

3.3 HERITAGE CONSERVATION

The heritage conservation strategy, shown in Figure 11, identifies the conservation of the built form elements that tell the site's history, while allowing for the integration of new sympathetic construction to support continued and expanded community uses. This approach allows for an evolved built form through the combination of building conservation and rehabilitation for adaptive reuse.

A set of heritage design objectives, based on the site's cultural heritage value, were established early in the schematic design process to inform the design. The heritage design objectives are organized into the following components:

- 1313 Queen Street West - Queen Street West Frontage
- 1313 Queen Street West - Cowan Frontage
- 220 Cowan Avenue
- The Queen Street West Frontage

The heritage design objectives have been updated to incorporate City Staff feedback as the design advanced.

ERA Architects have produced a Cultural Heritage Evaluation Report (CHER) and Heritage Impact Assessment (HIA) to accompany this submission. Please review to the ERA HIA for the detailed heritage conservation strategy and heritage design directives.

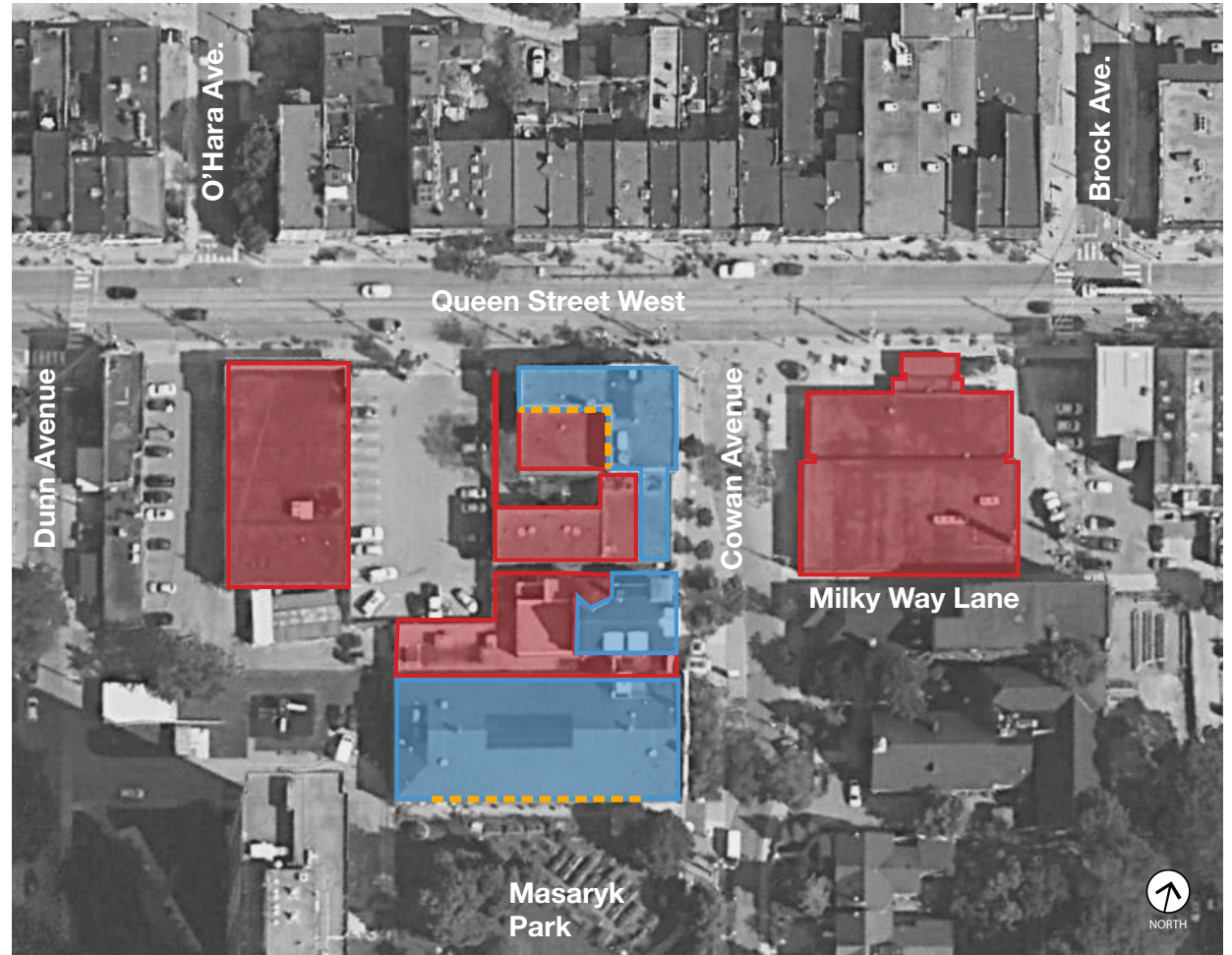


Figure 11 / Heritage Conservation Strategy.

- Buildings or attributes to be altered.
- Buildings or attributes to be removed.
- - - Details of retention, integration and modification to be explored further during design development.

The HCD contains policies and guidelines to manage change within the District in order to meet the objectives of the HCD Plan and to conserve the cultural heritage value and heritage attributes of the District. These policies and guidelines inform decisions on alterations, additions, new development and demolition within the District.

HCD policies and guidelines determined to be important in directing the design of Parkdale Hub include, but are not limited to:

- Conserving the massing of the District's contributing properties and permit compatible additions. (6.11)
- Maintaining the prominence of the landmark building(s). (6.11.12)
- Compatibility, horizontal/vertical articulation, projecting balconies. (6.11.1, 6.11.2, 6.11.3, 6.11.4, 6.11.10, & 6.11.11)
- Conserve the District's heritage attributes through appropriate massing. (7.6.1, 7.6.4, 7.7.1, 7.7.2, & 7.7.3)
- Provide opportunities for gathering spaces, enhanced landscaping, heritage interpretation and public art opportunities at historic nodes. (8.1.1.a)
- Provide physical and visual connections between Masaryk Park, as a public park within the District, Cowan Avenue and the civic landmarks located along Cowan Avenue. (8.2.b)

1313 Queen Street West - Queen Street West Frontage

Heritage Design Objectives

- ① Inset new construction to provide a reveal of the existing west elevation of 1313 Queen Street West and reinforce the view from the west.
- ② Lower the ground floor and provide entrances along Queen Street West for universal accessibility.



Figure 12 / Historic view of north and east elevations (C.1931).



Figure 13 / View today. (2022)

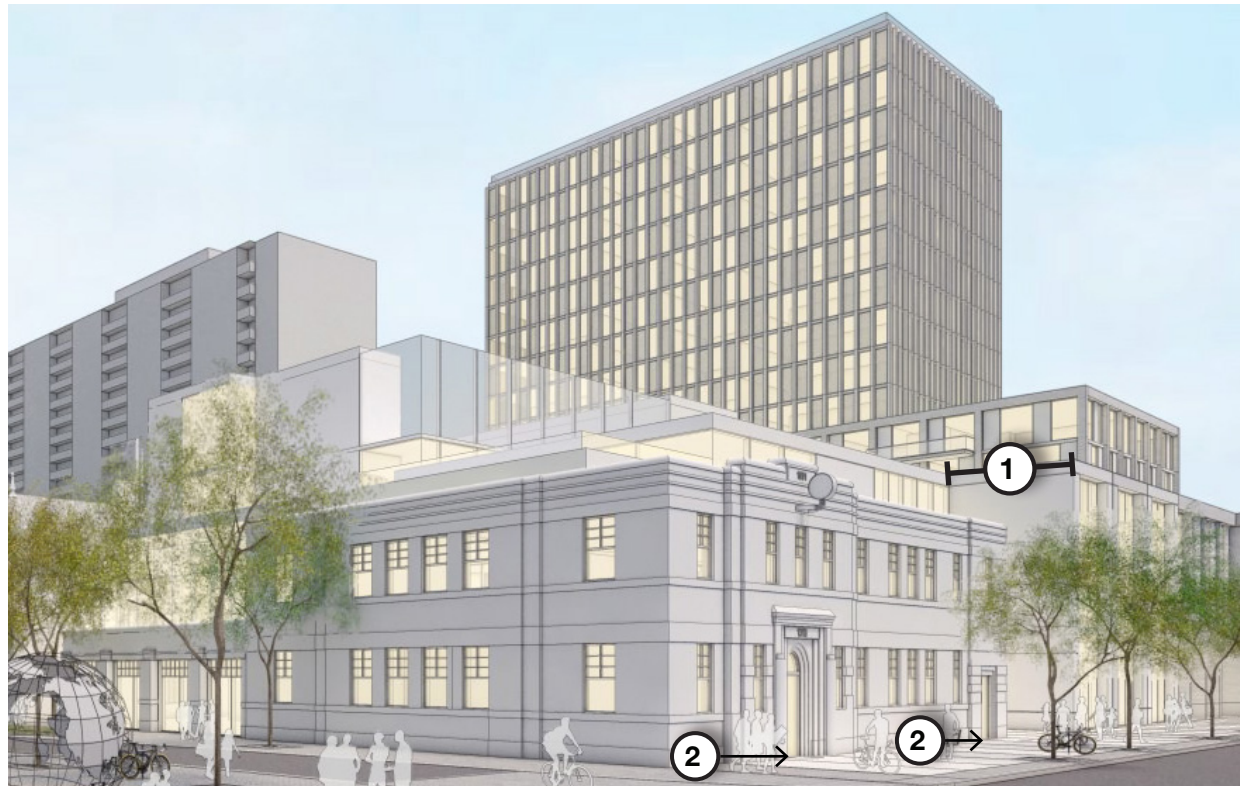


Figure 14 / Proposed.

1313 Queen Street West - Cowan Avenue Frontage

Heritage Design Objectives

- ① Provide large window openings at-grade for increased natural light and to assist in making the historic garage bays more legible.
- ② Provide a generous stepback above the existing 1-storey portion of 1313 Queen Street West and reveal the retained 1-storey and 2-storey elevations. If a rooftop amenity space is added to the stepback, design the railing to minimize visual, noise, shadow and overlook impacts.
- ③ Provide a new entrance on Cowan Avenue, which extends Milky Way Lane and reveals the retained return elevations of 1313 Queen Street West.
- ④ Stepback the new massing above the 2-storey retained portion of 1313 Queen Street West.



Figure 16 / Historic view of the east elevations (c.1931).



Figure 15 / View today (2020).

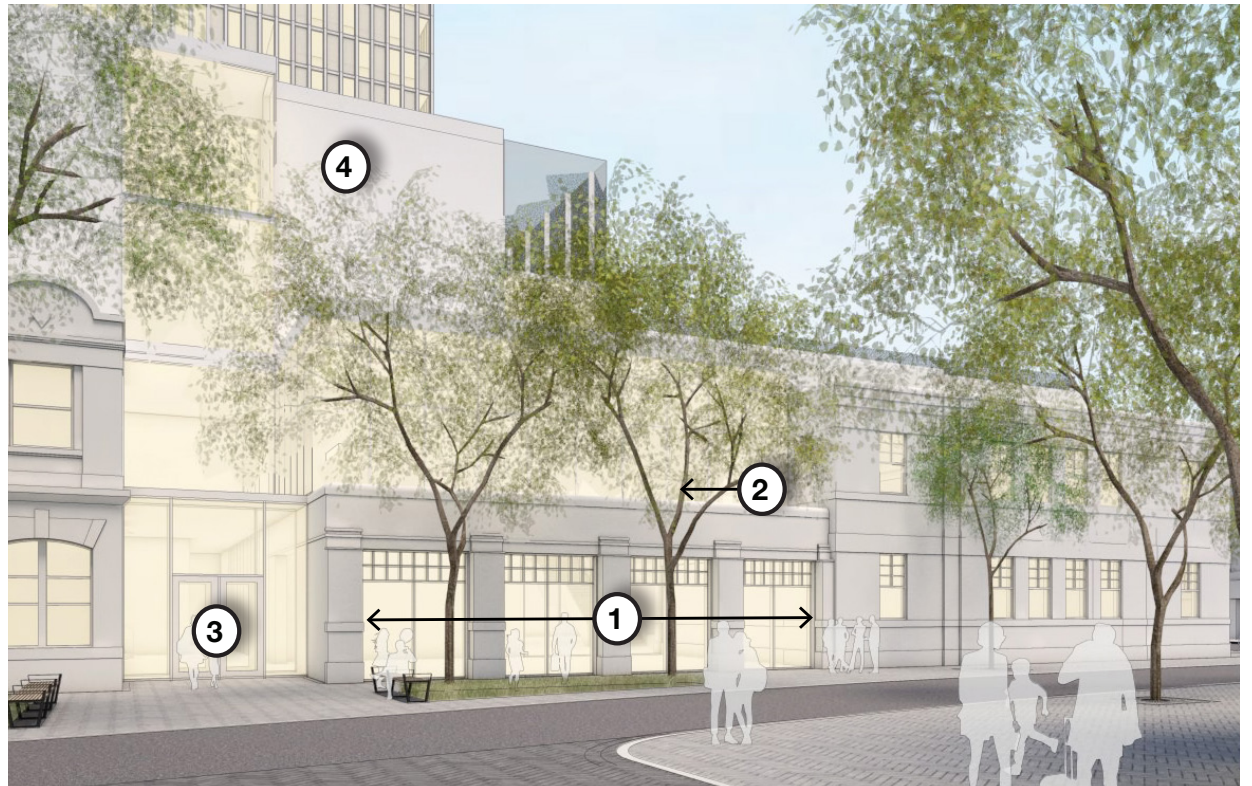


Figure 17 / Proposed.

220 Cowan Avenue

Heritage Design Objectives

- ① Reinststate the two previously-infilled fire-hall bays with restored garage doors. New door design shall take cues from the original architectural drawings for this building.
- ② Replace the existing connecting addition with a new sympathetic 1-storey addition.
- ③ Introduce a new sympathetic 1-storey addition connecting to the park at the south end of the community centre. Retain the existing south side wall on the interior of the new 1-storey addition with alterations for new openings.



Figure 21 / 220 Cowan Avenue Today: Principal (east) façade of Fire Hall No.18 (2020)



Figure 20 / 220 Cowan Avenue (1986): Principal (east) façade of the former Parkdale Curling Club).



Figure 19 / Proposed east elevation.

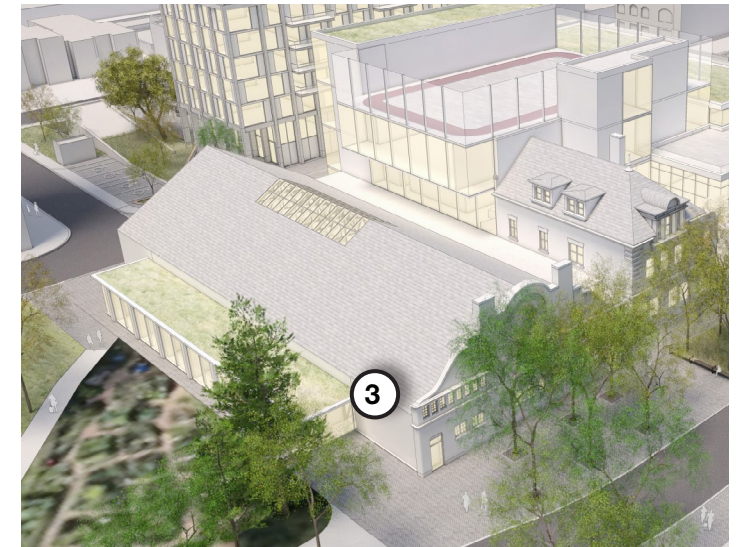


Figure 18 / Proposed north west view on Cowan Avenue showing east elevations and Masaryk Park interface.

The Queen Street West Frontage

Heritage Design Objectives

- ① Stepback the new 2-storey streetwall from the retained building at 1313 Queen Street West.
- ② Design the new 3-storey streetwall of the East Block to match height of the adjacent designated heritage building at 1291 Queen Street West.
- ③ Design the new streetwall of the East and West Blocks to incorporate horizontal and vertical articulation that responds to the rhythm of existing commercial storefronts and respects the fine-grained main street character of Queen Street West.
- ④ Setback the East Block's Cowan façade to create a gathering place/plaza and provide enhanced views towards the retained heritage resources from Queen Street West.
- ⑤ Inset new construction from 1313 Queen Street West's north elevation to provide views of the retained return from the west. Reflect 1313 Queen Street West's horizontal and vertical datum lines/cornices through contemporary mullions that turn the corner at the new Toronto Public Library entrance. Provide glazed materiality to provide further visibility of the internalized portion of the west return wall.
- ⑥ Align the front setback of the Centre Block and a portion of the West Block with the retained heritage building at 1313 Queen Street West.
- ⑦ Design the new 3-storey streetwall of the West Block to match the height of the parapet of the adjacent heritage building at 1347 Queen St. West.

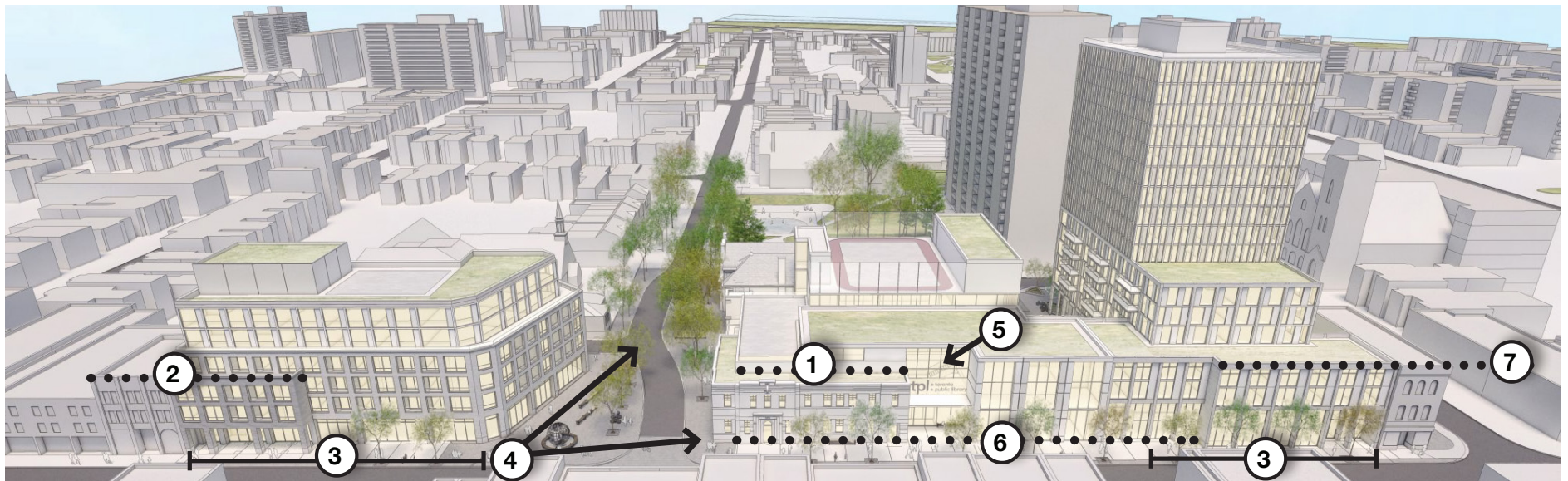


Figure 22 / Proposed view of the Queen Street West frontage.

3.4 SETBACKS, STEPBACKS, MASSING AND BUILT FORM

The proposal is a response to the City's policy framework, and identifies the fundamental setbacks, massing and built form objectives for Parkdale Hub. The building setbacks, setbacks and massing define a 'Proposed Zoning Envelope,' which provides the key metrics that inform the detailed design. Refer to Figure 25.

The development proposed for Parkdale Hub is mixed-use, and includes new affordable housing, new community spaces, a new Parks, Forestry and Recreation Community Recreation Centre and a new Toronto Public Library Parkdale Library Branch.

Figure 23 illustrates how enhanced building setbacks and stepbacks, combined with public realm improvements and the retained centerpiece 1313 Queen Street West building, reinforce Parkdale Hub as a civic focal point within the Queen Street West streetscape.

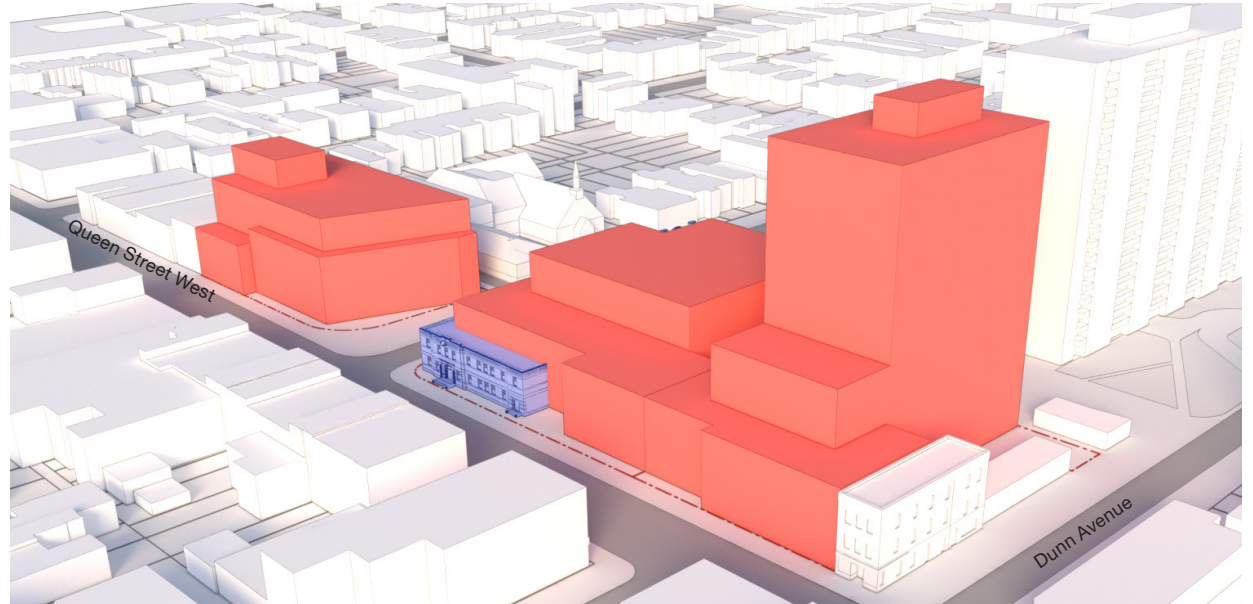


Figure 23 / Massing model of Parkdale Hub looking southeast from Queen Street West. New development will reinforce the role of Parkdale Hub as a civic focal point within the Queen Street West streetscape.

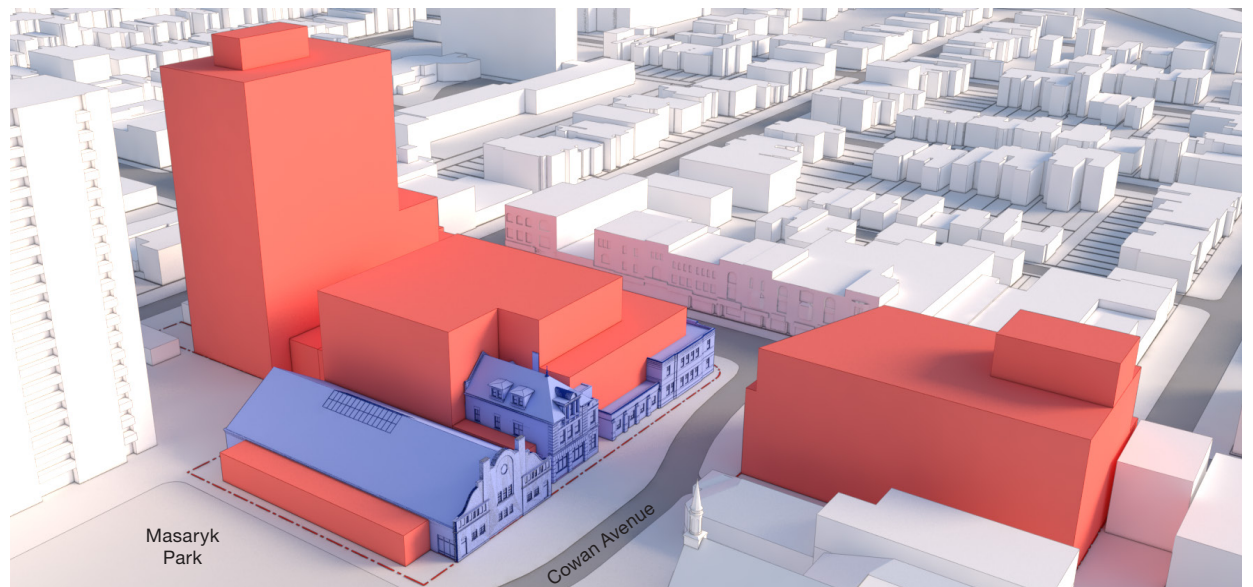


Figure 24 / Massing model of Parkdale Hub looking north towards Queen Street West.

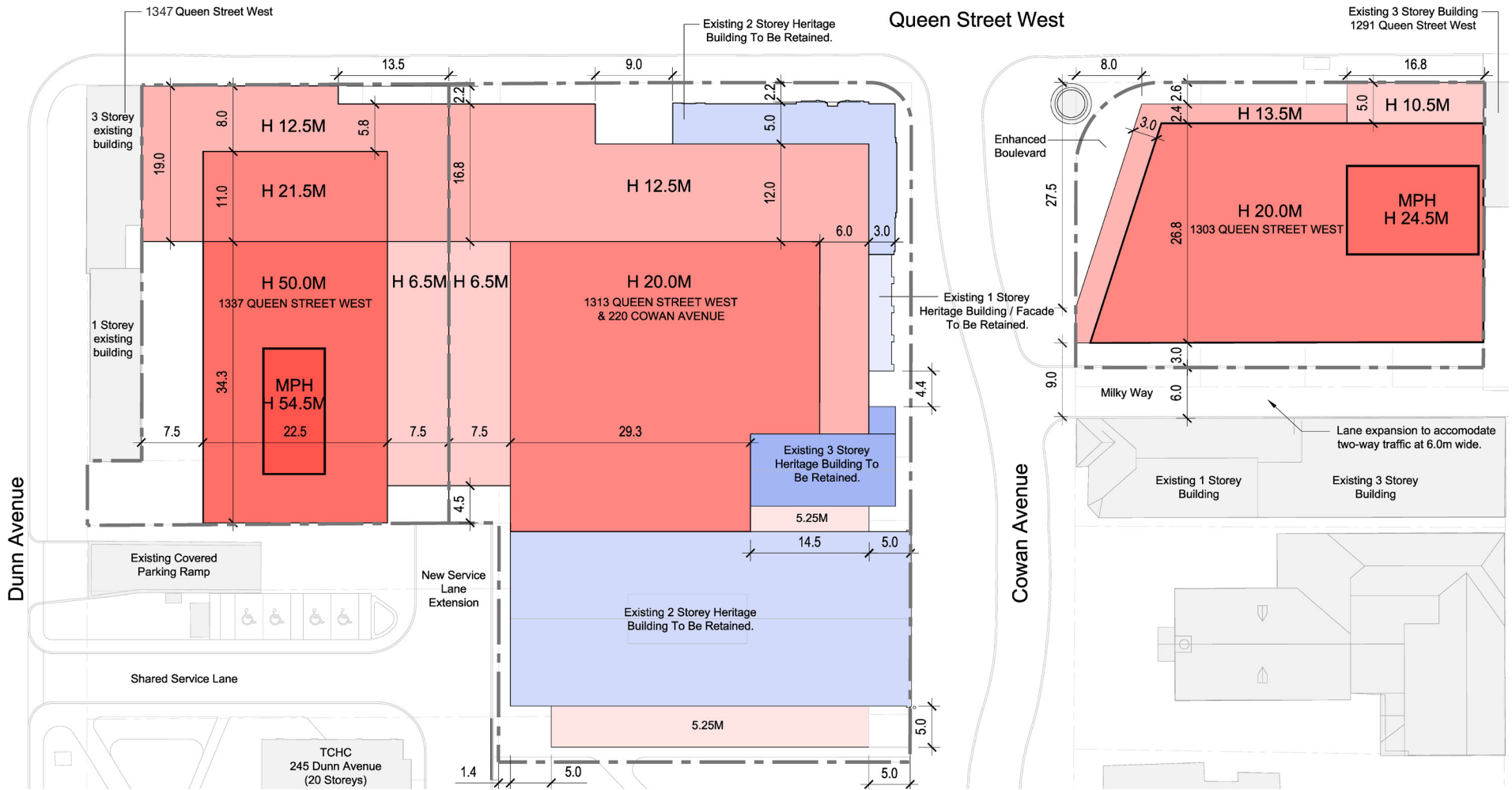





Figure 25 / Proposed Zoning Envelope

-  NORTH
-  PROPOSED ZONING ENVELOPE
-  EXISTING HERITAGE BUILDINGS

EAST BLOCK

The East Block replaces the existing Toronto Public Library (Parkdale branch) with a six-storey (plus mechanical penthouse) mixed-use building with community uses at grade. The proposal extends the Queen Street West streetwall by connecting the existing building at 1291 Queen Street West. An angled setback along the Cowan frontage creates a gathering place/plaza at the intersection of Queen Street West and Cowan Avenue and conserves views of the landmark 1313 Queen Street West and 220 Cowan Avenue.

Setbacks

- ① Align the Cowan façade at an angle to provide an enhanced Cowan Avenue gathering place/plaza and create a visual connection to 1313 Queen Street West and 220 Cowan Avenue, when viewed from Queen Street West.
- ② Enhance the width of the sidewalk on Queen Street West with a combination of a setback and arcade design. Align the eastern section of the block's facade with 1291 Queen Street West for a span of 16.8 meters with an arcade at grade. This will create ample space for pedestrian movement around the transit stop. Following this, the facade should step back to align with 1313 Queen Street West, resulting in a widened sidewalk for pedestrians.
- ③ Set the building back 3.0m from the rear property line to provide a 6.0m wide lane and 3.0m sidewalk (9.0m total). See Fig. 25 showing the land to be conveyed for the widening of Milky Way Lane.

Streetwalls and Stepbacks

- ④ In keeping with the HCD, the streetwall along Queen Street West shall be 10.5m in height (3 storeys) at the eastern property line to align with the height of the existing 1291 Queen Street West building. The streetwall height can increase to 13.5m (4-storeys) as the building turns the corner onto Cowan Avenue.
- ⑤ Stepback the upper two storeys along the Queen Street frontage 5.0m from the face of the existing 1291 Queen Street West streetwall to maintain the legibility and prominence of the low-scale Queen Street West streetwall.
- ⑥ Stepback the upper two storeys along the Cowan Avenue frontage by 3.0m.
- ⑦ In keeping with the HCD, no balconies or projections are to be provided along the Queen Street West frontage and no projections above the 4th storey. There is the possibility for inset balconies along this frontage.

Height

- ⑧ The maximum building height is 20.0m (excluding the mechanical penthouse). Variations are permitted as a result of the site-specific criteria set out in Section 6 of OPA 445.

Entrances

- Provide primary entrances on Queen Street West and Cowan Avenue. Secondary entrances can be considered along Milky Way Lane
- Design the ground floor to provide transparency that animates the Cowan Avenue, Queen Street West and the Milky Way Lane streetscapes.

- Provide servicing and loading access from Milky Way Lane. The existing lane is recommended to be rebuilt as a compliant 6.0m service lane and 3.0m sidewalk with two-way traffic along the length of the southern property line. Milky Way Lane, east of the site, is recommended to be modified to a one-way lane running east instead of its current western direction. Transportation Services supports this change in principle, subject to a submission of a functional plan and payment of signage.

Amenity

- The future proponent should explore the inclusion of indoor ground floor and/or outdoor amenity space located along Milky Way Lane to animate the lane. Alternatively, amenity space can be located on the roof, but this will require a secondary exit. Rooftop amenity spaces should be setback 1m from parapet edges. Handrails and guards should be highly transparent and setback from the parapet edge where possible.

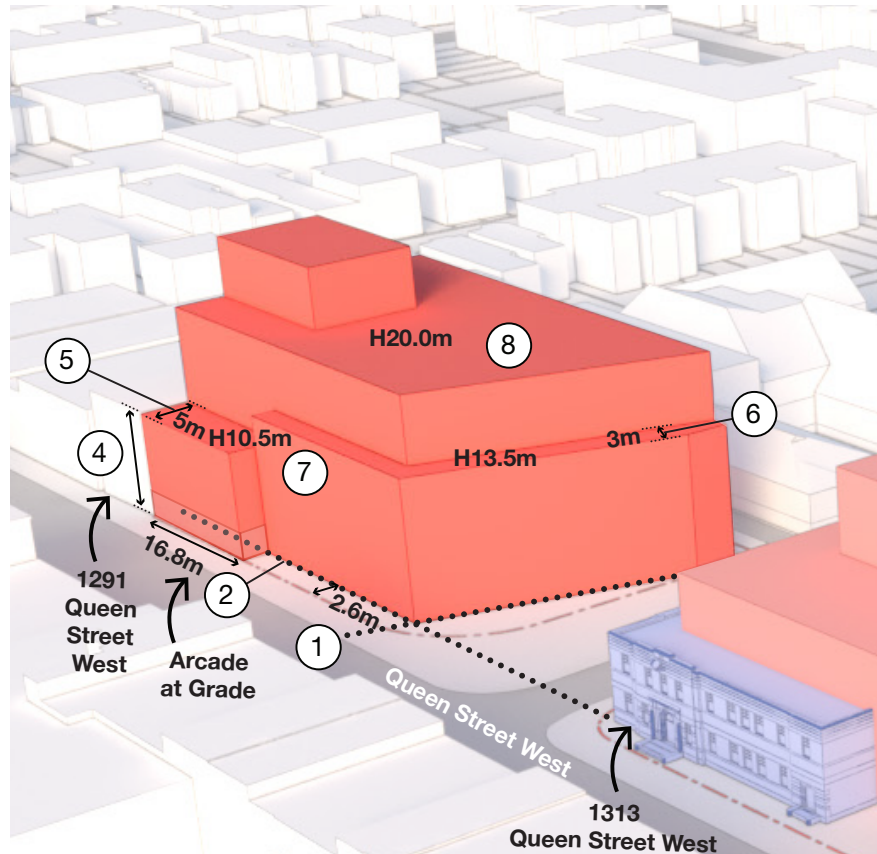


Figure 26 / East Block massing model: front view (looking southeast from Queen Street West).

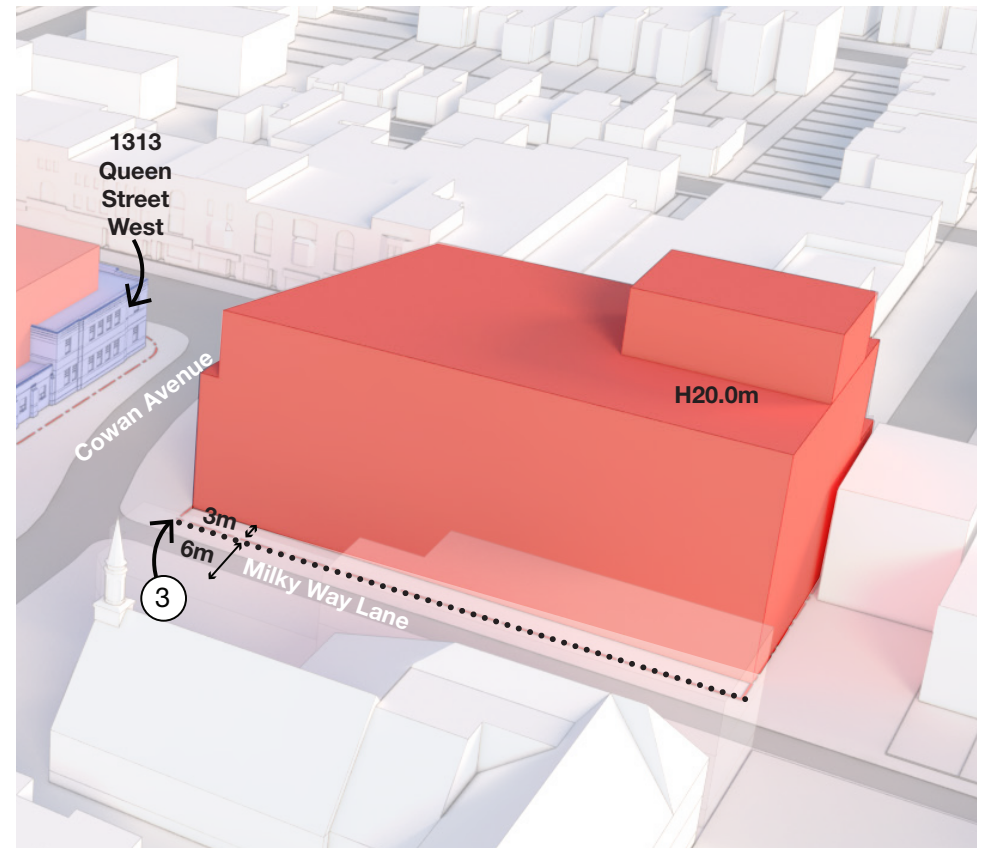


Figure 27 / East Block massing model: rear view (looking towards Queen Street West).

CENTRE BLOCK

The Centre Block includes the rehabilitation of the 220 Cowan Avenue and 1313 Queen Street West for continued community, recreation and cultural uses. The proposal integrates the heritage properties into a community centre and Toronto Public Library branch.

Setbacks

- ① Along Queen Street West align the new building façade with the existing façade of 1313 Queen Street West to provide a consistent street-wall and widened sidewalk.
- ② Expose the west return of 1313 Queen Street West to retain its three-dimensional quality by providing a 9.0m length x 5.0m depth inset along the Queen Street frontage. This inset will enhance views of 1313 Queen Street West from the west and create a prominent entrance. The new construction shall feature glazed materiality to provide further visibility of the internalized portion of 1313 Queen Street West.
- ③ Expose the south return of 1313 Queen Street West to retain its three-dimensional quality by providing a 4.0m length x 3.0m depth inset along the Cowan Avenue frontage. The new construction shall feature glazed materiality to provide further visibility of the internalized portion of 1313 Queen Street West.

Streetwall and Stepbacks

- ④ The streetwall height along Queen Street West shall be 12.5m in height (3-storeys) to align with the existing heritage building at 1347 Queen Street West.
- ⑤ Along Queen Street West, provide a 5.0m stepback from the 1313 Queen Street West façade and provide an additional 12.0m step-back at 12.5m height (3 storeys).
- ⑥ Along Cowan Avenue provide a 3.0m stepback from the 1313 Queen Street West façade and an additional set-back of 6.0m at 12.5m height.
- ⑦ Provide a single-storey addition on the south side of 220 Cowan Avenue to provide visual and physical connections between the community centre and Masaryk Park.

Height

- ⑧ The maximum building height is 20.0m (excluding the mechanical penthouse). Variations are permitted as a result of the site-specific criteria set out in Section 6 of OPA 445.

Entrances and Access

- Primary entrances can be located within the insets: along Cowan Avenue aligned with Milky Way Lane and on Queen Street West.
- Secondary or staff entrances to the community centre and library can be provided within the existing doors at 1313 Queen Street West and onto the new service lane extension.
- Locate servicing and loading at the rear of the building, adjacent to or shared with the West Block. Vehicular access to the loading area is off Dunn Avenue. A 6.5m height limit has been provided on the ground floor to allow for servicing areas to be enclosed. The shared service area should be designed in co-ordination with the West Block to align the facades of both buildings and balance the needs of both users.

Amenity Space

- Outdoor rooftop amenity space is encouraged, including the allowance for a rooftop running track. Fencing, walls, or other suitable barriers should be installed to ensure the safety and security of users and the general public. These barriers should be highly transparent and not exceed the height of the mechanical penthouse.

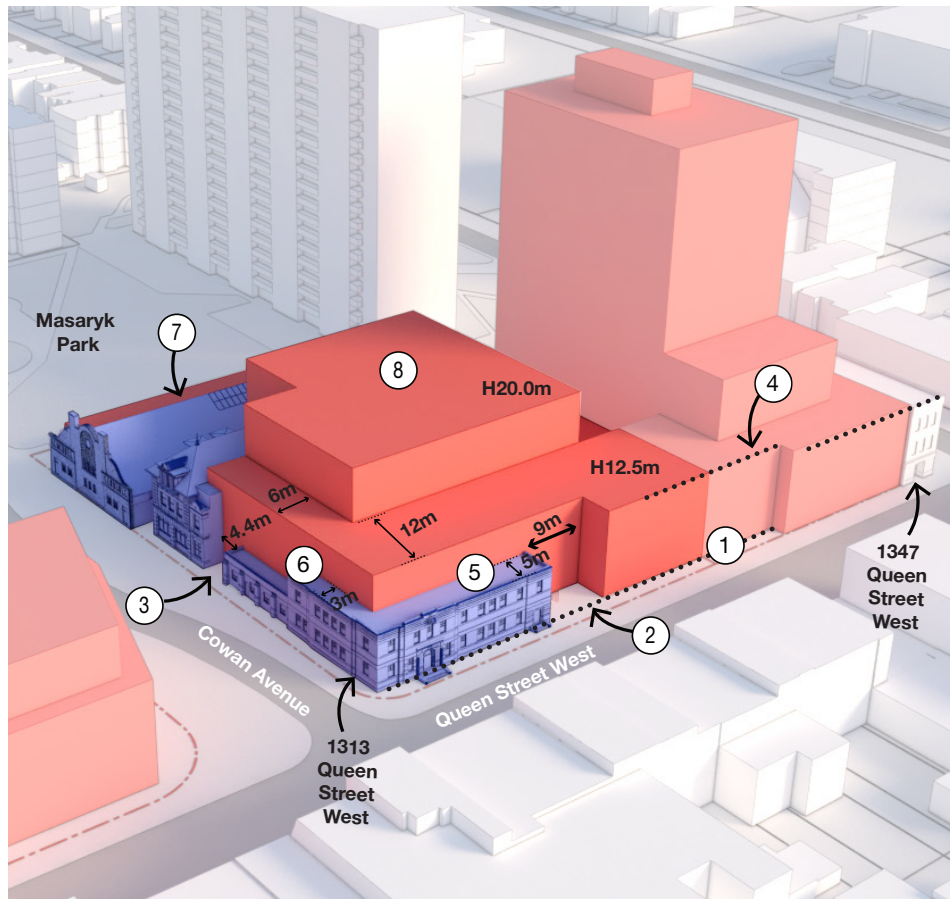


Figure 28 / Centre Block massing model: front view (view looking southwest from Queen Street West).

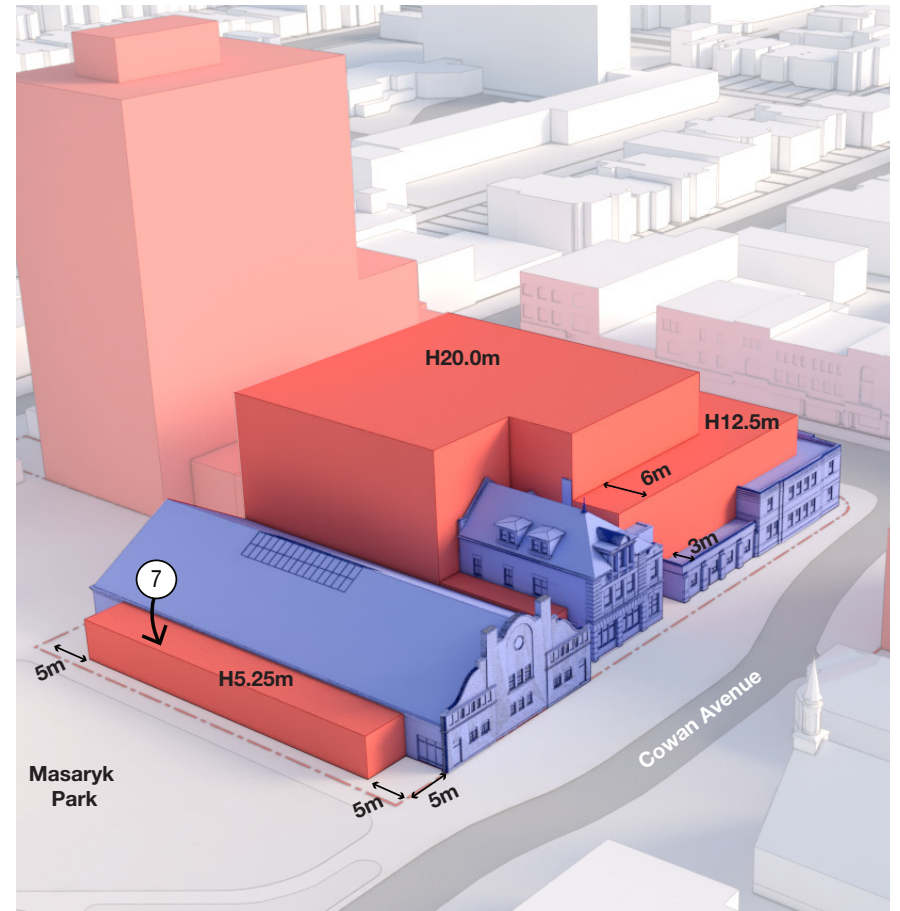


Figure 29 / Centre Block massing model: rear view (view looking towards Queen Street West).

West Block

The West Block replaces a one-storey commercial building (Dollarama) and parking lot with a 16-storey (plus mechanical penthouse) mixed-use building with community uses at grade.

Setbacks

- ① Align the façade of new built form along the Queen Street West frontage with the façade of 1313 Queen Street West to provide a consistent streetwall and enhanced public realm. The façade can step forward after 13.5m to align with 1347 Queen Street West along the western edge.
- ② Provide a 7.5m setback to the existing single storey portion of 1347 Queen Street West. This setback can function as a pedestrian entrance court and/or gathering space.
- ③ The south frontage (rear facade) can be extended to the property line subject to an agreement with TCHC at 245 Dunn. This frontage is to be designed to retain existing mature tree #19 (located at 245 Dunn Avenue - refer to the Arborist Report). Consider integrating an east-west pedestrian connection between Dunn Avenue and Masaryk Park by pulling in the ground floor portion of the building with an arcade at grade.

Streetwall and Stepbacks

- ④ The streetwall height along Queen Street West shall be 3-storeys (12.5m) to align with the height of the existing heritage building at 1347 Queen Street West.
- ⑤ Stepback floors above the streetwall by minimum 5.8m from the façade of 1313 Queen Street West (8.0m from the front property line). The exact design and placement of additional stepbacks above this height will be determined through the design approval process.
- ⑥ Along the west and south side of the building above the 6th floor, the architectural design should incorporate façade detailing that will create the effect of a setback through the use of changes in material and a change in fenestration from the base building.
- ⑦ No balconies or projections are to be provided along the Queen Street West frontage and no projections above the 4th storey are permitted. There is the possibility for inset balconies along this frontage.

Height

- ⑧ The maximum building height is 50.0m, exclusive of mechanical penthouses. Section 6 of OPA 445 permits variations in the height if it is demonstrated that impacts on pedestrian comfort, shadow and transition in scale have been minimized. Given the West Block is deeper than the East Block, backs onto an existing tall building, and the proposed massing is pushed to the back of the site to minimize shadow and visual impact along Queen Street West the City of Toronto has approved this height.

Entrances and Access

- Locate servicing and loading at the rear of the building, adjacent to or shared with the Centre Block. Vehicular access to the loading area is off Dunn Avenue. A 6.5m height limit has been provided on the ground floor to allow for servicing areas to be enclosed. The shared service area should be designed in co-ordination with the Centre Block to align the facades of both buildings and balance the needs of both users.
- Provide primary entrances along Queen Street West. Secondary entrances can be provided on the south side or from the pedestrian entrance court along Dunn Avenue

Amenity Space

- The future proponent should explore the inclusion of indoor, outdoor and/or rooftop amenity space. Rooftop amenity spaces should be setback 1m from parapet edges. Handrails and guards should be highly transparent and setback from the parapet edge where possible.

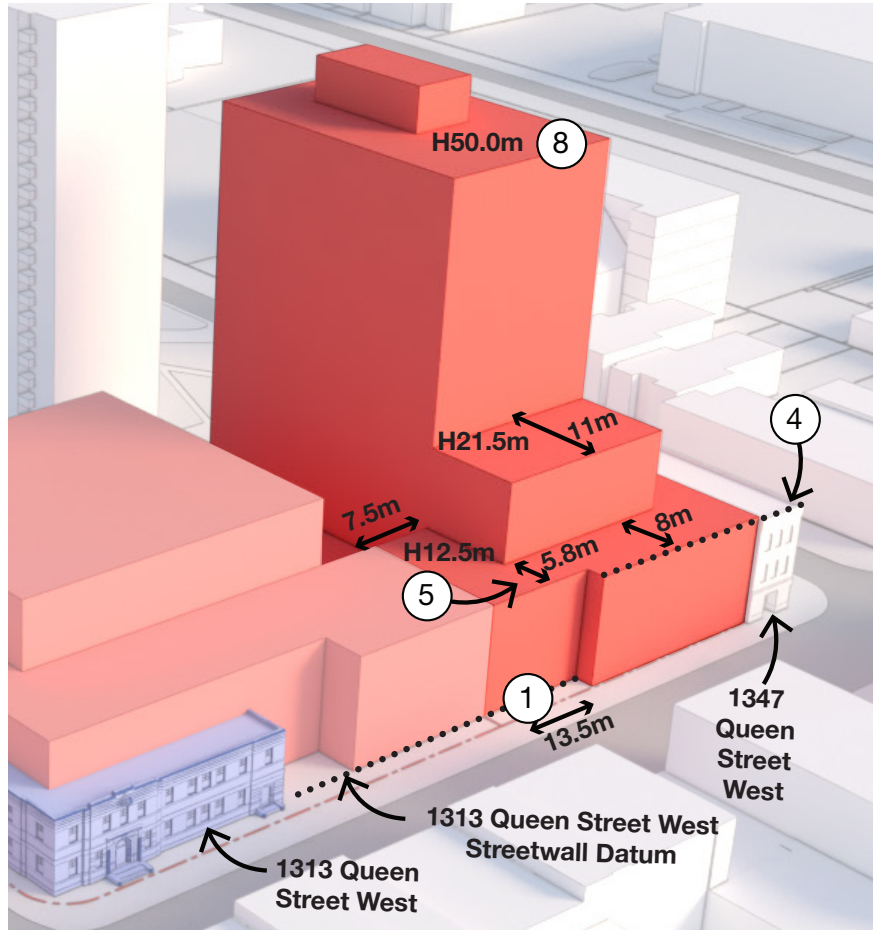


Figure 30 / West Block massing model: front view (view looking southwest from Queen Street West).

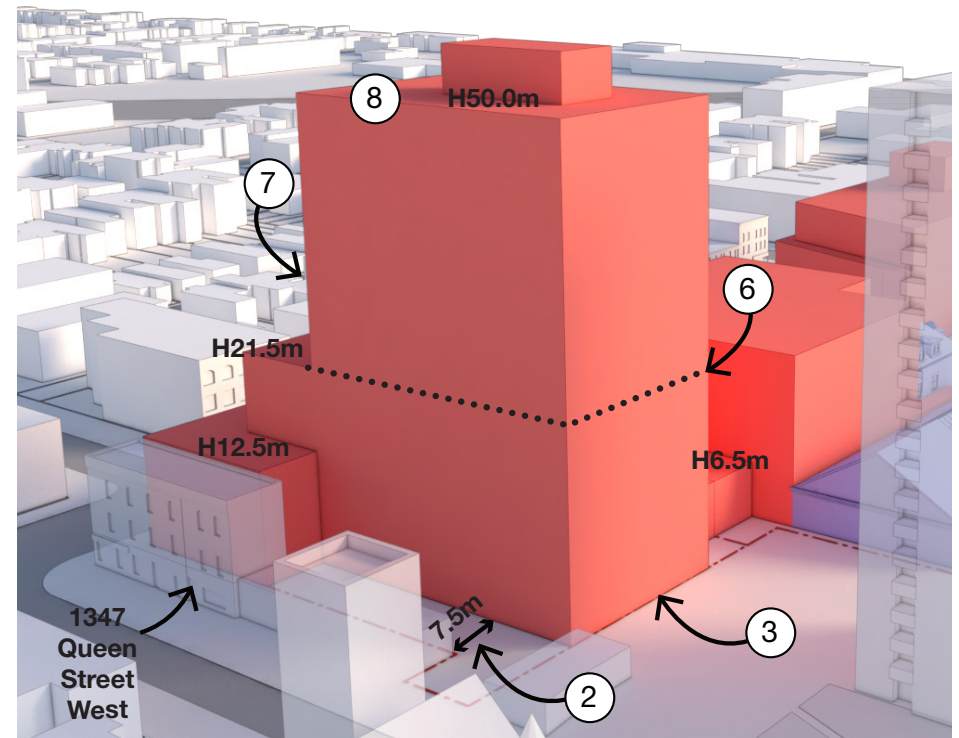


Figure 31 / West Block massing model: rear view (view looking towards Queen Street West).

3.5 PROGRAM

The functional program objectives for the internal stakeholders (Toronto Public Library, PACC, and Masaryk Cowan Community Centre) are shown in Figure 32. The program was developed through the consultation process and refined through design development.

The Programming Strategy, shown in Fig. 33 identifies a number strategies to accommodate the program and animate Parkdale Hub throughout the day and in the evening:

- Locate the most active public uses and community spaces along the ground plane.
- Animate Queen Street West, Cowan Avenue and Milky Way Lane with active community uses at grade. Maximize clear glazing to ensure a dynamic and safe public realm.
- Locate the Parkdale Branch Library within the Centre Block along the Queen Street frontage to animate in the intersection of Queen Street and Cowan Avenue. Locate the Community Centre adjacent to Masaryk Park to create synergies with park programming.
- Book-end Parkdale Hub with active ground floor community uses and affordable housing in the upper floors of the East and West Block.
- Locate servicing and loading areas at the back of buildings to minimize impacts to the Cowan Avenue and Queen Street West public realm.
- Locate the rental replacement units in the West Block in close proximity to community ground floor uses and with units facing north towards Queen Street West for indirect light.
- Provide a single storey addition on the south side of 220 Cowan Avenue (within the Centre Block) to provide visual and physical connections between the community centre and Masaryk Park.

3.6 SUSTAINABILITY

The development proposal meets the minimum of Toronto Green Standard V4 Tier 2. This goal is achieved through high-performance enclosures, optimized window-wall ratio, green roofs and an overall energy-efficient design. Additionally, the public realm component of the Parkdale Hub enhances the urban forest, prioritizes the pedestrian experience, and provides short-term bicycle parking and Bike Share.

3.7 SERVICING, ACCESS AND PARKING

Parking is not permitted at grade within the West, East and Centre Block. 40 parking spaces are provided in below-grade parking for 245 Dunn Avenue. A below-grade connection from the West and Centre Block is to be provided to the 245 Dunn Avenue garage. Four accessible parking spaces are provided for the East and West Block and one accessible parking space is provided for the East Block.

Service access is available in a shared court for the West and Centre Block. There has been an expansion of Milky Way Lane to facilitate service access to the East Block. Both these areas will be brightly lit and designed with a high-quality public realm, aiming to enhance pedestrian safety and foster connections to Masaryk Park and the Milky Way Lane Community Garden.

	GFA (m ²)	Institutional & Community Centre (m ²)	Community Space (m ²)	Housing (m ²)	Number of Residential Units (Includes Rental Replacement Units)	Rental Replacement Units
West Block	14,017	0	1,130	12,877	171	9
Centre Block	7,008	7,008	0	0	0	0
East Block	5,429	0	561	4,868	60	0
TOTAL	26,454	7,008	1,691	17,745	231	9

Figure 32 / Functional Program



Figure 33 / Programming Strategy

4.0 PUBLIC REALM

The Public Realm is comprised of the Cowan Avenue Streetscape, Milky Way Lane, the Queen Street West Streetscape (from curb to building face), the Masaryk Park interface and the Dunn Avenue interface. The public realm is a crucial element of Parkdale Hub, particularly related to creating an inviting public domain that encourages people to interact and supporting year-round activities.

The zones making up the public realm are illustrated in Fig.34 below and described in more detail in the following pages.

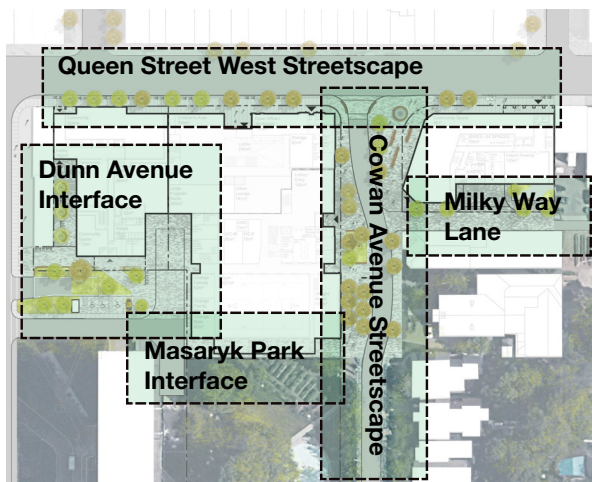


Figure 34 / Public Realm Zones

4.1 PUBLIC REALM CONCEPT PLAN

The public realm concept plan for Parkdale Hub aims to create a connected, consistent, continuous and animated system of public, private and semi-private public spaces. The design approach is contemporary, while respecting and enhancing the historic built environment. The design aims to:

- Create a simple and elegant streetscape using a coordinated palette of high-quality and robust paving and planting materials.
- Provide a street environment that is memorable, safe, accessible, well-connected and inviting to everyone.
- Use plantings and street trees to provide increased greening, create micro-climate, complement the architecture and emphasize important views and focal points. The exact street tree locations are subject to utilities verification.
- Provide a variety of places for community gathering and seating.
- Provide a minimum 2.1m pedestrian clearway free of all obstructions along all sidewalks.

Below are the broader HCD Plan public realm guidelines that apply to the detailed design (8.3.1):

- Encourage the interpretation of the laneway network, including their historic use and evolution over time.
- Street signage design should reinforce the District's overall historic character and sense of place, and assist in the historical interpretation of the area.
- Enhance laneways with pavement treatments and appropriate lighting to create a pedestrian-friendly environment.
- Maintain and enhance public realm by using the public spaces for cultural events and activities that contribute to the historic character and sense of place of the District.
- In consultation with Indigenous Communities and Nations and Aboriginal Affairs Advisory Committee, honour and celebrate Indigenous heritage and languages through the naming of streets, laneways, and public spaces.
- Street furniture should not detract from the historic identity and heritage character of the District.