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April 21, 2023

Our File No.: 223212

**Delivered Via Email**

Toronto Preservation Board  
Toronto City Hall  
100 Queen Street West  
Toronto, ON M5H 2N2

**Attention: Matthew Green (hertpb@toronto.ca)**

Dear Sirs/Mesdames:

**Re: Item No. PB5.3 - 15 Elm Street**  
**Notice of Intention to Designate a Property under Part IV, Section 29 of the *Ontario Heritage Act***

We are solicitors for 17 Elm GP Inc., who is acting as the agent on behalf of the owner of the property known municipally in the City of Toronto as 15 Elm Street (the “**Property**”). We are writing to the Toronto Preservation Board (the “**TPB**”) to express our client’s objection to the recommendation for City Council to indicate its intention to designate the Property under Part IV, Section 29 of the *Ontario Heritage Act* (the “**Act**”).

As background, on September 14, 2022, after pre-consultation with City staff, our client filed a rezoning application for the Property (the “**Application**”). At the time of the Application, the Property was not listed or designated under the Act, but the Application included a Heritage Impact Assessment (the “**HIA**”) to assess the relationship of the proposed development to an adjacent heritage resource.

As noted in the attached memorandum from ERA Architects, our client subsequently provided a Cultural Heritage Evaluation Report (the “**CHER**”) to the City, which evaluated the Property pursuant to Ontario Regulation 9/06 and did not recommend adding the Property to the City’s Heritage Register. While the Staff Report suggests that the Property meets four criteria under the Regulation, the materials prepared by ERA and submitted to the City clearly confirm that the Property should not be designated under the Act.

The Staff Report does not include the HIA or the CHER as part of the record before the TPB. We submit it is vital for the TPB to review the HIA and CHER attached to the ERA memorandum in advance of considering the recommendations in the Staff Report. This complete record should also be made available for the Planning and Housing Committee and City Council.

We would appreciate receiving notice of any decision made by the Toronto Preservation Board, Planning and Housing Committee and/or City Council in respect of this matter.

Yours truly,

**Goodmans LLP**

A handwritten signature in blue ink, appearing to read 'D. Bronskill', is written over the printed name.

David Bronskill

DJB/

Encl.



ERA Architects Inc.  
#600-625 Church St  
Toronto ON, M4Y 2G1

**Date:** April 21, 2023 **Sent by:** EMAIL

**To:** Toronto Preservation Board  
City Planning Division, Heritage Planning  
100 Queen Street West, 17th floor, East Tower  
Toronto ON M5H 2N2  
Email: heritageplanning@toronto.ca

**Subject: RE: Item 2023.PB5.3 15 Elm Steet—Objection to Notice of Intention to Designate a Property under Part IV, Section 29 of the Ontario Heritage Act**

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### Summary

The Applicant is not supportive of the proposed designation of 15 Elm Street, and does not agree with the Statement of Significance: 15 Elm Street (Reasons for Designation) as outlined in Attachment 3 to the report (April 12, 2023) from the Senior Manager, Heritage Planning, Urban Design, City Planning.

### Purpose

ERA Architects Inc. (“ERA”) has been retained by 17 Elm GP Inc. (the “Applicant”) to provide heritage consulting services for the property at 15-17 Elm Street in the City of Toronto (the “Site”). The Applicant has requested that ERA prepare this letter to indicate the Applicant’s objection to the proposed designation of 15 Elm Street under Part IV, Section 29 of the Ontario Heritage Act (“OHA”).

### Background

A development application for the property was submitted to the City of Toronto on September 13, 2022 which included a Heritage Impact Assessment (“HIA”) for the Site dated August 18, 2022 (refer to Appendix A). The HIA assessed the relationship of the proposed development to the adjacent heritage resource and the application was deemed complete on November 10, 2022. At the time of the application, 15 Elm Street was not listed on the City of Toronto’s Heritage Register, nor designated under the OHA.

Subsequently, ERA prepared a Cultural Heritage Evaluation Report (“CHER”) for the Site dated December 22, 2022 (refer to Appendix B). In preparing the CHER, ERA evaluated 15 Elm Street using the provincial Criteria for Determining Cultural Heritage Value or Interest as prescribed under Ontario Regulation 9/06 (“O.Reg. 9/06”) and determined that the property does not meet the criteria for cultural heritage value or interest. As such, ERA did not recommend adding the Site to the City of Toronto Heritage Register.

Sincerely,

Dan Eylon, Senior Associate  
ERA Architects Inc.

**Appendix A:** Heritage Impact Assessment for 15-17 Elm Street dated August 18, 2022, prepared by ERA

15-17 ELM STREET

**HERITAGE IMPACT ASSESSMENT**

Issued: August 18, 2022

Project #

22-145 01

Prepared by

AP / DE / CS / BH / CZ

**ERA**

PREPARED BY:

ERA Architects Inc.  
#600-625 Church St  
Toronto ON, M4Y 2G1  
416-963-4497

COVER PAGE: Rendering of the proposed development (Partisans, 2022).

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Refer to architectural drawings by Partisans, dated August 22, 2022.

# 1 INTRODUCTION AND REQUIRED CONTENTS CHECKLIST

## Scope of the Report

ERA Architects Inc. (“ERA”) has been retained by Fora Developments (the “Applicant”) to prepare this Heritage Impact Assessment (“HIA”) for the property at 15-17 Elm Street in the City of Toronto (the “Site”). The purpose of an HIA, as per the City of Toronto HIA Terms of Reference (2021) is to:

*“... assist in the understanding of the cultural heritage value of each existing or potential heritage resource on a site, adjacent to a site or within a Heritage Conservation District (“HCD”), and apply relevant heritage conservation policies and standards in the analysis of the impact of development on its cultural heritage value, and develop mitigation measures to protect it.”*

Various provincial and municipal heritage policies that provide for the conservation of cultural heritage resources have been considered in the preparation of this report. Multiple sources of data have been collected, sorted and analyzed for this assessment. Both primary and secondary sources have been drawn upon, including: historical maps, atlases, city directories, aerial photographs, archival photographs, background research from previous ERA reports and from observations made during a site visit.

A copy of the HIA Terms of Reference and a completed Required Contents Checklist (July 7, 2021) is included in Appendix A.



## 2 STATEMENT OF PROFESSIONAL QUALIFICATIONS

ERA specializes in heritage conservation, architecture, planning and landscape as they relate to historical places. This work is driven by our core interest in connecting heritage issues to wider considerations of urban design and city building, and to a broader set of cultural values that provide perspective to our work at different scales.

In our 30 years of work, we've provided the highest level of professional services to our clients in both the public and private sector out of offices in Toronto, Montreal and Ottawa. We have a staff of more than 100, and our Principals and Associates are members of associations that include: the Ontario Association of Architects ("OAA"), the Ontario Professional Planner's Institute ("OPPI"), the Canadian Association of Heritage Professionals ("CAHP") and the Royal Architectural Institute of Canada ("RAIC").

Personnel involved in the production of this report are listed as follows:

**Andrew Pruss** is a Principal with ERA. He is a member of the Royal Architectural Institute of Canada and have over 30 years of experience in the field of architecture, specializing in heritage architecture for the last 20 years. He has previously been qualified by the Ontario Land Tribunal ("OLT"), the Conservation Review Board (now continued as the OLT), and the Toronto Local Appeal Body in the field of heritage planning and architecture.

**Dan Eylon** is a Senior Associate and Planner with ERA Architects. He received his Master of Arts in Planning from the University of Waterloo after completing a Bachelor of Fine Art at the Ontario College of Art & Design. Dan is a professional member of CAHP.

**Clara Shipman** is an Architect and Planner with ERA. She received her Master of Science in Planning from the University of Toronto after completing a Master of Architecture from McGill University. She is a candidate member of the OPPI.

**Barkley Hunt** is a Project Manager with ERA. He is a heritage professional with two decades of experience in traditional trades and conservation in Ontario.

**Corals Zheng** holds a Master's of Environmental Studies in Planning from York University and she completed her Bachelor of Arts (Hons.) in Political Science and English Literature from the University of Toronto. She is a candidate member of the Ontario Professional Planners Institute.

## 3 EXECUTIVE SUMMARY

### Purpose

ERA Architects Inc. ("ERA") has been retained by Fora Developments (the "Applicant") to prepare this Heritage Impact Assessment ("HIA") for the property at 15-17 Elm Street in the City of Toronto (the "Site"). This report assesses the impact of the proposed development on adjacent heritage resources. The Site is not designated under Part IV or V of the Ontario Heritage Act (the "OHA"), nor is it listed on the City of Toronto's Heritage Register. The Site is adjacent to 14 and 18 Elm Street, which are designated under Part IV of the OHA.

### Proposed Development

The proposed development will modify the Site to accommodate a new mixed-use tower. Access to the residential lobby and ground floor retail space will be provided from Elm Street on the north elevation. Vehicular access will be provided along Elm Street from a laneway running north-south which connects to a laneway running east-west at the rear. The driveway will enlarge the existing laneway. Above the ground floor level, the tower floor plate incrementally increases in size until it is regularized.

### Proposed Conservation Strategy, Impacts and Mitigation

The proposed development has no direct physical impacts on the adjacent heritage properties and responds to the surrounding context and intensification in the area. The proposed development has no visual impact to the adjacent heritage properties given its location on the opposite side of Elm Street and the presence of other tall buildings in the immediate vicinity which means the proposed development will not affect the visibility of the heritage resources and the surrounding context. The proposed building is located at a distance and is designed to a height that it will not have an impact on the identified heritage building view identified in the City of Toronto Official Plan. More specifically, the tower will not be visible from the southwest and southeast corners of Bay and Temperance Streets looking north to towards the roofline and clock tower of the Old City Hall.

### Conclusion

There are no anticipated heritage impacts associated with the proposed development on the adjacent heritage resources.

## 4 PROPERTY OWNER

Property owner information and proof of owner consent are provided in Appendix B.

## 5 OWNER'S REPRESENTATIVE/AGENT

Lyle Levine  
Fora Developments  
200-2440 Dundas Street W  
Toronto, ON  
M6P 1W9

Letters of authorization are provided in Appendix B.

## 6 LOCATION PLAN



Figure 1: Aerial map of the Site showing a 300 metre radius (ESRI, 2020; annotated by ERA)

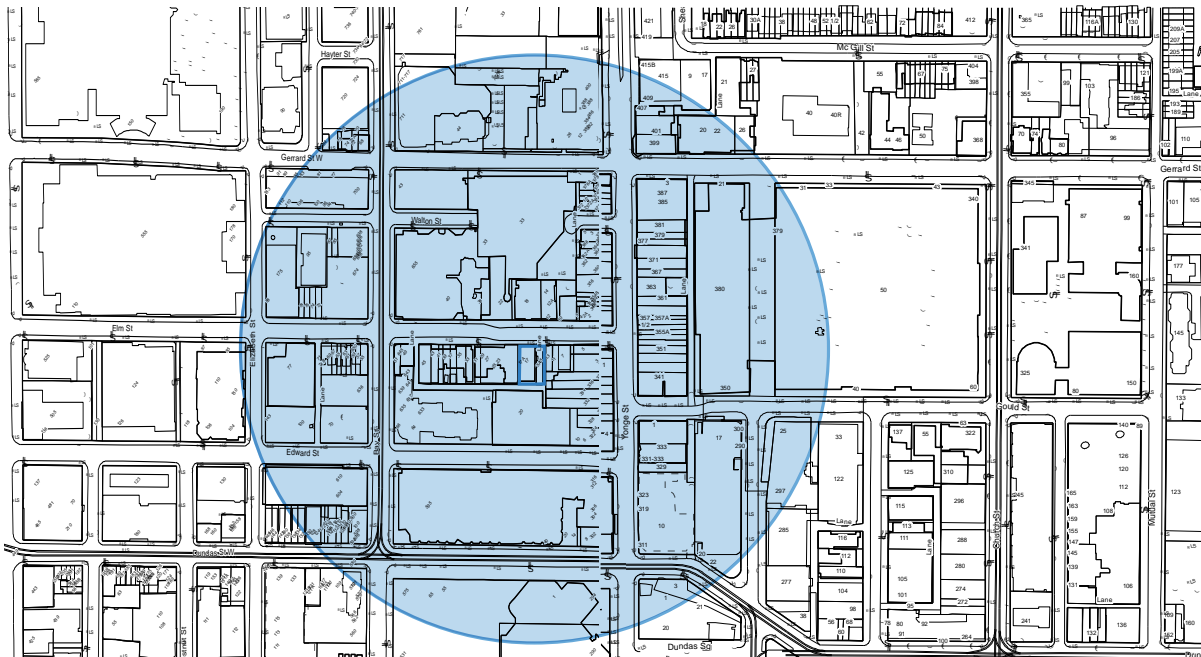


Figure 2: Property data map of the Site showing a 300 metre radius (City of Toronto Property Data Map, 2014; annotated by ERA)

## 7 CULTURAL HERITAGE EVALUATION REPORT

This section is not required as the Site is not listed on the City of Toronto's Heritage Register or designated under the OHA therefore, a CHER is not required as part of this submission.

## 8 DESCRIPTION OF ON-SITE HERITAGE RESOURCES

This section is not required as the Site is not listed on the City of Toronto's Heritage Register or designated under the OHA. The Site is not identified on the City of Toronto's archaeological potential map.



Figure 3: Archaeological potential map with the Site outlined in blue (City of Toronto, 2020)

## 9 HISTORIC PHOTOGRAPHS AND VISUAL RESOURCES

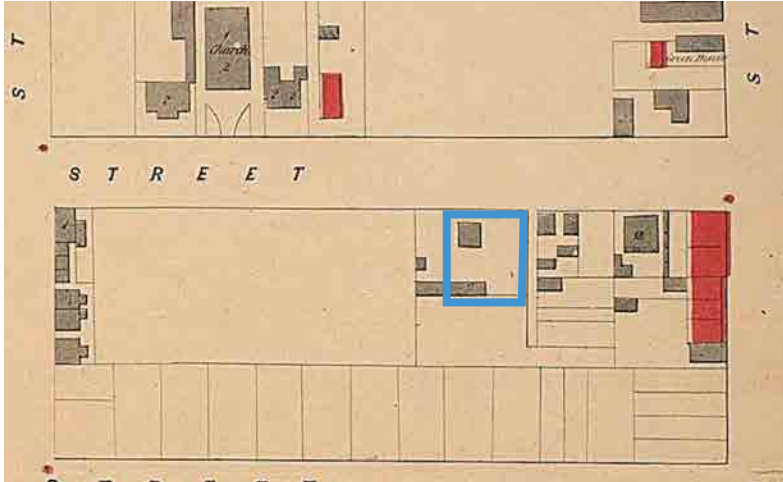


Figure 4: In 1858, the Site contained wooden structures (Boulton's Atlas, 1858; annotated by ERA).

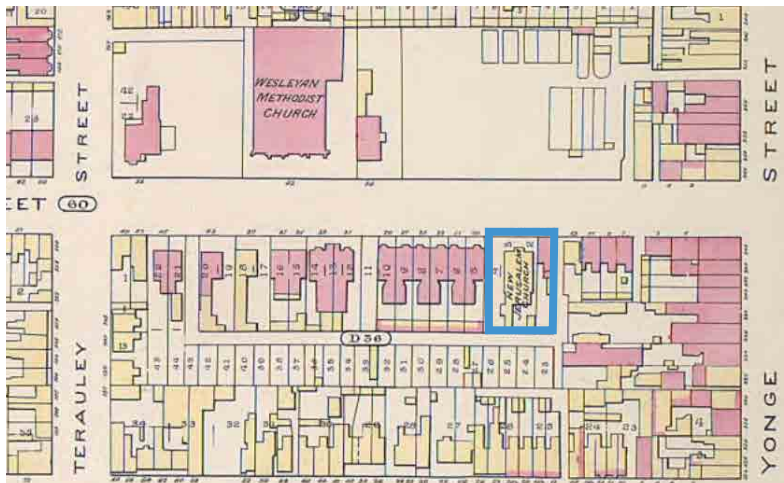


Figure 5: The Site contains two structures constructed between 1869 and 1870. The 1870 City Directories list Robert Kennedy and the Ontario Seminary as occupants of 9 Elm Street (later 15 Elm Street). Between 1879 and 1880, the municipal address of 15 Elm Street was split into 15 and 17 Elm Street, with the New Jerusalem Church occupying 17 Elm Street (Goad's Atlas, 1884; annotated by ERA).

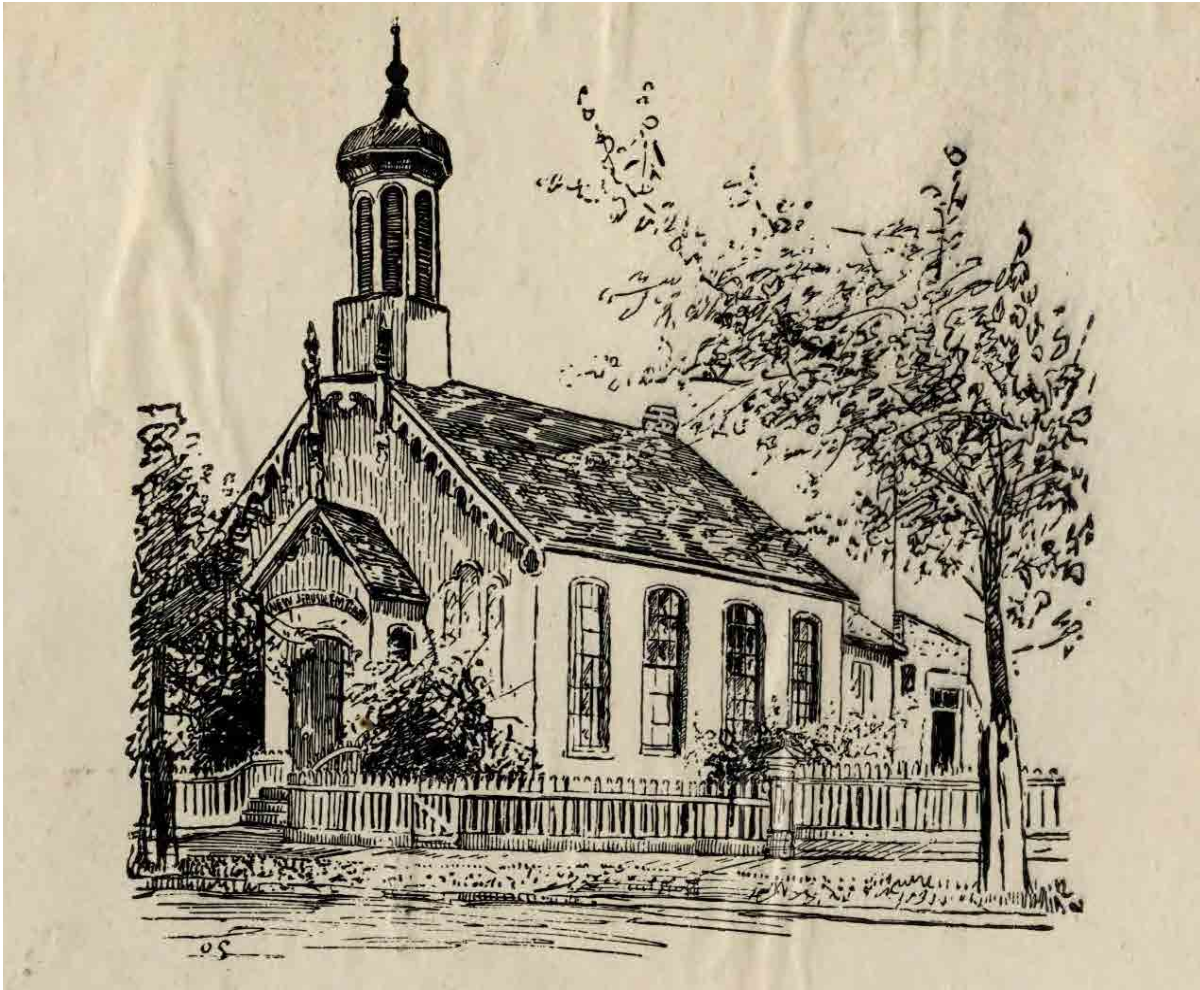


Figure 6: Sketch of the New Jerusalem Church by Owen Staples (TPL, 189-).

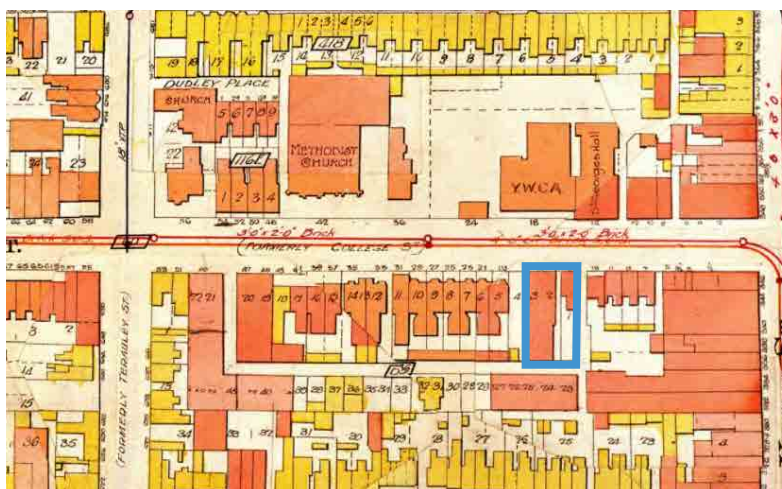


Figure 7: Between 1920 and 1921, the building that housed the former New Jerusalem Church, identified in 1920 as a synagogue, was demolished and a new building was constructed between 1921 and 1922 for a veterinarian. Archival newspapers detail the demolition of 17 Elm Street for \$150<sup>1</sup> in 1920 (Goad's Atlas, 1924; annotated by ERA).

1. "Building Permits," Toronto Daily Star, March 25, 1920, pp. 3.



Figure 8: Looking east towards Yonge Street with 18 Elm Street on the left and the Site to the south (City of Toronto Archives, 1952).



Figure 9: By 1970, the wood-framed and masonry structures near the Site had been demolished and the properties were used as surface parking lots. (City of Toronto, Aerial Image, 1970; annotated by ERA).



Figure 10: The north elevation of the Site (City of Toronto Archives, 1978-1980).





Figure 11: The north and west elevation of 17 Elm Street (City of Toronto Archives, 1978-1980).



Figure 12: By 1992, surrounding hotels and high-rise residential and office space to the north and west of the Site had been constructed, replacing a series of low-rise buildings. A high-rise residential property had also been constructed west of the Site (City of Toronto, Aerial Image, 1992; annotated by ERA).



Figure 13: There is no significant development change on the Site between 1992 and 2019. Development continues to occur in the surrounding area (Google Earth, 2019; annotated by ERA).

## 10 CURRENT PHOTOGRAPHS

The following pages include photos from a visit to the Site on July 7, 2022.

### Context



Figure 14: Context photo of the Site looking south from Elm Street (ERA, 2022).



Figure 15: Context photo of the Site looking northeast from Elm Street (ERA, 2022).



Figure 16: Context photo of the Site looking southeast from Elm Street (ERA, 2022).

## 15 Elm Street Elevations



Figure 17: North elevation (ERA, 2022).



Figure 18: West elevation (ERA, 2022).



Figure 19: Partial east elevation (ERA, 2022).



Figure 20: South elevation (ERA, 2022).

## 17 Elm Street Elevations



Figure 21: North elevation (ERA, 2022).



Figure 22: Partial east elevation (ERA, 2022).

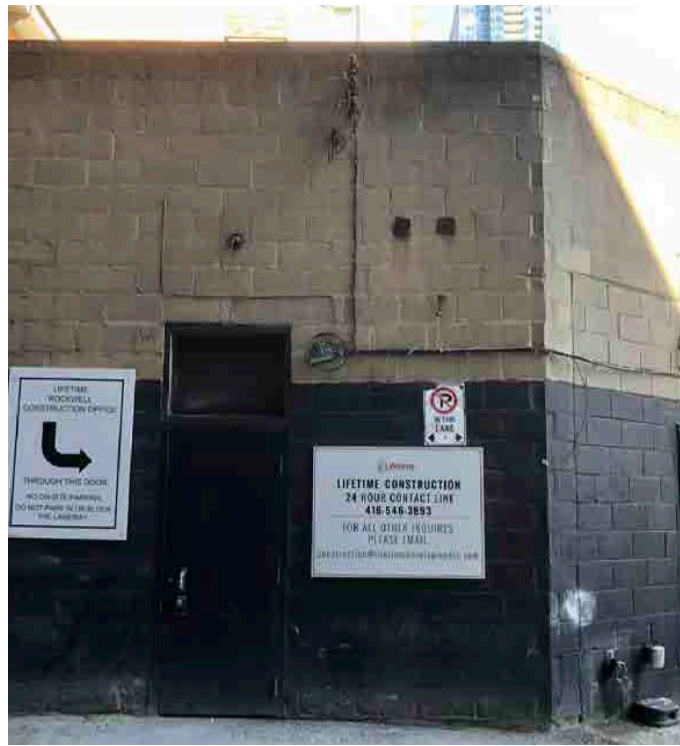


Figure 23: The western portion of the south elevation (ERA, 2022).



Figure 24: The Eastern portion of the south elevation (ERA, 2022).



Figure 25: South elevation (ERA, 2022).

## 11 DESCRIPTION OF SURROUNDING NEIGHBOURHOOD



Figure 26: Aerial view of the Site showing the surrounding context (Google Earth, 2019; annotated by ERA).

The Site contains two properties, 15 and 17 Elm Street. The Site is located mid-block on the south side of Elm Street between Yonge Street and Bay Street, in the Yonge-Bay Corridor neighbourhood of Toronto. The Site contains a two-storey houseform building (15 Elm Street) and a one-storey commercial building (17 Elm Street) with a laneway running along the east(side) and south (rear) property lines. The Site is located less than 500 metres from both College Subway Station to the north and Dundas Subway Station to the south. To the east is Toronto Metropolitan University’s downtown Toronto campus. To the west of the Site is the “Discovery District” with a concentration of hospitals and research institutions. There is ongoing development within the surrounding area of the Site.

The block in which the Site is situated comprises a mix of high-rise residential and commercial buildings built in the 1970s, and low-rise commercial buildings built in the late 1800s with retail at grade and residential or office uses above. Elm Street is characterized by residential and retail uses. The block frontages range in length from 4.8 to 68.6 metres with a median of 6.1 metres. In the immediate area:

- To the north and across the street are low- and mid-rise commercial and institutional buildings, with a high-rise hotel beyond;
- To the east is a laneway and a low-rise commercial building, with low-rise commercial buildings beyond.
- To the south are low- and high-rise commercial and residential buildings, and;
- To the west is a high-rise residential building, with low-rise commercial buildings beyond.

## 12 DESCRIPTION OF ADJACENT HERITAGE PROPERTIES

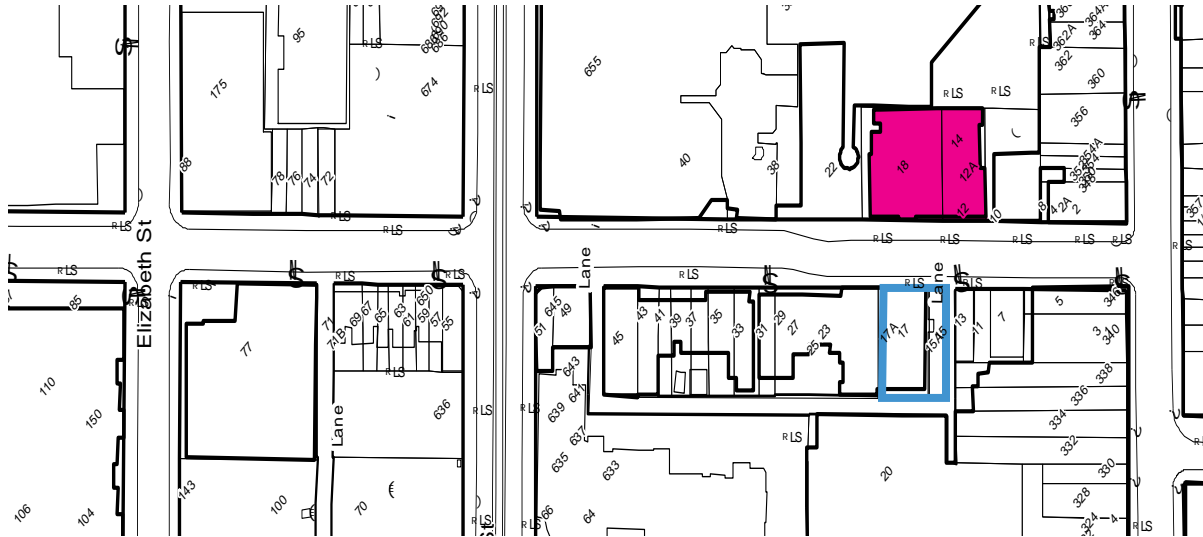


Figure 27: City of Toronto Property Data Map showing the adjacent heritage resources (Property Data Map, 2014; annotated by ERA 2021).



The Site is adjacent to 14 Elm Street and 18 Elm Street. A copy of their respective designation by-law can be found in Appendix C.

### Adjacent Heritage Properties Summary Table

Address	Date Listed	Date Designated Under Part V	Heritage Easement Agreement	By-law
14 Elm Street	June 20, 1973	November 26, 1975	CA182942	513-75
18 Elm Street	June 20, 1973	April 17, 1979	NA	334-79

Figure 28: Table summarizing the adjacent heritage resources (City of Toronto Heritage Register, 2022).

**Adjacent** “means those lands adjoining a property on the Heritage Register or lands that are directly across from and near to a property on the Heritage Register and separated by land used as a private or public road, highway, street, lane, trail, right-of-way, walkway, green space, park and/or easement, or an intersection of any of these; whose location has the potential to have an impact on a property on the heritage register; or as otherwise defined in a Heritage Conservation District Plan adopted by by-law.” (Official Plan, Chapter 3)



**14 Elm Street**, also referred to as the Arts and Letters Club and the St. George's Hall building, is located across Elm Street to the north of the Site and was designated in 1975 for its historic and architectural value or interest. The following is an excerpt from the property's designation By-law 513-75:

*"The St. George's Hall building, 14 Elm Street (N); 1891, alterations c. 1920 for the Arts & Letters Club by Sproatt & Rolph, is designated to be of architectural and historic value as a very good example of the progressive Gothic style as practised [sic] at the end of the nineteenth century. The interior of the Arts and Letters Club meeting room is moreover a fine example of the Beaux Arts Tudor style by a Toronto firm of international importance. The building is also of historic importance for its long association with the most progressive movements of Canadian art, literature and design. It is also significant in terms of streetscape as part of a grouping with the Elm Grove Hotel to the east [sic] and a row of three shops to the west [sic]."*

**18 Elm Street**, the current Elmwood Spa and formerly the Y.W.C.A, is located across Elm Street to the north of the Site and was designated on architectural grounds in 1979. The following is an excerpt from the property's designation By-law 334-79:

*"The property at No. 18 Elm Street (The Elmwood Hotel, later Y.W.C.A.) is designated on architectural grounds. The Elmwood Hotel, built in 1890, is a fine example of the late Victorian style. It was altered in 1899 by Gordon and Helliwell, Architects. The design is dominated by a central projecting tower with bell-cast roof and an arched recessed entrance with steps at street level. Built of brick with ashlar stone base, trim and elaborately carved stone pilaster capitals, it is an important landmark."*

## Current Photographs of Adjacent Heritage Properties

### 14 Elm Street



Figure 29: South elevation and partial east elevation (ERA, 2022).



Figure 30: Partial west elevation (ERA, 2022).



Figure 31: North and partial west elevation (ERA, 2022).



Figure 32: Partial east elevation (ERA, 2022).

## 18 Elm Street



Figure 33: South elevation (ERA, 2022).



Figure 34: South and partial west elevation of 18 Elm Street (ERA, 2022).



Figure 35: West elevation (ERA, 2022).



Figure 36: Partial north elevation (ERA, 2022).

## Historic Photographs of Adjacent Heritage Properties



Figure 37: South and east elevation of 14 Elm Street (City of Toronto, 1919).



Figure 38: View of the 14 Elm Street as seen in 1975, looking northeast from Elm Street (City of Toronto Archives, 1975).



Figure 39: View of south elevation of the 14 and 18 Elm Street as seen between 1978-1980, looking northwest from Elm Street (City of Toronto Archives, 1978-1980).



Figure 40: 18 Elm Street as seen in 1982, looking east from Elm Street to Yonge Street. The rear addition had been constructed in 1982 (City of Toronto Archives, 1982).



Figure 41: 18 Elm Street as seen in 1982, looking west from Yonge Street. 8 and 14 Elm Street can be seen in the foreground (City of Toronto Archives, 1982).

## 13 CONDITION ASSESSMENT

The Site does not contain a property that is listed on the City of Toronto Heritage Register, or designated under the Ontario Heritage Act, as such a condition assessment is not required. Notwithstanding the above, a condition assessment has been provided for information purposes.

### GENERAL

The following condition assessment was completed by ERA on July 22, 2022 for 15 and 17 Elm Street. The condition assessment was completed through a visual inspection and photo documentation of building elements including exposed wall areas below and above grade, roofing, openings, and other miscellaneous components. It did not include destructive testing. The building was viewed from grade, roof as well as interior floor levels.

This assessment provides an evaluation of 15 and 17 Elm Street. The main focus of the assessment is to examine the building's exterior envelope and interior condition, and document forms of damage and deterioration. For this condition assessment, the building components were graded using the terms found in the sidebar.

### 15 ELM STREET



Figure 42: North elevation (ERA, 2022).

### Overview

15 Elm Street has been adapted to suit both commercial and residential use. The original building is brick and wood construction with multiple additions over the years built with concrete block. The ground floor openings have been modified to suit commercial use. Most masonry surfaces have been painted on interior and exterior surfaces.

### DEFINITION OF TERMS

The building components were graded using the following assessment system:

**Good:** Normal Result. Functioning as intended; normal deterioration observed; no maintenance anticipated within the next five years.

**Fair:** Functioning as intended. Normal deterioration and minor distress observed; maintenance will be required within the next three to five years to maintain functionality.

**Poor:** Not functioning as intended; significant deterioration and distress observed; maintenance and some repair required within the next year or two to restore functionality.

**Defective:** Not functioning as intended; significant deterioration and major distress observed, possible damage to support structure; may present a risk; must be dealt with promptly.



## North Elevation

Brick units are generally in poor condition throughout the principal elevation. There is surface spalling, previous repairs and the wall is painted. Wood sills and shutters appear to be in fair condition. Second floor windows are in poor condition. Upper wood soffit and fascia are also in poor condition.



Figure 43: Aluminium storefront with glazing in poor condition (ERA, 2022).



Figure 44: Wood shutters and sill in fair condition (ERA, 2022).



Figure 45: Second floor aluminium door with heavy steel angle and deteriorated brick in poor condition (ERA, 2022).

## East Elevation

The east elevation is parged for the first four feet and the brick wall is double brick with wood sash windows. The brick is painted and in poor condition. Recessed joints and brick spalling exist on half of the entire wall surface. The concrete block on the rear extension is also in poor condition with cracking and failed joints. Windows, either wood or steel, with multiple panes and range from defective to poor condition.



Figure 48: Parging at grade with exterior grade in poor condition (ERA, 2022).



Figure 46: Third floor brickwork missing mortar and defective in condition (ERA, 2022).

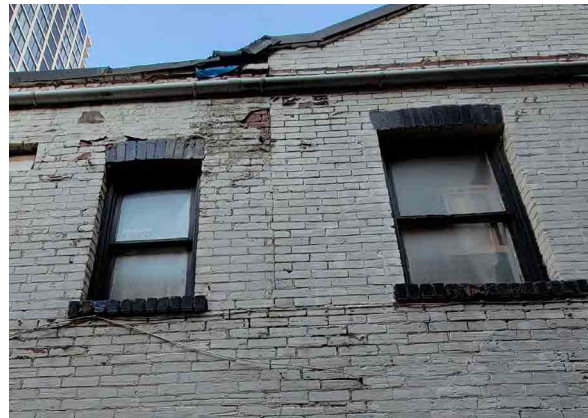


Figure 47: Wood windows, deteriorated brickwork in poor condition (ERA, 2022).



Figure 49: Rear steel windows are defective with rust and cracked panes (ERA, 2022).

## West Elevation

Similar to other elevation bricks, units are generally in poor condition throughout the west elevation. Previous repairs and cement block additions at the rear of the building are in poor condition. The wall surface is painted.



Figure 50: Open masonry with wood infill and windows ranging from poor to defective (ERA, 2022).

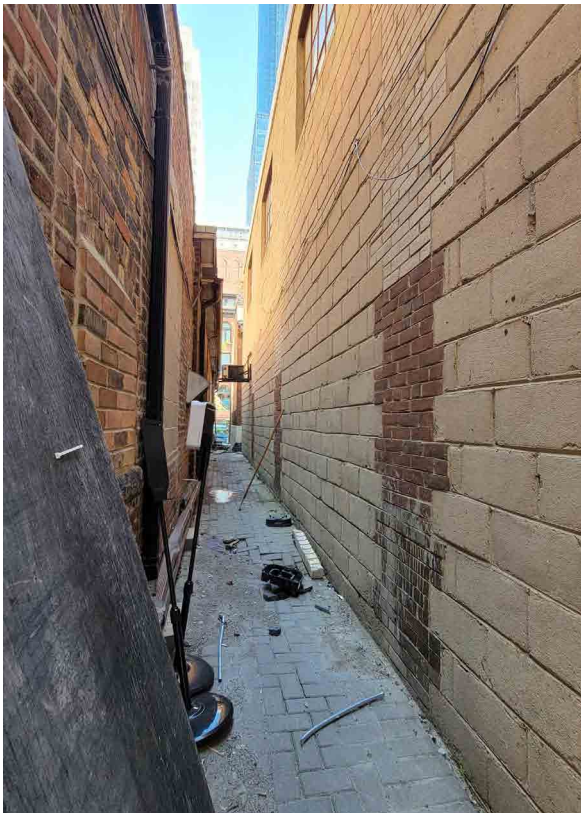


Figure 52: View looking south to rear alley (ERA, 2022).

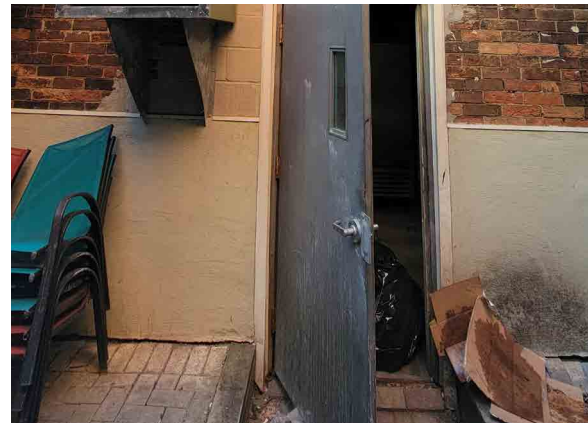


Figure 51: Steel door and masonry repairs (ERA, 2022).

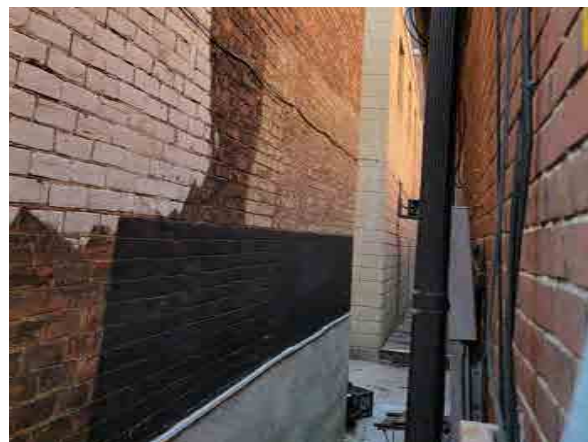


Figure 53: Painted brick and parking in poor condition (ERA, 2022).

### South Elevation

The south elevation is a mix of painted brick and concrete block in poor condition. Metal flashing and steel windows appear to be defective. There are deep voids in mortar joints, cracking and holes in the masonry.



Figure 54: The south East corner is in poor condition (ERA, 2022).

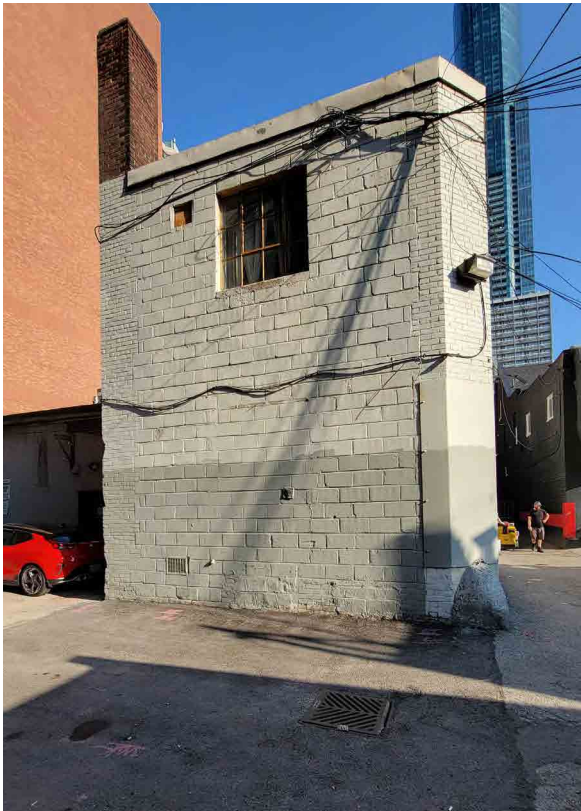


Figure 55: Rear masonry wall at grade is defective (ERA, 2022).

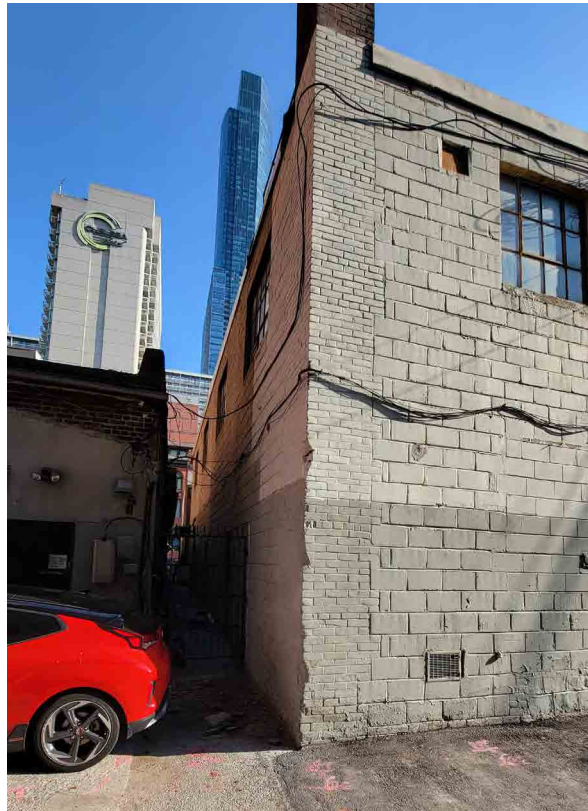


Figure 56: Chimney and corner brickwork are in poor condition (ERA, 2022).

## Roof

The gable roof has asphalt shingles that are in poor condition with a sagging sub-roof and sheathing. The rear cement block addition has a built up membrane with pebble finish. Painted metal flashing is in poor condition.



Figure 57: Built up roof system with pebble surface (ERA, 2022).



Figure 58: Parapet wall with metal flashing (ERA, 2022).

## Interior Structure & Finishes

The foundation walls in the basement consist of rubble and lime mortar. The walls are in poor condition. There are painted surfaces, with signs of water infiltration, efflorescence and mold.

The restaurant on the ground floor extends to the rear wall and entry. The tile floors and suspended ceiling are in fair condition. Masonry walls are painted and in fair condition.

The second floor includes a mix of wall finishes and new stud frame and drywall partitions. A drop ceiling with commercial ventilation are in poor condition. Windows are generally in poor condition, with some defective windows.



Figure 59: Wood posts shoring up sagging floor (ERA, 2022).



Figure 60: Restaurant interior in fair condition (ERA, 2022).



Figure 61: View of north elevation front office (ERA, 2022).

## 17 ELM STREET



Figure 62: North elevation (ERA, 2022).

### Overview

17 Elm Street is a single storey brick building that has been used as a commercial entertainment and event space. There is a cement block addition. The roof is a built up bitumen membrane with pebble finish.

## North Elevation

The principal elevation has been clad with cement stucco over the brick wall. The stucco is in poor condition. The first three feet of the wall is covered with a corrugated metal panel. Cement repairs are visible as well as paint peeling throughout. Overall the condition of the north elevation is poor.



Figure 63: Aluminium doors and vestibule with glazing in fair condition. Cement stucco repairs visible. Stone step is in poor condition (ERA, 2022).



Figure 64: Black metal flashing and a painted stone sill in poor condition (ERA, 2022).



Figure 65: Stucco and cement repair (ERA, 2022).



Figure 66: Separate entrance with steel door in poor condition (ERA, 2022).



## East and West Elevations

The east and west elevations is in poor condition with defective areas. Heavy spalling with brick and stone mortar loss is prominent across the majority of the wall surface. The soffit and fascia with eaves troughs and downspouts are in poor condition.



Figure 69: Parping with parapet wall is in poor condition (ERA, 2022).



Figure 67: Areas of the east brick wall and concrete block infill is in defective condition (ERA, 2022).



Figure 68: Spalled brick and damaged sills have no mortar, allowing water to enter the wall (ERA, 2022).



Figure 70: Mortar loss and defective masonry on the east elevation (ERA, 2022).

## South Elevation

The south elevation is a mix of parged brick and concrete block in poor condition. Metal flashing and steel doors are in poor condition. The rear chimney is visible from the south elevation and in poor condition.



Figure 71: The south east corner is in poor condition (ERA, 2022).

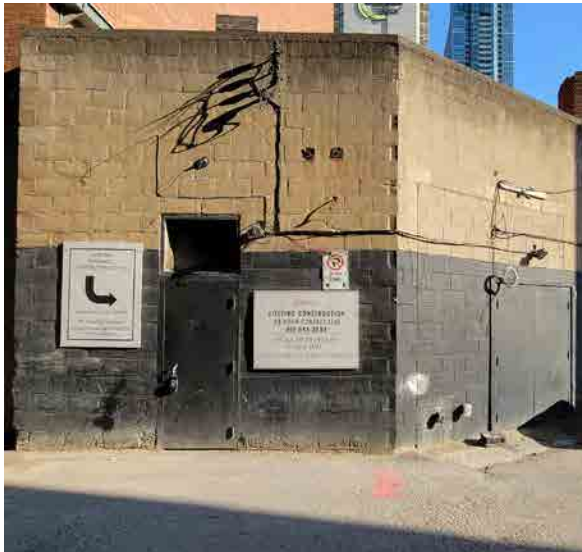


Figure 72: Rear masonry wall at grade is defective (ERA, 2022).

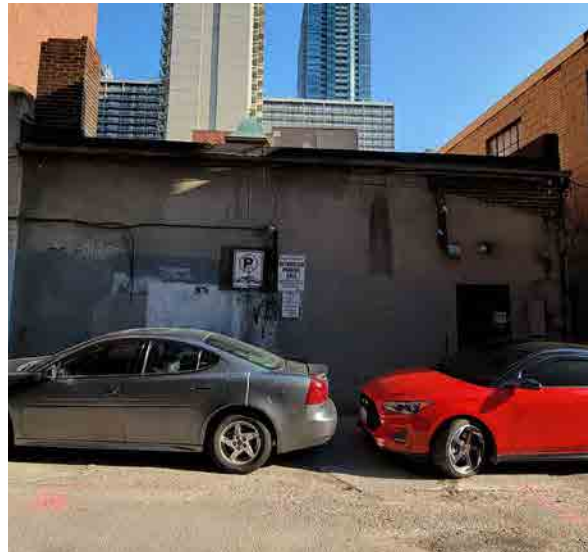


Figure 73: Chimney and corner brickwork are in poor condition (ERA, 2022).

## Roof

The built up membrane roof with pebble finish is in poor condition. The roof is split down the middle with a metal flashed parapet wall. The roof appears to be in poor condition.



Figure 74: Painted metal flashing and pebble finish roof in poor condition (ERA, 2022).

## Interior Structure & Finishes

The building has been used as a social gathering venue and bar. Interior walls are a combination of wood, drywall and tile. The bar, rear kitchen, and employee rooms are in fair condition. The overall condition of the interior is fair.



Figure 75: Interior floors and surfaces are clean and in fair condition (ERA, 2022).



Figure 76: Materials are mixed and dated with dropped ceiling and carpet floor (ERA, 2022).

## 14 DESCRIPTION OF PROPOSED DEVELOPMENT

The proposed development seeks to intensify the Site with the construction of a new mixed-use tower fronting onto Elm Street. The two existing buildings on Site will be demolished.

The ground floor level of the proposed development will include retail space with above ground access from Elm Street, and a central residential lobby with an entrance from Elm Street. Levels 2 to 20 and Level 22 and above contain residential uses. Level 21 contains indoor and outdoor amenity uses. Vehicular access to garbage, loading, and to underground parking is provided from a drive aisle along the eastern portion of the Site running north-south and which widens the existing laneway.

The base of the tower is setback from the property line along Elm Street and from the east property line to allow for the drive aisle. Above the ground floor level, the tower floor plate incrementally increases in size until it is regularized and cantilevers over the ground floor level before stepping back at Levels 10 and 21.

The design of the building includes a rhythm of narrow bays that undulate both horizontally and vertically to reinforce the slender design of the tower and creates visual interest. Retail and lobby entrances on the north elevation are designed with facade articulation and clear glazing to maintain an animated street frontage. Recessed entries and architectural detailing help punctuate the elevation with a finer-grained rhythm for an enhanced pedestrian experience.

Select plans and elevations from the architectural package by Partisans are provided over the following pages to illustrate the proposed development. As there is no heritage resource on the Site, annotated drawings are not required.

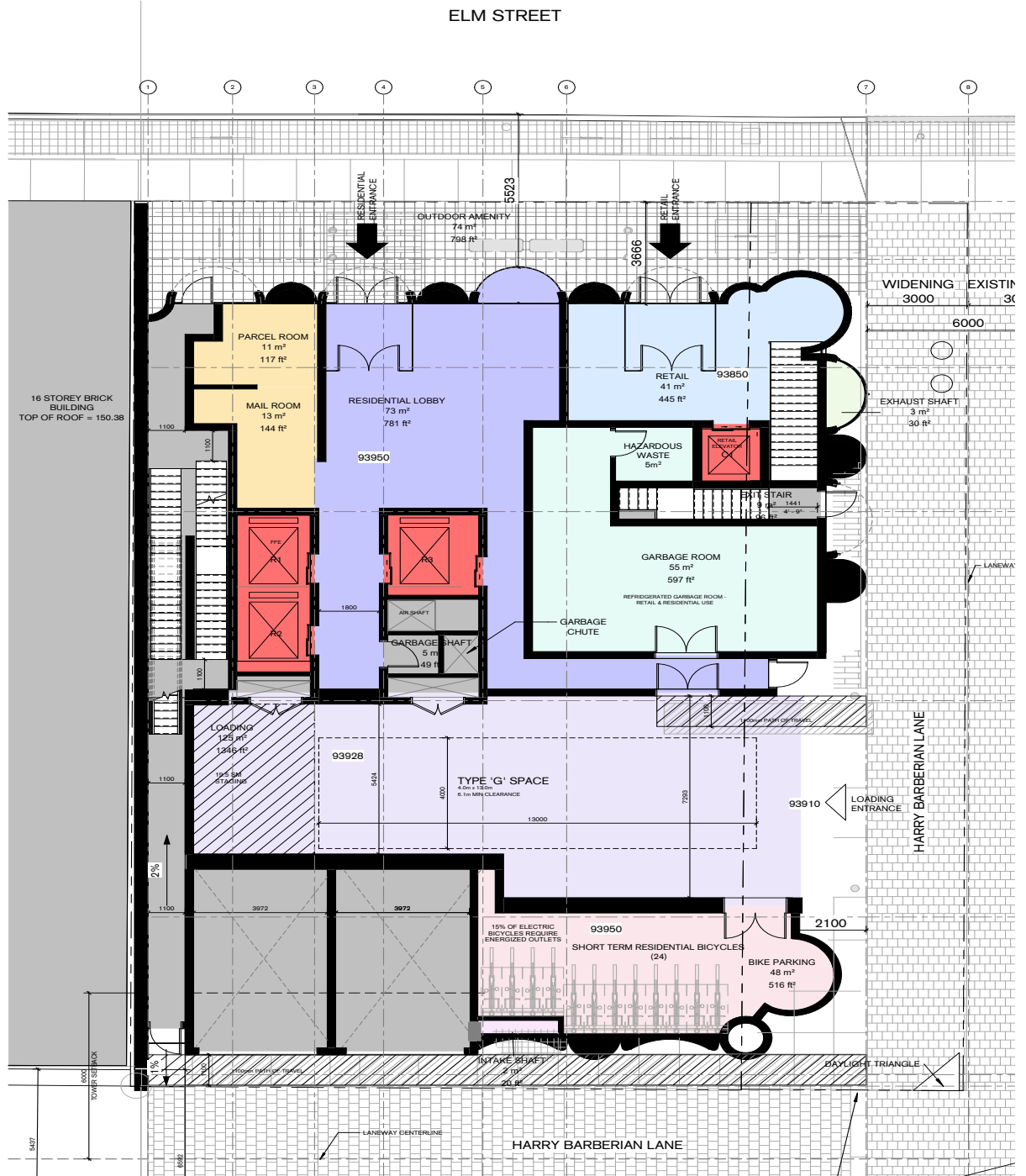


Figure 77: The ground floor plan (Partisans, 2022).

## Elevations

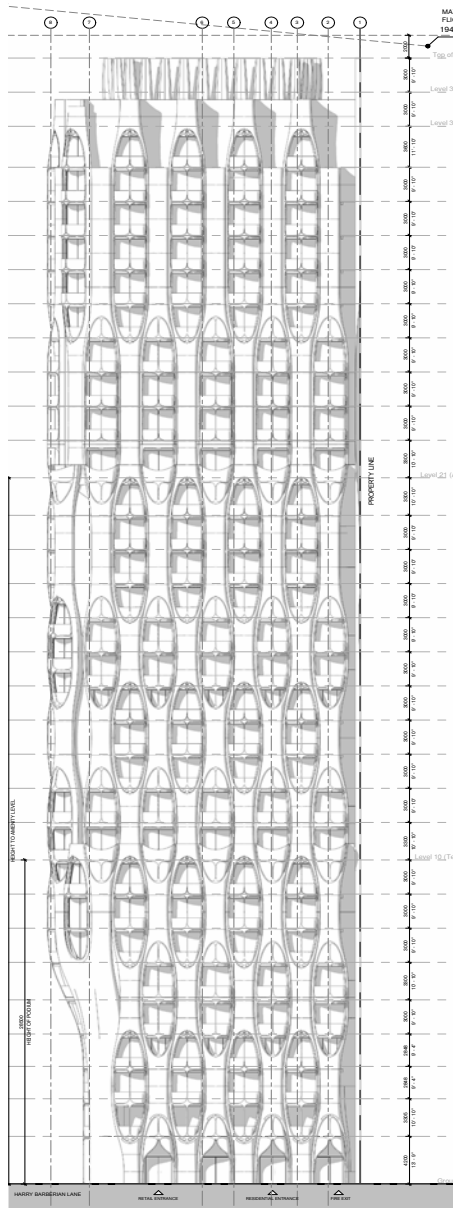


Figure 78: Proposed north elevation (Partisans, 2022).

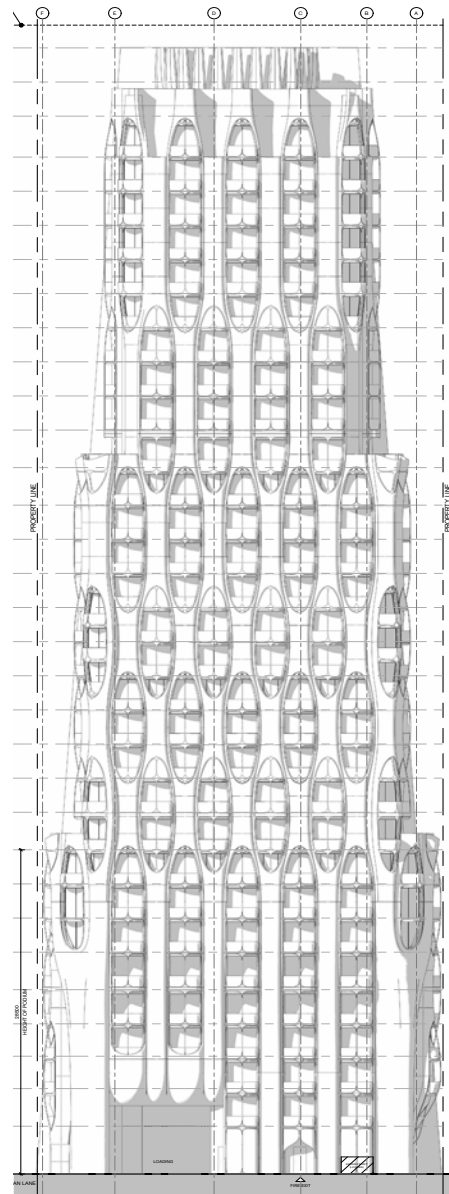


Figure 79: Proposed east elevation (Partisans, 2022).

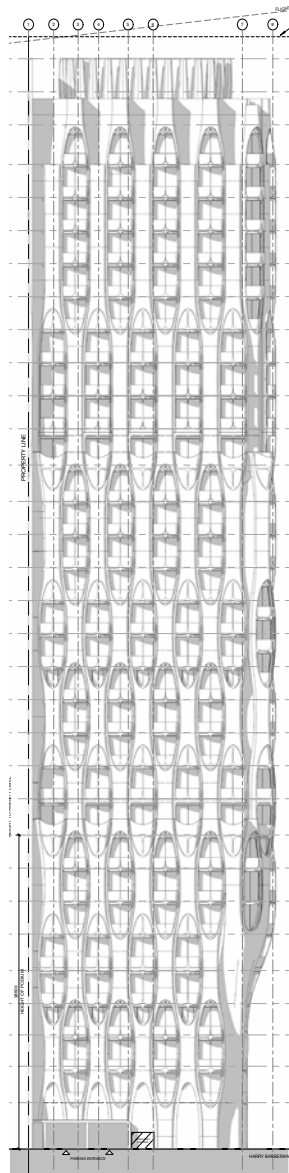


Figure 80: Proposed south elevation (Partisans, 2022).

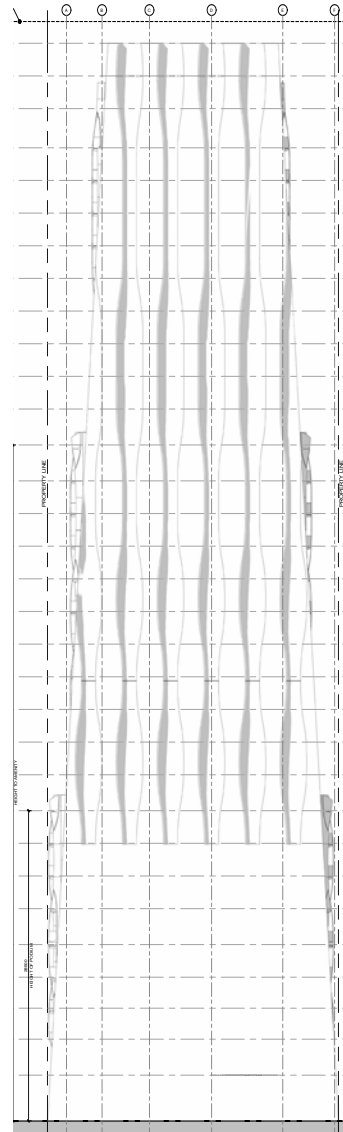


Figure 81: Proposed west elevation (Partisans, 2022).

## 15 DEMOLITION

The OHA does not define the term demolition or removal. The City of Toronto Official Plan defines demolition and removal as follows:

“Demolition: is the complete destruction of a heritage structure and property from its site, including the disassembly of structures and properties on the Heritage Register for the purpose of reassembly at a later date.”

"Removal: is the complete and permanent dislocation of a heritage resource from its site, including relocation of structures to another property."

Given that none of the properties on Site are currently included on the heritage register, nor designated under the OHA, the proposal does not contemplate demolition or removal under the OHA or Chapter 103 of the City of Toronto Municipal Code.



## 16 ANALYSIS OF THE IMPACT OF DEVELOPMENT OR SITE ALTERATION

This section evaluates the impacts and mitigation of the proposed redevelopment on the cultural heritage value and attributes of the adjacent heritage properties.

The Site is not listed on the City of Toronto's Heritage Register or designated under the OHA. As such, selecting a conservation treatment for the Site based on the Parks Canada *Standards and Guidelines for the Conservation of Historic Places in Canada* is not required as it does not contain a heritage resource.

Relevant legislation, policies and guidelines have been applied when considering the impact and mitigation for proposed alterations affecting the cultural heritage value and attributes of the adjacent heritage properties. The following were among the sources reviewed in preparing this HIA:

### Legislation

- The Ontario Heritage Act (R.S.O. 1990)
- The Planning Act (R.S.O. 1990)

### Land Use Policy

- The Provincial Policy Statement (2020)
- A Place to Grow: Growth Plan for the Greater Golden Horseshoe (2019) as amended in 2020
- City of Toronto Official Plan (consolidated April 2021)
- Downtown Plan (2019)

### Heritage Registers

- Toronto Heritage Register

### Guidelines

- Standards and Guidelines for the Conservation of Historic Places in Canada
- City of Toronto Tall Building Guidelines (2013)

A review of the above noted policies that are applicable to this HIA can be found in Appendix D.

## Identified Views

The City of Toronto Official Plan (consolidated April 2021) states the following regarding the protection of heritage views:

**3.1.5.44:** The view to a property on the Heritage Register as described in Schedule 4 will be conserved unobstructed where the view is included on Map 7a or 7b.

**3.1.5.45:** The Queens Park Legislative Assembly, Old City Hall and City Hall are public ceremonial sites of exceptional importance and prominence. Protection of views from the public realm to these three properties, identified on Maps 7a and 7b, will include the prevention of any further intrusions visible above and behind the building silhouette, as well as protecting the view to the buildings from any further obstruction. The identified views from the public realm, to and beyond these properties, will be conserved.

**3.1.5.46:** A Heritage Impact Assessment may be required where a development application may have an impact on a view described on Schedule 4, Section A as a heritage building, structure or landscape identified on Map 7a or 7b, to the satisfaction of the City. Views identified on Maps 7a and 7b may also need to be assessed for their potential cultural heritage value.

The Site is within the view corridor A2 of Old City Hall, a view which is marked with an [H] and identified as a view of a heritage property. Schedule 4 of the Official Plan describes the views identified on maps 7a and 7b of the Official Plan, with those marked with [H] subject to the view protection policies of section 3.1.5 of the Official Plan. View A2 is described within Schedule 4, Section A entitled "Prominent and Heritage Buildings, Structures & Landscapes" as follows:

### A2. Old City Hall [H]

The view of Old City Hall includes the main entrance, tower and cenotaph as viewed from the southwest and southeast corners at Temperance Street and includes the silhouette of the roofline and clock tower. This view will also be the subject of a comprehensive study.



Figure 82: Map 7B from the Official Plan, showing identified views of the Downtown and Central Waterfront from the public realm. The location of the Site is indicated with a blue arrow (City of Toronto, 2021).

## 16.1 Impacts, Rationale and Mitigation

The proposed development will remove the existing buildings on the site and replace them with a new mixed-use tower. Given the Site is not listed on the City of Toronto's Heritage Register or designated under the OHA, the Site is not currently recognized as having cultural heritage value or interest, an evaluation of the impacts of the proposed development on the cultural heritage value of the Site is not required. The relationship of the proposed development to the adjacent resources is assessed below.

### Adjacent Heritage Buildings

There are two adjacent properties that are designated under Part IV of the OHA: 14 and 18 Elm Street.

The proposed development is located across the street from the Arts and Letters Club at 14 Elm Street and the Elmwood Spa at 18 Elm Street, thus there is no visual or physical impact. The proposed development is physically and visually separated from the Arts and Letters Club and Elmwood Spa by Elm Street. The buffer between the Arts and Letters Club, Elmwood Spa and the Site helps ensure the adjacent properties are unaffected by the proposal. While separated by the street, the proposed development incorporates design elements that relate to the adjacent heritage resources. The arched lobby and retail entrances at grade are a contemporary reference to the arched windows and entrance openings of the adjacent heritage resources. The regular bay rhythm of the proposed development are similar the regular rhythm of bays found in the adjacent buildings. The proportion of the oval balcony units relates to the height of the heritage buildings. The overall tower design and the use of contemporary materials will provide a juxtaposition to the turn of the century buildings and traditional materials utilized in the adjacent heritage buildings.

The diagrams over the following pages demonstrate the relationship of the proposed development to the adjacent heritage resources.

The construction of the proposed development will not impede the ability to stand on the south side of Elm Street and look at the heritage resources at 14 and 18 Elm Street and their context. The proposed development does not affect one's ability to view the heritage resources east and west of the Site along Elm Street as there are other tall buildings in the immediate vicinity. ERA has reviewed the listing descriptions for 14 and 18 Elm Street. There are no anticipated heritage impacts on the adjacent heritage resources.

## Pattern of Bays

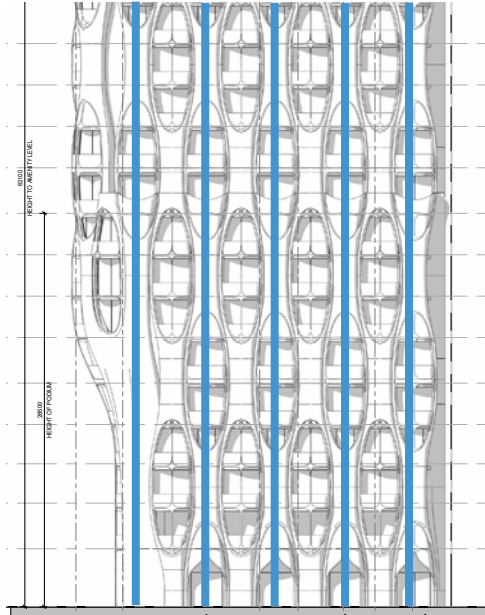


Figure 83: Proposed north elevation (Partisans, 2022).



Figure 84: The south facade of 18 Elm Street (ERA, 2022).



Figure 85: The south facade of 14 Elm Street (ERA, 2022).

## Arched Entrances and Bays

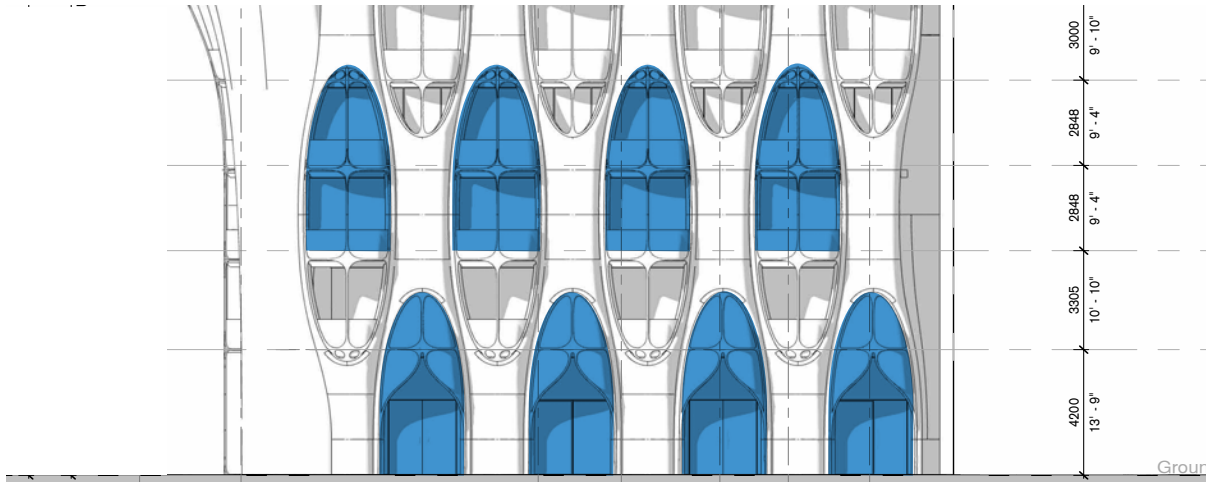


Figure 86: Proposed north elevation (Partisans, 2022).



Figure 87: The south facade of 18 Elm Street (ERA, 2022).



Figure 88: The south facade of 14 Elm Street (ERA, 2022).

### Identified Views

The proposed building is located at a distance and within a context such that it will not obstruct or have an impact on the identified view A2 in the Official Plan from the southwest and southeast corners of Bay and Temperance Streets looking north to the silhouette of the roofline and clock tower of the Old City Hall. The proposed development is located approximately 500 metres north of Old City Hall. A new tall building constructed at 20 Edward Street immediately south of the Site is taller than the proposed development.



Figure 89: The building immediately south of the Site at 20 Edward Street (ERA, 2022).

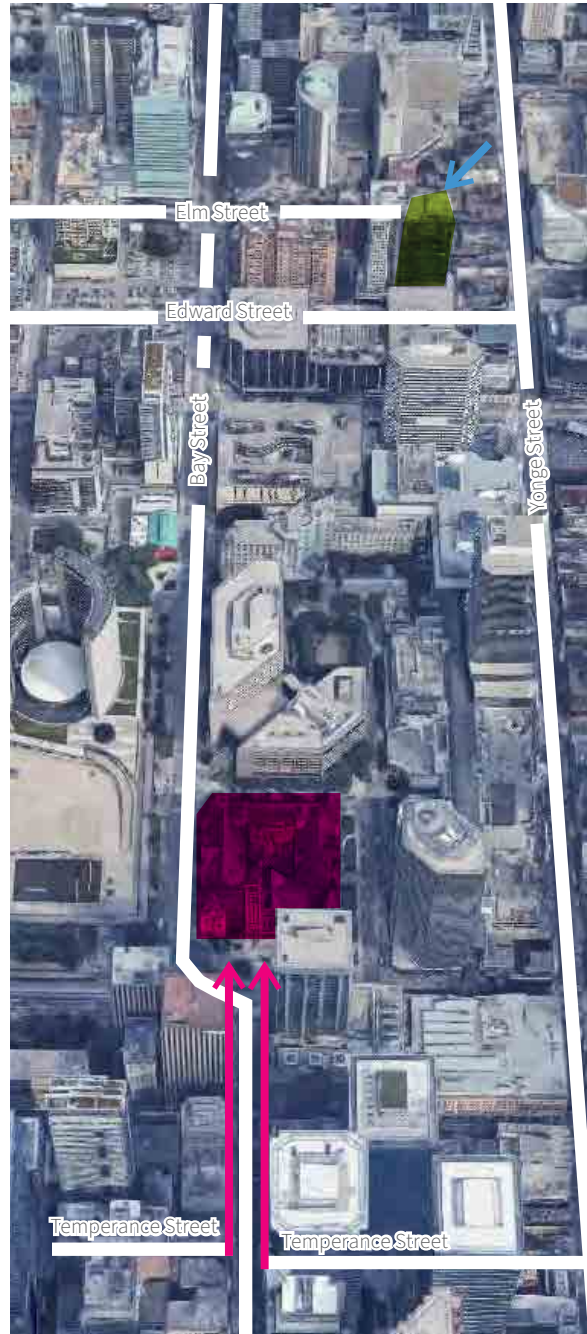


Figure 90: Diagram illustrating the heritage building view of Old City Hall in pink, the Site identified with a yellow arrow, and the new development immediately south of the Site identified in green (Google Earth, 2021; annotated by ERA).

## 16.2 Impacts, Rationale and Mitigation

There are no anticipated heritage impacts to the adjacent heritage properties, as such their integrity will be maintained.

## 17 ENGINEERING CONSIDERATIONS

This section is not required as the Site is not listed on the City of Toronto's Heritage Register or designated under the OHA. The existing buildings on the Site will be demolished.

## 18 MITIGATION

Refer to Section 16 of this HIA.

## 19 CONSERVATION STRATEGY

This section is not required as the Site is not listed on the City of Toronto's Heritage Register or designated under the OHA. The existing buildings on the Site will be demolished.

## 20 STATEMENT OF PROFESSIONAL OPINION

This HIA considers the impacts of the proposed development at 15-17 Elm Street on the cultural heritage value of the adjacent heritage properties at 14 and 18 Elm Street.

The Site is not listed on the City of Toronto's Heritage Register or designated under the OHA. The proposed development will not have an impact on adjacent heritage resources or on the protected view identified in the Official Plan. As such, there are no heritage impacts associated with the proposed development.

The proposed development responds to the surrounding context and intensification under way given its central location and access to public transit. The proposed development retains a commercial use and provides for new residential use on the Site.

ERA finds the proposed development to be in general compliance with all relevant municipal and provincial heritage policies, and to have respect for recognized professional standards and best practices in the field of heritage conservation in Canada.



## 21 APPENDICES

### APPENDIX A: HIA Terms of Reference Checklist