BAYVIEW & EGLINTON OVERBUILD

1787 - 1779 Bayview Ave, Toronto, ON

OPA/ZBA/SPA RE-SUBMISSION



ARCHITECTURAL DRAWING LIST

A000 SERIES	SITE
A-000	COVER PAGE
A-001	CONTEXT PLAN
A-002	SITE SURVEY & TOPOGRAPHY
A-003	SITE PLAN
A-004	CONCEPT & LANDSCAPE PLAN
A-005	GENERAL NOTES & STATISTICS BREAKDOWN
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A200 SERIES	SITE / BUILDING ELEVATIONS
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<u>Δ-301</u>	FAST - WEST BUILDING SECTION
A-302	
A300 SERIES	SITE / BUILDING SECTIONS
A300 SERIES A-501	SITE / BUILDING SECTIONS STREET VIEW
A300 SERIES A-501 A-502	SITE / BUILDING SECTIONS STREET VIEW STREET VIEW
A300 SERIES A-501 A-502 A-503	SITE / BUILDING SECTIONS STREET VIEW STREET VIEW OVERALL BUILIDNG PERSPECTIVE DRAWING
A300 SERIES A-501 A-502 A-503 A-504	SITE / BUILDING SECTIONS STREET VIEW STREET VIEW OVERALL BUILIDNG PERSPECTIVE DRAWING OVERALL BUILIDNG PERSPECTIVE DRAWING
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IT STATISTIC	CS			
leters	min - Denotes M max - Denotes N	linin ⁄Iaxi	num mum	
ubject Lands:	1787 - 1779 Bay Toronto, Ontario Part of Lots 374	/vie 4, 37	w Ave 75 & 376 - Registered Plan 1908	
	By-Law No. 569 Official Plan Am	-201 end	3 ment No. 405 - Midtown in Focus	
esidential /		enu	Proposed Use Commercial Rev	sidential
ial Multiple Dwelling	OIT & TIM			3 15/ 80 cm
	15 / 1 25			0.104.00 311
	1.5 / 1.25		Proposed GEA (combined)	28 905 31 cm
			(combined)	20,903.31
2	80% / 30%		Proposed Lot Coverage:	75%
Ave.)	86.88 36.54	m m	No of Frontages: (Bavview Ave. and	2 d Ealinton Ave E)
	146.47	m	CDG (Canadian Geodatic Datum)	,
			TOTAL RESI	DENTIAL UNITS
			Total Number of Residential Units:	436
			Condo Rental	325 111
			BU	ILDING HEIGHT
dential Roof	m 12.2 / 16.0		PROPOSED Height to Top of Residential Roof	<i>m</i> 114.50
echanical penthouses neasured from the esta	up to 6.0m, chimney blished grade.	/ ver	nts, skylights, antennae, elevator machine rooms	
d:	N/A		No. of Storeys Proposed:	35
			BUILD	ING SETBACKS
Bayview Ave)	3.0 (max)		PROPOSED Front Yard Setback	2.75
pack (Eglinton Ave)	2.40 3.0 (max)		Side Yard Setback	2.40
	7.50		Rear Yard Setback	3.00
DJECT DATA BY C	OMPONENTS			
	sm	[PRC	POSED AREAS
**	28,905.31		**** GFA as defined by Zoning By-law	
pace**	1,596.00 257.00		* Building Footprint ** Soft Landscaping + Hard Landscaping a	reas
**	1,302.00		*** Driveway, Parking lots and loading area	S
	Unit Count		RESIDE Typical Unit Size	NTIAL UNIT MIX Percent
	0		0.0 50.9 sm	0.0%
	124		65.8 sm	28.4%
TOTAL:	45 436		82.6 sm	10.3%
	sm		PROVIDED	AMENITY sm
g Unit in and Apartn	nent Building)			
ed (2sm/unit): red (2sm/unit):	872.00 872.00		Indoor Amenity Provided: Outdoor Amenity Provided:	789.05 1,008.68
			P	ARKING SPACE
num)	Prk.Spaces		PROVIDED	Prk.Spaces
			Total Parking Spaces Provided:	137
	133		Breakdown of parking space by use :	128
	45		Residential Visitors Shared	6
45 17 10 (MM- 1230)	87		Non Residential Shared	3
ients of 0.2 spaces quired	per unit		Breakdown of parking space by location: P1	30
in sm x 3 50 spaces	0 per 100 sm		P2 P3	39
	204		P4	26
l breakdwon of required p	364 arking based on			137
			Residential Parking Ratio BICYCLE P	0.29 ARKING SPACE
ng Unit in and Aparti	ment Building)		PROVIDED	
ing Space :	Spaces 393		Long-term Bicycle Parking Space :	Spaces 401
ting : TOTAL	88 481		Short-term Bicycle Parking : TOTAL ·	90 491
e narking	50		Energized Outlet Pievele perking	64
e parking erm spaces	59		Litergized Outlet Bicycle parking	04
ll Other Uses)	2			
ing Space :	Spaces 0		Long-term Bicycle Parking Space :	Spaces 0
ting : TOTAL:	10 10		*Short-term Bicycle Parking : TOTAL:	10 10
e existing Leaside bi	cycle parking on	site		

PROVIDED

Type "I

Type of Loading Space Provided:

Type of Loading Space Provided:

TOTAL No. of Loading Spaces:

LOADING SPACE

1 Type "G"

1 Type "B"

	CLIENT	
		OR [™] s ltd.
	1500 HIGHWAY 7 WEST CONCORD, ON L4K 5Y4	_
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ŀ	ISSUES No. DESCRIPTION	DATE
$\left \right $	1OPA/ZBA/SPA2OPA/ZBA/SPA	2022/09/29 2023/10/10
	RESUBMISSION 3 OPA/ZBA/SPA	2024/02/06
-	4 OPA/ZBA/SPA	2024/02/16
	GENERAL NOTES	
	DRAWINGS ARE PREPARED BASED ON BOUNDARY F TOPOGRAPHICAL SURVEY PART OF LOTS 374, 375 & REGISTERED PLAN 1908. PREPARED BY VUJEVA SUF DATED JULY 28TH 2018	PLAN AND 376 RVEYS LTD. AND
	DRAWINGS ARE TO BE READ IN CONJUNCTION WITH CONSULTANTS' DRAWINGS AND REPORTS.	ALL OTHER
	REFER TO TRAFFIC CONSULTANT'S DOCUM TRAFFIC DIACRAMO TURNING RADIU TRAFFIC	
	IRAFFIC DIAGRAMS, TURNING RADII, TRAFF SITE ACCESS INFORMATION;	
	 REFER TO LANDSCAPE ARCHITECT'S DRAW LANDSCAPING INFORMATION, GREEN ROOF AMENITY SPACES: 	AND OUTDOOR
	REFER TO SITE SERVICING / CIVIL ENGINEE AND REPORTS FOR SITE SERVICING GRADI	R'S DRAWINGS NG, AND UTILITY
	 INFORMATION; REFER TO TRAFFIC CONSULTANT'S DOCUM INFORMATION ABOUT WASTE STORAGE, PIC HANDLING FOR ALL USES/OCCUPANCIES; 	ientation for CK-up and
	ALL DRIVEWAYS AND PASSAGE WAYS FOR FIRE ACC TO THE LOADING SPACE OVER A SUPPORTED STRU BE CONSTRUCTED AS PER THEONTARIO BUILDING C REQUIREMENTS, INCLUDING ALLOWANCES FOR THE TORONTO BULK LIFT VEHICLES;	CESS ROUTE AND CTURE ARE TO CODE E CITY OF
	ALL LOADING AND UNLOADING MUST BE ACCOMMOD WITHIN THE LIMITS OF THE DESIGNATED LOADING S TRAINED STAFF TO BE PRESENT DURING GARBAGE FOR MANEUVERING OF BINS AND TO ASSIST GARBA OTHER VEHICLES WITH THE BACKUP MANEUVER TO	DATED ON SITE PACES. ON SITE COLLECTION GE TRUCKS AND /FROM THE
	LOADING SPACE; ACCEPTABLE TRAFFIC SIGNS AND MIRRORS TO BE I WARN MOTORISTS OF ONCOMING TRAFFIC AND POS	NSTALLED TO SITIONED SUCH
	THAT MOTORISTS ARE PROVIDED WITH CLEAR VIEW TRAFFIC; BUILDING TO BE FULLY SPRINKLED	/S OF ONCOMING
	DESIGN WILL BE COMPLIANT WITH ACCESSIBILITY D	ESIGN
	STANDARDS	
ł	SEAL	
	55 St. Clair Avenue West, 7th Floor, Toronto, ON M4V 2Y7, Canada	,
	tel 4 10 596 1930 fax 416 596 0644 www.arcadis.com	
	PROJECT BAYVIEW & EGLIN	TON
	OVERBUILD 1787 - 1779 Bayview Ave, To	ronto, ON
ſ	PROJECT NO: 39762	
	DRAWN BY: CHECKED	BY:
+	PROJECT MGR: APPROVE	D BY:
	CONTEXT PLAN	N
	SHEET NUMBER	ISSUE



WTHOUT PREJUD

	1500 HIGHWAY CONCORD, ON	TTESLTD. 7 WEST L4K 5Y4
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	ISSUES No. DESCRIPTION 1 OPA/ZBA/SPA 2 OPA/ZBA/SPA RESUBMISSION	DATE 2022/09/29 2023/10/10
	3 OPA/ZBA/SPA RESUBMISSION 4 OPA/ZBA/SPA RESUBMISSION GENERAL NOTES	2024/02/06 2024/02/16
LOT 397	DRAWINGS ARE PREPARED BASED ON BO TOPOGRAPHICAL SURVEY PART OF LOTS REGISTERED PLAN 1908. PREPARED BY V DATED JULY 28TH 2018.	DUNDARY PLAN AND 5 374, 375 & 376 /UJEVA SURVEYS LTD. AND
	DRAWINGS ARE TO BE READ IN CONJUNC	CTION WITH ALL OTHER
LOT 377 • 146.69 • 146.69	 REFER TO TRAFFIC CONSULTAN TRAFFIC DIAGRAMS, TURNING R/ SITE ACCESS INFORMATION; REFER TO LANDSCAPE ARCHITE LANDSCAPING INFORMATION, GF AMENITY SPACES; REFER TO SITE SERVICING / CIV AND REPORTS FOR SITE SERVIC INFORMATION; REFER TO TRAFFIC CONSULTAN NEFORMATION ADDUCT WATTE ST 	T'S DOCUMENTATION FOR ADII, TRAFFIC REPORT AND CT'S DRAWINGS FOR REEN ROOF AND OUTDOOR IL ENGINEER'S DRAWINGS ING, GRADING, AND UTILITY IT'S DOCUMENTATION FOR
GRAVEL PARKING GRAVEL PARKING 145.88 146.62 • 146.55 • 146.55	ALL DRIVEWAYS AND PASSAGE WAYS FO TO THE LOADING SPACE OVER A SUPPOF BE CONSTRUCTED AS PER THEONTARIO REQUIREMENTS, INCLUDING ALLOWANCE TORONTO BULK LIFT VEHICLES;	PANCIES; PANCIES; RFIRE ACCESS ROUTE AND RTED STRUCTURE ARE TO BUILDING CODE ES FOR THE CITY OF
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GARAGE 53 GARAGE 53 17.29 CONC. 1.7 20 20 20 20 20 20 20 20 20 20	ACCEPTABLE TRAFFIC SIGNS AND MIRRO WARN MOTORISTS OF ONCOMING TRAFF THAT MOTORISTS ARE PROVIDED WITH O TRAFFIC;	ORS TO BE INSTALLED TO IC AND POSITIONED SUCH CLEAR VIEWS OF ONCOMING
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PIN 10386 No. 1779 No. 1777 No. 1777 No. 1777 No. 1777		
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CONC. SIDEWALK SALE CURB CUT SALE CONC. CONC	ARCADIS ARCHITECTS (55 St. Clair Avenue West, Toronto, ON M4V 2Y7, Can tel 416 596 1930 fax 416 5 www.arcadis.com	ADIS (CANADA) INC. 7th Floor, nada 996 0644
	PROJECT BAYVIEW & EO OVERBU 1787 - 1779 Bayview A	GLINTON IILD ve, Toronto, ON
	PROJECT NO: 39762	
	DRAWN BY: CH	ECKED BY:
	SHEET TITLE SITE SURVEY & TO	OPOGRAPHY
1 SURVEY -002 Scale: 1 : 150	North Project North SHEET NUMBER	ISSUE



APT CONTRACTOR CONTRAC	CLIENT CUENT CONCORD, ON LAK 5Y4 CONCORD, ON LAK 5Y4 CONCORD, ON LAK 5Y4 CONCORD CONCORNATION CONCORD ON LAK 5Y4 CONCORD ON LAK 5Y4 CONCORNATION CONCORD ON LAK 5Y4 CONCORNATION CONCORNATI
	PROJECT NO: 39762 DRAWN BY: - PROJECT NO: 39762 DRAWN BY: - PROJECT MGR: - PROJECT MGR: - SHEET NUMBER A-OOO3 ISSUE 4 ISSUE 4

TORONTO

Statistics Template – Toronto Green Standard Version 4.0 Mid to High Rise Residential and all New Non-Residential Development

The Toronto Green Standard Version 4.0 Statistics Template is submitted with Site Plan Control Applications and stand-alone Zoning Bylaw Amendment applications. Complete the table and copy it directly onto the Site Plan submitted as part of the application.

For Zoning Bylaw Amendment applications: complete General Project Description and Section 1. For Site Plan Control applications: complete General Project Description, Section 1 and Section 2. For further information, please visit <u>www.toronto.ca/greendevelopment</u>

Proposed	
28,905.31	
28,905.31	
436	
	Proposed 28,905.31 28,905.31 436

Section 1: For Stand Alone Zoning Bylaw Amendment Applications and Site Plan Control Applications

d Proposed	Proposed %
137	
134	
3	
d Proposed	Proposed %
401	102%
401	102%
	_
d Proposed	Proposed %
90	102%
-	-
d Proposed	Proposed %
328.1	57.16%
200.1	01.1070
320.1	
	328.1 328.1

Section 2: For Site Plan Control Applications

cling Infrastructure	Required	Proposed	Proposed %
mber of short-term bicycle parking spaces (all uses) grade or on first level below grade	88	90	102%
mber of publicly accessible bicycle parking spaces	10*	30*	300%*
mber of energized outlets for electric bicycles	58	64	110%
e Canopy	Required	Proposed	Proposed %
al site area (m²)	3154.8		
al Soil Volume (40% of the site area ÷ 66 m² x 30 m³)	574	328.1	57%
al number of trees planted	19	10	53%
mber of surface parking spaces (if applicable)			
mber of shade trees located in surface parking area	n/a	n/a	
ndscaping & Biodiversity	Required	Proposed	Proposed %
al non-roof hardscape area (m²)		1353.4	
al non-roof hardscape area treated for Urban Heat Island inimum residential 75% or non-residential 50%) (m²)		1018.1	
ea of non-roof hardscape treated with: (indicate m²)		-	
a) high-albedo surface material		1018.1	
b) open-grid pavement			
c) shade from tree canopy			
idscaping & Biodiversity	Required	Proposed	Proposed 9
d) shade from high-albedo structures			
e) shade from energy generation structures	_		
centage of Lot Area as Soft Landscaping		000 00	
n-residential only)		233.83	
n-residential only) al number of plants		1263	
n-residential only) al number of plants al number of native plants and % of total plants		233.83 1263 1078	85%
n-residential only) al number of plants al number of native plants and % of total plants ailable Roof Space (m²)		233.83 1263 1078 643	85%
n-residential only) al number of plants al number of native plants and % of total plants ailable Roof Space (m²) ailable Roof Space provided as Green Roof (m²)	385	233.83 1263 1078 643 389	85% 101%
n-residential only) al number of plants al number of native plants and % of total plants ailable Roof Space (m²) ailable Roof Space provided as Green Roof (m²) ailable Roof Space provided as Cool Roof (m²)	385	233.83 1263 1078 643 389	85%
n-residential only) al number of plants al number of native plants and % of total plants allable Roof Space (m ²) allable Roof Space provided as Green Roof (m ²) allable Roof Space provided as Cool Roof (m ²) allable Roof Space provided as Solar Panels (m ²)	385	233.83 1263 1078 643 389	85%
n-residential only) al number of plants al number of native plants and % of total plants allable Roof Space (m ²) allable Roof Space provided as Green Roof (m ²) allable Roof Space provided as Cool Roof (m ²) allable Roof Space provided as Solar Panels (m ²)	385 Required	233.83 1263 1078 643 389 Proposed	85% 101% Proposed 9
n-residential only) al number of plants al number of native plants and % of total plants allable Roof Space (m ²) allable Roof Space provided as Green Roof (m ²) allable Roof Space provided as Cool Roof (m ²) allable Roof Space provided as Solar Panels (m ²) allable Roof Space provided as Solar Panels (m ²) allable Roof Space provided as Solar Panels (m ²)	385 Required 748.2	233.83 1263 1078 643 389 Proposed	85% 101% Proposed 9
n-residential only) al number of plants al number of native plants and % of total plants allable Roof Space (m ²) allable Roof Space provided as Green Roof (m ²) allable Roof Space provided as Cool Roof (m ²) allable Roof Space provided as Solar Panels (m ²) allable Roof Space provided as Solar Panels (m ²) allable Roof Space provided as Solar Panels (m ²) allable Roof Space provided as Solar Panels (m ²) allable Roof Space provided as Solar Panels (m ²)	Required 748.2 635.97	233.83 1263 1078 643 389 Proposed	85% 101% Proposed % 101%
n-residential only) al number of plants al number of native plants and % of total plants allable Roof Space (m ²) allable Roof Space provided as Green Roof (m ²) allable Roof Space provided as Cool Roof (m ²) allable Roof Space provided as Solar Panels (m ²) allable Roof Space provided as Solar Panels (m ²) allable Roof Space provided as Solar Panels (m ²) allable Roof Space provided as Solar Panels (m ²) allable Roof Space provided as Solar Panels (m ²) allable Roof Space provided as Solar Panels (m ²) collision Deterrence al area of glazing of all elevations within 16m above grade al area of treated glazing (minimum 85% of total area of zing within 16m above grade) (m ²) centage of glazing within 16m above grade treated with:	385 385 <u>Required</u> 748.2 635.97	233.83 1263 1078 643 389 Proposed 643.6	85% 101% Proposed %
n-residential only) al number of plants al number of native plants and % of total plants allable Roof Space (m ²) allable Roof Space provided as Green Roof (m ²) allable Roof Space provided as Cool Roof (m ²) allable Roof Space provided as Solar Panels (m ²) allable Roof Space provided as Solar Panels (m ²) allable Roof Space provided as Solar Panels (m ²) allable Roof Space provided as Solar Panels (m ²) allable Roof Space provided as Solar Panels (m ²) centage of glazing of all elevations within 16m above grade al area of treated glazing (minimum 85% of total area of zing within 16m above grade) (m ²) centage of glazing within 16m above grade treated with: a) Visual markers	385 385 748.2 635.97	233.83 1263 1078 643 389 Proposed 643.6 643.6	85% 101% Proposed 9 101%
al number of plants al number of native plants and % of total plants allable Roof Space (m ²) allable Roof Space provided as Green Roof (m ²) allable Roof Space provided as Cool Roof (m ²) allable Roof Space provided as Solar Panels (m ²) allable Roof Space provided as Solar Panels (m ²) allable Roof Space provided as Solar Panels (m ²) allable Roof Space provided as Solar Panels (m ²) allable Roof Space provided as Solar Panels (m ²) allable Roof Space provided as Solar Panels (m ²) centage of glazing of all elevations within 16m above grade al area of treated glazing (minimum 85% of total area of zing within 16m above grade) (m ²) centage of glazing within 16m above grade treated with: a) Visual markers b) non-reflective glass	Required 748.2 6335.97	233.83 1263 1078 643 389 Proposed 643.6 643.6	85% 101% Proposed % 101% 100%

True North Project North

	1500	HIGHWAY 7 W	VEST
	CONC	CORD, ON L4K	C 5Y4
COPY This dr or c Writte shall Arcar show	RIGHT awing has been prepar istribution for any purp n dimensions shall hav verify and be responsib tis shall be informed of n on the drawing. Shop conformance Arcadis	red solely for the intender ose other than authorize we precedence over scale ble for all dimensions and any variations from the p drawings shall be subm before proceeding with Architects (Cana	d use, thus any reproduction d by Arcadis is forbidden. d dimensions. Contractors conditions on the job, and dimensions and conditions nitted to Arcadis for general fabrication. da) Inc.
ISSUE	S		
No. 1	DES OPA/ZBA/SP	CRIPTION A	DATE 2022/09/29
2	OPA/ZBA/SP RESUBMISS	A ION	2023/10/10
3	OPA/ZBA/SP RESUBMISS	A ION	2024/02/06
4	OPA/ZBA/SP	A ION	2024/02/16
GENER	AL NOTES		
DRAWI TOPOG REGIST DATED	NGS ARE PREPARE RAPHICAL SURVEY ERED PLAN 1908. F JULY 28TH 2018.	ED BASED ON BOUNE (PART OF LOTS 374 PREPARED BY VUJE	DARY PLAN AND , 375 & 376 /A SURVEYS LTD. AND
DRAWI	NGS ARE TO BE RE	AD IN CONJUNCTION	N WITH ALL OTHER
CONSU	LTANTS' DRAWING	S AND REPORTS.	
•	REFER TO TRAFF	IC CONSULTANT'S D	OCUMENTATION FOR TRAFFIC REPORT AND
•	SITE ACCESS INF	ORMATION;	DRAWINGS FOR
	LANDSCAPING INI	FORMATION, GREEN	ROOF AND OUTDOOR
•	REFER TO SITE S	SERVICING / CIVIL EN	IGINEER'S DRAWINGS GRADING, AND LITHITY
	INFORMATION;		
•		OUT WASTE STORA	GE, PICK-UP AND
ALL DR TO THE BE CON REQUIE	IVEWAYS AND PAS LOADING SPACE (ISTRUCTED AS PER REMENTS, INCLUDI	SAGE WAYS FOR FI DVER A SUPPORTED R THEONTARIO BUIL NG ALLOWANCES FO	RE ACCESS ROUTE AND I STRUCTURE ARE TO DING CODE IR THE CITY OF
TORON	TO BULK LIFT VEHI	ICLES;	
all Lo. Within	ADING AND UNLOA THE LIMITS OF TH	DING MUST BE ACCO E DESIGNATED LOAI	DMMODATED ON SITE DING SPACES. ON SITE
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ACCEP	TABLE TRAFFIC SIC	SNS AND MIRRORS T	O RE INSTALLED TO
WARN THAT M	MOTORISTS OF ON	COMING TRAFFIC AN	ND POSITIONED SUCH
TRAFFI	С;		
BUILDI	NG TO BE FULLY SF	PRINKLED	
	WILL BE COMPLIA	NT WITH ACCESSIBI	LITY DESIGN
STAND			
SEAL		RC/	ADIS
SEAL			
SEAL	ARCADIS AI 55 St. Clair A Toronto, ON tel 416 596 1	RCHITECTS (CAI Avenue West, 7th M4V 2Y7, Canada 930 fax 416 596 (ADIS NADA) INC. Floor, a 0644
SEAL	ARCADIS AI 55 St. Clair A Toronto, ON tel 416 596 1 www.arcadi	RCATECTS (CAR Norme West, 7th M4V 2Y7, Canada 930 fax 416 596 (S.com	ADIS NADA) INC. Floor, a 0644
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SEAL	ARCADIS AL S5 St. Clair A Toronto, ON tel 416 596 1 www.arcadi	RCHITECTS (CAI Nenue West, 7th M4V 2Y7, Canada 930 fax 416 596 (s.com W & EGL VERBUIL vayview Ave	ADIS NADA) INC. Floor, a)644 LINTON D, Toronto, ON
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SEAL PROJE	ARCADIS AL S5 St. Clair A Toronto, ON tel 416 596 1 www.arcadi	RCHITECTS (CAR Norme West, 7th M4V 2Y7, Canada 930 fax 416 596 (S.COM W & EGL VERBUIL Sayview Ave	ADJ NADA) INC. Floor, a)644
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	12	0	3						
LEVEL 10	12	8	3	1					
LEVEL 09	13	7	5	1					
TOTAL UNITS CONDO	325	215	83	27					
					CONDO UNITS TOTAL: 325 75%				
Level	TOTAL	1B (+)	2B (+)	3B (+)					
					RENTAL UNITS TOTAL: 111 25%				
LEVEL 07	23	12	7	4					
LEVEL 06	23	12	7	4		RENT	AL REPLACE	EMENT UN	IITS.
LEVEL 05	23	12	7	4		Level	Unit Type	Area	Area SF
LEVEL 04	23	12	7	4					
LEVEL 03	8	2	6	0			28+0	02 m ²	1 000 ft2
LEVEL 02	7	2	5	0				93 III	700 ft2
MEZZANINE	2	0	1	1			20	74 m ²	709 IL
GROUND FLOOR PLAN	2	0	1	1				74 III^2	790 IL ⁻
TOTAL UNITS - RENTAL	111	52	41	18		LEVEL 03	2B	70 m ²	762 ft ²
						LEVEL 00	2B	66 m ²	702 ft ²
						LEVEL 02	2B+D	92 m ²	988 ft ²
TOTAL UNITS		1B (+)	2B (+)	3B (+)		LEVEL 02	2B 2B	74 m ²	796 ft ²
						LEVEL 02	1B	50 m ²	537 ft ²
	436	267	124	45		LEVEL 02	2B	76 m ²	815 ft ²
						LEVEL 02	2B	71 m ²	762 ft ²
						LEVEL 02	1B	51 m ²	550 ft ²
	TOTAL UN	NIT COUNT				12		858 m ²	9.238 ft ²
			436						, i
			-00						

Level	TOTAL	1B (+)	2B (+)	3B (+)
LEVEL 35	12	8	3	1
LEVEL 34	12	8	3	1
LEVEL 33	12	8	3	1
LEVEL 32	12	8	3	1
LEVEL 31	12	8	3	1
LEVEL 30	12	8	3	1
LEVEL 29	12	8	3	1
LEVEL 28	12	8	3	1
LEVEL 27	12	8	3	1
LEVEL 26	12	8	3	1
LEVEL 25	12	8	3	1
LEVEL 24	12	8	3	1
LEVEL 23	12	8	3	1
LEVEL 22	12	8	3	1
LEVEL 21	12	8	3	1
LEVEL 20	12	8	3	1
LEVEL 19	12	8	3	1
LEVEL 18	12	8	3	1
LEVEL 17	12	8	3	1
LEVEL 16	12	8	3	1
LEVEL 15	12	8	3	1
LEVEL 14	12	8	3	1
LEVEL 13	12	8	3	1
LEVEL 12	12	8	3	1
LEVEL 11	12	8	3	1
LEVEL 10	12	8	3	1
LEVEL 09	13	7	5	1
TOTAL UNITS CONDO	325	215	83	27

UNI	T PERCENTAGE	Ē	
UNIT TYPE	COUNT	PERCEN	
1B	71	17%	
1B+D	113	27%	
1B+D.2	81	19%	
2B	114	27%	
3B	45	11%	
	424	100%	
RENTAL REPLAC	CEMENT UNIT P	ERCENTAG	
1B	2	17%	
2B	8	67%	

* COMBINES THE + DEN

Gross Cons	truction Area. (GCA)		GFA Zoning D	eductions	GFA Ame	enity	GFA Zoning F	Residential	GFA Zoning Non-Res.			
			*Deductable Amenity a	area not included	Amenity area no	t included	Amenity area n	ot included	Amenity area not included			
Level	Area SF	Area m2	Area SF	Area m2	Area SF	Area m2	Area SF	Area m2	Area SF	Area m2		
MAIN ROOF - MPH	4 354 SF	404 48 m ²	4 354 SF	404 48 m ²	0 SF	0.00 m²	0 SE	0.00 m²	0 SF	0.00 m		
	8 192 SF	761 02 m ²	508 SF	47 16 m ²	0 SF	0.00 m ²	7 684 SF	713.86 m ²	0 SF	0.00 n		
IEVEL 34	8 192 SF	761.02 m ²	508 SF	47.16 m ²	0 SF	0.00 m ²	7,684 SF	713.86 m ²	0 SF	0.00 m		
I EVEL 33	8 516 SF	791 14 m ²	507 SF	47 14 m ²	0 SF	0.00 m ²	8 008 SF	744 00 m ²	0 SF	0.00 m		
1 EVEL 32	8,516 SF	791 14 m ²	507 SF	47 14 m ²	0 SF	0.00 m ²	8,008 SF	744 00 m ²	0 SF	0.00 m		
I EVEL 31	8,516 SF	791 14 m ²	507 SF	47 14 m ²	0 SF	0.00 m ²	8,008 SF	744 00 m ²	0 SF	0.00 m		
IEVEL 30	8 516 SF	791 14 m ²	507 SF	47 14 m ²	0 SF	0.00 m ²	8 008 SF	744 00 m ²	0 SF	0.00 m		
I FVFL 29	8,516 SF	791 14 m ²	507 SF	47 14 m ²	0 SF	0.00 m ²	8,008 SF	744 00 m ²	0 SF	0.00 m		
	8 516 SF	701.14 m ²	507 SF	47.14 m ²	0 SF	0.00 m ²	8,008 SF	744.00 m ²	0.SF	0.00 n		
I EVEL 20	8 516 SE	701.14 m ²	507 SF	47.14 m ²	0 OF	0.00 m ²	8,000 SF	744.00 m ²	0 SF	0.00 m		
I EVEL 27	8 516 SE	701.14 m ²	507 SF	47.14 m ²	0 OF	0.00 m ²	8,000 SF	744.00 m ²	0 SF	0.00 m		
I EVEL 25	8 516 SF	791 14 m ²	507 SF	47.14 m ²	0 SF	0.00 m ²	8,008 SF	744.00 m ²	0 SF	0.00 m		
I EVEL 20	8 516 SE	701.14 m ²	507 SF	47.14 m ²	0 OF	0.00 m ²	8,000 SF	744.00 m ²	0 SF	0.00 m		
	8 516 SE	701.14 m ²	507 SF	47.14 m ²	0.01	0.00 m ²	8,008 SF	744.00 m ²	0 OF	0.00 m		
	8,516 SE	701.14 m ²	507 SF	47.14 m ²	0.01	0.00 m ²	8,008 SE	744.00 m ²	0.01	0.00 m		
	8,516 SE	791.14 m ²	507 SF	47.14 m ²	0.5	0.00 m ²	8,008 SE	744.00 m ²	0.5	0.00 m		
	8 516 SE	791.14 m ²	507 SF	47.14 m ²	0.51	0.00 m ²	8,008 SE	744.00 m ²	0.5	0.00 m		
	8 516 SE	791.14 m ²	507 SF	47.14 m ²	0.5	0.00 m ²	8,008 SE	744.00 m ²	0.5	0.00 m		
	8,516 SE	791.14 m ²	507 SF	47.14 m ²	0.5F	0.00 m ²	8,000 SF	744.00 m ²	0.5F	0.00 m		
	0,510 SF	791.14 m ²	507 SF	47.14 m ²	0.5F	0.00 m ²	0,000 SF	744.00 m ²	0.5F	0.00 m		
	0,010 OF	791.14 III ⁻	507 SF	47.14 m ²	0.55	0.00 m ²	0,000 SF	744.00 m ²	0.55	0.00 m		
	0,010 OF	791.14 III ⁻	507 SF	47.14 m ²		0.00 m ²	0,000 SF	744.00 m ²	0.55	0.00 m		
LEVEL 15	0,010 OF	791.14 III ⁻	507 SF	47.14 m ²	0.55	0.00 m ²	0,000 SF	744.00 m ²	0.55	0.00 m		
	0,010 SF	791.14 111-	507 SF	47.14 [1]	0.5F	0.00 m ²	0,000 SF	744.00 111-	0.5F	0.00 m		
LEVEL 13	8,516 SF	791.14 [[]-	507 SF	47.14 m ²	0 SF	0.00 m ²	8,008 SF	744.00 m²	0 SF	0.00 m		
	8,516 SF	791.14 m ²	507 SF	47.14 m ²	0 SF	0.00 m ²	8,008 SF	744.00 m ²	0 SF	0.00 m		
	8,516 SF	791.14 [[]-	507 SF	47.14 m ²	0 SF	0.00 m ²		8,000 SF 744.00 m ²	0 SF	0.00 m		
	8,516 SF	791.14 m ²	507 SF	47.14 m ²	0 SF	0.00 m ²	8,008 SF	744.00 m ²	0 SF	0.00 m		
	10,164 SF	944.26 m ²	1,172 SF	108.86 M ²	0 SF	0.00 m ²	8,992 SF	835.40 m ²	0 SF	0.00 m		
	18,619 SF	1,729.79 m ²	1,463 SF	135.93 m ²	7,090 SF	714.97 m ²	1,074 SF	99.78 m ²	0 SF	0.00 m		
LEVEL 07	18,519 SF	1,720.50 m ²	1,079 SF	100.26 m ²	0 SF	0.00 m ²	17,440 SF	1,620.24 m ²	0 SF	0.00 m		
LEVEL 06	18,517 SF	1,720.28 m ²	1,075 SF	99.90 m ²	0 SF	0.00 m ²	17,442 SF	1,620.38 m ²	0 SF	0.00 m		
LEVEL 05	18,974 SF	1,762.75 m ²	1,072 SF	99.55 m ²	0 SF	0.00 m ²	17,903 SF	1,663.20 m ²	0 SF	0.00 m		
LEVEL 04	18,974 SF	1,762.75 m ²	1,072 SF	99.55 m ²	0 SF	0.00 m ²	17,903 SF	1,663.20 m ²	0 SF	0.00 m		
LEVEL 03	8,442 SF	784.31 m ²	1,259 SF	117.00 m ²	0 SF	0.00 m ²	7,183 SF	667.31 m ²	0 SF	0.00 m		
LEVEL 02	15,724 SF	1,460.80 m ²	8,594 SF	798.45 m ²	/9/ SF	74.09 m ²	6,332 SF	588.27 m ²	0 SF	0.00 m		
	9,547 SF	886.93 m ²	7,770 SF	721.89 m ²	0 SF	0.00 m ²	1,777 SF	165.04 m ²	0 SF	0.00 m		
	373 652 SF	1,027.07 m ² 34 713 44 m ²	6,559 SF	4 520 94 m²	0 SF 8 493 SF	0.00 m ²	4,496 SF 308 110 SF	417.72 m ² 28 624 33 m ²	0 SF	0.00 m		
		04,7 10.44 m		4,520.54 111		103.00 m		20,024.00 m		0.00 m		
Level	Area SF	Area m2	Area SF	Area m2	Area SF	Area m2	Area SF	Area m2	Area SF	Area m2		
LEVEL P1	16,616 SF	1,543.69 m²	15,860 SF	1,473.44 m ²	0 SF	0.00 m²	756 SF	70.25 m²	0 SF	0.00 m		
LEVEL P2	16,616 SF	1,543.69 m ²	15,860 SF	1,473.44 m ²	0 SF	0.00 m²	756 SF	70.25 m²	0 SF	0.00 m		
LEVEL P3	16,616 SF	1,543.69 m ²	15,860 SF	1,473.44 m ²	0 SF	0.00 m²	756 SF	70.25 m²	0 SF	0.00 m		
LEVEL P4	11,088 SF	1,030.08 m ²	10,332 SF	959.83 m²	0 SF	0.00 m²	756 SF	70.25 m²	0 SF	0.00 m		
Not Placed	0 SF	0.00 m²	0 SF	0.00 m ²	0 SF	0.00 m²	0 SF	0.00 m²	0 SF	0.00 m		
TOTAL BELOW GRADE:	60.936 SF	5,661.15 m ²	57.912 SF	5,380.16 m ²	0 SF	0.00 m ²	3.024 SF	280.98 m²	0 SF	0.00 m		
Gross Floo	r Area (GFA) TOTAL	-,	GFA Zoning Dedu	ctions TOTAL	GFA Amenit	y TOTAL	GFA Zoning Resi	dential TOTAL	GFA Zoning Non	-Res. TOTAL		
		40 074 502		0.004.402	0.400.05			00.005.04 2		0.00		

Amenity OUTDOOR									
Amenity area not included									
Level	Area SF	Area m2							
MAIN ROOF - MPH	0 SF	0.00 m²							
LEVEL 35	0 SF	0.00 m²							
LEVEL 34	0 SF	0.00 m²							
LEVEL 33	0 SF	0.00 m²							
LEVEL 32	0 SF	0.00 m²							
LEVEL 31	0 SF	0.00 m²							
LEVEL 30	0 SF	0.00 m²							
LEVEL 29	0 SF	0.00 m²							
LEVEL 28	0 SF	0.00 m²							
LEVEL 27	0 SF	0.00 m²							
LEVEL 26	0 SF	0.00 m²							
LEVEL 25	0 SF	0.00 m²							
LEVEL 24	0 SF	0.00 m²							
LEVEL 23	0 SF	0.00 m²							
LEVEL 22	0 SF	0.00 m²							
LEVEL 21	0 SF	0.00 m²							
LEVEL 20	0 SF	0.00 m²							
LEVEL 19	0 SF	0.00 m²							
LEVEL 18	0 SF	0.00 m²							
LEVEL 17	0 SF	0.00 m²							
LEVEL 16	0 SF	0.00 m²							
LEVEL 15	0 SF	0.00 m²							
LEVEL 14	0 SF	0.00 m²							
LEVEL 13	0 SF	0.00 m²							
LEVEL 12	0 SF	0.00 m²							
LEVEL 11	0 SF	0.00 m²							
LEVEL 10	0 SF	0.00 m²							
LEVEL 09	0 SF	0.00 m²							
LEVEL 08	8,386 SF	779.12 m²							
LEVEL 07	0 SF	0.00 m²							
LEVEL 06	0 SF	0.00 m²							
LEVEL 05	0 SF	0.00 m²							
LEVEL 04	0 SF	0.00 m²							
LEVEL 03	0 SF	0.00 m²							
LEVEL 02	2,471 SF	229.56 m ²							
MEZZANINE	0 SF	0.00 m²							
GROUND FLOOR PLAN	0 SF	0.00 m²							
TOTAL OUTDOOR AMENITY :	10,857 SF	1,008.68 m²							

- (E) amenity space required by this By-law;
- (F) elevator shafts; (G) garbage shafts;
- (H) mechanical penthouse; and (I) exit stairwells in the building.

GFA Z	01
311,134	S

PARKING SPACES	REQUIRED AS	PER ZONIN	1G
No Policy Area			
REQUIRED Residential Parking Spaces RATE	: By-Law 569-2013 (mni	mum)	
Residential	Units	Parking spaces	Rate (min)
1 Bedroom	267	240	0.90
2 Bedroom	124	124	1.00
3+ Bedroom	45	54	1.20
TOTAL Residenti	al: 436	418	10.00
Visitor		87	0.20
REQUIRED Non-Residential Parking Spaces R	ATE:		
	GFA (sm)	Parking spaces	Rate (min)/100sm
Non-Residential (Retail)	0	0	1.50
	TOTAL:	505	
REQUIRED Residential Parking Spaces RATE	: By-Law 89-2022 (maxi	mum)	
Residential	Units	Parking spaces	Rate (min)
1 Bedroom	267	133	0.50
2 Bedroom	124	99	0.80
3+ Bedroom	45	45	1.00
TOTAL Residenti	al: 436	277	
Vīsītor		45	2,0 + 0,1 per units
REQUIRED Non-Residential Parking Spaces R	ATE:		
	GFA (sm)	Parking spaces	Rate (min)/100sm
Non-Residential (Retail)	0	0	3.50
	TOTAL:	322	

REQUIRED Residential Bicycle Spaces RATE:			
Residential	Units	Bicycle spaces	Rate (min)
Long-term Bicycle Parking	436	393	0.90
Short-term Bicycle Parking	436	44	0.10
* Additional TGS requirments of 0.2 visitor spaces per unit	436	44	0.10
TOTAL Residential:		481	
* TGS requirments is 0.2 visitor spaces per unit			
REQUIRED Non-Residential Bicycle Spaces RATE:			
Non-Residential	GFA (sm)	Bicycle spaces	Rate (min)/100sm
Long-term Non-Res Bicycle Parking	0	0	1.1
Short-term Retail Bicycle Parking	0	0	
*230.5.10.1 (03) - Despite the bicycle parking space rates set out bicycle parking space is required for uses on a lot, other than a dw the lot is 2000 square metres or less, then no bicycle parking space	in regulations 230 velling unit, and the is required.	0.5.10.1(1) and 230.5 he total interior floor :	5.10.1(5) and (6), if a area of all such uses o
10 publicly accessible spaces		10	
TOTAL Non-Residential		10	

PARKING SCHEDULE

TOTAL NO. OF PARKING STA	LLS	RES	VIS	NON RES	BF	EVSE
Level	TOTAL No. of Stalls	No. of RESIDENTIAL Stalls	No. of VISITOR Stalls	No. of NON-RES Stalls	No. of BARRIER FREE Stalls	No. of EVSE Stalls
LEVEL P1	30	21	6	3	4	30
LEVEL P2	39	39	0	0	2	39
LEVEL P3	42	42	0	0	2	42
LEVEL P4	26	26	0	0	2	26
TOTAL PARKING SPACES	137	128	6	3	10	137

TOTAL NO. OF PARKING STA	NOT CS	CS		
Level	No. of Stalls	No. of Stalls w/ Car Share Reduction	No. of NOT CAR SHARE Stalls	No. of CAR SHARE Stalls
LEVEL P1	30	30	23	7
LEVEL P2	39	39	39	0
LEVEL P3	42	42	42	0
LEVEL P4	26	26	26	0
TOTAL PARKING SPACES	137	137	130	7

BIKE LOCKER SCHEDULE

TOTAL RESIDENTIAL BIKE SP	RES LT	RES ST		
Level	Total Bike Spaces	Long Term RESIDENTIAL	Short Term RESIDENTIAL	
LEVEL P4	0	0	0	
LEVEL P3	0	0	0	RES
LEVEL P2	0	0	0	
LEVEL P1	0	0	0	Long T
GROUND FLOOR PLAN	90	0	90	RESI
MEZZANINE	401	401	0	
TOTAL BIKE SPACES	491	401	90	64

GFA Zoning TOTAL						
311,134 SF	28,905.31 m²					

	REA														CLIENT
GROSS FLOOR An Gross Con	NEA)	GFA Zoning I	Deductions	GFA Ar	nenity	GFA Zoning F	Residential	GFA Zoning	Non-Res.	An	nenity OUTDOOR		Zoning By-law 569-2013	CONDOR
l evel	Area SE	Area m2	*Deductable Amenity	area not included Area m2	Amenity area	not included Area m2	Amenity area n Area SE	ot included	Amenity area n Area SE	not included	A	menity area not included	Area m2	40.5.40.40 (3) Gross Floor Area Calculations for a Mixed Use Building in the Commercial Residential Zone Category In the Commercial Residential Zone category the gross floor area of a mixed use building is reduced by the area in the building	PROPERTIES LTD.
MAIN ROOF - MPH	4,354 SF	404.48 m ²	4,354 SF	404.48 m ²	0 SF	0.00 m ²	0 SF	0.00 m ²	0 SF	0.00 m ²	MAIN ROOF - MPH	0 SF	0.00 m ²	used for: (A) parking, loading and bicycle parking below-ground; (B) required loading spaces at the ground lovel and required bicycle parking spaces at or above ground;	1500 HIGHWAY 7 WEST CONCORD, ON L4K 5Y4
LEVEL 35 LEVEL 34	8,192 SF 8,192 SF	761.02 m ² 761.02 m ²	508 SF 508 SF	47.16 m² 47.16 m²	0 SF 0 SF	0.00 m² 0.00 m²	7,684 SF 7,684 SF	713.86 m² 713.86 m²	0 SF 0 SF	0.00 m ² 0.00 m ²	LEVEL 35 LEVEL 34	0 SF 0 SF	0.00 m² 0.00 m²	 (C) storage rooms, washrooms, electrical, utility, mechanical and ventilation rooms in the basement; (D) shower and change facilities required by this By-law for required bicycle parking spaces; 	COPYRIGHT This drawing has been prepared solely for the intended use, thus any reproduction
LEVEL 33 LEVEL 32	8,516 SF 8,516 SF	791.14 m² 791.14 m²	507 SF 507 SF	47.14 m² 47.14 m²	0 SF 0 SF	0.00 m² 0.00 m²	8,008 SF 8,008 SF	744.00 m² 744.00 m²	0 SF 0 SF	0.00 m ² 0.00 m ²	LEVEL 33 LEVEL 32	0 SF 0 SF	0.00 m² 0.00 m²	 (E) amenity space required by this By-law; (F) elevator shafts; (O) and the start of the start o	or distribution for any purpose other than authorized by Arcadis is forbidden. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and Arcadis shall be informed of any variations from the dimensions and conditions
LEVEL 31 LEVEL 30	8,516 SF 8,516 SF	791.14 m² 791.14 m²	507 SF 507 SF	47.14 m² 47.14 m²	0 SF 0 SF	0.00 m² 0.00 m²	8,008 SF 8,008 SF	744.00 m² 744.00 m²	0 SF 0 SF	0.00 m ² 0.00 m ²	LEVEL 31 LEVEL 30	0 SF 0 SF	0.00 m² 0.00 m²	(G) garbage shafts; (H) mechanical penthouse; and (I) exit stairwells in the building.	shown on the drawing. Shop drawings shall be submitted to Arcadis for general conformance before proceeding with fabrication. Arcadis Architects (Canada) Inc.
LEVEL 29 LEVEL 28	8,516 SF 8,516 SF	791.14 m ² 791.14 m ²	507 SF 507 SF	47.14 m² 47.14 m²	0 SF 0 SF	0.00 m² 0.00 m²	8,008 SF 8,008 SF	744.00 m² 744.00 m²	0 SF 0 SF	0.00 m ² 0.00 m ²	LEVEL 29 LEVEL 28	0 SF 0 SF	0.00 m² 0.00 m²	(4) Floor Space Index Calculation for a Mixed Use Building in the Commercial Residential Zone Category	ISSUES
LEVEL 27 LEVEL 26	8,516 SF 8,516 SF	791.14 m ² 791.14 m ²	507 SF 507 SF	47.14 m² 47.14 m²	0 SF 0 SF	0.00 m² 0.00 m²	8,008 SF 8,008 SF	744.00 m² 744.00 m²	0 SF 0 SF	0.00 m ² 0.00 m ²	LEVEL 27 LEVEL 26	0 SF 0 SF	0.00 m² 0.00 m²	In the Commercial Residential Zone category the floor space index for a mixed use building is the result of the gross floor area minus the areas listed in regulation 40.5.40.40(3) divided by the area of the lot.	No. DESCRIPTION DATE 1 OPA/ZBA/SPA 2022/09/29
LEVEL 25 LEVEL 24	8,516 SF 8,516 SF	791.14 m² 791.14 m²	507 SF 507 SF	47.14 m² 47.14 m²	0 SF 0 SF	0.00 m² 0.00 m²	8,008 SF 8,008 SF	744.00 m² 744.00 m²	0 SF 0 SF	0.00 m ² 0.00 m ²	LEVEL 25 LEVEL 24	0 SF 0 SF	0.00 m ² 0.00 m ²		2 OPA/ZBA/SPA 2023/10/10 RESUBMISSION 2023/10/10
LEVEL 23 LEVEL 22	8,516 SF 8,516 SF	791.14 m² 791.14 m²	507 SF 507 SF	47.14 m² 47.14 m²	0 SF 0 SF	0.00 m² 0.00 m²	8,008 SF 8,008 SF	744.00 m² 744.00 m²	0 SF 0 SF	0.00 m ² 0.00 m ²	LEVEL 23 LEVEL 22	0 SF 0 SF	0.00 m ² 0.00 m ²		3 OPA/ZBA/SPA 2024/02/06 RESUBMISSION 2024/02/16
LEVEL 21 LEVEL 20	8,516 SF 8,516 SF	791.14 m² 791.14 m²	507 SF 507 SF	47.14 m² 47.14 m²	0 SF 0 SF	0.00 m² 0.00 m²	8,008 SF 8,008 SF	744.00 m² 744.00 m²	0 SF 0 SF	0.00 m ² 0.00 m ²	LEVEL 21 LEVEL 20	0 SF 0 SF	0.00 m ² 0.00 m ²		
LEVEL 19 LEVEL 18	8,516 SF 8,516 SF	791.14 m ² 791.14 m ²	507 SF 507 SF	47.14 m² 47.14 m²	0 SF 0 SF	0.00 m² 0.00 m²	8,008 SF 8,008 SF	744.00 m² 744.00 m²	0 SF 0 SF	0.00 m ² 0.00 m ²	LEVEL 19 LEVEL 18	0 SF 0 SF	0.00 m² 0.00 m²		GENERAL NOTES DRAWINGS ARE PREPARED BASED ON BOUNDARY PLAN AND
LEVEL 17 LEVEL 16	8,516 SF 8,516 SF	791.14 m ² 791.14 m ²	507 SF 507 SF	47.14 m² 47.14 m²	0 SF 0 SF	0.00 m² 0.00 m²	8,008 SF 8,008 SF	744.00 m² 744.00 m²	0 SF 0 SF	0.00 m ² 0.00 m ²	LEVEL 17 LEVEL 16	0 SF 0 SF	0.00 m² 0.00 m²		TOPOGRAPHICAL SURVEY PART OF LOTS 374, 375 & 376 REGISTERED PLAN 1908. PREPARED BY VUJEVA SURVEYS LTD. AND
LEVEL 15 LEVEL 14	8,516 SF 8,516 SF	791.14 m ² 791.14 m ²	507 SF 507 SF	47.14 m² 47.14 m²	0 SF 0 SF	0.00 m ² 0.00 m ²	8,008 SF 8,008 SF	744.00 m² 744.00 m²	0 SF 0 SF	0.00 m ² 0.00 m ²	LEVEL 15 LEVEL 14	0 SF 0 SF	0.00 m ² 0.00 m ²		DATED JULY 28TH 2018.
LEVEL 13 LEVEL 12	8,516 SF 8,516 SF	791.14 m ² 791.14 m ²	507 SF 507 SF	47.14 m² 47.14 m²	0 SF 0 SF	0.00 m² 0.00 m²	8,008 SF 8,008 SF	744.00 m² 744.00 m²	0 SF 0 SF	0.00 m ² 0.00 m ²	LEVEL 13 LEVEL 12	0 SF 0 SF	0.00 m² 0.00 m²		DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANTS' DRAWINGS AND REPORTS.
LEVEL 11 LEVEL 10	8,516 SF 8,516 SF	791.14 m ² 791.14 m ²	507 SF 507 SF	47.14 m² 47.14 m²	0 SF 0 SF	0.00 m ² 0.00 m ²	8,008 SF 8,008 SF	744.00 m² 744.00 m²	0 SF 0 SF	0.00 m ² 0.00 m ²	LEVEL 11 LEVEL 10	0 SF 0 SF	0.00 m ² 0.00 m ²		 REFER TO TRAFFIC CONSULTANT'S DOCUMENTATION FOR TRAFFIC DIAGRAMS, TURNING RADII, TRAFFIC REPORT AND
LEVEL 09 LEVEL 08	10,164 SF 18,619 SF	944.26 m² 1,729.79 m²	1,172 SF 1,463 SF	108.86 m² 135.93 m²	0 SF 7,696 SF	0.00 m² 714.97 m²	8,992 SF 1,074 SF	835.40 m² 99.78 m²	0 SF 0 SF	0.00 m ² 0.00 m ²	LEVEL 09 LEVEL 08	0 SF 8,386 SF	0.00 m ² 779.12 m ²		SITE ACCESS INFORMATION; • REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR
LEVEL 07 LEVEL 06	18,519 SF 18,517 SF	1,720.50 m ² 1,720.28 m ²	1,079 SF 1,075 SF	100.26 m² 99.90 m²	0 SF 0 SF	0.00 m ² 0.00 m ²	17,440 SF 17,442 SF	1,620.24 m² 1,620.38 m²	0 SF 0 SF	0.00 m ² 0.00 m ²	LEVEL 07 LEVEL 06	0 SF 0 SF	0.00 m ² 0.00 m ²		LANUSCAPING INFORMATION, GREEN ROOF AND OUTDOOR AMENITY SPACES; • REFER TO SITE SERVICING / CIVIL ENGINEED'S DRAWINGS
LEVEL 05 LEVEL 04	18,974 SF 18,974 SF	1,762.75 m² 1,762.75 m²	1,072 SF 1,072 SF	99.55 m² 99.55 m²	0 SF 0 SF	0.00 m ² 0.00 m ²	17,903 SF 17,903 SF	1,663.20 m² 1,663.20 m²	0 SF 0 SF	0.00 m ² 0.00 m ²	LEVEL 05 LEVEL 04	0 SF 0 SF	0.00 m ² 0.00 m ²		AND REPORTS FOR SITE SERVICING, GRADING, AND UTILITY INFORMATION;
LEVEL 03 LEVEL 02	8,442 SF 15,724 SF	784.31 m² 1,460.80 m²	1,259 SF 8,594 SF	117.00 m² 798.45 m²	0 SF 797 SF	0.00 m ² 74.09 m ²	7,183 SF 6,332 SF	667.31 m² 588.27 m²	0 SF 0 SF	0.00 m ² 0.00 m ²	LEVEL 03 LEVEL 02	0 SF 2,471 SF	0.00 m ² 229.56 m ²		REFER TO TRAFFIC CONSULTANT'S DOCUMENTATION FOR INFORMATION ABOUT WASTE STORAGE, PICK-UP AND
MEZZANINE GROUND FLOOR PLAN	9,547 SF 11,055 SF	886.93 m² 1,027.07 m²	7,770 SF 6,559 SF	721.89 m² 609.35 m²	0 SF 0 SF	0.00 m ² 0.00 m ²	1,777 SF 4,496 SF	165.04 m² 417.72 m²	0 SF 0 SF	0.00 m ² 0.00 m ²	MEZZANINE GROUND FLOOR PLAN	0 SF	0.00 m² 0.00 m²	GFA Zoning TOTAL	HANDLING FOR ALL USES/OCCUPANCIES;
TOTAL ABOVE GRADE:	373,652 SF <i>Area SF</i>	34,713.44 m² Area m2	48,663 SF Area SF	4,520.94 m ² Area m2	8,493 SF Area SF	789.05 m² Area m2	308,110 SF Area SF	28,624.33 m ² Area m2	0 SF Area SF	0.00 m² Area m2	TOTAL OUTDOOR AMENITY :	10,857 SF	1,008.68 m²	311,134 SF 28,905.31 m ²	TO THE LOADING SPACE OVER A SUPPORTED STRUCTURE ARE TO BE CONSTRUCTED AS PER THEONTARIO BUILDING CODE REQUIREMENTS, INCLUDING ALLOWANCES FOR THE CITY OF
LEVEL P1	16,616 SF	1,543.69 m²	15,860 SF	1,473.44 m²	0 SF	0.00 m²	756 SF	70.25 m²	0 SF	0.00 m ²					TORONTO BULK LIFT VEHICLES;
LEVEL P2 LEVEL P3	16,616 SF 16,616 SF	1,543.69 m ² 1,543.69 m ²	15,860 SF 15,860 SF	1,473.44 m ² 1,473.44 m ²	0 SF 0 SF	0.00 m ²	756 SF 756 SF	70.25 m ² 70.25 m ²	0 SF 0 SF	0.00 m ²					ALL LOADING AND UNLOADING MUST BE ACCOMMODATED ON SITE WITHIN THE LIMITS OF THE DESIGNATED LOADING SPACES. ON SITE TRAINED STAFF TO BE PRESENT DURING GARBAGE COLLECTION
LEVEL P4 Not Placed	11,088 SF 0 SF	1,030.08 m ² 0.00 m ²	10,332 SF 0 SF	959.83 m ² 0.00 m ²	0 SF 0 SF	0.00 m ² 0.00 m ²	756 SF 0 SF	70.25 m ² 0.00 m ²	0 SF	0.00 m ²					FOR MANEUVERING OF BINS AND TO ASSIST GARBAGE TRUCKS AND OTHER VEHICLES WITH THE BACKUP MANEUVER TO/FROM THE
TOTAL BELOW GRADE: Gross Floo	60,936 SF or Area (GFA) TOTAL	5,661.15 m ²	57,912 SF GFA Zoning Ded	5,380.16 m ² uctions TOTAL	0 SF GFA Ameni	0.00 m ² ity TOTAL	3,024 SF GFA Zoning Resi	280.98 m ² dential TOTAL	0 SF GFA Zoning Nor	0.00 m² n-Res. TOTAL					LOADING SPACE;
	434,588 SF	40,374.58 m ²	106,575 SF	9,901.10 m ²	8,493 SF	789.05 m ²	311,134 SF	28,905.31 m ²	0 SF	0.00 m ²					WARN MOTORISTS OF ONCOMING TRAFFIC AND POSITIONED SUCH THAT MOTORISTS ARE PROVIDED WITH CLEAR VIEWS OF ONCOMING TRAFFIC;
UNIT MIX SCHEDUL	F								PARKING	SPACES REQUIRE	D AS PER ZONING	I PARK	ING SCHEDU	JLE	DESIGN WILL BE COMPLIANT WITH ACCESSIBILITY DESIGN
* COMBINES THE + DEN								5	No Dollow Aron	OT NOED NE QUINE	D NOT EN ZONING				
Level	TOTAL 1B (+)) 2B (+)	3B (+)		UNIT	PERCENTAGE		0		0				TOTAL No. of No. of No. of No. of	
LEVEL 35	12 8	3	1		UNIT TYPE	COUNT PE	RCENT	Ē	Residential Residential Parking	g Spaces RATE: By-Law 569-2	Units Parking spaces Rate (min)	Level		No. of StallsRESIDENTIAL StallsVISITOR StallsNON-RES StallsBARRIER FREE StallsEVSE Stalls	
LEVEL 34 LEVEL 33	12 8 12 8	3	1		1B 1B+D	71 113	17% 27%		1 Bedroom 2 Bedroom		124 124 1.00	LEVEL P	1	30 21 6 3 4 30	SEAL
LEVEL 32 LEVEL 31	12 8 12 8	3	1		1B+D.2 2B	81 114	19% 27%		3+ Bedroom T(OTAL Residential:	45 54 1.20 436 418	LEVEL P2	2 3	39 39 0 0 2 39 42 42 0 0 2 42	
LEVEL 30 LEVEL 29	12 8 12 8	3	1		3B	45 424	11% 100%	E	Visitor REQUIRED Non-Residential Pa	arking Spaces RATE:	87 0.20	TOTAL	4 PARKING SPACE	26 26 0 0 2 26 ES 137 128 6 3 10 137	
LEVEL 26 LEVEL 27	12 8 12 8	3	1				NTAGE		Non-Residential (Retail)		GFA (sm) Parking spaces Rate (min)/100sm 0 0 1.50				
LEVEL 20 LEVEL 25	12 0 12 8	3	1		1B	2	17%			TOTAL:	505	ΤΟΤΑΙ		G STALLS - CAR SHARE NOT CS CS PROPOSED PARKING	
LEVEL 24 LEVEL 23	12 0 12 8 12 8	3	1		2B 2B+D	8 2	67% 17%	E	<u>REQUIRED Residential Parking</u> Residential	g Spaces RATE: By-Law 89-20	22 (maximum) Units Parking spaces Rate (min)			No. of Stalls No. of No. of No. of	
LEVEL 21 LEVEL 20	12 8 12 8	3	1		τοται ιιν		100% =		1 Bedroom 2 Bedroom		267 133 0.50 124 99 0.80	Level		w/ Car Share NOT CAR CAR SHARE No. of Stalls Reduction SHARE Stalls Stalls	
LEVEL 19 LEVEL 18	12 8 12 8	3	1		1B	73	17%		3+ Bedroom	OTAL Residential:	45 45 1.00 436 277		1	30 30 23 7 20 20 20 20 20 20 20 20 20 20 20 20 20 2	
LEVEL 17 LEVEL 16	12 8 12 8	3	1 1		1B+D 1B+D.2	113 81	26% 19%	E	Visitor REQUIRED Non-Residential Pa	arking Spaces RATE:	45 ^{-2,0 + 0,1} per units		3	39 39 39 0 42 42 42 0	
LEVEL 15 LEVEL 14	12 8 12 8	3	1		2B 2B+D	122 2	28% 0%		Non-Residential (Retail)	C	GFA (sm) Parking spaces Rate (min)/100sm 0 0 3.50	TOTAL	4 PARKING SPACI	26 26 0 ES 137 130 7	
LEVEL 13 LEVEL 12	12 8 12 8	3	1	Т	3B OTAL	45 436	10% 100%			TOTAL:	322				
LEVEL 11 LEVEL 10	12 8 12 8	3	1												ARCADIS ARCHITECTS (CANADA) INC.
LEVEL 09 TOTAL UNITS CONDO	13 7 325 215	5 83	1 27					. Y	BICYCLE	SPACES REQUIR	ED AS PER ZONING	1 DIVE			Toronto, ON M4V 2Y7, Canada tel 416 596 1930 fax 416 596 0644 www.arcadis.com
Level	TOTAL 1B (+)	2B (+)	CON 3B (+)	DO UNITS TOTAL: 325 75%					Bicycle Zone 1				RESIDENTIAL PI	NEDULE IKE SPACES RES IT RES ST	PROJECT BAYVIEW & EGLINTON
LEVEL 07	23 12	7	4 RENT	AL UNITS TOTAL: 111 25%			Rental	1	REQUIRED Residential Bicycle	e Spaces RATE:	and the second second second			Total Bike Long Term Short Term	OVERBUILD 1787 - 1779 Bavview Ave. Toronto, ON
LEVEL 06 LEVEL 05	23 12 23 12	7	4				TS. Replacement area is measure the inside of t	unit ^I ired to I ne I	Kesidential Long-term Bicycle F	Parking	Units Bicycle spaces Rate (min) 436 393 0.90	Level			
LEVEL 04 LEVEL 03	23 12 8 2	7	4			י уре Area	exterior wall a centre of the demising wall	nd	Short-term Bicycle * Additional TGS requirments of 0.2	Parking	436 44 0.10 436 44 0.10	LEVEL P2	4 3	0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	PROJECT NO:
LEVEL 02 MEZZANINE	7 2 2 0	5	0	L	EVEL 03 2B+D EVEL 03 2B	93 m ² 66 m ²	1,000 ft ² 709 ft ² and shaft walls and shaft walls	, stair Ils, sare l	T * TGS requirments is 0.2 visitor	I OTAL Residential: r spaces per unit	481	LEVEL P2 LEVEL P2	2 1	0 0 0 0 0 0 0 0 0 Example 0 0 Example 0 0 Example 0 0	39762 DRAWN BY: CHECKED BY
GROUND FLOOR PLAN	2 0 111 5 2	1 41	1 18	L	EVEL 03 2B EVEL 03 2B	74 m ² 76 m ²	796 ft² also excluded 815 ft² the area calco	from lation.	<u>REQUIRED Non-Residential Bi</u> Non-Residential	licycle Spaces RATE:	GFA (sm) Bicycle spaces Rate (min)/100sm	GROUND		90 0 90 Active 401 401 0 0 0	
				L	EVEL 03 2B EVEL 02 2B	71 m ² 66 m ²	762 ft ² 709 ft ²		Long-term Non-Res Short-term Retail Bi	s Bicycle Parking bicycle Parking	0 0 0	TOTAL	BIKE SPACES	491 401 90 64	
TOTAL UNITS	S 1B (+) 2B (+)	3B (+)		EVEL 02 2B+D EVEL 02 2B	92 m ² 74 m ²	900 It ² 796 ft ²		230.5.10,1 (03) - Despite the bicycl bicycle parking space is required for the lot is 2000 square metres or less	e parking space rates set out in reg r uses on a lot, other than a dwellin s, then no bicycle parking space is	guiations 230.5.10.1(1) and 230.5.10.1(5) and (6), if a g unit, and the total interior floor area of all such uses o required.	n 15% of lor Percentag	ng term parking (59 sp ge of net floor area occ	paces) equipped with Energized Outlet (120 V) cupied by bicycle parking for the mezzanine level is XX%	GENERAL NOTES &
	436 267	124	45		EVEL 02 1B EVEL 02 2B EVEL 02 2B	76 m ² 71 m ²	815 ft ² 762 ft ²		10 publicly accessit TOT/	ble spaces AL Non-Residential	10	*Additiona	al 10 public accessible	bicycle parking located beside Leaside Station (Existing bicycle parking)	STATISTICS BREAKDOWN

ISSUE

4

SHEET NUMBER

A-005

		CLIENT
	2 A-302	CONDOR PROPERTIES LTD. 1500 HIGHWAY 7 WEST CONCORD, ON L4K 5Y4
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N 15° 25'00" W 14.32 (P&M)	$\rightarrow \bigcirc \downarrow \downarrow \frown \frown \frown \downarrow \frown \frown \downarrow \frown \frown \downarrow \downarrow \frown \frown \downarrow \downarrow \bullet \bullet \bullet \downarrow \downarrow \bullet \bullet \bullet \bullet$	ISSUESNo.DESCRIPTIONDATE1OPA/ZBA/SPA2022/09/292OPA/ZBA/SPA2023/10/10RESUBMISSIONRESUBMISSION
OPEN-TO ABOVE	42.19 (P&M)	3OPA/ZBA/SPA RESUBMISSION2024/02/064OPA/ZBA/SPA RESUBMISSION2024/02/16
	EXHAUST min. 5 m ²	<u>GENERAL NOTES</u> DRAWINGS ARE PREPARED BASED ON BOUNDARY PLAN AND TOPOGRAPHICAL SURVEY PART OF LOTS 374, 375 & 376 REGISTERED PLAN 1908. PREPARED BY VUJEVA SURVEYS LTD. AND
	134.450 m	DATED JULY 28TH 2018. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANTS' DRAWINGS AND REPORTS.
		 REFER TO TRAFFIC CONSULTANT'S DOCUMENTATION FOR TRAFFIC DIAGRAMS, TURNING RADII, TRAFFIC REPORT AND SITE ACCESS INFORMATION; REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR LANDSCAPING INFORMATION, GREEN ROOF AND OUTDOOR AMENITY SPACES;
ΓŎΆĘOVE		 REFER TO SITE SERVICING / CIVIL ENGINEER'S DRAWINGS AND REPORTS FOR SITE SERVICING, GRADING, AND UTILITY INFORMATION; REFER TO TRAFFIC CONSULTANT'S DOCUMENTATION FOR INFORMATION ABOUT WASTE STORAGE, PICK-UP AND UNDERNO FOR ALL USE COOLUDANCIES.
	2% RAMP	ANDLING FOR ALL USES/OCCUPANCIES; ALL DRIVEWAYS AND PASSAGE WAYS FOR FIRE ACCESS ROUTE AND TO THE LOADING SPACE OVER A SUPPORTED STRUCTURE ARE TO BE CONSTRUCTED AS PER THEONTARIO BUILDING CODE REQUIREMENTS, INCLUDING ALLOWANCES FOR THE CITY OF TORONTO BULK LIFT VEHICLES;
		ALL LOADING AND UNLOADING MUST BE ACCOMMODATED ON SITE WITHIN THE LIMITS OF THE DESIGNATED LOADING SPACES. ON SITE TRAINED STAFF TO BE PRESENT DURING GARBAGE COLLECTION FOR MANEUVERING OF BINS AND TO ASSIST GARBAGE TRUCKS AND OTHER VEHICLES WITH THE BACKUP MANEUVER TO/FROM THE LOADING SPACE;
	133.875 m	ACCEPTABLE TRAFFIC SIGNS AND MIRRORS TO BE INSTALLED TO WARN MOTORISTS OF ONCOMING TRAFFIC AND POSITIONED SUCH THAT MOTORISTS ARE PROVIDED WITH CLEAR VIEWS OF ONCOMING TRAFFIC;
		BUILDING TO BE FULLY SPRINKLED DESIGN WILL BE COMPLIANT WITH ACCESSIBILITY DESIGN STANDARDS
		SEAL
BACKUP	R R R R R R R R R R R R R R R R R R R	
(P ₂₎ 1.35 (P2) PROP	ERTY LINE N 16° 04'20" E 14.32 (P&M)	
		-
<u>ISIONS</u> ER MINIMUM CITY OF ACE REGULATIONS	LEGEND - PARKING SYMBOLS & NOTATIONS SPACE No. 01 SIZE	
IDE R R REG	ASSIGNMENT R DESIGNATION REG R R R R R R R R R R R R R R R R R R	ARCADIS ARCHITECTS (CANADA) INC. 55 St. Clair Avenue West, 7th Floor, Toronto, ON M4V 2Y7, Canada
PARALLEL (PL) PARKING SPACE 2.6m LENGTH 6.7m WIDTH* RANCE 2.0m VERTICAL CLEARAN(ASSIGNMENT R -DENOTES RESIDENTIAL V -DENOTES VISITOR	tel 416 596 1930 fax 416 596 0644 www.arcadis.com PROJECT BAYVIEW & EGLINTON
STRUCTION MORE THAN PARKING SPACE	SIZE TYP - DENOTES TYPICAL CITY SPACE SIZE PL - DENOTES PARALLEL CITY SPACE SIZE BF - DENOTES BARRIER FREE CITY SPACE SIZE SMALL CAR - DENOTES PARKING SIZE SMALLER THAN TYPICAL CITY SPACE SIZE**	OVERBUILD 1787 - 1779 Bayview Ave, Toronto, ON
	DESIGNATION REG - DENOTES REGULAR VEHICLE EVSE - DENOTES ELECTRIC VEHICLE SUPPLY EQUIPMENT EVSE-CS - DENOTES CAR SHARE*** WITH ELECTRIC VEHICLE SUPPLY EQUIPMENT LEV - LOW-EMITTING VEHICLES I.E. CAR POOLING, LEV-CS - LOW-EMITTING VEHICLES - CAR SHARING***	PROJECT NO: 39762 DRAWN BY: CHECKED BY: Author Checker
	SPACE No. NUMBERING SEQUENCE STARTS BY LEVEL AND ASSIGMNENT ** SMALL CAR PARKING SPACE DOES NOT INCLUDE 0.3m INCREASE ON EACH SIDE WITH OBSTRUCTION MORE THAN 1.0m FROM THE FRONT OR REAR OF THE PARKING SPACE. IF SMALLER THAN 2.6M X5.6m THAN AS INDICATED ON DRAWING	PROJECT MGR: APPROVED BY: Designer Approver SHEET TITLE UNDERGROUND GARAGE
CESS AISLE	*** CAR SHARE ARE PUBLICALLY ACCESSIBLE RESIDENTAIL OR NON-RESIDENTIAL ASSIGNED PARKING SPACES, SERVICE PROVIDED BY OTHERS REDUCTION TO REQUIRED PARKING TO BE APPLIED AT 3 SPACES / 1 CAR SHARE	PLAN - LEVEL P4
UNDERGROU	JND LEVEL P4	SHEET NUMBER ISSUE

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$\begin{bmatrix} N, 15^{\circ}, 25^{\circ}, 00^{\circ}, W \\ \hline \\$	2 OPA/ZBA/SPA RESUBMISSION	2023/10/10
	3 OPA/ZBA/SPA RESUBMISSION	2024/02/06
	4 OPA/ZBA/SPA RESUBMISSION	2024/02/16
	GENERAL NOTES	
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	SITE ACCESS INFORMATION; • REFER TO LANDSCAPE ARCHITECT'S DRAWIN LANDSCAPING INFORMATION GREEN ROOF A	GS FOR
	AMENITY SPACES; • REFER TO SITE SERVICING / CIVIL ENGINEER	'S DRAWINGS
	AND REPORTS FOR SITE SERVICING, GRADING INFORMATION; REFER TO TRAFFIC CONSULTANT'S DOCUME INFORMATION ABOUT WASTE STORAGE, PICK HANDLING FOR ALL USES/OCCURANCES:	3, AND UTILITY NTATION FOR -UP AND
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² 1.35 (P2) PROPERTY LINE N 16° 04'20" E 14.32 (P&M)		
ENSIONS PER MINIMUM CITY OF SPACE NO - 91 - ELECTRIC VEHICLE		
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R ASSIGNMENT R DIRECTION OF VEHICULAR DIRECTION OF VEHICULAR DESIGNATION REG SLOPE DOWN DESIGNATION TAG ABBREVATIONS	ARCADIS ARCHITECTS (CANADA) I 55 St. Clair Avenue West, 7th Floor, Toronto, ON M4V 2Y7, Canada tel 416 596 1930 fax 416 596 0644	
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LEV-CS - LOW-EMITTING VEHICLES - CAR SHARING*** SPACE No. NUMBERING SEGUENCE STARTS DV/LEVEL AND ASSIGNMENT	PROJECT MGR: APPROV/ED	BY:
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REDUCTION TO REQUIRED PARKING TO BE APPLIED AT 3 SPACES / 1 CAR SHARE		•
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2 A-302			TM
		PROPERTIES 1500 HIGHWAY 7 WEST CONCORD, ON L4K 5Y4	JK LTD.
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		ARCADIS ARCHITECTS (CANADA) INC 55 St. Clair Avenue West, 7th Floor, Toronto, ON M4V 2Y7, Canada tel 416 596 1930 fax 416 596 0644 www.arcadis.com	S
		BAYVIEW & EGLINTCOURREUILD 0VERBUILD 1787 - 1779 Bayview Ave, Toron PROJECT NO: 39762 DRAWN BY: - PROJECT MGR: - SHEET TITLE LEVEL 2 FLOOR PLA	DN to, ON Y:
1 LEVEL 02 -107 Scale: 1 : 150	True North Project North	SHEET NUMBER A-107	ISSUE

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		ARCADIS ARCHITECTS (CANAL 55 St. Clair Avenue West, 7th Floo Toronto, ON M4V 2Y7, Canada tel 416 596 1930 fax 416 596 064 www.arcadis.com	DA) INC. or, 4
		PROJECT BAYVIEW & EGLII	NTON
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		ARCADIS ARCHITECTS (CAN 55 St. Clair Avenue West, 7th F Toronto, ON M4V 2Y7, Canada tel 416 596 1930 fax 416 596 0	ADA) INC.
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		COPYRIGHT This drawing has been prepared solely for the intended use, t or distribution for any purpose other than authorized by Ar Written dimensions shall have precedence over scaled dime shall verify and be responsible for all dimensions and condit Arcadis shall be informed of any variations from the dimensi- shown on the drawing. Shop drawings shall be submitted to conformance before proceeding with fabrican Arcadis Architects (Canada) In	hus any reproduction cadis is forbidden. nsions. Contractors ions on the job, and ions and conditions Arcadis for general tion.
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		 REFER TO LANDSCAPE ARCHITECT'S DRAV LANDSCAPING INFORMATION, GREEN ROO AMENITY SPACES; REFER TO SITE SERVICING / CIVIL ENGINEI 	VINGS FOR F AND OUTDOOR ER'S DRAWINGS
	1 A-301	AND REPORTS FOR SITE SERVICING, GRAD INFORMATION; • REFER TO TRAFFIC CONSULTANT'S DOCUT INFORMATION ABOUT WASTE STORAGE, PI	ING, AND UTILITY MENTATION FOR CK-UP AND
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⁵ (P ₂₎ 1.35 (P2) PROPERTY LINE N 16° 04'20" E 14.32 (P&M)	▼ 		
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		ARCADIS ARCHITECTS (CANADA 55 St. Clair Avenue West, 7th Floor Toronto, ON M4V 2Y7, Canada tel 416 596 1930 fax 416 596 0644 www.arcadis.com	DIS A) INC.
		PROJECT BAYVIEW & EGLIN OVERBUILD 1787 - 1779 Bayview Ave, To	ITON ronto, ON
		PROJECT NO: 39762	
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			1500 HIGHWAY 7 WEST CONCORD, ON L4K 5Y4	
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			 REFER TO TRAFFIC CONSULTANT'S DOCUMENTATION FOR INFORMATION ABOUT WASTE STORAGE, PICK-UP AND HANDLING FOR ALL USES/OCCUPANCIES; 	
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			ARCADIS ARCHITECTS (CANADA) INC. 55 St. Clair Avenue West, 7th Floor, Toronto, ON M4V 2Y7, Canada tel 416 596 1930 fax 416 596 0644 www.arcadis.com)
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			PROJECT NO: 39762	
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			ARCADIS ARCHITECTS 55 St. Clair Avenue West, Toronto, ON M4V 2Y7, Ca tel 416 596 1930 fax 416 5 www.arcadis.com	ADIS (CANADA) INC. 7th Floor, inada 596 0644
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