

DANFORTH & ST. CLAIR LANDS

3585-3595 St. Clair Avenue East, 641-663 Danforth Road, 636-646 Danforth Road & 411-415 Kennedy Road
Scarborough, ON

Issued for Settlement Offer 2024-01-19



SHEET NO	SHEET NAME
A 0.00	COVER SHEET
A 0.01.	DRAWING LIST
A 0.30	MASTER PROJECT STATISTICS
A 0.40	CONTEXT MAP
A 0.41	APPLICATION TYPE DIAGRAM
A 0.42	BLOCK CONTEXT PLAN
A 0.50	MASTER PLAN
A 0.51	SITE PLAN ROOF
A 0.52	SITE PLAN - GROUND FLOOR
A 0.53	SITE SECTION A
A 0.54	SITE SECTION B
A 0.55	SITE SECTION C
A 0.56	SITE ELEVATION A
A 0.57	SITE ELEVATION B
A 0.58	SITE ELEVATION C
A 0.71	RENDER PLAN - SITE
BL A - A 0.01	BLOCK A - ROOF SITE PLAN + STATS + TGS
BL A - A 1.11	BLOCK A - ROOF PLAN
BL BCG - A 0.01	BLOCK B,C,G - ROOF SITE PLAN + STATS + TGS
BL BCG - A 1.12	BLOCK B, C,G - ROOF PLAN
BL D - A 0.01	BLOCK D - ROOF SITE PLAN + STATS + TGS
BL D - A 1.09	BLOCK D - ROOF PLAN
BL E,F - A 0.01	BLOCK E,F - ROOF SITE PLAN + STATS + TGS
BL E,F - A 1.09	BLOCK E,F - ROOF PLAN
BL H - A 0.01	BLOCK H - ROOF SITE PLAN + STATS + TGS
BL H - A 1.08	BLOCK H - ROOF PLAN
BL I - A 0.01	BLOCK I - ROOF SITE PLAN + STATS + TGS
BL I - A 1.07	BLOCK I - ROOF PLAN
SH - A9.01	SHADOW STUDIES - JUNE 918 TO 1818
SH - A9.03	SHADOW STUDIES - MARCH/SEPTEMBER 918 TO 1818

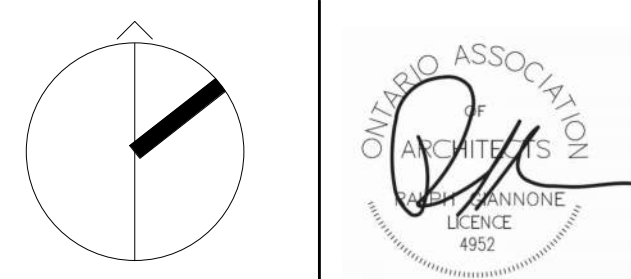
All drawings, specifications, related documents and design are the copyright property of the architect and must be returned upon request. Reproduction of the drawings, specifications, related documents and design in whole or in part is strictly forbidden without the architect's written permission.

Revision _____ Date _____

**NOT FOR
CONSTRUCTION**

5	ISSUED FOR SETTLEMENT OFFER	24-01-19
4	RE-ISSUED FOR DRAFT SETTLEMENT	23-12-22
3	RE-ISSUED FOR ZBA/OPA	23-03-24
2	RE-ISSUED FOR ZBA/OPA	22-05-27
1	ISSUED FOR ZBA/OPA	20-10-05

Revision _____ Date _____



**giannone
petricone
associates**

Giannone Petricone Associates Inc. Architects
96 Spadina Avenue, Suite 900, Toronto, ON Canada M5V 2J6
T 416.591.7788 F 416.591.1293 E mail@gpaa.com

**DANFORTH & ST. CLAIR
LANDS**

Scarborough, Ontario

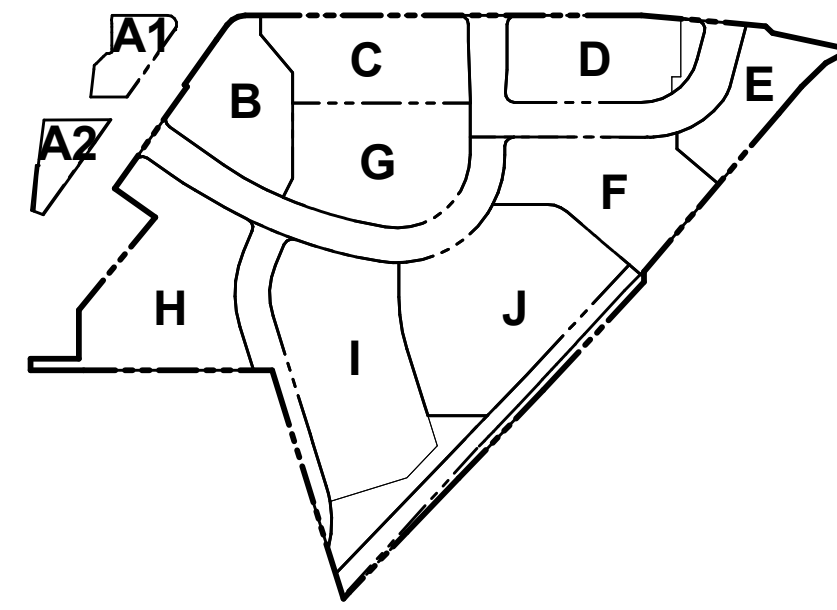
COVER SHEET

DRAWN BY: _____ GPA
CHECKED BY: _____ BH
PROJECT START DATE: 2019
PROJECT NO.: 19164
SHEET NUMBER

A 0.00

PROJECT DIRECTORY

APPLICANT	REPUBLIC DEVELOPMENTS + HARLO CAPITAL 2 St Clair Ave W, Suite 2100 Toronto, Ontario M4V 1L5 Tel: 416.709.5224
ARCHITECT	GIANNONE PETRICONE ASSOCIATES 96 Spadina Avenue, Suite 900 Toronto, Ontario M5V 2J6 Tel: 416.591.7788
LANDSCAPE ARCHITECT	DTAH 50 Park Road Toronto, Ontario M4W 2N5 Tel: 416.968.9479
TRAFFIC CONSULTANT	BA CONSULTING GROUP LTD 45 St Clair Ave W, Suite 300 Toronto, ON M4V 1K9 Tel: 416.961.7110 Fax: 416.961.9807
PLANNER	BOUSFIELDS INC. 3 Church Street, Suite 200 Toronto, ON M5E 1M2 Tel: 416.947.9744 Fax: 416.947.0781
CIVIL ENGINEER/SITE SERVICING	COUNTERPOINT ENGINEERING INC. 8395 Jane St Concord, ON L4K 5Y2 Tel: 905.326.1404
RAIL SAFETY ENGINEER	HATCH 15 Allstate Parkway Markham, ON L3R 5B4 Tel: 416.707.4022
GEO TECHNICAL/ ENVIRONMENTAL	MCCLYMONT & RAK ENGINEERS 111 Zenway Blvd, Unit 4 Vaughan, ON L4H 3H9 Tel: 416.675.0160
WIND / ACOUSTIC	GRADIENT WIND 127 Walgreen Road Ottawa, ON K1A 1L0 Tel: 613.400.8767
ENERGY	RWDI 901 King Street West, Suite 400 Toronto, ON M5V 3H5 Tel: 519.823.1311 ex. 2982



KEY MAP

All drawings, specifications, related documents and design are the copyright property of the architect and must be returned upon request. Reproduction of the drawings, specifications, related documents and design in whole or in part is strictly forbidden without the architect's written permission.

Revision _____ Date _____

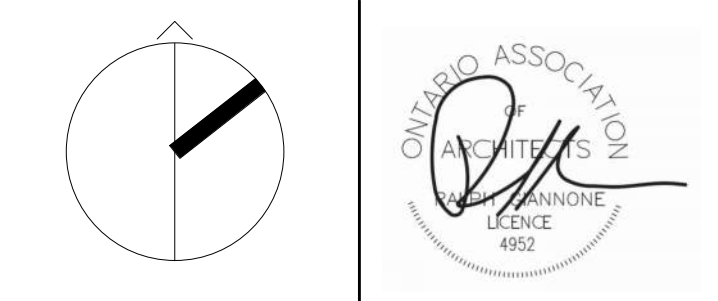
NOT FOR CONSTRUCTION

BLOCK	A1		A2		B		C		G		D		E		F		H		I		J (PARK)		K (BERM)		TOTAL			
	sm	sf	sm	sf	sm	sf	sm	sf	sm	sf	sm	sf	sm	sf	sm	sf	sm	sf	sm	sf	sm	sf	sm	sf	sm	sf		
TOTAL GROSS SITE AREA	106,191	1,143,036																										
TOTAL NET SITE AREA <i>Gross Site Area - ROW Area</i>	89,467	963,013																										
TOTAL GFA (ALL USES)																												
TOTAL R.O.W AREA																												
TOTAL LANDSCAPING																												
TOTAL LOT COVERAGE																												
PARKLAND (BLOCK J)																												
OVERALL FSI																												
TOTAL PUBLIC SPACE																												
TOTAL RESIDENTIAL UNITS																												
PARKLAND PERCENTAGE OF NET SITE																												
TOTAL TREES TO BE PLANTED																												
FSI	10.18		8.07		5.39		5.59		5.28		5.04		6.61		11.07		7.68		8.79									
LOT COVERAGE	1,757 18,909 93.1%		1,340 14,426 81.3%		3,903 42,012 61.8%		6,073 65,373 83.0%		4,284 46,113 48.8%		5,303 57,081 75.8%		4,086 43,981 90.1%		6,682 71,924 83.6%		8,928 96,100 79.2%		9,870 106,235 65.8%						52,226 562,154 58.4%			
LANDSCAPING	89 958	277 2,982	1,919 20,652	990 10,656	4,626 49,792	1,695 18,245	451 4,851	1,311 14,113	1,612 17,351	5,129 55,213	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-		
UNIT COUNT & MIX																												
ST (34-42sm)	25 9.1%	10 5.0%	29 5.8%	29 5.2%	29 4.3%	15 3.0%	23 5.2%	75 6.0%	74 5.9%	181 9.0%	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	490 6.4%		
1BD (45-65sm)	160 58.0%	135 67.5%	326 65.1%	365 65.8%	441 65.9%	329 66.5%	282 63.5%	799 64.0%	724 58.0%	1,330 65.9%	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	4,891 63.9%	
2BD (68-74sm)	63 22.8%	35 17.5%	96 19.2%	105 18.9%	132 19.7%	101 20.4%	94 21.2%	250 20.0%	320 25.6%	303 15.0%	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	1,499 19.6%	
3BD (80-94sm)	28 10.1%	20 10.0%	50 10.0%	56 10.1%	67 10.0%	50 10.1%	45 10.1%	125 10.0%	130 10.4%	204 10.1%	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	775 10.1%	
TOTAL UNITS	276 100.0%	200 100.0%	501 100.0%	555 100.0%	669 100.0%	495 100.0%	444 100.0%	1,249 100.0%	1,248 100.0%	2,018 100.0%	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	7,655 100.0%	
INDOOR AMENITY	552 5,942	400 4,306	1,002 10,785	1,110 11,948	1,338 14,402	990 10,656	888 9,558	2,498 26,888	2,496 26,867	4,036 43,443	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	15,310 164,795	
OUTDOOR AMENITY	552 5,942	400 4,306	1,002 10,785	1,110 11,948	1,338 14,402	990 10,656	888 9,558	2,498 26,888	2,496 26,867	4,036 43,443	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	15,310 164,795	
ESTABLISHED GRADE (m)	159.00	158.25	159.25	158.60	160.22	162.05	162.90	162.30	158.63	160.50	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
HEIGHT	74.55 244.60	62.75 205.88	113.25 371.57	99.85 332.86	158.6 520.37	99.8 327.44	116.5 382.24	165.40 542.68	160.5 526.60	182.3 598.13	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
VEHICLE PARKING																												
RESIDENT	98	84			876				210		370		316		278										2232			
COMMERCIAL / VISITOR	32	23			286				90		167		181		213										992			
TOTAL	130	107			1162				300		537		497		491													
BICYCLE PARKING																												
LONG TERM	260	184	488		554		647		534		532		1232		1070		1349								6850			
SHORT TERM	35	28	94		92		90		78		101		116		90		149								873			
GO STATION	-	-	-		-		-		-		32		-		-		-								32			

Notes:
 1. See Block Ground Floor Plans for detailed block statistics
 2. All terms in reference to Toronto Zoning Bylaw 569-2013
 3. Refer to Transportation Impact Study prepared by BA Group for parking and loading details

- 5 ISSUED FOR SETTLEMENT OFFER 24-01-19
- 4 RE-ISSUED FOR DRAFT SETTLEMENT 23-12-22
- 3 RE-ISSUED FOR ZBA/OPA 23-03-24
- 2 RE-ISSUED FOR ZBA/OPA 22-05-27
- 1 ISSUED FOR ZBA/OPA 20-10-05

Revision _____ Date _____



giannone petricone associates
 Giannone Petricone Associates Inc. Architects
 96 Spadina Avenue, Suite 900, Toronto, ON Canada M5V 2J6
 T 416.591.7788 F 416.591.1293 E mail@gpaia.com

DANFORTH & ST. CLAIR LANDS
 Scarborough, Ontario

MASTER PROJECT STATISTICS

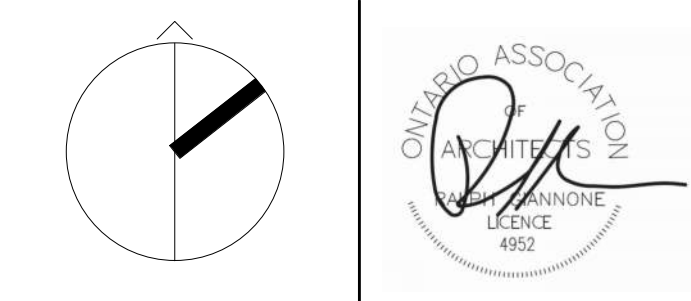
DRAWN BY: _____ Author
 CHECKED BY: _____ BH
 PROJECT START DATE: 07/29/20
 PROJECT NO.: 19164
 SHEET NUMBER

A 0.30

NOT FOR CONSTRUCTION



5	ISSUED FOR SETTLEMENT OFFER	24-01-19
4	RE-ISSUED FOR DRAFT SETTLEMENT	23-12-22
3	RE-ISSUED FOR ZBA/OPA	23-03-24
2	RE-ISSUED FOR ZBA/OPA	22-05-27
1	ISSUED FOR ZBA/OPA	20-10-05



giannone petricone associates

Giannone Petricone Associates Inc. Architects
 96 Spadina Avenue, Suite 900, Toronto, ON Canada M5V 2J6
 T 416.591.7788 F 416.591.1293 E mail@gpaa.com

DANFORTH & ST. CLAIR LANDS

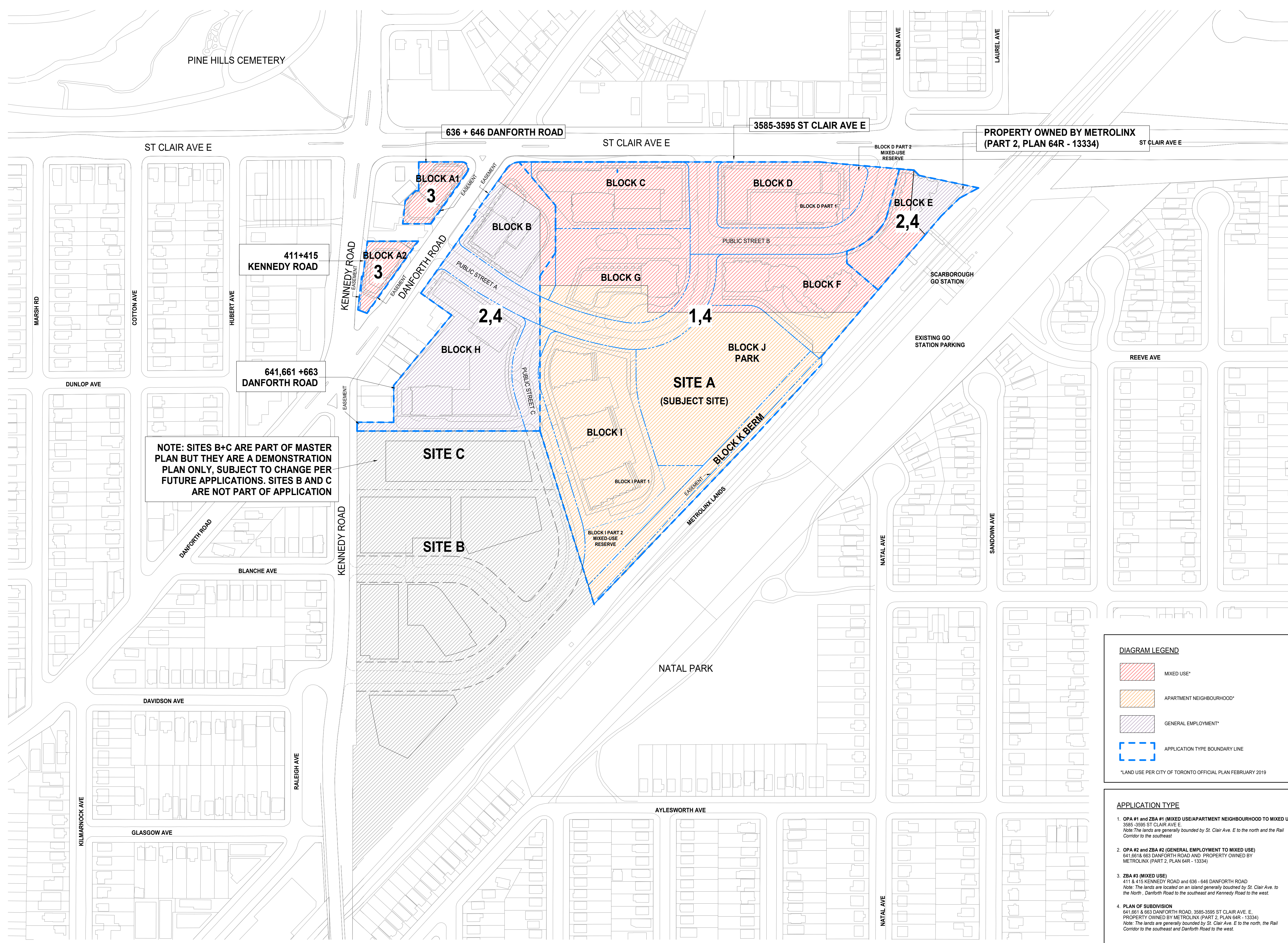
Scarborough, Ontario

CONTEXT MAP

DRAWN BY:	GPA
CHECKED BY:	BH
PROJECT START DATE:	07/29/20
PROJECT NO.:	19164
SHEET NUMBER	

A 0.40

NOT FOR CONSTRUCTION



NOTE: SITES B+C ARE PART OF MASTER PLAN BUT THEY ARE A DEMONSTRATION PLAN ONLY, SUBJECT TO CHANGE PER FUTURE APPLICATIONS. SITES B AND C ARE NOT PART OF APPLICATION

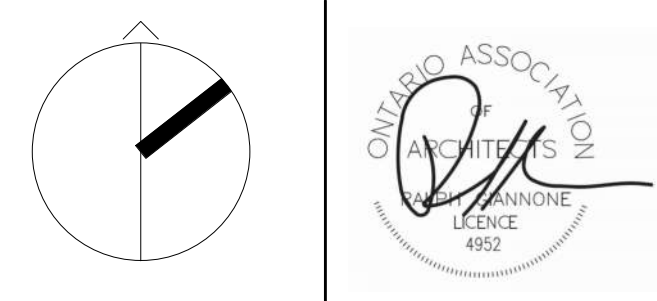
DIAGRAM LEGEND

- MIXED USE*
- APARTMENT NEIGHBOURHOOD*
- GENERAL EMPLOYMENT*
- APPLICATION TYPE BOUNDARY LINE

*LAND USE PER CITY OF TORONTO OFFICIAL PLAN FEBRUARY 2019

- APPLICATION TYPE**
- OPA #1 and ZBA #1 (MIXED USE/APARTMENT NEIGHBOURHOOD TO MIXED USE)**
3585-3595 ST CLAIR AVE. E.
Note: The lands are generally bounded by St. Clair Ave. E to the north and the Rail Corridor to the southeast
 - OPA #2 and ZBA #2 (GENERAL EMPLOYMENT TO MIXED USE)**
641,661 & 663 DANFORTH ROAD AND PROPERTY OWNED BY METROLINX (PART 2, PLAN 64R - 13334)
 - ZBA #3 (MIXED USE)**
411 & 415 KENNEDY ROAD AND 636 - 646 DANFORTH ROAD
Note: The lands are located on an island generally bounded by St. Clair Ave. E to the North, Danforth Road to the southeast and Kennedy Road to the west.
 - PLAN OF SUBDIVISION**
641,661 & 663 DANFORTH ROAD, 3585-3595 ST CLAIR AVE. E.
PROPERTY OWNED BY METROLINX (PART 2, PLAN 64R - 13334)
Note: The lands are generally bounded by St. Clair Ave. E to the north, the Rail Corridor to the southeast and Danforth Road to the west.

5	ISSUED FOR SETTLEMENT OFFER	24-01-19
4	RE-ISSUED FOR DRAFT SETTLEMENT	23-12-22
3	RE-ISSUED FOR ZBA/OPA	23-03-24
2	RE-ISSUED FOR ZBA/OPA	22-05-27
1	ISSUED FOR ZBA/OPA	20-10-05



giannone petricone associates
Giannone Petricone Associates Inc. Architects
96 Spadina Avenue, Suite 900, Toronto, ON Canada M5V 2J6
T 416.591.7788 F 416.591.1293 E mail@gpaia.com

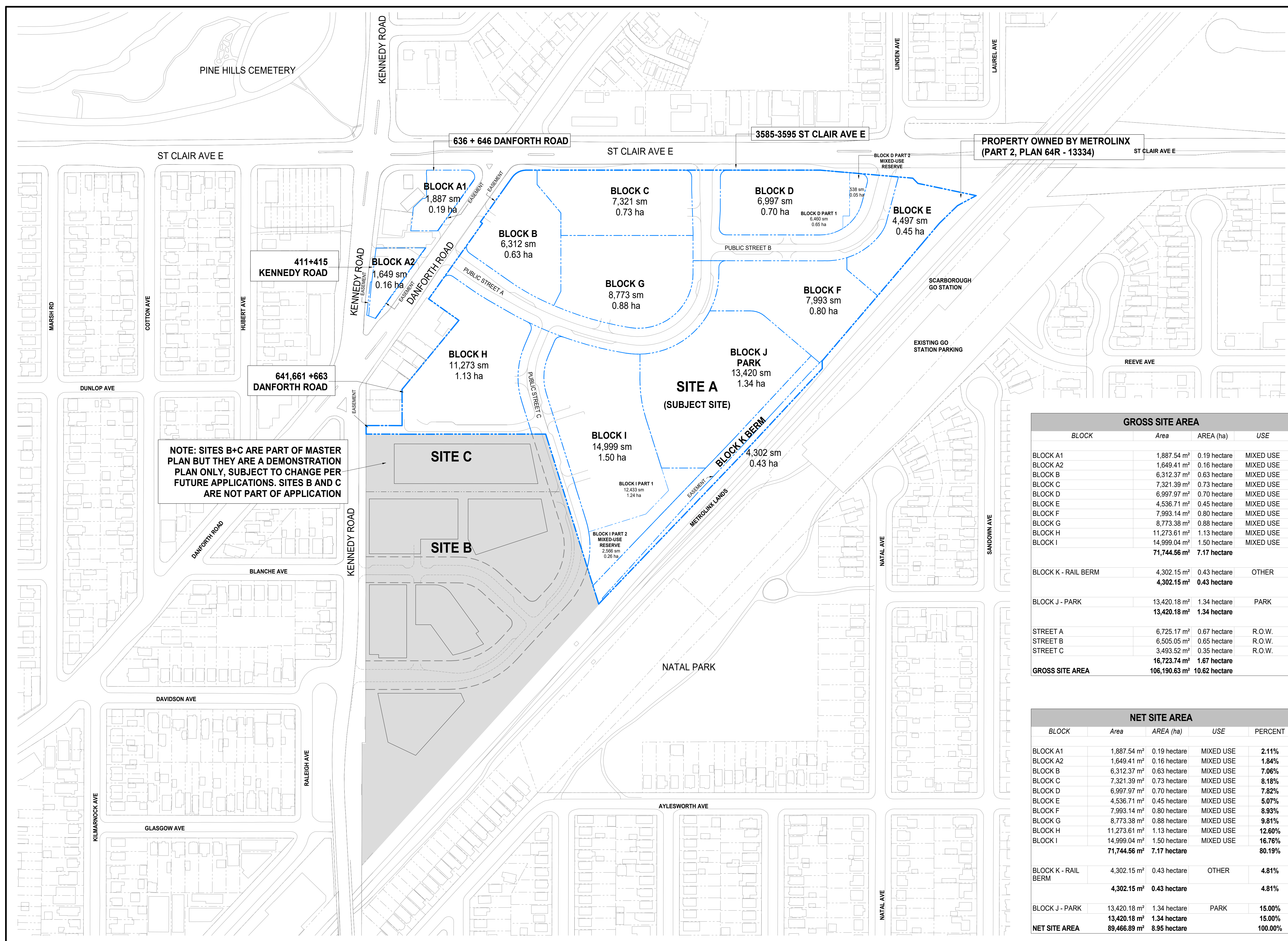
DANFORTH & ST. CLAIR LANDS
Scarborough, Ontario

APPLICATION TYPE DIAGRAM

DRAWN BY:	Author
CHECKED BY:	BH
PROJECT START DATE:	09/18/20
PROJECT NO.:	19164
SHEET NUMBER	

A 0.41

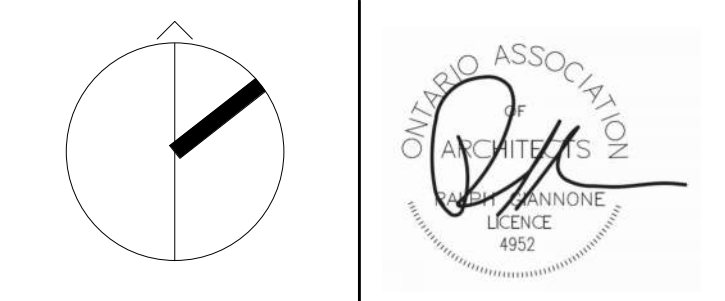
NOT FOR CONSTRUCTION



GROSS SITE AREA			
BLOCK	Area	AREA (ha)	USE
BLOCK A1	1,887.54 m ²	0.19 hectare	MIXED USE
BLOCK A2	1,649.41 m ²	0.16 hectare	MIXED USE
BLOCK B	6,312.37 m ²	0.63 hectare	MIXED USE
BLOCK C	7,321.39 m ²	0.73 hectare	MIXED USE
BLOCK D	6,997.97 m ²	0.70 hectare	MIXED USE
BLOCK E	4,536.71 m ²	0.45 hectare	MIXED USE
BLOCK F	7,993.14 m ²	0.80 hectare	MIXED USE
BLOCK G	8,773.38 m ²	0.88 hectare	MIXED USE
BLOCK H	11,273.61 m ²	1.13 hectare	MIXED USE
BLOCK I	14,999.04 m ²	1.50 hectare	MIXED USE
TOTAL	71,744.56 m²	7.17 hectare	
BLOCK K - RAIL BERM	4,302.15 m ²	0.43 hectare	OTHER
TOTAL	4,302.15 m²	0.43 hectare	
BLOCK J - PARK	13,420.18 m ²	1.34 hectare	PARK
TOTAL	13,420.18 m²	1.34 hectare	
STREET A	6,725.17 m ²	0.67 hectare	R.O.W.
STREET B	6,505.05 m ²	0.65 hectare	R.O.W.
STREET C	3,493.52 m ²	0.35 hectare	R.O.W.
TOTAL	16,723.74 m²	1.67 hectare	
GROSS SITE AREA	106,190.63 m²	10.62 hectare	

NET SITE AREA				
BLOCK	Area	AREA (ha)	USE	PERCENT
BLOCK A1	1,887.54 m ²	0.19 hectare	MIXED USE	2.11%
BLOCK A2	1,649.41 m ²	0.16 hectare	MIXED USE	1.84%
BLOCK B	6,312.37 m ²	0.63 hectare	MIXED USE	7.06%
BLOCK C	7,321.39 m ²	0.73 hectare	MIXED USE	8.18%
BLOCK D	6,997.97 m ²	0.70 hectare	MIXED USE	7.82%
BLOCK E	4,536.71 m ²	0.45 hectare	MIXED USE	5.07%
BLOCK F	7,993.14 m ²	0.80 hectare	MIXED USE	8.93%
BLOCK G	8,773.38 m ²	0.88 hectare	MIXED USE	9.81%
BLOCK H	11,273.61 m ²	1.13 hectare	MIXED USE	12.60%
BLOCK I	14,999.04 m ²	1.50 hectare	MIXED USE	16.76%
TOTAL	71,744.56 m²	7.17 hectare		80.19%
BLOCK K - RAIL BERM	4,302.15 m ²	0.43 hectare	OTHER	4.81%
TOTAL	4,302.15 m²	0.43 hectare		4.81%
BLOCK J - PARK	13,420.18 m ²	1.34 hectare	PARK	15.00%
TOTAL	13,420.18 m²	1.34 hectare		15.00%
NET SITE AREA	89,466.89 m²	8.95 hectare		100.00%

- 5 ISSUED FOR SETTLEMENT OFFER 24-01-19
- 4 RE-ISSUED FOR DRAFT SETTLEMENT 23-12-22
- 3 RE-ISSUED FOR ZBA/OPA 23-03-24
- 2 RE-ISSUED FOR ZBA/OPA 22-05-27
- 1 ISSUED FOR ZBA/OPA 20-10-05



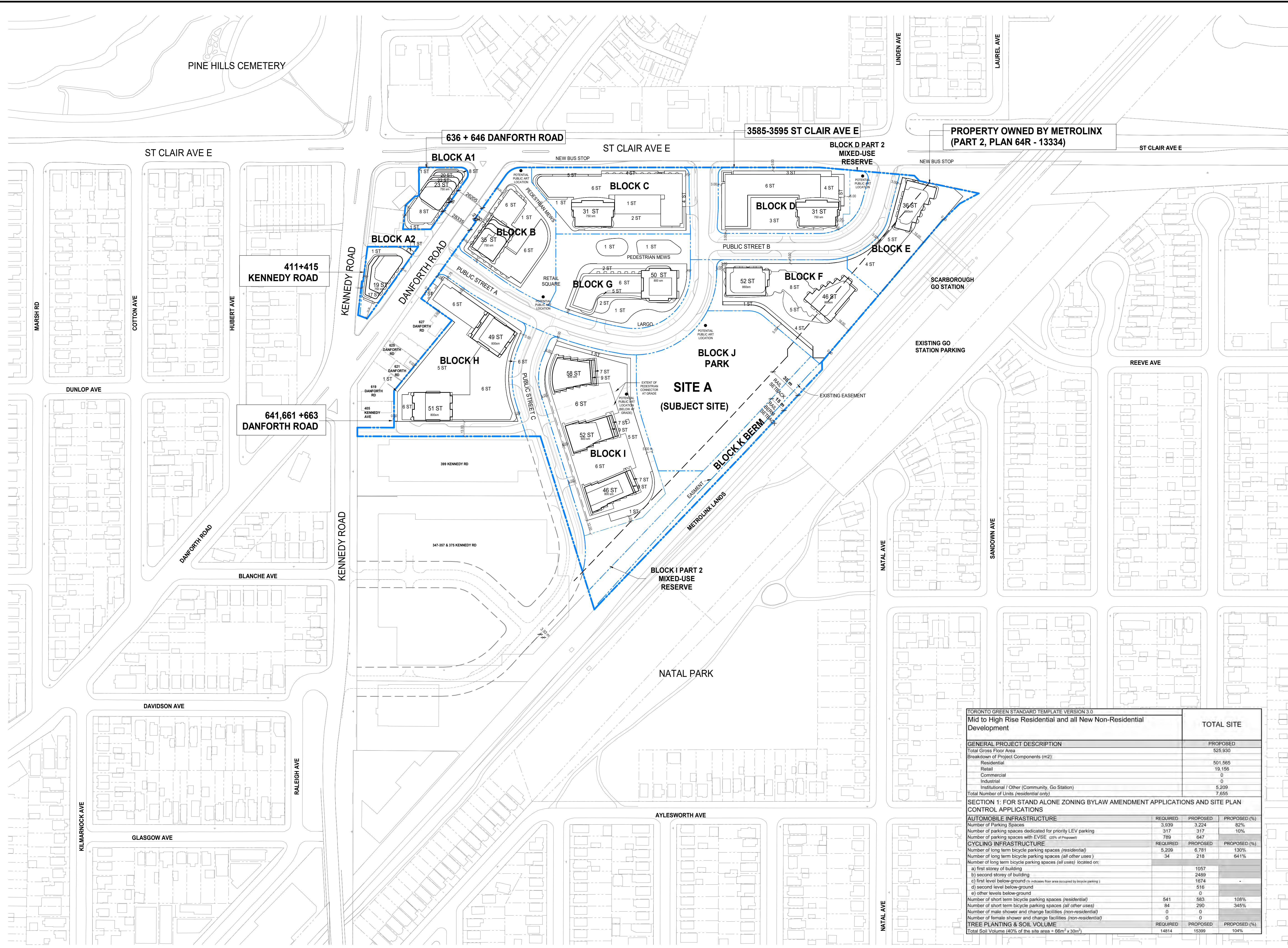
giannone petricone associates
 Giannone Petricone Associates Inc. Architects
 96 Spadina Avenue, Suite 900, Toronto, ON Canada M5V 2J6
 T 416.591.7788 F 416.591.1293 E mail@gpaa.com

DANFORTH & ST. CLAIR LANDS
 Scarborough, Ontario

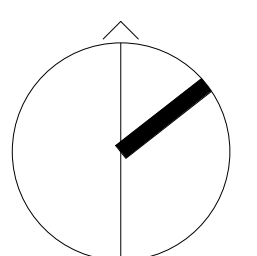
BLOCK CONTEXT PLAN

DRAWN BY: _____ Author
 CHECKED BY: BH
 PROJECT START DATE: 10/01/20
 PROJECT NO.: 19164
 SHEET NUMBER

NOT FOR CONSTRUCTION



5	ISSUED FOR SETTLEMENT OFFER	24-01-19
4	RE-ISSUED FOR DRAFT SETTLEMENT	23-12-22
3	RE-ISSUED FOR ZBA/OPA	23-03-24
2	RE-ISSUED FOR ZBA/OPA	22-05-27
1	ISSUED FOR ZBA/OPA	20-10-05



**giannone
petricone
associates**

Giannone Petricone Associates Inc. Architects
96 Spadina Avenue, Suite 900, Toronto, ON Canada M5V 2J6
T 416.591.7788 F 416.591.1293 E mail@gpaa.com

**DANFORTH & ST. CLAIR
LANDS**

Scarborough, Ontario

MASTER PLAN

TORONTO GREEN STANDARD TEMPLATE VERSION 3.0		TOTAL SITE	
Mid to High Rise Residential and all New Non-Residential Development		PROPOSED	
GENERAL PROJECT DESCRIPTION		PROPOSED	
Total Gross Floor Area		525,930	
Breakdown of Project Components (m2):			
Residential		501,565	
Retail		19,156	
Commercial		0	
Industrial		0	
Institutional / Other (Community, Go Station)		5,209	
Total Number of Units (residential only)		7,655	
SECTION 1: FOR STAND ALONE ZONING BYLAW AMENDMENT APPLICATIONS AND SITE PLAN CONTROL APPLICATIONS			
AUTOMOBILE INFRASTRUCTURE			
Number of Parking Spaces	REQUIRED	PROPOSED	PROPOSED (%)
Number of parking spaces dedicated for priority LEV parking	3,939	3,224	82%
Number of parking spaces with EVSE (20% of Proposed)	317	317	10%
Number of parking spaces with EVSE (20% of Proposed)	759	647	
CYCLING INFRASTRUCTURE			
Number of long term bicycle parking spaces (residential)	REQUIRED	PROPOSED	PROPOSED (%)
Number of long term bicycle parking spaces (all other uses)	5,209	6,781	130%
Number of long term bicycle parking spaces (all uses)	34	218	641%
Number of long term bicycle parking spaces (all uses) located on:			
a) first storey of building		1057	
b) second storey of building		2489	
c) first level below-ground (includes floor area occupied by bicycle parking)		1674	
d) second level below-ground		516	
e) other levels below-ground		0	
Number of short term bicycle parking spaces (residential)	541	563	108%
Number of short term bicycle parking spaces (all other uses)	84	290	345%
Number of male shower and change facilities (non-residential)	0	0	
Number of female shower and change facilities (non-residential)	0	0	
TREE PLANTING & SOIL VOLUME			
Total Soil Volume (40% of the site area = 66m x 30m)	REQUIRED	PROPOSED	PROPOSED (%)
	14814	15399	104%

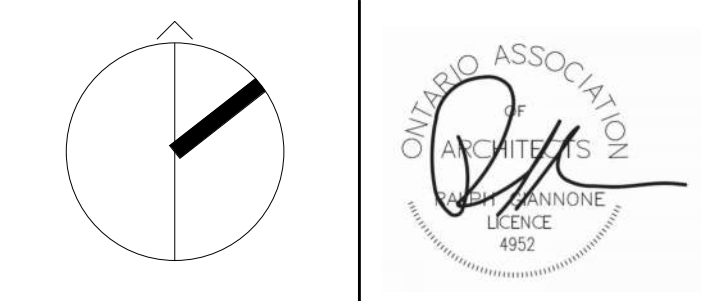
All drawings, specifications, related documents and design are the copyright property of the architect and must be returned upon request. Reproduction of the drawings, specifications, related documents and design in whole or in part is strictly forbidden without the architect's written permission.

Revision _____ Date _____

NOT FOR CONSTRUCTION

5	ISSUED FOR SETTLEMENT OFFER	24-01-19
4	RE-ISSUED FOR DRAFT SETTLEMENT	23-12-22
3	RE-ISSUED FOR ZBA/OPA	23-03-24
2	RE-ISSUED FOR ZBA/OPA	22-05-27
1	ISSUED FOR ZBA/OPA	20-10-05

Revision _____ Date _____



**giannone
petricono
associates**

Giannone Petricono Associates Inc. Architects
96 Spadina Avenue, Suite 900, Toronto, ON Canada M5V 2J6
T 416.591.7788 F 416.591.1293 E mail@gpaa.com

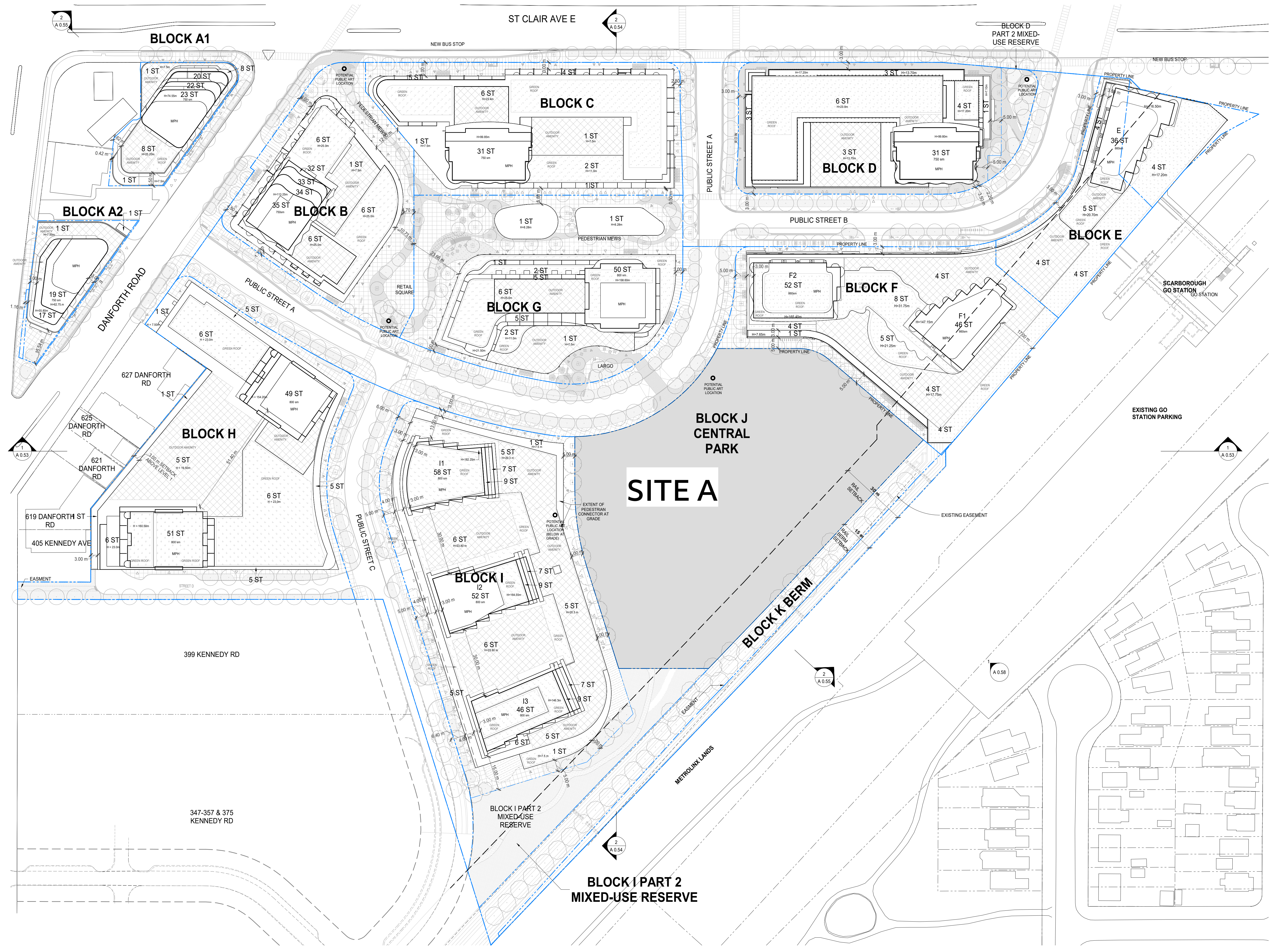
**DANFORTH & ST. CLAIR
LANDS**
Scarborough, Ontario

SITE PLAN ROOF

DRAWN BY: GPA
CHECKED BY: BH
PROJECT START DATE: 08/17/20
PROJECT NO.: 19164
SHEET NUMBER

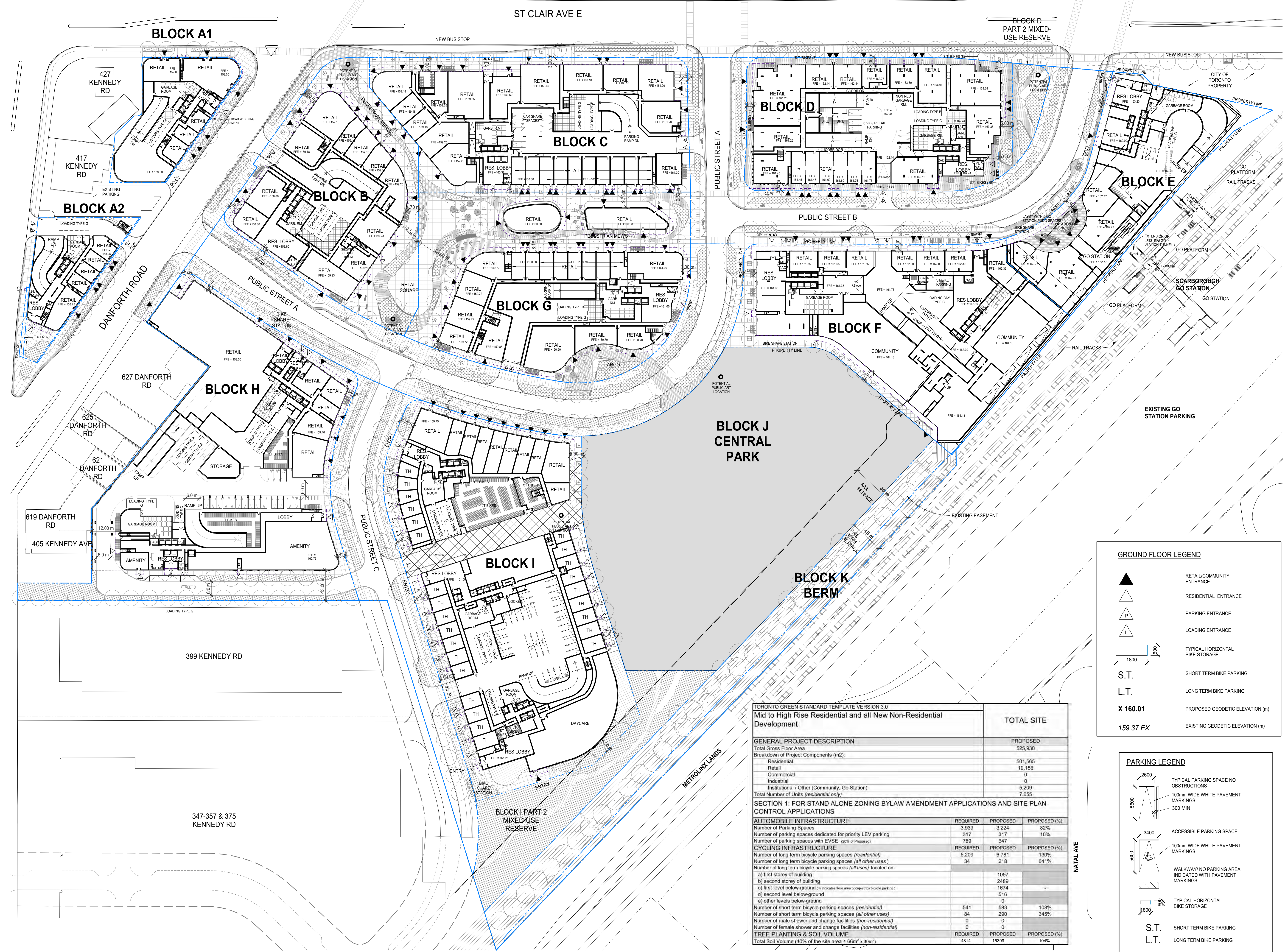
A 0.51

PLOT DATE: 2024-01-22 1:38:22 PM



1 SITE PLAN ROOF
A 0.51
1:750

NOT FOR CONSTRUCTION



GROUND FLOOR LEGEND

- RETAIL/COMMUNITY ENTRANCE
- RESIDENTIAL ENTRANCE
- PARKING ENTRANCE
- LOADING ENTRANCE
- TYPICAL HORIZONTAL BIKE STORAGE
- SHORT TERM BIKE PARKING
- LONG TERM BIKE PARKING
- X 160.01 PROPOSED GEODETIC ELEVATION (m)
- 159.37 EX EXISTING GEODETIC ELEVATION (m)

PARKING LEGEND

- TYPICAL PARKING SPACE NO OBSTRUCTIONS
- ACCESSIBLE PARKING SPACE
- WALKWAY/NO PARKING AREA INDICATED WITH PAVEMENT MARKINGS
- TYPICAL HORIZONTAL BIKE STORAGE
- SHORT TERM BIKE PARKING
- LONG TERM BIKE PARKING

TORONTO GREEN STANDARD TEMPLATE VERSION 3.0
Mid to High Rise Residential and All New Non-Residential Development

GENERAL PROJECT DESCRIPTION	PROPOSED		
Total Gross Floor Area	528,930		
Breakdown of Project Components (m ²):			
Residential	501,565		
Retail	19,156		
Commercial	0		
Industrial	0		
Institutional / Other (Community, Go Station)	5,209		
Total Number of Units (residential only)	7,655		

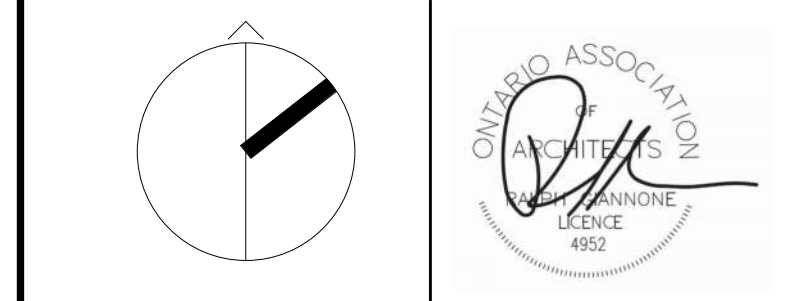
SECTION 1: FOR STAND ALONE ZONING BYLAW AMENDMENT APPLICATIONS AND SITE PLAN CONTROL APPLICATIONS

AUTOMOBILE INFRASTRUCTURE	REQUIRED	PROPOSED	PROPOSED (%)
Number of Parking Spaces	3,939	3,224	82%
Number of parking spaces dedicated for priority LEV parking	317	317	100%
Number of parking spaces with EVSE (20% of Proposed)	789	647	

CYCLING INFRASTRUCTURE	REQUIRED	PROPOSED	PROPOSED (%)
Number of long term bicycle parking spaces (residential)	5,209	6,781	130%
Number of long term bicycle parking spaces (all other uses)	34	218	641%
Number of long term bicycle parking spaces (all uses) located on:			
a) first storey of building		1057	
b) second storey of building		2459	
c) first level below-ground (i.e. includes floor area occupied by bicycle parking)		1674	
d) second level below-ground		516	
e) other levels below-ground		0	
Number of short term bicycle parking spaces (residential)	541	583	108%
Number of short term bicycle parking spaces (all other uses)	84	290	345%
Number of male shower and change facilities (non-residential)	0	0	
Number of female shower and change facilities (non-residential)	0	0	

TREE PLANTING & SOIL VOLUME	REQUIRED	PROPOSED	PROPOSED (%)
Total Soil Volume (40% of the site area = 66m ² x 30m ³)	14814	15399	104%

5	ISSUED FOR SETTLEMENT OFFER	24-01-19
4	RE-ISSUED FOR DRAFT SETTLEMENT	23-12-22
3	RE-ISSUED FOR ZBA/OPA	23-03-24
2	RE-ISSUED FOR ZBA/OPA	22-05-27
1	ISSUED FOR ZBA/OPA	20-10-05



giannone petricone associates
Giannone Petricone Associates Inc. Architects
96 Spadina Avenue, Suite 900, Toronto, ON Canada M5V 2J6
T 416.591.7788 F 416.591.1293 E mail@gpa.ca

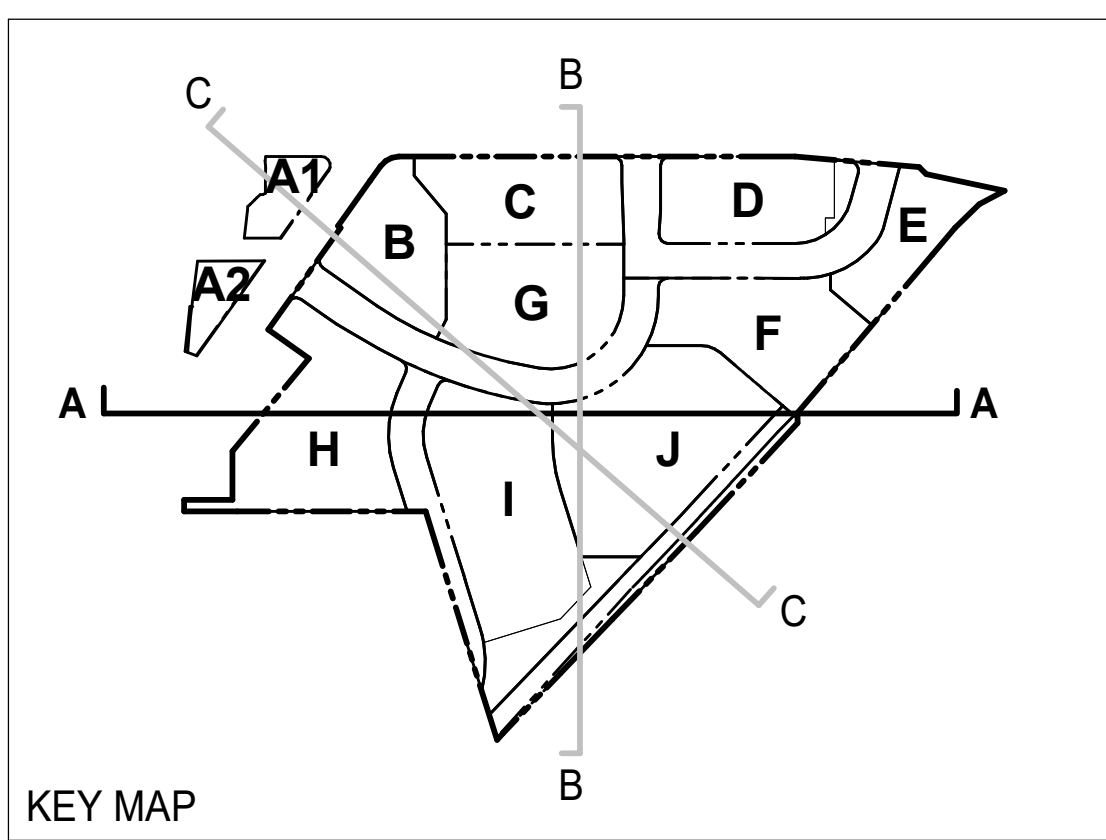
DANFORTH & ST. CLAIR LANDS
Scarborough, Ontario

SITE PLAN - GROUND FLOOR

DRAWN BY: _____ Author
CHECKED BY: _____ BH
PROJECT START DATE: 08/17/20
PROJECT NO.: 19164
SHEET NUMBER

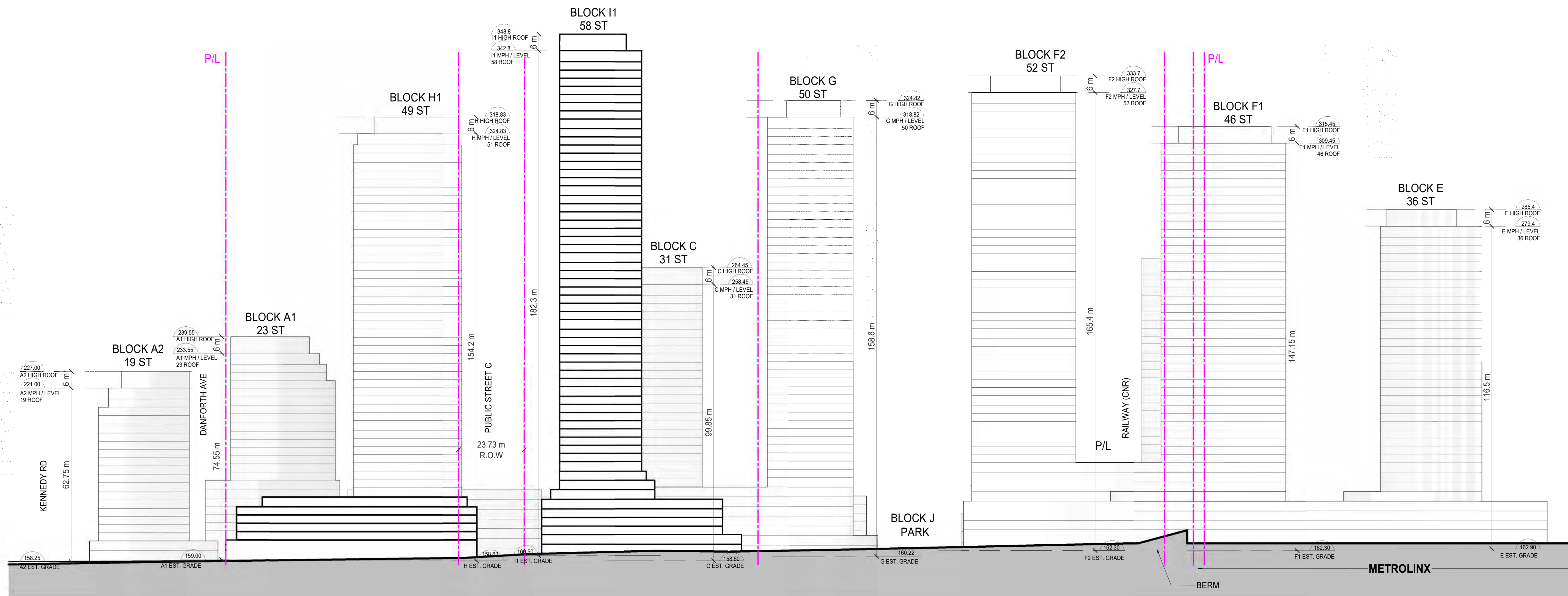
All drawings, specifications, related documents and design are the copyright property of the architect and must be returned upon request. Reproduction of the drawings, specifications, related documents and design in whole or in part is strictly forbidden without the architect's written permission.

Revision _____ Date _____



KEY MAP

NOT FOR CONSTRUCTION



1 E-W SITE SECTION A
A 0.53
1 : 750

5	ISSUED FOR SETTLEMENT OFFER	24-01-19
4	RE-ISSUED FOR DRAFT SETTLEMENT	23-12-22
3	RE-ISSUED FOR ZBA/OPA	23-03-24
2	RE-ISSUED FOR ZBA/OPA	22-05-27
1	ISSUED FOR ZBA/OPA	20-10-05

Revision _____ Date _____



**giannone
petricone
associates**

Giannone Petricone Associates Inc. Architects
96 Spadina Avenue, Suite 900, Toronto, ON Canada M5V 2J6
T 416.591.7788 F 416.591.1293 E mail@gpa.ca

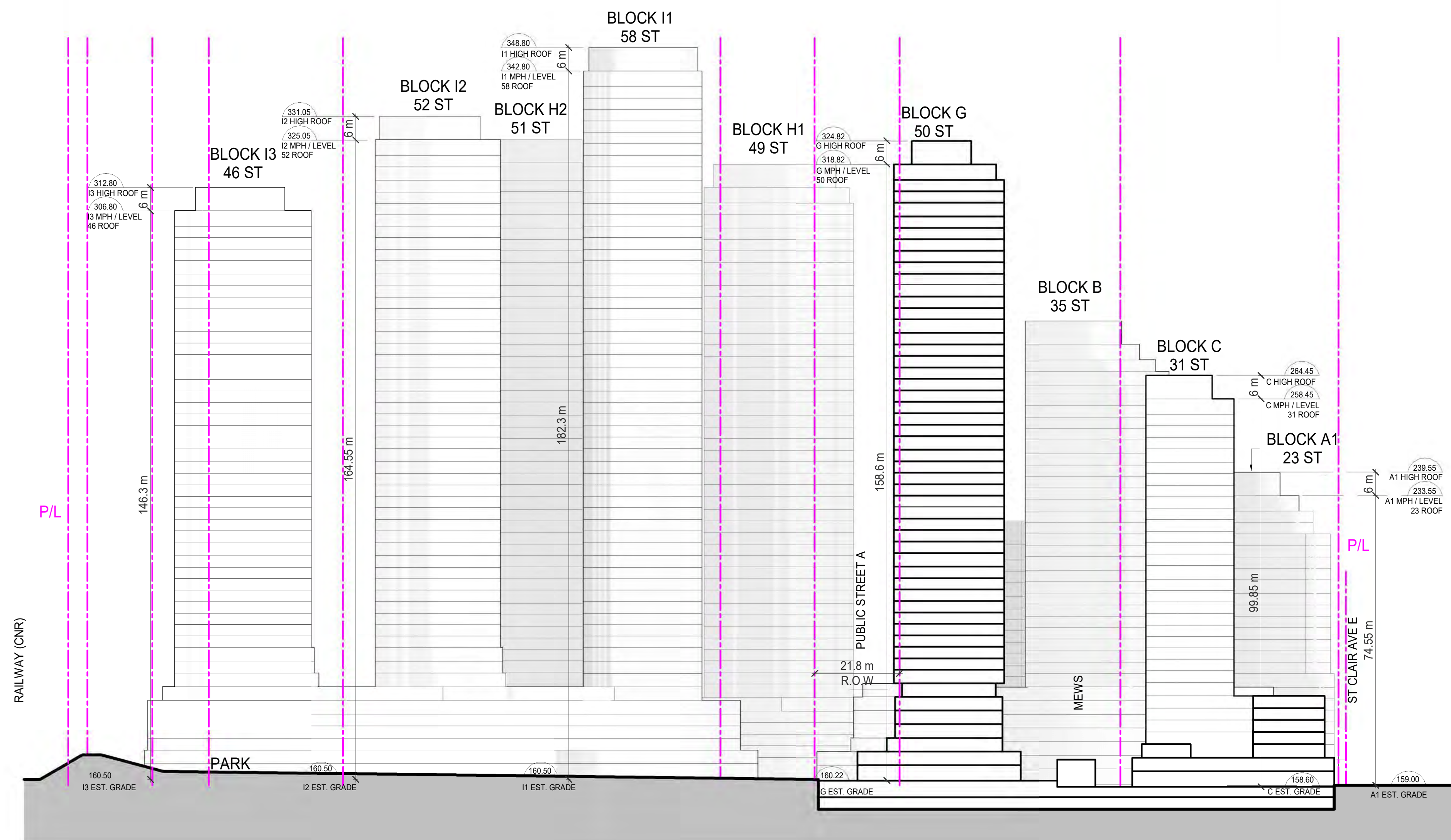
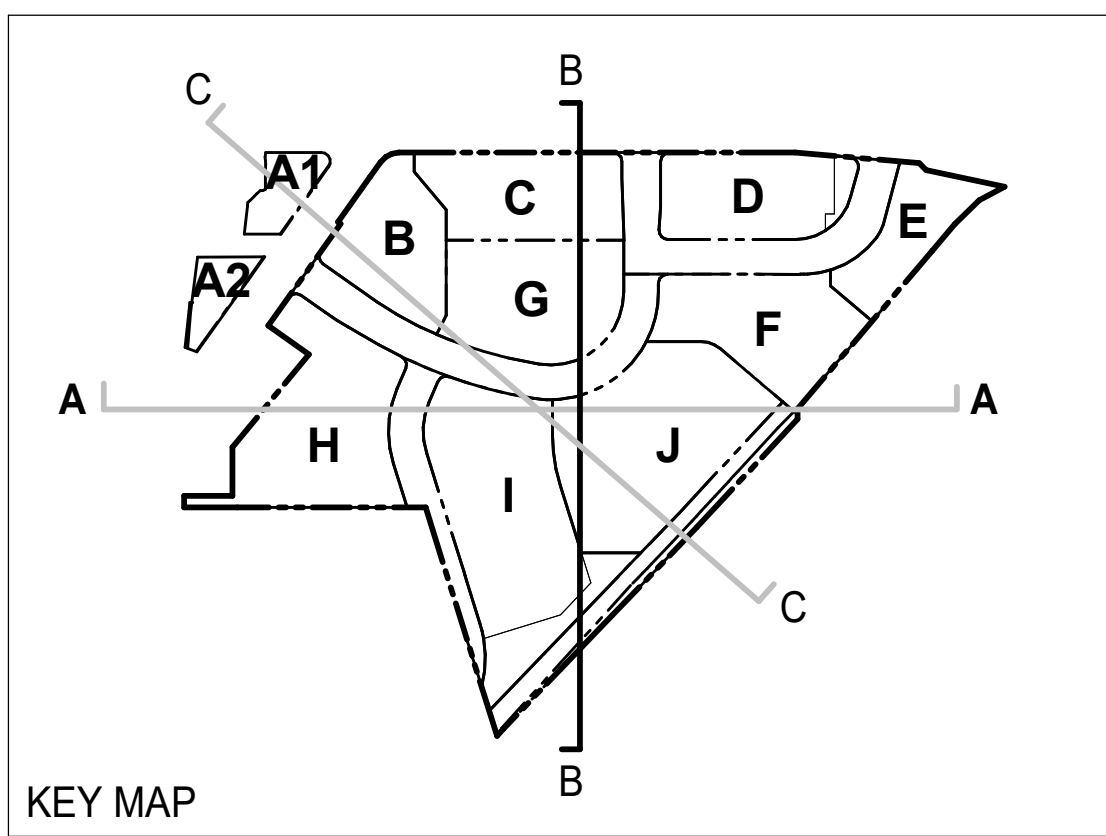
**DANFORTH & ST. CLAIR
LANDS**

Scarborough, Ontario

SITE SECTION A

DRAWN BY: GPA
CHECKED BY: BH
PROJECT START DATE: 07/29/20
PROJECT NO.: 19164
SHEET NUMBER

A 0.53



2 SITE SECTION B
A 0.54
1: 750

All drawings, specifications, related documents and design are the copyright property of the architect and must be returned upon request. Reproduction of the drawings, specifications, related documents and design in whole or in part is strictly forbidden without the architect's written permission.

Revision _____ Date _____

**NOT FOR
CONSTRUCTION**

- | | | |
|---|--------------------------------|----------|
| 5 | ISSUED FOR SETTLEMENT OFFER | 24-01-19 |
| 4 | RE-ISSUED FOR DRAFT SETTLEMENT | 23-12-22 |
| 3 | RE-ISSUED FOR ZBA/OPA | 23-03-24 |
| 2 | RE-ISSUED FOR ZBA/OPA | 22-05-27 |
| 1 | ISSUED FOR ZBA/OPA | 20-10-05 |

Revision _____ Date _____



**giannone
petricone
associates**

Giannone Petricone Associates Inc. Architects
96 Spadina Avenue, Suite 900, Toronto, ON Canada M5V 2J6
T 416.591.7788 F 416.591.1293 E mail@gpaa.com

**DANFORTH & ST. CLAIR
LANDS**

Scarborough, Ontario

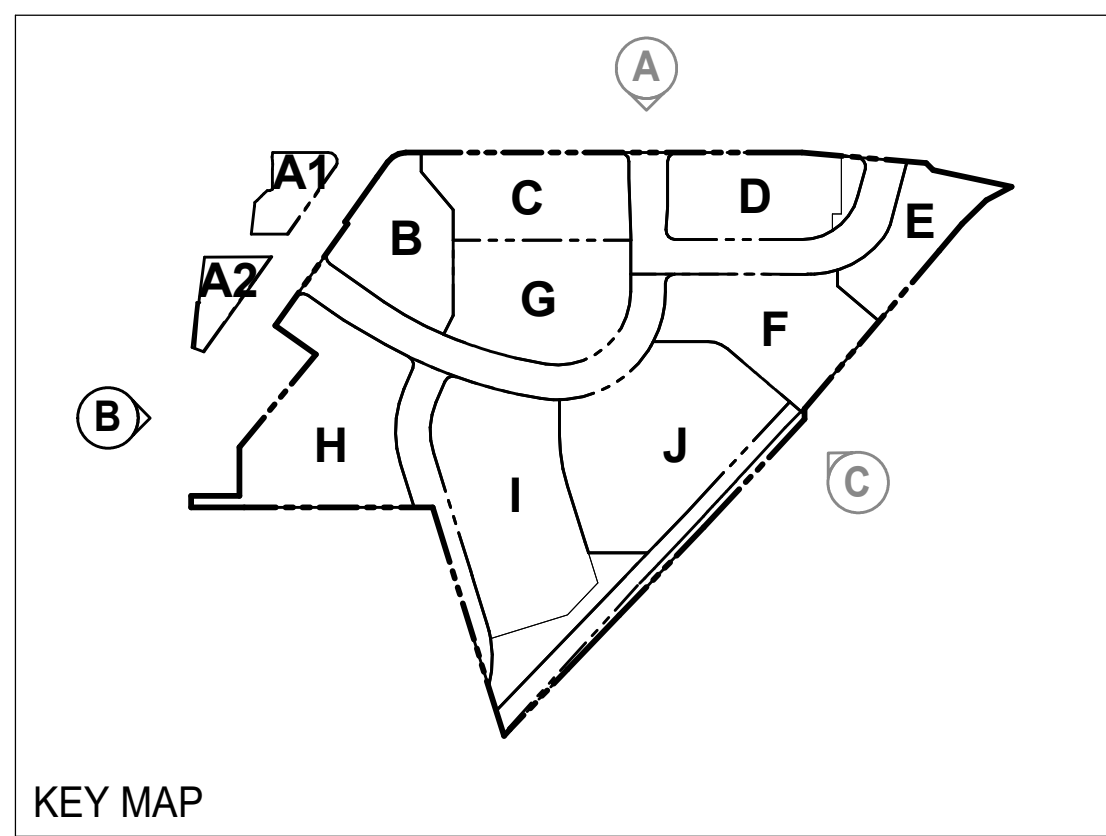
SITE SECTION B

DRAWN BY: GPA
CHECKED BY: BH
PROJECT START DATE: 08/17/20
PROJECT NO.: 19164
SHEET NUMBER

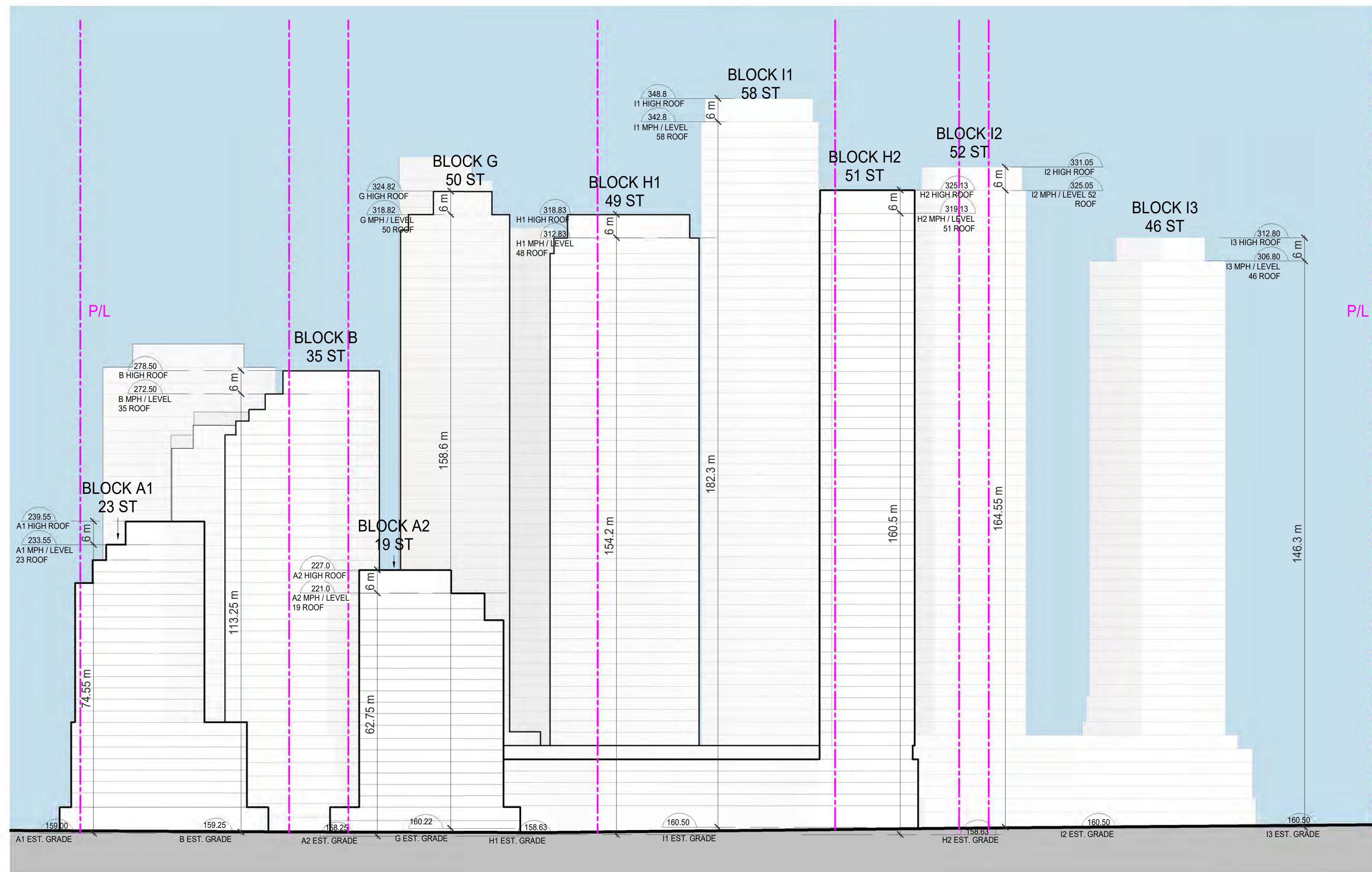
A 0.54

All drawings, specifications, related documents and design are the copyright property of the architect and must be returned upon request. Reproduction of the drawings, specifications, related documents and design in whole or in part is strictly forbidden without the architect's written permission.

Revision _____ Date _____



NOT FOR CONSTRUCTION



5	ISSUED FOR SETTLEMENT OFFER	24-01-19
4	RE-ISSUED FOR DRAFT SETTLEMENT	23-12-22
3	RE-ISSUED FOR ZBA/OPA	23-03-24
2	RE-ISSUED FOR ZBA/OPA	22-05-27
1	ISSUED FOR ZBA/OPA	20-10-05

Revision _____ Date _____



giannone petrone associates

Giannone Petrone Associates Inc. Architects
96 Spadina Avenue, Suite 900, Toronto, ON Canada M5V 2J6
T 416.591.7788 F 416.591.1293 E mail@gpaa.com

DANFORTH & ST. CLAIR LANDS

Scarborough, Ontario

SITE ELEVATION B

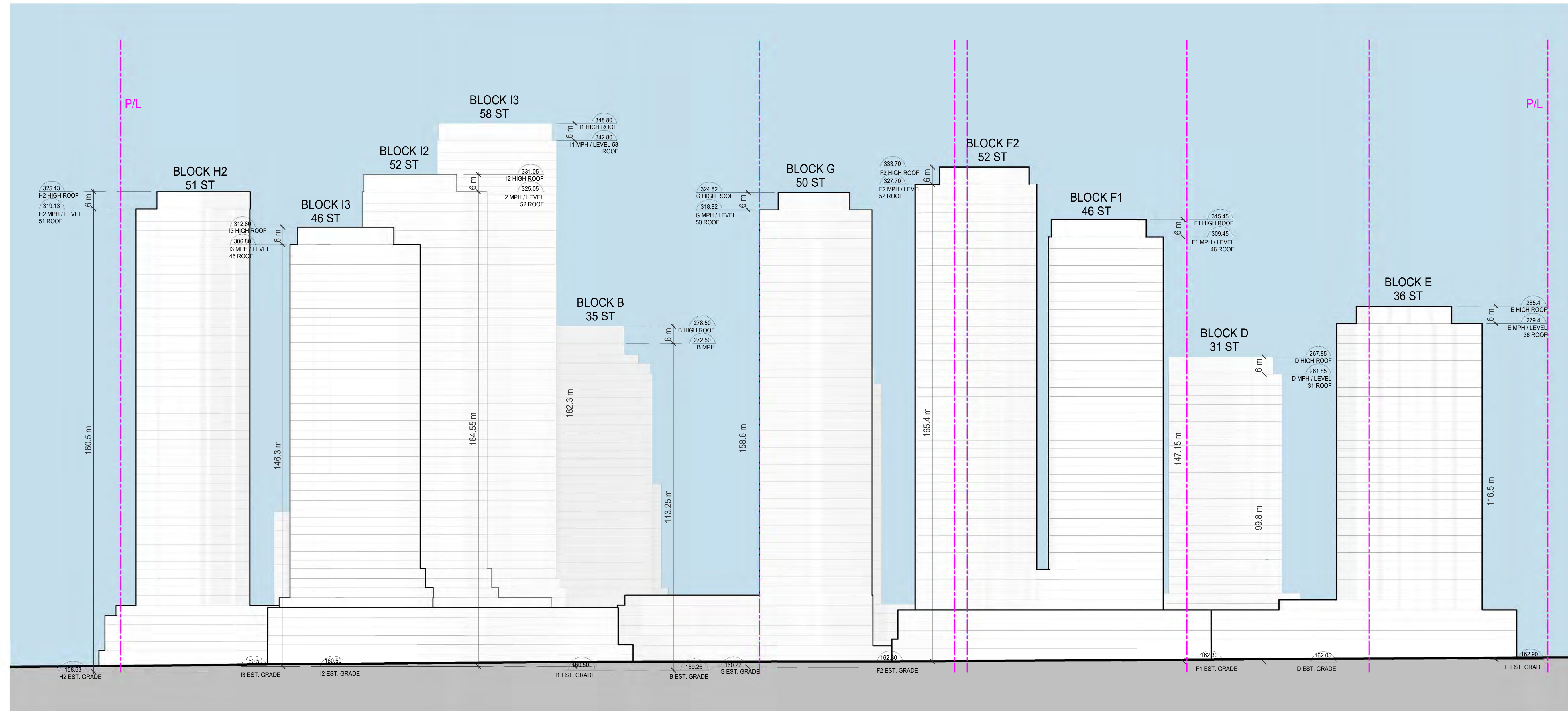
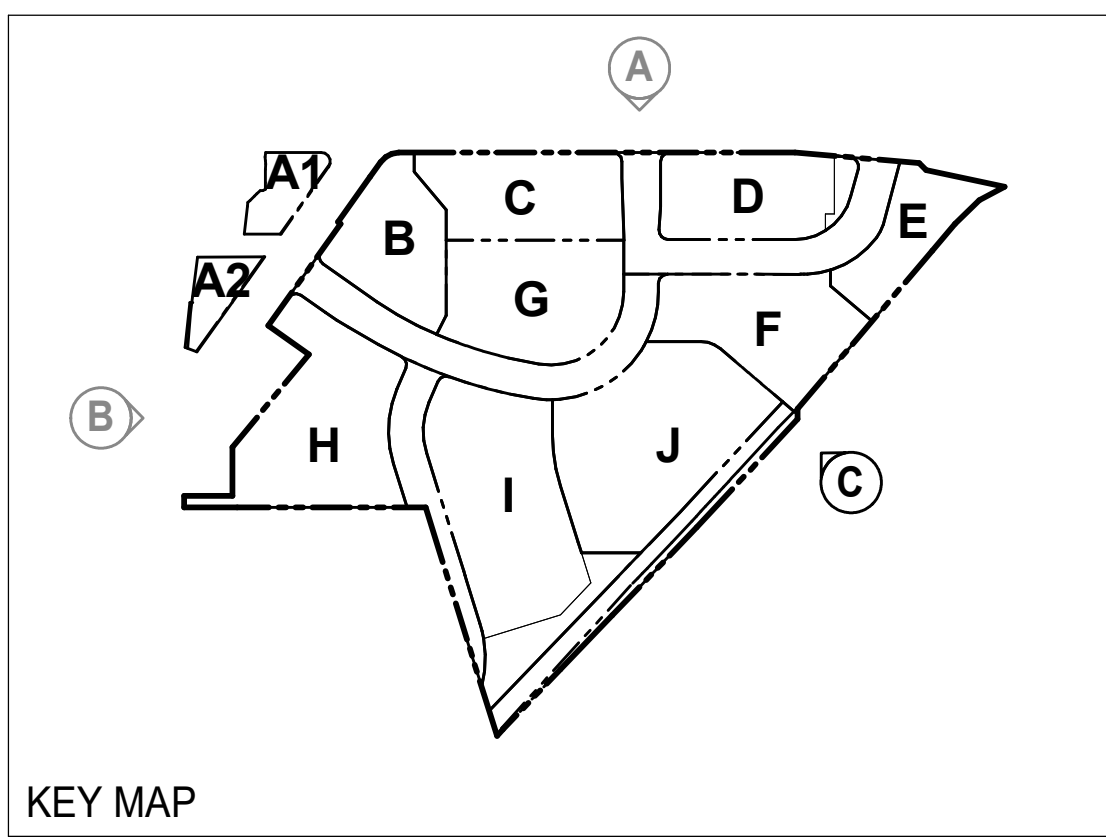
DRAWN BY: GPA
CHECKED BY: BH
PROJECT START DATE: 08/17/20
PROJECT NO.: 19164
SHEET NUMBER

A 0.57

All drawings, specifications, related documents and design are the copyright property of the architect and must be returned upon request. Reproduction of the drawings, specifications, related documents and design in whole or in part is strictly forbidden without the architect's written permission.

Revision _____ Date _____

**NOT FOR
CONSTRUCTION**



5	ISSUED FOR SETTLEMENT OFFER	24-01-19
4	RE-ISSUED FOR DRAFT SETTLEMENT	23-12-22
3	RE-ISSUED FOR ZBA/OPA	23-03-24
2	RE-ISSUED FOR ZBA/OPA	22-05-27
1	ISSUED FOR ZBA/OPA	20-10-05

Revision _____ Date _____



**giannone
petrone
associates**

Giannone Petrone Associates Inc. Architects
96 Spadina Avenue, Suite 900, Toronto, ON Canada M5V 2J6
T 416.591.7788 F 416.591.1293 E mail@gpaa.com

**DANFORTH & ST. CLAIR
LANDS**

Scarborough, Ontario

SITE ELEVATION C

DRAWN BY: GPA
CHECKED BY: BH
PROJECT START DATE: 08/17/20
PROJECT NO.: 19164
SHEET NUMBER

A 0.58

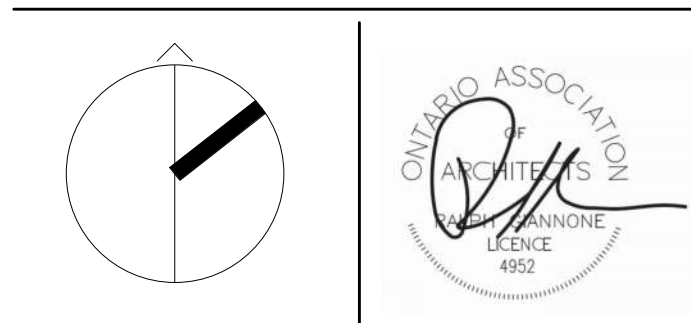
All drawings, specifications, related documents and design are the copyright property of the architect and must be returned upon request. Reproduction of the drawings, specifications, related documents and design in whole or in part is strictly forbidden without the architect's written permission.

Revision _____ Date _____

NOT FOR CONSTRUCTION

5	ISSUED FOR SETTLEMENT OFFER	24-01-19
4	RE-ISSUED FOR DRAFT SETTLEMENT	23-12-22
3	RE-ISSUED FOR ZBA/OPA	23-03-24
2	RE-ISSUED FOR ZBA/OPA	22-05-27
1	ISSUED FOR ZBA/OPA	20-10-05

Revision _____ Date _____



giannone petrone associates

Giannone Petrone Associates Inc. Architects
96 Spadina Avenue, Suite 900, Toronto, ON Canada M5V 2J6
T 416.591.7788 F 416.591.1293 E mail@gpaa.com

DANFORTH & ST. CLAIR LANDS

Scarborough, Ontario

RENDER PLAN - SITE

DRAWN BY: _____ Author
CHECKED BY: BH
PROJECT START DATE: 10/13/20
PROJECT NO.: 19164
SHEET NUMBER

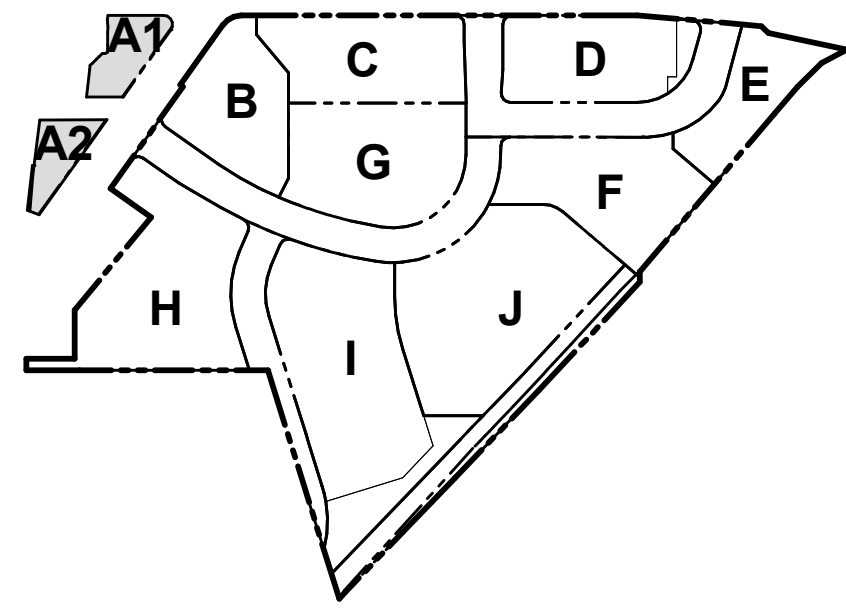
A 0.71

PLOT DATE: 2024-01-22 1:40:18 PM



1 RENDERED SITE PLAN
A.071
1:750

NOTE: SITES B+C ARE PART OF MASTER PLAN BUT THEY ARE A DEMONSTRATION PLAN ONLY, SUBJECT TO CHANGE PER FUTURE APPLICATIONS. SITES B AND C ARE NOT PART OF APPLICATION
Further refinement of Street C to match 375 Kennedy alignment in the final settlement drawings



KEY MAP

TORONTO GREEN STANDARD TEMPLATE VERSION 3.0		BLOCK A1	
Mid to High Rise Residential and all New Non-Residential Development			
GENERAL PROJECT DESCRIPTION		PROPOSED	
Total Gross Floor Area		19,216	
Breakdown of Project Components (m ²):			
Residential	18,514		
Retail	702		
Commercial	0		
Industrial	0		
Institutional / Other (Community, Go Station)	0		
Total Number of Units (residential only)	276		
SECTION 1: FOR STAND ALONE ZONING BYLAW AMENDMENT APPLICATIONS AND SITE PLAN CONTROL APPLICATIONS			
AUTOMOBILE INFRASTRUCTURE			
Number of Parking Spaces	REQUIRED: 142	PROPOSED: 130	PROPOSED (%): 92%
Number of parking spaces dedicated for priority LEV parking	0	0	0
Number of parking spaces with EVSE (20% of parking supply)	26	26	
CYCLING INFRASTRUCTURE			
Number of long term bicycle parking spaces (residential)	165	259	135%
Number of long term bicycle parking spaces (all other uses)	1	1	100%
Number of long term bicycle parking spaces (all uses) located on:			
a) first storey of building	0	0	
b) second storey of building	0	89	
c) first level below-ground (% indicates floor area occupied by bicycle parking)	0	174	16%
d) second level below-ground	0	0	
e) other levels below-ground	0	0	
Number of short term bicycle parking spaces (residential)	20	30	150%
Number of short term bicycle parking spaces (all other uses)	5	5	100%
Number of male shower and change facilities (non-residential)	0	0	
Number of female shower and change facilities (non-residential)	0	0	
TREE PLANTING & SOIL VOLUME			
Total Soil Volume (40% of the site area = 69m ² x 30m ³)	REQUIRED: 343	PROPOSED: 316	PROPOSED (%): 92%

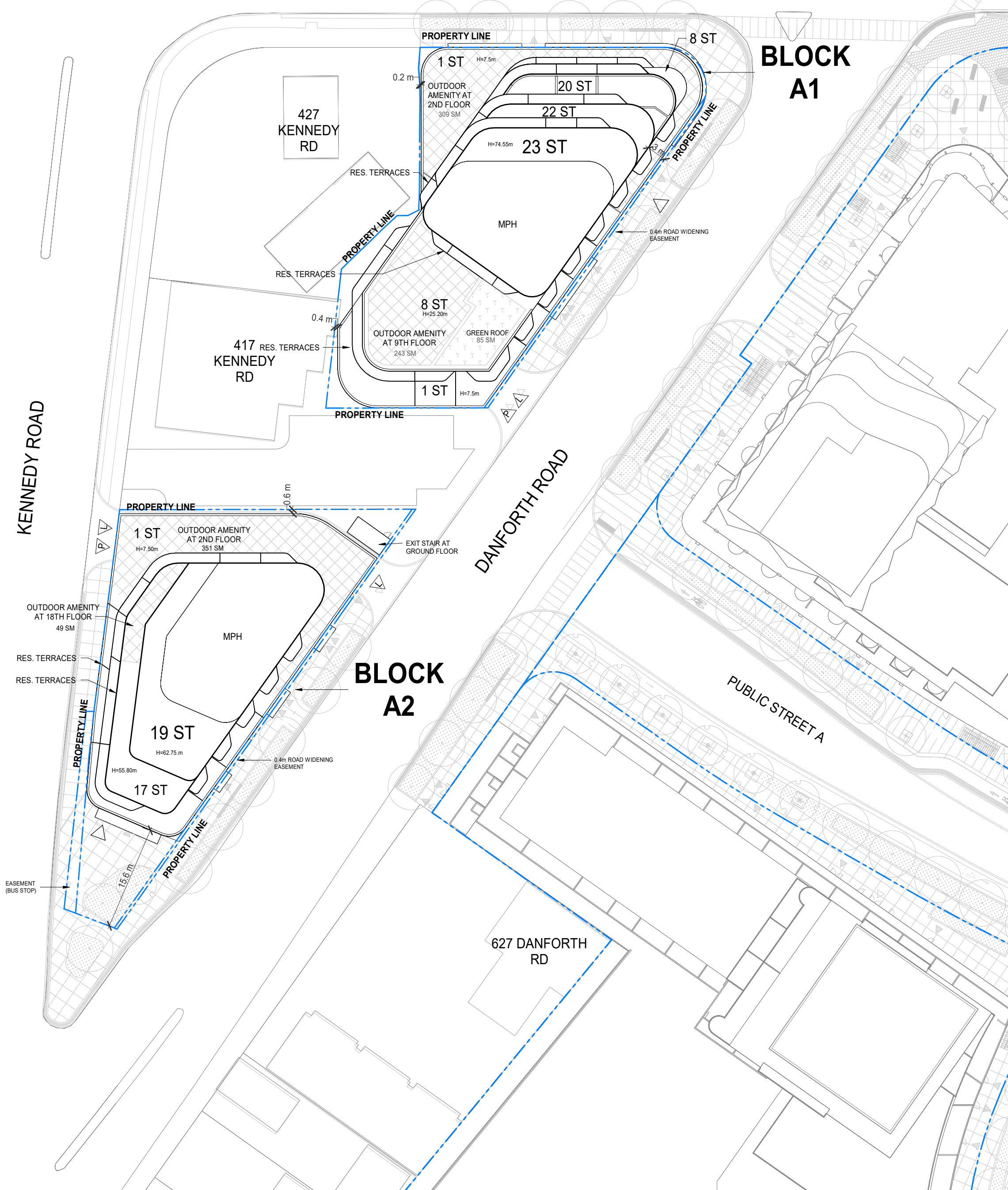
TORONTO GREEN STANDARD TEMPLATE VERSION 3.0		BLOCK A2	
Mid to High Rise Residential and all New Non-Residential Development			
GENERAL PROJECT DESCRIPTION		PROPOSED	
Total Gross Floor Area		13,314	
Breakdown of Project Components (m ²):			
Residential	12,904		
Retail	410		
Commercial	0		
Industrial	0		
Institutional / Other (Community, Go Station)	0		
Total Number of Units (residential only)	200		
SECTION 1: FOR STAND ALONE ZONING BYLAW AMENDMENT APPLICATIONS AND SITE PLAN CONTROL APPLICATIONS			
AUTOMOBILE INFRASTRUCTURE			
Number of Parking Spaces	REQUIRED: 103	PROPOSED: 107	PROPOSED (%): 104%
Number of parking spaces dedicated for priority LEV parking	4	4	0
Number of parking spaces with EVSE (20% of parking supply)	22	22	
CYCLING INFRASTRUCTURE			
Number of long term bicycle parking spaces (residential)	136	163	135%
Number of long term bicycle parking spaces (all other uses)	1	1	100%
Number of long term bicycle parking spaces (all uses) located on:			
a) first storey of building	0	0	
b) second storey of building	0	58	
c) first level below-ground (% indicates floor area occupied by bicycle parking)	0	126	17%
d) second level below-ground	0	0	
e) other levels below-ground	0	0	
Number of short term bicycle parking spaces (residential)	14	28	200%
Number of short term bicycle parking spaces (all other uses)	5	0	0%
Number of male shower and change facilities (non-residential)	0	0	
Number of female shower and change facilities (non-residential)	0	0	
TREE PLANTING & SOIL VOLUME			
Total Soil Volume (40% of the site area = 66m ² x 30m ³)	REQUIRED: 300	PROPOSED: 328	PROPOSED (%): 109%

All drawings, specifications, related documents and design are the copyright property of the architect and must be returned upon request. Reproduction of the drawings, specifications, related documents and design in whole or in part is strictly forbidden without the architect's written permission.

Revision _____ Date _____

NOT FOR CONSTRUCTION

ST CLAIR AVE E



SITE STATISTICS		BLOCK A1			
BLOCK SITE AREA		sm		sf	
		1,887.54		20,317	
RESIDENTIAL GFA		18,514		199,283	
RETAIL GFA		702		7,556	
COMMUNITY GFA		0		0	
GO STATION GFA		0		0	
TOTAL GFA		19,216		206,839	
<small>(GFA definition per City of Toronto 569-2013 Bylaw)</small>					
FSI		10.18			
LOT COVERAGE		sm		sf	
		1,757		18,909	
LANDSCAPING		89		958	
UNIT COUNT		ST		180	
		25		160	
		63		28	
		10.1%		100.0%	
AMENITY		REQUIRED		PROPOSED	
<small>Total req'd if indoor+outdoor amenity: min. 4sm/unit</small>		sm		sf	
INDOOR AMENITY		552		5,942	
<small>min. 2sm/unit</small>		400		4,306	
OUTDOOR AMENITY		400		4,306	
<small>min 2.0sm/unit. Total indoor + outdoor amenity requirement of</small>		400		4,306	
ESTABLISHED GRADE		m		ft	
		159.00		-	
HEIGHT		74.55		244.60	
VEHICLE PARKING		REQUIRED		PROPOSED	
residential		110		98	
commercial/visitor		32		32	
total		142		130	
BICYCLE PARKING		189		260	
long term		25		35	
short term		214		295	
total		214		295	
LOADING		TYPE		NUMBER OF SPACES	
		G		1	

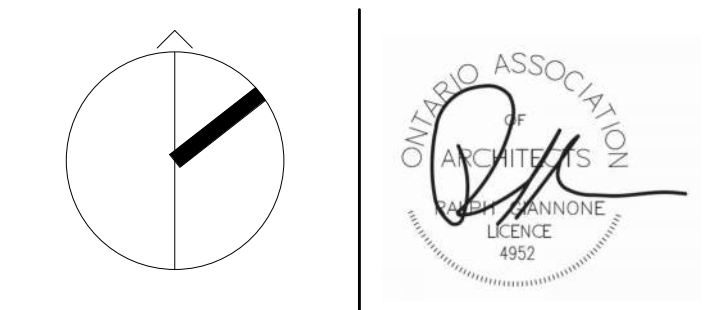
See Report by BA Group for further detail on parking and loading.

SITE STATISTICS		BLOCK A2			
BLOCK SITE AREA		sm		sf	
		1,649.41		17,754	
RESIDENTIAL GFA		12,904		138,897	
RETAIL GFA		410		4,413	
COMMUNITY GFA		0		0	
GO STATION GFA		0		0	
TOTAL GFA		13,314		143,310	
<small>(GFA definition per City of Toronto 569-2013 Bylaw)</small>					
FSI		8.07			
LOT COVERAGE		sm		sf	
		1,340		14,426	
LANDSCAPING		277		2,982	
UNIT COUNT		ST		180	
		10		135	
		35		20	
		5.0%		67.5%	
		17.5%		10.0%	
		10.0%		100.0%	
AMENITY		REQUIRED		PROPOSED	
<small>Total req'd if indoor+outdoor amenity: min. 4sm/unit</small>		sm		sf	
INDOOR AMENITY		400		4,306	
<small>min. 2sm/unit</small>		400		4,306	
OUTDOOR AMENITY		400		4,306	
<small>min 2.0sm/unit. Total indoor + outdoor amenity requirement of</small>		400		4,306	
ESTABLISHED GRADE		m		ft	
		158.25		-	
HEIGHT		62.75		205.88	
VEHICLE PARKING		REQUIRED		PROPOSED	
residential		80		84	
commercial/visitor		23		23	
total		103		107	
BICYCLE PARKING		137		184	
long term		19		28	
short term		156		212	
total		156		212	
LOADING		TYPE		NUMBER OF SPACES	
		G		1	

See Report by BA Group for further detail on parking and loading.

- 5 ISSUED FOR SETTLEMENT OFFER 24-01-19
- 4 RE-ISSUED FOR DRAFT SETTLEMENT 23-12-22
- 3 RE-ISSUED FOR ZBA/OPA 23-03-24
- 2 RE-ISSUED FOR ZBA/OPA 22-05-27
- 1 ISSUED FOR ZBA/OPA 20-10-05

Revision _____ Date _____



giannone petricone associates

Giannone Petricone Associates Inc. Architects
96 Spadina Avenue, Suite 900, Toronto, ON Canada M5V 2J6
T 416.591.7788 F 416.591.1293 E mail@gpa.ca

DANFORTH & ST. CLAIR LANDS

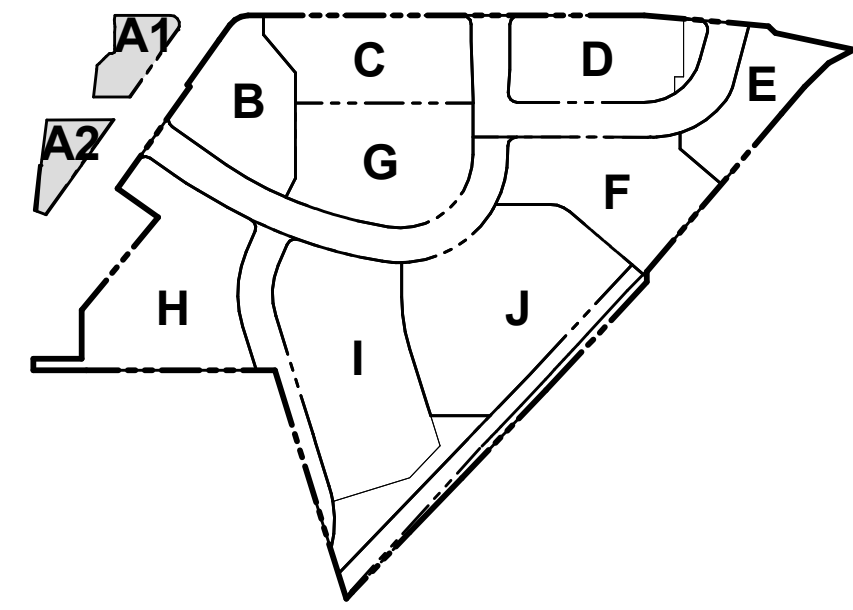
Scarborough, Ontario

BLOCK A - ROOF SITE PLAN + STATS + TGS

DRAWN BY: _____ Author
CHECKED BY: _____ BH
PROJECT START DATE: 04/28/22
PROJECT NO.: 19164
SHEET NUMBER

BL A - A 0.01

1 BLOCK A - SITE PLAN
BL A - A 0.01
1:500

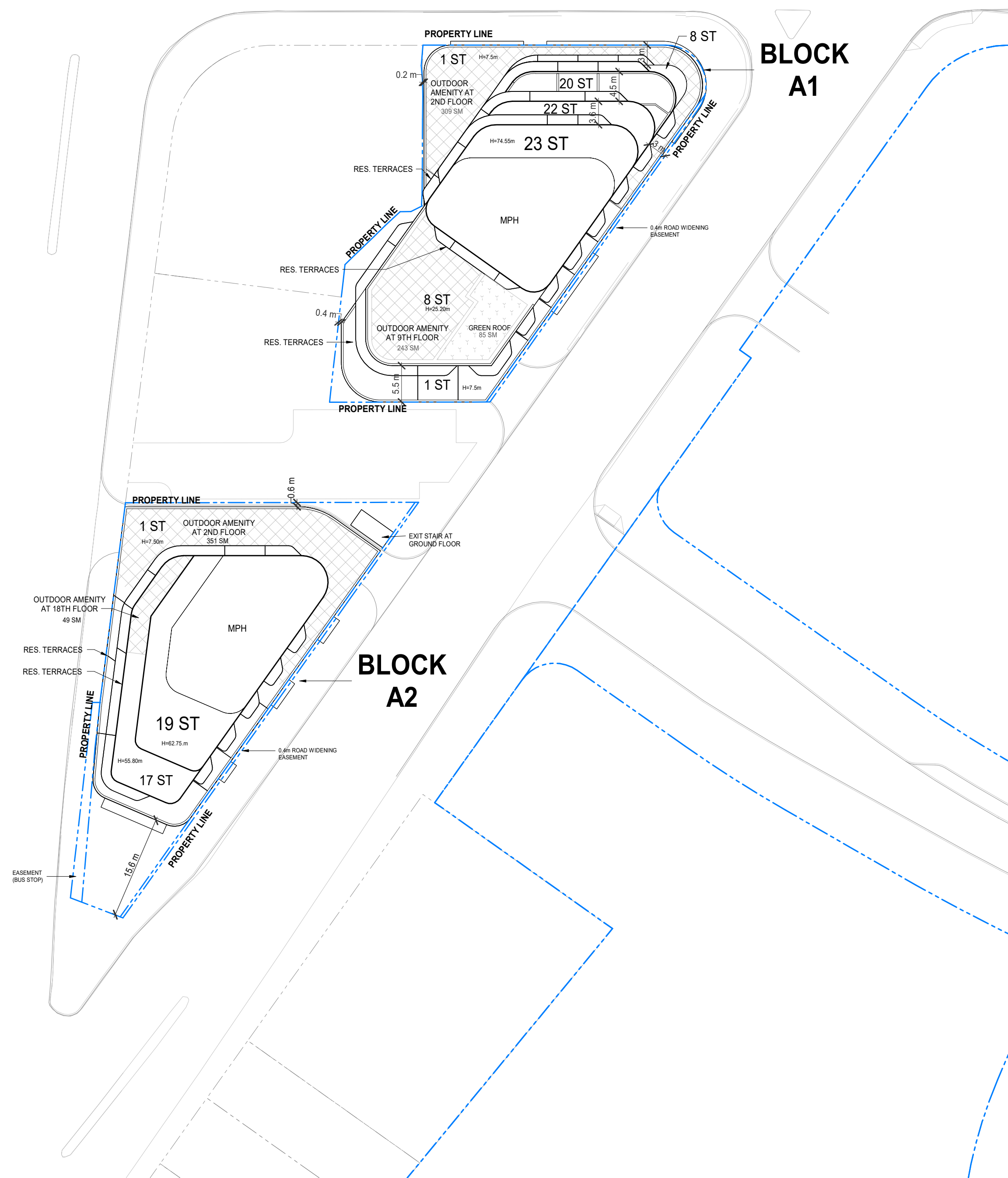


KEY MAP

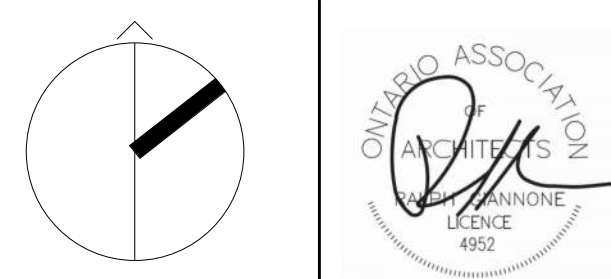
NOT FOR CONSTRUCTION

Green Roof Statistics		BLOCK A1
GENERAL PROJECT DESCRIPTION		
Gross Floor Area, as defined in Green Roof Bylaw (m ²)		PROPOSED 19,216
Total Roof Area (m ²)		1,784
Area of Residential Private Terraces (m ²)		313
Rooftop Outdoor Amenity Space, if in a Residential Building (m ²)		552
Area of Renewable Energy Devices (m ²)		0
Tower(s) Roof Area with floor plate less than 750 m ²		750
Total Available Roof Space (m ²)		169
GREEN ROOF COVERAGE		
Coverage of Available Roof Space (m ²)	REQUIRED	PROPOSED
	85	85
Coverage of Available Roof Space (%)	50%	50%

Green Roof Statistics		BLOCK A2
GENERAL PROJECT DESCRIPTION		
Gross Floor Area, as defined in Green Roof Bylaw (m ²)		PROPOSED 13,314
Total Roof Area (m ²)		1,330
Area of Residential Private Terraces (m ²)		180
Rooftop Outdoor Amenity Space, if in a Residential Building (m ²)		400
Area of Renewable Energy Devices (m ²)		0
Tower(s) Roof Area with floor plate less than 750 m ²		750
Total Available Roof Space (m ²)		0
GREEN ROOF COVERAGE		
Coverage of Available Roof Space (m ²)	REQUIRED	PROPOSED
	0	0
Coverage of Available Roof Space (%)	40%	n/a



- 4 ISSUED FOR SETTLEMENT OFFER 24-01-19
- 3 RE-ISSUED FOR ZBA/OPA 23-03-24
- 2 RE-ISSUED FOR ZBA/OPA 22-05-27
- 1 ISSUED FOR ZBA/OPA 20-10-05



**giannone
petricone
associates**

Giannone Petricone Associates Inc. Architects
96 Spadina Avenue, Suite 900, Toronto, ON Canada M5V 2J6
T 416.591.7788 F 416.591.1293 E mail@gpaa.com

**DANFORTH & ST. CLAIR
LANDS**

Scarborough, Ontario

BLOCK A - ROOF PLAN

DRAWN BY: _____ Author
CHECKED BY: _____ BH
PROJECT START DATE: 04/28/22
PROJECT NO.: 19164
SHEET NUMBER

BL A - A 1.11