

BAYVIEW & EGLINTON OVERBUILD

1787 - 1779 Bayview Ave, Toronto, ON

OPA/ZBA/SPA RE-SUBMISSION



"WITHOUT PREJUDICE"

CLIENT



1500 HIGHWAY 7 WEST
CONCORD, ON L4K 5Y4

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ISSUES

No.	DESCRIPTION	DATE
1	OPA/ZBA/SPA	2022/09/29
2	OPA/ZBA/SPA RESUBMISSION	2023/10/10
3	OPA/ZBA/SPA RESUBMISSION	2024/02/06
4	OPA/ZBA/SPA RESUBMISSION	2024/02/16

ARCHITECTURAL DRAWING LIST

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SEAL



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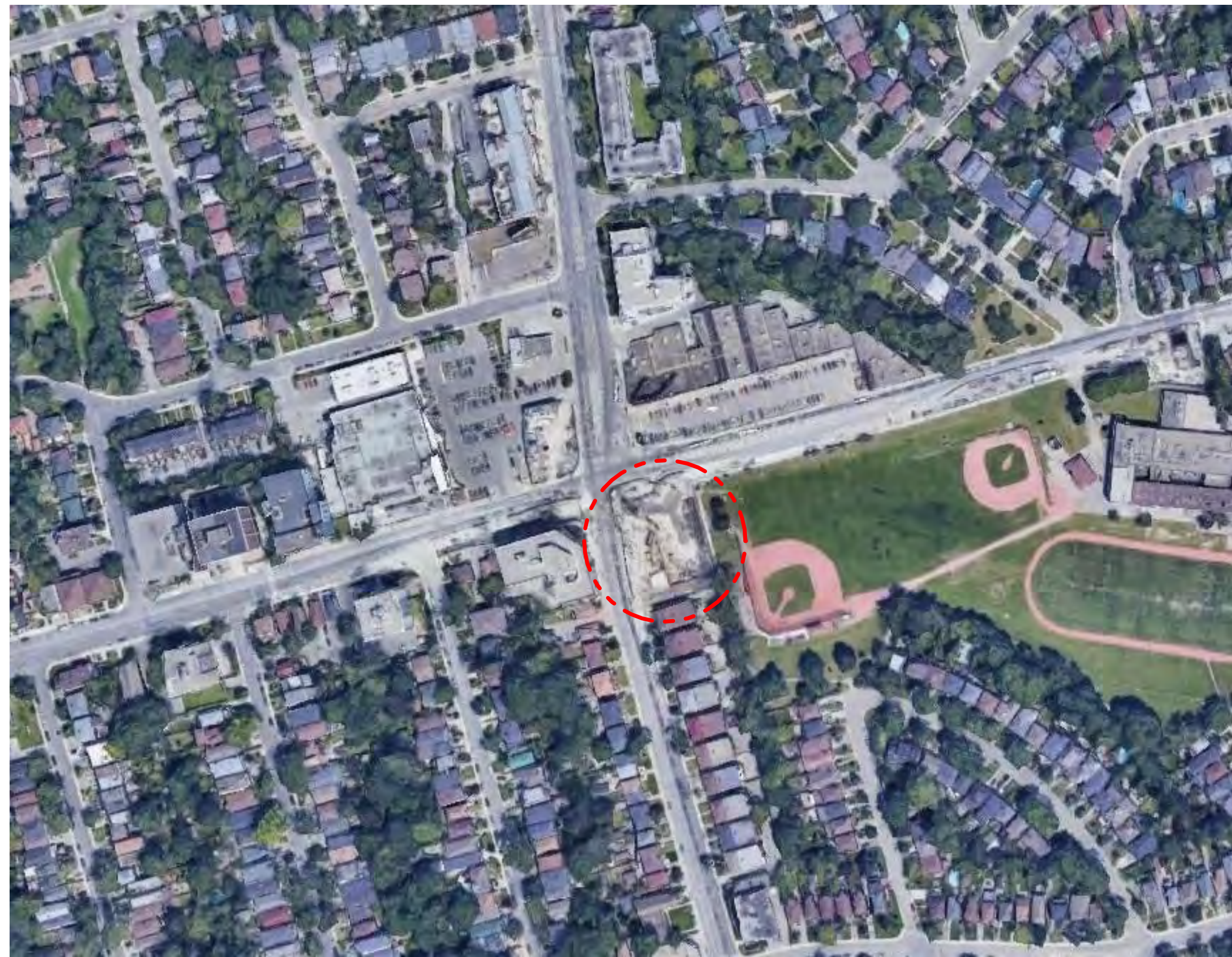
PROJECT
BAYVIEW & EGLINTON
OVERBUILD
1787 - 1779 Bayview Ave, Toronto, ON

PROJECT NO:
39762
DRAWN BY:
Author
CHECKED BY:
Checker
PROJECT MGR:
Designer
APPROVED BY:
Approver

SHEET TITLE
COVER PAGE

SHEET NUMBER
A-000
ISSUE
4

SCALE CHECK
1/16"



DEVELOPMENT STATISTICS

m - Denotes Meters *min - Denotes Minimum*
sm - Denotes Square Meters *max - Denotes Maximum*

PROJECT DATA			
Municipal Address of Subject Lands:	1787 - 1779 Bayview Ave Toronto, Ontario		
Legal Description:	Part of Lots 374, 375 & 376 - Registered Plan 1908		
Zoning By-Law:	By-Law No. 569-2013 Official Plan Amendment No. 405 - Midtown in Focus		
Zoning: Commercial Residential / Residential Multiple Dwelling	CR & RM	Proposed Use:	Commercial Residential
Permitted F.S.I.:	1.5 / 1.25	Lot Area:	3,154.80 sm
		Proposed F.S.I.:	9.16
		Proposed GFA (combined):	28,905.31 sm
Permitted Lot Coverage:	80% / 30%	Proposed Lot Coverage:	75%
Lot Frontage: (Bayview Ave.)	86.88 m	No of Frontages:	2
Lot Depth:	36.54 m	(Bayview Ave, and Eglinton Ave E)	
Established Grade:	146.47 m	CDG (Canadian Geodatic Datum)	

TOTAL RESIDENTIAL UNITS	
Total Number of Residential Units:	436
Condo	325
Rental	111

BUILDING HEIGHT	
PERMITTED	PROPOSED
Height to Top of Residential Roof	Height to Top of Residential Roof
12.2 / 16.0 m	114.50 m

Note:
 Building height excludes mechanical penthouses up to 6.0m, chimney vents, skylights, antennae, elevator machine rooms and parapet walls, and is measured from the established grade.

No. of Storeys Permitted:	N/A	No. of Storeys Proposed:	35
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BUILDING SETBACKS	
PERMITTED	PROPOSED
Front Yard Setback (Bayview Ave)	Front Yard Setback
3.0 (max)	2.75
Side Yard Setback	Side Yard Setback
2.40	2.40
Street Side Yard Setback (Eglinton Ave)	Street Side Yard Setback
3.0 (max)	1.75
Rear Yard Setback	Rear Yard Setback
7.50	3.00

BREAKDOWN OF PROJECT DATA BY COMPONENTS

PROPOSED AREAS		
Residential GFA****	28,905.31 sm	**** GFA as defined by Zoning By-law
Non-Residential GFA****		
At Grade Condition:		
Ground Floor Area*	1,596.00	* Building Footprint
Landscape Open Space**	257.00	** Soft Landscaping + Hard Landscaping areas
Paved Surface Area***	1,302.00	*** Driveway, Parking lots and loading areas

RESIDENTIAL UNIT MIX			
Unit Type	Unit Count	Typical Unit Size	Percent
Bachelor	0	0.0	0.0%
1 Bedroom	267	50.9 sm	61.2%
2 Bedroom	124	65.8 sm	28.4%
3 Bedroom	45	82.6 sm	10.3%
TOTAL:	436		

REQUIRED		PROVIDED	
RESIDENTIAL (Dwelling Unit in and Apartment Building)		AMENITY	
Indoor Amenity Required (2sm/unit):	872.00	Indoor Amenity Provided:	789.05
Outdoor Amenity Required (2sm/unit):	872.00	Outdoor Amenity Provided:	1,008.68

REQUIRED		PROVIDED	
PARKING SPACE		PARKING SPACE	
By-Law 88-2022 (Maximum)	Prk. Spaces	Total Parking Spaces Provided:	137
Residential		Breakdown of parking space by use:	
1 Bed (x 0.50)	133	Residential	128
2 Bed (x 0.80)	99	Residential Visitors Shared	6
3 Bed (x 1.00)	45	Non Residential Shared	3
Visitor (x 0.20)	87		
*Based on TGS requirements of 0.2 spaces per unit		Breakdown of parking space by location:	
Retail Parking space required	0.00	P1	30
Non residential area in sm x 3.50 spaces per 100 sm	0	P2	39
		P3	42
		P4	26
Total Required	364	Total	137
*Refer to the TIS Report for full breakdown of required parking based on new city by-law.		Residential Parking Ratio	0.29

REQUIRED		PROVIDED	
RESIDENTIAL (Dwelling Unit in and Apartment Building)		BICYCLE PARKING SPACE	
Long-term Bicycle Parking Space:	393	Long-term Bicycle Parking Space:	401
Short-term Bicycle Parking:	88	Short-term Bicycle Parking:	90
TOTAL:	481	TOTAL:	491
Energized Outlet Bicycle parking	59	Energized Outlet Bicycle parking	64
15% of residential long term spaces			
NON-RESIDENTIAL (All Other Uses)		NON-RESIDENTIAL (All Other Uses)	
Long-term Bicycle Parking Space:	0	Long-term Bicycle Parking Space:	0
Short-term Bicycle Parking:	10	*Short-term Bicycle Parking:	10
TOTAL:	10	TOTAL:	10
* Provided as part of the existing Leaside bicycle parking on site			

REQUIRED		PROVIDED	
LOADING SPACE		LOADING SPACE	
RESIDENTIAL (Dwelling Unit in and Apartment Building)	Type of Loading Space Required: 1 Type "G"	Type of Loading Space Provided:	1 Type "G"
NON-RESIDENTIAL (All Other Uses)	Type of Loading Space Required: 1 Type "B"	Type of Loading Space Provided:	1 Type "B"
TOTAL No. of Loading Spaces:	2	TOTAL No. of Loading Spaces:	2

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GENERAL NOTES
 DRAWINGS ARE PREPARED BASED ON BOUNDARY PLAN AND TOPOGRAPHICAL SURVEY PART OF LOTS 374, 375 & 376 REGISTERED PLAN 1908. PREPARED BY VUJEVA SURVEYS LTD. AND DATED JULY 28TH 2018.

- DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANTS DRAWINGS AND REPORTS.
- REFER TO TRAFFIC CONSULTANTS DOCUMENTATION FOR TRAFFIC DIAGRAMS, TURNING RADI, TRAFFIC REPORT AND SITE ACCESS INFORMATION.
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ALL DRIVEWAYS AND PASSAGE WAYS FOR FIRE ACCESS ROUTE AND TO THE LOADING SPACE OVER A SUPPORTED STRUCTURE ARE TO BE CONSTRUCTED AS PER THE ONTARIO BUILDING CODE REQUIREMENTS, INCLUDING ALLOWANCES FOR THE CITY OF TORONTO BULK LIFT VEHICLES.

ALL LOADING AND UNLOADING MUST BE ACCOMMODATED ON SITE WITHIN THE LIMITS OF THE DESIGNATED LOADING SPACES. ON SITE TRAINED STAFF TO BE PRESENT DURING GARBAGE COLLECTION FOR MANEUVERING OF BINS AND TO ASSIST GARBAGE TRUCKS AND OTHER VEHICLES WITH THE BACKUP MANUEVER TOFROM THE LOADING SPACE.

ACCEPTABLE TRAFFIC SIGNS AND MIRRORS TO BE INSTALLED TO WARN MOTORISTS OF ONCOMING TRAFFIC AND POSITIONED SUCH THAT MOTORISTS ARE PROVIDED WITH CLEAR VIEWS OF ONCOMING TRAFFIC.

BUILDING TO BE FULLY SPRINKLED

DESIGN WILL BE COMPLIANT WITH ACCESSIBILITY DESIGN STANDARDS

SEAL



PROJECT
 BAYVIEW & EGLINTON OVERBUILD
 1787 - 1779 Bayview Ave, Toronto, ON

PROJECT NO: 39762
 DRAWN BY: - CHECKED BY: -
 PROJECT MGR: - APPROVED BY: -

SHEET TITLE
 CONTEXT PLAN

SHEET NUMBER
 A-001

ISSUE
 4

"WITHOUT PREJUDICE"

1:10m SCALE CHECK



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SEAL



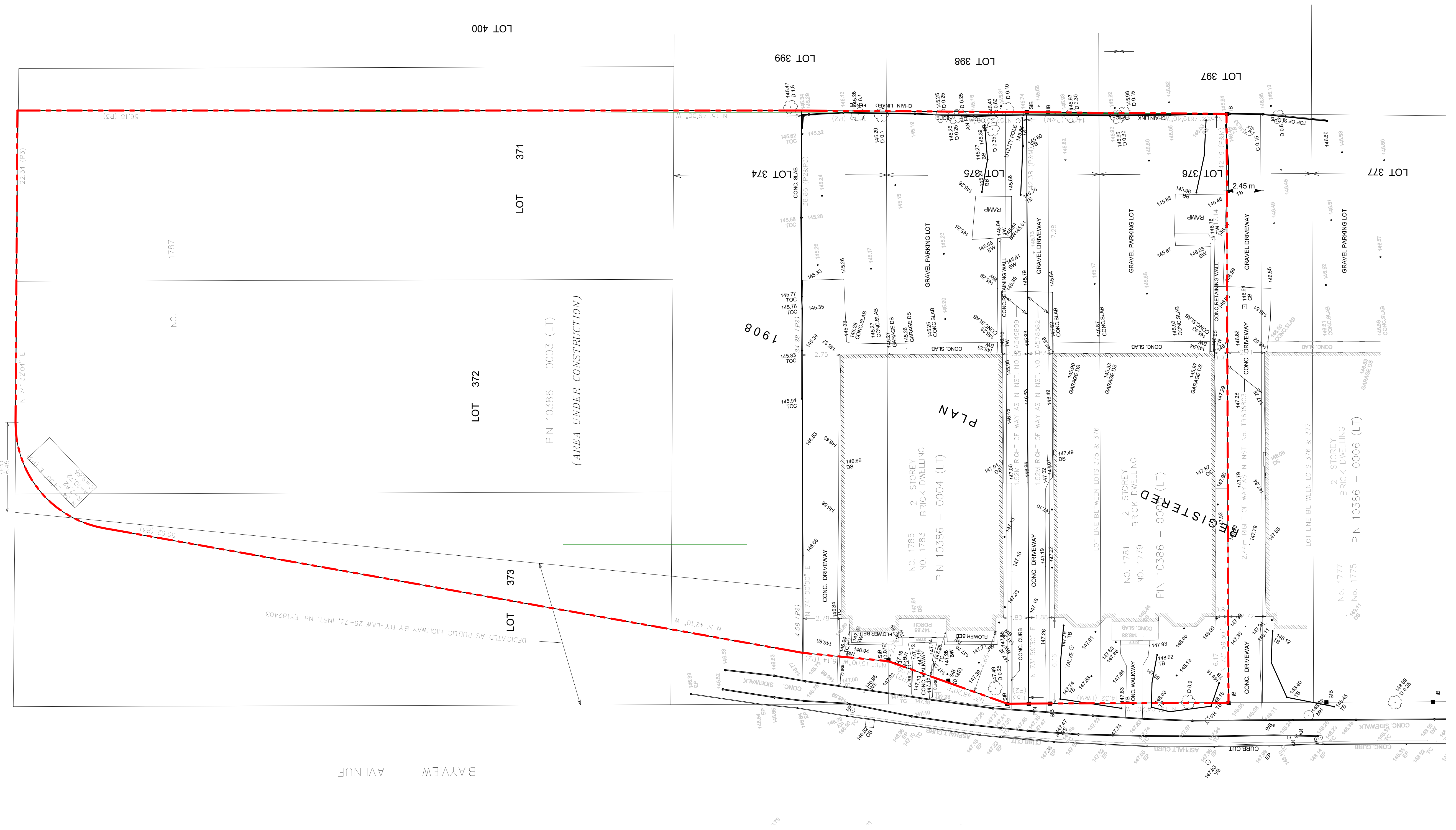
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OVERBUILD
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PROJECT NO: 39762

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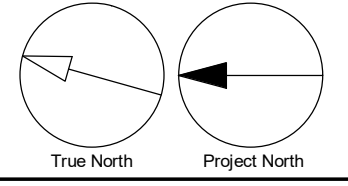
SHEET TITLE
SITE SURVEY & TOPOGRAPHY

SHEET NUMBER A-002	ISSUE 4
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"WITHOUT PREJUDICE"

1 SURVEY
A-002 Scale: 1:150



11mm
SCALE CHECK

ISSUES

No.	DESCRIPTION	DATE
1	OPA/ZBA/SPA RESUBMISSION	2022/09/29
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 DESIGN WILL BE COMPLIANT WITH ACCESSIBILITY DESIGN STANDARDS

SEAL

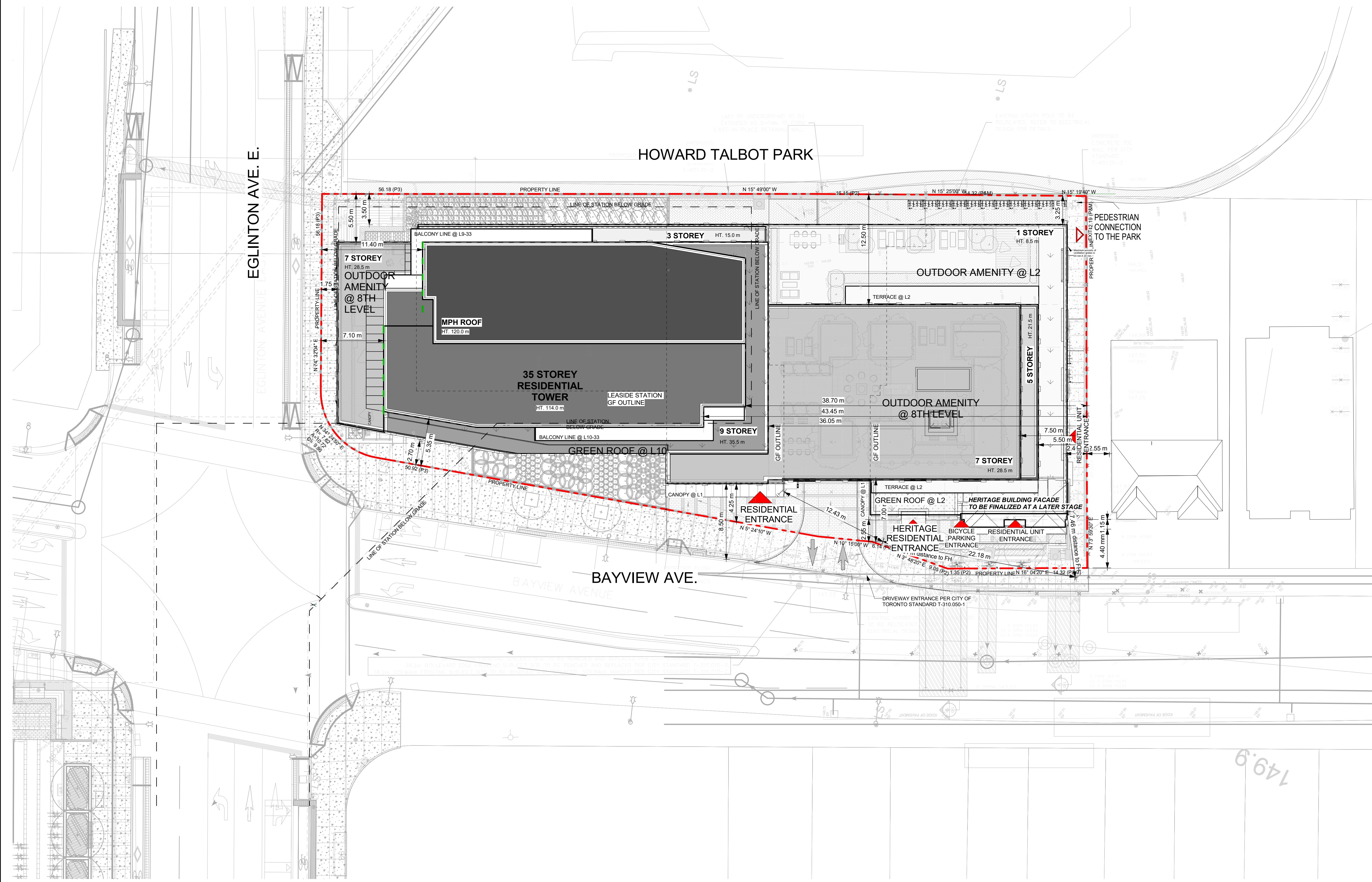
PROJECT
BAYVIEW & EGLINTON OVERBUILD
 1787 - 1779 Bayview Ave, Toronto, ON

PROJECT NO:
39762

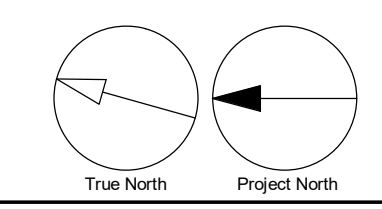
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PROJECT MGR:	APPROVED BY:

SHEET TITLE
SITE PLAN

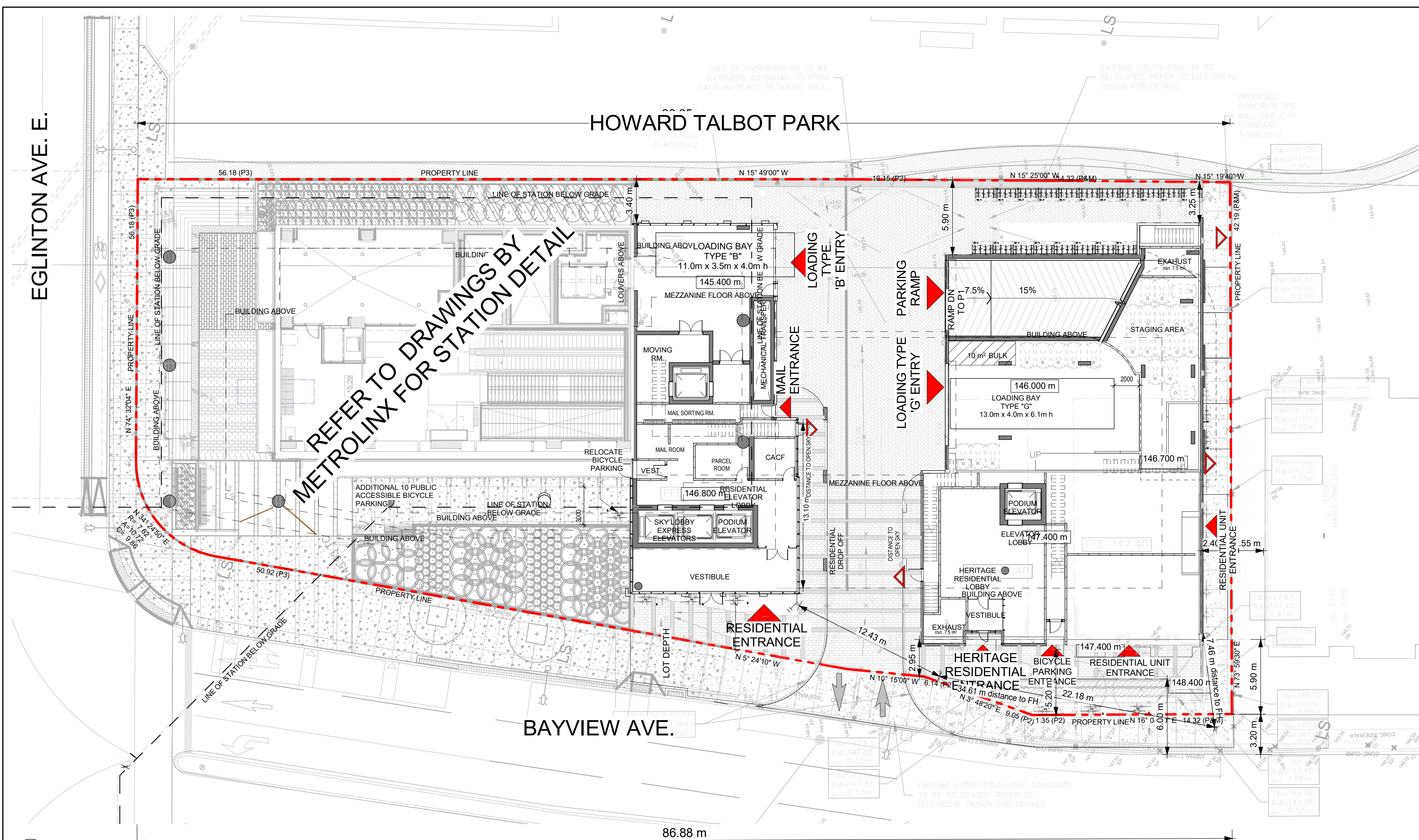
SHEET NUMBER A-003	ISSUE 4
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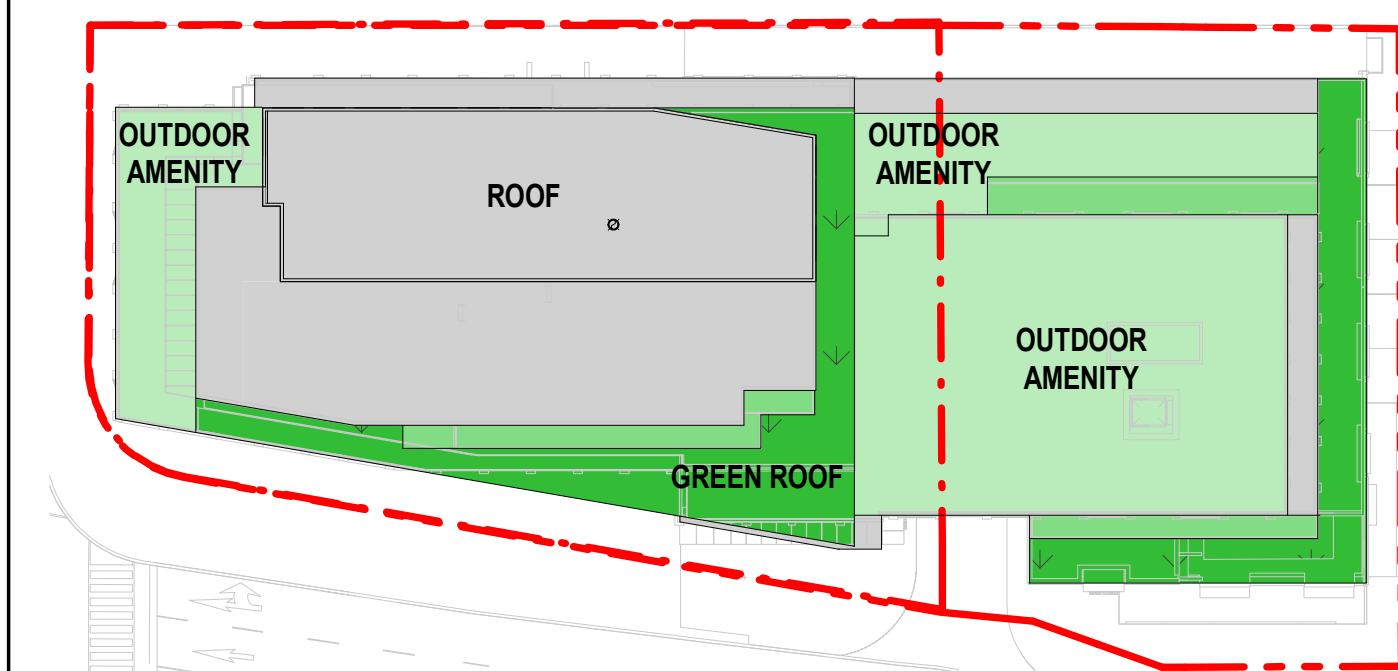
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SCALE CHECK
 1:10mm



1 CONCEPT SITE PLAN
A-004 Scale: 1:200



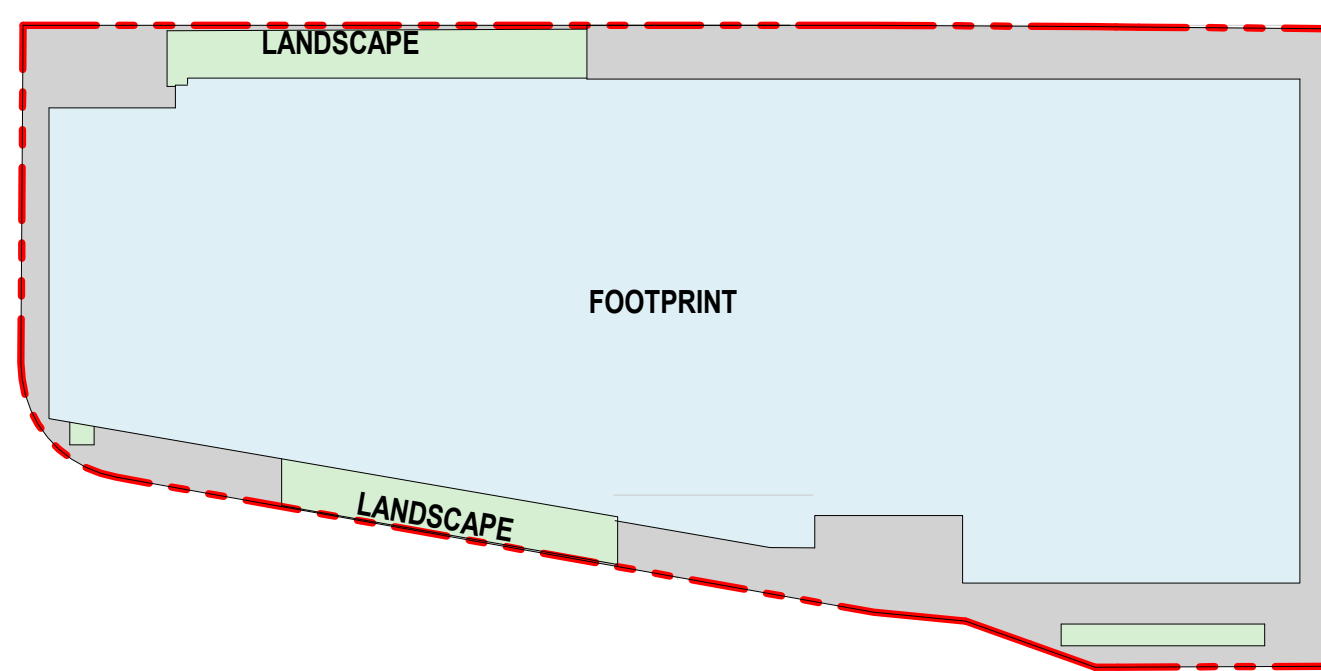
GREEN ROOF LEGEND City of Toronto Green roof bylaw:
GREEN ROOF Available Roof Space is defined in the Green Roof Bylaw as the total roof area minus the following:
 • areas designated for renewable energy;
 • residential private terraces;
 • residential outdoor amenity space (to a maximum of 2m²/unit); and
 • a tower roof on a building with a floor plate less than 750m²
 Only the roof areas identified in the Bylaw are permitted to be excluded from the calculation of Available Roof Space.

ROOF COVERAGE

Name	Area	Area SF	%
GREEN ROOF	389 m ²	4,186 SF	16%
OUTDOOR AMENITY	856 m ²	9,213 SF	36%
ROOF	1,006 m ²	10,825 SF	42%
TERRACE	129 m ²	1,389 SF	5%
Grand total	2,379 m²	25,612 SF	100%

GREEN ROOF PERCENTAGE

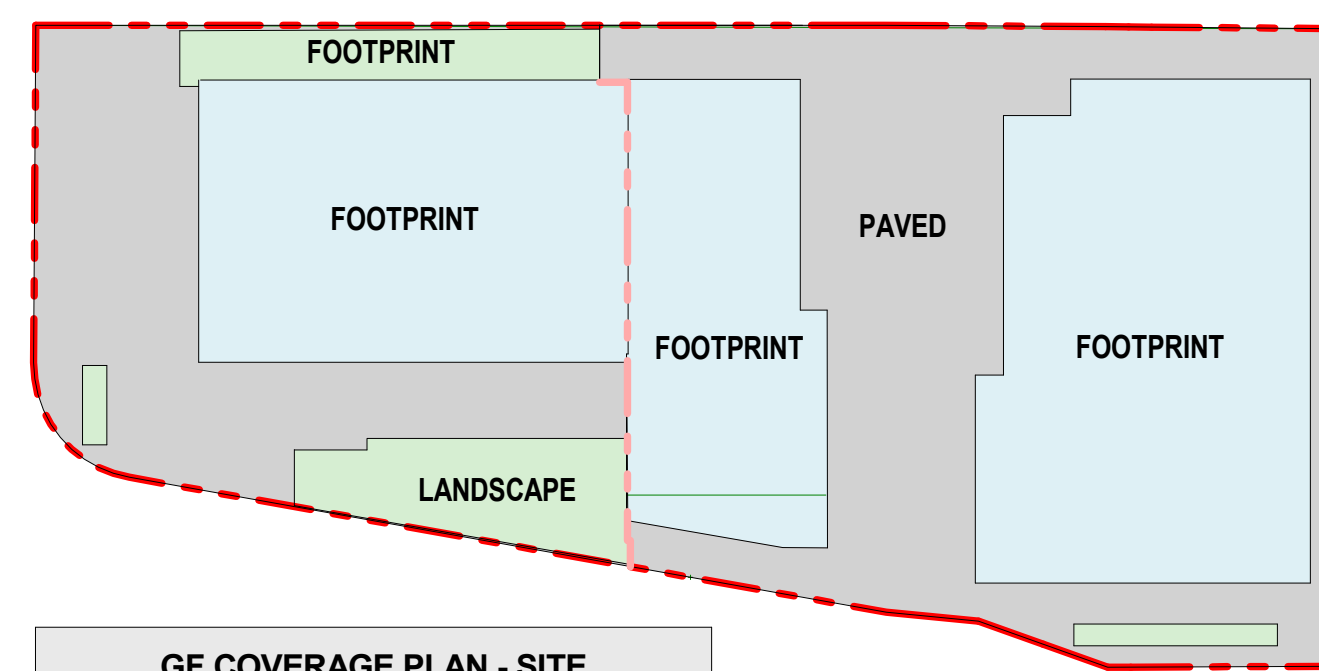
Name	Area	Area SF	%
GREEN ROOF	389 m ²	4,186 SF	60%
ROOF	256 m ²	2,751 SF	40%
Grand total	644 m²	6,937 SF	100%



LOT COVERAGE PLAN
 City of Toronto Zoning By Law - 569-2013, 800.50 (435)
 Lot Coverage: Means the portion of the lot that is covered by any part of any building or structure on or above the surface of the lot.

LOT COVERAGE PLAN

Name	Area	Area SF	%
FOOTPRINT	2,377 m ²	25,586 SF	75%
LANDSCAPE	180 m ²	1,937 SF	6%
PAVED	598 m ²	6,436 SF	19%
Grand total	3,155 m²	33,958 SF	100%



GROUND FLOOR COVERAGE PLAN

GF COVERAGE PLAN - SITE

Name	Area	Area SF	%
FOOTPRINT	1,065 m ²	11,467 SF	58%
LANDSCAPE	19 m ²	208 SF	1%
PAVED	817 m ²	8,797 SF	43%
Grand total	1,902 m²	20,473 SF	100%

GF COVERAGE PLAN - LEASIDE STATION

Name	Area	Area SF	%
FOOTPRINT	531 m ²	5,711 SF	42%
LANDSCAPE	238 m ²	2,558 SF	19%
PAVED	485 m ²	5,216 SF	39%
Grand total	1,253 m²	13,485 SF	100%

GF COVERAGE PLAN - OVERALL

Name	Area	Area SF	Percentage
FOOTPRINT	1,596 m ²	17,178 SF	51%
LANDSCAPE	257 m ²	2,766 SF	8%
PAVED	1,302 m ²	14,014 SF	41%
Grand total	3,155 m²	33,958 SF	100%



The Toronto Green Standard Version 4.0 Statistics Template is submitted with Site Plan Control Applications and stand-alone Zoning Bylaw Amendment applications. Complete the table and copy it directly onto the Site Plan submitted as part of the application.

For Zoning Bylaw Amendment applications: complete General Project Description and Section 1. For Site Plan Control applications: complete General Project Description, Section 1 and Section 2. For further information, please visit www.toronto.ca/greendevdevelopment/

General Project Description	Proposed
Total Gross Floor Area	28,905.31
Breakdown of project components (m ²):	
Residential	28,905.31
Commercial	
Industrial	
Institutional/Other	
Total number of residential units	436

Section 1: For Stand Alone Zoning Bylaw Amendment Applications and Site Plan Control Applications

Low Emissions Transportation	Required	Proposed	Proposed %
Number of Parking Spaces		137	
Number of EV Parking Spaces (Residential)		134	
Number of EV Parking Spaces (non-residential)		3	

Cycling Infrastructure	Required	Proposed	Proposed %
Number of long-term bicycle parking spaces (all-uses)	393	401	102%
Number of long-term bicycle parking located on:			
a) first storey of building			
b) second storey of building	393	401	102%
c) first level below-ground			
d) second level below-ground			
e) other levels below-ground			

Cycling Infrastructure	Required	Proposed	Proposed %
Number of short-term bicycle parking spaces	88	90	102%
Number of shower and change facilities (non-residential)	-	-	-

Tree Canopy	Required	Proposed	Proposed %
Total Soil Volume (40% of the site area + 66 m ² x 30 m ³)	574	328.1	57.16%
Soil volume provided within the site area (m ³)		328.1	
Soil Volume provided within the public boulevard (m ³)			

Section 2: For Site Plan Control Applications

Cycling Infrastructure	Required	Proposed	Proposed %
Number of short-term bicycle parking spaces (all uses) at-grade or on first level below grade	88	90	102%
Number of publicly accessible bicycle parking spaces	10*	30*	300%*
Number of energized outlets for electric bicycles	58	64	110%

Tree Canopy	Required	Proposed	Proposed %
Total site area (m ²)	3154.8		
Total Soil Volume (40% of the site area + 66 m ² x 30 m ³)	574	328.1	57%
Total number of trees planted	19	10	53%
Number of surface parking spaces (if applicable)			
Number of shade trees located in surface parking area	n/a	n/a	

Landscaping & Biodiversity	Required	Proposed	Proposed %
Total non-roof hardscape area (m ²)		1353.4	
Total non-roof hardscape area treated for Urban Heat Island (minimum residential 75% or non-residential 50%) (m ²)		1018.1	
Area of non-roof hardscape treated with: (Indicate m ²)			
a) high-albedo surface material		1018.1	
b) open-grid pavement			
c) shade from tree canopy			

Landscaping & Biodiversity	Required	Proposed	Proposed %
a) shade from high-albedo structures			
e) shade from energy generation structures			
Percentage of Lot Area as Soft Landscaping (non-residential only)		233.83	
Total number of plants		1263	
Total number of native plants and % of total plants		1078	85%
Available Roof Space (m ²)		643	
Available Roof Space provided as Green Roof (m ²)	385	389	101%
Available Roof Space provided as Cool Roof (m ²)			
Available Roof Space provided as Solar Panels (m ²)			

Bird Collision Deterrence	Required	Proposed	Proposed %
Total area of glazing of all elevations within 16m above grade	748.2		
Total area of treated glazing (minimum 85% of total area of glazing within 16m above grade) (m ²)	635.97	643.6	101%
Percentage of glazing within 16m above grade treated with:			
a) Visual markers		643.6	100%
b) non-reflective glass			
c) Building integrated structures			

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4	OPA/ZBA/SPA RESUBMISSION	2024/02/16

GENERAL NOTES

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BUILDING TO BE FULLY SPRINKLED

DESIGN WILL BE COMPLIANT WITH ACCESSIBILITY DESIGN STANDARDS

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 Toronto, ON M4V 2Y7, Canada
 tel 416 596 1930 fax 416 596 0644
www.arcadis.com

PROJECT
BAYVIEW & EGLINTON OVERBUILD
 1787 - 1779 Bayview Ave, Toronto, ON

PROJECT NO: 39762
DRAWN BY: Author
CHECKED BY: Checker
PROJECT MGR: Designer
APPROVED BY: Approver

SHEET TITLE
CONCEPT & LANDSCAPE PLAN

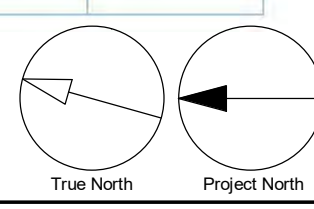
SHEET NUMBER A-004 **ISSUE** 4

"WITHOUT PREJUDICE"

2 HIGH ROOF
A-004 Scale: 1:500

4 LOT COVERAGE PLAN
A-004 Scale: 1:500

3 GROUND FLOOR COVERAGE PLAN
A-004 Scale: 1:500



GROSS FLOOR AREA

Table with columns for Level, Gross Construction Area (GCA), GFA Zoning Deductions, GFA Amenity, GFA Zoning Residential, and GFA Zoning Non-Res. Includes levels from MAIN ROOF - MPH to GROUND FLOOR PLAN and totals for ABOVE GRADE and BELOW GRADE.

Amenity OUTDOOR table with columns for Level, Area SF, and Area m2. Includes levels from MAIN ROOF - MPH to MEZZANINE and a GFA Zoning TOTAL box showing 311,134 SF and 28,905.31 m².

Zoning By-law 569-2013 40.5.40.40

- List of conditions for Gross Floor Area Calculations for a Mixed Use Building in the Commercial Residential Zone Category. Includes (A) parking, loading and bicycle parking below-ground; (B) required loading spaces at the ground level; (C) storage rooms, washrooms, electrical, utility, mechanical and ventilation rooms in the basement; (D) shower and change facilities; (E) amenity space required by this By-law; (F) elevator shafts; (G) garbage shafts; (H) mechanical penthouse; and (I) exit stairwells in the building.

(4) Floor Space Index Calculation for a Mixed Use Building in the Commercial Residential Zone Category. In the Commercial Residential Zone category the floor space index for a mixed use building is the result of the gross floor area minus the areas listed in regulation 40.5.40.40(3) divided by the area of the lot.



1500 HIGHWAY 7 WEST
CONCORD, ON L4K 5Y4

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ISSUES

Table with columns: No., DESCRIPTION, DATE. Lists submission dates for OPA/ZBA/SPA RESUBMISSION.

GENERAL NOTES

- Drawings are prepared based on boundary plan and topographical survey part of lots 374, 375 & 376. Registered Plan 1908, prepared by YUVEJA SURVEYS LTD. and dated July 28th 2018.
Drawings are to be read in conjunction with all other consultants drawings and reports.
Refer to traffic consultants documentation for traffic diagrams, turning radii, traffic report and site access information.
Refer to landscape architects drawings for landscaping information, green roof and outdoor amenity spaces.
Refer to site servicing/civil engineers drawings and reports for site servicing, grading, and utility information.
Refer to traffic consultants documentation for information about waste storage, pick-up and handling for all uses/occupancies.

UNIT MIX SCHEDULE

Unit mix schedule tables including 'CONDO UNITS TOTAL' (325 total, 215 1B, 83 2B, 27 3B) and 'RENTAL UNITS TOTAL' (111 total, 52 1B, 41 2B, 18 3B). Includes a table for 'RENTAL REPLACEMENT UNIT PERCENTAGE' and a 'RENTAL REPLACEMENT UNITS' table.

PARKING SPACES REQUIRED AS PER ZONING

Parking spaces required as per zoning tables for 'No Policy Area' and 'Bicycle Zone 1'. Includes required residential and non-residential parking rates and totals (505 and 322 respectively).

PARKING SCHEDULE

Parking schedule table with columns for Level, TOTAL NO. OF PARKING STALLS, RES, VIS, NON RES, BF, EVSE. Includes totals for 137 stalls and 137 EVSE.

TOTAL NO. OF PARKING STALLS - CAR SHARE

Table for car share parking stalls showing reduction in stalls for residential units (e.g., 1B to 23 stalls).

BICYCLE SPACES REQUIRED AS PER ZONING

Bicycle spaces required as per zoning table for 'Bicycle Zone 1' showing required residential and non-residential bicycle spaces (total 491).

BIKE LOCKER SCHEDULE

Bike locker schedule table with columns for Level, TOTAL RESIDENTIAL BIKE SPACES, RES LT, RES ST. Includes totals for 491 residential bike spaces and 90 long-term bike lockers.

15% of long term parking (59 spaces) equipped with Energized Outlet (120 V). Percentage of net floor area occupied by bicycle parking for the mezzanine level is XX%.

SEAL

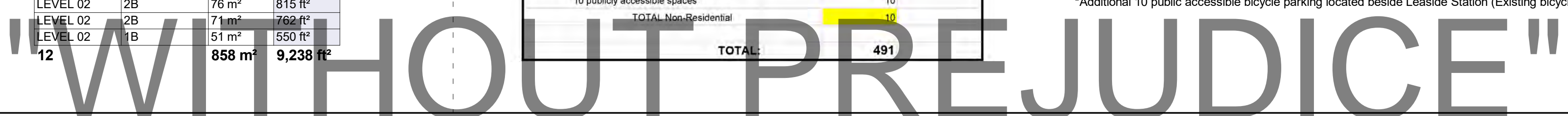
DESIGN WILL BE COMPLIANT WITH ACCESSIBILITY DESIGN STANDARDS. BUILDING TO BE FULLY SPRINKLED.



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www.arcadis.com

PROJECT: BAYVIEW & EGLINTON OVERBUILD
1787 - 1779 Bayview Ave, Toronto, ON

Project information form with fields for Project No. (39762), Drawn By, Checked By, Project Mgr, Approved By, Sheet Title (GENERAL NOTES & STATISTICS BREAKDOWN), Sheet Number (A-005), and Issue (4).



ISSUES

No.	DESCRIPTION	DATE
1	OPA/ZBA/SPA RESUBMISSION	2022/09/29
2	OPA/ZBA/SPA RESUBMISSION	2023/10/10
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GENERAL NOTES

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HOWARD TALBOT PARK

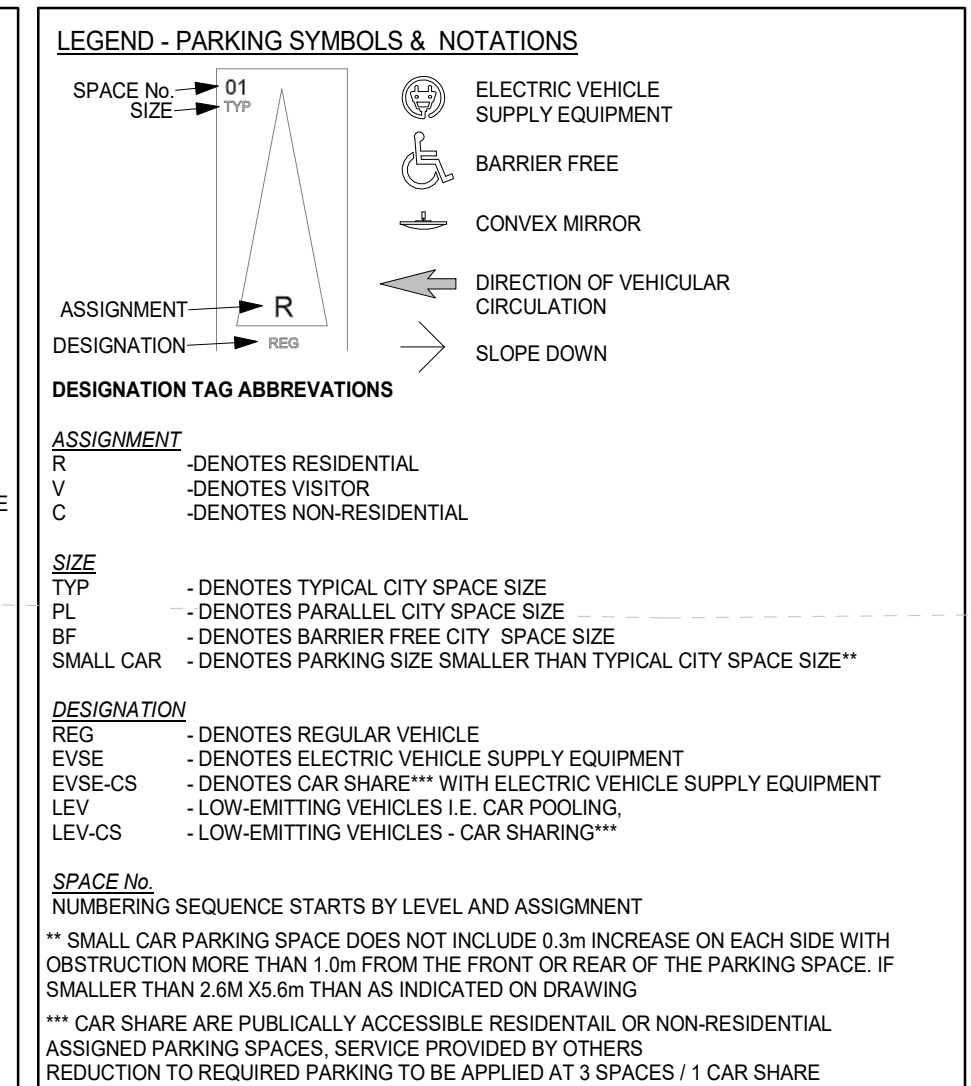
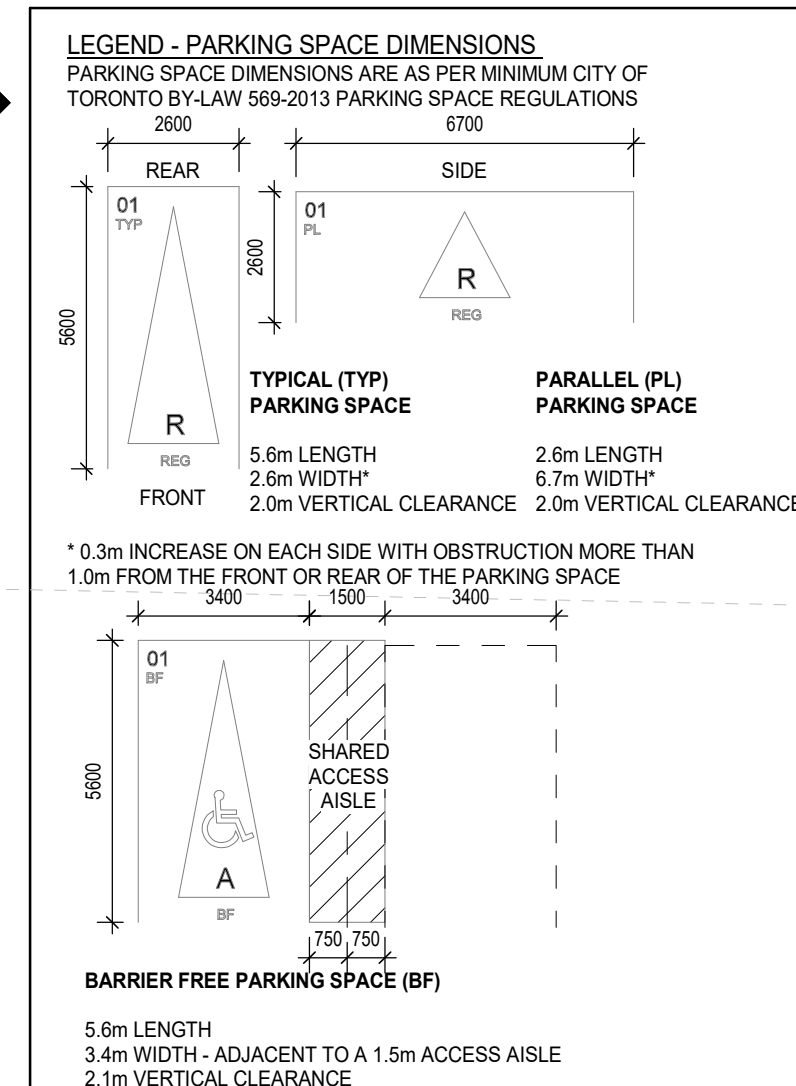
EGLINTON AVE. E.

BAYVIEW AVE.

REFER TO DRAWINGS BY METROLINX FOR STATION DETAIL

TOTAL NO. OF PARKING STALLS		RES	VIS	NON RES
Level	TOTAL No. of Stalls	No. of Residential Stalls	No. of Visitor Stalls	No. of Non-Res Stalls
LEVEL P1	30	21	6	3
LEVEL P2	39	39	0	0
LEVEL P3	42	42	0	0
LEVEL P4	26	26	0	0
TOTAL PARKING SPACES	137	128	6	3

BF	EVSE
No. of Barrier Free Stalls	No. of EVSE Stalls
4	30
2	39
2	42
2	26
10	137



"WITHOUT PREJUDICE"

ISSUES

No.	DESCRIPTION	DATE
1	OPA/ZBA/SPA	2022/09/29
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SEAL

PROJECT
BAYVIEW & EGLINTON OVERBUILD
 1787 - 1779 Bayview Ave, Toronto, ON

PROJECT NO:
 39762

DRAWN BY:
 -

CHECKED BY:
 -

PROJECT MGR:
 -

APPROVED BY:
 -

SHEET TITLE
UNDERGROUND GARAGE PLAN - LEVEL P3

SHEET NUMBER
A-102

ISSUE
4

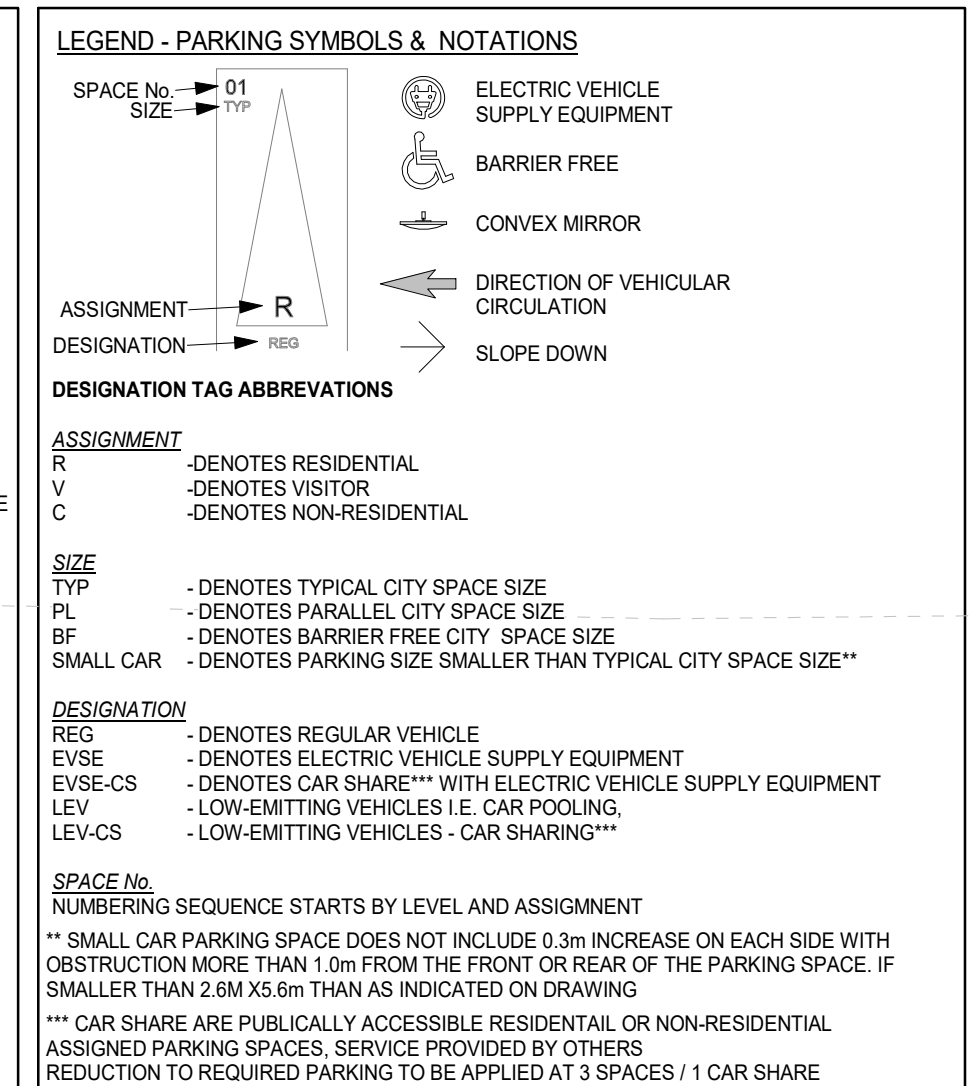
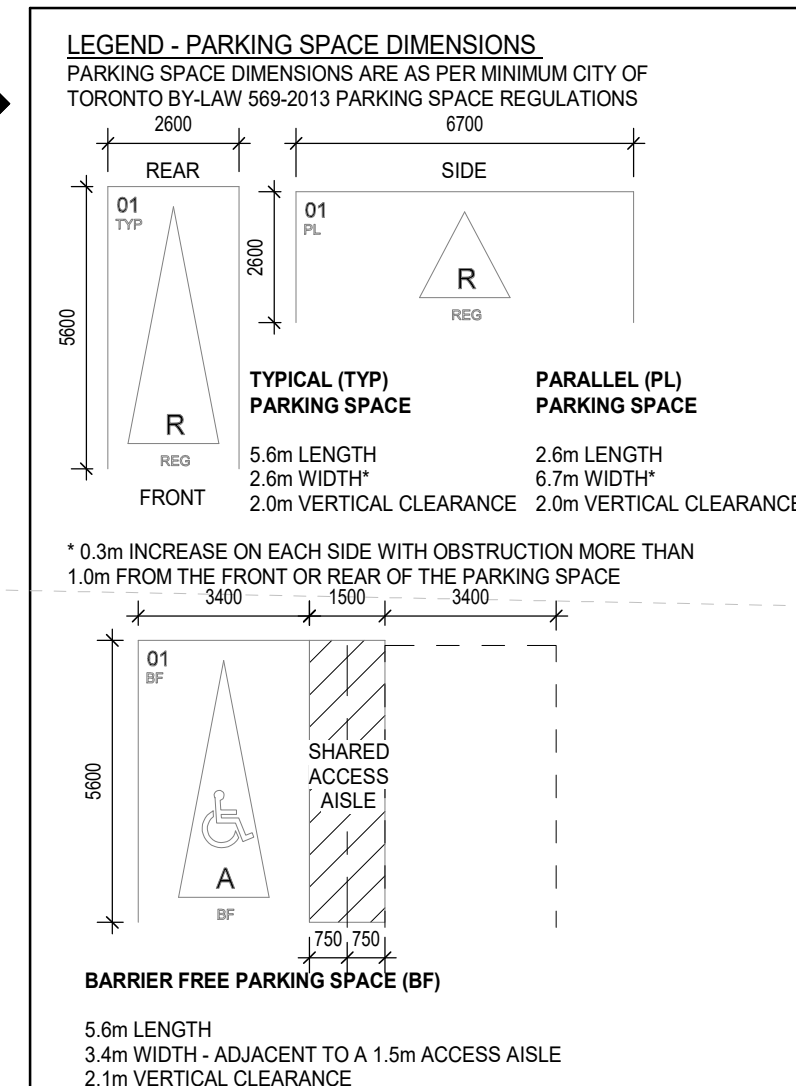
HOWARD TALBOT PARK

EGLINTON AVE. E.

BAYVIEW AVE.

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LEVEL P2	39	39	0	0	2	39				
LEVEL P3	42	42	0	0	2	42				
LEVEL P4	26	26	0	0	2	26				
TOTAL PARKING SPACES	137	128	6	3	10	137				



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SEAL

PROJECT
 BAYVIEW & EGLINTON
 OVERBUILD
 1787 - 1779 Bayview Ave, Toronto, ON

PROJECT NO:
 39762

DRAWN BY: _____ **CHECKED BY:** _____

PROJECT MGR: _____ **APPROVED BY:** _____

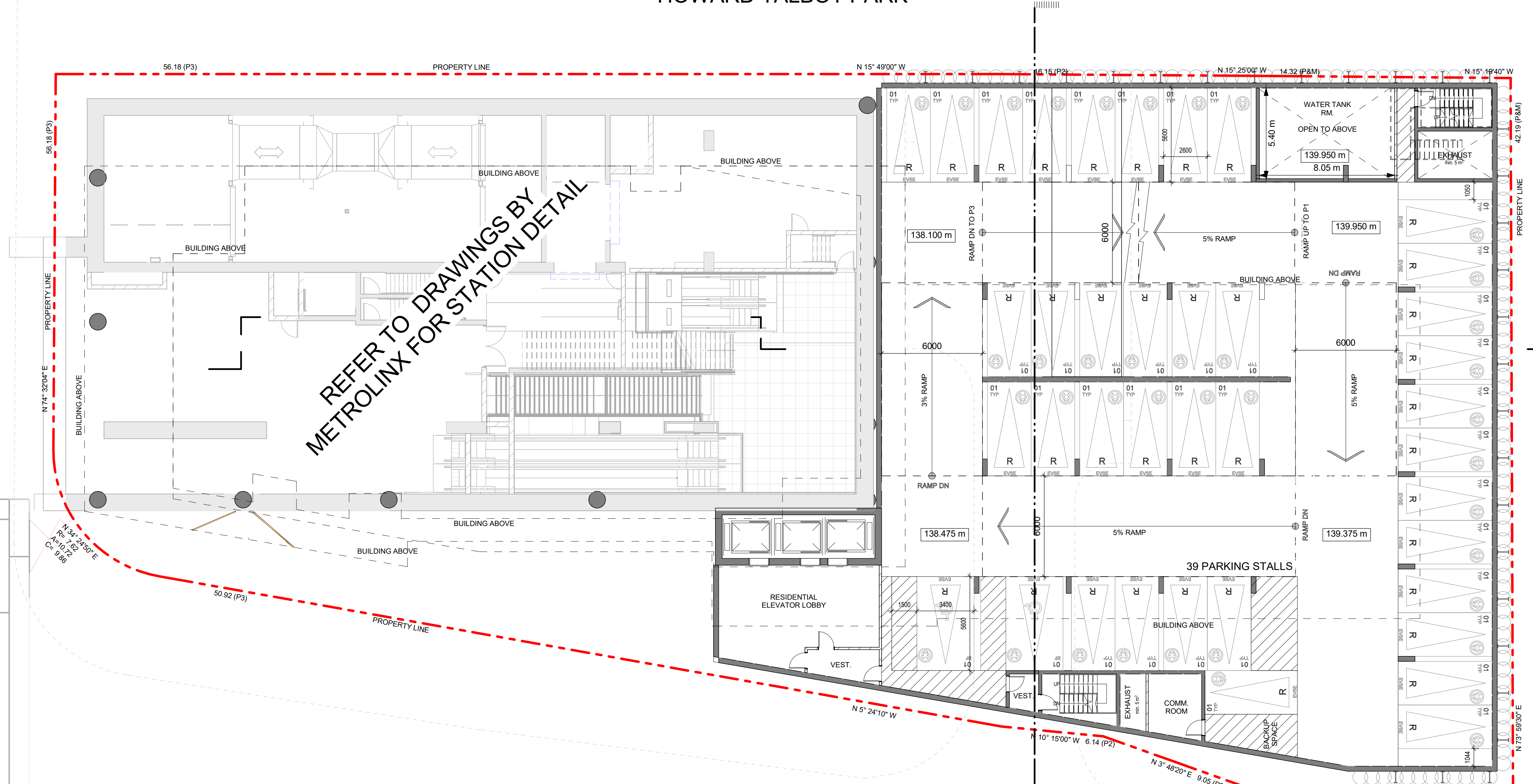
SHEET TITLE
 UNDERGROUND GARAGE
 PLAN - LEVEL P2

SHEET NUMBER A-103 **ISSUE** 4

HOWARD TALBOT PARK

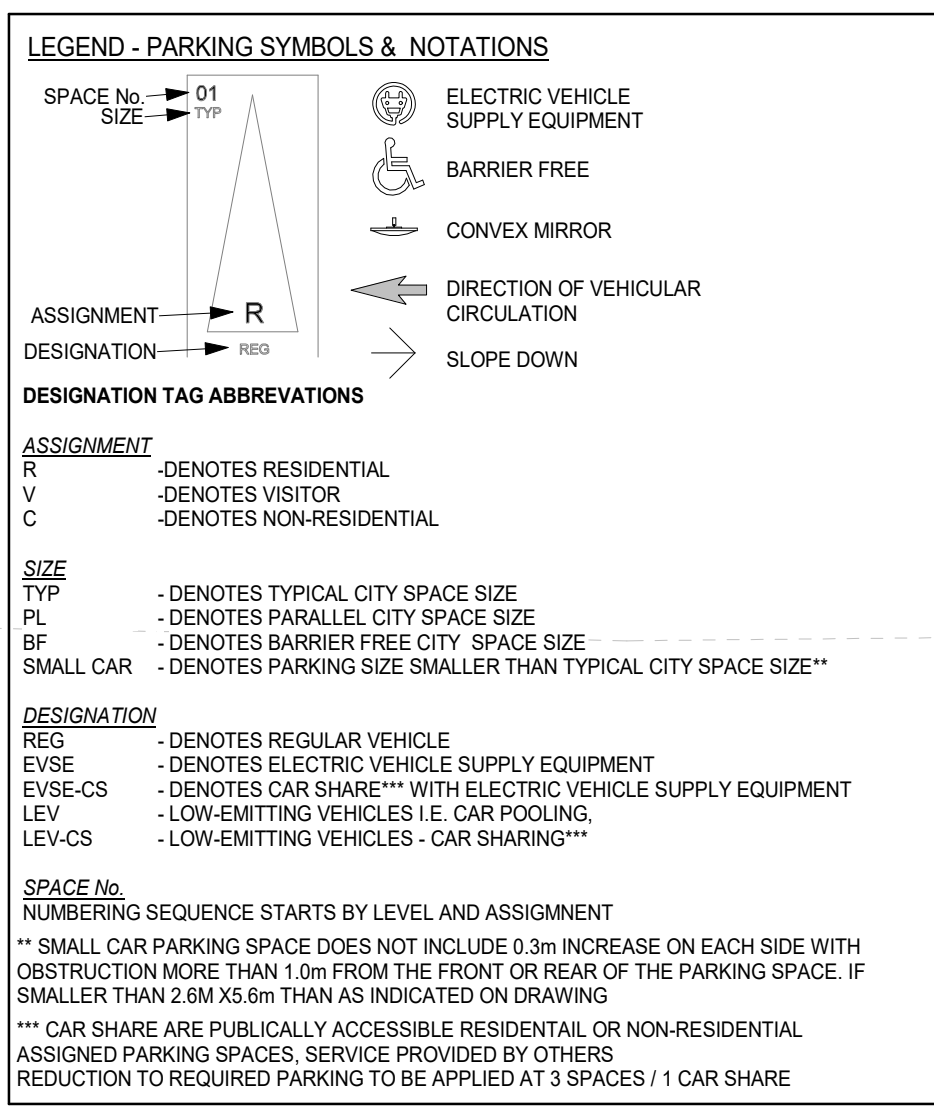
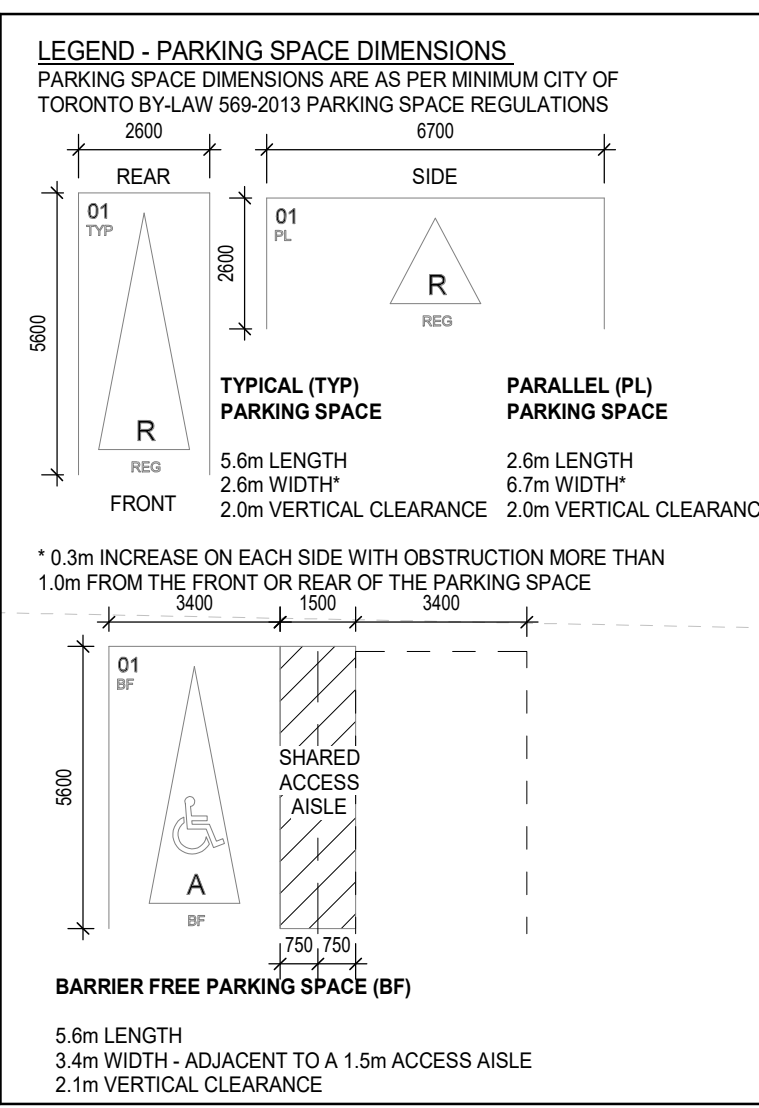
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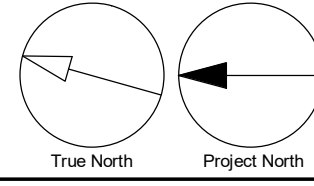


REFER TO DRAWINGS BY
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LEVEL P3	42	42	0	0	2	42
LEVEL P4	26	26	0	0	2	26
TOTAL PARKING SPACES	137	128	6	3	10	137



"WITHOUT PREJUDICE"



ISSUES

No.	DESCRIPTION	DATE
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SEAL

PROJECT
BAYVIEW & EGLINTON OVERBUILD
 1787 - 1779 Bayview Ave, Toronto, ON

PROJECT NO:
 39762

DRAWN BY:
 -

PROJECT MGR:
 -

CHECKED BY:
 -

APPROVED BY:
 -

SHEET TITLE
UNDERGROUND GARAGE PLAN - LEVEL P1

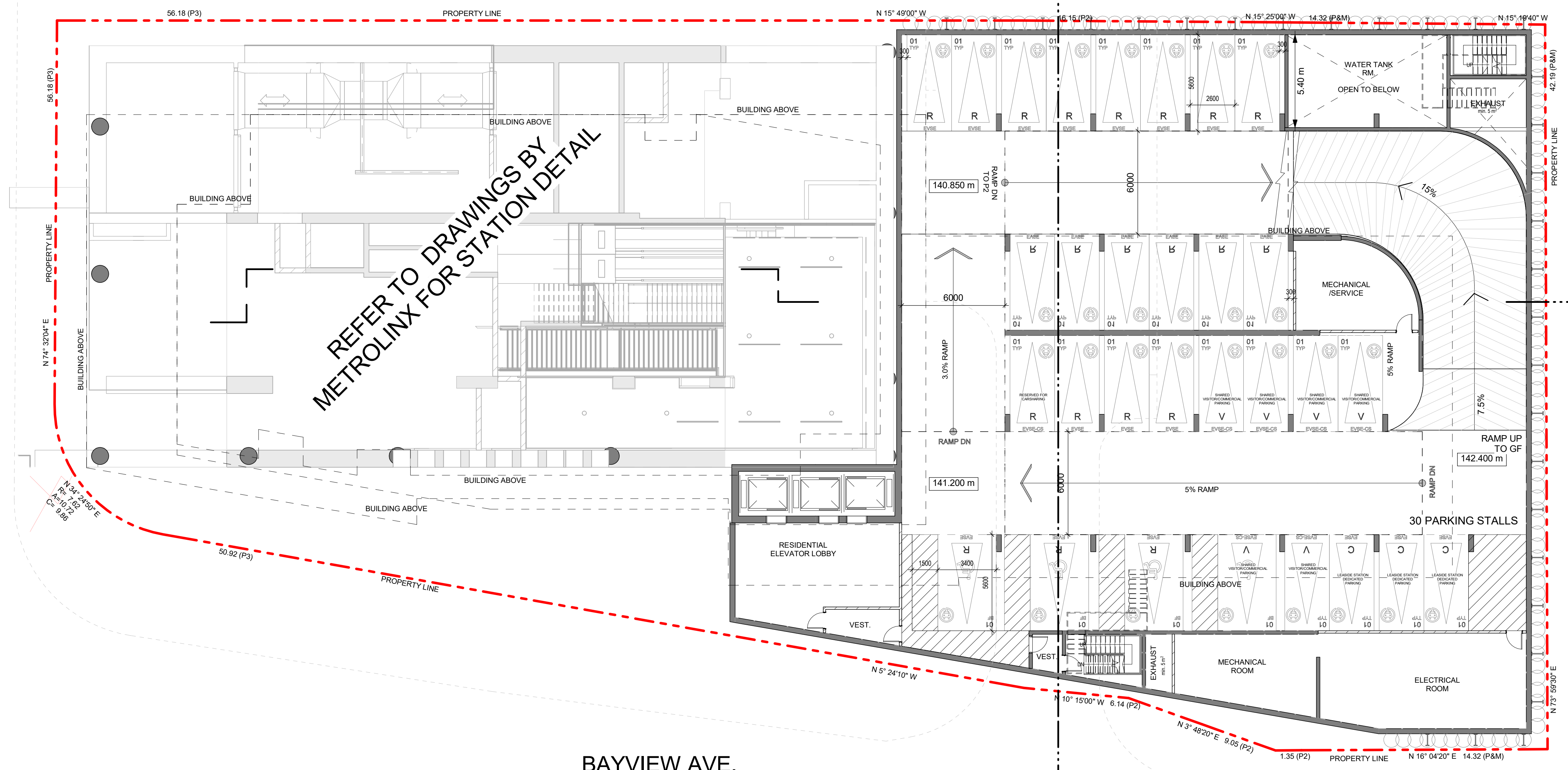
SHEET NUMBER
A-104

ISSUE
4

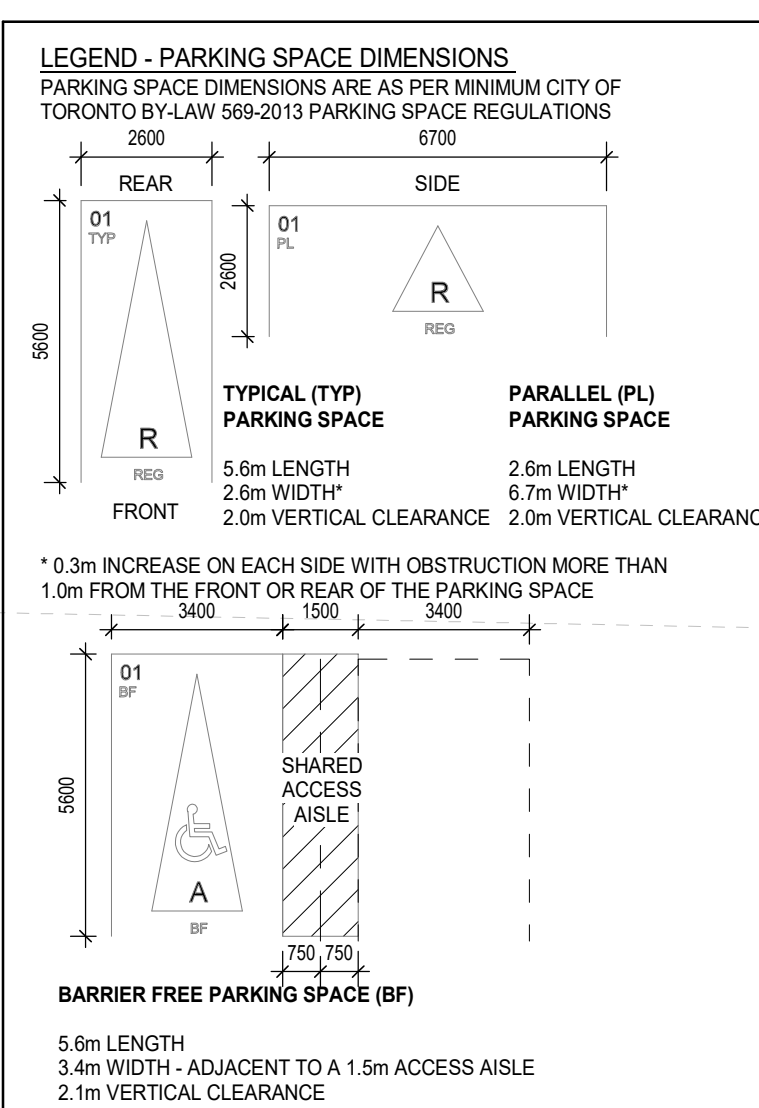
HOWARD TALBOT PARK

EGLINTON AVE. E.

BAYVIEW AVE.



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LEGEND - PARKING SYMBOLS & NOTATIONS

SPACE No. SIZE	01 TYP	ELECTRIC VEHICLE SUPPLY EQUIPMENT
ASSIGNMENT	R	BARRIER FREE
DESIGNATION	REG	CONVEX MIRROR
	REG	DIRECTION OF VEHICULAR CIRCULATION
	EVSE-CS	SLOPE DOWN

DESIGNATION TAG ABBREVIATIONS

ASSIGNMENT	R	- DENOTES RESIDENTIAL
	V	- DENOTES VISITOR
	C	- DENOTES NON-RESIDENTIAL
SIZE	TYP	- DENOTES TYPICAL CITY SPACE SIZE
	PL	- DENOTES PARALLEL CITY SPACE SIZE
	BF	- DENOTES BARRIER FREE CITY SPACE SIZE
	SMALL CAR	- DENOTES PARKING SIZE SMALLER THAN TYPICAL CITY SPACE SIZE**
DESIGNATION	REG	- DENOTES REGULAR VEHICLE
	EVSE	- DENOTES ELECTRIC VEHICLE SUPPLY EQUIPMENT
	EVSE-CS	- DENOTES CAR SHARE*** WITH ELECTRIC VEHICLE SUPPLY EQUIPMENT
	LEV	- LOW-EMITTING VEHICLES I.E. CAR POOLING
	LEV-CS	- LOW-EMITTING VEHICLES - CAR SHARING***

SPACE No. NUMBERING SEQUENCE STARTS BY LEVEL AND ASSIGNMENT

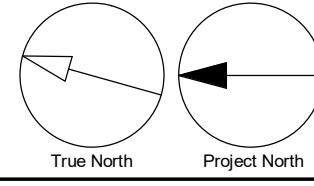
** SMALL CAR PARKING SPACE DOES NOT INCLUDE 0.3m INCREASE ON EACH SIDE WITH OBSTRUCTION MORE THAN 1.0m FROM THE FRONT OR REAR OF THE PARKING SPACE. IF SMALLER THAN 2.6M X 5.6M THAN AS INDICATED ON DRAWING

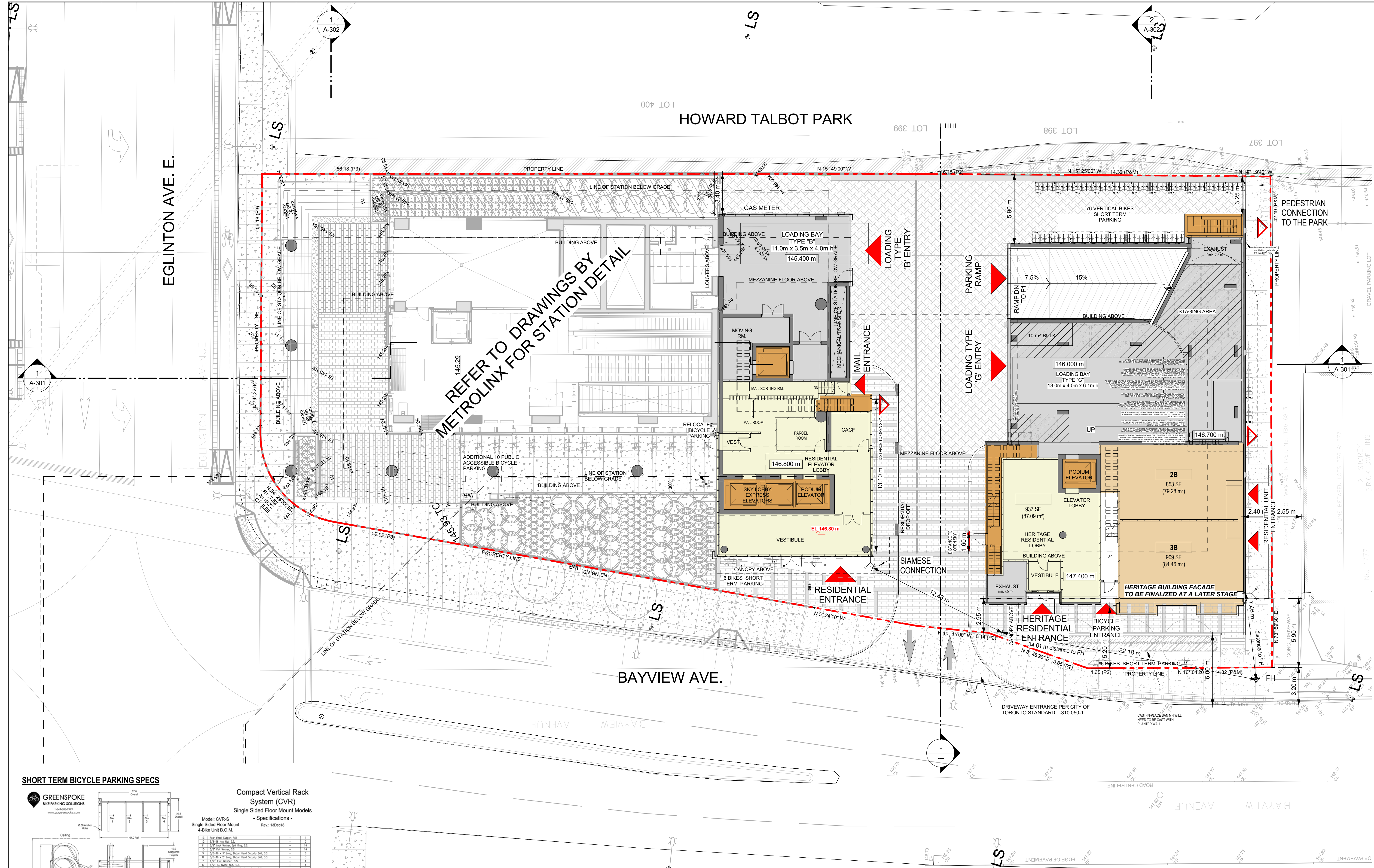
*** CAR SHARE ARE PUBLICALLY ACCESSIBLE RESIDENTIAL OR NON-RESIDENTIAL ASSIGNED PARKING SPACES. SERVICE PROVIDED BY OTHERS

REDUCTION TO REQUIRED PARKING TO BE APPLIED AT 3 SPACES / 1 CAR SHARE

"WITHOUT PREJUDICE"

1 UNDERGROUND LEVEL P1
 A-104 Scale: 1:150





REFER TO DRAWINGS BY
METROLINX FOR STATION DETAIL

CLIENT

 1500 HIGHWAY 7 WEST
 CONCORD, ON L4K 5Y4

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 Arcadis Architects (Canada) Inc.

No.	DESCRIPTION	DATE
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4	OPA/ZBA/SPA RESUBMISSION	2024/02/16

GENERAL NOTES

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BUILDING TO BE FULLY SPRINKLED

DESIGN WILL BE COMPLIANT WITH ACCESSIBILITY DESIGN STANDARDS

SEAL

ARCADIS ARCHITECTS (CANADA) INC.

ARCADIS ARCHITECTS (CANADA) INC.
 55 St. Clair Avenue West, 7th Floor,
 Toronto, ON M4V 2Y7, Canada
 Tel 416 596 1930 Fax 416 596 0644
 www.arcadis.com

PROJECT
 BAYVIEW & EGLINTON
 OVERBUILD
 1787 - 1779 Bayview Ave, Toronto, ON

PROJECT NO:
39762

DRAWN BY:
-

CHECKED BY:
-

PROJECT MGR:
-

APPROVED BY:
-

SHEET TITLE
LEVEL 1 GROUND FLOOR PLAN

SHEET NUMBER
A-105

ISSUE
4

SHORT TERM BICYCLE PARKING SPECS

GREENSPOKE BIKE PARKING SOLUTIONS
www.greenspoke.com

Compact Vertical Rack System (CVR)
 Single Sided Floor Mount Models
 - Specifications -
 Rev. 130c18

Model: CVR-S	Model: CVR-SA
1) 1" x 1" x 1" Steel Support Rod	1) 1" x 1" x 1" Steel Support Rod
2) 3/8" x 3" x 1" Steel Post (Hole Drilled)	2) 3/8" x 3" x 1" Steel Post (Hole Drilled)
3) 1/2" x 1/2" x 1" Steel Plate	3) 1/2" x 1/2" x 1" Steel Plate
4) 1/2" x 1/2" x 1/2" Steel Angle	4) 1/2" x 1/2" x 1/2" Steel Angle
5) 1/2" x 1/2" x 1/2" Steel Angle	5) 1/2" x 1/2" x 1/2" Steel Angle
6) 1/2" x 1/2" x 1/2" Steel Angle	6) 1/2" x 1/2" x 1/2" Steel Angle
7) 1/2" x 1/2" x 1/2" Steel Angle	7) 1/2" x 1/2" x 1/2" Steel Angle
8) 1/2" x 1/2" x 1/2" Steel Angle	8) 1/2" x 1/2" x 1/2" Steel Angle
9) 1/2" x 1/2" x 1/2" Steel Angle	9) 1/2" x 1/2" x 1/2" Steel Angle
10) 1/2" x 1/2" x 1/2" Steel Angle	10) 1/2" x 1/2" x 1/2" Steel Angle
11) 1/2" x 1/2" x 1/2" Steel Angle	11) 1/2" x 1/2" x 1/2" Steel Angle
12) 1/2" x 1/2" x 1/2" Steel Angle	12) 1/2" x 1/2" x 1/2" Steel Angle
13) 1/2" x 1/2" x 1/2" Steel Angle	13) 1/2" x 1/2" x 1/2" Steel Angle
14) 1/2" x 1/2" x 1/2" Steel Angle	14) 1/2" x 1/2" x 1/2" Steel Angle
15) 1/2" x 1/2" x 1/2" Steel Angle	15) 1/2" x 1/2" x 1/2" Steel Angle
16) 1/2" x 1/2" x 1/2" Steel Angle	16) 1/2" x 1/2" x 1/2" Steel Angle
17) 1/2" x 1/2" x 1/2" Steel Angle	17) 1/2" x 1/2" x 1/2" Steel Angle
18) 1/2" x 1/2" x 1/2" Steel Angle	18) 1/2" x 1/2" x 1/2" Steel Angle
19) 1/2" x 1/2" x 1/2" Steel Angle	19) 1/2" x 1/2" x 1/2" Steel Angle
20) 1/2" x 1/2" x 1/2" Steel Angle	20) 1/2" x 1/2" x 1/2" Steel Angle
21) 1/2" x 1/2" x 1/2" Steel Angle	21) 1/2" x 1/2" x 1/2" Steel Angle
22) 1/2" x 1/2" x 1/2" Steel Angle	22) 1/2" x 1/2" x 1/2" Steel Angle
23) 1/2" x 1/2" x 1/2" Steel Angle	23) 1/2" x 1/2" x 1/2" Steel Angle
24) 1/2" x 1/2" x 1/2" Steel Angle	24) 1/2" x 1/2" x 1/2" Steel Angle
25) 1/2" x 1/2" x 1/2" Steel Angle	25) 1/2" x 1/2" x 1/2" Steel Angle
26) 1/2" x 1/2" x 1/2" Steel Angle	26) 1/2" x 1/2" x 1/2" Steel Angle
27) 1/2" x 1/2" x 1/2" Steel Angle	27) 1/2" x 1/2" x 1/2" Steel Angle
28) 1/2" x 1/2" x 1/2" Steel Angle	28) 1/2" x 1/2" x 1/2" Steel Angle
29) 1/2" x 1/2" x 1/2" Steel Angle	29) 1/2" x 1/2" x 1/2" Steel Angle
30) 1/2" x 1/2" x 1/2" Steel Angle	30) 1/2" x 1/2" x 1/2" Steel Angle

Model: CVR-SA
 Add-On for Single Sided Floor Mount
 4-Bike Unit B.O.M.

Material:	Finish:
1) 1/2" x 1/2" x 1/2" Steel (Hole Drilled)	1) Unfinished
2) 1/2" x 1/2" x 1/2" Steel (Hole Drilled)	2) Unfinished
3) 1/2" x 1/2" x 1/2" Steel (Hole Drilled)	3) Unfinished
4) 1/2" x 1/2" x 1/2" Steel (Hole Drilled)	4) Unfinished
5) 1/2" x 1/2" x 1/2" Steel (Hole Drilled)	5) Unfinished
6) 1/2" x 1/2" x 1/2" Steel (Hole Drilled)	6) Unfinished
7) 1/2" x 1/2" x 1/2" Steel (Hole Drilled)	7) Unfinished
8) 1/2" x 1/2" x 1/2" Steel (Hole Drilled)	8) Unfinished
9) 1/2" x 1/2" x 1/2" Steel (Hole Drilled)	9) Unfinished
10) 1/2" x 1/2" x 1/2" Steel (Hole Drilled)	10) Unfinished
11) 1/2" x 1/2" x 1/2" Steel (Hole Drilled)	11) Unfinished
12) 1/2" x 1/2" x 1/2" Steel (Hole Drilled)	12) Unfinished
13) 1/2" x 1/2" x 1/2" Steel (Hole Drilled)	13) Unfinished
14) 1/2" x 1/2" x 1/2" Steel (Hole Drilled)	14) Unfinished
15) 1/2" x 1/2" x 1/2" Steel (Hole Drilled)	15) Unfinished
16) 1/2" x 1/2" x 1/2" Steel (Hole Drilled)	16) Unfinished
17) 1/2" x 1/2" x 1/2" Steel (Hole Drilled)	17) Unfinished
18) 1/2" x 1/2" x 1/2" Steel (Hole Drilled)	18) Unfinished
19) 1/2" x 1/2" x 1/2" Steel (Hole Drilled)	19) Unfinished
20) 1/2" x 1/2" x 1/2" Steel (Hole Drilled)	20) Unfinished
21) 1/2" x 1/2" x 1/2" Steel (Hole Drilled)	21) Unfinished
22) 1/2" x 1/2" x 1/2" Steel (Hole Drilled)	22) Unfinished
23) 1/2" x 1/2" x 1/2" Steel (Hole Drilled)	23) Unfinished
24) 1/2" x 1/2" x 1/2" Steel (Hole Drilled)	24) Unfinished
25) 1/2" x 1/2" x 1/2" Steel (Hole Drilled)	25) Unfinished
26) 1/2" x 1/2" x 1/2" Steel (Hole Drilled)	26) Unfinished
27) 1/2" x 1/2" x 1/2" Steel (Hole Drilled)	27) Unfinished
28) 1/2" x 1/2" x 1/2" Steel (Hole Drilled)	28) Unfinished
29) 1/2" x 1/2" x 1/2" Steel (Hole Drilled)	29) Unfinished
30) 1/2" x 1/2" x 1/2" Steel (Hole Drilled)	30) Unfinished

"WITHOUT PREJUDICE"

1 GROUND FLOOR PLAN
A-105 Scale: 1:150

True North Project North

SCALE CHECK 1"=1m

ISSUES

No.	DESCRIPTION	DATE
1	OPA/ZBA/SPA RESUBMISSION	2022/09/29
2	OPA/ZBA/SPA RESUBMISSION	2023/10/10
3	OPA/ZBA/SPA RESUBMISSION	2024/02/06
4	OPA/ZBA/SPA RESUBMISSION	2024/02/16

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BUILDING TO BE FULLY SPRINKLED

DESIGN WILL BE COMPLIANT WITH ACCESSIBILITY DESIGN STANDARDS

SEAL

PROJECT
BAYVIEW & EGLINTON OVERBUILD
 1787 - 1779 Bayview Ave, Toronto, ON

PROJECT NO:
 39762
 DRAWN BY:
 PROJECT MGR:
 CHECKED BY:
 APPROVED BY:

SHEET TITLE
MEZZANINE FLOOR PLAN

SHEET NUMBER
A-106
 ISSUE
4

HOWARD TALBOT PARK

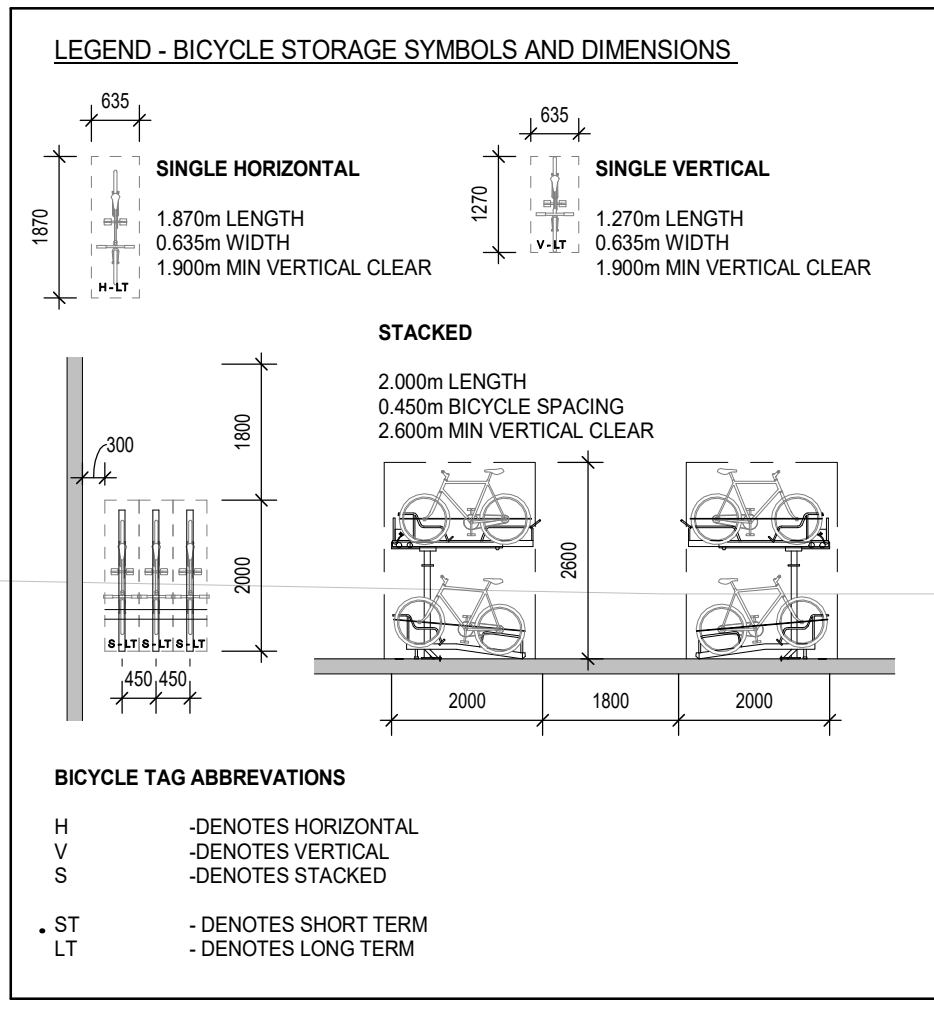
EGLINTON AVE. E.

BAYVIEW AVE.

REFER TO DRAWINGS BY METROLINX FOR STATION DETAIL

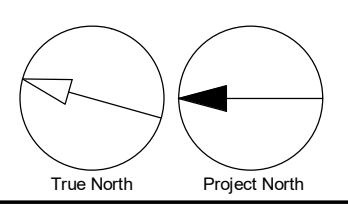
TOTAL RESIDENTIAL BIKE SPACES

Level	Total Bike Spaces	RES LT	RES ST	RES EB
LEVEL P4	0	0	0	0
LEVEL P3	0	0	0	0
LEVEL P2	0	0	0	0
LEVEL P1	0	0	0	0
GROUND FLOOR PLAN	90	0	90	0
MEZZANINE	401	401	0	0
TOTAL BIKE SPACES	491	401	90	64



"WITHOUT PREJUDICE"

MEZZANINE
 Scale: 1:150



ISSUES

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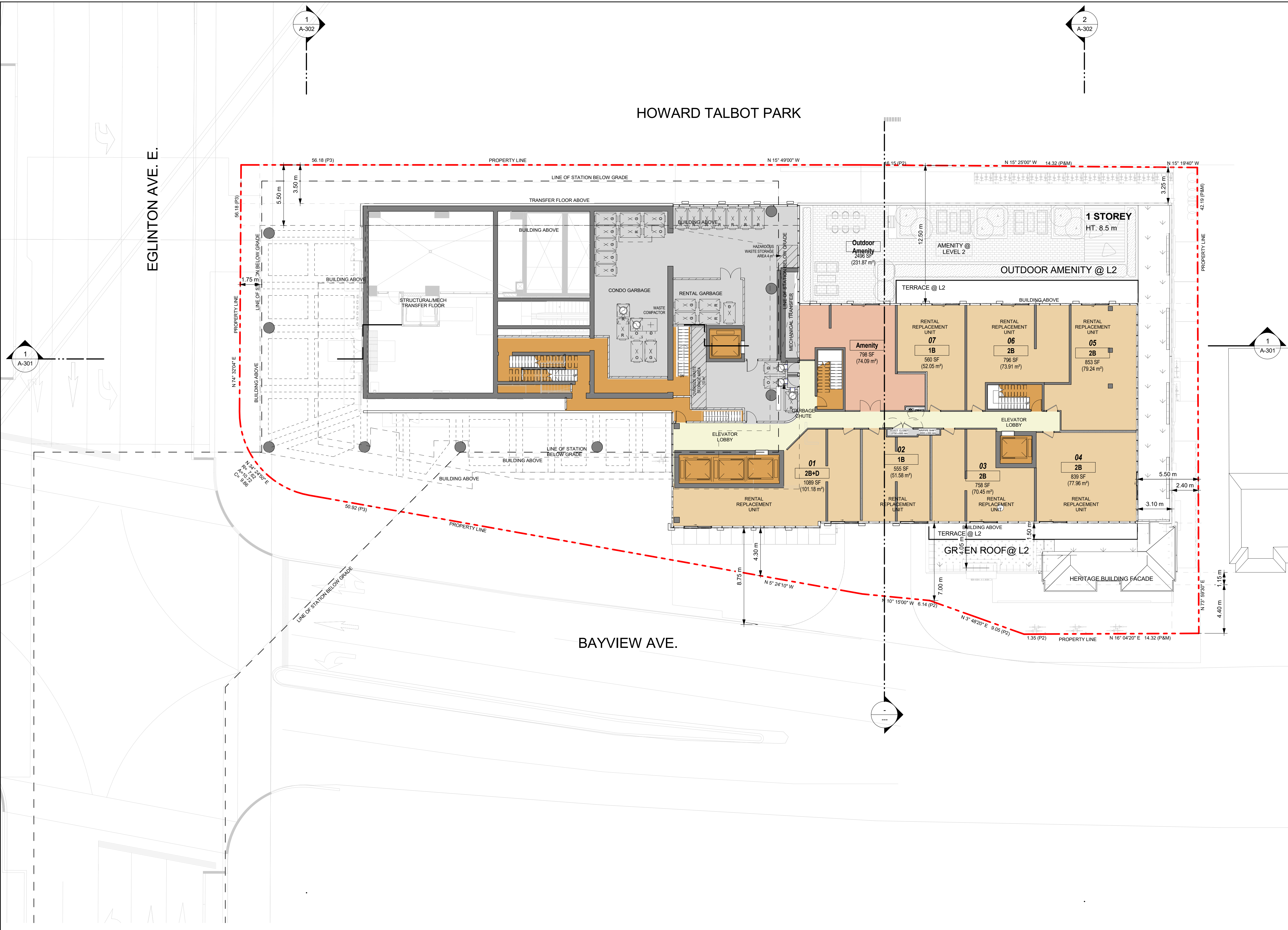
SEAL

PROJECT
**BAYVIEW & EGLINTON
 OVERBUILD**
 1787 - 1779 Bayview Ave, Toronto, ON

PROJECT NO: 39762	CHECKED BY: -
DRAWN BY: -	APPROVED BY: -
PROJECT MGR: -	

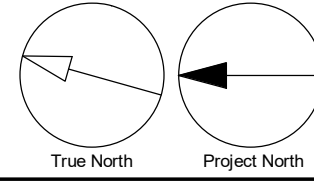
SHEET TITLE
LEVEL 2 FLOOR PLAN

SHEET NUMBER A-107	ISSUE 4
------------------------------	-------------------

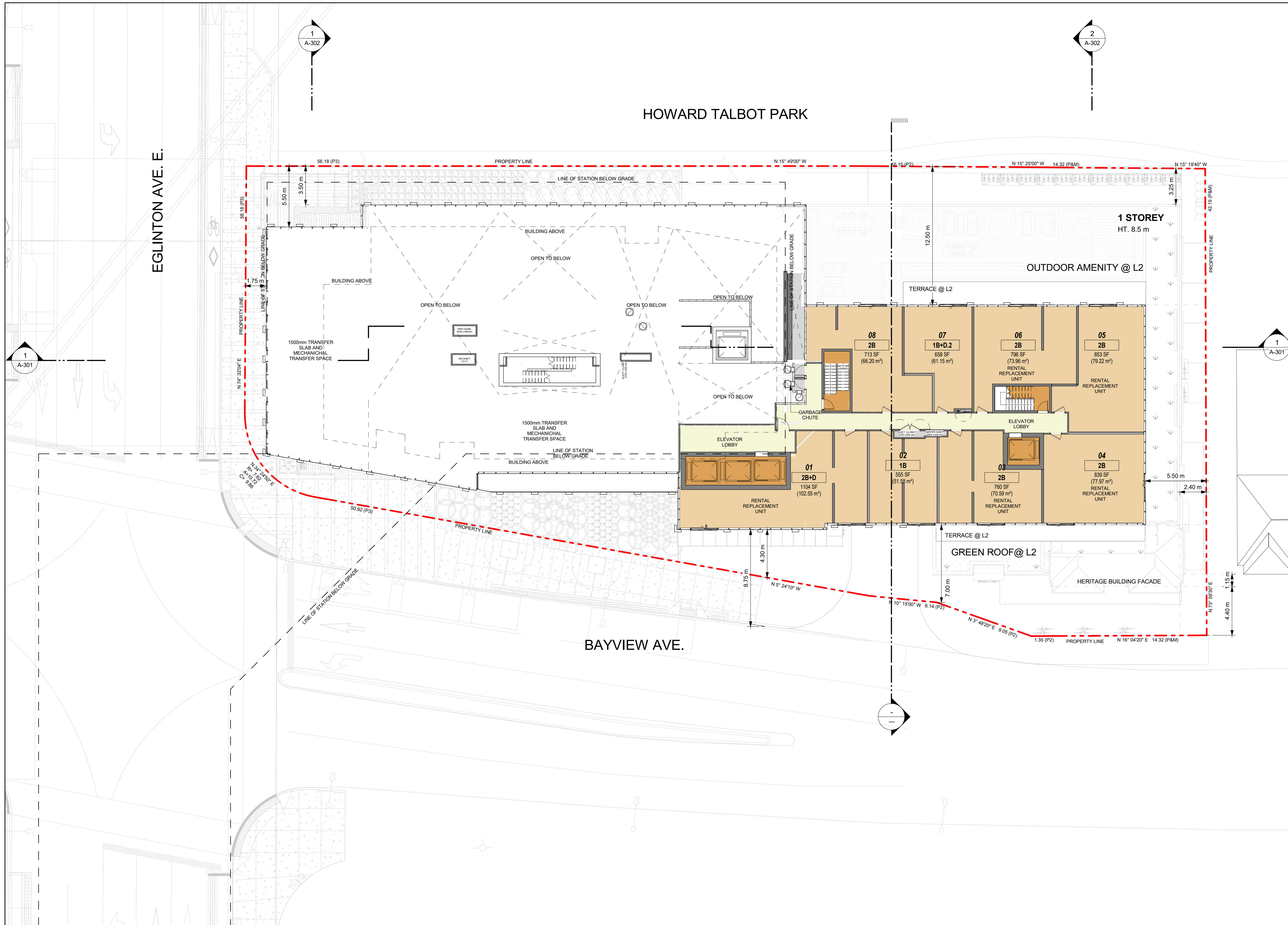


"WITHOUT PREJUDICE"

1 LEVEL 02
 A-107 Scale: 1:150



SCALE CHECK
 1/16"



CLIENT
CONDOR
 PROPERTIES LTD.
 1500 HIGHWAY 7 WEST
 CONCORD, ON L4K 5Y4

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 Arcadis Architects (Canada) Inc.

ISSUES

No.	DESCRIPTION	DATE
1	OPA/ZBA/SPA RESUBMISSION	2022/09/29
2	OPA/ZBA/SPA RESUBMISSION	2023/10/10
3	OPA/ZBA/SPA RESUBMISSION	2024/02/06
4	OPA/ZBA/SPA RESUBMISSION	2024/02/16

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BUILDING TO BE FULLY SPRINKLED

DESIGN WILL BE COMPLIANT WITH ACCESSIBILITY DESIGN STANDARDS

SEAL

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PROJECT
**BAYVIEW & EGLINTON
 OVERBUILD**
 1787 - 1779 Bayview Ave, Toronto, ON

PROJECT NO:
39762

DRAWN BY: _____ CHECKED BY: _____

PROJECT MGR: _____ APPROVED BY: _____

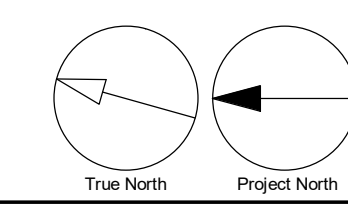
SHEET TITLE
LEVEL 3 FLOOR PLAN

SHEET NUMBER
A-108

ISSUE
4

"WITHOUT PREJUDICE"

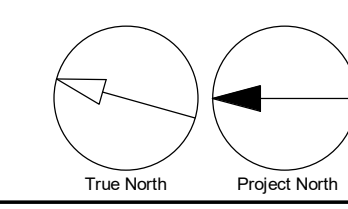
1 LEVEL 03
 A-108 Scale: 1:150





"WITHOUT PREJUDICE"

1 LEVEL 04 TO 05
A-109 Scale: 1:150



CLIENT

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CONCORD, ON L4K 5Y4

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	3	OPA/ZBA/SPA RESUBMISSION	2024/02/06
	4	OPA/ZBA/SPA RESUBMISSION	2024/02/16

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BUILDING TO BE FULLY SPRINKLED

DESIGN WILL BE COMPLIANT WITH ACCESSIBILITY DESIGN STANDARDS

SEAL

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tel 416 596 1930 fax 416 596 0644
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PROJECT
BAYVIEW & EGLINTON
OVERBUILD
1787 - 1779 Bayview Ave, Toronto, ON

PROJECT NO:
39762

DRAWN BY:	CHECKED BY:
PROJECT MGR:	APPROVED BY:

SHEET TITLE
LEVEL 4 TO 5 FLOOR PLAN

SHEET NUMBER A-109	ISSUE 4
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ISSUES

No.	DESCRIPTION	DATE
1	OPA/ZBA/SPA RESUBMISSION	2022/09/29
2	OPA/ZBA/SPA RESUBMISSION	2023/10/10
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PROJECT
BAYVIEW & EGLINTON OVERBUILD
 1787 - 1779 Bayview Ave, Toronto, ON

PROJECT NO:
 39762
 DRAWN BY:
 Author
 PROJECT MGR:
 Designer
 CHECKED BY:
 Checker
 APPROVED BY:
 Approver

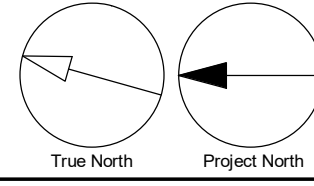
SHEET TITLE
LEVEL 6 TO 7 FLOOR PLAN

SHEET NUMBER
A-110
 ISSUE
4



"WITHOUT PREJUDICE"

1 LEVELS 6 TO 7
 A-110 Scale: 1:150



SCALE CHECK
 1:10m

CLIENT
CONDOR
 PROPERTIES LTD.
 1500 HIGHWAY 7 WEST
 CONCORD, ON L4K 5Y4

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Arcadis Architects (Canada) Inc.

ISSUES

No.	DESCRIPTION	DATE
1	OPA/ZBA/SPA RESUBMISSION	2022/09/29
2	OPA/ZBA/SPA RESUBMISSION	2023/10/10
3	OPA/ZBA/SPA RESUBMISSION	2024/02/06
4	OPA/ZBA/SPA RESUBMISSION	2024/02/16

GENERAL NOTES

DRAWINGS ARE PREPARED BASED ON BOUNDARY PLAN AND TOPOGRAPHICAL SURVEY PART OF LOTS 374, 375 & 376 REGISTERED PLAN 1908, PREPARED BY VUJEVA SURVEYS LTD AND DATED JULY 28TH 2018.

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- REFER TO TRAFFIC CONSULTANT'S DOCUMENTATION FOR TRAFFIC DIAGRAMS, TURNING RADIUS, TRAFFIC REPORT AND SITE ACCESS INFORMATION.
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ACCEPTABLE TRAFFIC SIGNS AND MIRRORS TO BE INSTALLED TO WARN MOTORISTS OF ONCOMING TRAFFIC AND POSITIONED SUCH THAT MOTORISTS ARE PROVIDED WITH CLEAR VIEWS OF ONCOMING TRAFFIC.

BUILDING TO BE FULLY SPRINKLED

DESIGN WILL BE COMPLIANT WITH ACCESSIBILITY DESIGN STANDARDS

SEAL

ARCADIS
 ARCADIS ARCHITECTS (CANADA) INC.
 55 St. Clair Avenue West, 7th Floor,
 Toronto, ON M4V 2Y7, Canada
 tel 416 596 1930 fax 416 596 0644
 www.arcadis.com

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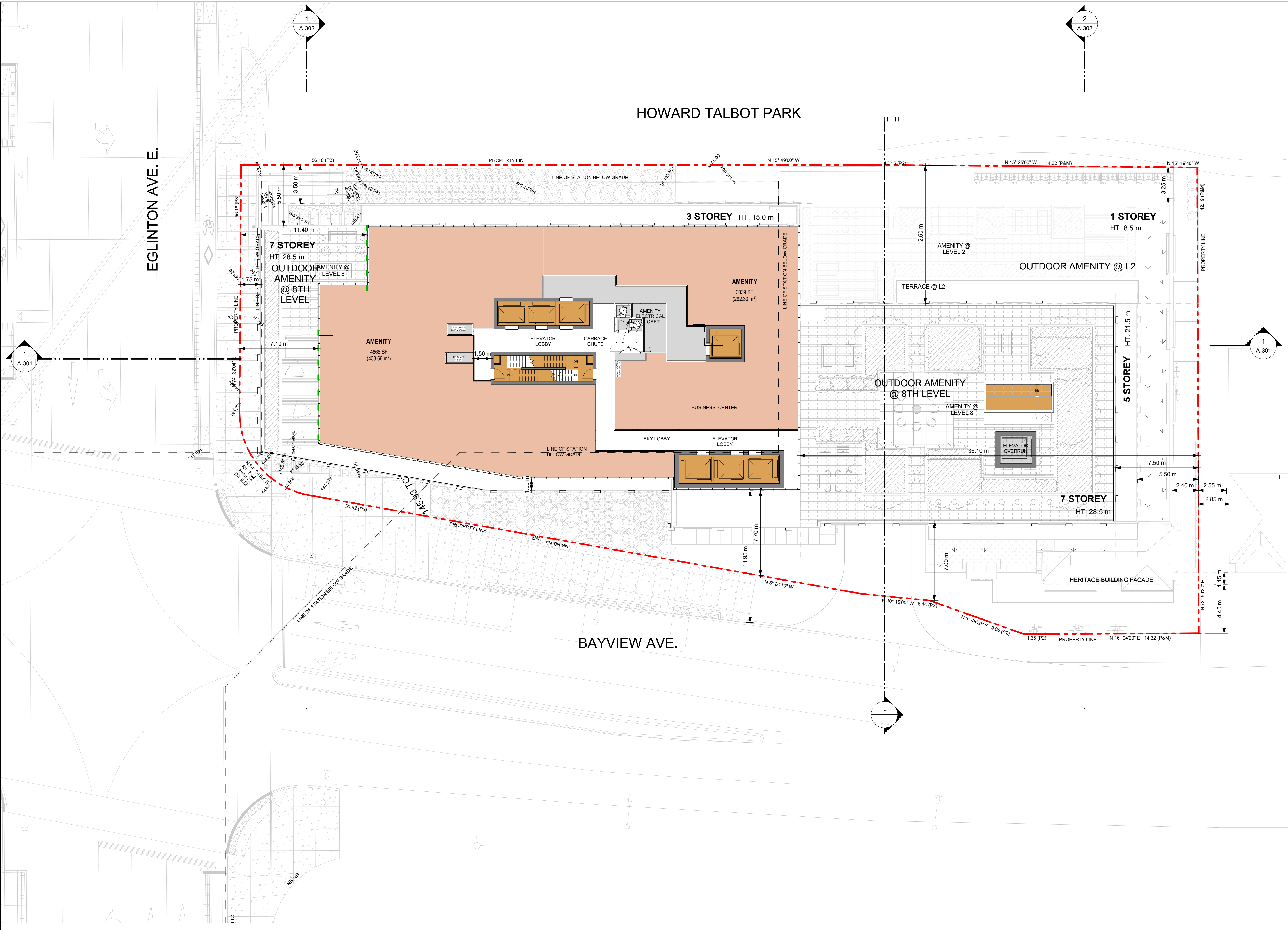
PROJECT MGR:
-

APPROVED BY:
-

SHEET TITLE
**LEVEL 8 FLOOR PLAN - SKY
 LOBBY AND AMENITY**

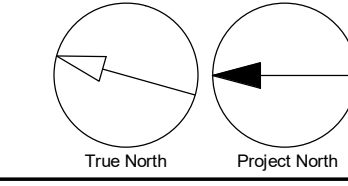
SHEET NUMBER
A-111

ISSUE
4



"WITHOUT PREJUDICE"

1 LEVEL 08
 A-111 Scale: 1:150



SCALE CHECK
 1:10m

CLIENT



1500 HIGHWAY 7 WEST
CONCORD, ON L4K 5Y4

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SHEET TITLE
LEVEL 9 FLOOR PLAN

SHEET NUMBER
A-112 **ISSUE**
4

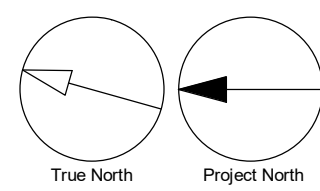
HOWARD TALBOT PARK

EGLINTON AVE. E.

BAYVIEW AVE.

"WITHOUT PREJUDICE"

1 LEVEL 09
A-112 Scale: 1:150



10mm
SCALE CHECK

ISSUES

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1	OPA/ZBA/SPA RESUBMISSION	2022/09/29
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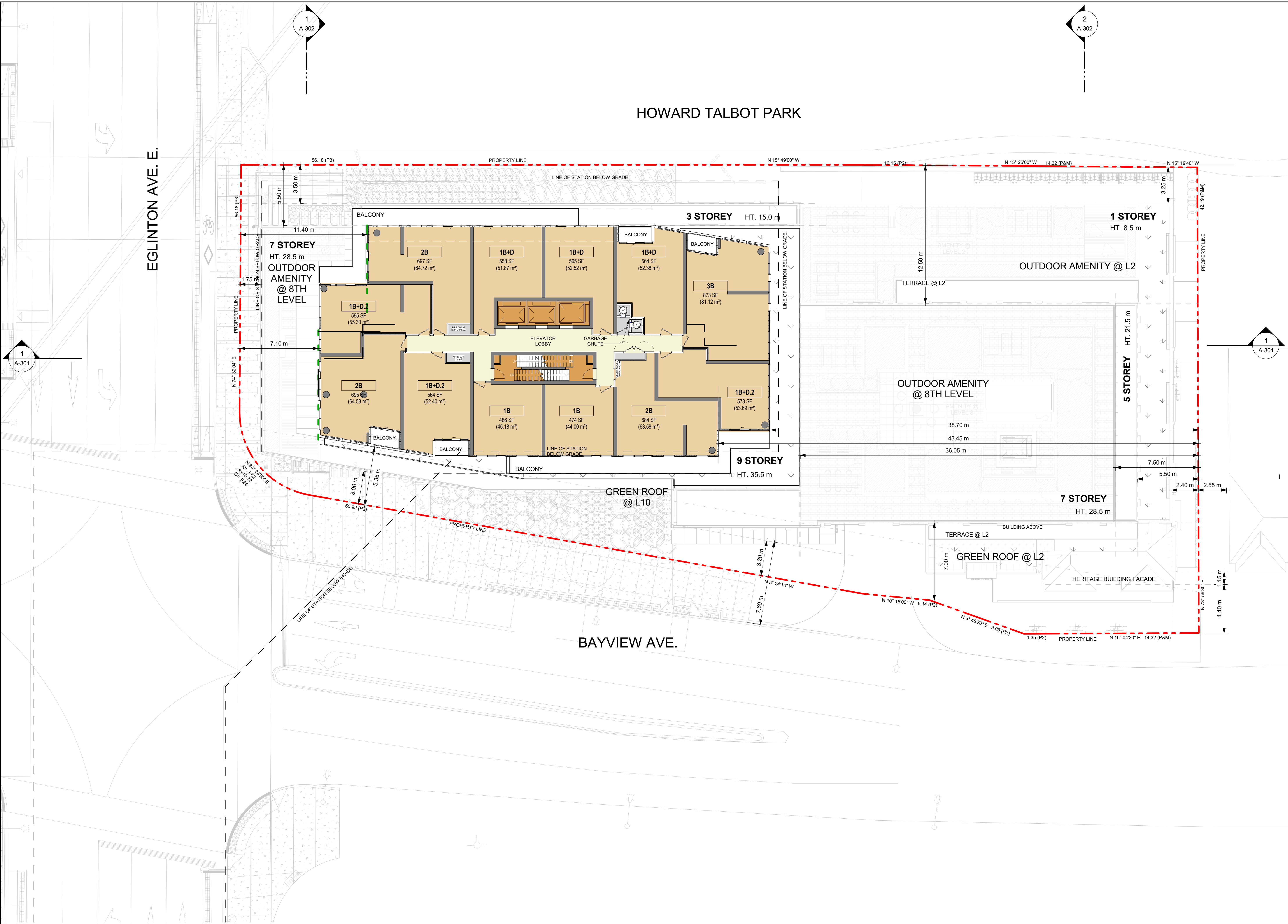
PROJECT MGR:
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APPROVED BY:
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SHEET TITLE
LEVEL 10 TO 33 FLOOR PLAN

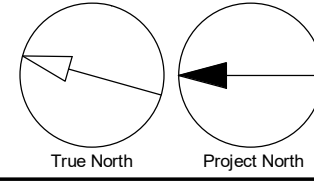
SHEET NUMBER
A-113

ISSUE
4



"WITHOUT PREJUDICE"

1 LEVEL 10 TO 33
 A-113 Scale: 1:150

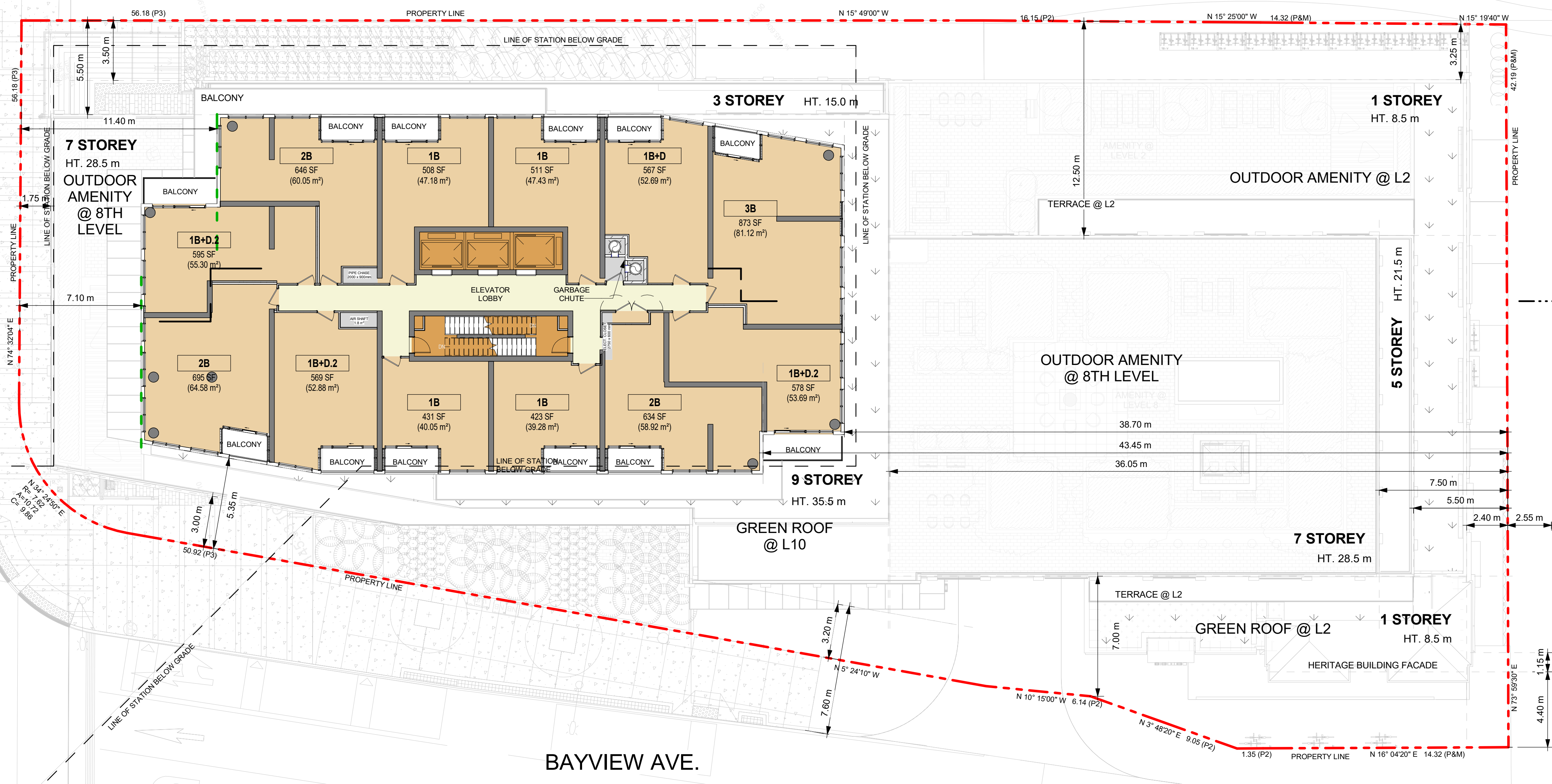


SCALE CHECK
 1:10m

HOWARD TALBOT PARK

EGLINTON AVE. E.

BAYVIEW AVE.



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 39762

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PROJECT MGR:
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APPROVED BY:
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SHEET TITLE
LEVEL 34 TO 35 FLOOR PLAN

SHEET NUMBER
A-114

ISSUE
4

"WITHOUT PREJUDICE"

1 LEVEL 34 TO 35
 A-114 Scale: 1:150

