

Demolition of a Structure within the North Rosedale Heritage Conservation District and Approval of a Replacement Structure - 5 Whitehall Road

Date: March 2, 2023

To: Toronto Preservation Board
Toronto and East York Community Council

From: Senior Manager, Heritage Planning, Urban Design, City Planning

Wards: University - Rosedale - Ward 11

SUMMARY

This report recommends that City Council approve the demolition of an "Unrated" building within the North Rosedale Heritage Conservation District (NRHCD), and approve the design of a replacement house located at 5 Whitehall Road in accordance with Section 42(1) 2 and 42 (1) 4 of the Ontario Heritage Act.

This property is designated under Part V of the Ontario Heritage Act. The NRHCD Plan allows for the demolition of an "Unrated" building provided that the replacement building design complies with the NRHCD Plan guidelines for new buildings and the applicable zoning by-laws. The proposed new two-storey detached house meets the general intent of the NRHCD Plan's guidelines and would not detract from nearby rated heritage buildings in the immediate context.

The subject application required approval under the Planning Act (Minor Variance). This was approved on September 14th, 2022 by the Committee of Adjustment and Consent and this decision was final and binding as of October 5, 2022. The recommendations contained within this report relate solely to approvals required under the provisions of the Ontario Heritage Act.

RECOMMENDATIONS

The Senior Manager, Heritage Planning, Urban Design, City Planning recommends that:

1. City Council approve the demolition of the heritage building at 5 Whitehall Road, an "Unrated" structure in the North Rosedale Heritage Conservation District, in accordance

with Section 42 (1) 4 of the Ontario Heritage Act and the erection of a building in accordance with Section 42 (1) 2 of the Ontario Heritage Act subject to the following:

a. City Council approve the replacement structure for 5 Whitehall Road as shown in the plans and Heritage Impact Assessment submitted by the applicant and prepared by ERA Architects on February 14, 2023 and on file with the Senior Manager, Heritage Planning, and that the replacement structure be constructed substantially in accordance with the submitted plans.

b. That prior to the issuance of any heritage permit for the property at 5 Whitehall Road including a demolition permit, but excluding permits for interior work, repairs and maintenance and usual and minor works for the existing "Unrated" building as are acceptable to the Senior Manager, Heritage Planning, the applicant provide the following to the satisfaction of the Senior Manager, Heritage Planning:

1. Photo documentation of the existing structure at 5 Whitehall Road.
2. Final building permit drawings for the replacement structure and a landscape plan consistent with the plans and Heritage Impact Assessment submitted by the applicant and prepared by ERA Architects on February 14, 2023 and the NRHCD Plan.

FINANCIAL IMPACT

There are no financial implications resulting from the adoption of this report.

DECISION HISTORY

Council adopted the North Rosedale Heritage Conservation District (NRHCD) on May 3, 2004 (By-law 749-2004) and was enacted by September 30, 2004:

https://www.toronto.ca/wp-content/uploads/2018/01/9536-CityPlanning_North-Rosedale-HCD.pdf

BACKGROUND

Proposal

The property at 5 Whitehall Road is located within the North Rosedale Heritage Conservation District (NRHCD). The existing one-storey detached brick dwelling on this property is "Unrated" within the NRHCD Plan. The proposal is to demolish the existing house and construct a new two-storey detached brick and stone dwelling. Permission is required under Section 42 (1) 4 of the Ontario Heritage Act to demolish a building on a

property within a heritage conservation district and under Section 42 (1) 2 of the said Act to erect a building or structure on a property in a heritage conservation district.

Heritage Policy Framework

The City of Toronto Official Plan provides the policy framework for heritage conservation in the City. The following Official Plan policy applies to heritage conservation districts and proposed new construction:

3.1.5.33. Heritage Conservation Districts should be managed and conserved by approving only those alterations, additions, new development, demolitions, removals and public works in accordance with respective Heritage Conservation District plans.

Parks Canada Standards and Guidelines for Conservation of Historic Places in Canada

The Parks Canada Standards and Guidelines for the Conservation of Historic Places in Canada (Standards and Guidelines) is the official document guiding planning, stewardship and conservation approach for all listed and designated heritage resources within the City of Toronto. The General Standards (1-9) and Standards for Rehabilitation (10-12) apply to this project.

<http://www.historicplaces.ca/en/pages/standards-normes.aspx>

North Rosedale Heritage Conservation District (NRHCD) Plan

On May 3, 2004, Toronto City Council adopted the North Rosedale Heritage Conservation District (NRHCD) under Part V, Section 42 of the Ontario Heritage Act, enacted by September 30, 2004 under By-law 749-2004.

The subject property at 5 Whitehall Road is located within the North Rosedale Heritage Conservation District (NRHCD) Plan. At the time the NRHCD Study was undertaken, this property was assigned an "Unrated" rating meaning that the building is "...not of national, provincial, citywide or contextual heritage significance, do not contribute to the heritage character of the HCD or are too recent to be accurately evaluated".

The NRHCD Plan's section 7.4: Guidelines for Demolition states:

Guidelines in this section are for all buildings in the district. In general, demolition is to be discouraged but it is acknowledged that the impact of demolition may vary depending upon the heritage evaluation category of the building in question.

It also states that "Demolition of an unrated building will generally be permissible if the replacement building, as shown in the building permit application, contributes to the heritage character of the district and is acceptable under these guidelines and the zoning by-law".

Section 7.3: Guidelines for New Buildings, Alterations and Additions to Unrated Buildings, states that new buildings "should be designed to be compatible with the heritage buildings in terms of scale, massing, height, setback, entry level materials and fenestration" and that the "roof profile and location of the eaves lines or the roof parapet

should be designed so that the apparent height is compatible with that of the streetscape".

Section 7.5 notes that the "preservation of existing landscape, trees and mature vegetation, in both the public and private realm, is encouraged" and that planting of species characteristic to the district "is encouraged, especially when replacing dying specimens."

Area Context

The subject site contains a one-storey residential building. Located in the northwestern end of the City of Toronto's North Rosedale neighbourhood, 5 Whitehall Road is situated on the south side of Whitehall Road between Highland Crescent and Gregory Avenue. It is located in Zone 2 of North Rosedale, also known as the St. Andrews College Lands, which is characterized by a coherent overall street design with consistency in the proportion of houses, size of setbacks and house layout types. The houses in this zone are defined by an abundance of Edwardian Classicism architecture with some Arts and Crafts Style houses and Toronto red brick "four-squares".

Both directly adjacent properties, 9 Whitehall Road and 21 Highland Crescent, on the same side of the street as 5 Whitehall Road are unrated. Directly across the street from the subject property are 6, 10 and 14 Whitehall Road, which are all located on the north side of Whitehall Road and are unrated as well.

According to the Heritage Impact Assessment prepared by ERA Architects Inc., the existing one storey house at 5 Whitehall Road was constructed in the late 1940's. It is an unrated building within the NRHCD Plan.

Proposed Development

The proposal seeks permission under the Ontario Heritage Act to demolish an existing unrated building within the NRHCD and to construct a new building.

In accordance with NRHCD Plan guidelines:

1. 7.3 (B) – The proposed development is designed to be compatible with adjacent heritage properties in scale, massing, height, setback, entry level, materials and fenestration.
2. 7.3 (C) – The roof profile of the proposed development is designed to meet the eaves lines and parapet of adjacent properties. The scale, massing, height and roofscape does not visually overwhelm neighbouring buildings.

The proposal involves constructing a two-storey detached brick and stone building with an arched main entrance set behind a porch. The roof is proposed to be set back behind a short parapet wall. The Heritage Impact Assessment notes that proposed new dwelling has an integral garage with a garage door that "mimics the living room window in level of detail, sizing and proportion". The new dwelling also includes a material palette of red-brown brick, buff stone, and black window frames and roof shingles.

COMMENTS

The NRHCD Plan says that the "demolition of an "Unrated" building will generally be permissible if the proposed replacement building "contributes to the heritage character of the district and is acceptable under these guidelines and the zoning by-law."

The design of the proposed new house includes compatible materiality, height, scale, massing, setback, entry level, fenestration, eaves lines and architectural features that primarily relate to other rated properties on Whitehall Road and Douglas Drive. The roof profile has a height and form that is similar to that of other houses in Whitehall Road, particularly 15 and 19 Whitehall Road. The design and material palette of the proposed new house are also consistent with other dwellings in the St. Andrew College Lands Zone and Whitehall Road. A visual reference and comparison to neighbouring properties that was submitted by the applicant is included in Attachment 4.

The proposal has a primary elevation with similar window configurations and proportions as other rated properties within the St. Andrews College Lands Zone. The front ground floor window is larger than the windows of other buildings within this part of Whitehall Road but they are not considered to be sufficiently different as to not comply with the HCD guideline that seeks "compatible" fenestration.

Integral garages are strongly discouraged in the NRHCD Plan. However, they are common on Whitehall Road within the immediate vicinity of the subject site and are a feature that reflect the post-war development of the western end of Whitehall Road. The existing building at 5 Whitehall has an integral garage, as does 21 Highland Crescent immediately to the west, and 9, 11, 15, and 19 Whitehall Road immediately to the east. On the north side of Whitehall Road, opposite to the subject site, the buildings at 6, 14, 18, 20, and 22 Whitehall Road all have street-facing integral garages. While it is strongly discouraged, the proposals inclusion of an integral garage in the design of the new dwelling is consistent with the presence of integral garages along the western portion of Whitehall Road.

The new dwelling proposes to retain the existing front yard trees with the exception of one that is in poor condition as determined by the arborist report. It will also feature front yard landscaping with plantings and a garden wall in compliance with the guidelines noted in the NRHCD Plan. As such, when viewed from the public realm, the proposal will make a positive contribution to the landscape character of the subject property and this part of St. Andrew College Lands zone.

Heritage Planning staff are therefore of the opinion that the proposed demolition of the existing "Unrated" building at 5 Whitehall Road, and the proposed replacement

structure, are consistent with the guidelines outlined in the NRHCD Plan and other applicable policies and guidelines. It is recommended that City Council approve the application under Section 42 of the Ontario Heritage Act.

The recommendations in this report relate solely to approvals required under the provisions of the Ontario Heritage Act.

CONTACT

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SIGNATURE

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ATTACHMENTS

Attachment 1: Location Map
Attachment 2: Photographs of Existing Dwelling
Attachment 3: Drawings of proposed replacement dwelling
Attachment 4: Contextual analysis

LOCATION MAP

5 Whitehall Road

ATTACHMENT 1



Location Map showing 5 Whitehall Road in regards to its surrounding context. This location map is for information purposes only and is oriented with North at the top. The exact boundaries of the property are not shown (Source - iView2 Toronto)



Photograph of the south elevation (front) of the existing house at 5 Whitehall Road (Source – ERA Architects, 2023)



Photograph of context of the existing house at 5 Whitehall Road and its immediate neighbours (Source - Google Maps, 2021)

DRAWINGS OF PROPOSED REPLACEMENT DWELLING

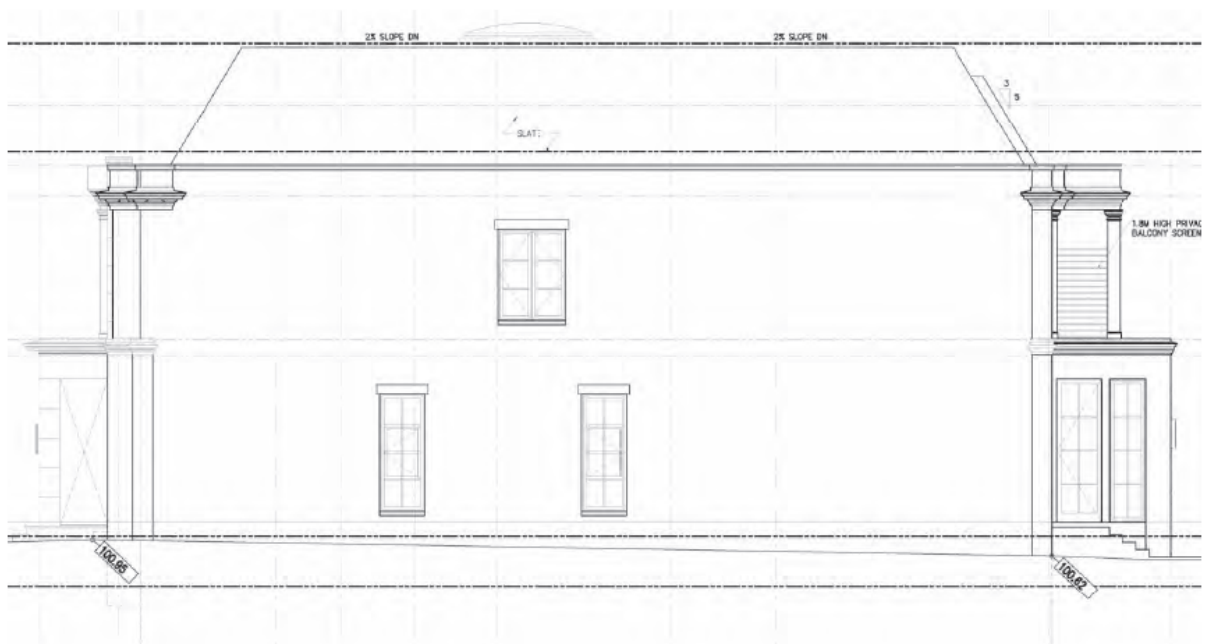
ATTACHMENT 3



Proposed south (principal) elevation of 5 Whitehall Road. (Source – Makow Architects, 2022)



Proposed east elevation of 5 Whitehall Road (Source - Makow Architects, 2022)



Proposed west elevation of 5 Whitehall Road (Source - Makow Architects, 2022)



Rendering of south (principal) elevation of 5 Whitehall Road (Source - Dewson Architects, 2022)



Contextual rendering of 5 Whitehall Road (Source - Makow Architects, 2022).



Study of materiality and colour of proposed development and nearby properties within the St. Andrew College Lands Zone (Source – Makow Architects, 2022)



Study of scale, massing, height and eave lines of proposed development and nearby properties on Whitehall Road (Source – Makow Architects, 2023)



Setback study of proposed development and its neighbouring properties (Source – Makow Architects, 2022; annotated by ERA)



Entry level study of the proposed development and nearby properties on Whitehall Road (Source – Makow Architects, 2022)

