, Parks, Forestry and Recreation and the City Solicitor;
    - iii. the Owner has provided written confirmation that the final design plans provide space within the Proposal for installation of maintenance access holes and sampling ports on the private side, as close to the property line as possible, for both the storm and sanitary service connections, in accordance with the Sewers By-law Chapter 681.10;
    - iv. the Owner has submitted architectural plans reflecting the Proposal as approved in whole or in part, to the satisfaction of the Chief Planner and Executive Director, City Planning;
    - v. the Owner has submitted a Rental Housing Demolition and Conversion Declaration of Use and Screening Form; and confirmed in writing that if there are any affected rental housing units and/or dwelling rooms with existing tenants, that the Owner has submitted a tenant relocation and assistance plan to the satisfaction of the Chief Planner and Executive Director, City Planning, and the City Solicitor in accordance with Official Plan Policy 3.2.1.12;
    - vi. if applicable, the Owner has provided written confirmation that where a Rental Housing Demolition Application is necessary, that City Council, or the Chief Planner and Executive Director, City Planning where authorized to do so, has authorized the Rental Housing Demolition Application under Chapter 667 of the Toronto Municipal Code pursuant to Section 111 of the City of Toronto Act, 2006;



- vii. the Owner has submitted an updated and completed Toronto Green Standards (TGS) Checklist and Statistics Template, to the satisfaction of the Chief Planner and Executive Director, City Planning;
- viii. the final form and content of the Zoning By-law Amendment is to the satisfaction of the City Solicitor and the Chief Planner and Executive Director, City Planning and such by-law amendment shall include the use of a holding symbol ("H") which restricts the uses of the Subject Lands to uses, buildings and structures in existence on the date of passage of the Zoning By-law Amendment until the following conditions are satisfied:
  1. the Owner has submitted a revised Functional Servicing Report, which includes the determination of storm water runoff, sanitary flow and water supply demand resulting from the Proposal, and whether there is adequate capacity in the existing municipal infrastructure to accommodate the Proposal, to the satisfaction of the Chief Engineer and Executive Director, Engineering and Construction Services;
  2. the Owner has made satisfactory arrangements with Engineering and Construction Services to enter into the appropriate agreement with the City for the design and construction of any improvements to the municipal infrastructure, should it be determined that upgrades are required to the infrastructure to support the Proposal, according to the accepted Functional Servicing Report accepted by the Chief Engineer and Executive Director of Engineering and Construction Services; and
  3. the Owner has provided financial securities for any upgrades or required improvements to the existing municipal infrastructure identified in the acceptable Functional Servicing Report and Stormwater Management Report, to support the Proposal, all to the satisfaction of the Chief Engineer and Executive Director, Engineering and Construction Services, and General Manager, Toronto Water, where it has been determined that improvements or upgrades are required to support the Proposal. In requiring any off-site municipal infrastructure upgrades, the owner is to make satisfactory arrangements with Engineering & Construction Services for Work on the City's Right-of-Way.

Provided that, if the City and Owner cannot agree on the resolution of any of the conditions contained in paragraph 1.b., above, the parties acknowledge and agree that the Tribunal may be spoken to resolve any such disagreement.

For ease of reference, a summary table outlining key differences between our client's settlement proposal and the plans that were originally submitted in support of its application is attached hereto as Schedule "A".

**This offer to settle will expire upon the conclusion of the meeting of Council for the City of Toronto scheduled to commence on Wednesday, December 13, 2023.**



I trust this is satisfactory, however, should you have any questions please don't hesitate to contact me.

Yours truly,

**LOOPSTRA NIXON LLP**

Per: Aaron Platt  
AIP/ras

Enclosures as above



**SCHEDULE "A"**

|   | <b>Original Submission</b>   | <b>Without Prejudice Revised Proposal</b>   |
|---|--|---|
| <b>Number of Residential Storeys</b>          | 40   | 38  |
| <b>Height</b>                                 | 126.16 m<br>+ 5.5 m mech PH  | 122.56 m<br>+ 6 m mech PH   |
| <b>Unit Mix</b>                               | Studio: 46<br>1-bed: 226<br>2-bed: 52<br>3-bed: 36   | Studio: 128<br>1-bed: 162<br>2-bed: 59<br>3-bed: 39   |
| <b>GFA</b>                                    | 22,910 m <sup>2</sup>  | 22980.62 m <sup>2</sup>   |
| <b>Amenity Area Provided*</b>                 | Indoor: 669.98 m <sup>2</sup> ( 720 m <sup>2</sup> )<br>Outdoor 785.12 m <sup>2</sup> ( 720 m <sup>2</sup> )<br><i>*By-law standard in parenthesis</i> Total: 1455.10 m <sup>2</sup> ( 1440 m <sup>2</sup> ) | Indoor: 587.75 m <sup>2</sup> ( 776 m <sup>2</sup> )<br>Outdoor: 846.56 m <sup>2</sup> ( 776 m <sup>2</sup> )<br>Total: 1434.31 m <sup>2</sup> ( 1552 m <sup>2</sup> )  |
| <b>Parking Spaces</b>                         | Resident: 99<br>Visitor: 36  | Resident: 118<br>Visitor: 6   |
| <b>Bicycle Parking Spaces</b>                 | Long-term: 325<br>Short-term: 76   | Long-term: 351<br>Short-term: 43  |
| <b>Setbacks At Grade</b>                      | North: 1.5 m<br>East: 0 m<br>South: 5.5 m<br>West: 0 m   | North: 1.5 m<br>East: 0 m<br>South: 7.5 m<br>West: 5.5 m  |
| <b>Stepbacks</b><br><br><b>GL = Grid Line</b> | North: 1.5 m @ Podium<br>3 M @ Tower<br>East: 0 M @ Podium<br>12.5 M @ Tower<br>South: 5.5 M @ GI 1 – 4 Podium<br>7.5 M @ GI 4 – 9 Podium<br>12.5 M @ Tower<br>West: 0 M @ Podium<br>2.5 M @ Tower           | North: 1.5 m @ Podium<br>3 M @Ground To<br>3 <sup>rd</sup> GI 1 - 3<br>3 M @ Tower<br>East: 0 M @ Podium<br>12.5 M @ Tower<br>South: 7.5 M @ Podium<br>12.5 M @ Tower<br>West: 5.5 M @ Podium<br>8.5 M @ Tower<br><br>20m radius from tower to south west corner of property. |



**699-711 LAWRENCE AVE. W.**

**ISSUED FOR CITY REVIEW  
09 NOVEMBER 2023**

**WITHOUT PREJUDICE**

|    |                               |                  |
|----|-------------------------------|------------------|
| 01 | ISSUED FOR CITY REVIEW        | 09 NOVEMBER 2023 |
| 02 | ISSUED FOR SITE PLAN APPROVAL | 25 APRIL 2022    |
| 03 | ISSUED FOR RECORDING          | 16 DECEMBER 2021 |

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CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS ON THE JOB.

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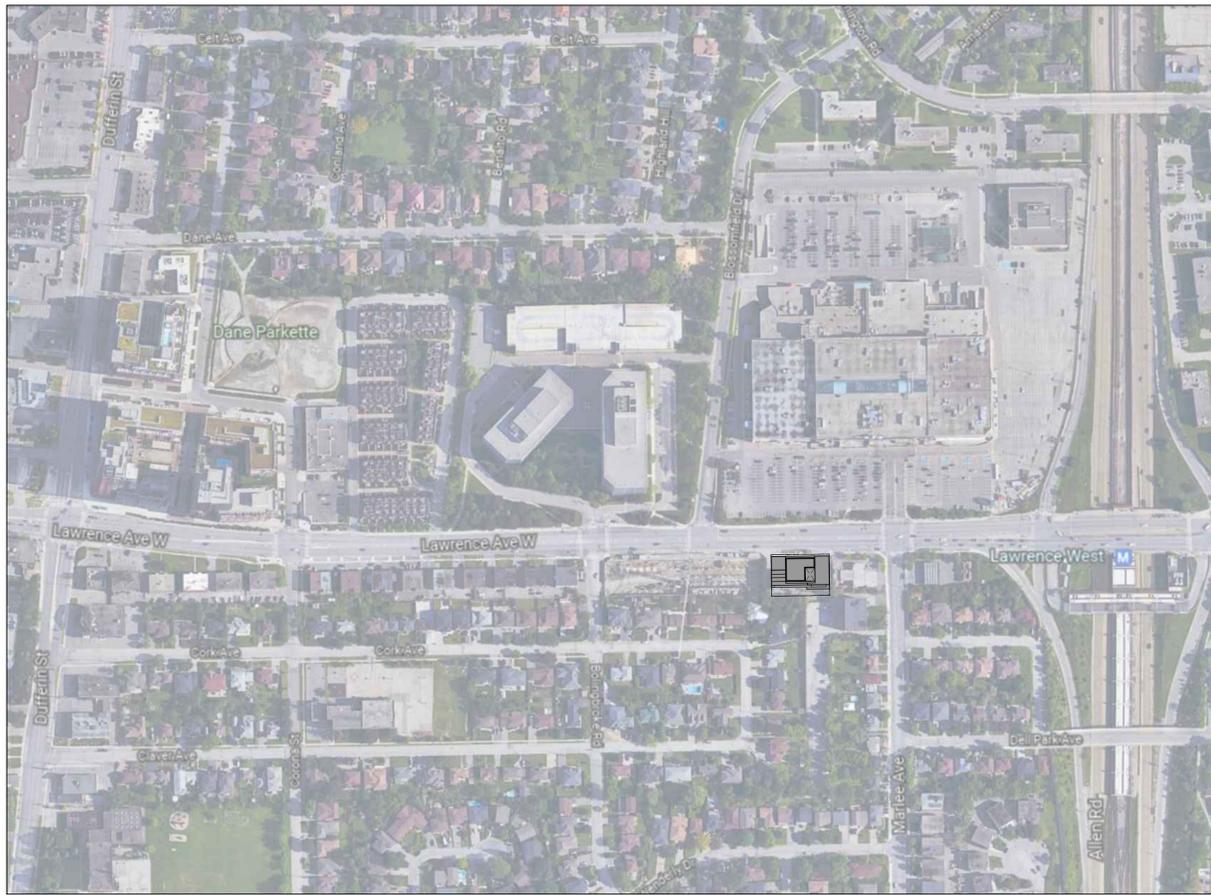
699-711  
 LAWRENCE AVE. W.  
 Toronto, Ontario



|         |             |
|---------|-------------|
| Drawn   | Scale       |
|         | NTS         |
| Checked | Date        |
|         | 18 AUG 2023 |

Title  
**TITLE PAGE**

|             |             |
|-------------|-------------|
| Project No. | Drawing No. |
| 21-119      |             |



3 A100 REF. CONTEXT PLAN

| LEVELS (ABOVE GRADE)                          | Floor Plate     |                | No. of Floors | GCA             |                  | GFA             |                  |
|---|-----------------|----------------|---------------|-----------------|------------------|-----------------|------------------|
|   | ft <sup>2</sup> | m <sup>2</sup> |               | ft <sup>2</sup> | m <sup>2</sup>   | ft <sup>2</sup> | m <sup>2</sup>   |
| GROUND  | 11,899          | 1,105.49       | 1             | 11,899          | 1,105.49         | 5,903           | 548.36           |
| LEVEL 2                                       | 11,503          | 1,068.62       | 1             | 11,503          | 1,068.62         | 10,764          | 1,000.01         |
| LEVEL 3                                       | 12,379          | 1,150.06       | 1             | 12,379          | 1,150.06         | 11,641          | 1,081.45         |
| LEVEL 4                                       | 12,546          | 1,165.59       | 1             | 12,546          | 1,165.59         | 11,808          | 1,096.98         |
| LEVEL 5                                       | 12,546          | 1,165.59       | 1             | 12,546          | 1,165.59         | 11,808          | 1,096.98         |
| LEVEL 6                                       | 12,546          | 1,165.59       | 1             | 12,546          | 1,165.59         | 11,808          | 1,096.98         |
| LEVEL 7                                       | 6,232           | 579.00         | 1             | 6,232           | 579.00           | 736             | 68.39            |
| LEVELS 8-38                                   | 6,232           | 579.00         | 31            | 193,201         | 17,949.00        | 178,536         | 16,586.55        |
| Mechanical PH                                 | 4,979           | 462.54         | 1             | 4,979           | 462.54           | 440             | 40.92            |
| <b>TOTAL RESIDENTIAL</b>                      |                 |                | <b>38</b>     | <b>277,832</b>  | <b>25,811.48</b> | <b>243,443</b>  | <b>22,616.62</b> |
| <b>TOTAL RETAIL + RETAIL GARBAGE (GROUND)</b> | <b>1,675</b>    | <b>155.61</b>  | <b>1</b>      | <b>1,675</b>    | <b>155.50</b>    | <b>1,675</b>    | <b>155.61</b>    |
| <b>TOTAL RESIDENTIAL + RETAIL</b>             |                 |                |               | <b>279,507</b>  | <b>25,966.98</b> | <b>245,118</b>  | <b>22,772.23</b> |

| PARKING BELOW GRADE      | Floor Plate     |                | No. of Floors | GCA             |                 | GFA             |                |
|--------------------------|-----------------|----------------|---------------|-----------------|-----------------|-----------------|----------------|
|                          | ft <sup>2</sup> | m <sup>2</sup> |               | ft <sup>2</sup> | m <sup>2</sup>  | ft <sup>2</sup> | m <sup>2</sup> |
| P-5                      | 7,663           | 711.93         | 1             | 7,663           | 711.93          | 451             | 41.91          |
| P-4                      | 18,376          | 1,707.18       | 1             | 18,376          | 1,707.18        | 448             | 41.62          |
| P-3                      | 18,376          | 1,707.18       | 1             | 18,376          | 1,707.18        | 448             | 41.62          |
| P-2                      | 18,376          | 1,707.18       | 1             | 18,376          | 1,707.18        | 448             | 41.62          |
| P-1                      | 18,285          | 1,698.76       | 1             | 18,285          | 1,698.76        | 448             | 41.62          |
| <b>TOTAL BELOW GRADE</b> |                 |                |               | <b>62,700</b>   | <b>7,532.23</b> | <b>1,795</b>    | <b>208.39</b>  |

|                                      |                    |               |                                       |                    |               |
|--------------------------------------|--------------------|---------------|---------------------------------------|--------------------|---------------|
| <b>TOTAL INDOOR AMENITY REQUIRED</b> | <b>2 m2 / UNIT</b> | <b>776</b>    | <b>TOTAL OUTDOOR AMENITY REQUIRED</b> | <b>2 m2 / UNIT</b> | <b>776</b>    |
| <b>TOTAL INDOOR AMENITY PROVIDED</b> |                    | <b>587.75</b> | <b>TOTAL OUTDOOR AMENITY PROVIDED</b> |                    | <b>846.56</b> |

| UNITS                   | STUDIO<br>(355-419 SF) | 1BED<br>(420-650 SF) | 1BED+D<br>(651-750 SF) | 2BED<br>(751-800 SF) | 2BED+D<br>(801-900 SF) | 3BED<br>(900 SF+) | TOTAL       |
|-------------------------|------------------------|----------------------|------------------------|----------------------|------------------------|-------------------|-------------|
| LEVEL 2                 |                        |                      | 3                      | 4                    | 2                      | 4                 | 14          |
| LEVEL 3                 |                        | 1                    | 2                      | 5                    | 1                      | 6                 | 16          |
| LEVEL 4                 |                        | 1                    | 2                      | 6                    | 0                      | 5                 | 16          |
| LEVEL 5                 |                        | 1                    | 2                      | 6                    | 0                      | 5                 | 16          |
| LEVEL 6                 |                        | 1                    | 2                      | 6                    | 0                      | 5                 | 16          |
| LEVEL 7 (Amenity)       |                        |                      |                        |                      |                        |                   | 0           |
| LEVELS 8-38 (31 FLOORS) | 124                    | 93                   | 31                     | 31                   | 0                      | 31                | 310         |
| <b>TOTAL</b>            | <b>124</b>             | <b>104</b>           | <b>58</b>              | <b>58</b>            | <b>25</b>              | <b>39</b>         | <b>388</b>  |
| <b>PERCENTAGE</b>       | <b>33%</b>             | <b>27%</b>           | <b>15%</b>             | <b>9%</b>            | <b>6%</b>              | <b>10%</b>        | <b>100%</b> |

3 A100 REF. GCA/GFA CHART AND UNIT DISTRIBUTION

| ABBREVIATION LEGEND |                             |      |                                |         |                      |         |                         |        |                   |        |                           |
|---------------------|-----------------------------|------|--------------------------------|---------|----------------------|---------|-------------------------|--------|-------------------|--------|---------------------------|
| ACC                 | ARCHITECTURAL CONCRETE TYPE | EL   | ELECTRICAL                     | H       | HOT                  | OC      | ON CENTRE               | S      | SNK               | US     | UNDERSIDE                 |
| ACT                 | ACRYLIC TILE                | ELEC | ELECTRICAL                     | HD      | HUB DRAIN            | OD      | OUTSIDE DIAMETER        | S/A    | SUPPLY AIR        |        |                           |
| AD                  | AREA DRAIN                  | EDS  | EDGE OF SLAB                   | HM      | HOLLOW METAL         | OH      | OVERHEAD                | SC     | SEALED CONCRETE   | V      | VOLT                      |
| AES                 | ARCHITECTURAL EXPOSED STEEL | EP   | ELECTRICAL PANEL               | HOR     | HORIZONTAL           | SD      | SLOPPED DRAIN           | SO     | SCUPPER DRAIN     | VB     | VAPOUR BARRIER            |
| ALUM                | ALUMINUM                    | EQ   | EQUAL                          | HSS     | HOLLOW STEEL SECTION | PC      | PRECAST CONCRETE        | SPEC   | SPECIFICATION     | VCT    | VINYL COMPOSITE TILE TYPE |
| AFM                 | ABOVE FINISHED FLOOR        | EF   | EXTERIOR INSULATION FINISHTYPE | HT      | HEIGHT               | PLM     | PLASTIC LAMINATE        | SG     | SQUARE            | VERT   | VERTICAL                  |
| C                   | COLD                        | EXP  | EXPOSED                        | HW      | HARDWOOD STRIP       | PLYWD   | PLYWOOD                 | SQ FT  | SQUARE FEET       | VEST   | VESTRULE                  |
| CH                  | COLD & HOT                  | EXJ  | EXPANSION JOINT                | PRE-FAB | PRE-FABRICATED       | PRE-FAB | PRE-FABRICATED          | BSTL   | STAINLESS STEEL   | VP     | VAPOUR BARRIER            |
| CAR                 | CARPET                      | EXT  | EXTERIOR                       | IM      | INSULATED METAL      | PS      | PRESSED STEEL           | STL    | STEEL             |        |                           |
| CB                  | CONCRETE BLOCK              | INS  | INSULATION                     | INT     | INTERIOR             | PT      | PRESSURE TREATED        | ST     | STONE TYPE        | W      | WASHER, WIDE              |
| CC                  | CENTRE LINE                 | FD   | FLOOR DRAIN                    | INT     | INTERIOR             | ST      | STONE TYPE              | ST     | STONE TYPE        | WD     | WOOD TYPE                 |
| CF                  | CERAMIC TILE                | FIN  | FINISHED                       | JT      | JOINT                | STRUC   | STRUCTURE, STRUCTURAL   | STOR   | STORAGE           | WF     | WOOD FINISH TYPE          |
| CL                  | CONCRETE FINISH TYPE        | FL   | FLOOR                          | LAM     | LAMINATED            | Q/M     | QUICK MITRE             | SW     | SWITCH            | WP     | WORKING POINT             |
| CLJ                 | CONCRETE JOINT              | FT   | FOOT                           | LAM     | LAMINATED            | R       | RISER, RADIUS           | SW     | SWITCH            | W/P    | WATERPROOF MEMBRANE       |
| COL                 | CLOSET                      | FTG  | FOOTING                        | LIN     | LINEN                | R.O.    | ROUGH OPENING           | T      | TREAD             | W.R.T. | WITH RESPECT TO           |
| CONC                | CONCRETE BLOCK              | FRG  | FIBRE REINFORCED GYPSUM        | MA      | MARBLE TYPE          | R/A     | RETURN AIR              | TBB    | TILE BACKER BOARD | W      | WITH                      |
| CONT                | CONTINUOUS                  | GALV | GALVANIZED                     | MAX     | MAXIMUM              | RAD     | RADIATOR                | TEL    | TELEPHONE         | XGWB   | EXTERIOR GYPSUM BOARD     |
| CONC                | CONCRETE COLUMN             | GLB  | GLASS BLOCK                    | MECH    | MECHANICAL           | RB      | RUBBER BASE             | THK    | THICK, THICKNESS  |        |                           |
| CW                  | COVERED WITH                | GR   | GRANITE                        | MIN     | MINIMUM              | RC      | REINFORCED CONCRETE     | T&G    | TONGUE & GROOVE   |        |                           |
| D                   | DIAMETER, DRYER             | OL   | OLIVE                          | ML      | MELAMINE             | REF     | REFERENCE DIMENSIONS    | TV     | TELEVISION        |        |                           |
| DFJ                 | DEFLECTION JOINT            | QWB  | GYPSUM WALLBOARD               | MOD     | MODULE               | REIN    | REINFORCED, REINFORCING | TYP    | TYPICAL           |        |                           |
| DN                  | DOWN                        | MT   | METAL TYPE                     | NTS     | NOT TO SCALE         | REQD    | REQUIRED                | T/O    | TOP OF SLAB       |        |                           |
| DWG                 | DRAWING                     | N    | NUMBER                         | NFAM    | NO FREEZE WATER HOSE | R/INSUL | RIGID INSULATION        | T/O.B. | TOP OF BEAM       |        |                           |
|                     |                             | NC   | NOT IN CONTRACT                | NI      | NOT IN CONTRACT      | R       | RISER                   | T.O.W. | TOP OF WALL       |        |                           |
|                     |                             | N'   | NUMBER                         | NTS     | NOT TO SCALE         | RM      | ROOM                    |        |                   |        |                           |

5 A100 REF. ABBREVIATION LEGEND

| PARKING RATE REQUIRED | MAX. RESIDENT | MIN. VISITOR | TOTAL      |  |
|-----------------------|---------------|--------------|------------|--|
| 0.3/STUDIO            | 38.4          |              |            |  |
| 0.5/1BED              | 81.0          |              |            |  |
| 0.8/2BED              | 47.2          |              |            |  |
| 1.0/3BED              | 39.0          |              |            |  |
| 0.01/UNIT             |               | 5.88         |            |  |
| <b>TOTAL</b>          | <b>206</b>    | <b>6</b>     | <b>212</b> |  |

| PARKING PROVIDED | RESIDENT | VISITOR | TOTAL | MIN. REQUIRED ACCESSIBLE | PROVIDED ACCESSIBLE |
|------------------|----------|---------|-------|--------------------------|---------------------|
| P-1 TO P-5       | 118      | 6       | 124   | 9                        | 9                   |

| BIKE PARKING REQUIRED | LONG TERM | SHORT TERM   | TOTAL       |            |
|-----------------------|-----------|--------------|-------------|------------|
| RESIDENTIAL           |           |              |             |            |
| VISITOR               | 0.9/UNIT  | 349.2        |             | 350        |
| RETAIL                | 0.1/UNIT  | 1            | 4           | 39         |
| <b>TOTAL</b>          |           | <b>350.2</b> | <b>42.8</b> | <b>394</b> |

| BIKE PARKING PROVIDED | LONG TERM  | SHORT TERM | TOTAL |            |
|-----------------------|------------|------------|-------|------------|
| P-1                   |            | 350        | 0     | 350        |
| GROUND                | 1          | 43         |       | 44         |
| <b>TOTAL</b>          | <b>351</b> | <b>43</b>  |       | <b>394</b> |

4 A100 REF. VEHICULAR PARKING AND BYCYCLE PARKING STATISTICS

| 699-711 LAWRENCE AVE WEST                       |   |  |   |
|---|---|--|---|
| SITE AREA                                       | 1,829.31 SQ. M.   | ZONING   | CR1 (OCC. LO. R1.0553 (2/26/20))                |
| PROGRAM   | RESIDENTIAL (GROUP C1, GROUND LEVEL TO LEVEL 38)  | RETAIL (GROUP F1, GROUND LEVEL   | CITY OF TORONTO BY LAW 569-2013                 |
| GROSS FLOOR AREA                                | PROPOSED  | SQ. M.   | SQ. FT.   |
|   | RESIDENTIAL ABOVE GRADE GFA =   | 22,616.62  | 243,443   |
|   | RESIDENTIAL BELOW GRADE GFA =   | 208.39   | 2,295   |
|   | RETAIL + RETAIL GARBAGE (GROUND) =  | 155.61   | 1,675   |
|   | TOTAL =   | 22,980.62  | 246,913   |
| NO. DWELLING UNITS                              | STUDIO  | 1BED/2BED+DEN  | 3BED  |
|   | 128 UNITS   | 162 UNITS  | 39 UNITS  |
|   | TOTAL   | 290 UNITS  | 388 UNITS                                       |
| FLOOR SPACE INDEX                               | N/A (REFER TO ZONING BY-LAW 569-2013)   | PROPOSED   |   |
| HEIGHT  | SEE SCHEDULE (CR1.0, R1.0553 (2/26/20))   | 12.45  |   |
| SETBACKS  | N/A (REFER TO ZONING BY-LAW 569-2013)   | 138.56m TO ROOF OF MPH   |   |
| LOADING   | N/A (REFER TO ZONING BY-LAW 569-2013)   | DOWNVIEW AIRPORT HAZARD MAP - MAX STRUCTURE HEIGHT 60.96m  |   |
| OFF-STREET LOADING PASSENGER                    | N/A (REFER TO ZONING BY-LAW 569-2013)   | SEE DRAWINGS   |   |
| PERCENTAGE OF GROUND FLOOR AS RETAIL/COMMERCIAL | N/A (REFER TO ZONING BY-LAW 569-2013)   | 1 TYPE G LOADING SPACE   |   |
| AMENITY SPACE                                   | INTERIOR: 2 SQ. M./UNIT<br>2 SQ. M. X 388 = 776 SQ. M.  | 14.07%   |   |
|   | EXTERIOR: 2 SQ. M./UNIT<br>2 SQ. M. X 388 = 776 SQ. M.  | INTERIOR AMENITY   | GROUND: 122.09 SQ. M.<br>LEVEL 2: 466.66 SQ. M. |
|   |   | TOTAL INTERIOR AMENITY   | 587.75 SQ. M.                                   |
|   |   | EXTERIOR AMENITY   | GROUND: 276.08 SQ. M.<br>LEVEL 2: 570.48 SQ. M. |
|   |   | TOTAL EXTERIOR AMENITY   | 846.56 SQ. M.                                   |
| RESIDENTIAL PARKING                             | STUDIO (0.3 PARKING SPACE PER UNIT)<br>1BED/1BED+DEN (0.5 PARKING SPACE PER UNIT)<br>0.5 X 162 UNITS = 81.0<br>2BED/2BED+DEN (0.8 PARKING SPACE PER UNIT)<br>0.8 X 50 UNITS = 42.2<br>3BED (1.0 PARKING SPACE PER UNIT)<br>1.0 X 39 UNITS = 39.0<br>TOTAL PARKING SPACES = 206 PARKING SPACES | TOTAL OF 118 PARKING SPACES PROVIDED AT P-2 TO P-5 PARKING LEVELS OF WHICH 8 ACCESSIBLE PARKING SPACES PROVIDED AT P-2 AND P-5 |   |
| VISITOR PARKING                                 | 0.01 PARKING PER UNIT + 2<br>0.01 X 388 UNITS = 4 + 2<br>TOTAL PARKING SPACES = 6 PARKING SPACES  | TOTAL OF 6 PARKING SPACES PROVIDED AT P-1 PARKING LEVELS OF WHICH 1 ACCESSIBLE PARKING SPACES PROVIDED AT P-1                  |   |
| RESIDENTIAL LONG TERM BICYCLE PARKING           | 0.3 BIKE PARKING PER UNIT AS PER ZONING BY LAW<br>0.3 X 388 UNITS = 350   | 350 RESIDENTIAL BIKE PARKING SPACES PROVIDED AT P-1 PARKING LEVEL<br>3 REPAIR BIKE STATIONS AT P-1 PARKING LEVEL               |   |
| RETAIL LONG TERM BICYCLE PARKING                | RETAIL 142m <sup>2</sup><br>0.2 SPACES / 100m <sup>2</sup> = 1  | 1 RETAIL BIKE PARKING SPACES PROVIDED AT GROUND LEVEL  |   |
| RESIDENTIAL SHORT TERM BICYCLE PARKING          | 0.1 BIKE PARKING PER UNIT AS PER ZONING BY LAW<br>0.1 X 388 UNITS = 39  | 39 RESIDENTIAL SHORT TERM BIKE PARKING SPACES PROVIDED AT GROUND LEVEL   |   |
| RETAIL SHORT TERM BICYCLE PARKING               | RETAIL 142m <sup>2</sup><br>1 FLUR. 0.3 SPACES / 100m <sup>2</sup><br>TOTAL 4 SPACES  | 4 RETAIL SHORT TERM BIKE PARKING SPACES PROVIDED AT GROUND LEVEL   |   |

2 A100 REF. STATISTICS SUMMARY

| ARCHITECTURAL DRAWING LIST |                    |               |                         |                    |            |
|----------------------------|--------------------|---------------|-------------------------|--------------------|------------|
| DRAWING NO.                | TITLE              | CONSULTANT    | DRAWING NO.             | TITLE              | CONSULTANT |
| SCHEDULES                  |                    |               | ELEVATIONS AND SECTIONS |                    |            |
| A001                       | TITLE PAGE         | CORE          | A400                    | EAST ELEVATION     | CORE       |
| A100                       | PROJECT STATISTICS | CORE          | A401                    | NORTH ELEVATION    | CORE       |
| A102                       | SURVEY PLAN        | ACQUILINE INC | A402                    | WEST ELEVATION     | CORE       |
| A103                       | SITE PLAN          | CORE          | A403                    | SOUTH ELEVATION    | CORE       |
| PLANS                      |                    |               | A410                    | BUILDING SECTION 1 | CORE       |
| A200                       | P-5 PARKING LEVEL  | CORE          | A411                    | BUILDING SECTION 2 | CORE       |
| A201                       | P-4 PARKING LEVEL  | CORE          |                         |                    |            |
| A202                       | P-3 PARKING LEVEL  | CORE          |                         |                    |            |
| A203                       | P-2 PARKING LEVEL  | CORE          |                         |                    |            |
| A204                       | P-1 PARKING LEVEL  | CORE          |                         |                    |            |
| A205                       | GROUND LEVEL       | CORE          |                         |                    |            |
| A206                       | LEVEL 02           | CORE          |                         |                    |            |
| A207                       | LEVEL 03           | CORE          |                         |                    |            |
| A208                       | LEVELS 04 - 06     | CORE          |                         |                    |            |
| A209                       | LEVEL 07           | CORE          |                         |                    |            |
| A210                       | LEVELS 08 - 38     | CORE          |                         |                    |            |
| A211                       | LEVEL MECH. PH.    | CORE          |                         |                    |            |
| A212                       | ROOF PLAN          | CORE          |                         |                    |            |

1 A100 REF. DRAWING LIST

|    |                               |                  |
|----|-------------------------------|------------------|
| 01 | ISSUED FOR CITY REVIEW        | 09 NOVEMBER 2022 |
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| 03 | ISSUED FOR RECORDING          | 14 DECEMBER 2021 |

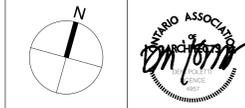
No. Revisions: \_\_\_\_\_ Date: \_\_\_\_\_

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699-711  
LAWRENCE AVE. W.  
Toronto, Ontario



Drawn: MP, CY  
Scale: NTS  
Checked: CY  
Date: 18 AUG 2023

Title: PROJECT STATISTICS

WITHOUT PREJUDICE



LAWRENCE AVENUE WEST  
ROAD ALLOWANCE BETWEEN LOTS 5 AND 6, CONCESSION 2 WYS  
PIN 10229-0079

SURVEYOR'S REAL PROPERTY REPORT  
PART 1  
PART OF BLOCK N  
PART OF BLOCK J  
REGISTERED PLAN 3947  
CITY OF TORONTO



METRIC DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

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PART 2 - SURVEY REPORT

- DESCRIPTION FOR 699, 701 AND 703 LAWRENCE AVENUE WEST  
PIN 10227-0008 (LT) PART OF BLOCKS N AND J, REGISTERED PLAN 3947
- REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY
- SUBJECT TO NY401556 AND TOGETHER WITH NY401557
- DESCRIPTION FOR 705, 707 AND 711 LAWRENCE AVENUE WEST  
PIN 10227-0007 (LT) PART OF BLOCK N, REGISTERED PLAN 3947
- REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY
- TOGETHER WITH NY401556 AND SUBJECT TO NY401557
- ADDITIONAL REMARKS
- NOTE LOCATION OF FENCES, CONCRETE CURB, RETAINING WALL AND OVERHEAD WIRES.
- PREPARED FOR: ARINEMETZ

NOTES

BEARINGS ARE ASTROMOMIC AND ARE REFERRED TO THE SOUTHERLY LIMIT OF LAWRENCE AVENUE WEST, PLAN RS626 HAVING A BEARING OF N73°33'20"E.

- DENOTES SURVEY MONUMENT FOUND
- DENOTES SURVEY MONUMENT SET
- SIB DENOTES STANDARD IRON BAR
- IB DENOTES IRON BAR
- CC DENOTES CONCRETE CUT CROSS
- OU DENOTES ORIGIN UNKNOWN
- WIT DENOTES WITNESS
- P DENOTES PLAN 3947
- P1 DENOTES PLAN 64R-15284
- P2 DENOTES PLAN RS626
- P3 DENOTES PLAN 66R-29357
- D DENOTES INSTRUMENT NO. NY396652
- D1 DENOTES INSTRUMENT NO. TR92445
- D2 DENOTES INSTRUMENT NO. NY401556
- D3 DENOTES INSTRUMENT NO. NY401557
- D4 DENOTES INSTRUMENT NO. TB155083
- BF DENOTES BOARD FENCE
- CLF DENOTES CHAINLINK FENCE
- NSEW DENOTES NORTH SOUTH EAST WEST
- DS DENOTES DOOR SILL ELEVATION
- LNG DENOTES STEEL LANDING
- WW DENOTES WINDOW WELL
- RP DENOTES ROOF PARAPET ELEVATION

- MH DENOTES MANHOLE
- CB DENOTES SINGLE CATCHBASIN
- LS DENOTES LIGHT STANDARD
- POST DENOTES
- ◇ WK DENOTES WATER KEY
- ⊙ DENOTES TREE TRUNK LOCATION (NOT TO SCALE)

ELEVATIONS ARE GEODETIC AND REFERRED TO CITY OF TORONTO VERTICAL BENCHMARK NO. 12319650418 HAVING AN ELEVATION OF 179.339.

LOCATION DESCRIPTION: CITY OF TORONTO CLAVIER AVENUE AND CORONA STREET, NORTHEAST CORNER, IN NORTH WALL OF SAINT CHARLES PUBLIC SCHOOL, 0.213M EAST OF NORTHWEST CORNER, 0.24M ABOVE GRADE.

SURVEYOR'S CERTIFICATE

- I CERTIFY THAT:
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
  - THE SURVEY WAS COMPLETED ON DECEMBER 28, 2020.

JANUARY 11, 2021

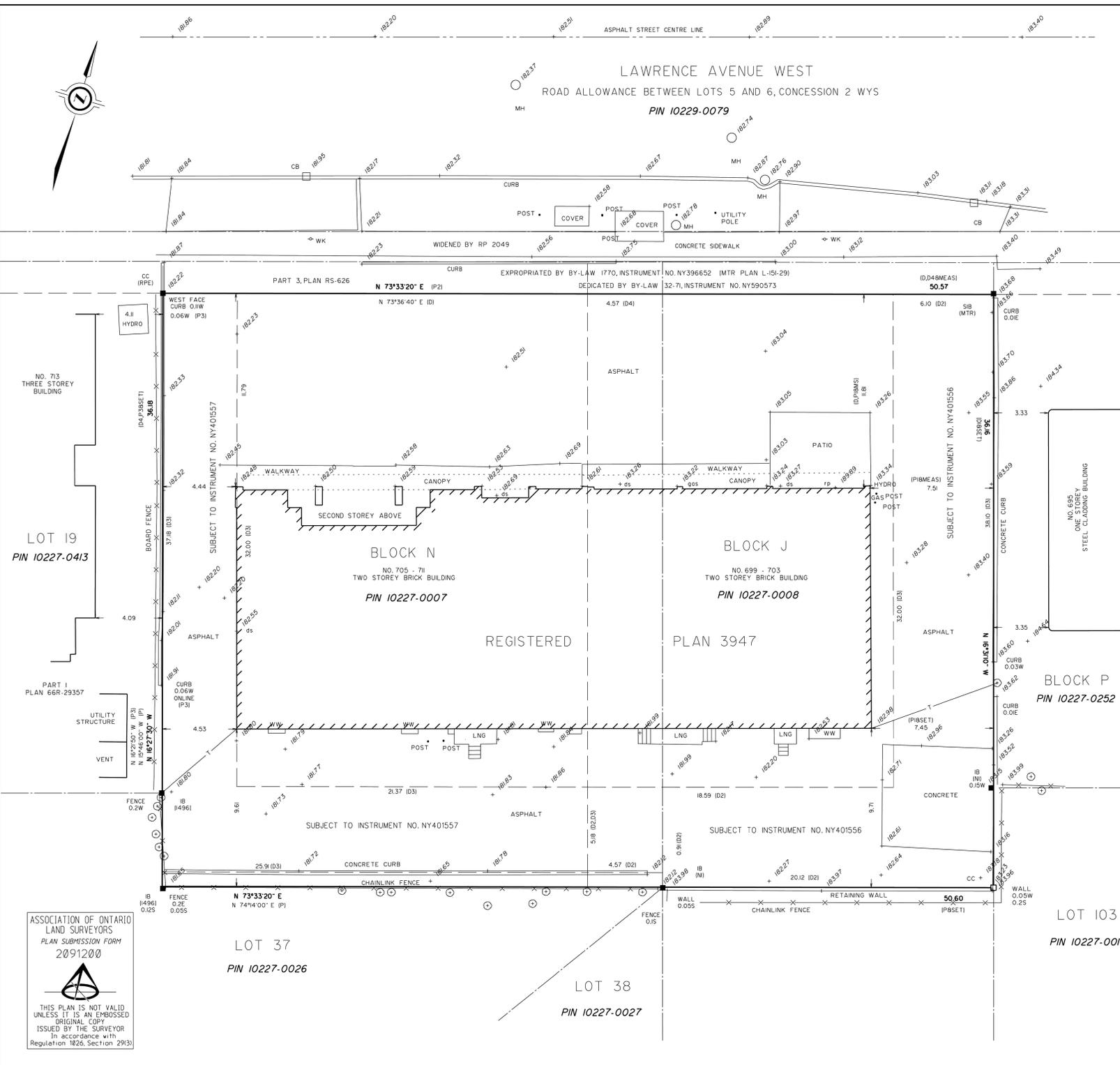
DATE: *Craig Adgers*  
CRAIG ADGERS  
ONTARIO LAND SURVEYOR

LOT 103  
PIN 10227-0010

ACCULINE INC.

ONTARIO LAND SURVEYOR  
661 KIPPLING AVENUE  
TORONTO, ON  
M8Z 5G2  
TEL. 416.884.8490

REFERENCE NO. 2020-513



ASSOCIATION OF ONTARIO  
LAND SURVEYORS  
PLAN SUBMISSION FORM  
2091200

THIS PLAN IS NOT VALID  
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ORIGINAL COPY  
ISSUED BY THE SURVEYOR  
In accordance with  
Regulation 1826, Section 29(3)

WITHOUT PREJUDICE

|     |                               |                  |
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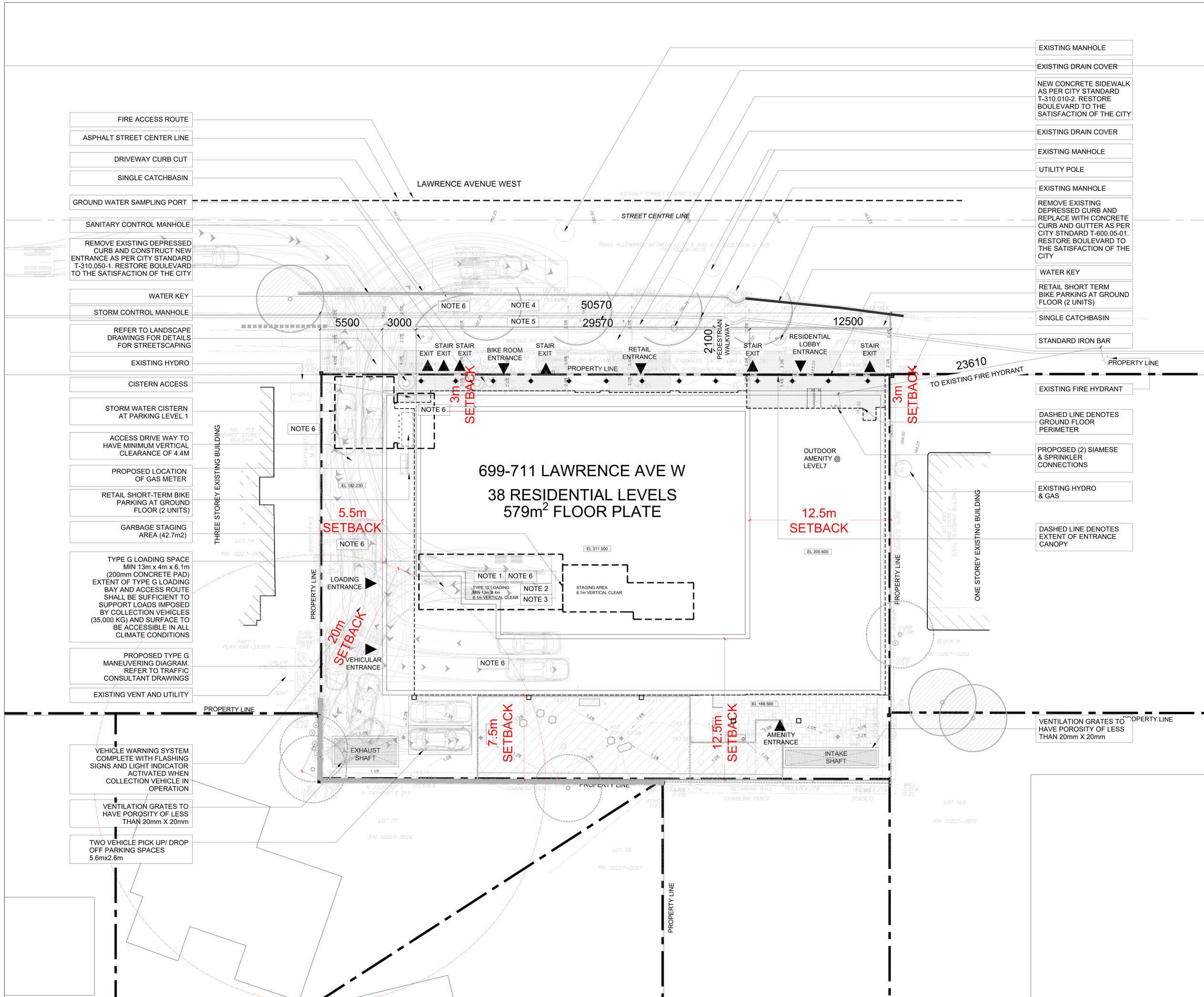
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| Drawn         | Scale       |
| ACCULINE Inc. | NTS         |
| Checked       | Date        |
|               | 18 AUG 2023 |

Title:  
SURVEY PLAN

Project No. 21-119 Drawing No. A102



- FIRE ACCESS ROUTE
- ASPHALT STREET CENTER LINE
- DRIVEWAY CURB CUT
- SINGLE CATCHBASIN
- GROUND WATER SAMPLING PORT
- SANITARY CONTROL MANHOLE
- REMOVE EXISTING DEPRESSED CURB AND CONSTRUCT NEW ENTRANCE AS PER CITY STANDARD T-310.050-1. RESTORE BOULEVARD TO THE SATISFACTION OF THE CITY
- WATER KEY
- STORM CONTROL MANHOLE
- REFER TO LANDSCAPE DRAWINGS FOR DETAILS FOR STREETSCAPING
- EXISTING HYDRO
- CISTERN ACCESS
- STORM WATER CISTERN AT PARKING LEVEL 1
- ACCESS DRIVE WAY TO HAVE MINIMUM VERTICAL CLEARANCE OF 4.4M
- PROPOSED LOCATION OF GAS METER
- RETAIL SHORT-TERM BIKE PARKING AT GROUND FLOOR (2 UNITS)
- GARBAGE STAGING AREA (42.7m<sup>2</sup>)
- TYPE G LOADING SPACE MIN 13m x 4m x 6.1m (200mm CONCRETE PAD) EXTENT OF TYPE G LOADING BAY AND ACCESS ROUTE SHALL BE SUFFICIENT TO SUPPORT LOADS IMPOSED BY COLLECTION VEHICLES (35,000 KG) AND SURFACE TO BE ACCESSIBLE IN ALL CLIMATE CONDITIONS
- PROPOSED TYPE G MANEUVERING DIAGRAM. REFER TO TRAFFIC CONSULTANT DRAWINGS
- EXISTING VENT AND UTILITY

- EXISTING MANHOLE
- EXISTING DRAIN COVER
- NEW CONCRETE SIDEWALK AS PER CITY STANDARD T-310.010-2. RESTORE BOULEVARD TO THE SATISFACTION OF THE CITY
- EXISTING DRAIN COVER
- EXISTING MANHOLE
- UTILITY POLE
- EXISTING MANHOLE
- REMOVE EXISTING DEPRESSED CURB AND REPLACE WITH CONCRETE CURB AND GUTTER AS PER CITY STANDARD T-600.05-01. RESTORE BOULEVARD TO THE SATISFACTION OF THE CITY
- WATER KEY
- RETAIL SHORT TERM BIKE PARKING AT GROUND FLOOR (2 UNITS)
- SINGLE CATCHBASIN
- STANDARD IRON BAR

- EXISTING FIRE HYDRANT
- DASHED LINE DENOTES GROUND FLOOR PERIMETER
- PROPOSED (2) SIAMESE & SPRINKLER CONNECTIONS
- EXISTING HYDRO & GAS
- DASHED LINE DENOTES EXTENT OF ENTRANCE CANOPY

- VEHICLE WARNING SYSTEM COMPLETE WITH FLASHING SIGNS AND LIGHT INDICATOR ACTIVATED WHEN COLLECTION VEHICLE IN OPERATION
- VENTILATION GRATES TO HAVE POROSITY OF LESS THAN 20mm X 20mm
- TWO VEHICLE PICK UP/ DROP OFF PARKING SPACES 5.6m x 2.6m

**LEGEND**

ALL DAMAGED CURB AS A RESULT OF CONSTRUCTION ACTIVITIES ALONG THE ENTIRE FRONTAGE OF THE SITE WILL BE REMOVED AND REPLACED WITH CONCRETE CURBS AND GUTTERS AS PER CITY STANDARD T-600.05-1.

ALL AIR SHAFT GRATES TO HAVE POROSITY OF LESS THAN 20x20mm.

NOTE 1

- TYPE G LOADING SPACE THAT HAS AN UNENCUMBERED VERTICAL CLEARANCE OF 6.1 METERS
- LOADING SPACE AND STAGING AREA TO BE LEVEL (+/-2%) AND CONSTRUCTED OF 200mm REINFORCED CONCRETE

NOTE 2

- A TRAINED ON-SITE STAFF MEMBER TO BE AVAILABLE TO MANUEVER WASTE BINS FOR CITY COLLECTION AT THE LOADING AREA AND ALSO ACT AS FLAGSMAN WHEN TRUCK IS PARKING AND REVERSING. IN THE EVENT THAT ON-SITE STAFF IS UNAVAILABLE AT THE TIME OF CITY COLLECTION OR VEHICLES ARRIVE AT THE SITE, THE COLLECTION VEHICLE WILL LEAVE THE SITE AND NOT RETURN UNTIL THE NEXT SCHEDULED COLLECTION DAY
- RETAIL MANAGEMENT MUST ARRANGE FOR THEIR COLLECTION DAYS TO BE SCHEDULED ON OPPOSITE DAYS FROM THOSE OF THE RESIDENTIAL COLLECTION DAYS.
- RETAIL/COMMERCIAL BINS WILL BE LABELED SEPARATELY AND MUST BE CLEARLY LABELED.

NOTE 3

- ILLUSTRATED VEHICLE MOVEMENT DIAGRAM IS TAKEN FROM TRAFFIC REPORT. REFER ALSO TO TRAFFIC REPORT.

NOTE 4

- REFER TO SITE SERVICING AND GRADING PLAN FOR DETAILED GRADING.

NOTE 5

- REFER TO LANDSCAPE PLAN FOR PLANTING AND PAVING LOCATION, MATERIALS AND DETAILS.

NOTE 6

- WARNING INDICATOR LIGHTS AND SIGNAGE (SEE TRANSPORTATION DRAWINGS).

**LIGHTING LEGEND**

- WALL MOUNTED LIGHT
- SURFACE MOUNTED LIGHT

**WITHOUT PREJUDICE**

|     |                               |                  |
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| 02  | ISSUED FOR SITE PLAN APPROVAL | 25 APRIL 2022    |
| 03  | ISSUED FOR RECEIVING          | 18 DECEMBER 2021 |
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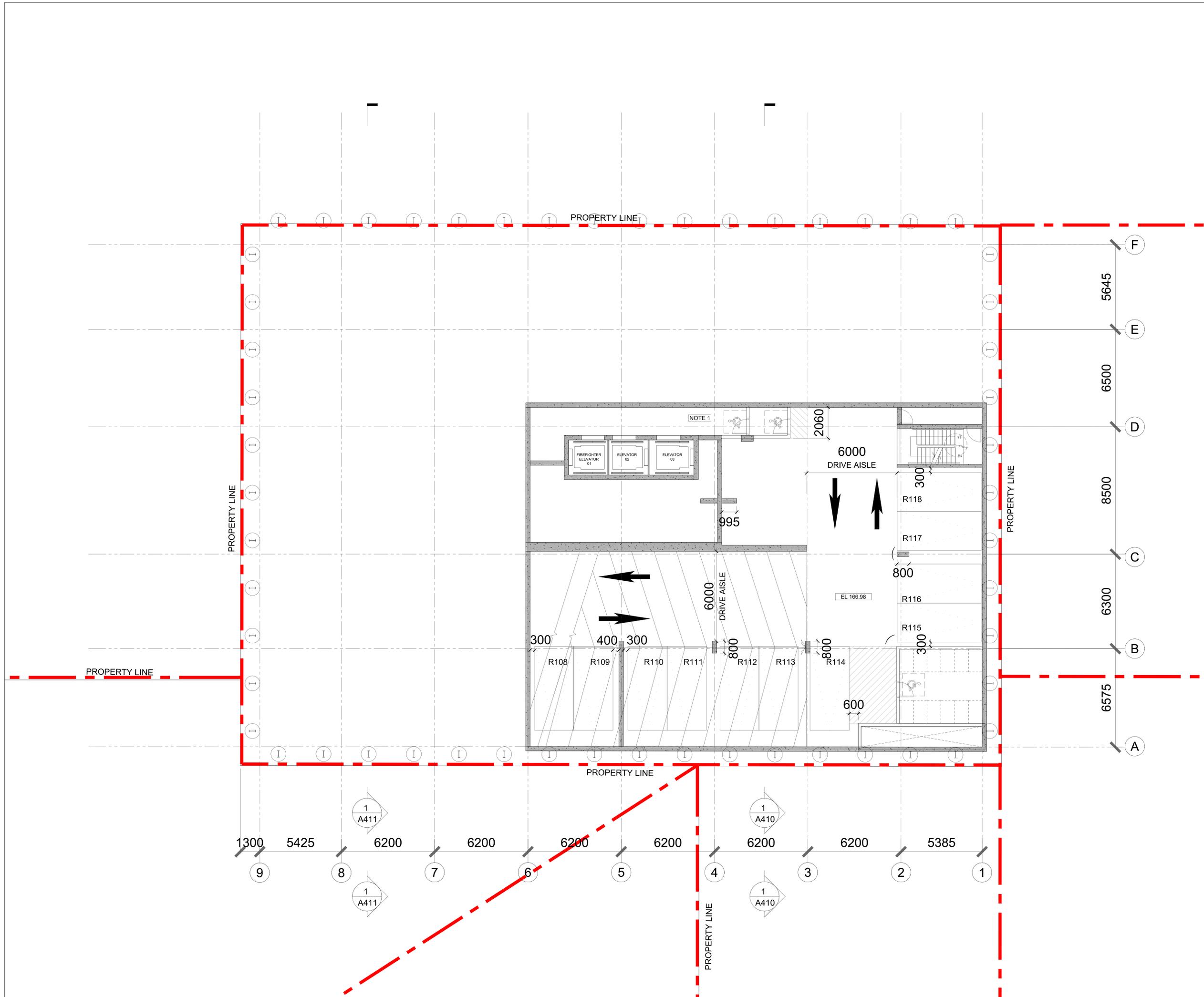
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Drawn: MP Scale: 1:100  
 Checked: CY Date: 18 AUG 2023  
 Title: SITE PLAN  
 Project No: 21-119 Drawing No: A103



**LEGEND**

NOTE 1  
 - VESTIBULE DOORS AND WALLS ADJACENT TO VESTIBULE DOORS TO HAVE TRANSPARENT GLAZING, GLAZING IN FIRE RATED DOORS & ASSEMBLIES TO CONFIRM TO OBC ALLOWABLE AREA.

REGULATION PARKING  
 BARRIER FREE PARKING  
 HORIZONTAL BICYCLE PARKING  
 VERTICAL BICYCLE PARKING  
 TYPICAL CONVEX MIRROR

BARRIER FREE PARKING REQUIRED: 9  
 BARRIER FREE PARKING PROVIDED:  
 - 1 PROVIDED AT VISITOR PARKING  
 - 8 PROVIDED AT RESIDENTIAL PARKING

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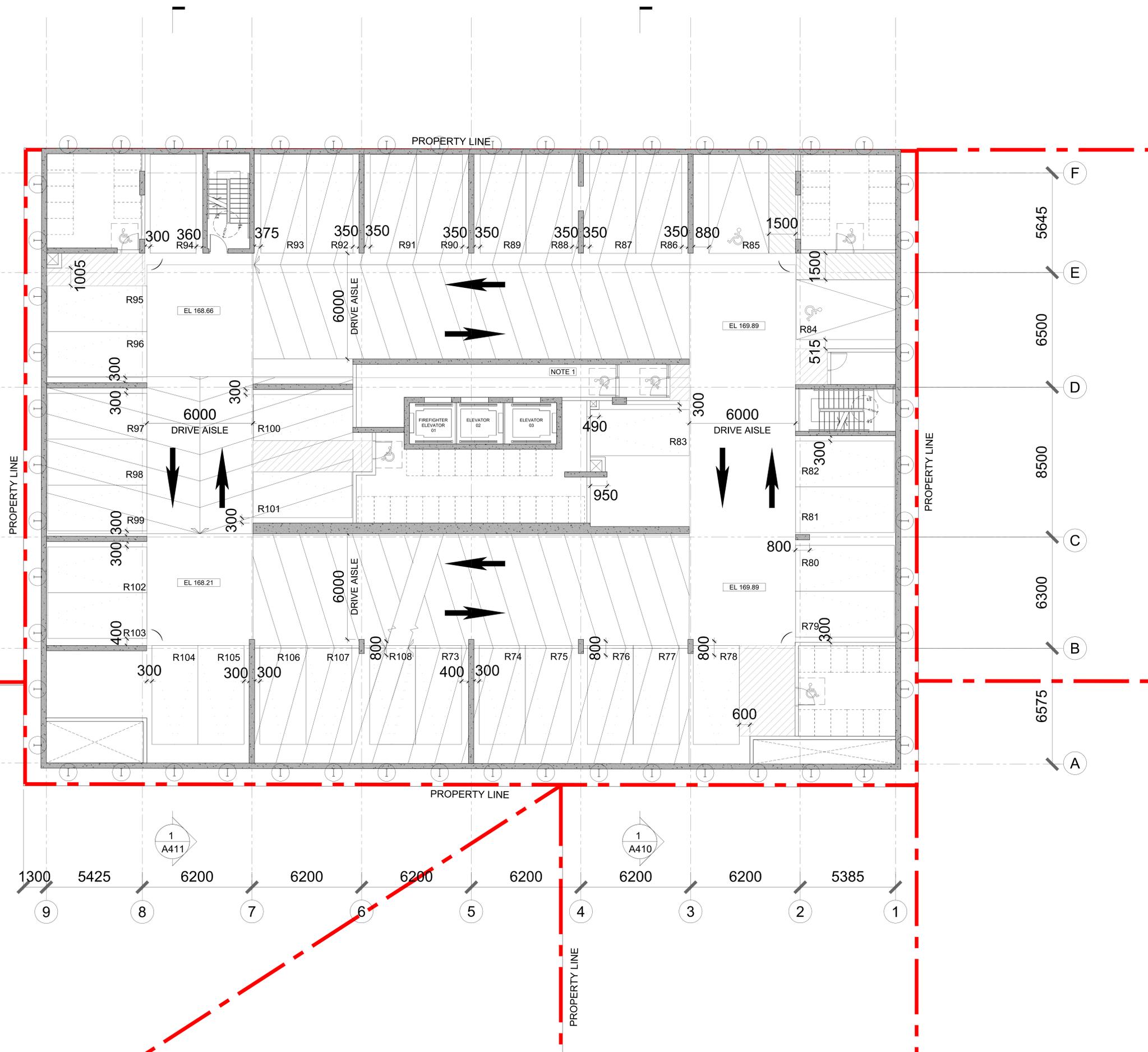
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 Checked: CY  
 Scale: 1:75  
 Date: 18 AUG 2023

Title: P-5 PARKING LEVEL  
 Project No: 21-119  
 Drawing No: A200



- LEGEND**
- NOTE 1  
 - VESTIBULES DOORS AND WALLS ADJACENT TO VESTIBULE DOORS TO HAVE TRANSPARENT GLAZING, GLAZING IN FIRE RATED DOORS & ASSEMBLIES TO CONFIRM TO OBC ALLOWABLE AREA.
- REGULATION PARKING
  - BARRIER FREE PARKING
  - HORIZONTAL BICYCLE PARKING
  - VERTICAL BICYCLE PARKING
  - TYPICAL CONVEX MIRROR
- BARRIER FREE PARKING REQUIRED: 9  
 BARRIER FREE PARKING PROVIDED:  
 - 1 PROVIDED AT VISITOR PARKING  
 - 8 PROVIDED AT RESIDENTIAL PARKING

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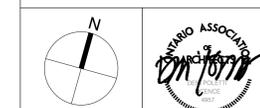
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| Checked<br>CY | Date<br>18 AUG 2023 |

Title:  
**P-4 PARKING LEVEL**

|                       |                            |
|-----------------------|----------------------------|
| Project No.<br>21-119 | Drawing No.<br><b>A201</b> |
|-----------------------|----------------------------|

LEGEND

NOTE 1

VESTIBULE DOORS AND WALLS ADJACENT TO VESTIBULE DOORS TO HAVE TRANSPARENT GLAZING. GLAZING IN FIRE RATED DOORS & ASSEMBLIES TO CONFIRM TO OBC ALLOWABLE AREA.



REGULATION PARKING



BARRIER FREE PARKING



HORIZONTAL BICYCLE PARKING



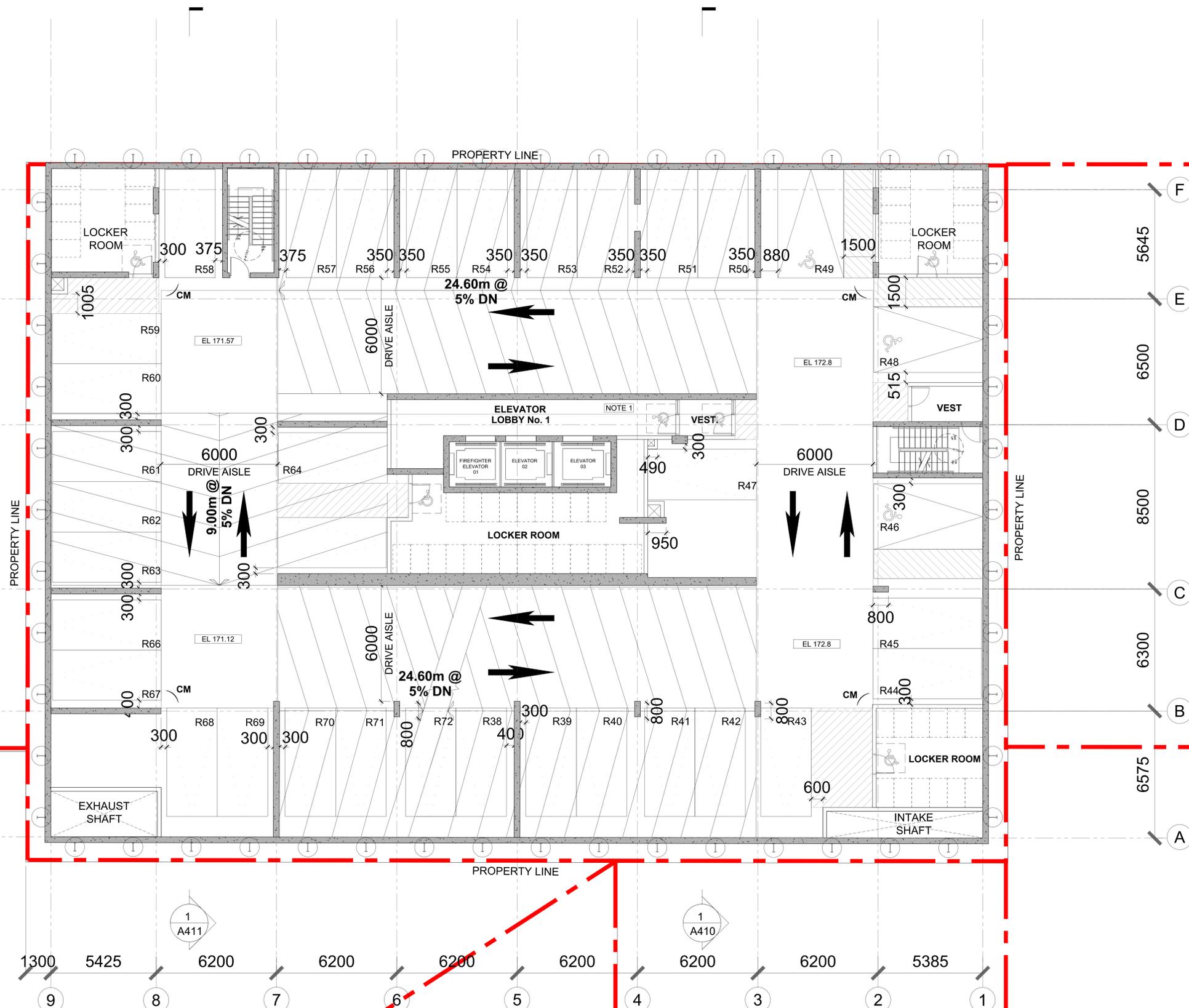
VERTICAL BICYCLE PARKING



TYPICAL CONVEX MIRROR

BARRIER FREE PARKING REQUIRED: 9

BARRIER FREE PARKING PROVIDED:  
- 1 PROVIDED AT VISITOR PARKING  
- 8 PROVIDED AT RESIDENTIAL PARKING



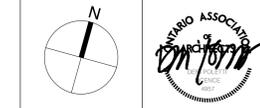
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Title: P-3 PARKING LEVEL

Project No: 21-119 Drawing No: A202