

639-651 Yonge Street - Notice of Intention to Designate a Property under Part IV, Section 29 of the Ontario Heritage Act

Date: June 19, 2023

To: Planning and Housing Committee

From: Chief Planner and Executive Director, City Planning

Wards: Ward 13 - Toronto Centre

SUMMARY

This report recommends that City Council state its intention to designate the five contiguous properties at 639 Yonge Street (including entrance addresses at 2, 4 Isabella Street), 641 Yonge Street (including entrance address 641-643 Yonge Street), 645 Yonge Street, 649 Yonge Street (including entrance addresses 647 Yonge Street and 12A Isabella Street) and 651 Yonge Street (including entrance address 653 Yonge Street) under Part IV, Section 29 of the Ontario Heritage Act for their cultural heritage value.

Anchoring the northeast corner of Yonge Street and Isabella Street, the properties at 639-651 Yonge Street were completed between c.1878 and 1951, and collectively support the historic main street character of this part of Yonge Street through their consistent low-rise scale, form and massing, and their range of architectural styles.

The subject properties at 639 and 649 Yonge Street included on the City of Toronto Inventory of Heritage Properties (now known as the Heritage Register) in 1974, and the other three properties at 641, 645, and 651 Yonge Street were listed on the Heritage Register in 2016.

Staff have completed the Research and Evaluation Report for the properties at 639, 641, 645, 649 and 651 Yonge Street and determined that all five properties meet Ontario Regulation 9/06, the criteria prescribed for municipal designation under Part IV, Section 29 of the Ontario Heritage Act under design/physical and contextual values. In addition, the properties at 639, 641, 649, and 651 Yonge Street have historical and associative value. As such, the properties are significant built heritage resources.

On September 15, 2022, the City received Site Plan Control, Official Plan Amendment, and Zoning By-law Amendment applications related to the proposed redevelopment of the subject properties with a 76-storey mixed-use tower, which would retain the existing building facades along Yonge Street and a portion of Isabella Street in situ as part of the

podium of the new building. The proposed interior space behind the facades of 639-649 Yonge Street is designed as an open atrium with ground floor retail toward the interior. A residential lobby is proposed to be located behind the retained façade of 651 Yonge Street. The proposal also indicates that the historic mansard roofs at 639 and 651 Yonge Street would be reconstructed with a non-combustible structure.

A Heritage Impact Assessment (HIA) is required for all development applications that affect listed and designated properties and will be considered when determining how a heritage property is to be conserved. An HIA completed by ERA Architects Inc. and dated September 9, 2022, was submitted to support the application.

In June 2019, the More Homes, More Choice Act, 2019 (Bill 108) received Royal Assent. Schedule 11 of this Act included amendments to the Ontario Heritage Act. The Bill 108 Amendments to the Ontario Heritage Act came into force on July 1, 2021, which included a shift in Part IV designations related to Planning Act applications that would trigger a Prescribed Event. Section 29(1.2) of the Ontario Heritage Act now restricts City Council's ability to give notice of its intention to designate a property under the Act to within 90 days after the City Clerk gives notice of a complete application.

A "Prescribed Event" is a point of time when the application for an Official Plan Amendment, Zoning By-law Amendment and/or Draft Plan of Subdivision Application has been deemed complete and the City Clerk provides notice of that complete application to the public in accordance with the Planning Act.

The City Clerk issued a complete application notice for the Official Plan and Zoning By-law Amendment on November 25, 2022. The applicant provided a waiver to extend the 90-day timeline after the City Clerk's notice. Council must make a decision to issue a notice of intention to designate the subject properties at its July 19-21, 2023 meeting before the waiver expires on July 31, 2023.

On November 28, 2022, the More Homes Built Faster Act, 2022 (Bill 23) received Royal Assent. Schedule 6 of the More Homes Built Faster Act which amended the Ontario Heritage Act and came into effect on January 1, 2023.

The application currently under review was deemed complete prior to Bill 23 changes to the Ontario Heritage Act coming into force, however, the Part IV designation must comply with the province's amended O. Reg. 9/06 under the Ontario Heritage Act, which came into effect on January 1, 2023. The revised regulation establishes nine provincial criteria for determining whether a property is of cultural heritage value or interest. A property may be designated under Part IV, Section 29 of the Ontario Heritage Act, if it meets two or more of the nine criteria

Designation enables City Council to review proposed alterations or demolitions to the property and enforce heritage property standards and maintenance.

RECOMMENDATIONS

The Chief Planner and Executive Director, City Planning recommends that:

1. City Council state its intention to designate the property at 639 Yonge Street (entrance addresses at 2, 4, Isabella Street) under Part IV, Section 29 of the Ontario Heritage Act in accordance with the Statement of Significance; 639 Yonge Street (Reasons for Designation) attached as Attachment 3, to the report, June 19, 2023, from the Chief Planner and Executive Director, City Planning.
2. City Council state its intention to designate the property at 641 Yonge Street (entrance address at 641-643 Yonge Street) under Part IV, Section 29 of the Ontario Heritage Act in accordance with the Statement of Significance; 641 Yonge Street (Reasons for Designation) attached as Attachment 4, to the report, June 19, 2023, from the Chief Planner and Executive Director, City Planning.
3. City Council state its intention to designate the property at 645 Yonge Street under Part IV, Section 29 of the Ontario Heritage Act in accordance with the Statement of Significance; 645 Yonge Street (Reasons for Designation) attached as Attachment 5, to the report, June 19, 2023, from the Chief Planner and Executive Director, City Planning.
4. City Council state its intention to designate the property at 649 Yonge Street (entrance addresses at 647 Yonge Street and 12A Isabella Street) under Part IV, Section 29 of the Ontario Heritage Act in accordance with the Statement of Significance; 649 Yonge Street (Reasons for Designation) attached as Attachment 6, to the report, June 19, 2023, from the Chief Planner and Executive Director, City Planning.
5. City Council state its intention to designate the property at 651 Yonge Street (entrance address at 653 Yonge Street) under Part IV, Section 29 of the Ontario Heritage Act in accordance with the Statement of Significance; 651 Yonge Street (Reasons for Designation) attached as Attachment 7, to the report, June 19, 2023, from the Chief Planner and Executive Director, City Planning:
6. If there are no objections to the designation, City Council authorize the City Solicitor to introduce the Bills in Council designating the properties under Part IV, Section 29 of the Ontario Heritage Act.

FINANCIAL IMPACT

There are no financial implications resulting from the adoption of this report.

DECISION HISTORY

On March 15, 1974, City Council listed the properties at 639 Yonge Street (including entrance addresses at 2 and 4 Isabella Street) and 649 Yonge Street (including entrance addresses 647 Yonge Street and 12A Isabella Street) on the City of Toronto Inventory of Heritage Properties (now known as the Heritage Register).

On October 8, 2013, City Council adopted item TE26.14, to amend the Official Plan to include the North Downtown Yonge Site and Area Specific Policy 382 and to adopt the North Downtown Yonge Urban Design Guidelines.

[TE26.14 - Final Report - North Downtown Yonge Official Plan Amendment](#)

On March 10, 2016, City Council adopted item TE14.4, designating the Historic Yonge Street Heritage Conservation District and adopting the associated District Plan. As part of this decision, City Council included the properties at 641 Yonge Street (including entrance address of 643 Yonge Street), 645 Yonge Street, and 651 Yonge Street (including entrance address of 653 Yonge Street) on the City of Toronto's Heritage Register. All five properties were identified as contributing properties within the Historic Yonge Street HCD, which is currently under appeal.

[TE14.4 - Designation of the Historic Yonge Street Heritage Conservation District Under Part V of the Ontario Heritage Act](#)

BACKGROUND

Heritage Planning Framework

The conservation of cultural heritage resources is an integral component of good planning, contributing to a sense of place, economic prosperity, and healthy and equitable communities. Heritage conservation in Ontario is identified as a provincial interest under the Planning Act. Cultural heritage resources are considered irreplaceable and valuable assets that must be wisely protected and managed as part of planning for future growth under the Provincial Policy Statement (2020) and A Place to Grow: Growth Plan for the Greater Golden Horseshoe (2020). Heritage Conservation is enabled through the Ontario Heritage Act. The City of Toronto's Official Plan implements the provincial policy regime, the Planning Act, the Ontario Heritage Act and provides policies to guide decision making within the city.

Good planning within the provincial and municipal policy framework has at its foundation an understanding and appreciation for places of historic significance and ensures the conservation of these resources are to be balanced with other provincial interests. Heritage resources may include buildings, structures, monuments, and geographic areas that have cultural heritage value or interest to a community, including an Indigenous community.

The Planning Act establishes the foundation for land use planning in Ontario, describing how land can be controlled and by whom. Section 2 of the Planning Act identifies heritage conservation as a matter of provincial interest and directs that municipalities

shall have regard to the conservation of features of significant architectural, historical, archaeological or scientific interest. Heritage conservation contributes to other matters of provincial interest, including the promotion of built form that is well-designed, and that encourages a sense of place.

The Planning Act requires that all decisions affecting land use planning matters shall conform to the Growth Plan and shall be consistent with the Provincial Policy Statement, both of which position heritage as a key component in supporting key provincial principles and interests.

<https://www.ontario.ca/laws/statute/90p13>

The Provincial Policy Statement provides policy direction on land use planning in Ontario and is to be used by municipalities in the development of their official plans and to guide and inform decisions on planning matters, which shall be consistent with the Provincial Policy Statement. The Provincial Policy Statement articulates how and why heritage conservation is a component of good planning, explicitly requiring the conservation of cultural heritage and archaeological resources, alongside the pursuit of other provincial interests. The Provincial Policy Statement does so by linking heritage conservation to key policy directives, including building strong healthy communities, the wise use and management of resources, and protecting health and safety.

Section 1.1 Managing and Directing Land Use to Achieve Efficient and Resilient Development states that long-term economic prosperity is supported by, among other considerations, the promotion of well-designed built form and cultural planning, and the conservation of features that help define character. Section 2.6 Cultural Heritage and Archaeology subsequently directs that "significant built heritage resources and significant cultural heritage landscapes shall be conserved". Through the definition of conserved, built heritage resources, cultural heritage landscape and protected heritage property, the Provincial Policy Statement identifies the Ontario Heritage Act as the primary legislation through which heritage conservation will be implemented.

<https://www.ontario.ca/page/provincial-policy-statement-2020>

A Place to Grow: Growth Plan for the Greater Golden Horseshoe (2020) builds on the Provincial Policy Statement to establish a land use planning framework that supports complete communities, a thriving economy, a clean and healthy environment and social equity. Section 1.2.1 Guiding Principles states that policies in the plan seek to, among other principles, "conserve and promote cultural heritage resources to support the social, economic, and cultural well-being of all communities, including First Nations and Metis communities". Cultural heritage resources are understood as being irreplaceable, and are significant features that provide people with a sense of place. Section 4.2.7 Cultural Heritage Resources directs that cultural heritage resources will be conserved in order to foster a sense of place and benefit communities, particularly in strategic growth areas.

<https://files.ontario.ca/mmah-place-to-grow-office-consolidation-en-2020-08-28.pdf>

The Ontario Heritage Act is the key provincial legislation for the conservation of cultural heritage resources in Ontario. It regulates, among other things, how municipal councils can identify and protect heritage resources, including archaeology, within municipal boundaries. This is largely achieved through listing on the City's Heritage Register,

designation of individual properties under Part IV of the Ontario Heritage Act, or designation of districts under Part V of the Ontario Heritage Act.

Section 27 of the Ontario Heritage Act gives municipalities the authority to maintain and add to a publicly accessible heritage register. The City of Toronto's Heritage Register includes individual heritage properties that have been designated under Part IV, Section 29, properties in a heritage conservation district designated under Part V, Section 41 of the Act as well as properties that have not been designated but City Council believes to be of "cultural heritage value or interest."

<https://www.ontario.ca/laws/statute/90o18>

Ontario Regulation 9/06 sets out the criteria for evaluating properties to be designated under Part IV, Section 29 of the Ontario Heritage Act. The criteria are based on an evaluation of design/physical value, historical and associative value and contextual value. A property may be designated under Section 29 of the Act if it meets two or more of the provincial criteria for determining whether it is of cultural heritage value or interest.

<https://www.ontario.ca/laws/regulation/060009>

On November 28, 2022, the More Homes Built Faster Act, 2022 (Bill 23) received Royal Assent. Schedule 6 of the More Homes Built Faster Act amended various sections of the Ontario Heritage Act. A majority of the key changes to the Act came into effect on January 1, 2023.

The City of Toronto's Official Plan contains a number of policies related to properties on the City's Heritage Register and properties adjacent to them, as well as the protection of areas of archaeological potential. Indicating the integral role that heritage conservation plays in successful city-building, Section 3.1.6 of the Official Plan states that, "Cultural heritage is an important component of sustainable development and place making. The preservation of our cultural heritage is essential to the character of this urban and liveable City that can contribute to other social, cultural, economic and environmental goals of the City."

Policy 3.1.6.4 states that heritage resources on the City's Heritage Register "will be conserved and maintained consistent with the Standards and Guidelines for the Conservation of Historic Places in Canada, as revised from time to time and adopted by Council."

Policy 3.1.6.6 encourages the adaptive re-use of heritage properties while Policy 3.1.6.26 states that, when new construction on, or adjacent to, a property on the Heritage Register does occur, it will be designed to conserve the cultural heritage values, attributes and character of that property and will mitigate visual and physical impacts on it.

<https://www.toronto.ca/city-government/planning-development/official-plan-guidelines/official-plan/>

<https://www.historicplaces.ca/media/18072/81468-parks-s+g-eng-web2.pdf>

COMMENTS

City Council included the properties located at 639 and 649 Yonge Street on the City of Toronto Inventory of Heritage Properties (now known as the Heritage Register) in 1974, and the properties at 641, 645, and 651 Yonge Street on the City of Toronto's Heritage Register in 2016.

The properties located at 639, 641, 645, 649, and 651 Yonge Street are also contributing properties within the Historic Yonge Street Heritage Conservation District. City Council designated the Historic Yonge Street HCD and adopted the Historic Yonge Street HCD Plan under Part V of the Ontario Heritage Act at its meeting of March 10, 2016. The HCD Plan is currently under appeal. The subject properties are adjacent to several other properties to the north, west, and south, which are listed on the Heritage Register and identified as contributing properties within the Historic Yonge Street HCD.

On September 15, 2022, the City received Site Plan Control, Official Plan Amendment, and Zoning By-law Amendment applications related to the proposed redevelopment of the subject properties with a 76-storey mixed-use tower, which would retain the existing building facades along Yonge Street and a portion of Isabella Street in situ as part of the podium of the new building. The proposed interior space behind the facades of 639-649 Yonge Street is designed as an open atrium with ground floor retail toward the interior. A residential lobby is proposed to be located behind the retained façade of 651 Yonge Street. The proposal indicates that the mansard roofs at 639 and 651 Yonge Street would be reconstructed with a non-combustible structure.

639, 641, 645, 649 and 651 Yonge Street

Research and Evaluation according to Ontario Regulation 9/06

While the research and evaluation of the properties referenced above is, in staff's determination, sufficient to support the designation of the properties at 639, 641, 645, 649 and 651 Yonge Street, it should be noted that new and additional relevant information on the subject properties further expanding on their cultural heritage value following community input and additional access to archival records may be incorporated in the final version of a Part IV designation by-law.



View of the subject properties from the southwest, with 639 Yonge Street in the foreground (Heritage Planning, 2022)

1. DESCRIPTION

639, 641, 645, 649 and 651 Yonge Street	
ADDRESS	639 Yonge Street (including entrance addresses 2, 4 Isabella Street) 641 Yonge Street (including entrance address 641-643 Yonge Street) 645 Yonge Street 649 Yonge Street (including entrance addresses 647 Yonge Street, 12A Isabella Street) 651 Yonge Street (including entrance address 653 Yonge Street)
WARD	Ward 13 - Toronto Centre
LEGAL DESCRIPTION	639 Yonge Street (2, 4 Isabella St): CON 1 FB PT PARK LOT 8 WITH ROW 641 Yonge Street (641-643 Yonge St): CON 1 FB PT PARK LOT 8 WITH ROW 645 Yonge Street: CON 1 FB PT PARK LOT 8 WITH ROW 649 Yonge Street (647 Yonge St, 12A Isabella St): CON 1 FB PT PARK LOT 8 WITH ROW 651 Yonge Street (653 Yonge St): CON 1 FB PT PARK LOT 8 WITH ROW

	Church-Wellesley ¹
	See Section 1. Prior to 1890, the properties were recorded by their historic addresses of 627-639 Yonge Street.
	639: c.1879 641: 1951 645: c.1887 649: c.1878, 1887; altered 651: c.1887; over-clad
	N/A
	Mixed-Use/Commercial
	Mixed-Use/Commercial *This does not refer to permitted use(s) as defined by the Zoning By-law
	See Section 2
	See Section 2
	See Section 2
	See Section 2
	See Section 3
	Listed
	Heritage Planning: Megan Albinger, Clint Robertson, Emma Doedens
	May 2023

2. BACKGROUND

This research and evaluation section of the report describes the history, architecture and context of the properties at 639, 641, 645, 649 and 651 Yonge Street, and applies evaluation criteria as set out in Ontario Regulation 9/06 to determine whether they merit designation under Part IV, Section 29 of the Act. A property may be designated under Section 29 of the Act if it meets two or more of the provincial criteria for determining whether it is of cultural heritage value or interest. The application of the criteria is found in Section 3 (Evaluation Checklist). The conclusions of the research and evaluation are found in the Conclusion of the report. Maps and Photographs are located in Attachment 1. The archival and contemporary sources for the research are found in Attachment 2. The Statements of Significance are contained in Attachments 3-7.

i. HISTORICAL TIMELINE

Key Date	Historical Event
	The area now known as the City of Toronto is the traditional territory of many nations including the Mississaugas of the Credit, the Anishnabeg, the Chippewa, the Haudenosaunee and the Wendat peoples, and is now home to many diverse First Nations, Inuit and Métis peoples. Toronto is covered by Treaty 13 signed with the Mississaugas of the Credit (1805), and the Williams Treaties (1923) signed with multiple Mississaugas and Chippewa bands

¹ As defined by City of Toronto Neighbourhoods map and profiles

1793	John Graves Simcoe, Lieutenant Governor of Upper Canada, established the Town of York as Upper Canada's capital
1796	Under the direction of Simcoe, Yonge Street is surveyed as a military road
1799	John Elmsley purchases the northern part of Park Lot 8 on the east side of Yonge Street
1820s-1870s	Elmsley begins to sell portions of his land holdings and Yonge Street gradually starts to emerge as a commercial main street corridor
1878	A building is constructed mid-block between Isabella Street and Charles Street on the east side of Yonge Street (part of present day 649 Yonge Street)
1879	The property at the northeast corner of Yonge and Isabella streets is constructed (present day 639 Yonge Street)
1887	A building with four commercial units is constructed on the vacant land between the corner property and the mid-block property (includes present day 645 Yonge Street). Another building is constructed to the north of the mid-block property (present day 651 Yonge Street)
1912-1914	The Second Empire style building at 651-653 Yonge Street is converted into a theatre according to designs by Charles J. Read
1923	Lionel Rawlinson expands his furniture business, occupying both 649 (constructed 1878) and 647 (constructed 1887) Yonge Street
1951	The original 1887 buildings at 641 and 643 Yonge Street are demolished and the extant building at 641 Yonge Street is constructed
1954	The Yonge Subway line opens
1974	639 Yonge Street (2, 4 Isabella Street) and 649 Yonge Street (647 Yonge Street, 12A Isabella Street) are listed on the City of Toronto's Inventory of Heritage Properties
2004	The property at 651 Yonge Street is demolished and completely rebuilt behind the existing façade
2016	<p>The Historic Yonge Heritage Conservation District (HCD) Plan is adopted by City Council; the Plan identifies all of the subject properties as "contributing" to the character of the District. 641 Yonge Street (643 Yonge Street), 645 Yonge Street and 651 Yonge Street (653 Yonge Street) are also Listed on the Heritage Register at this time.</p> <p>The HCD Plan is subsequently appealed, and remains under appeal to the Ontario Land Tribunal at the time of this report</p>

ii. HISTORICAL BACKGROUND

The following section outlines the history and facts related to the properties which are the basis for determining historical or associative value of Criteria 4, 5 or 6 according to O. Reg. 9/06 Criteria.

Historic Yonge Street

The properties at 639-651 Yonge Street occupy a row of 5 contiguous lots on the east side of Yonge Street, north of Isabella Street (Figures 1-2). Following the founding of the Town of York (Toronto) in 1793, the area north of the town between present-day Queen and Bloor streets was parceled into 100-acre “park lots” and awarded to government and military officials as the location of country estates. Yonge Street was surveyed as a military road in 1796 and formed the dividing line between Park Lots 8 and 9.

Through a series of purchases and exchanges beginning in 1799, Chief Justice John Elmsley acquired several portions of Park Lots 7-11, resulting in land holdings encompassing the area between today's University Avenue on the west to Mutual Street on the east, between Queen and Bloor streets. Elmsley began selling parts of his property in the 1820s, and the first residential subdivisions were laid out on the tracts by the mid-19th century. Development was limited until infrastructure and transportation improvements were made, including omnibus service beginning in 1849 and the installation of Toronto Street Railway tracks in 1861.

The subject properties at 639-651 Yonge Street were originally constructed as part of the commercial building boom that took place along Yonge Street between 1870 and 1900. One property, 641 Yonge Street, was replaced with a new building constructed in the early 1950s as part of a second wave of development that occurred in conjunction with significant investment in transportation, including the construction of Canada's first subway line along the corridor, which opened in 1954.

639 Yonge Street

City Directories indicate that Yonge Street had generally been developed up to the northern city limit at Bloor Street when the building at 639 Yonge Street was constructed in c.1879. However, the southernmost portion of the block on the east side Yonge Street between Isabella and Charles streets contained a row of several empty lots, including the corner lot. A cabinetry shop at what is now 649 Yonge Street and a few other commercial properties were situated north of these empty lots (Figure 3).

The subject property first appears in the City Directory for 1880 as a vacant store. By the following year the property was occupied, with the business proprietor residing on the upper floors of the building. Over the following four decades, the property hosted a variety of commercial tenants, including a cabinetry shop, grocery, confectionery, and dairy (Figure 6).

The property became the first retail location and office for the Canadian Tire Corporation, a major Canadian retailer that has since grown to comprise over 1700 locations. Established in 1922 when brothers J.W. and A.J. Billes purchased a business called Hamilton Tire and Garage Ltd. located at Gerrard and Hamilton streets, the business relocated to 639 Yonge Street in 1924 and began selling automotive supplies, repairing tires, and selling gasoline from a pump located under a canopy suspended off the south elevation of the building (Figure 7). The company incorporated as “Canadian

Tire Corporation Ltd” in 1927, and by 1931, they had relocated to larger premises on the south side of Isabella Street (625 Yonge Street).²

During the 8 years following Canadian Tire's departure, the building had two tenants. In 1939, Reilly's Lock Corporation became the new occupant of the building and remained at 639 Yonge Street until the early 1970s, a tenancy of over 30 years (Figure 8). After Reilly's left, the building's ground floor was renovated to divide the space into two commercial units.

One of the new tenants was the well-known House of Lords hair salon, which had originally opened across the street at 692 Yonge Street in 1966 (Figure 10).³ The salon gained notoriety for catering to celebrities and rock stars such as David Bowie, Axl Rose, Rod Stewart and others.⁴ During the 1960s-1980s, Yonge Street played an important role in Toronto's counterculture and musical scene, with numerous entertainment, arts, and culture venues established along the Yonge Street corridor. The House of Lords contributed to the character of Yonge Street during this era by acting as a quasi-institution for popular culture; record release parties, album launches, and even live radio broadcasts were all hosted at the salon.⁵ The House of Lords salon closed in 2017.

641 Yonge Street

The extant building at 641 Yonge Street was constructed for the Better Plumbing Company in 1951. In 1961, it became the premises of the Roberts Gallery, an institution with a history dating back to 1842 (Figure 10). The Gallery had a presence in the area starting in 1910; prior to moving to the location at Yonge and Isabella streets, the Roberts Gallery had two previous addresses on Yonge Street near Bloor Street, and one on Grenville Street near Yonge. The shift in location to the Mid-century Modern style building at 641 Yonge Street coincided with a shift in the gallery's focus that began in 1948 towards featuring primarily Canadian art. Although they presented more traditional work, such as the impressionist landscape paintings made famous by the Group of Seven and other pieces of contemporaneous style and era, they also introduced the Canadian public to progressive modern styles including abstract expressionism. The first exhibition at the 641 Yonge Street location featured the work of Jean-Paul Riopelle during the height of his career. Later shows presented the work of Marjorie Pigott, John Gould, and Painters Eleven. The Roberts Gallery remained at 641 Yonge Street until 2019, when it moved to a new location on Dupont Street. Most recently, the ground floor unit has been occupied by a restaurant.

645 Yonge Street

The property at 645 Yonge Street was constructed in c.1887 and has been the premises of a variety of retail businesses. The City Directories and early fire insurance

2 For more background on the history of the Canadian Tire Corporation, refer to the City of Toronto's [Notice of Intention to Designate the properties at 835-839 Yonge Street](#) and [Notice of Intention to Designate 625 Yonge Street](#).

3 The other business was the Commons House Restaurant.

4 Kerr, 2017

5 Ibid.

plans suggest that the property was one unit of a row of four properties that were erected simultaneously, from 641-647 Yonge Street (Figure 4). Two commercial businesses with longer than average tenures at 645 Yonge Street include a bicycle shop (from the late 1890s to the early 1920s), and a hardware store (mid-1920s to mid-1930s). The ground floor unit is currently occupied by a fast-food restaurant.

649 Yonge Street

The property at 649 Yonge Street is wider than average along this portion of Yonge Street, and is the result of two earlier buildings consolidated into one property with a rebuilt façade. The northern half was constructed earlier, first appearing in the City Directory for 1878 as a 2-1/2 storey structure with a mansard roof. A fire insurance map from 1880 (Figure 3) shows there was also a standalone 3-storey, brick carpentry shop at the rear of the property, which was later connected to the building fronting Yonge Street sometime between 1903-1913 (Figure 5).

Cabinetmaker Henry Schomberg was the first occupant of the building at 649 Yonge Street. From c.1877 to 1897, he used the property as both his residence and storefront for his business. By 1898, Lionel Rawlinson, also a cabinet and furniture maker, had taken over the premises for his own factory and showroom. His company remained at the site until it ended its business operations in December 1974 (Figure 9).⁶ The City Directories do not identify any additional tenants for the property, suggesting the rear workshop building was integral to the business operations of the cabinetmaking shop and not leased to a separate occupant.

The southern portion of the property, a 3-storey brick building originally known as 647 Yonge Street, first appears in the 1888 directory as the business of George Queen, a fruit seller. The building was subsequently occupied by a variety of commercial tenants, including a harness maker, painter, and bookstore. In 1923, Rawlinson expanded his business into the building at 647 Yonge Street.⁷

The company also owned additional property in the area, including the 5-storey warehouse at 18 Gloucester Lane designed by architecture firm Curry & Sparling, which was listed on the Heritage Register in 2013.

651 Yonge Street

The property at 651-653 Yonge Street first appears in the 1887 City Directory as an unfinished building and by the following year a dry goods store is listed as the first occupant. In 1893, Henry Schomberg, the occupant of the adjacent building to the south at 649 Yonge Street, expanded his company into the space at 651 Yonge Street while the remaining portion of the building remained a dry goods store. City Directories indicate that employees of Schomberg's furniture store resided in the apartments above his two storefronts. In 1899, the Schomberg Furniture Co. vacated the premises at 649 Yonge Street, moving into the other half of the property at 651-653 Yonge Street, where the company remained for another fourteen years.

⁶ "Notice of winding up", *The Globe and Mail*, 1975, p.12.

⁷ It is possible that the west elevations of the two buildings was rebuilt at this time.

In 1914, the Victoria Theatre opened at 651 Yonge Street, initiating over 100 years of continuous theatre and cinema operations at the property (Figure 5). The property's transition from a commercial retail space into an entertainment venue mirrors the changes that occurred on Yonge Street in the early 20th century. In its capacity as a theatre, the subject property contributed to the establishment of Yonge Street as a notable arts, culture, and entertainment district of Toronto. The property continued to function as a theatre under various names; chronologically, the building was called the Embassy, Astor, New Yorkers, Showcase, Festival, Panasonic, and the current CAA Theatre (Figures 9, 12).⁸ Throughout its one hundred years in theatre operations, the venue accommodated a full range of productions, including vaudeville performances, silent films, live theatre, and modern cinematic screenings.

iii. ARCHITECTURAL DESCRIPTION

The following section provides an architectural description and analysis related to the property which will establish the basis for determining design or physical value of Criteria 1, 2 or 3 according to O. Reg. 9/06 Criteria.

639 Yonge Street (c.1879)

The property at 639 Yonge Street comprises a 2-1/2-storey brick building designed in the Second Empire style (Figure 13). Dating to c.1879, the building features a rectangular plan, comprising a 2-1/2-storey front wing with a mansard roof, a 2-storey middle portion with a flat roof, and a 1-1/2-storey rear wing with a partial mansard roof. The flat roof sections on the middle and rear volumes both function as roof terraces. Due to its location at the corner of Yonge and Isabella streets, both the west and south elevations are visible from the street. The east elevation is visible from a laneway.

The building features brick construction, which has been covered with a stucco finish on the ground floor of the west and south elevations, as well as the east elevations of the middle volume and rear wing abutting the laneway. The remaining portions of the exterior walls where the brick masonry is visible have been fully painted. The storefront of the corner property addresses both Yonge and Isabella streets, featuring four arched openings on the west elevation and one arched opening on the south elevation (Figure 14). Above the ground floor storefront, the architectural details are typical of the Second Empire style. The property's principal (west) elevation fronting Yonge Street features three segmental-arched windows at the second floor, and two bell-shaped dormers within the mansard roof that are accented by wood trim details. The building's mansard roof is supported by a bracketed soffit with eaves, with a linear wood trim piece connecting the base of each carved wood bracket. The mansard roof is patterned slate, with a band of hexagonal slates between the regular square-cut slates.

The subject property's secondary principal (south) elevation fronting Isabella Street features many of the same architectural details as the west elevation, including three segmental arched windows on the second storey of the primary structure, three bell shaped dormers within the mansard roof that are accented by wood trim details, and

⁸ In the 1970s, the subject property was a location venue for the "Festival of Festivals" cinema event, which is the early iteration of the present-day Toronto International Film Festival (TIFF).

carved wood brackets supporting the soffit (Figures 15-16). The mansard roof features the same patterned slate design as the west elevation. A wide chimney located between the first and second bay from Yonge Street sits slightly proud of the exterior wall and projects above the mansard roof. The window sashes are not original; they have been replaced with rectangular metal units inset from the arched brick moulds and trim.⁹ The middle volume of the building features one segmental arched window opening on the second floor, in which a round arched window unit has been installed. Above, a guardrail lines the edge of the flat roof, used as a terrace. Aside from the single arched opening at the corner of the building that is part of the storefront, there are no window openings on the ground floor of the primary structure or middle volume of the property. The rear wing features two doors and a large rectangular window at ground level, with a wide rectangular dormer window in the slate mansard roof, which is truncated by a parapet on the east side. One small opening is present on the east wall abutting the laneway.

The building's primary structure has retained many of its original architectural details despite undergoing a series of alterations made since it was first constructed. Early Fire Insurance maps show the rear wing as a separate structure.¹⁰ Archival photography shows that both the middle volume and rear wing were originally 1-1/2-storey buildings with Second Empire detailing, including slate mansard roofs with wooden dormer windows and polychromatic brickwork (Figures 6-7). The middle portion of the property was altered by the early 1920s by removing the mansard roof and adding a full second storey. Additional alterations to the rear portion of property appear to date to 1938 (coinciding with the arrival of Reilly's Lock Corporation), to make it suitable for use as a garage.¹¹ Later permits show that by 1961, the dormer window and ground level openings on the rear wing had been substantially altered.

Renovation work in the 1970s divided the interior of the property into two business units, with the House of Lords hair salon occupying the north and rear portions of the building and the Commons House Restaurant occupying the south half of the main building along Isabella Street. As part of the scope of work, the ground floor was significantly altered, including the introduction of the stucco coating and arched openings on the west and south elevations (Figure 10). Further alterations to the rear wing were also made at this time.¹² Although the ground floor interior later reverted to having one commercial unit, no significant alterations to the exterior of the building have been made in the last four decades.

9 ERA, 2022.

10 An 1889 version of the Insurance map indicates the space between the middle wing and rear wing was infilled with a shed or similar structure.

11 There are also earlier records of alterations dating to 1928, however the drawings are illegible, so it is unclear what work was completed at this time (City of Toronto Building Records File No. A5379).

12 Minor alterations to the interior were also made by the end of the 1970s, to permit the expansion of the House of Lords salon to occupy the entire ground floor.

641 Yonge Street (1951)

The property at 641 Yonge Street comprises a 4-storey brick building designed in a Mid-century Modern style (Figure 17). Dating to 1951, the building features a rectangular plan with a flat roof.¹³ The west elevation fronts onto Yonge Street and aligns with the streetwall created by the adjacent properties. Due to its height in relation to the adjacent 2-1/2-storey property at 639 Yonge Street, some upper portions of the south elevation are visible from Yonge and Isabella Streets, and the rear (east) and partial north elevations are visible from a laneway to the east of the property.

The west elevation features buff brick cladding and is organized into three vertical bays of equal width. Each bay incorporates a large rectangular window at each level, resulting in a regular pattern of fenestration on the façade. Continuous stone lintels and sills above and below the window openings on the second, third, and fourth storeys emphasize the clean lines and horizontality that typify the Mid-century Modern style. Prior to 2022, the windows on the third and fourth floors featured a cluster of three vertically-oriented window units within the large openings, but these have been replaced with a single glazing unit.

Two versions of the ground floor storefront exist on drawings dating to 1949, including one that corresponds generally to the current configuration of a recessed entrance next to a display window positioned on a diagonal to the sidewalk along Yonge Street. The original storefront surround featured Vitrolite, which was subsequently replaced by tile cladding. After the departure of the Roberts Gallery from the building in 2019, the storefront was replaced with full height glazing units

The south and rear elevations are constructed of red brick with a common bond (Figures 15-16). The secondary elevations are organized in bays with standard-sized openings that are repeated on each storey and are otherwise unornamented.

645 Yonge Street (1887)

The property at 645 Yonge Street comprises a 3-storey brick building designed in an Italianate style (Figures 18-19). Dating to c.1887, the building features a rectangular plan with a flat roof. Archival photography indicates that the façade of this property was originally part of an integrated whole with the properties to both the north and south, before the former was altered in the early 20th century and the latter was reconstructed in 1951 (Figure 8). As a result, the west elevation of 645 Yonge Street reads as an asymmetrical composition organized into two bays, with each bay containing a tall and narrow segmentally-arched window on the second and third storeys. The bay on the north side of the building is slightly narrower and stands slightly proud of the south bay, which is truncated by a pilaster at the demising wall between the subject property and the adjacent property at 641 Yonge Street.

The building's west elevation displays extensive brick detailing. The windows on both upper storeys feature brick voussoirs with a band of dogtooth (also known as saw tooth)

¹³ Building records suggest that some structural elements of the original c.1870s building may remain, although due to the substantial additions and reconstruction of the façade, the building's date of construction is identified as 1951.

row lock bricks accenting the extrados of the arch. These are joined by a continuous band of dogtooth soldier bricks connecting the upper portion of the windows. These decorative elements are unified between slightly projecting bricks, which help to amplify the light and shadow effects created by the variation in the brick surfaces. The third-storey windows also feature a decorative brick apron with a projecting brick string course that gives the illusion of a continuous sill. Rows of dentilated and dogtooth bricks are also utilised to create a decorative frieze below a projecting metal cornice, which is supported by scroll-shaped brackets and corbelling atop the pilasters.¹⁴ All of the exterior masonry has been painted and the ground floor storefront has been significantly altered.

649 Yonge Street (1878, 1887, altered)

The property at 649 Yonge Street is a 3-storey buff brick building designed in a vernacular commercial style with restrained Italianate influences (Figure 20). Behind the west elevation fronting onto Yonge Street, the property comprises several volumes varying in heights of one to four storeys. Several sources, including early Fire Insurance Plans and current site conditions, suggest that two separate properties were combined behind a new façade in the early part of the 20th century.¹⁵

The west elevation has a symmetrical composition divided into five bays. Each bay has a vertically oriented window opening at both the second and third storey framed by decorative brickwork, including a decorative apron below the windows on the third storey. The brick parapet incorporates a continuous decorative band of dentilated rowlock bricks and corbeling, above which five blank recessed panels align with the windows below. The parapet is capped by copper flashing.

In the 1970s, the ground floor was divided into three commercial units, and the storefronts were significantly altered with new entrances added accordingly (Figure 21). The storefronts are unified by a shared wood sign band and decorative cornice with copper flashing spanning the full width of the property (partially concealed behind

14 A heritage condition assessment conducted in 2022 by ERA architects notes that the metal cornice does not appear to be original, but that the original profile may be concealed behind the visible sheet metal version.

15 Fire insurance plans with revisions post-1913 show 649 Yonge Street as a 2-1/2-storey building with mansard roof, while 647 Yonge Street is shown as a 3-storey building with a flat roof. Visual inspection of present-day site conditions conducted by ERA architects confirms the mansard roof is still present on the rear elevation of the building at 649 Yonge Street, while the brickwork on the rear elevation of the portion at 647 Yonge Street is integrated with the property at 645 Yonge Street. Furthermore, the properties at 645 and the portion at 647 Yonge Street share an internal stairwell, indicating their shared construction, while drawings show the floor levels of 647 and 649 Yonge Street as misaligned on the interior. The Heritage Register entry from 1974 speculates that the façade was constructed c.1910 by architecture firm Wickson & Gregg likely due to their similar work for Marmaduke Rawlinson (brother of Lionel) around this time. However, no evidence could be found to confirm this, and it does not align with the information shown on the fire insurance plans. Between 1910 and 1920 there is no change to the building value in the Assessment Rolls, but an archival photograph from 1935 shows the new façade had been constructed by this time.

signage).¹⁶ While Rawlinson's business occupied the entire building, the storefront featured large plate glass display windows flanking a centrally located entrance with an ornately carved wooden surround (Figures 9, 11). Archival images from the 1970s and 1980s show that this ornate carved wood entrance was converted into a display window, which may be concealed behind the current over-cladding (Figure 11). Similarly, the southern pilaster has the same carved wood detailing illustrated in the archival drawings and early photographs of the building and may date to this era.¹⁷

There is a 4-storey brick warehouse building on the rear portion of the north half of the property, fronting onto the laneway (Figure 22). This typology is acknowledged in the Historic Yonge Street Heritage Conservation District Plan (currently under appeal) as an attribute and an important part of the District's character. A brick building in this location appears on the Fire Insurance Map of 1880 as a 3-storey structure with a flat roof and was therefore likely constructed at the same time as the building at 649 Yonge Street, which first appears in the 1878 directory. It is not clear whether the extant 4-storey building is the original 3-storey building (with an addition), or whether that building was replaced with the current one. The 1889 Fire Insurance Map identifies it as a cabinet factory and stable, indicating a clear relationship to the front building occupied by Schomberg Furniture, and later Rawlinson Furniture.

The warehouse building is buff brick with polychrome voussoirs above the window openings on the east elevation. Some infill sections of brick suggest that there have been alterations to the openings over time and the exterior wall of the ground floor has been over-clad with stucco. It is connected by a 1-storey addition to the structure fronting Yonge Street.

651 Yonge Street (c.1887), over-clad

The property at 651 Yonge Street contains a theatre-typology building comprising a 2-1/2-storey elevation on Yonge Street with increased height and massing towards the rear of the property (Figure 23-25). The property is presently over-clad with a metal mesh that partially obscures the building's features. The property's principal (west) elevation fronting Yonge Street features a convex mansard roof in patterned slate, with a band of hexagonal slates between the plain square-cut slates (the slates have been painted). Within the mansard roof there is a pair of bell-shaped dormers with wood trim and a large gabled dormer with a pair of windows surmounted by arched trim. Although presently obscured by an advertising banner affixed to the perforated metal over-cladding, a curved brick parapet wall is visible on archival photography that divides the roof into two sections between the dormers. Supporting the roof are brackets and an angled soffit.

The portion of the building fronting Yonge Street is designed in the Second Empire style and first appears as an unfinished building in the City Directory for 1887. In 1912, architect Charles James Read prepared drawings to convert the existing building into a

¹⁶ Toronto Building Records File No. 32366 (1932).

¹⁷ Note the storefront infill for the northmost unit below the signband and cornice does not date to this time period although the materials and style appear similar.

theatre for the Canada Moving Picture Company, and the available records indicate that the interior and storefronts were altered at this time.¹⁸ Like many other main street theatres of this era, the building featured a centrally located box office and entrance flanked by retail storefronts to provide a steady source of rental income. The architectural detailing above the ground floor was retained, including the mansard roof, dormer windows, and round arch window openings, resulting in a unique Toronto example of a Second Empire style theatre.

In 1934, notable architectural firm Kaplan and Sprachman designed alterations to the interior and ground floor exterior, updating the marquee and entrance.¹⁹ Substantial alterations in 1949 (also by Kaplan and Sprachman) resulted in the replacement of the round arched windows on the second floor with rectangular windows and the application of stucco to the brick façade. The ground floor has subsequently been modified several times since the 1970s, and in 2004 a demolition permit was issued to allow the complete reconstruction of the building behind the front façade.

iv. CONTEXT

The following section provides contextual information and analysis related to the property which is the basis for determining contextual value of Criteria 7, 8 or 9 according to O. Reg. 9/06 Criteria.

The locations of the properties at 639-651 Yonge Street are shown on the map included as Figure 1 in Attachment 1 (Maps & Photographs) below. All five properties are situated on the east side of the street, in the block between Isabella Street and Charles Street East (Figures 26-27). A rear service laneway, Biscuit Lane, bisects the block and abuts a portion of the north property line of 651 Yonge Street. A narrow right of way located between 639-645 Yonge Street and the adjacent property at 10-12 Isabella Street, and another narrow lane between 10-12 Isabella Street and 14 Isabella Street both provide access to the rear of the subject properties.

The subject properties are contributing properties within the Historic Yonge Street Heritage Conservation District (HYHCD), which was enacted by City Council in 2016 and is currently under appeal. The HYHCD is a distinct mixed-use neighbourhood located in downtown Toronto that runs north-south around a portion of Yonge Street situated north of College Street and south of Bloor Street. It contains a cohesive grouping of mixed-use/commercial properties that were constructed on Toronto's emerging "Main Street" during a period of accelerated growth and investment during the late 1800s and early twentieth-century, which culminated in the opening of Canada's first subway line along Yonge Street in 1954. As a result, many surrounding mixed-use/commercial buildings on Yonge Street are recognized on the City of Toronto's Heritage Register and share a similar late-19th-century or mid-century modern architectural character.

18 City of Toronto Building File K-8 for 653 Yonge Street, 1912.

19 Although the drawings include the name "Victoria Theatre" on the marquee and canopy, City Directories indicate the theatre's name changed to the Embassy Theatre following the renovations.

The District also includes St. Nicholas Village, a historic residential area associated with Yonge Street, and portions of a historic network of service laneways. The historic laneways contribute to the District's character and are a valued element of its landscape for the support they provide to commercial operations along Yonge Street, and for their use as a pedestrian circulation network. Furthermore, the extant warehouses and commercial buildings fronting onto service laneways within the District are identified as a consistent part of the area's character and a District heritage attribute.

Yonge Street's main street character is generally typified by 3-storey heights, narrow building frontages, no setback from the street, flat or mansard roof profiles, brick construction with stone and wood detailing, storefronts at grade, and a variety of late-19th- and early 20th-century stylistic vocabularies, including Georgian, Italianate, Romanesque and Second Empire, Edwardian, and Mid-century Modern. The District's grouping of built heritage resources provides a distinct sense of place along a street that serves important civic and commercial functions in the city.

Nearby buildings designated under Part IV of the Ontario Heritage Act include the Masonic Hall, offices, and stores (1888) and adjoining Charles Levey Houses (1868) at Yonge and Gloucester streets, the Jared Sessions House (1859-60) at 34 Isabella Street, 10 St Mary Street (1957), the commercial buildings at 710-718 Yonge Street (c.1909), and the Robert Barron Building (1889 and 1902) at 720 Yonge Street, among others. The City of Toronto also issued a Notice of Intention to Designate for the property at 625 Yonge Street, the second store location of Canadian Tire, located on the southeast corner of Yonge and Isabella Streets in August 2022.

3. EVALUATION AND APPLICATION OF O.REG 9/06 CRITERIA

The following evaluation applies Ontario Regulation 9/06 made under the Act: Criteria for Determining Cultural Heritage Value or Interest. The criteria are prescribed for municipal designation under Part IV, Section 29 of the Act, and the City of Toronto is also required to use these criteria when assessing properties for inclusion on the City of Toronto's Heritage Register. There are a total of nine criteria under O. Reg 9/06. A property may be designated under Section 29 of the Act if it meets two or more of the provincial criteria for determining whether it is of cultural heritage value or interest.

The evaluation table is marked "N/A" if the criterion is "not applicable" to the property or "✓" if it is applicable to the property, with explanatory text below.

639 YONGE STREET

DESIGN OR PHYSICAL VALUE

The property has design value or physical value because it	
1. is a rare, unique, representative or early example of a style, type, expression, material or construction method.	✓
2. displays high degree of craftsmanship or artistic merit	N/A
3. demonstrates high degree of scientific or technical achievement	N/A

Is a rare, unique, representative or early example of a style, type, expression, material or construction method

Dating to c.1879, the property at 639 Yonge Street has design and physical value as a representative example of the Second Empire architectural style that was popular in many prominent commercial, public, and residential buildings in Toronto from 1860 to 1900. Although the ground floor is altered, the corner property features several details that are typical of the Second Empire style, including a slate mansard roof, segmental-arched windows, and bell-shaped dormers accented by wood trim details on both its street-facing elevations. The 2-1/2-storey property also has design and physical value for its typology as a representative example of a Main Street Commercial Row building constructed during a significant period of development along Yonge Street.

HISTORICAL OR ASSOCIATIVE VALUE

The property has historical value or associative value because it	
4. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community	✓
5. yields, or has the potential to yield, information that contributes to an understanding of a community or culture	N/A
6. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community	N/A

Direct association with a theme, event, belief, person, activity, organization or institution that is significant to a community

The property at 639 Yonge Street is significant for the retail activity which occurred here from 1924-31, being the first retail location and office for the Canadian Tire Corporation. Established in 1922 by brothers J.W. and A.J. Billes and incorporated in 1927 while occupying the premises at 639 Yonge Street, the business repaired tires, sold a variety of automotive supplies, and pumped gasoline from under a canopy on the south side of the building. Presently, the company is one of Canada's most recognizable retail chains and operates a network of over 1700 stores and gas bars across the country.

The property is also associated with the theme of Yonge Street's role as a focal point for Toronto's counterculture, pop culture, and music scene during the latter half of the 20th century as the premises of the House of Lords hair salon from the early 1970's through 2017. The House of Lords gained notoriety for catering to celebrities and rock stars such as David Bowie, Axl Rose, Rod Stewart and others. During this time, the House of Lords contributed to music, arts, and fashion culture not only through their hair styling services, but also by hosting record release parties, album launches, and live radio broadcasts at the salon.

CONTEXTUAL VALUE

The property has contextual value because it is	
7. important in defining, maintaining or supporting the character of an area.	✓
8. physically, functionally, visually or historically linked to its surroundings.	✓
9. a landmark.	N/A

Important in defining, maintaining or supporting the character of an area

Contextually, the property has cultural heritage value for maintaining and supporting the historic main street character of Yonge Street, south of Bloor Street. Situated on the east side of the block between Isabella Street and Charles Street East, the subject property's scale, form and massing contribute to the low-rise streetwall condition found on this portion of Yonge Street and are consistent with the rhythm produced by fine-grained storefronts along the streetscape. The building's Second Empire style is one of several predominant architectural styles in the area.

Physically, functionally, visually or historically linked to its surroundings

The property at 639 Yonge Street (including 2 and 4 Isabella Street) is functionally, visually and physically linked to Yonge Street, Toronto's "Main Street", as a commercial building housing the services, amenities, and employment opportunities necessary to support daily life in neighbouring residential areas. The property is also historically linked to the metamorphosis of Yonge Street into Toronto's main commercial corridor.

641 YONGE STREET

DESIGN OR PHYSICAL VALUE

The property has design value or physical value because it	
1. is a rare, unique, representative or early example of a style, type, expression, material or construction method.	✓
2. displays high degree of craftsmanship or artistic merit	N/A
3. demonstrates high degree of scientific or technical achievement	N/A

Is a rare, unique, representative or early example of a style, type, expression, material or construction method

Constructed in 1951, the property at 641 Yonge Street has design and physical value as a representative example of the Mid-century Modern style, which is typified by the clean lines and emphasis on horizontality exhibited by the composition of the west elevation. The property retains its original scale, form, and massing as a 4-storey brick building organized into three vertical bays of equal width. The Mid-century Modern style is one of several styles associated with the period of development that established Yonge Street's commercial main street character.

HISTORICAL OR ASSOCIATIVE VALUE

The property has historical value or associative value because it	
4. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community	✓
5. yields, or has the potential to yield, information that contributes to an understanding of a community or culture	N/A
6. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community	N/A

Direct association with a theme, event, belief, person, activity, organization or institution that is significant to a community

The subject property is valued for being the location of the Roberts Gallery for over a half century (1961-2019), a notable institution for the Fine Arts in Canada. The Roberts Gallery, whose origins can be traced back to 1842, began to exclusively feature Canadian artists in the late 1940s, and while located at the subject property they played a major role in introducing modern styles of art and its practitioners to the Canadian public. As a venue for local arts and culture, the Roberts Gallery is also associated with the broader theme of Yonge Street's role in helping to foster and promote an independent Canadian music, arts, and literary scene during the latter half of the 20th century.

CONTEXTUAL VALUE

The property has contextual value because it is	
7. important in defining, maintaining or supporting the character of an area.	✓
8. physically, functionally, visually or historically linked to its surroundings.	✓
9. a landmark.	N/A

Important in defining, maintaining or supporting the character of an area

Contextually, the property has cultural heritage value for maintaining and supporting the historic main street character of Yonge Street, south of Bloor Street. Situated on the east side of the block between Isabella Street and Charles Street East, the subject property's scale, form and massing contribute to the low-rise streetwall condition found on this portion of Yonge Street. The design of the property is consistent with the rhythm produced by fine-grained storefronts along the streetscape, and the building's Mid-century Modern style is one of several architectural styles that characterize the area.

Physically, functionally, visually or historically linked to its surroundings

The property at 641 Yonge Street (including 643 Yonge Street) is functionally, visually and physically linked to Yonge Street, Toronto's "Main Street", as a commercial building housing the services, amenities, and employment opportunities necessary to support daily life in neighbouring residential areas. As both a commercial building and former art gallery providing cultural pursuits for the entire city, the property is also historically linked to the metamorphosis of Yonge Street into Toronto's main commercial corridor.

645 YONGE STREET

DESIGN OR PHYSICAL VALUE

The property has design value or physical value because it	
1. is a rare, unique, representative or early example of a style, type, expression, material or construction method.	✓
2. displays high degree of craftsmanship or artistic merit	N/A
3. demonstrates high degree of scientific or technical achievement	N/A

Is a rare, unique, representative or early example of a style, type, expression, material or construction method

The property at 645 Yonge Street has design and physical value as a representative example of the Italianate style, which is evident in its extensive brick detailing and prominent cornice supported by brackets. The 3-storey property also has design and physical value as a representative example of a Main Street Commercial Row building constructed during a significant period of development along Yonge Street.

HISTORICAL OR ASSOCIATIVE VALUE

The property has historical value or associative value because it	
4. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community	N/A
5. yields, or has the potential to yield, information that contributes to an understanding of a community or culture	N/A
6. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community	N/A

CONTEXTUAL VALUE

The property has contextual value because it is	
7. important in defining, maintaining or supporting the character of an area.	✓
8. physically, functionally, visually or historically linked to its surroundings.	✓
9. a landmark.	N/A

Important in defining, maintaining or supporting the character of an area

Contextually, the property has cultural heritage value for maintaining and supporting the historic main street character of Yonge Street, south of Bloor Street. Situated on the east side of the block between Isabella Street and Charles Street East, the subject property's scale, form and massing contribute to the low-rise streetwall condition found on this portion of Yonge Street. The design of the property is consistent with the rhythm produced by fine-grained storefronts along the streetscape, and the building's Italianate style is one of several predominant architectural styles in the area.

Physically, functionally, visually or historically linked to its surroundings

The property at 645 Yonge Street is functionally, visually and physically linked to Yonge Street, Toronto's "Main Street", as a commercial building housing the services, amenities, and employment opportunities necessary to support daily life in neighbouring residential areas. As a mixed-use building, the property is also historically linked to the metamorphosis of Yonge Street into Toronto's main commercial corridor.

649 YONGE STREET

DESIGN OR PHYSICAL VALUE

The property has design value or physical value because it	
1. is a rare, unique, representative or early example of a style, type, expression, material or construction method.	✓
2. displays high degree of craftsmanship or artistic merit	N/A
3. demonstrates high degree of scientific or technical achievement	N/A

Is a rare, unique, representative or early example of a style, type, expression, material or construction method

The property at 649 Yonge Street (including entrance addresses 647 Yonge Street, 12A Isabella Street) has design and physical value as a representative example of a Main Street Commercial Row building constructed during a significant period of development along Yonge Street. The unique design of the 3-storey building dates to the early-20th century and displays restrained Italianate influences, while skillfully integrating two earlier structures with different heights and floor levels behind a unified façade.

HISTORICAL OR ASSOCIATIVE VALUE

The property has historical value or associative value because it	
4. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community	✓
5. yields, or has the potential to yield, information that contributes to an understanding of a community or culture	N/A
6. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community	✓

Direct association with a theme, event, belief, person, activity, organization or institution that is significant to a community

The subject property is valued for its association to Lionel Rawlinson, a prominent Toronto cabinet maker and furniture dealer in the late-19th and early-20th centuries. Rawlinson Furniture operated out of the location at 649 Yonge Street for just over 75 years, taking over the property from another cabinetmaker, Henry Schomberg. Together, the two businesses contributed to nearly a century of furniture making activity on the site. Lionel Rawlinson was significant to the Yonge Street area as the owner of other properties nearby, including a larger warehouse at 18 Gloucester Lane.

CONTEXTUAL VALUE

The property has contextual value because it is	
7. important in defining, maintaining or supporting the character of an area.	✓
8. physically, functionally, visually or historically linked to its surroundings.	✓
9. a landmark.	N/A

Important in defining, maintaining or supporting the character of an area

Contextually, the property has cultural heritage value for maintaining and supporting the historic main street character of Yonge Street, south of Bloor Street. Situated on the east side of the block between Isabella Street and Charles Street East, the subject property's scale, form and massing contribute to the low-rise streetwall condition found on this portion of Yonge Street. The building's fenestration pattern and materiality are shared by many other buildings in the area, which all date to the late-19th and early-20th century.

Physically, functionally, visually or historically linked to its surroundings

The property at 649 Yonge Street (including 647 Yonge Street and 12A Isabella Street) Yonge Street is functionally, visually and physically linked to Yonge Street, Toronto's "Main Street", as a commercial building housing the services, amenities, and employment opportunities necessary to support daily life in neighbouring residential areas. As a commercial property associated with a prominent local business, the property is also historically linked to the metamorphosis of Yonge Street into Toronto's main commercial corridor.

651 YONGE STREET

DESIGN OR PHYSICAL VALUE

The property has design value or physical value because it	
1. is a rare, unique, representative or early example of a style, type, expression, material or construction method.	✓
2. displays high degree of craftsmanship or artistic merit	N/A
3. demonstrates high degree of scientific or technical achievement	N/A

Is a rare, unique, representative or early example of a style, type, expression, material or construction method

The property at 651 Yonge Street has design and physical value as a unique example of a mixed-use commercial building designed in the Second Empire style that has been converted into a theatre. The use of the Second Empire style is evident in its slate mansard roof with convex slope, large gabled dormer, and arched dormer windows (the building is presently over-clad), which date to 1887. The building was converted into a theatre in the early 20th century and its massing, which comprises a 2-1/2-storey elevation on Yonge Street with increased height and volume towards the rear, reflects this typology.

HISTORICAL OR ASSOCIATIVE VALUE

The property has historical value or associative value because it	
4. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community	✓
5. yields, or has the potential to yield, information that contributes to an understanding of a community or culture	N/A

6. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community	N/A
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Has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community

The subject property is valued for its association with and contribution to the establishment of Yonge Street as a prominent arts, culture, and entertainment district in Toronto. The property has been the site of continuous theatre use for over 100 years (1914 to present) and has accommodated a full range of productions, including vaudeville performances, silent films, live theatre, and modern cinematic screenings. In the 1970s, as the New Yorker Theatre, the subject property was also a designated location venue for the "Festival of Festivals" cinema event, which was the early iteration of the present-day Toronto International Film Festival (TIFF).

CONTEXTUAL VALUE

The property has contextual value because it is	
7. important in defining, maintaining or supporting the character of an area.	✓
8. physically, functionally, visually or historically linked to its surroundings.	✓
9. a landmark.	N/A

Important in defining, maintaining or supporting the character of an area

Situated on the east side of Yonge Street in the block between Isabella Street and Charles Street East, the subject property maintains and supports the historic commercial main street character along this portion of Yonge Street, which is characterized by a low-scale continuous streetwall condition. While presently over-clad, the building's west elevation retains architectural features in the Second Empire style, one of several predominant architectural styles in the area.

Physically, functionally, visually or historically linked to its surroundings

Contextually, the property at 651 Yonge Street (including 653 Yonge Street) is functionally, visually and physically linked to Yonge Street, Toronto's "Main Street", as a commercial building housing the services, amenities, and employment opportunities necessary to support daily life in neighbouring residential areas. Through its long-term use as a theatre, the property was one of a collection of entertainment, arts, and culture venues that were established along Yonge Street and is therefore functionally and historically linked to the metamorphosis of Yonge Street into Toronto's main commercial corridor.

CONCLUSION

The properties at 639, 641, 645, 649 and 651 Yonge Street comprise a row of commercial main street properties constructed between c.1878 and 1951. Individually, the buildings are all representative examples of their specific architectural style including Second Empire, Italianate, and Mid-century Modern. Together, the subject properties contribute to the historic main street character and streetscape of this portion of Yonge Street, which is typified in part by a consistent low-rise scale, and a rhythm of narrow storefronts.

Staff have completed the Research and Evaluation Report for the properties at 639, 641, 645, 649 and 651 Yonge Street and determined that all of the properties meet at least 2 out of 9 criteria in Ontario Regulation 9/06, the criteria prescribed for municipal designation under Part IV, Section 29 of the Act. As such, the properties should be designated.

The Statements of Significance (Attachments 3-7), comprise the Reasons for Designation, which is the Public Notice of Intention to Designate.

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ATTACHMENTS

Attachment 1 – Maps and Photographs
Attachment 2 – List of Research Sources
Attachment 3 – Statement of Significance (Reasons for Designation) - 639 Yonge Street
Attachment 4 – Statement of Significance (Reasons for Designation) - 641 Yonge Street
Attachment 5 – Statement of Significance (Reasons for Designation) - 645 Yonge Street
Attachment 6 – Statement of Significance (Reasons for Designation) - 649 Yonge Street
Attachment 7 – Statement of Significance (Reasons for Designation) - 651 Yonge Street

**MAPS AND PHOTOGRAPHS:
639, 641, 645, 649 & 651 YONGE STREET**

ATTACHMENT 1

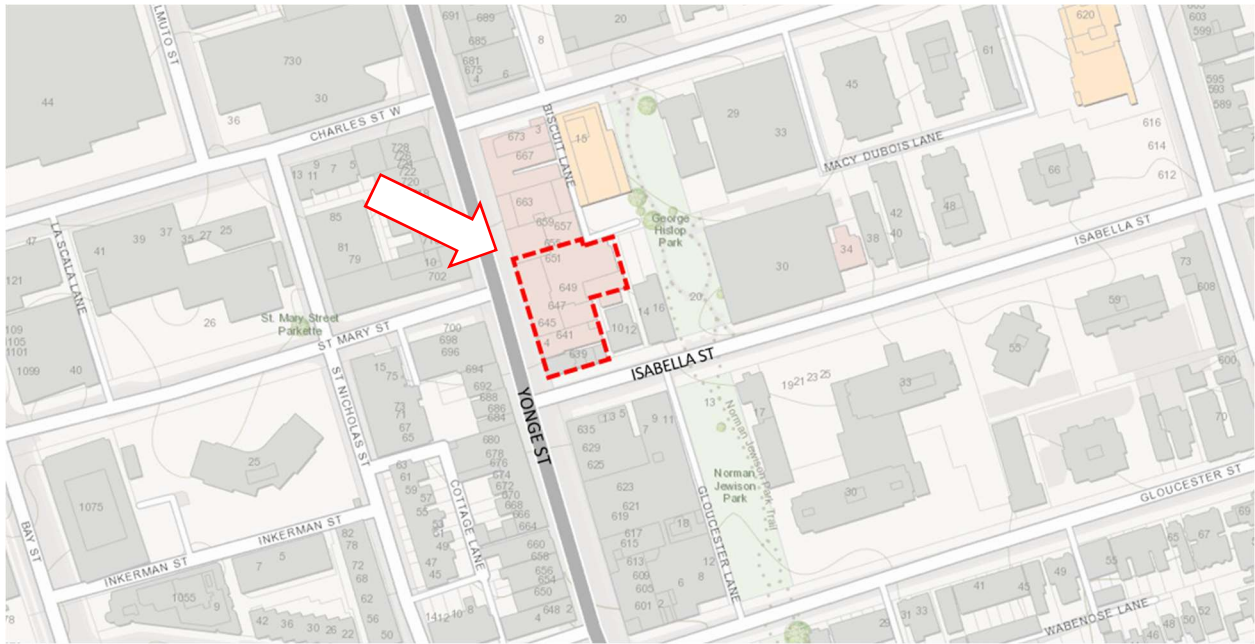


Figure 1: Map showing the location of the subject properties outlined in red at 639-653 Yonge Street on the east side of Yonge Street between Isabella Street and Charles Street East. This location map is for information purposes only; the exact boundaries of the properties are not shown (City of Toronto Mapping).



Figure 2. Aerial View (base image 2018) showing the location of the properties on the northeast corner of Yonge and Isabella streets. The approximate boundary of the properties is outlined in red (City of Toronto Mapping).

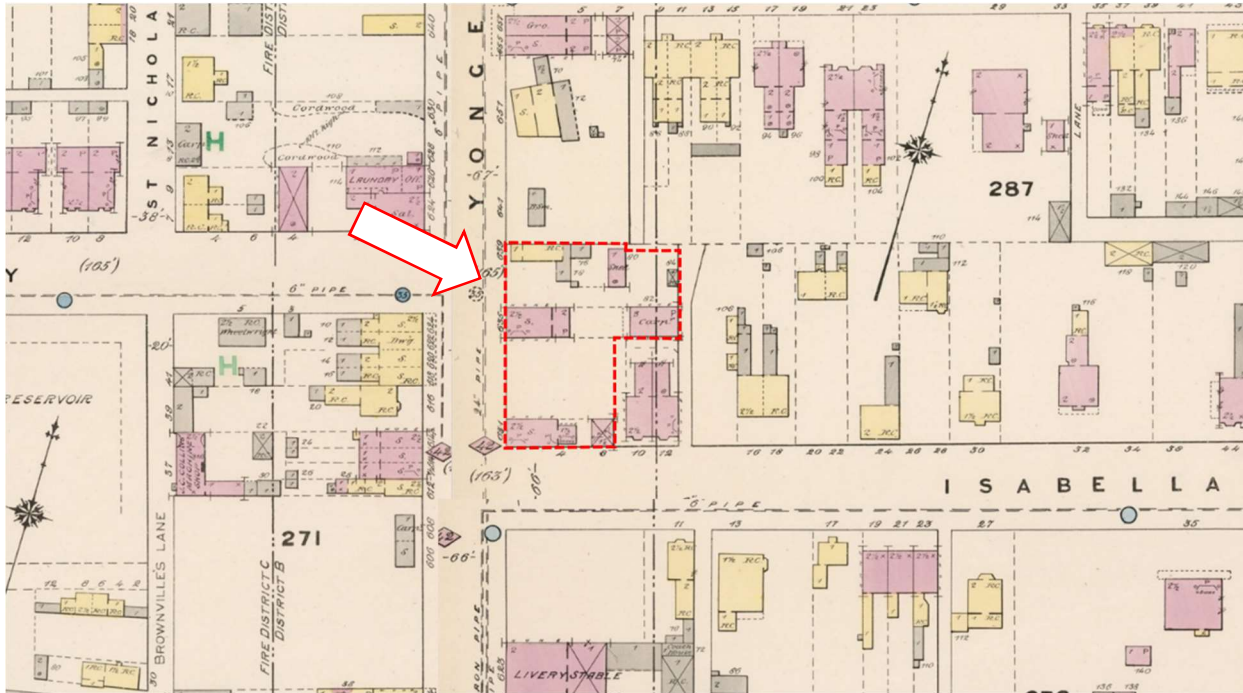


Figure 3. Excerpt from 1880 Fire Insurance Plan, Plates 50-53. The buildings at 639 and 649 Yonge Street (including the rear building) are illustrated on the map. The approximate boundary of the properties is outlined in red (Ng).

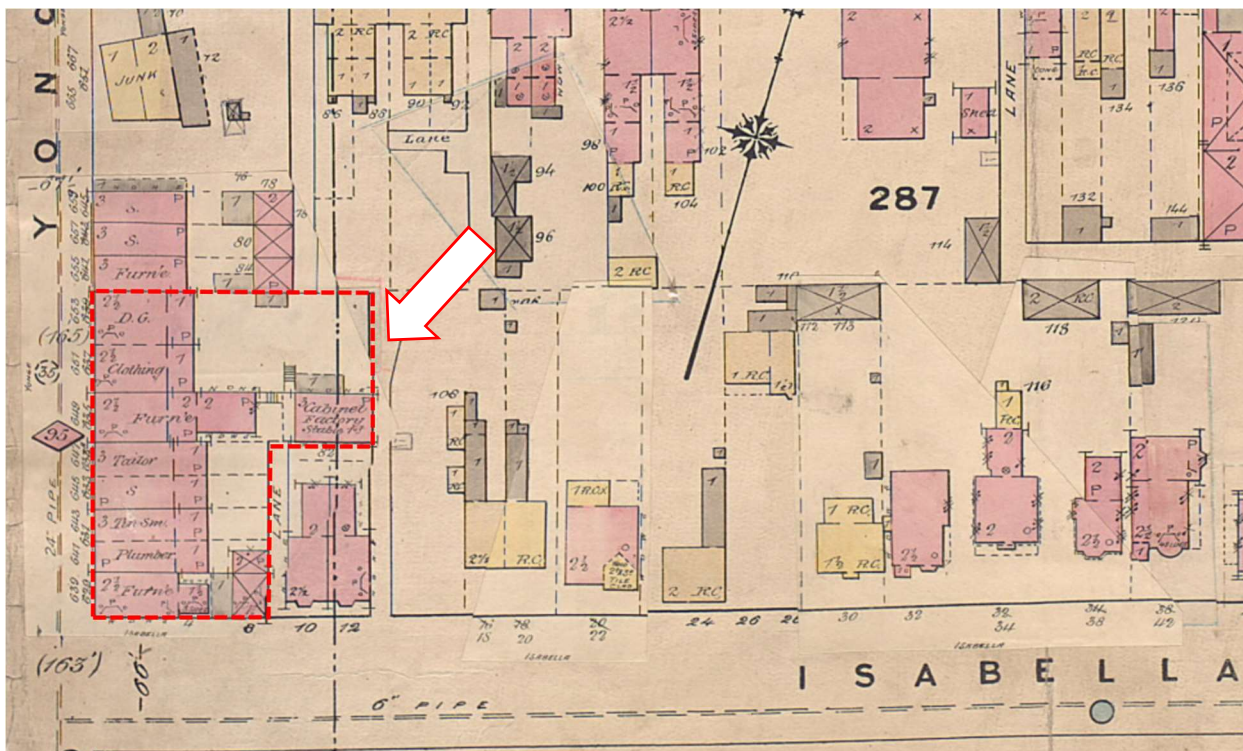


Figure 4. Excerpt from 1889 Fire Insurance Plan, Plate 53. The buildings at 639-651 Yonge Street are illustrated on the map, including the row of 4 properties at 641-647 Yonge Street. The approximate boundary of the properties is outlined in red (Ng).

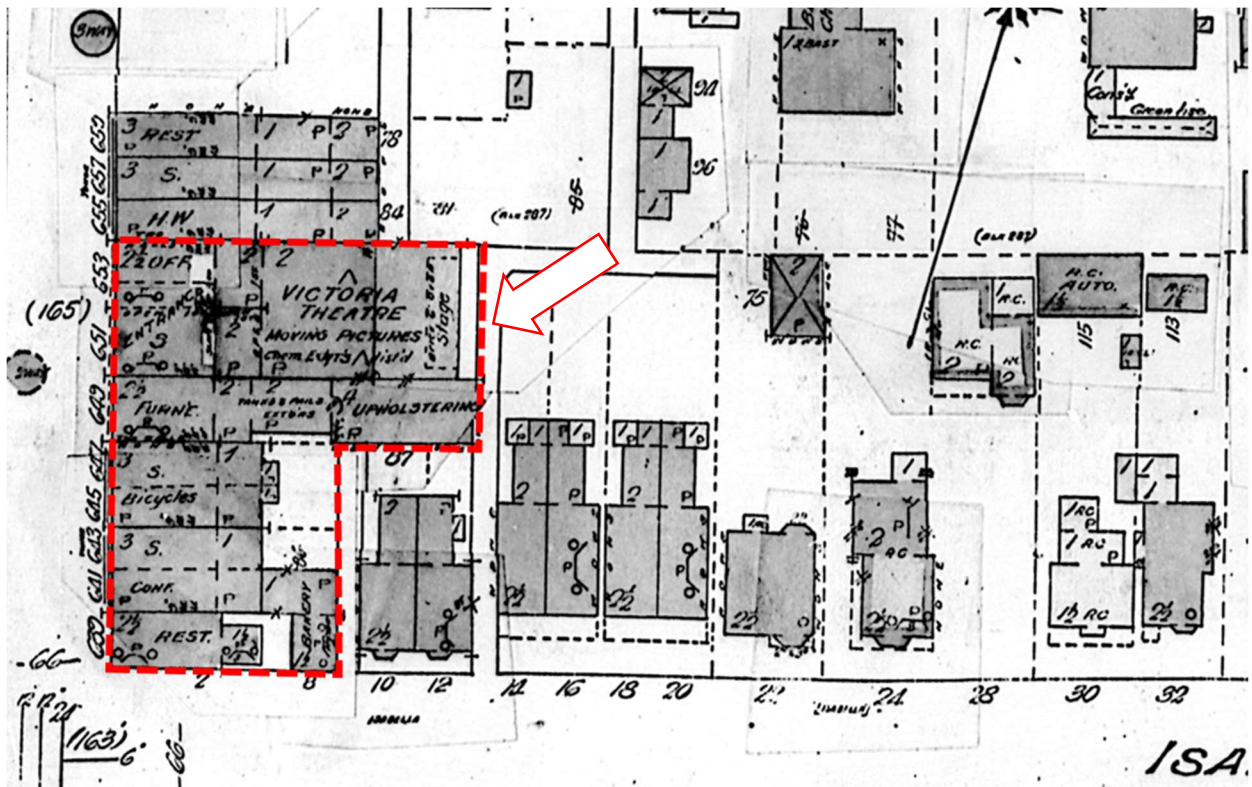


Figure 5. Excerpt from a 1909 Fire Insurance Plan, with revisions post-1913, indicating the infill between the front and rear portions of 649 Yonge Street. 651-653 Yonge Street have been converted to the Victoria Theatre. The approximate boundary of the properties is outlined in red (City of Toronto Archives).



Figure 6. Archival photograph from 1915, showing 639 Yonge Street visible on the right. At the time, the commercial tenant was the City Dairy Co. (City of Toronto Archives).



Figure 7. Image showing the property as it may have looked during the 6 years (1924-1931) that Canadian Tire was the occupant (Canadian Tire Corporation).



Figure 8. Archival photograph from 1948 showing the east side of Yonge Street, north of Isabella Street. Reilly's Lock Corporation was the tenant of 639 Yonge Street for over 30 years. The extant building at 641 Yonge Street had not yet been built (City of Toronto Archives).



Figure 9. Archival photograph from c.1950, showing the entrance to the Astor Theatre at 651-653 Yonge Street flanked by two storefront units. Lionel Rawlinson's name appears on the fascia for 649 Yonge Street with a portion of the carved wood entrance visible (City of Toronto Archives).



Figure 10. Archival photograph from 1974, showing the House of Lords and the Commons House Restaurant at 639 Yonge Street. The Mid-century Modern style building at 1951 building at 641-643 Yonge Street is also shown (Toronto Historical Board).



City of Toronto Archives, Series 1465, File 610, Item 6

Figure 11. Archival photograph from c.1989 showing 639-651 Yonge Street (City of Toronto Archives).



City of Toronto Archives, Series 1465, File 610, Item 12

Figure 12. Archival photograph from c.1989 showing the Second Empire detailing on 651 Yonge Street prior to being over-clad (City of Toronto Archives).

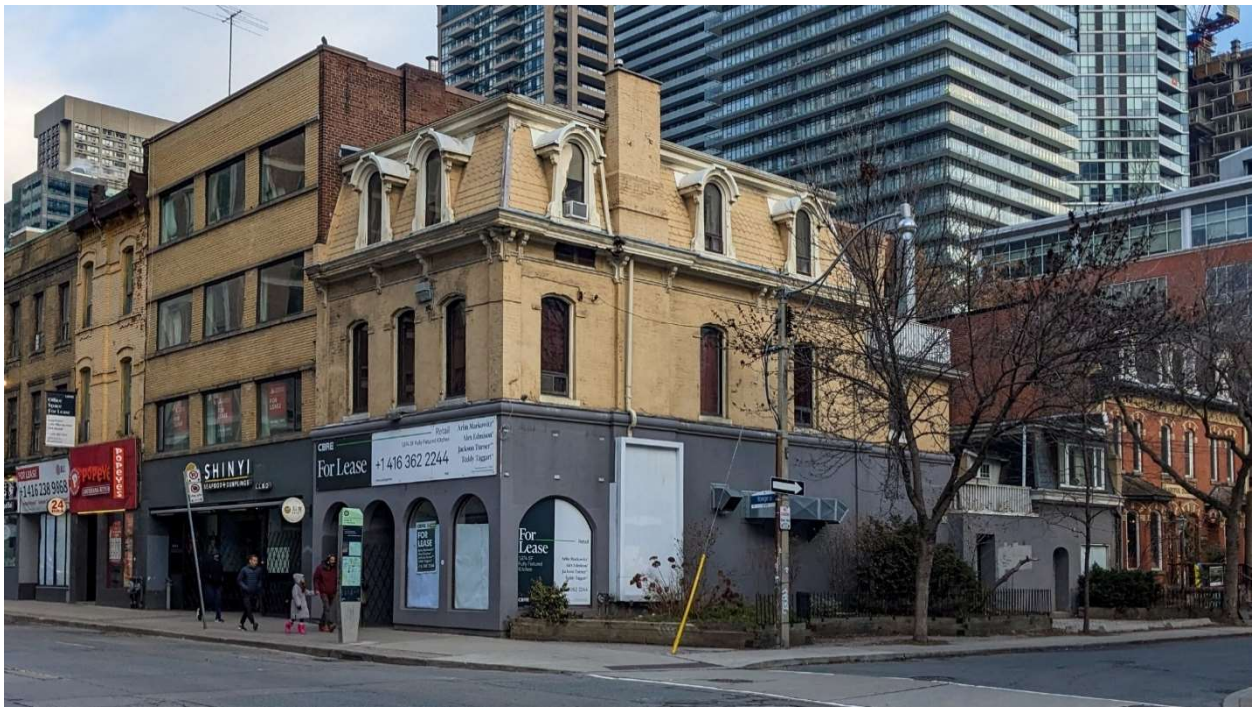


Figure 13. West and south elevations of 639 Yonge Street (Heritage Planning, 2022).

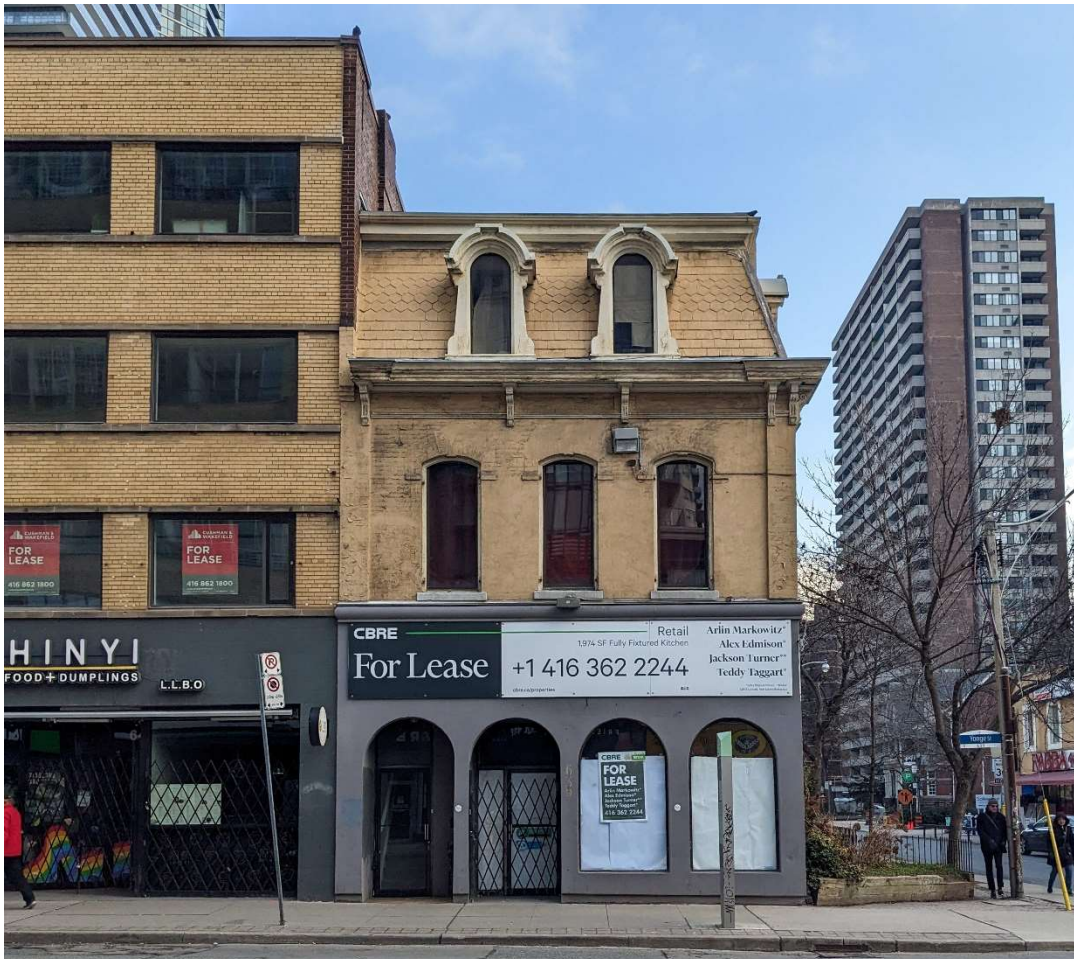


Figure 14. West elevation of 639 Yonge Street (Heritage Planning, 2022).



Figure 15. Partial south elevation of 639 Yonge Street, showing the primary structure and middle volume. A partial south elevation of 641 Yonge Street is visible beyond (Heritage Planning, 2022).



Figure 16. Partial south elevation of 639 Yonge Street, showing the middle and rear volumes. A partial south elevation of 641 Yonge Street is visible beyond (Heritage Planning, 2022).



Figure 17. West elevation of 641 Yonge Street (Heritage Planning, 2022).

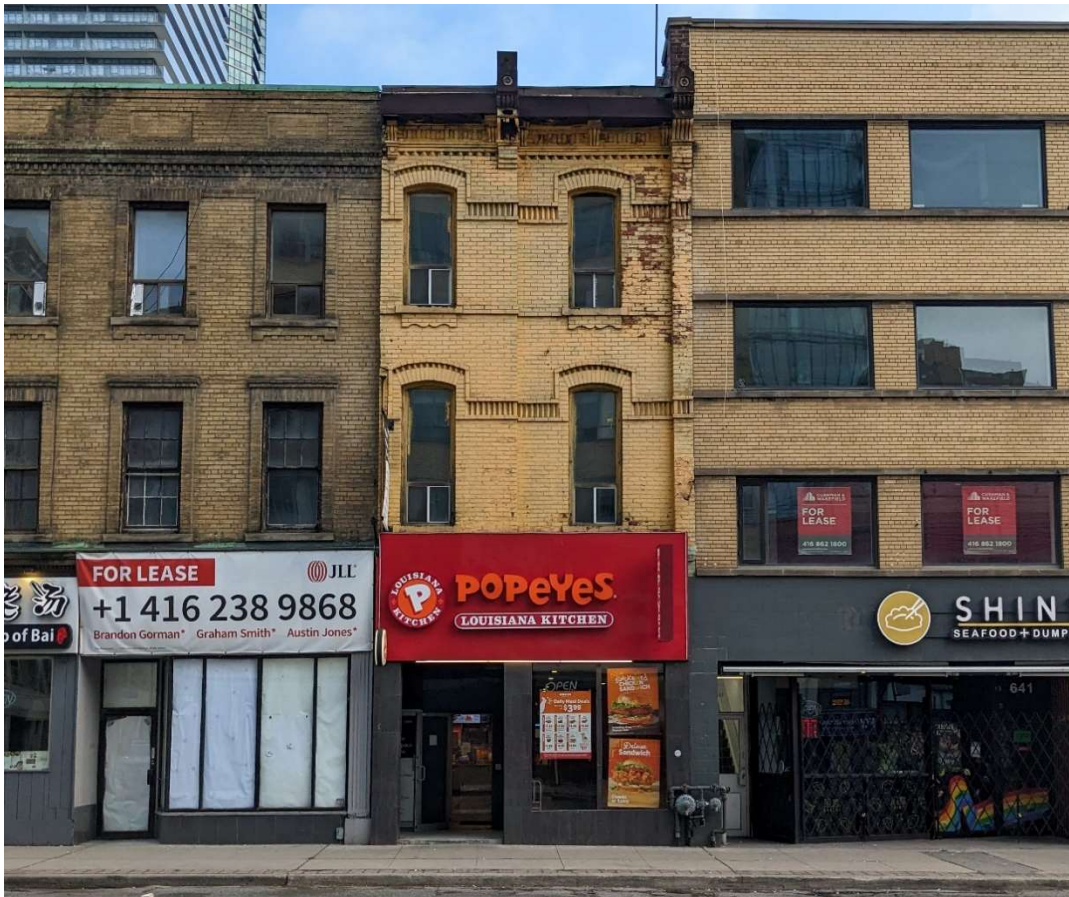


Figure 18. West elevation of 645 Yonge Street (Heritage Planning, 2022).



Figure 19. Rear (east) elevation of 645 and 649 Yonge Street. The portion of 649 Yonge Street that was historically 647 Yonge Street shares an exterior wall assembly with 645 Yonge Street, one of several indications that the buildings were constructed as a group (Heritage Planning, 2022).



Figure 20. West elevation of 649 Yonge Street (Heritage Planning, 2022).



Figure 21. Detail of storefronts, west elevation of 649 Yonge Street (Heritage Planning, 2022).



Figure 22. East elevation of the rear warehouse building on 649 Yonge Street (Heritage Planning, 2022).

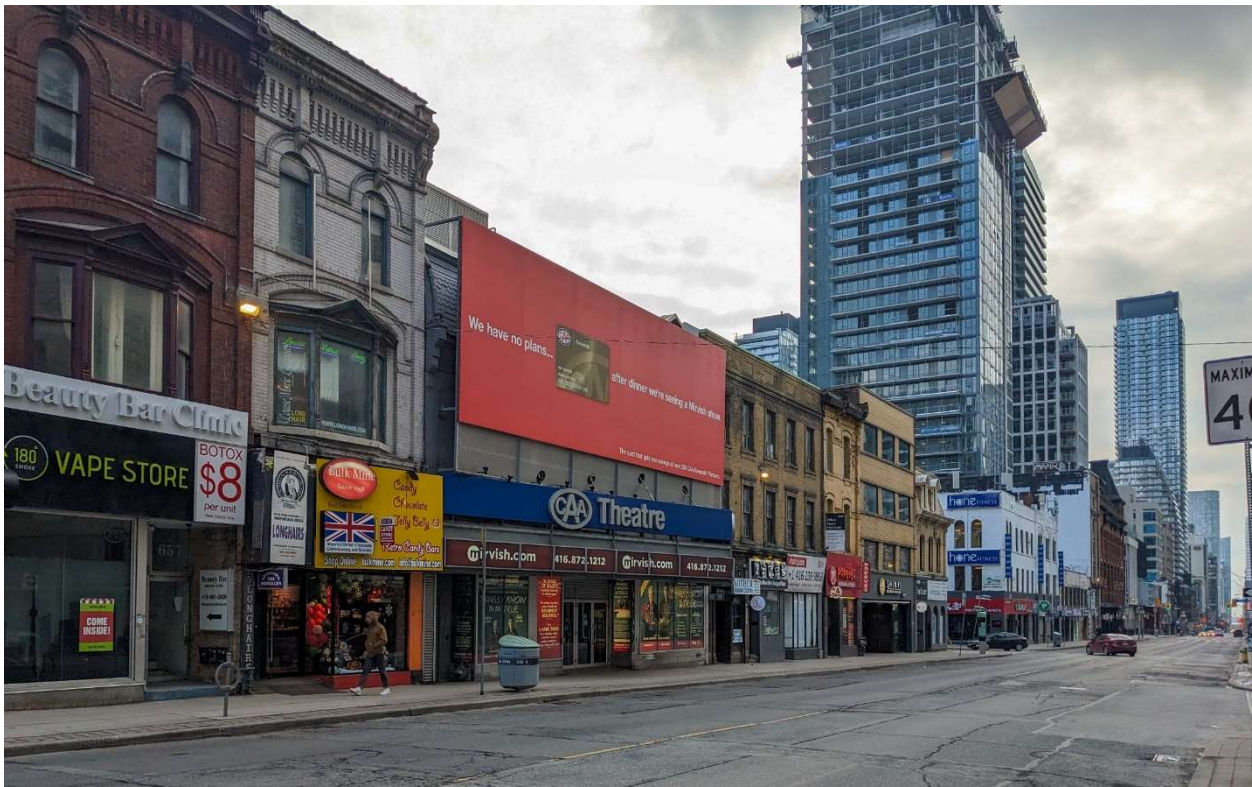


Figure 26. View of 639-651 Yonge Street looking southeast along Yonge Street (Heritage Planning, 2022).

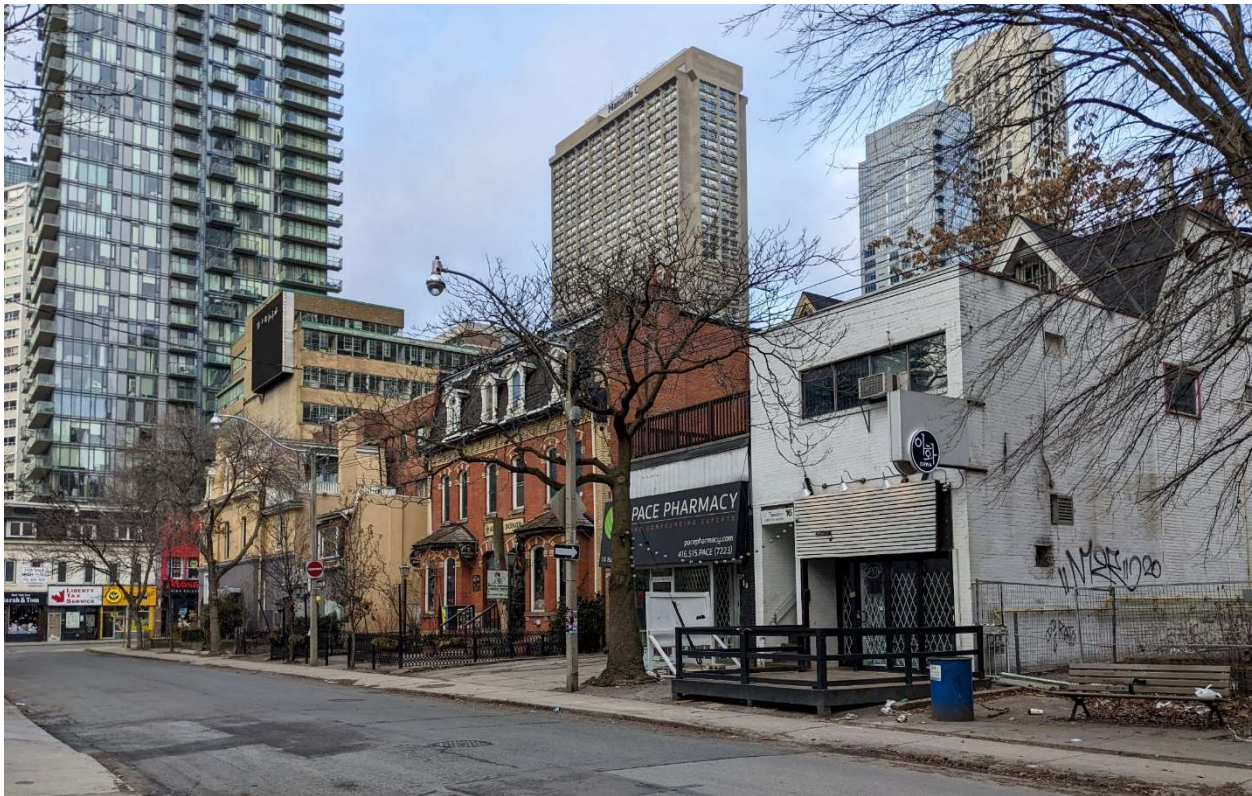


Figure 27. View of 639 Yonge Street looking west along Isabella Street (Heritage Planning, 2022).

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639 YONGE STREET
STATEMENT OF SIGNIFICANCE
(REASONS FOR DESIGNATION)

ATTACHMENT 3

The property at 639 Yonge Street is worthy of designation under Part IV, Section 29 of the Ontario Heritage Act for its cultural heritage value, and meets Ontario Regulation 9/06, the provincial criteria prescribed for municipal designation, under the categories of design/physical value, historical/associative value and contextual value.

Description

The property at 639 Yonge Street (including entrance addresses at 2 and 4 Isabella Street) is located on the northeast corner of Yonge Street and Isabella Street and contains a mixed-use brick building constructed in 1879. It retains its original scale, form, and massing as a two-and-a-half storey building designed in the Second Empire style. The property is part of a cohesive grouping of built heritage resources that provide a distinct sense of place and represent Toronto's 1860s-1950s architecture, a period when Yonge Street's commercial main street character was established and flourished.

The property was listed on the City of Toronto Inventory of Heritage Properties (now known as the Heritage Register) on March 15, 1974 and is identified as a contributing property in the Historic Yonge Street Heritage Conservation District, adopted by City Council in 2016, and currently under appeal.

Statement of Cultural Heritage Value

Dating to c.1879, the property at 639 Yonge Street has design and physical value as a representative example of the Second Empire architectural style that was popular in many prominent commercial, public, and residential buildings in Toronto from 1860 to 1900. Although the ground floor is altered, the corner property features several details that are typical of the Second Empire style, including a slate mansard roof, segmental-arched windows, and bell-shaped dormers accented by wood trim details on both its street-facing elevations. The 2-1/2-storey property also has design and physical value for its typology as a representative example of a Main Street Commercial Row building constructed during a significant period of development along Yonge Street.

The property at 639 Yonge Street is significant for the retail activity which occurred here from 1924-31, being the first retail location and office for the Canadian Tire Corporation. Established in 1922 by brothers J.W. and A.J. Billes and incorporated in 1927 while occupying the premises at 639 Yonge Street, the business repaired tires, sold a variety of automotive supplies, and pumped gasoline from under a canopy on the south side of the building. Presently, the company is one of Canada's most recognizable retail chains and operates a network of over 1700 stores and gas bars across the country.

The property is also associated with the theme of Yonge Street's role as a focal point for Toronto's counterculture, pop culture, and music scene during the latter half of the 20th century as the premises of the House of Lords hair salon from the early 1970's through 2017. The House of Lords gained notoriety for catering to celebrities and rock stars

such as David Bowie, Axl Rose, Rod Stewart and others. During this time, the House of Lords contributed to music, arts, and fashion culture not only through their hair styling services, but also by hosting record release parties, album launches, and live radio broadcasts at the salon.

Contextually, the property has cultural heritage value for maintaining and supporting the historic main street character of Yonge Street, south of Bloor Street. Situated on the east side of the block between Isabella Street and Charles Street East, the subject property's scale, form and massing contribute to the low-rise streetwall condition found on this portion of Yonge Street and are consistent with the rhythm produced by fine-grained storefronts along the streetscape. The building's Second Empire style is one of several predominant architectural styles in the area.

The property at 639 Yonge Street (including 2 and 4 Isabella Street) is functionally, visually and physically linked to Yonge Street, Toronto's "Main Street", as a commercial building housing the services, amenities, and employment opportunities necessary to support daily life in neighbouring residential areas. The property is also historically linked to the metamorphosis of Yonge Street into Toronto's main commercial corridor.

Heritage Attributes

Design and Physical Value

The following heritage attributes contribute to the cultural heritage value of the property at 639 Yonge Street as a representative example of a Main Street Commercial Row building designed in the Second Empire style:

- The placement, setback and orientation of the building on the northeast corner of Yonge and Isabella streets
- The scale, form and massing of the property as a 2-1/2-storey building with a rectangular-shaped plan
- The property's material palette, consisting of brick with wood detailing (the brick has been painted)
- The 3-sided mansard roof with patterned slate tile supported by a decorated soffit, eaves, and cornice featuring ornamental brackets on the west, south, and east elevations (some slates on the east slope of the roof have been replaced with asphalt shingles)
- The brick chimney that projects from the exterior wall and roof slope of the south elevation
- The architectural details on the west and south elevations that are representative of the Second Empire style, including:
 - The bell-shaped dormers with carved wood trim on the mansard roof
 - The segmental-arched windows on the second floor
- The increased proportion of glazing of the ground floor storefront compared to the upper stories
- Entrances providing at-grade access from the street to the ground floor and upper floors of the building

Contextual Value

The following heritage attributes contribute to the cultural heritage value of the property at 639 Yonge Street as supporting and maintaining the character of this portion of Yonge Street, and as being historically, functionally, and visually linked to its surroundings:

- The placement, setback and orientation of the building on the northeast corner of Yonge and Isabella streets
- The scale of the building, which is consistent with the 2-4 storey streetwall height and rhythm of narrow storefronts along this portion of Yonge Street
- The recessed entrance doorways, which are consistent with the storefronts along this portion of Yonge Street
- The materials of the building's façade, which are consistent with the brick, stone, and wood detailing found along this portion of Yonge Street
- The higher percentage of glazing on the ground floor façade along Yonge Street relative to upper floors, which serves the purpose of indicating retail use at-grade that can be accessed directly from Yonge Street and residential and/or commercial uses in upper floors

641 YONGE STREET
STATEMENT OF SIGNIFICANCE
(REASONS FOR DESIGNATION)

ATTACHMENT 4

The property at 641 Yonge Street is worthy of designation under Part IV, Section 29 of the Ontario Heritage Act for its cultural heritage value, and meets Ontario Regulation 9/06, the provincial criteria prescribed for municipal designation, under the categories of design/physical value, historical/associative value and contextual value.

Description

The property at 641 Yonge Street (including structure address of 641-643 Yonge Street) is located on the east side of Yonge Street, in the block between Isabella Street and Charles Street East. It contains a mixed-use brick building constructed in 1951, which retains its original scale, form, and massing as a 4-storey building designed in a Mid-century Modern architectural style. This property is part of a cohesive grouping of built heritage resources that provide a distinct sense of place and represent Toronto's 1860s-1950s architecture, a period when Yonge Street's commercial main street character was established and flourished.

The property was listed on the City of Toronto Heritage Register on March 10, 2016 and is identified as a contributing property in the Historic Yonge Street Heritage Conservation District, adopted by City Council in 2016 and currently under appeal.

Statement of Cultural Heritage Value

Constructed in 1951, the property at 641 Yonge Street has design and physical value as a representative example of the Mid-century Modern style, which is typified by the clean lines and emphasis on horizontality exhibited by the composition of the west elevation. The property retains its original scale, form, and massing as a 4-storey brick building organized into three vertical bays of equal width. The Mid-century Modern style is one of several styles associated with the period of development that established Yonge Street's commercial main street character.

The subject property is valued for being the location of the Roberts Gallery for over a half century (1961-2019), a notable institution for the Fine Arts in Canada. The Roberts Gallery, whose origins can be traced back to 1842, began to exclusively feature Canadian artists in the late 1940s, and while located at the subject property they played a major role in introducing modern styles of art and its practitioners to the Canadian public. As a venue for local arts and culture, the Roberts Gallery is also associated with the broader theme of Yonge Street's role in helping to foster and promote an independent Canadian music, arts, and literary scene during the latter half of the 20th century.

Contextually, the property has cultural heritage value for maintaining and supporting the historic main street character of Yonge Street, south of Bloor Street. Situated on the east side of the block between Isabella Street and Charles Street East, the subject property's scale, form and massing contribute to the low-rise streetwall condition found on this portion of Yonge Street. The design of the property is consistent with the rhythm produced by fine-grained storefronts along the streetscape, and the building's Mid-century Modern style is one of several architectural styles that characterize the area.

The property at 641 Yonge Street (including 643 Yonge Street) is functionally, visually and physically linked to Yonge Street, Toronto's "Main Street", as a commercial building housing the services, amenities, and employment opportunities necessary to support daily life in neighbouring residential areas. As both a commercial building and former art gallery providing cultural pursuits for the entire city, the property is also historically linked to the metamorphosis of Yonge Street into Toronto's main commercial corridor.

Heritage Attributes

Design and Physical Value

The following heritage attributes contribute to the cultural heritage value of the property at 641 Yonge Street as a representative example of the Mid-century Modern style as applied to a commercial main street building:

- The placement, setback and orientation of the building on the east side of Yonge Street between Isabella Street and Charles Street East
- The scale, form and massing of the 4-storey brick building
- The flat roofline
- The materials, including the buff brick cladding framed by the red brick party walls and the stone lintels, sills and parapet coping on the west elevation
- The principal (west) elevation of the building, which is organized into three bays
- The flat-headed window openings in the second, third and fourth stories with the continuous lintels and sills on the principal (west) elevation
- Entrances providing at-grade access from the street to the ground floor and upper floors of the building

Contextual Value

The following heritage attributes contribute to the cultural heritage value of the property at 641 Yonge Street as supporting and maintaining the character of this portion of Yonge Street, and as being historically, functionally, and visually linked to its surroundings:

- The placement, setback and orientation of the building on the east side of Yonge Street between Isabella Street and Charles Street East
- The scale of the building, which is consistent with the 2-4 storey streetwall height and rhythm of narrow storefronts along this portion of Yonge Street
- The recessed entrance doorways, which are consistent with the storefronts along this portion of Yonge Street

- The materials of the building's façade, which are consistent with the brick, stone, and wood detailing found along this portion of Yonge Street
- The higher percentage of glazing on the ground floor façade along Yonge Street relative to upper floors, which serves the purpose of indicating retail use at-grade that can be accessed directly from Yonge Street and residential and/or commercial uses in upper floors

645 YONGE STREET
STATEMENT OF SIGNIFICANCE
(REASONS FOR DESIGNATION)

ATTACHMENT 5

The property at 645 Yonge Street is worthy of designation under Part IV, Section 29 of the Ontario Heritage Act for its cultural heritage value, and meets Ontario Regulation 9/06, the provincial criteria prescribed for municipal designation, under the categories of design/physical value and contextual value.

Description

The property at 645 Yonge Street is located on the east side of Yonge Street, in the block between Isabella Street and Charles Street East and contains a mixed-use brick building constructed in c.1887. It retains its original scale, form, and massing as a 3-storey building designed in the Italianate style and features extensive brick detailing. The property is part of a cohesive grouping of built heritage resources that provide a distinct sense of place and represent Toronto's 1860s-1950s architecture, a period when historic Yonge's commercial main street character was established and flourished.

The property was listed on the City of Toronto Heritage Register on March 10, 2016 and is identified as a contributing property in the Historic Yonge Street Heritage Conservation District, adopted by City Council in 2016 and currently under appeal.

Statement of Cultural Heritage Value

The property at 645 Yonge Street has design and physical value as a representative example of the Italianate style, which is evident in its extensive brick detailing and prominent cornice supported by brackets. The 3-storey property also has design and physical value as a representative example of a Main Street Commercial Row building constructed during a significant period of development along Yonge Street.

Contextually, the property has cultural heritage value for maintaining and supporting the historic main street character of Yonge Street, south of Bloor Street. Situated on the east side of the block between Isabella Street and Charles Street East, the subject property's scale, form and massing contribute to the low-rise streetwall condition found on this portion of Yonge Street. The design of the property is consistent with the rhythm produced by fine-grained storefronts along the streetscape, and the building's Italianate style is one of several predominant architectural styles in the area.

The property at 645 Yonge Street is functionally, visually and physically linked to Yonge Street, Toronto's "Main Street", as a commercial building housing the services, amenities, and employment opportunities necessary to support daily life in neighbouring residential areas. As a mixed-use building, the property is also historically linked to the metamorphosis of Yonge Street into Toronto's main commercial corridor.

Heritage Attributes

Design and Physical Value

The following heritage attributes contribute to the cultural heritage value of the property at 645 Yonge Street as a representative example of a Main Street Commercial Row building designed in the Italianate style:

- The placement, setback and orientation of the building on the east side of Yonge Street between Isabella Street and Charles Street East
- The scale, form and massing of the 3-storey building
- The material palette, with the brick cladding and brick details (the brickwork has been painted)
- The flat roofline with the cornice supported by decorative brackets and brickwork
- On the principal (west) elevation, the composition of the façade in two bays of asymmetrical width with a pilaster at the south corner of the building, which is indicative the property was originally part of a larger row of buildings
- The segmental-arched window openings in the second and third stories
- The decorative brickwork accenting the window openings, including brick hood moulds, sills, aprons, and dogtooth string courses
- A ground floor storefront featuring an increased proportion of glazing compared to the upper stories
- Entrances providing at-grade access from the street to the ground floor and upper floors of the building

Contextual Value

The following heritage attributes contribute to the cultural heritage value of the property at 645 Yonge Street as supporting and maintaining the character of this portion of Yonge Street, and as being historically, functionally, and visually linked to its surroundings:

- The placement, setback and orientation of the building on the east side of Yonge Street between Isabella Street and Charles Street East
- The scale of the building, which is consistent with the 2-4 storey streetwall height and rhythm of narrow storefronts along this portion of Yonge Street
- The recessed entrance area, which is consistent with the storefronts along this portion of Yonge Street
- The materials of the building's façade, which are consistent with the brick, stone, and wood detailing found along this portion of Yonge Street
- The higher percentage of glazing on the ground floor façade along Yonge Street relative to upper floors, which serves the purpose of indicating retail use at-grade that can be accessed directly from Yonge Street and residential and/or commercial uses in upper floors

**STATEMENT OF SIGNIFICANCE
(REASONS FOR DESIGNATION)**

The property at 649 Yonge Street is worthy of designation under Part IV, Section 29 of the Ontario Heritage Act for its cultural heritage value, and meets Ontario Regulation 9/06, the provincial criteria prescribed for municipal designation, under the categories of design/physical value, historical/associative value and contextual value.

Description

The property at 649 Yonge Street (including entrance addresses at 647 Yonge Street and 12A Isabella Street) is located on the east side of Yonge Street, in the block between Isabella Street and Charles Street East. It comprises two earlier structures of different heights and dates of construction reclad with a newer 3-storey façade dating to the early-20th century. The property is part of a cohesive grouping of built heritage resources that provide a distinct sense of place and represent Toronto's 1860s-1950s architecture, a period when Yonge Street's commercial main street character was established and flourished.

The property was listed on the City of Toronto Inventory of Heritage Properties (now known as the Heritage Register) on March 15, 1974 and is identified as a contributing property in the Historic Yonge Street Heritage Conservation District, adopted by City Council in 2016 and currently under appeal.

Statement of Cultural Heritage Value

The property at 649 Yonge Street (including entrance addresses 647 Yonge Street, 12A Isabella Street) has design and physical value as a representative example of a Main Street Commercial Row building constructed during a significant period of development along Yonge Street. The unique design of the 3-storey building dates to the early-20th century and displays restrained Italianate influences, while skillfully integrating two earlier structures with different heights and floor levels behind a unified façade.

The subject property is valued for its association to Lionel Rawlinson, a prominent Toronto cabinet maker and furniture dealer in the late-19th and early-20th centuries. Rawlinson Furniture operated out of the location at 649 Yonge Street for just over 75 years, taking over the property from another cabinetmaker, Henry Schomberg. Together, the two businesses contributed to nearly a century of furniture making activity on the site. Lionel Rawlinson was significant to the Yonge Street area as the owner of other property nearby, including a larger warehouse at 18 Gloucester Lane.

Contextually, the property has cultural heritage value for maintaining and supporting the historic main street character of Yonge Street, south of Bloor Street. Situated on the east side of the block between Isabella Street and Charles Street East, the subject property's scale, form and massing contribute to the low-rise streetwall condition found on this portion of Yonge Street. The building's fenestration pattern and materiality are

shared by many other buildings in the area, which all date to the late-19th and early-20th century.

The property at 649 Yonge Street (including 647 Yonge Street and 12A Isabella Street) Yonge Street is functionally, visually and physically linked to Yonge Street, Toronto's "Main Street", as a commercial building housing the services, amenities, and employment opportunities necessary to support daily life in neighbouring residential areas. As a commercial property associated with a prominent local business, the property is also historically linked to the metamorphosis of Yonge Street into Toronto's main commercial corridor.

Heritage Attributes

Design and Physical Value

The following heritage attributes contribute to the cultural heritage value of the property at 649 Yonge Street as a representative example of a Main Street Commercial Row building designed in a vernacular style with Italianate influences:

- The placement, setback and orientation of the building on the east side of Yonge Street between Isabella Street and Charles Street East
- The scale, form and massing of the 3-storey building
- The material palette, with the buff brick cladding and brick and stone details
- The flat roofline and copper parapet coping
- The decorative brickwork at the parapet and cornice above the third-storey windows
- The flat-arched window openings in the second and third stories
- The decorative brickwork accenting the window openings including brick lintels, frames, and aprons
- The wood cornice and sign band above the ground floor storefronts
- Entrances providing at-grade access from the street to the ground floor and upper floors of the building

Historical and Associative Value

The following heritage attributes contribute to the cultural heritage value of the property at 649 Yonge Street as associated with Lionel Rawlinson, a prominent Toronto cabinet maker:

- The wood and copper storefront cornice spanning the full width of the elevation, which was modified while Lionel Rawlinson's company owned the two buildings comprising the property

Contextual Value

The following heritage attributes contribute to the cultural heritage value of the property at 649 Yonge Street as supporting and maintaining the character of this portion of Yonge Street, and as being historically, functionally, and visually linked to its surroundings:

- The placement, setback and orientation of the building on the east side of Yonge Street between Isabella Street and Charles Street East
- The scale of the building, which is consistent with the 2-4 storey streetwall height along this portion of Yonge Street
- The recessed entrance doorways of the ground floor units, which are consistent with the storefronts along this portion of Yonge Street
- The materials of the building's façade, which are consistent with the brick, stone, and wood detailing found along this portion of Yonge Street
- The higher percentage of glazing on the ground floor façade along Yonge Street relative to upper floors, which serves the purpose of indicating retail use at-grade that can be accessed directly from Yonge Street and residential and/or commercial uses in upper floors

651 YONGE STREET
STATEMENT OF SIGNIFICANCE
(REASONS FOR DESIGNATION)

ATTACHMENT 7

The property at 651 Yonge Street is worthy of designation under Part IV, Section 29 of the Ontario Heritage Act for its cultural heritage value, and meets Ontario Regulation 9/06, the provincial criteria prescribed for municipal designation, under the categories of design/physical value, historical/associative value and contextual value.

Description

The property at 651 Yonge Street (including entrance address at 653 Yonge Street) is located on the east side of Yonge Street, in the block between Isabella Street and Charles Street East. The mixed-use building was converted into a theatre in 1912-1914 and has been over-clad with a metal lattice that obscures the building's features. The property is part of a cohesive grouping of built heritage resources that provide a distinct sense of place and represent Toronto's 1860s-1950s architecture, a period when historic Yonge's commercial main street character was established and flourished.

The property was listed on the City of Toronto Heritage Register on March 10, 2016 and is identified as a contributing over-clad property in the Historic Yonge Street Heritage Conservation District, adopted by City Council in 2016 and currently under appeal.

Statement of Cultural Heritage Value

The property at 651 Yonge Street has design and physical value as a unique example of a mixed-use commercial building designed in the Second Empire style that has been converted into a theatre. The use of the Second Empire style is evident in its slate mansard roof with convex slope, large gabled dormer, and arched dormer windows (the building is presently over-clad), which date to 1887. The building was converted into a theatre in the early 20th century and its massing, which comprises a 2-1/2-storey elevation on Yonge Street with increased height and volume towards the rear, reflects this typology.

The subject property is valued for its association with and contribution to the establishment of Yonge Street as a prominent arts, culture, and entertainment district in Toronto. The property has been the site of continuous theatre use for over one hundred years (1914 to present) and has accommodated a full range of productions, including vaudeville performances, silent films, live theatre, and modern cinematic screenings. In the 1970s, as the New Yorker Theatre, the subject property was also a designated location venue for the "Festival of Festivals" cinema event, which was the early iteration of the present-day Toronto International Film Festival (TIFF).

Situated on the east side of Yonge Street in the block between Isabella Street and Charles Street East, the subject property maintains and supports the historic commercial main street character along this portion of Yonge Street, which is characterized by a low-scale continuous streetwall condition. While presently over-clad, the building's west elevation retains architectural features in the Second Empire style, one of several predominant architectural styles in the area.

Contextually, the property at 651 Yonge Street (including 653 Yonge Street) is functionally, visually and physically linked to Yonge Street, Toronto's "Main Street", as a commercial building housing the services, amenities, and employment opportunities necessary to support daily life in neighbouring residential areas. Through its long-term use as a theatre, the property was one of a collection of entertainment, arts, and culture venues that were established along Yonge Street and is therefore functionally and historically linked to the metamorphosis of Yonge Street into Toronto's main commercial corridor.

Heritage Attributes

Design and Physical Value

The following heritage attributes contribute to the cultural heritage value of the property at 651 Yonge Street as a unique example of a Commercial Main Street Row building designed in the Second Empire style that has been converted into a theatre:

- The placement, setback and orientation of the building on the east side of Yonge Street between Isabella Street and Charles Street East
- The scale, form and massing of the 2-1/2-storey building
- The slate mansard roof with convex slope that is visible behind the current metal mesh over-cladding
- On the principal (west) elevation, the two arched dormer windows and the large dormer with the gabled roof, which are visible behind the current metal mesh over-cladding

Historical and Associative Value

The following heritage attribute contributes to the cultural heritage value of the property at 651 Yonge Street as associated with the establishment of Yonge Street as a prominent arts, culture, and entertainment district in Toronto:

- The presence of a marquee projecting over the sidewalk, which is an indication of the property's use as a theatre use for over one hundred years

Contextual Value

The following heritage attributes contribute to the cultural heritage value of the property at 651 Yonge Street as supporting and maintaining the character of this portion of Yonge Street, and as being historically, functionally, and visually linked to its surroundings:

- The placement, setback and orientation of the building on the east side of Yonge Street between Isabella Street and Charles Street East
- The scale of the building, which is consistent with the 2-4 storey streetwall height along this portion of Yonge Street
- The recessed entrance, which is consistent with the storefronts along this portion of Yonge Street