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Date:

**KIRKOR**  
ARCHITECTS AND PLANNERS

20 De Boers Drive Suite 400  
Toronto, ON M3J 0H1

Revisions:		
No.:	Revision:	Date:

04	Mediation Set	Jan 15, 2024
03	Mediation Set	Dec 07, 2023
02	Re-issued for ZBA / Site Plan Approval	March 17, 2023
01	ZBA / Site Plan Approval	July 22, 2022
No.:	Issued For:	Date:

Design Architect:

**Moriyama Teshima | ARCHITECTS**

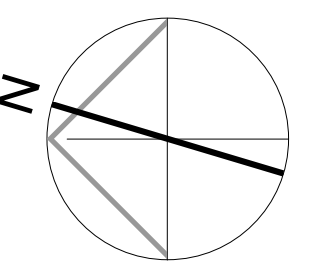
Client:

**ORIGINATE DEVELOPMENTS**

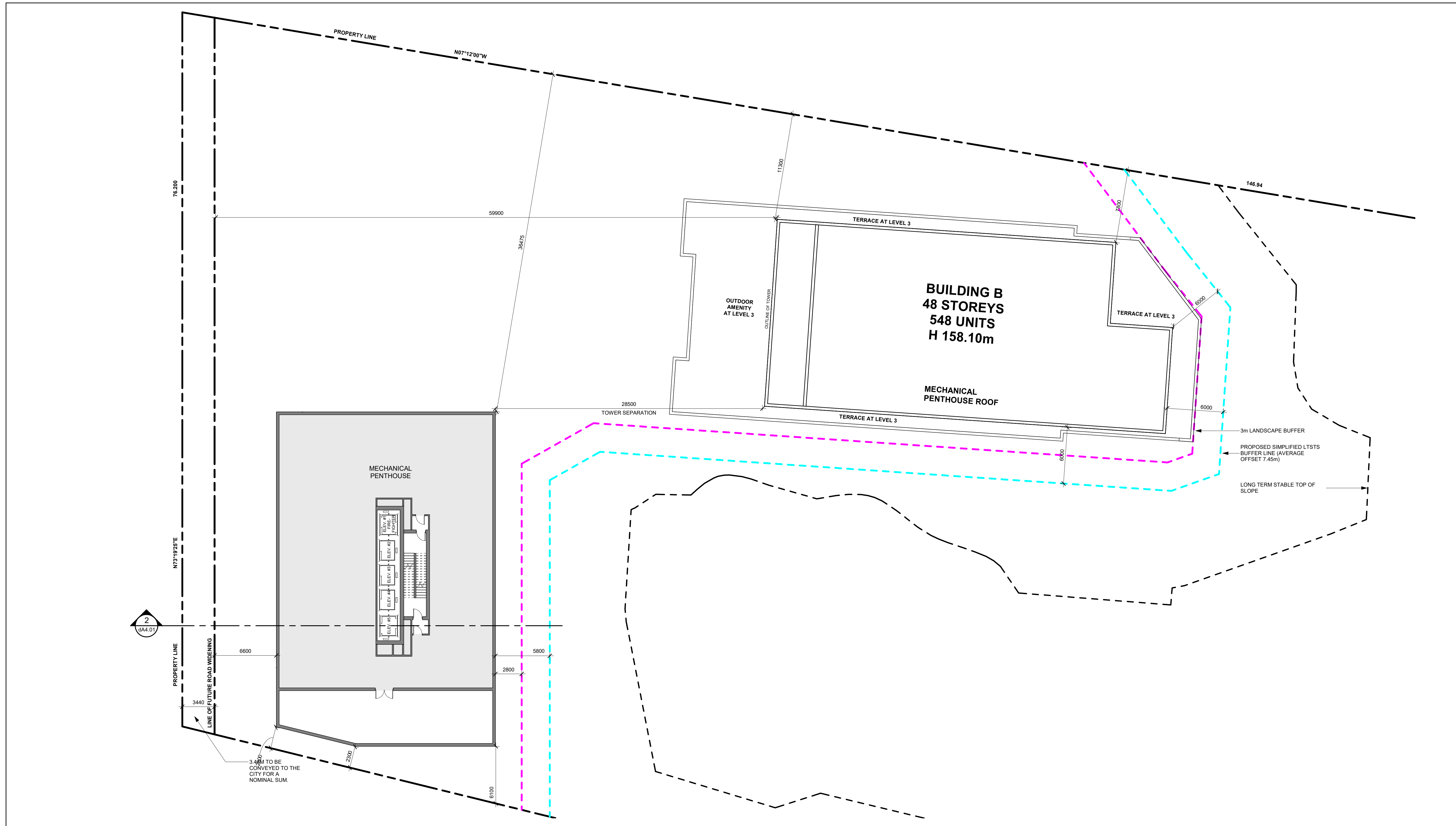
**123 Wynford Drive**  
Proposed Residential Development

Drawing Title:  
**Building A - Level MPH Floor Plan**

Scale:  
**1 : 200**  
Drawn by:  
**M.D., A.C.**  
Checked by:  
**R.P.**  
Project No.:  
**21-048**  
Date:  
**Jan 15, 2024**  
Drawing No.:



**dA2.14**



Building A Mechanical Penthouse Floor Plan

1 : 200

1  
dA2.14

Plot Date: 1/17/2024 1:02:30 PM File Path: C:\Users\MD\OneDrive\Documents\21-048\123 Wynford Dr\_A\2021-01-15\123 Wynford Dr\_A\MPH\20240115.dwg



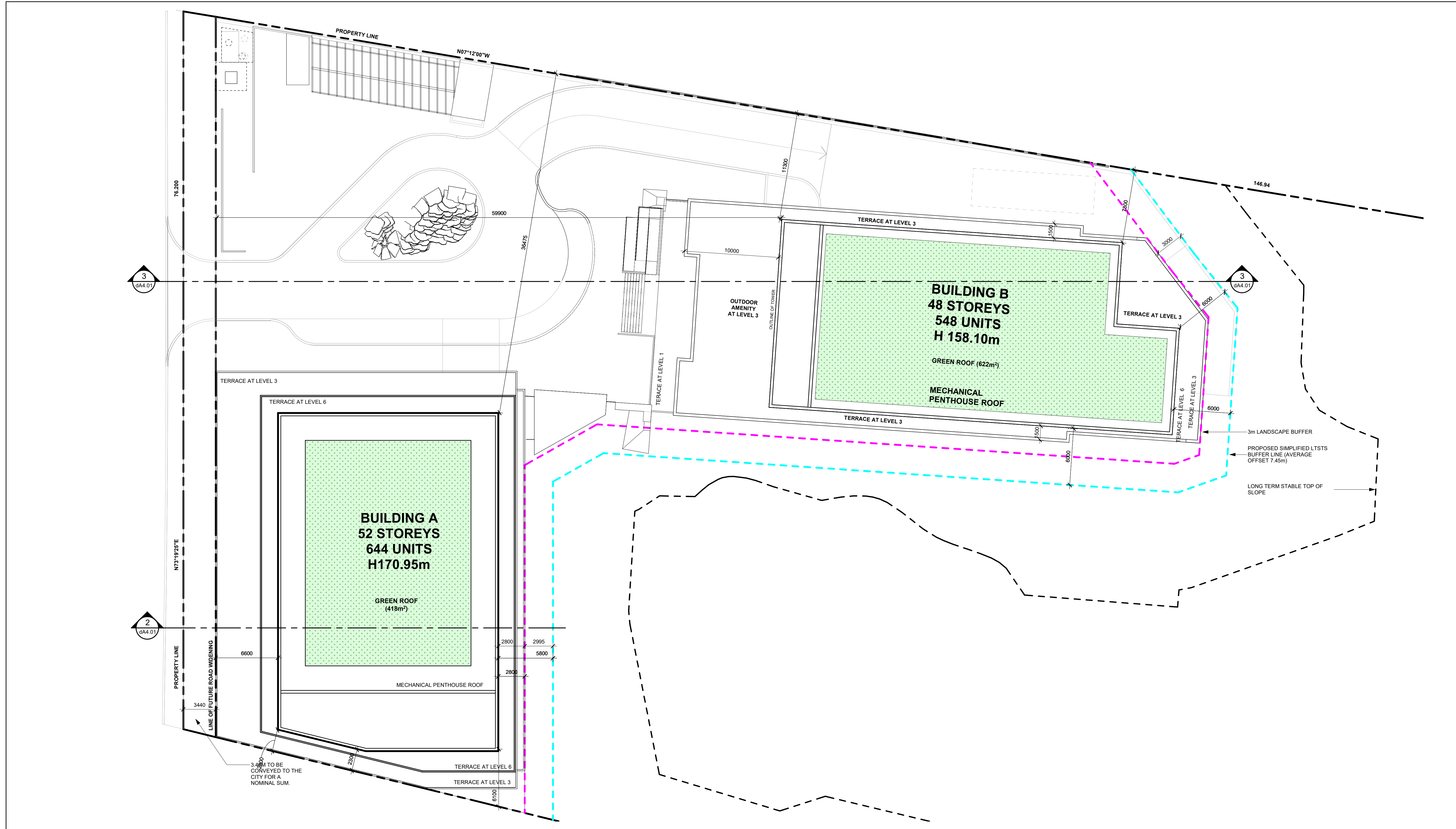
**Green Roof Statistics - BUILDING A**

	Proposed
Gross Floor Area, as defined in Green Roof Bylaw (m <sup>2</sup> )	48,607
Total Roof Area (m <sup>2</sup> )	3,408
Area of Residential Private Terraces (m <sup>2</sup> )	2,192
Rooftop Outdoor Amenity Space, if in a Residential Building (m <sup>2</sup> )	520
Area of Renewable Energy Devices (m <sup>2</sup> )	
Tower (s)Roof Area with floor plate less than 750 m <sup>2</sup>	
Total Available Roof Space (m <sup>2</sup> )	696
<b>Green Roof Coverage</b>	<b>Required Proposed</b>
Coverage of Available Roof Space (m <sup>2</sup> )	418 418
Coverage of Available Roof Space (%)	60% 60%

**Green Roof Statistics - BUILDING B**

	Proposed
Gross Floor Area, as defined in Green Roof Bylaw (m <sup>2</sup> )	47,649
Total Roof Area (m <sup>2</sup> )	2,680
Area of Residential Private Terraces (m <sup>2</sup> )	1,397
Rooftop Outdoor Amenity Space, if in a Residential Building (m <sup>2</sup> )	247
Area of Renewable Energy Devices (m <sup>2</sup> )	
Tower (s)Roof Area with floor plate less than 750 m <sup>2</sup>	
Total Available Roof Space (m <sup>2</sup> )	1,036
<b>Green Roof Coverage</b>	<b>Required Proposed</b>
Coverage of Available Roof Space (m <sup>2</sup> )	622.00 622.00
Coverage of Available Roof Space (%)	60% 60%

The Green Roof Statistics Template is required to be submitted for Site Plan Control Applications where a green roof is required under the Toronto Municipal Code Chapter 492, Green Roofs. Complete the table below and **copy it directly onto the Roof Plan** submitted as part of any Site Plan Control Application requiring a green roof in accordance with the Bylaw. Refer to Section § 492-1 of the Municipal Code for a complete list of defined terms, and greater clarity regarding the intent and application of the terms included in the template. The Toronto Municipal Code Chapter 492, Green Roofs can be found online at: [http://www.toronto.ca/legdocs/municode/1184\\_492.pdf](http://www.toronto.ca/legdocs/municode/1184_492.pdf)



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No.: Revision: Date:

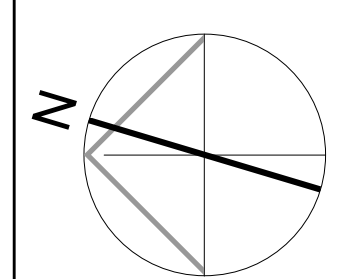
No.	Revision	Date
04	Mediation Set	Jan 15, 2024
03	Mediation Set	Dec 07, 2023
02	Re-issued for ZBA / Site Plan Approval	March 17, 2023
01	ZBA / Site Plan Approval	July 22, 2022
No.:	Issued For:	Date:

Design Architect:  
**Moriyama Teshima | ARCHITECTS**

Client:  
**ORIGINATE DEVELOPMENTS**  
123 Wynford Drive  
Proposed Residential Development

Drawing Title:  
**Roof Plan & Green Roof Statistics**

Scale:  
1 : 200  
Drawn by:  
M.D., A.C.  
Checked by:  
R.P.  
Project No.:  
21-048  
Date:  
Jan 15, 2024  
Drawing No.:





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Date:

Revisions:

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01 ZBA / Site Plan Approval July 22, 2022

No.: Issued For: Date:

Design Architect:

**Moriyama Teshima | ARCHITECTS**

Client:

**ORIGINATE DEVELOPMENTS**

123 Wynford Drive

Proposed Residential Development

Drawing Title:

**Elevation - Building A&B, North**

Scale:

As indicated

Drawn by:

M.D., A.C.

Checked by:

R.P.

Project No.:

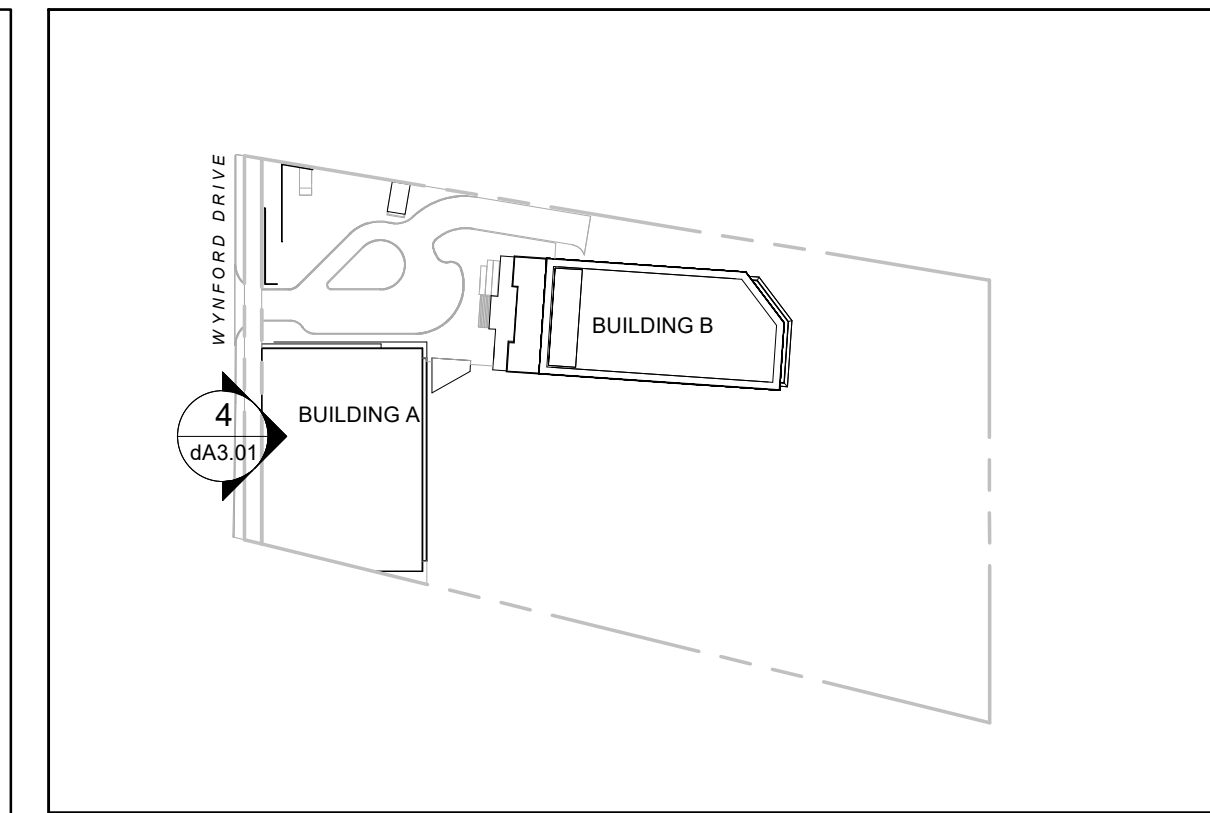
21-048

Date:

Jan 15, 2024

Drawing No.:

dA3.01



Key Plan 3  
dA3.01

**EXTERIOR FINISH SCHEDULE**

- 1A GFRC (GLASS FIBER REINFORCED CONCRETE) PANEL - IVORY WHITE MATTE FINISH
- 1B GFRC (GLASS FIBER REINFORCED CONCRETE) PANEL - IVORY WHITE MATTE FINISH WITH FLUTED RIB PATTERN
- 2A BIRD FRIENDLY VISION GLASS WITH LOW E COATING IN PREFINISHED ALUMINUM FRAME IN CHAMPAGNE COLOUR
- 2B BIRD FRIENDLY CLEAR GLASS GUARD RAIL
- 2C CLEAR VISION GLASS WITH LOW E COATING IN PREFINISHED ALUMINUM FRAME IN CHAMPAGNE COLOUR
- 3 CLEAR GLASS CANOPY
- 4 ALUMINUM PICKET RAILING IN CHAMPAGNE COLOUR
- 5 PREFINISHED ALUMINUM FRAME IN CHAMPAGNE COLOUR
- 6 ALUMINUM RAILING POST IN CHAMPAGNE COLOUR
- 8 SCREENING - WOOD COLOUR
- 9 LIGHT FIXTURE - DARK SKY COMPLIANT

Exterior Finish Legend 2  
dA3.01

**Bird-Friendly Design Statistics**

	Elevation First 16m Above Grade					Total (%)
	North	South	East	West	Total (m <sup>2</sup> )	
Glazing Area (m <sup>2</sup> )	289.11	196.67	227.85	225.77	939.4	100%
Untreated Area (m <sup>2</sup> )	53.98	14.93	41.36	10.45	120.72	
Treated Area (m <sup>2</sup> )	235.13	181.74	186.49	215.32	818.68	87.00%
Visual Markers (m <sup>2</sup> )	52.89	57.16	45.17	128.81	284.03	
Non-reflective glass (m <sup>2</sup> )	179.24	124.58	141.32	86.51	531.65	
Shaded (m <sup>2</sup> )						

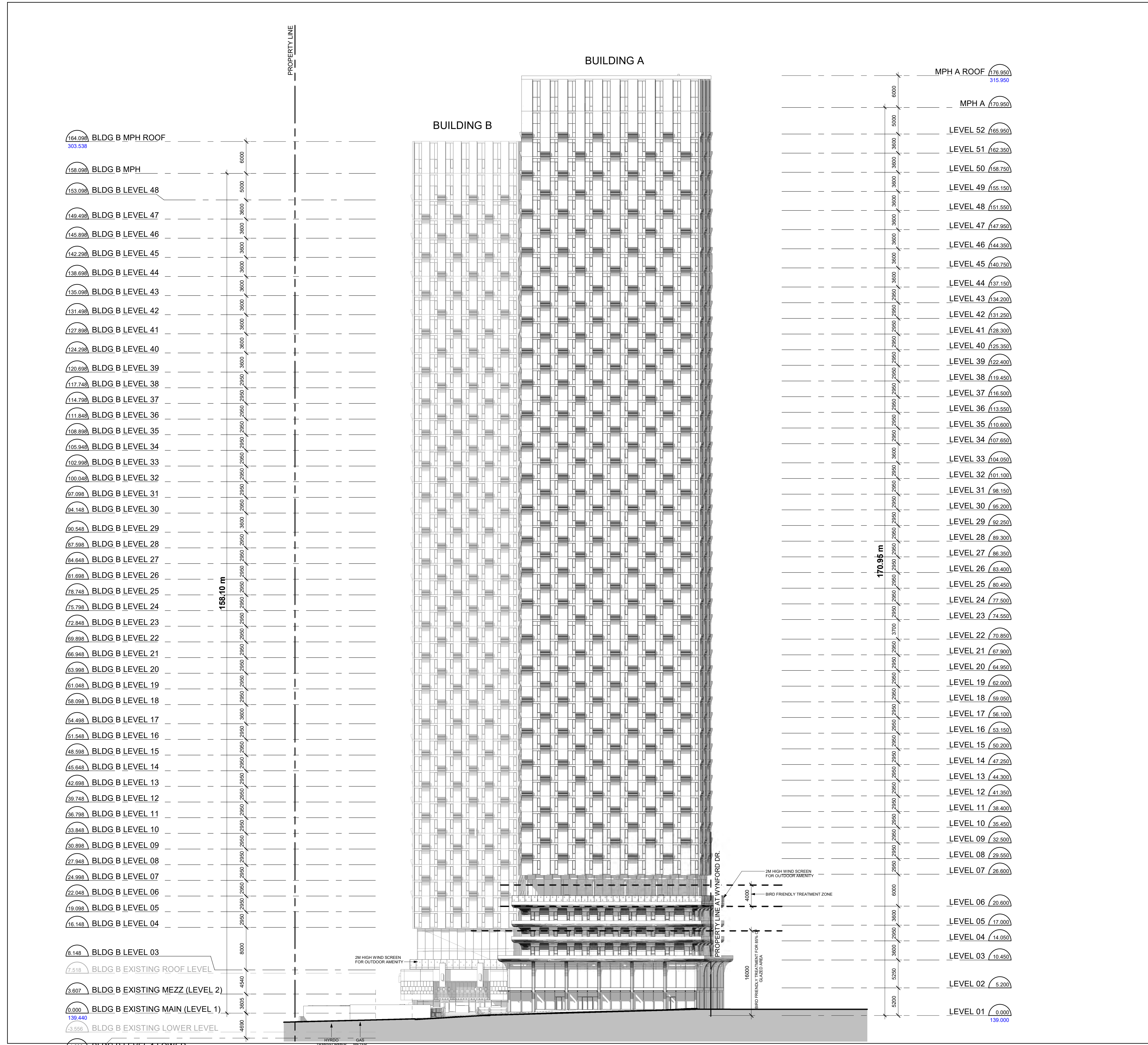
	Elevation First 4m Above Rooftop Vegetation*					Total (%)
	North (Floor 10)	South (Floor 10)	East (Floor 10)	West (Floor 10)	Total (m <sup>2</sup> )	
Glazing Area (m <sup>2</sup> )	92.26	95.03	49.74	52.03	289.06	100%
Untreated Area (m <sup>2</sup> )					0	
Treated Area (m <sup>2</sup> )	92.26	95.03	49.74	52.03	289.06	100%
Non-reflective glass (m <sup>2</sup> )					0	
Visual Markers (m <sup>2</sup> )	92.26	32.04	49.74	52.03	226.07	
Shaded (m <sup>2</sup> )		63.02			63.02	

\*Include this section only when applicable and provide relevant floor numbers for reference.

Building Window : Wall Ratio 40:60

Refer to the Toronto Green Standard Version 4 Ecology section for details on bird collision deterrence treatment options.

Bird Friendly Treatment, Building A 1  
dA3.01



North Elevation 4  
dA3.01



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Revisions:

**KIRKOR**  
ARCHITECTS AND PLANNERS  
20 De Boers Drive Suite 400  
Toronto, ON M3J 0H1

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Design Architect:  
**Moriyama Teshima | ARCHITECTS**

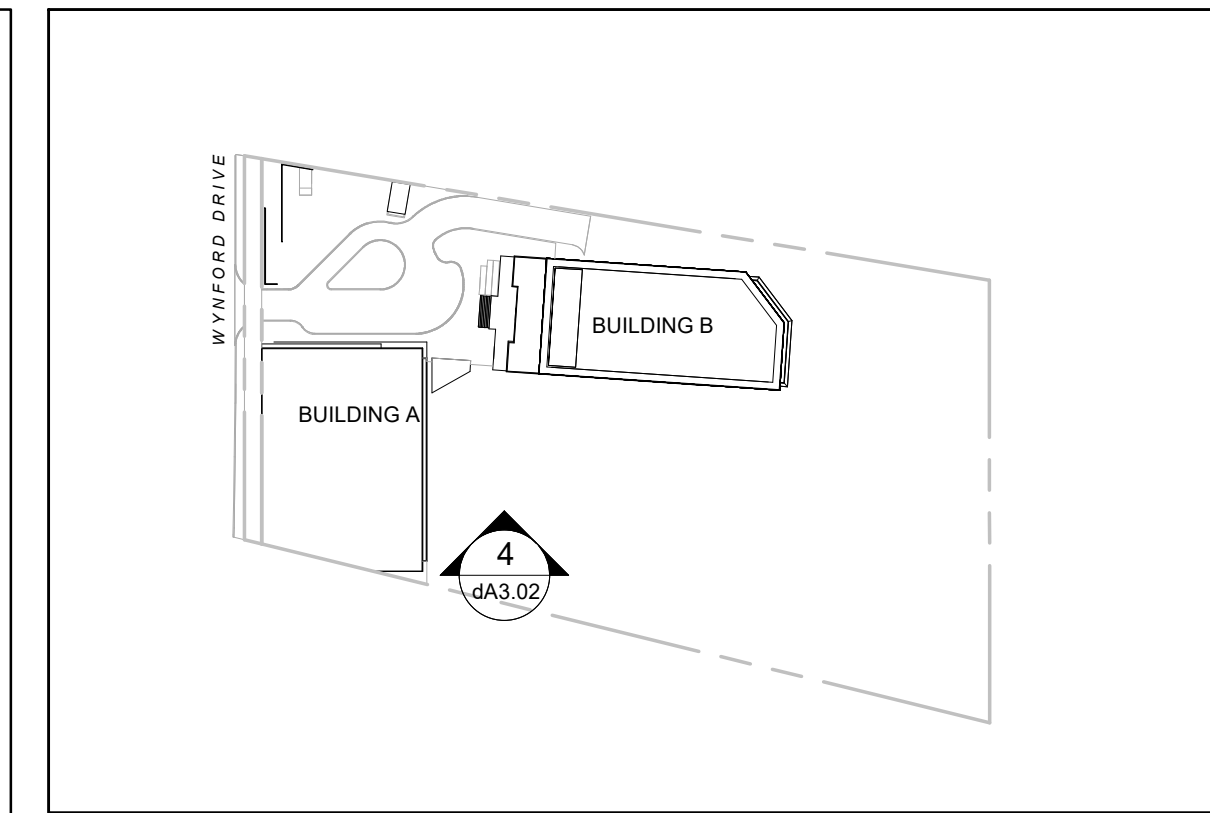
Client:  
**ORIGINATE DEVELOPMENTS**

123 Wynford Drive  
Proposed Residential Development

Drawing Title:  
**Elevation - Building A&B, West**

Scale:  
As indicated  
Drawn by:  
M.D., A.C.  
Checked by:  
R.P.  
Project No.:  
21-048  
Date:  
Jan 15, 2024  
Drawing No.:

**dA3.02**



Key Plan 3  
dA3.02

**EXTERIOR FINISH SCHEDULE**

- 1A GFRG (GLASS FIBER REINFORCED CONCRETE) PANEL - IVORY WHITE MATTE FINISH
- 1B GFRG (GLASS FIBER REINFORCED CONCRETE) PANEL - IVORY WHITE MATTE FINISH WITH FLUTED RIB PATTERN
- 2A BIRD FRIENDLY VISION GLASS WITH LOW E COATING IN PREFINISHED ALUMINUM FRAME IN CHAMPAGNE COLOUR
- 2B BIRD FRIENDLY CLEAR GLASS GUARD RAIL
- 2C CLEAR VISION GLASS WITH LOW E COATING IN PREFINISHED ALUMINUM FRAME IN CHAMPAGNE COLOUR
- 3 CLEAR GLASS CANOPY
- 4 ALUMINUM PICKET RAILING IN CHAMPAGNE COLOUR
- 5 PREFINISHED ALUMINUM FRAME IN CHAMPAGNE COLOUR
- 6 ALUMINUM RAILING POST IN CHAMPAGNE COLOUR
- 8 SCREENING - WOOD COLOUR
- 9 LIGHT FIXTURE - DARK SKY COMPLIANT

Exterior Finish Legend 2  
dA3.02

**Bird-Friendly Design Statistics**

	Elevation First 16m Above Grade					Total (%)
	North	South	East	West	Total (m <sup>2</sup> )	
Glazing Area (m <sup>2</sup> )	289.11	196.67	227.85	225.77	939.4	100%
Untreated Area (m <sup>2</sup> )	53.98	14.93	41.36	10.45	120.72	
Treated Area (m <sup>2</sup> )	235.13	181.74	186.49	215.32	818.68	87.00%
Visual Markers (m <sup>2</sup> )	59.89	57.16	45.17	128.81	287.03	
Non-reflective glass (m <sup>2</sup> )	179.24	124.58	141.32	86.51	531.65	
Shaded (m <sup>2</sup> )						

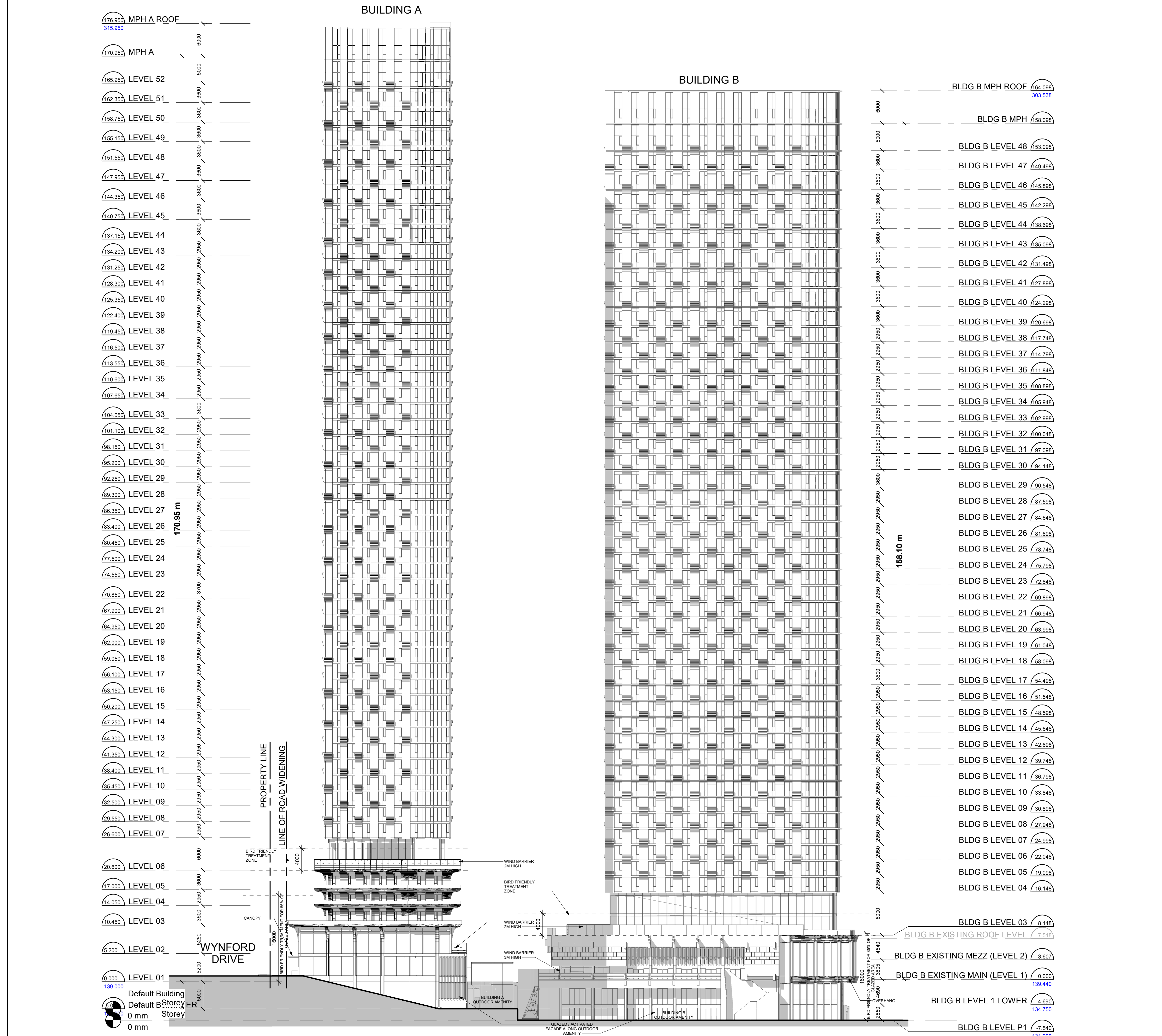
	Elevation First 4m Above Rooftop Vegetation*					Total (%)
	North (Floor 10)	South (Floor 10)	East (Floor 10)	West (Floor 10)	Total (m <sup>2</sup> )	
Glazing Area (m <sup>2</sup> )	92.26	95.03	49.74	52.03	289.06	100%
Untreated Area (m <sup>2</sup> )					0	
Treated Area (m <sup>2</sup> )	92.26	95.03	49.74	52.03	289.06	100%
Non-reflective glass (m <sup>2</sup> )						
Visual Markers (m <sup>2</sup> )	92.26	32.04	49.74	52.03	226.07	
Shaded (m <sup>2</sup> )					63.01	

\* Include this section only when applicable and provide relevant floor numbers for reference.

Building Window - Wall Ratio	40:60
------------------------------	-------

Refer to the Toronto Green Standard Version 4 Ecology section for details on bird collision deterrence treatment options.

Bird Friendly Treatment, Building A 1  
dA3.02



West Elevation 4  
1 : 350  
dA3.02



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Revisions:

**KIRKOR**  
ARCHITECTS AND PLANNERS  
20 De Boers Drive Suite 400  
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Design Architect:  
**Moriyama Teshima | ARCHITECTS**

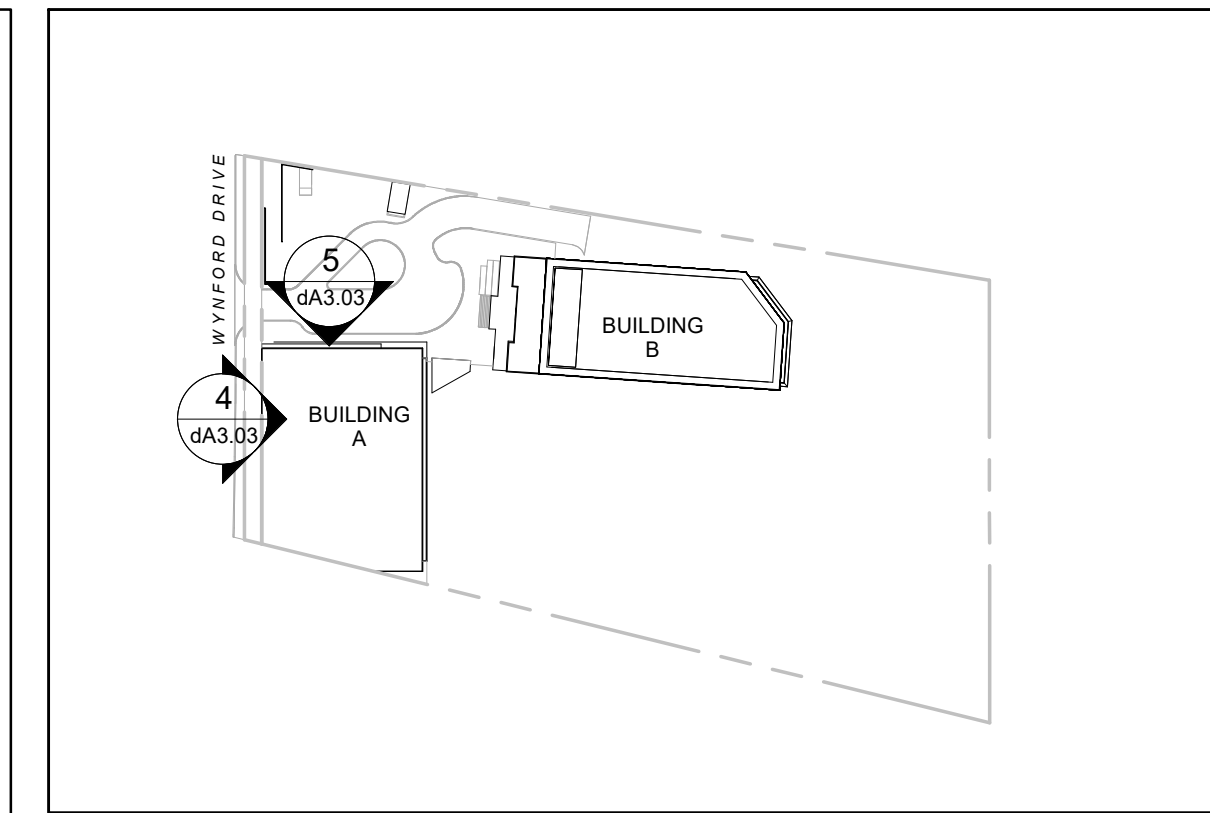
Client:  
**ORIGINATE DEVELOPMENTS**

123 Wynford Drive  
Proposed Residential Development

Drawing Title:  
**Elevations - Building A, North & East**

Scale:  
As indicated  
Drawn by:  
**M.D., A.C.**  
Checked by:  
**R.P.**  
Project No.:  
**21-048**  
Date:  
**Jan 15, 2024**  
Drawing No.:

**dA3.03**



Key Plan **3**  
dA3.03

**EXTERIOR FINISH SCHEDULE**

- 1A GFRG (GLASS FIBER REINFORCED CONCRETE) PANEL - IVORY WHITE MATTE FINISH
- 1B GFRG (GLASS FIBER REINFORCED CONCRETE) PANEL - IVORY WHITE MATTE FINISH WITH FLUTED RIB PATTERN
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- 6 ALUMINUM RAILING POST IN CHAMPAGNE COLOUR
- 8 SCREENING - WOOD COLOUR
- 9 LIGHT FIXTURE - DARK SKY COMPLIANT

Exterior Finish Legend **2**  
dA3.03

**Bird-Friendly Design Statistics**

	Elevation First 16m Above Grade					Total (%)
	North	South	East	West	Total	
Glazing Area (m <sup>2</sup> )	289.11	196.67	227.85	225.77	939.4	100%
Untreated Area (m <sup>2</sup> )	53.98	14.93	41.36	10.45	120.72	
Treated Area (m <sup>2</sup> )	235.13	181.74	186.49	215.32	818.68	87.00%
Visual Markers (m <sup>2</sup> )	52.89	57.18	45.17	128.81	284.05	
Non-reflective glass (m <sup>2</sup> )	179.24	124.58	141.32	86.51	531.65	
Shaded (m <sup>2</sup> )						

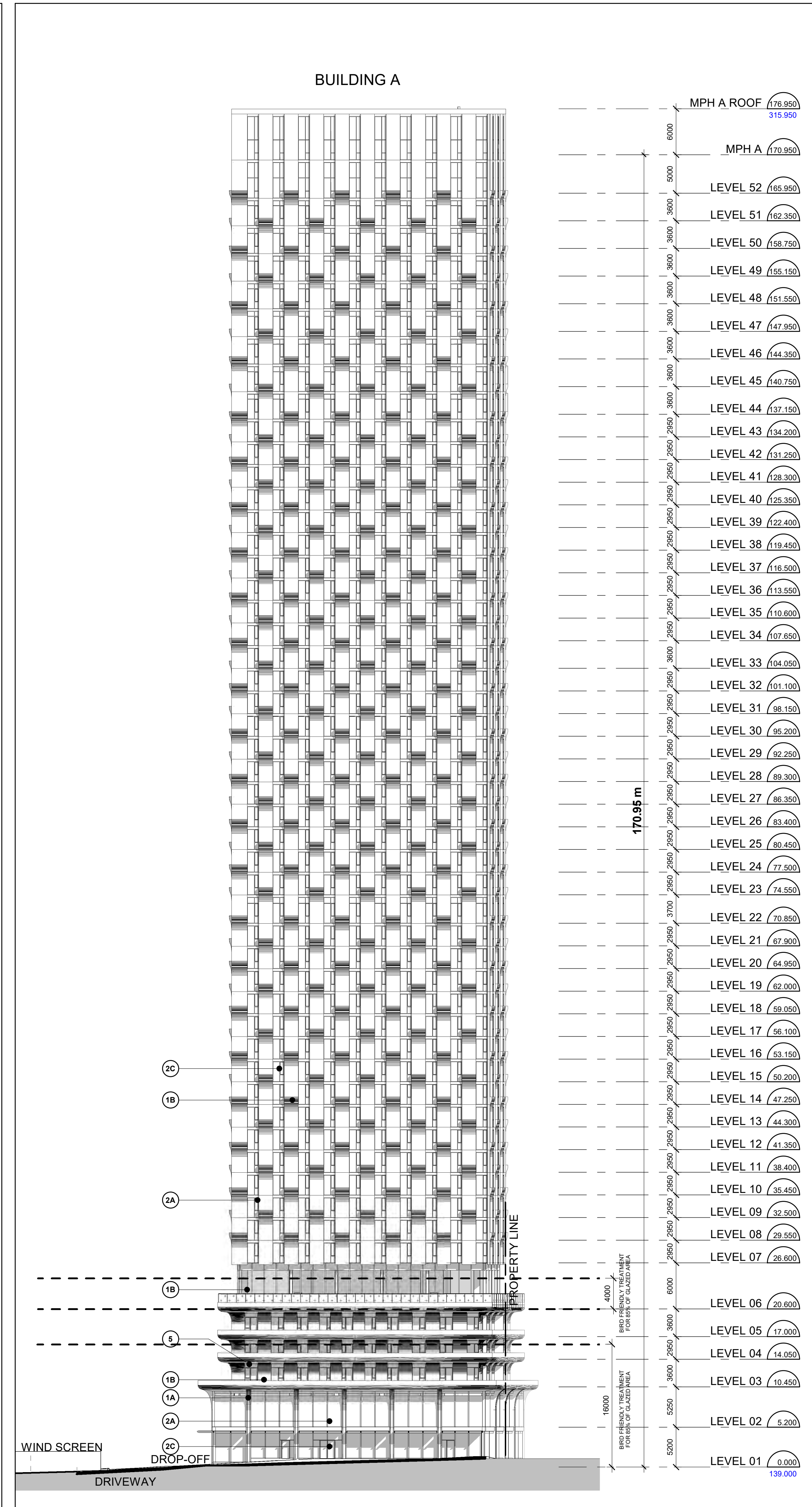
	Elevation First 4m Above Rooftop Vegetation*					Total (%)
	North (Floor 10)	South (Floor 10)	East (Floor 10)	West (Floor 10)	Total	
Glazing Area (m <sup>2</sup> )	92.26	95.03	49.74	52.03	289.06	100%
Untreated Area (m <sup>2</sup> )					0	
Treated Area (m <sup>2</sup> )	92.26	95.03	49.74	52.03	289.06	100%
Non-reflective glass (m <sup>2</sup> )	92.26	32.04	49.74	52.03	226.07	
Shaded (m <sup>2</sup> )			63.01		63.01	

\* Include this section only when applicable and provide relevant floor numbers for reference.

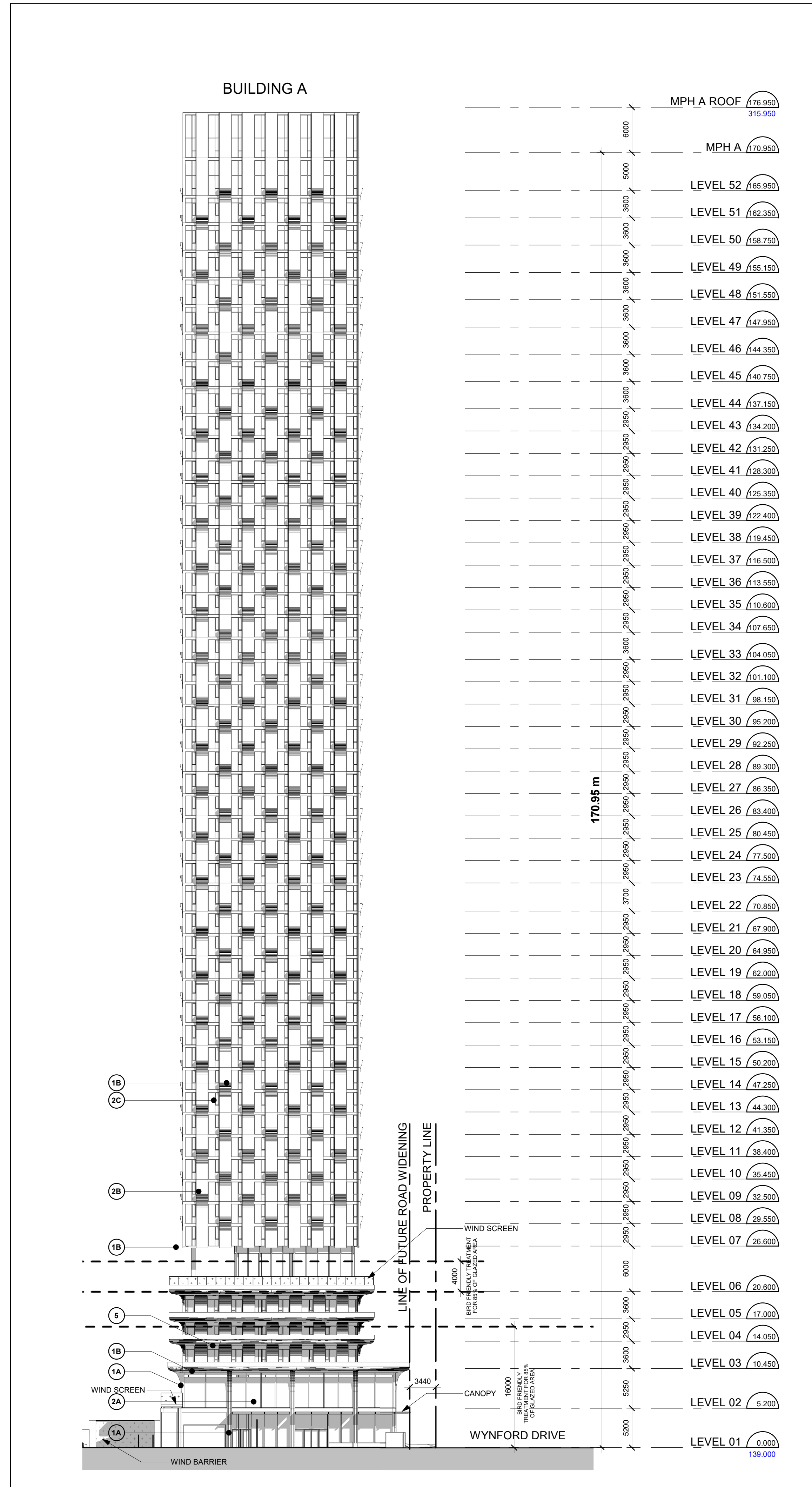
Building Window : Wall Ratio	40:60
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Refer to the Toronto Green Standard Version 4 Ecology section for details on bird collision deterrence treatment options.

Bird Friendly Treatment, Building A **1**  
dA3.03



North Elevation **4**  
dA3.03



East Elevation **5**  
dA3.03

1 : 350



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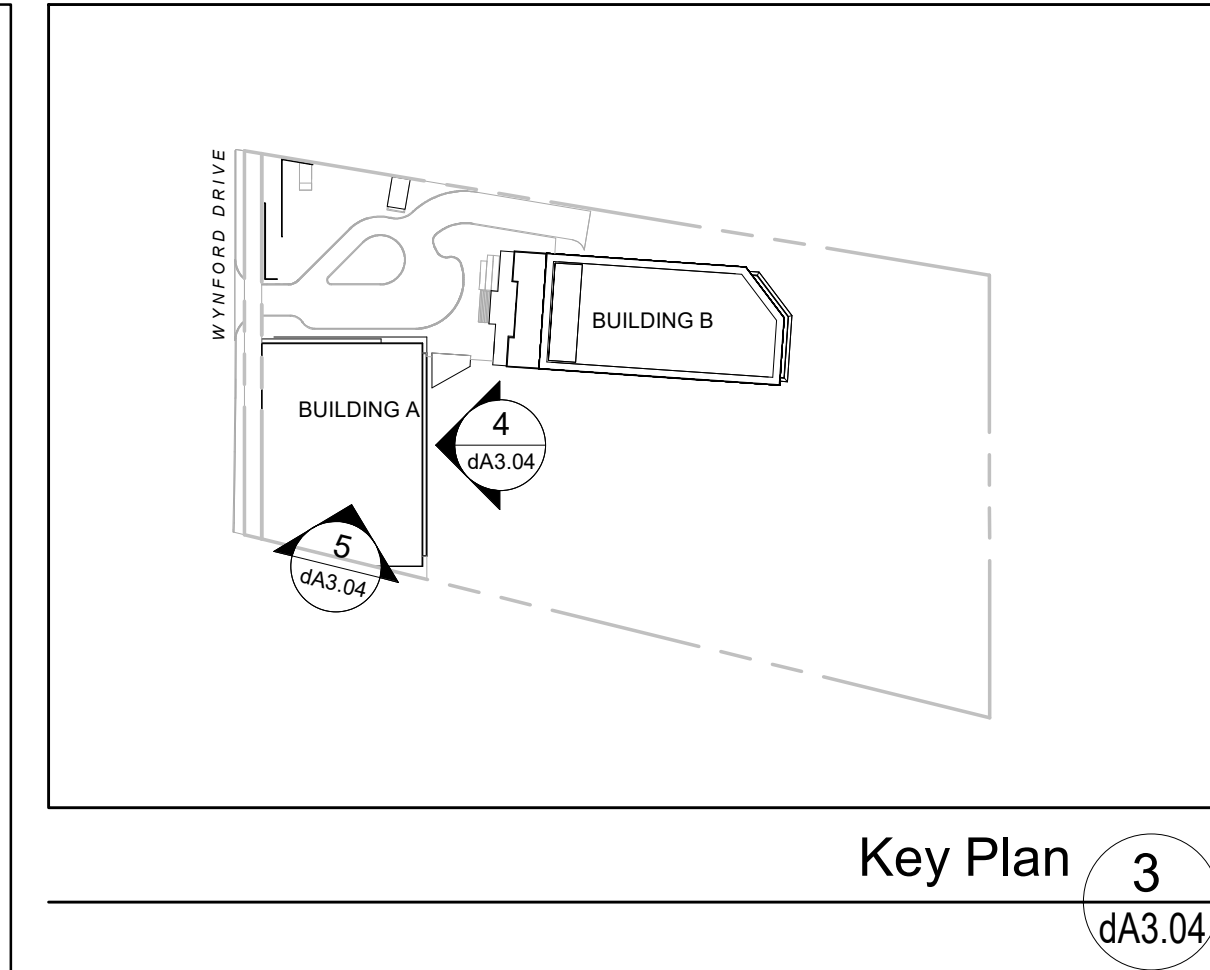
Design Architect:  
**Moriyama Teshima | ARCHITECTS**

Client:  
**ORIGINATE DEVELOPMENTS**  
123 Wynford Drive  
Proposed Residential Development

Drawing Title:  
**Elevations - Building A, South & West**

Scale:  
As indicated  
Drawn by:  
**M.D., A.C.**  
Checked by:  
**R.P.**  
Project No.:  
**21-048**  
Date:  
**Jan 15, 2024**  
Drawing No.:

**dA3.04**



**EXTERIOR FINISH SCHEDULE**

- 1A GFRC (GLASS FIBER REINFORCED CONCRETE) PANEL - IVORY WHITE MATTE FINISH
- 1B GFRC (GLASS FIBER REINFORCED CONCRETE) PANEL - IVORY WHITE MATTE FINISH WITH FLUTED RIB PATTERN
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- 9 LIGHT FIXTURE - DARK SKY COMPLIANT

**Exterior Finish Legend 2**  
dA3.04

**Bird-Friendly Design Statistics**

	Elevation First 16m Above Grade					Total (%)
	North	South	East	West	Total (m <sup>2</sup> )	
Glazing Area (m <sup>2</sup> )	288.11	196.67	227.85	225.77	938.40	100%
Untreated Area (m <sup>2</sup> )	53.98	14.93	41.36	10.45	120.72	
Treated Area (m <sup>2</sup> )	235.13	181.74	186.49	215.32	818.68	87.00%
Visual Markers (m <sup>2</sup> )	52.89	57.16	45.17	128.81	284.03	
Non-reflective glass (m <sup>2</sup> )	179.24	124.58	141.32	86.51	531.65	
Shaded (m <sup>2</sup> )						

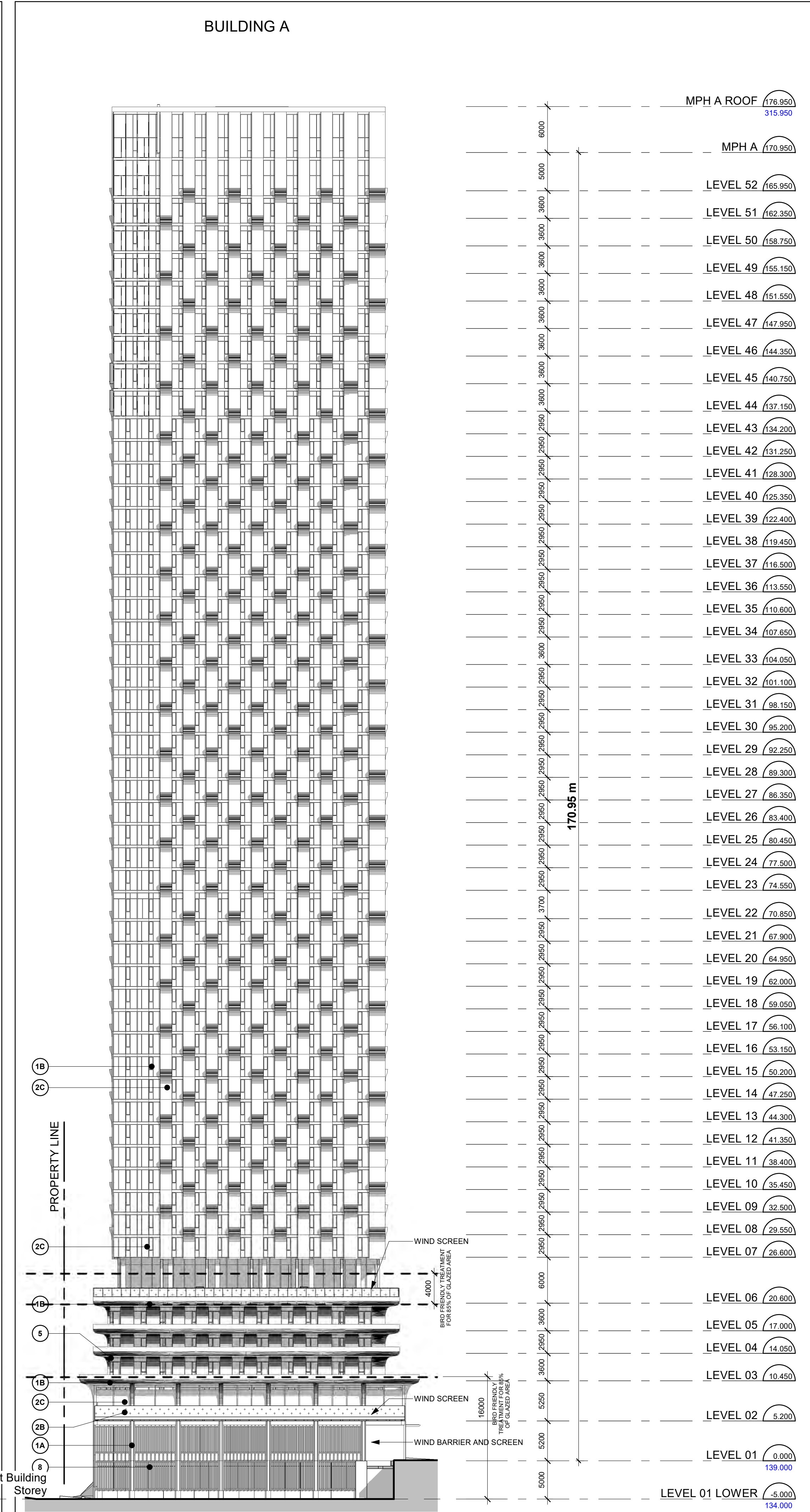
	Elevation First 4m Above Rooftop Vegetation*					Total (%)
	North (Floor 10)	South (Floor 10)	East (Floor 10)	West (Floor 10)	Total (m <sup>2</sup> )	
Glazing Area (m <sup>2</sup> )	92.26	95.03	49.74	52.03	289.06	100%
Untreated Area (m <sup>2</sup> )						
Treated Area (m <sup>2</sup> )	92.26	95.03	49.74	52.03	289.06	100%
Non-reflective glass (m <sup>2</sup> )						
Visual Markers (m <sup>2</sup> )	92.26	32.04	49.74	52.03	226.07	
Shaded (m <sup>2</sup> )						

\*Include this section only when applicable and provide relevant floor numbers for reference.

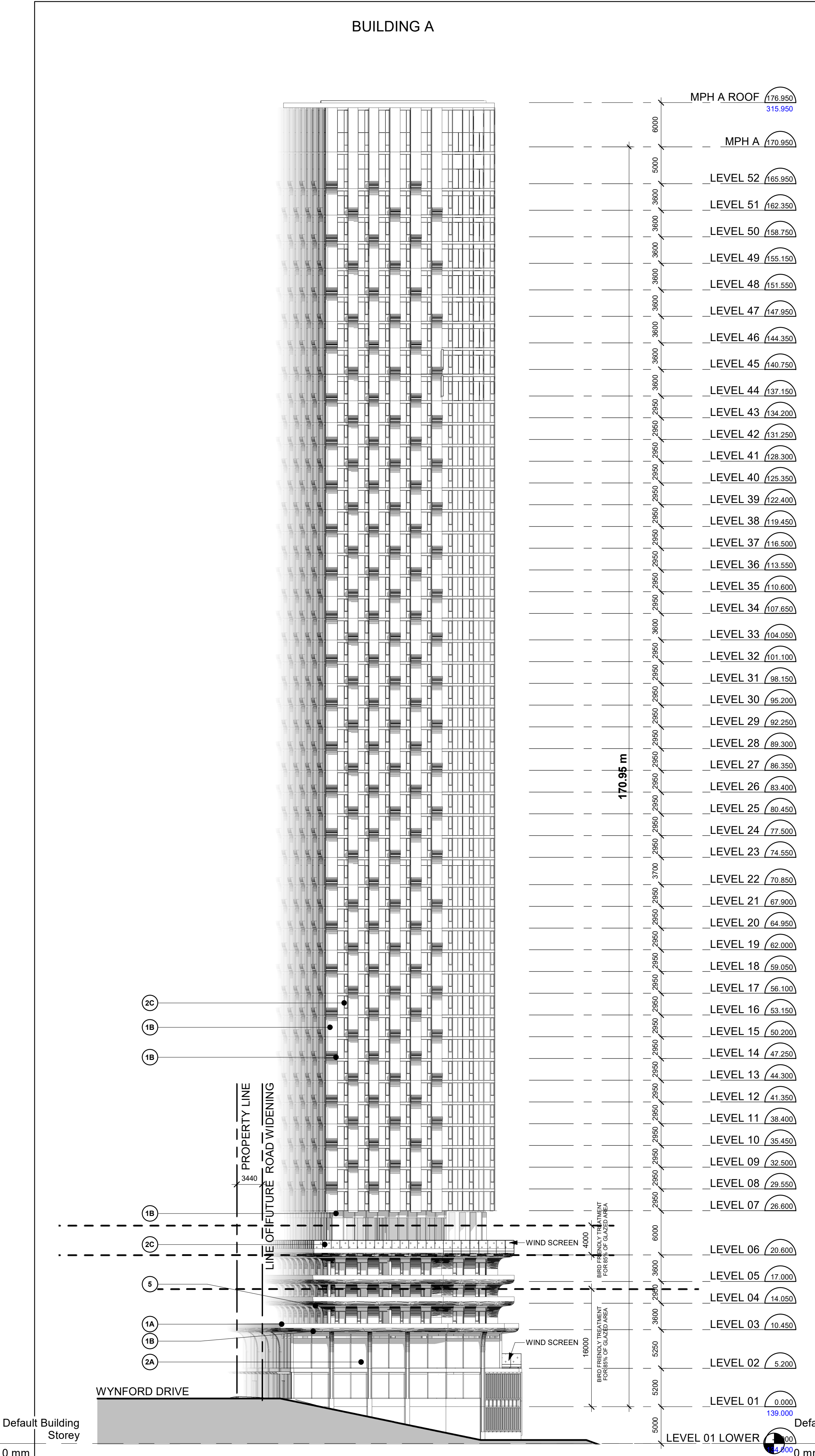
Building Window : Wall Ratio: 40:60

Refer to the Toronto Green Standard Version 4 Ecology section for details on bird collision deterrence treatment options.

**Bird Friendly Treatment, Building A 1**  
dA3.04



**South Elevation 4**  
1 : 350  
dA3.04



**West Elevation 5**  
1 : 350  
dA3.04

Default Building Storey  
0 mm

Default Building Storey  
0 mm



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Date:

**KIRKOR**  
ARCHITECTS AND PLANNERS

20 De Boers Drive Suite 400  
Toronto, ON M3J 0H1

Revisions:		
No.:	Revision:	Date:
04	Mediation Set	Jan 15, 2024
03	Mediation Set	Dec 07, 2023
02	Re-issued for ZBA / Site Plan Approval	March 17, 2023
01	ZBA / Site Plan Approval	July 22, 2022

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02	Re-issued for ZBA / Site Plan Approval	March 17, 2023
01	ZBA / Site Plan Approval	July 22, 2022

Design Architect:

**Moriyama Teshima | ARCHITECTS**

Client:

**ORIGINATE DEVELOPMENTS**

123 Wynford Drive  
Proposed Residential Development

Drawing Title:  
**Elevations - Building B, North & East**

Scale:

As indicated

Drawn by:

M.D., A.C.

Checked by:

R.P.

Project No.:

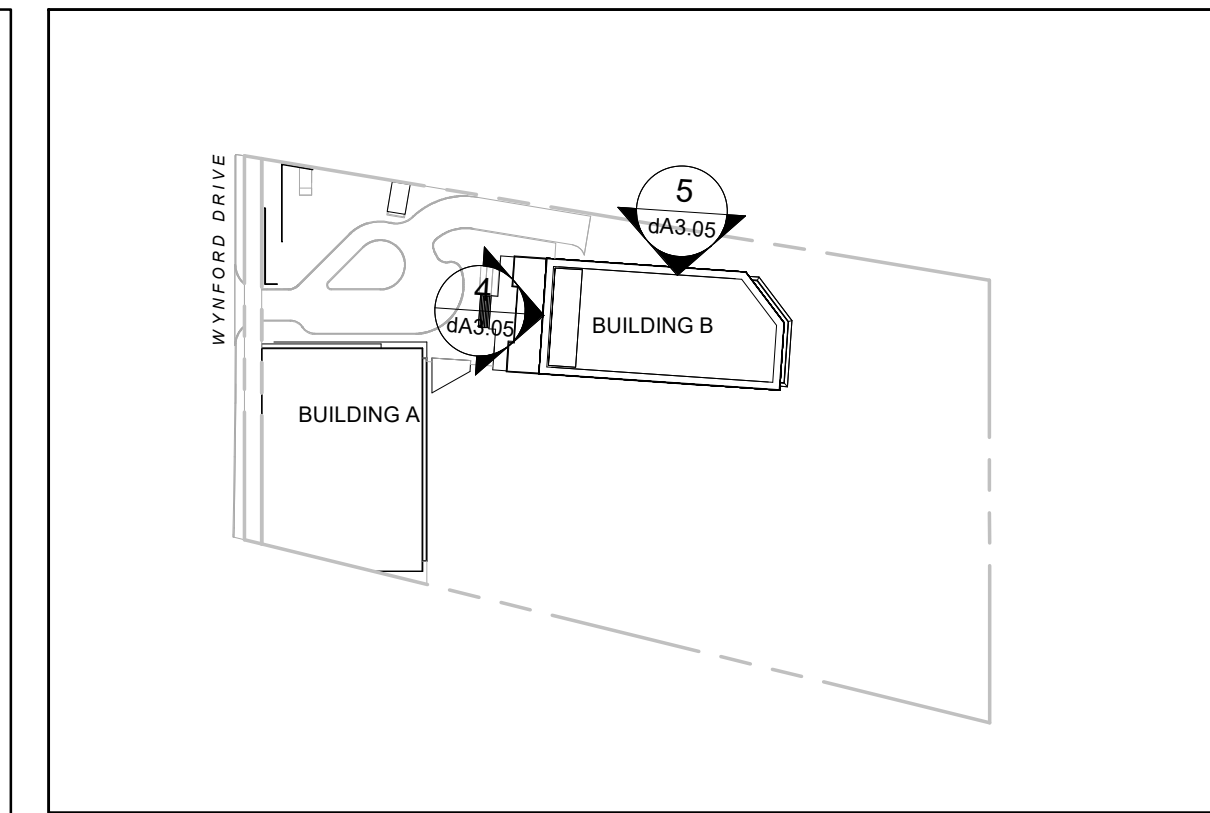
21-048

Date:

Jan 15, 2024

Drawing No.:

**dA3.05**



Key Plan **3**  
dA3.05

**EXTERIOR FINISH SCHEDULE**

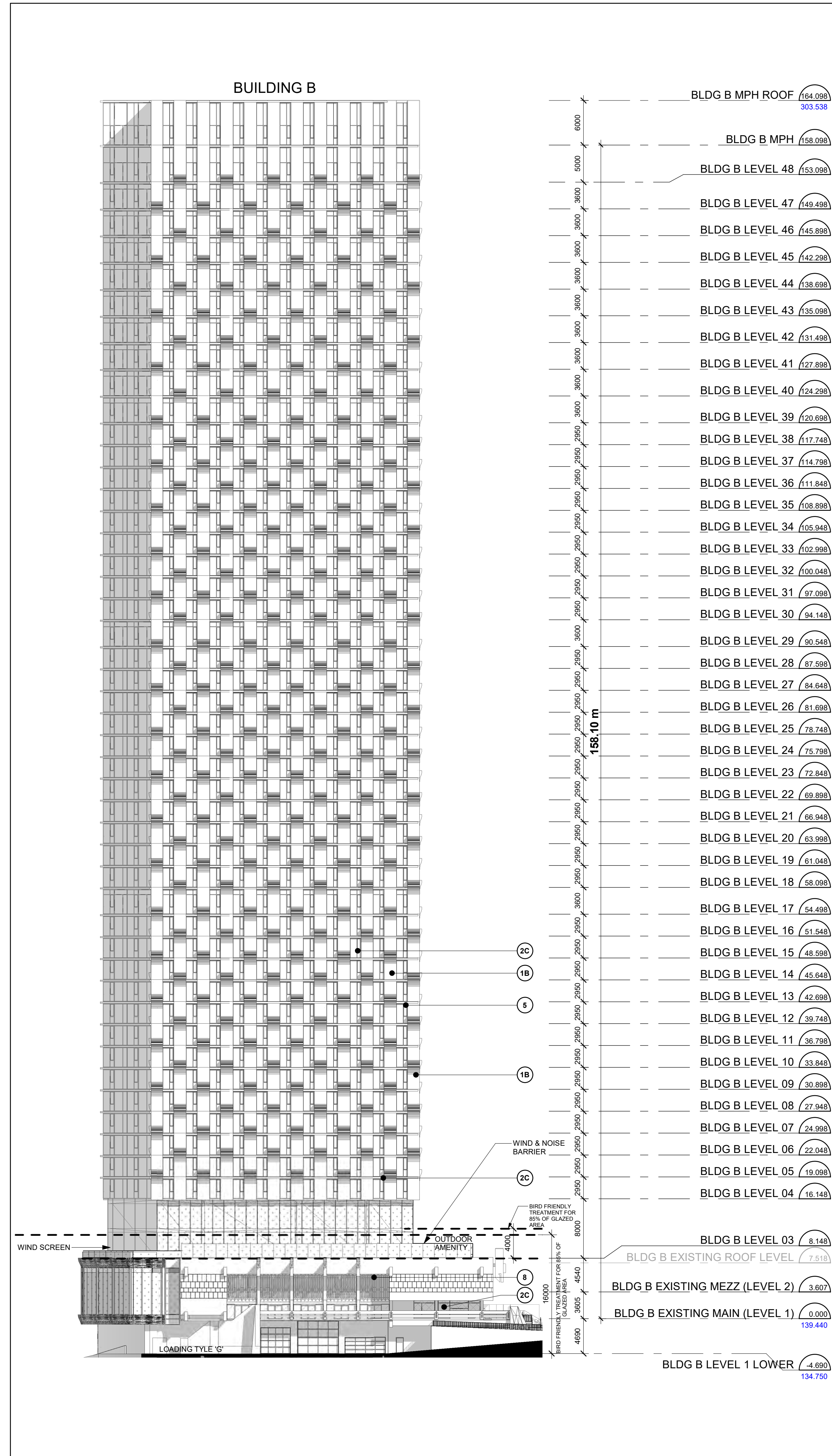
- 1A GFRC (GLASS FIBER REINFORCED CONCRETE) PANEL - IVORY WHITE MATTE FINISH
- 1B GFRC (GLASS FIBER REINFORCED CONCRETE) PANEL - IVORY WHITE MATTE FINISH WITH FLUTED RIB PATTERN
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- 8 SCREENING - WOOD COLOUR
- 9 LIGHT FIXTURE - DARK SKY COMPLIANT

Exterior Finish Legend **2**  
dA3.05

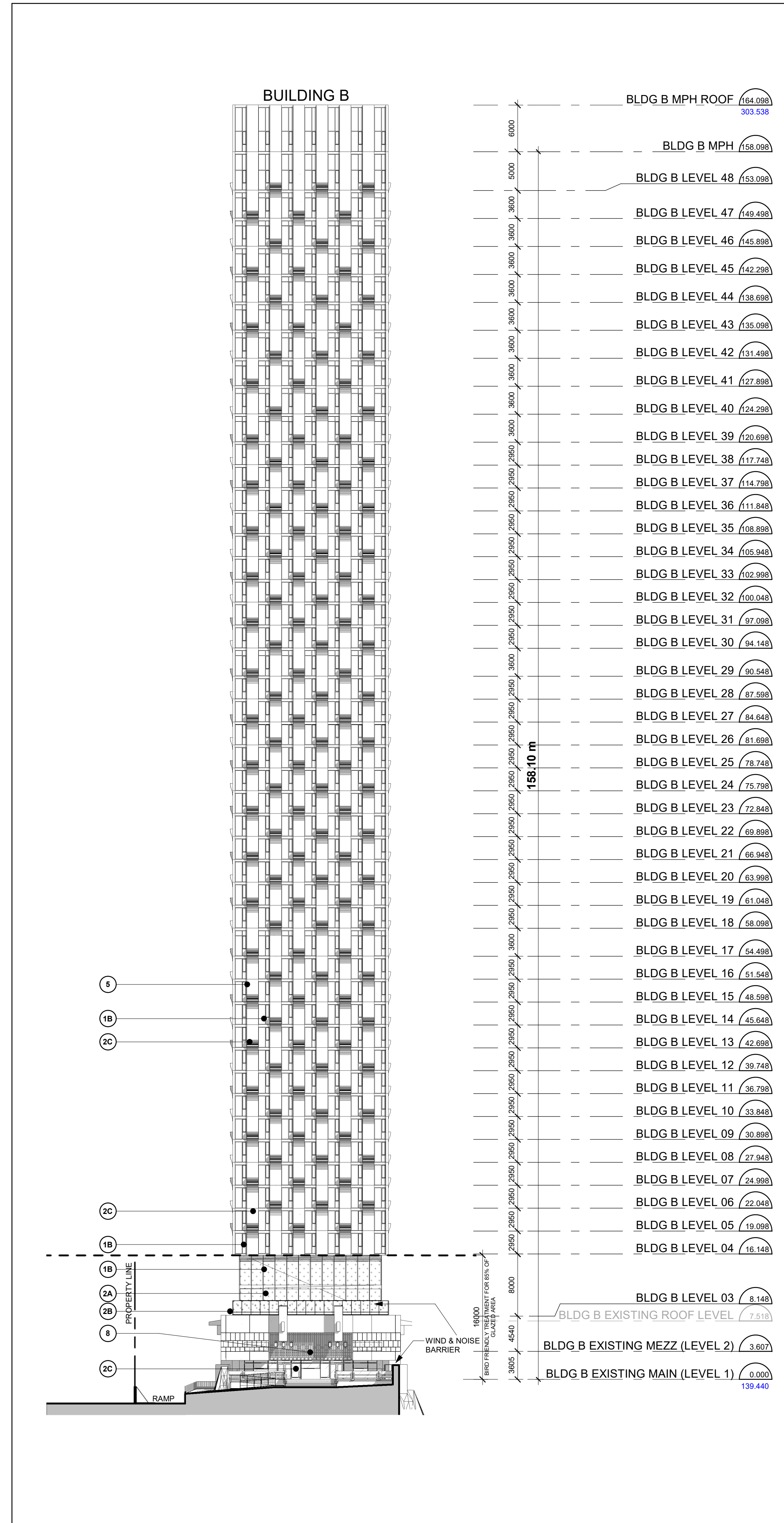
Bird-Friendly Design Statistics  
Building B

	Elevation First 16m Above Grade				Total (%)
	North	South	East	West	
Glazing Area (m <sup>2</sup> ) Facing High Hazard Area	117.48	234.7	160.52	262.21	774.91
Treated Area (m <sup>2</sup> )	117.48	234.71	115.71	245.41	713.31
Visual Markers (m <sup>2</sup> )	38.25	181.68	38.68	139.56	398.17
Non-reflective glass (m <sup>2</sup> )	7.69	7.11	10.95	10.98	36.73
Shaded (m <sup>2</sup> )	71.54	45.92	66.08	94.87	278.41

Refer to the Toronto Green Standard Version 4 Ecology section for details on bird collision deterrence treatment options.



East Elevation **5**  
1 : 350  
dA3.05



North Elevation **4**  
1 : 350  
dA3.05

Bird Friendly Treatment Calculations, Bldg B **1**  
dA3.05



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Design Architect:  
**Moriyama Teshima | ARCHITECTS**

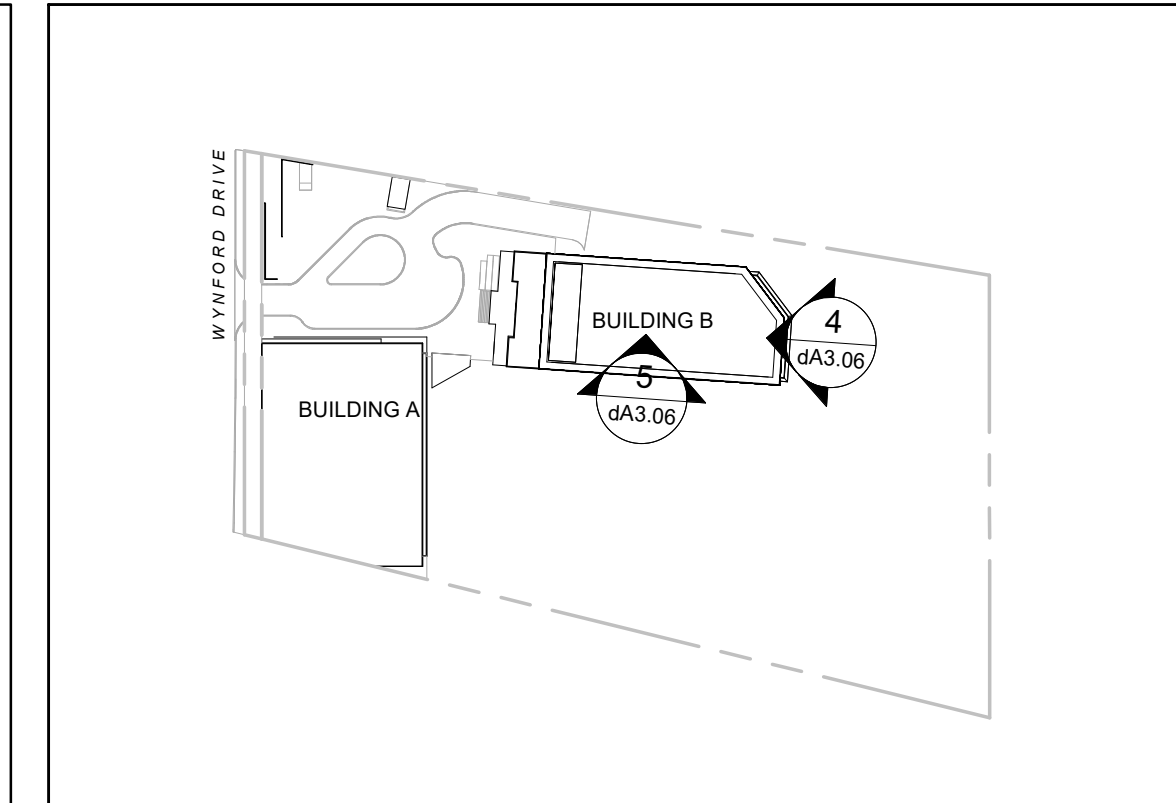
Client:  
**ORIGINATE DEVELOPMENTS**

**123 Wynford Drive**  
Proposed Residential Development

Drawing Title:  
**Elevations - Building B, South & West**

Scale:  
As indicated  
Drawn by:  
**M.D., A.C.**  
Checked by:  
**R.P.**  
Project No.:  
**21-048**  
Date:  
**Jan 15, 2024**  
Drawing No.:

**dA3.06**



Key Plan **3**  
dA3.06

**EXTERIOR FINISH SCHEDULE**

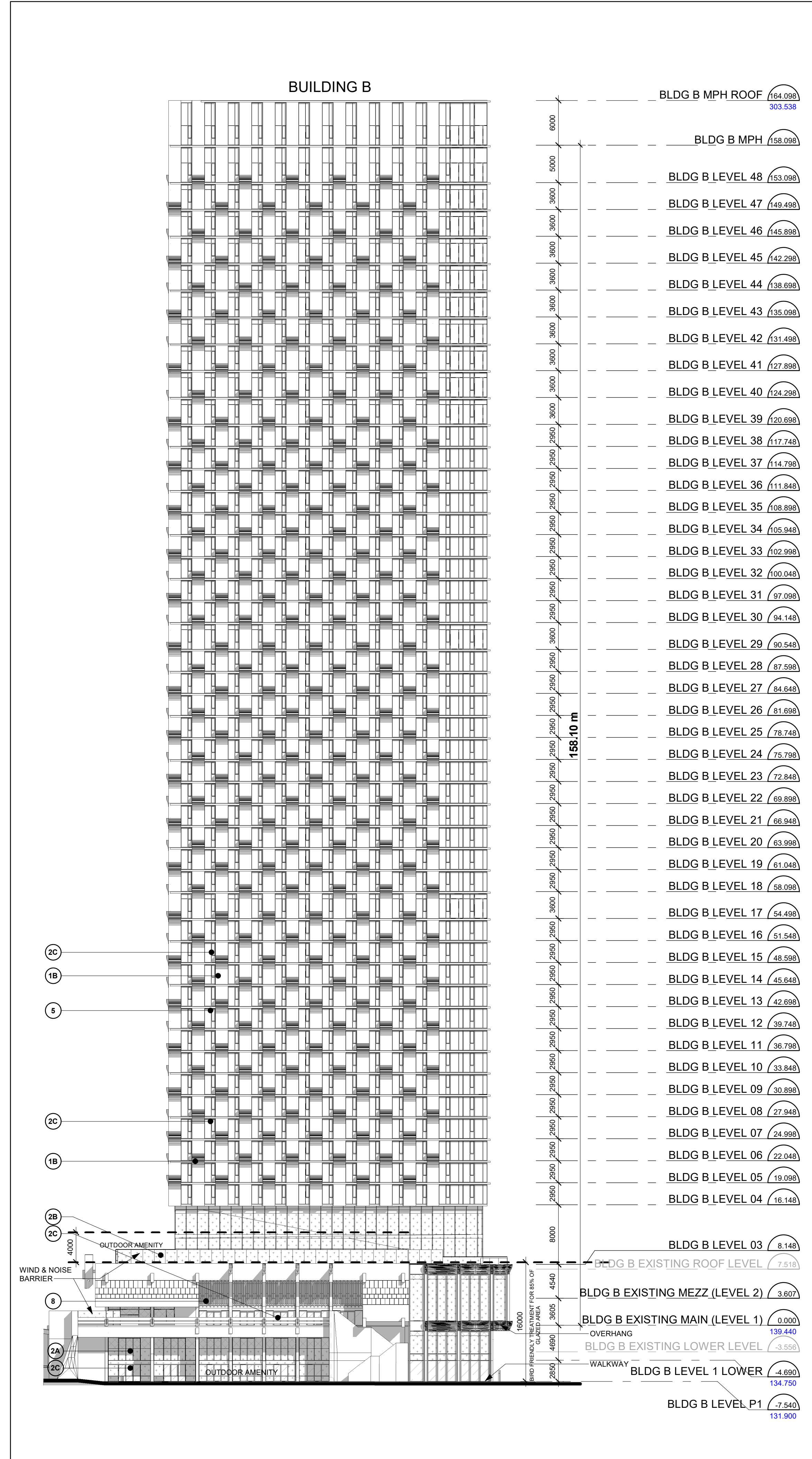
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- 8 SCREENING - WOOD COLOUR
- 9 LIGHT FIXTURE - DARK SKY COMPLIANT

Exterior Finish Legend **2**  
dA3.06

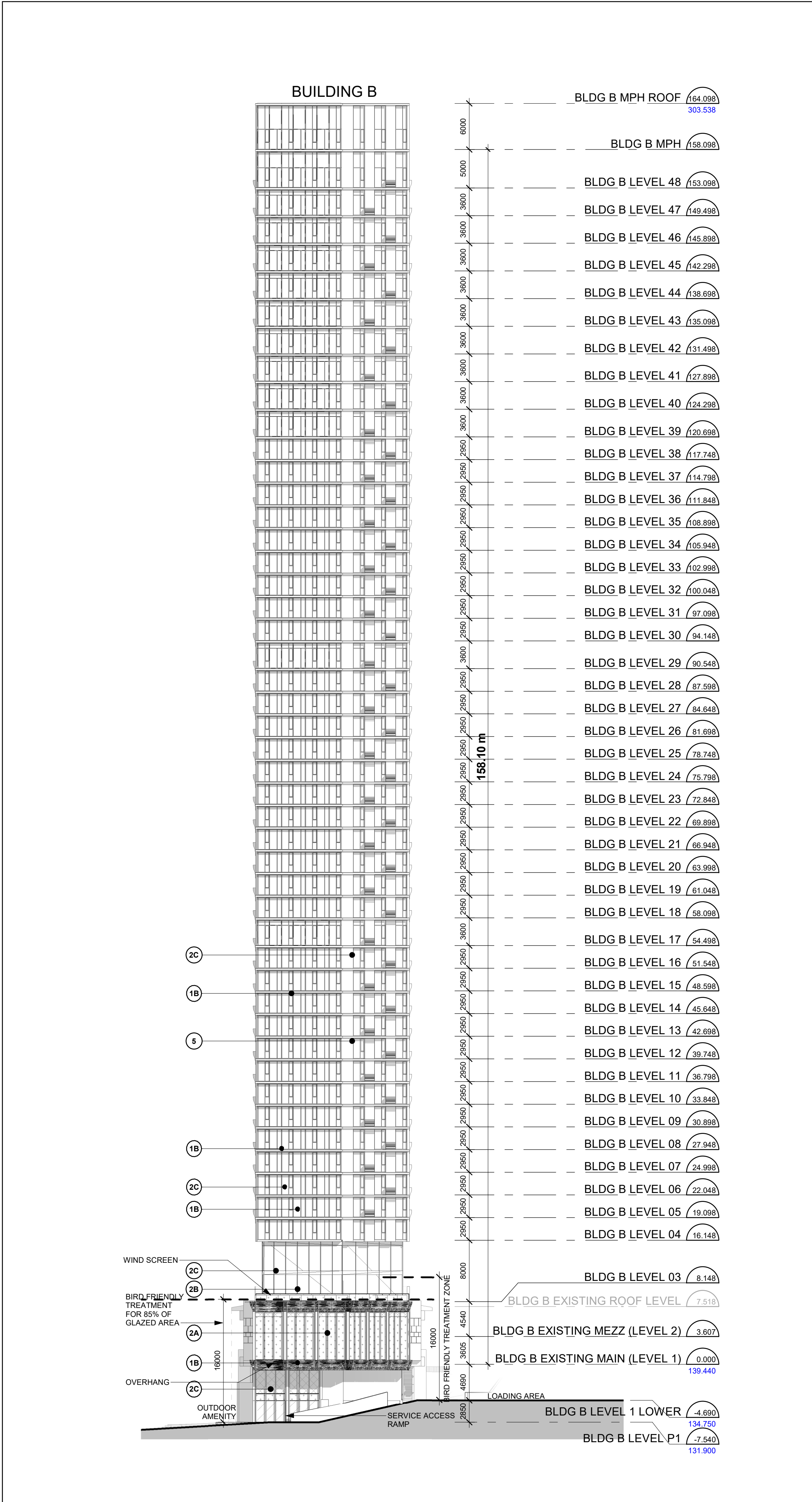
Bird-Friendly Design Statistics  
Building B

	Elevation First 16m Above Grade				Total (m <sup>2</sup> )	Total (%)
	North	South	East	West		
Glazing Area (m <sup>2</sup> )	117.48	234.71	160.52	262.21	774.93	100%
Untreated Area (m <sup>2</sup> )			44.81	16.9	61.61	7.87%
Treated Area (m <sup>2</sup> )	117.48	234.71	115.71	245.41	713.31	92.13%
Visual Markers (m <sup>2</sup> )	38.25	181.68	38.68	139.56	398.17	51.27%
Non-reflective glass (m <sup>2</sup> )	7.69	7.11	10.95	10.98	36.73	4.74%
Shaded (m <sup>2</sup> )	71.54	45.92	66.08	94.87	278.41	35.93%

Refer to the Toronto Green Standard Version 4 Ecology section for details on bird collision deterrence treatment options.



West Elevation **5**  
1 : 350  
dA3.06



South Elevation **4**  
1 : 350  
dA3.06

Bird Friendly Treatment Calculations, Bldg B **1**  
dA3.06



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Date:



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No.:	Issued For:	Date:

Design Architect:  
**Moriyama Teshima | ARCHITECTS**

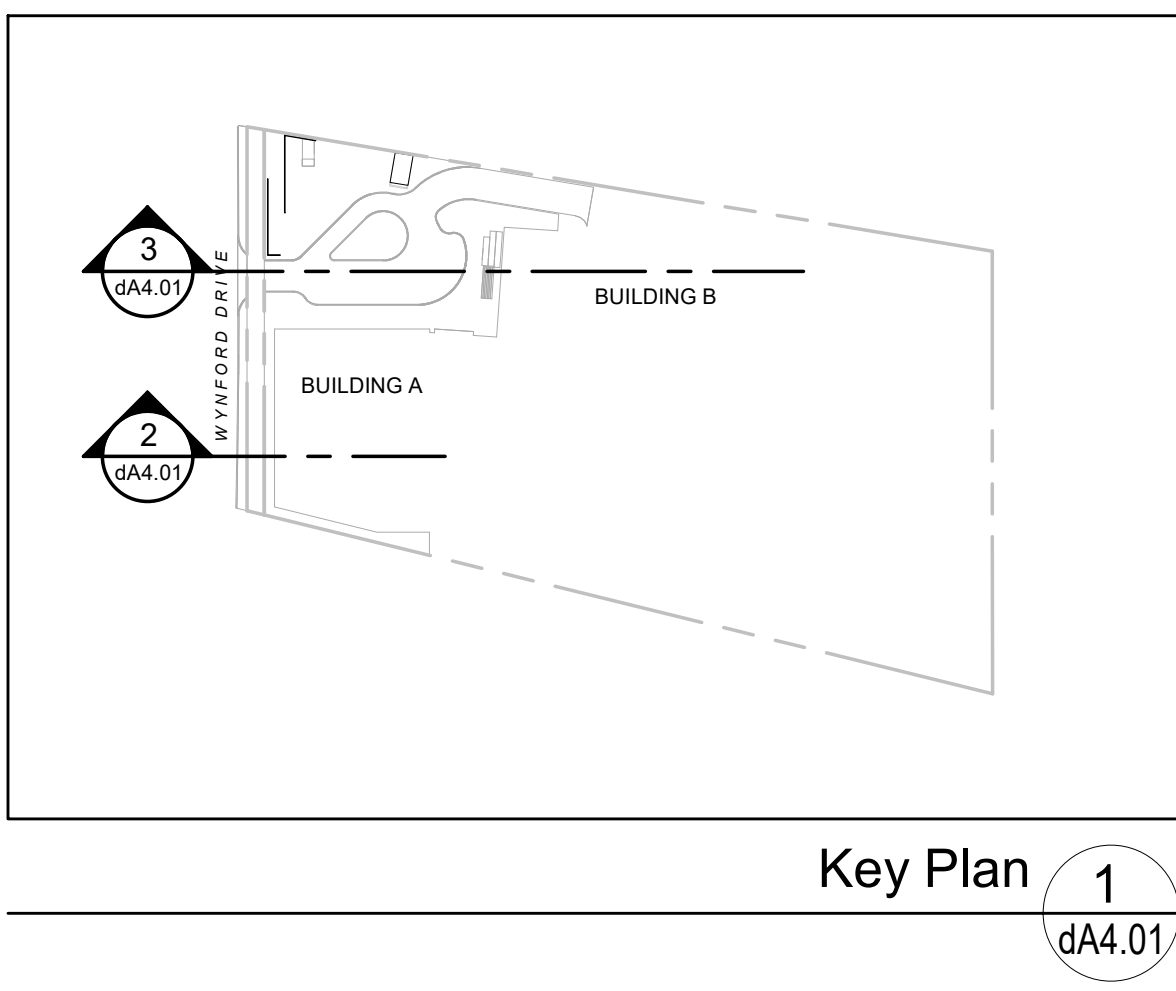
Client:  
**ORIGINATE DEVELOPMENTS**

123 Wynford Drive  
Proposed Residential Development

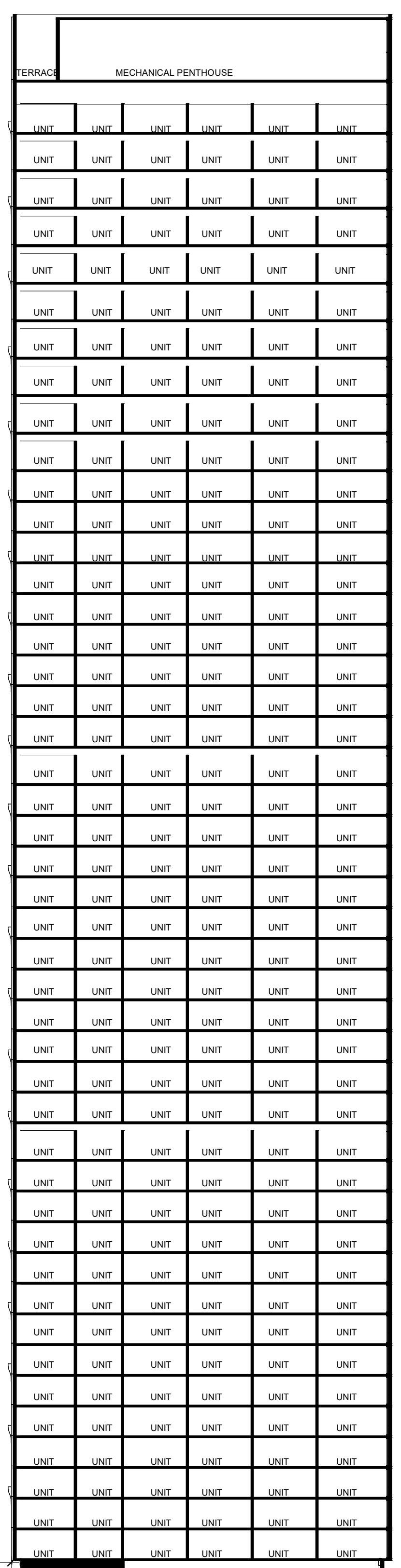
Drawing Title:  
**Building Sections**

Scale:  
As indicated  
Drawn by:  
M.D., A.C.  
Checked by:  
R.P.  
Project No.:  
21-048  
Date:  
Jan 15, 2024  
Drawing No.:

**dA4.01**

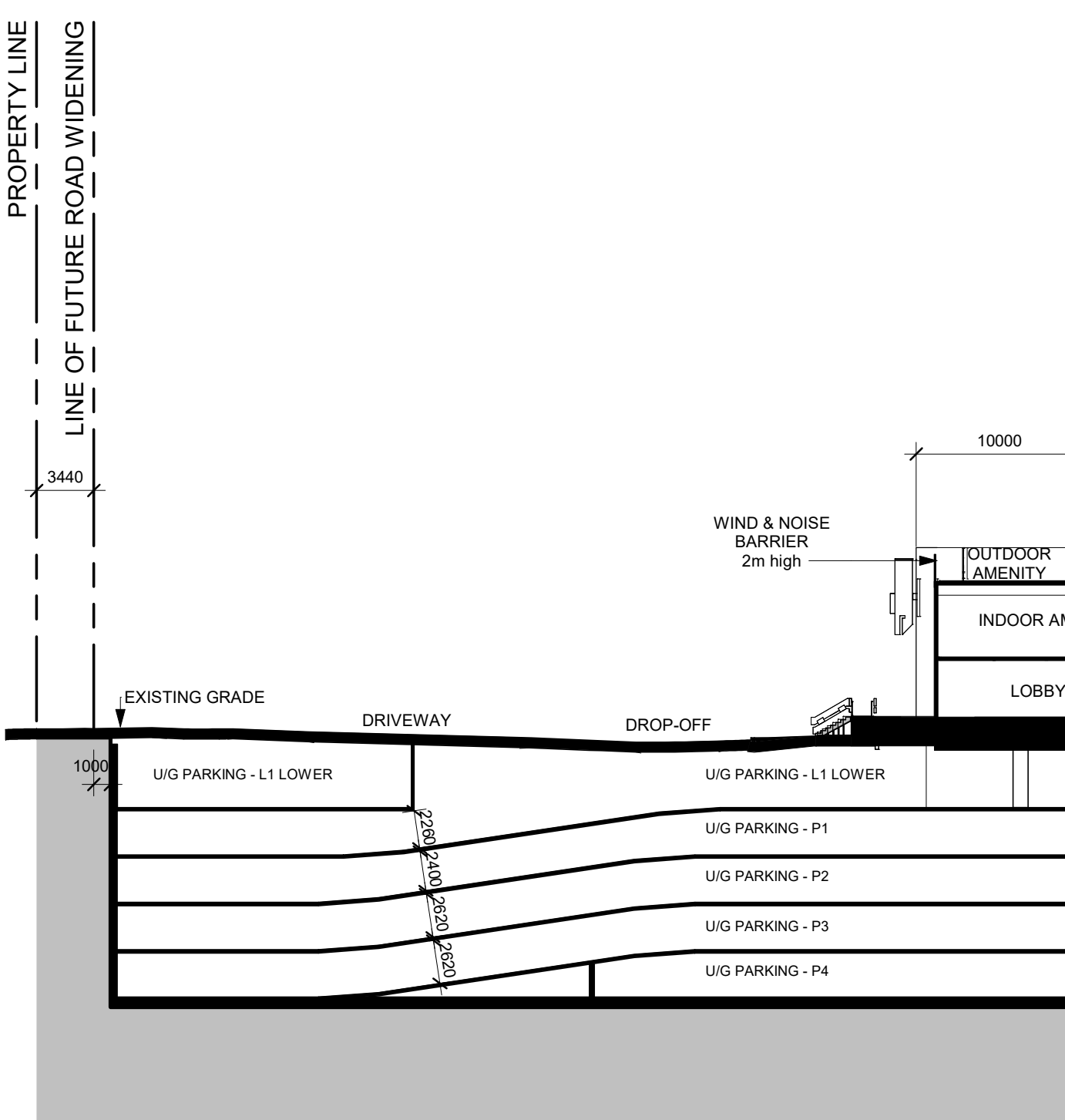


Key Plan 1  
dA4.01

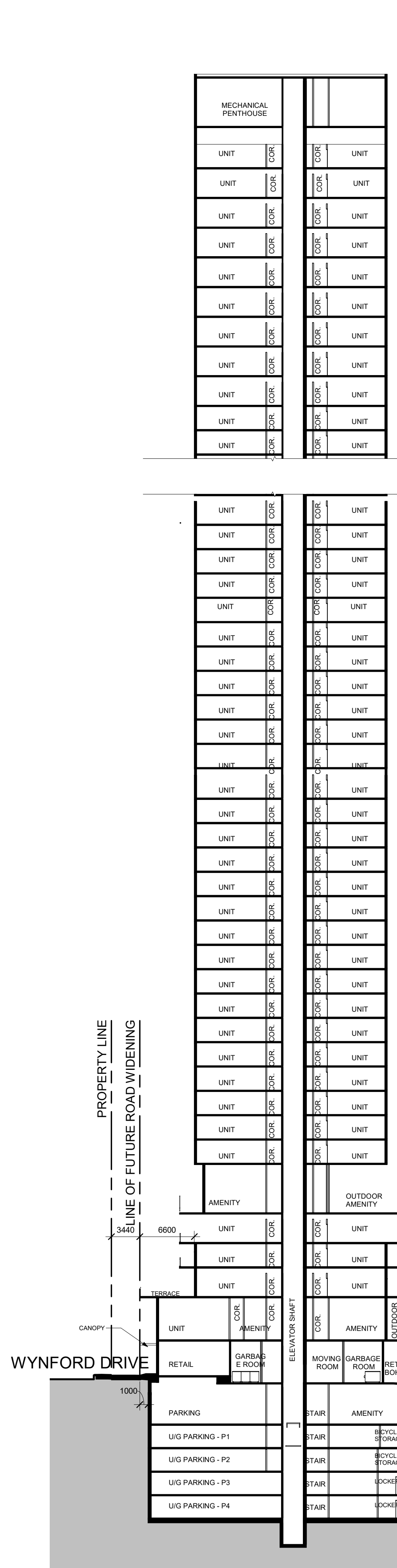


- BLDG B MPH ROOF (164.098) / 303.538
- BLDG B MPH (158.098)
- BLDG B LEVEL 48 (153.098)
- BLDG B LEVEL 47 (148.498)
- BLDG B LEVEL 46 (145.898)
- BLDG B LEVEL 45 (142.298)
- BLDG B LEVEL 44 (138.698)
- BLDG B LEVEL 43 (135.098)
- BLDG B LEVEL 42 (131.498)
- BLDG B LEVEL 41 (127.898)
- BLDG B LEVEL 40 (124.298)
- BLDG B LEVEL 39 (120.698)
- BLDG B LEVEL 38 (117.748)
- BLDG B LEVEL 37 (114.798)
- BLDG B LEVEL 36 (111.848)
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- BLDG B LEVEL 34 (105.948)
- BLDG B LEVEL 33 (102.998)
- BLDG B LEVEL 32 (100.048)
- BLDG B LEVEL 31 (97.098)
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- BLDG B LEVEL 29 (90.548)
- BLDG B LEVEL 28 (87.598)
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- BLDG B LEVEL 22 (69.898)
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- BLDG B LEVEL 09 (30.898)
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- BLDG B LEVEL 06 (22.048)
- BLDG B LEVEL 05 (19.098)
- BLDG B LEVEL 04 (16.148)
- BLDG B LEVEL 03 (8.148)
- BLDG B LEVEL 2 (3.607)
- BLDG B LEVEL 1 (0.000) / 139.440
- BLDG B LEVEL 1 LOWER (-4.690) / 134.750
- BLDG B LEVEL P1 (-7.540) / 131.900
- BLDG B LEVEL P2 (-11.140) / 128.300
- BLDG B LEVEL P3 (-13.990) / 125.450
- BLDG B LEVEL P4 (-16.840) / 122.600

158.10 m

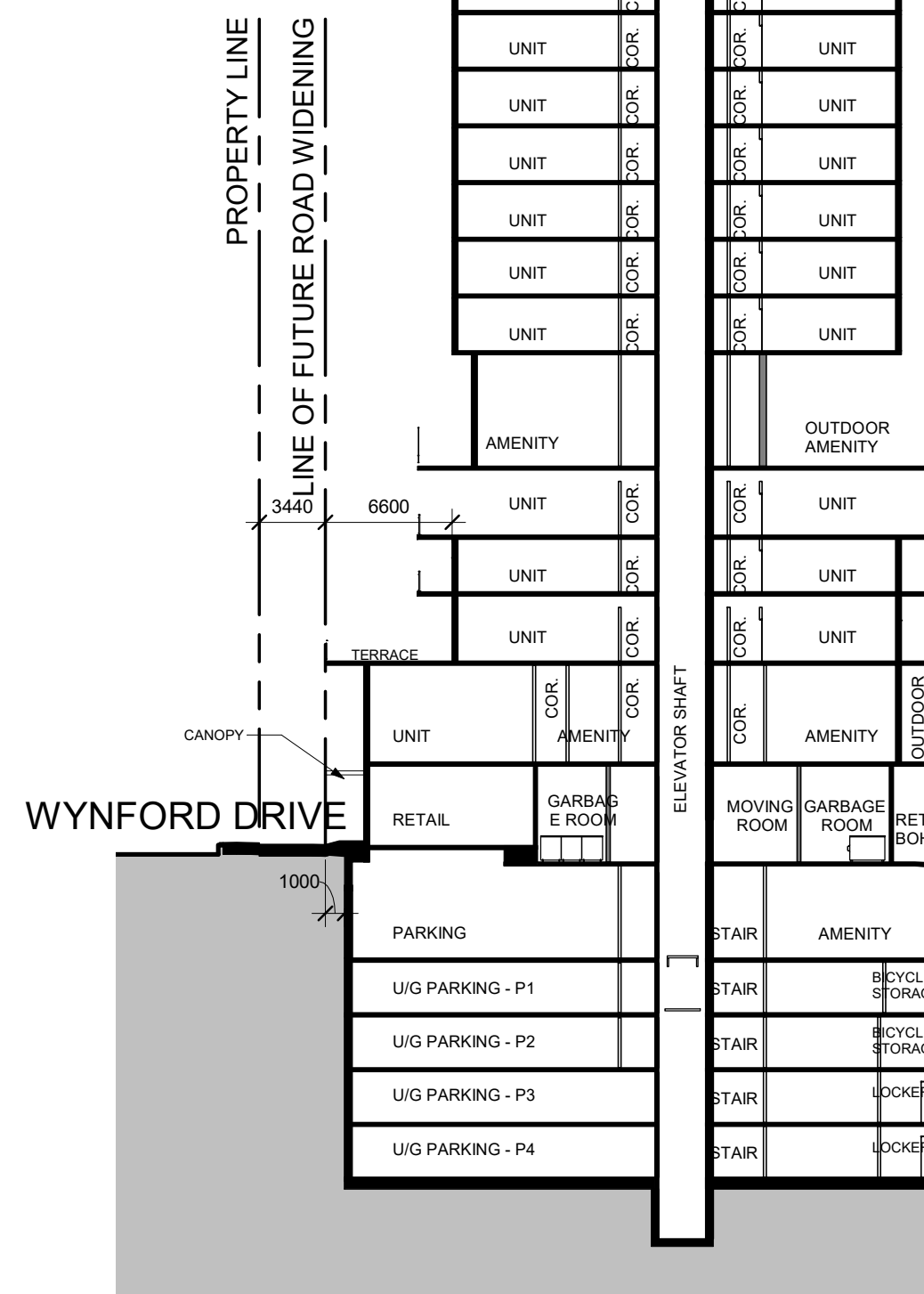


North/South Section Building B 3  
1 : 350 dA4.01



- MPH A ROOF (176.950) / 315.950
- MPH A (170.950)
- LEVEL 52 (165.950)
- LEVEL 51 (162.350)
- LEVEL 50 (158.750)
- LEVEL 49 (155.150)
- LEVEL 48 (151.550)
- LEVEL 47 (147.950)
- LEVEL 46 (144.350)
- LEVEL 45 (140.750)
- LEVEL 44 (137.150)
- LEVEL 43 (134.200)
- LEVEL 42 (131.250)
- LEVEL 34 (107.650)
- LEVEL 33 (104.050)
- LEVEL 32 (101.100)
- LEVEL 31 (98.150)
- LEVEL 30 (95.200)
- LEVEL 29 (92.250)
- LEVEL 28 (89.300)
- LEVEL 27 (86.350)
- LEVEL 26 (83.400)
- LEVEL 25 (80.450)
- LEVEL 24 (77.500)
- LEVEL 23 (74.550)
- LEVEL 22 (70.950)
- LEVEL 21 (67.900)
- LEVEL 20 (64.950)
- LEVEL 19 (62.000)
- LEVEL 18 (59.050)
- LEVEL 17 (56.100)
- LEVEL 16 (53.150)
- LEVEL 15 (50.200)
- LEVEL 14 (47.250)
- LEVEL 13 (44.300)
- LEVEL 12 (41.350)
- LEVEL 11 (38.400)
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- LEVEL 09 (32.500)
- LEVEL 08 (29.550)
- LEVEL 07 (26.600)
- LEVEL 06 (20.600)
- LEVEL 05 (17.000)
- LEVEL 04 (14.050)
- LEVEL 03 (10.450)
- LEVEL 02 (5.200)
- LEVEL 01 (0.000) / 139.000
- LEVEL 01 LOWER (-5.000) / 134.000
- LEVEL P1 (-7.850) / 124.450
- LEVEL P2 (-10.700) / 120.300
- LEVEL P3 (-13.550) / 116.150
- LEVEL P4 (-16.400) / 112.000

170.95 m



North/South Section Building A 2  
1 : 350 dA4.01

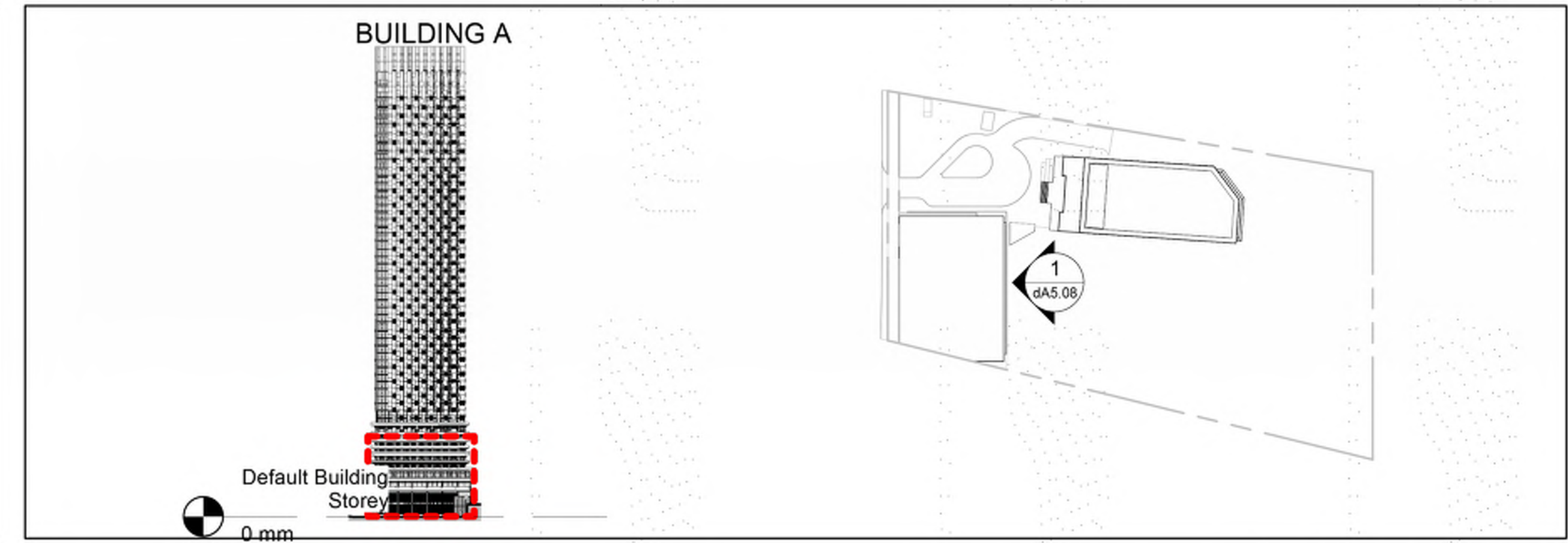


**EXTERIOR FINISH SCHEDULE**

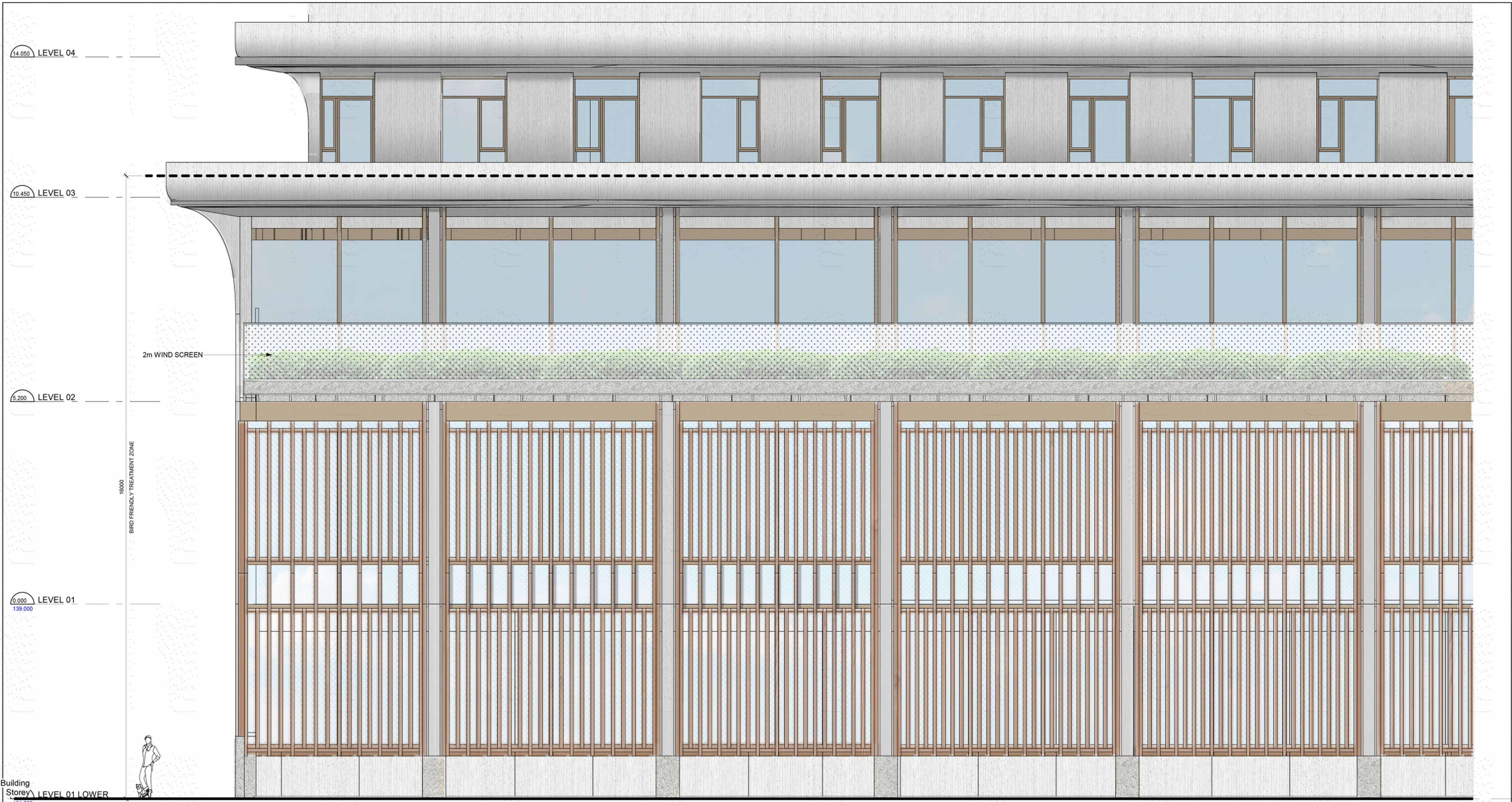
- (1A) GFRC (GLASS FIBER REINFORCED CONCRETE) PANEL - IVORY WHITE MATTE FINISH
- (1B) GFRC (GLASS FIBER REINFORCED CONCRETE) PANEL - IVORY WHITE MATTE FINISH WITH FLUTED RIB PATTERN
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- (2C) CLEAR VISION GLASS WITH LOW E COATING IN PREFINISHED ALUMINUM FRAME IN CHAMPAGNE COLOUR

- (3) CLEAR GLASS CANOPY
- (4) ALUMINUM PICKET RAILING IN CHAMPAGNE COLOUR
- (5) PREFINISHED ALUMINUM FRAME IN CHAMPAGNE COLOUR
- (6) ALUMINUM RAILING POST IN CHAMPAGNE COLOUR
- (8) SCREENING - WOOD COLOUR
- (9) LIGHT FIXTURE - DARK SKY COMPLIANT

Exterior Finish Legend **3**  
dA5.08



Key Diagrams **2**  
dA5.08



South Elevation **1**  
1 : 50  
dA5.08

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**KIRKOR**  
ARCHITECTS AND PLANNERS

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No.	Issued For:	Date:

Design Architect:  
**Moriyama Teshima** | ARCHITECTS

Client:  
**ORIGINATE DEVELOPMENTS**

123 Wynford Drive  
Proposed Residential Development

Drawing Title:  
**Colour Elevation - Building A, South**

Scale:  
As indicated  
Drawn by:  
M.D., A.C.  
Checked by:  
R.P.  
Project No.:  
21-048  
Date:  
Jan 15, 2024  
Drawing No.:

**dA5.08**

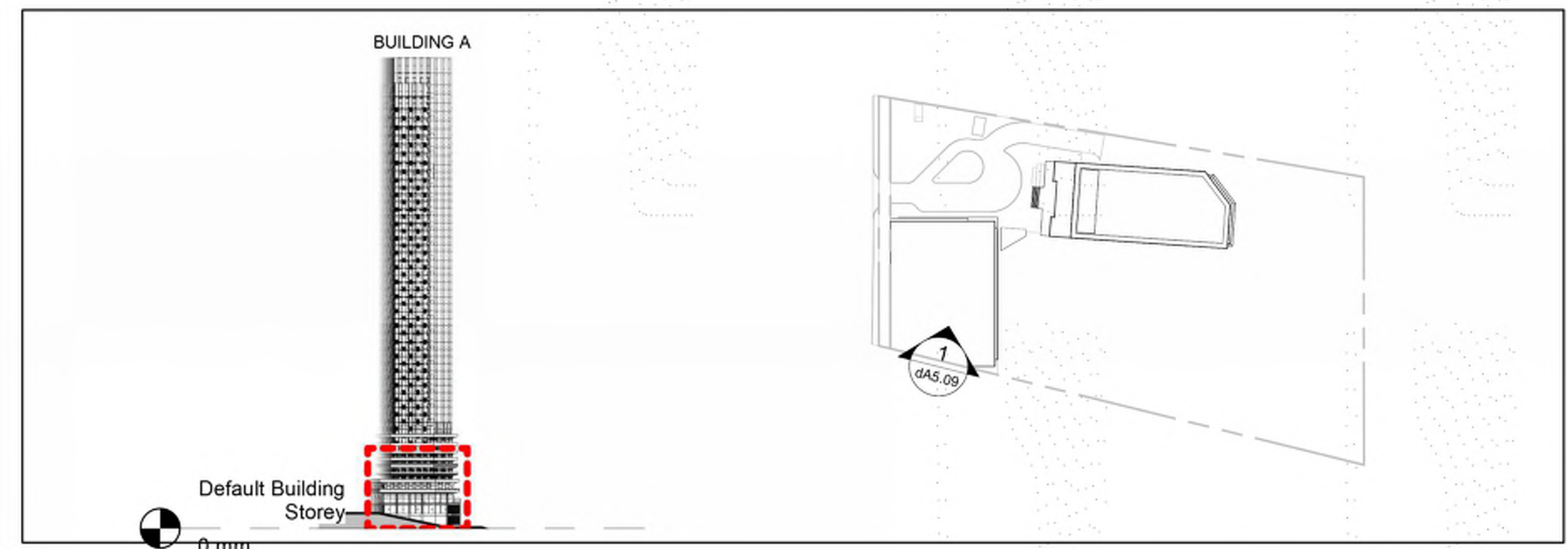


**EXTERIOR FINISH SCHEDULE**

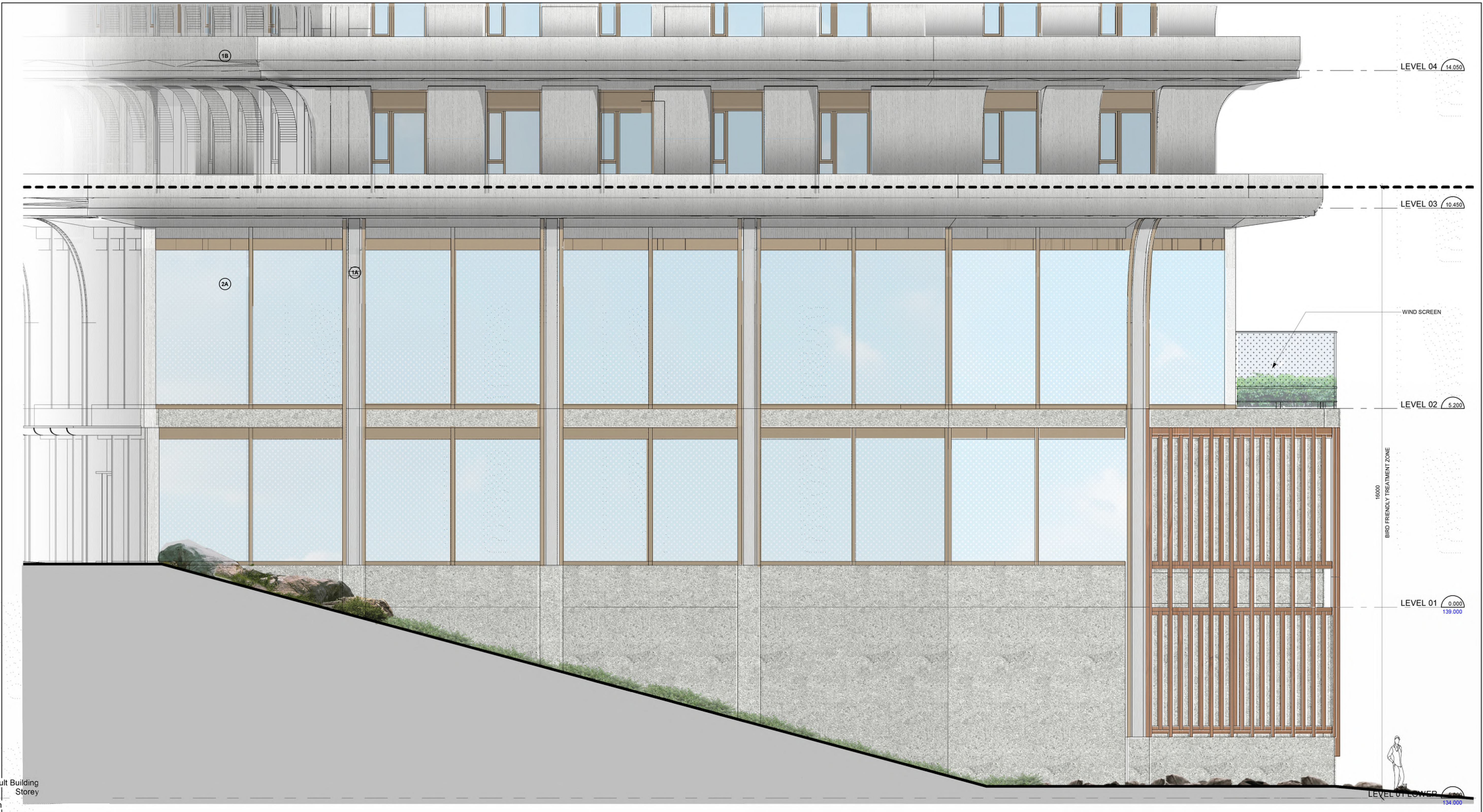
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Exterior Finish Legend **3**  
dA5.09



Key Diagrams **2**  
dA5.09



West Elevation **1**  
1 : 50  
dA5.09

Authorities Having Jurisdiction

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**KIRKOR**  
ARCHITECTS AND PLANNERS

20 De Boers Drive Suite 400  
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Design Architect:  
**Moriyama Teshima | ARCHITECTS**

Client:  
**ORIGINATE DEVELOPMENTS**

**123 Wynford Drive**  
Proposed Residential Development

Drawing Title:  
**Colour Elevation - Building A, West**

Scale:  
As indicated  
Drawn by:  
M.D., A.C.  
Checked by:  
R.P.  
Project No.:  
21-048  
Date:  
Jan 15, 2024  
Drawing No.:

**dA5.09**

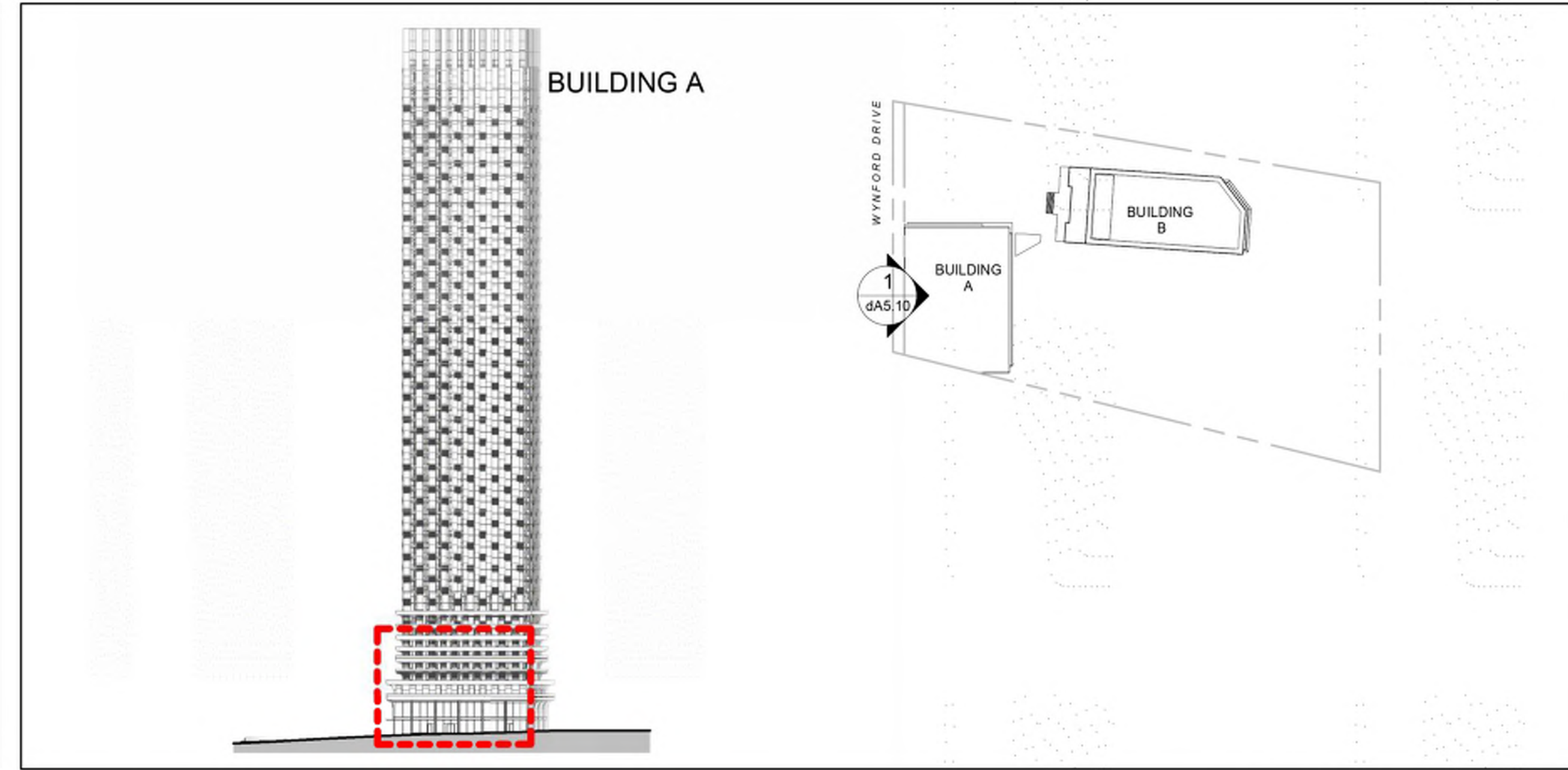


**EXTERIOR FINISH SCHEDULE**

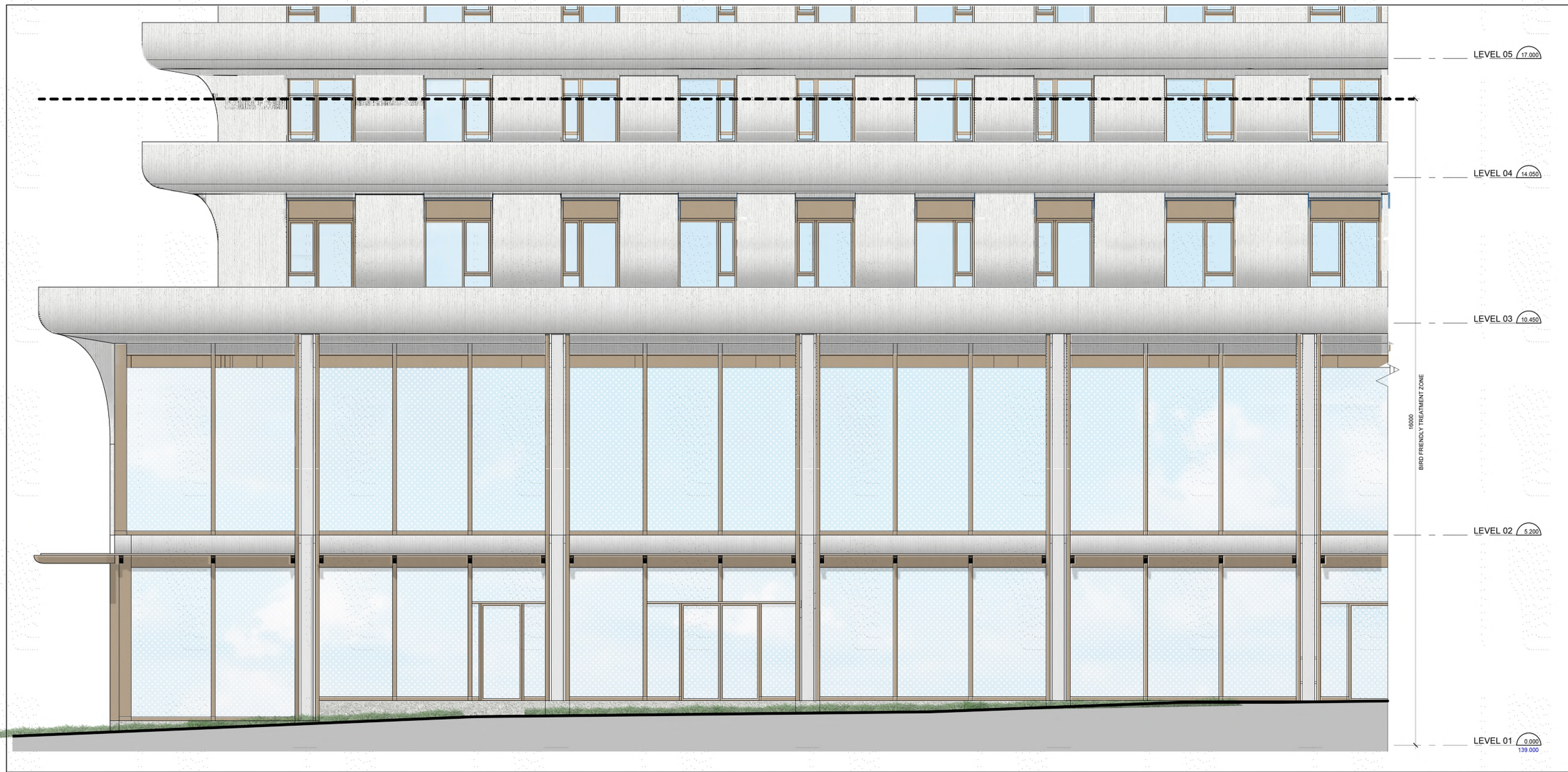
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- 9 LIGHT FIXTURE - DARK SKY COMPLIANT

Exterior Finish Legend 3  
dA5.10



Key Diagrams 2  
dA5.10



North Elevation Building A 1  
1 : 50 dA5.10

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ARCHITECTS AND PLANNERS

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Design Architect:  
**Moriyama Teshima | ARCHITECTS**

Client:  
**ORIGINATE DEVELOPMENTS**

123 Wynford Drive  
Proposed Residential Development

Drawing Title:  
**Colour Elevation - Building A, North**

Scale:  
As indicated

Drawn by:  
M.D., A.C.

Checked by:  
R.P.

Project No.:  
21-048

Date:  
Jan 15, 2024

Drawing No.:

**dA5.10**

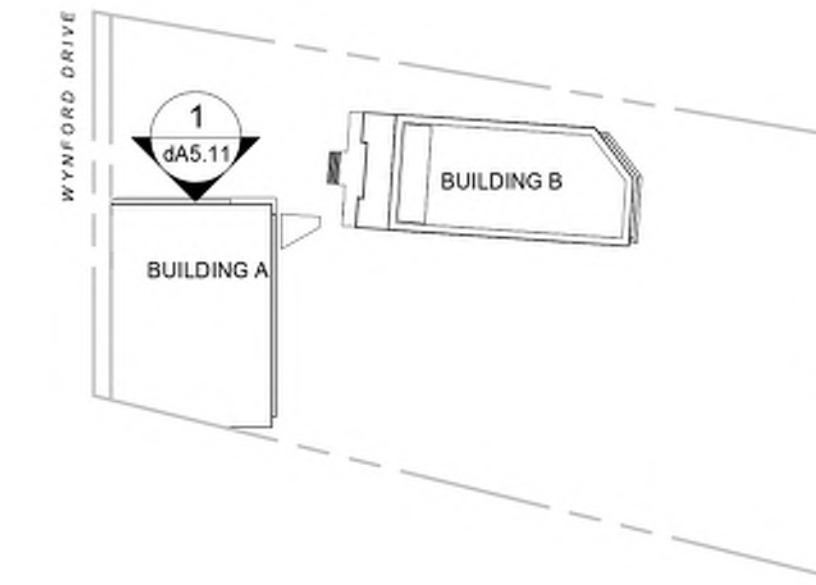
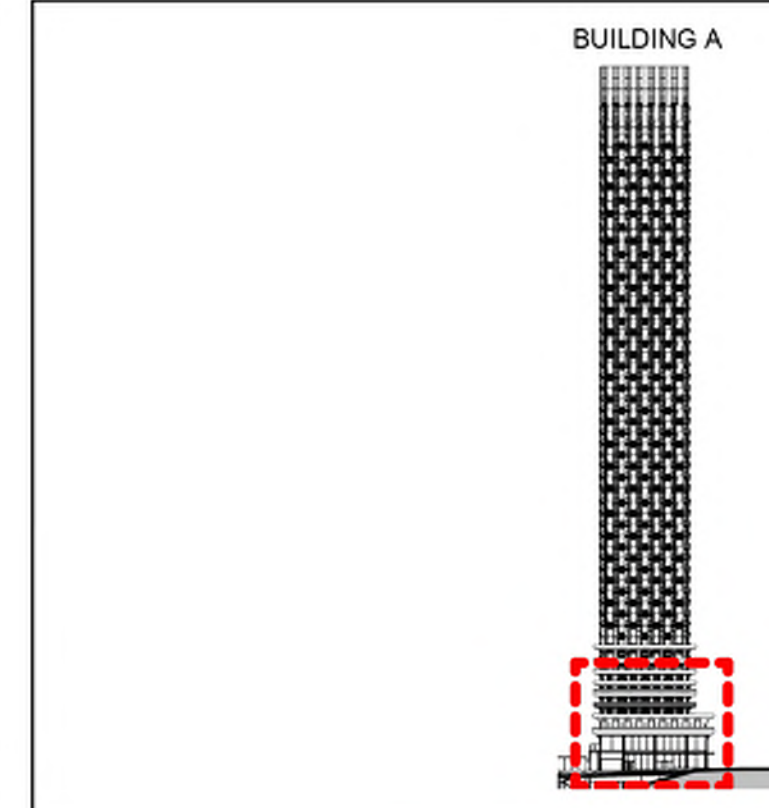


**EXTERIOR FINISH SCHEDULE**

- 1A GFRC (GLASS FIBER REINFORCED CONCRETE) PANEL - IVORY WHITE MATTE FINISH
- 1B GFRC (GLASS FIBER REINFORCED CONCRETE) PANEL - IVORY WHITE MATTE FINISH WITH FLUTED RIB PATTERN
- 2A BIRD FRIENDLY VISION GLASS WITH LOW E COATING IN PREFINISHED ALUMINUM FRAME IN CHAMPAGNE COLOUR
- 2B BIRD FRIENDLY CLEAR GLASS GUARD RAIL
- 2C CLEAR VISION GLASS WITH LOW E COATING IN PREFINISHED ALUMINUM FRAME IN CHAMPAGNE COLOUR

- 3 CLEAR GLASS CANOPY
- 4 ALUMINUM PICKET RAILING IN CHAMPAGNE COLOUR
- 5 PREFINISHED ALUMINUM FRAME IN CHAMPAGNE COLOUR
- 6 ALUMINUM RAILING POST IN CHAMPAGNE COLOUR
- 8 SCREENING - WOOD COLOUR
- 9 LIGHT FIXTURE - DARK SKY COMPLIANT

Exterior Finish Legend **3**  
dA5.11



Key Diagrams **2**  
dA5.11

Authorities Having Jurisdiction

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Date:

**KIRKOR**  
ARCHITECTS AND PLANNERS

20 De Boers Drive Suite 400  
Toronto, ON M3J 0H1

Revisions:		
No.:	Revision:	Date:

04	Mediation Set	Jan 15, 2024
03	Mediation Set	Dec 07, 2023
02	Re-issued for ZBA / Site Plan Approval	March 17, 2023
01	ZBA / Site Plan Approval	July 22, 2022
No.:	Issued For:	Date:

Design Architect:  
**Moriyama Teshima | ARCHITECTS**

Client:  
**ORIGINATE DEVELOPMENTS**

123 Wynford Drive  
Proposed Residential Development

Drawing Title:  
**Colour Elevation - Building A, East**

Scale:  
As indicated

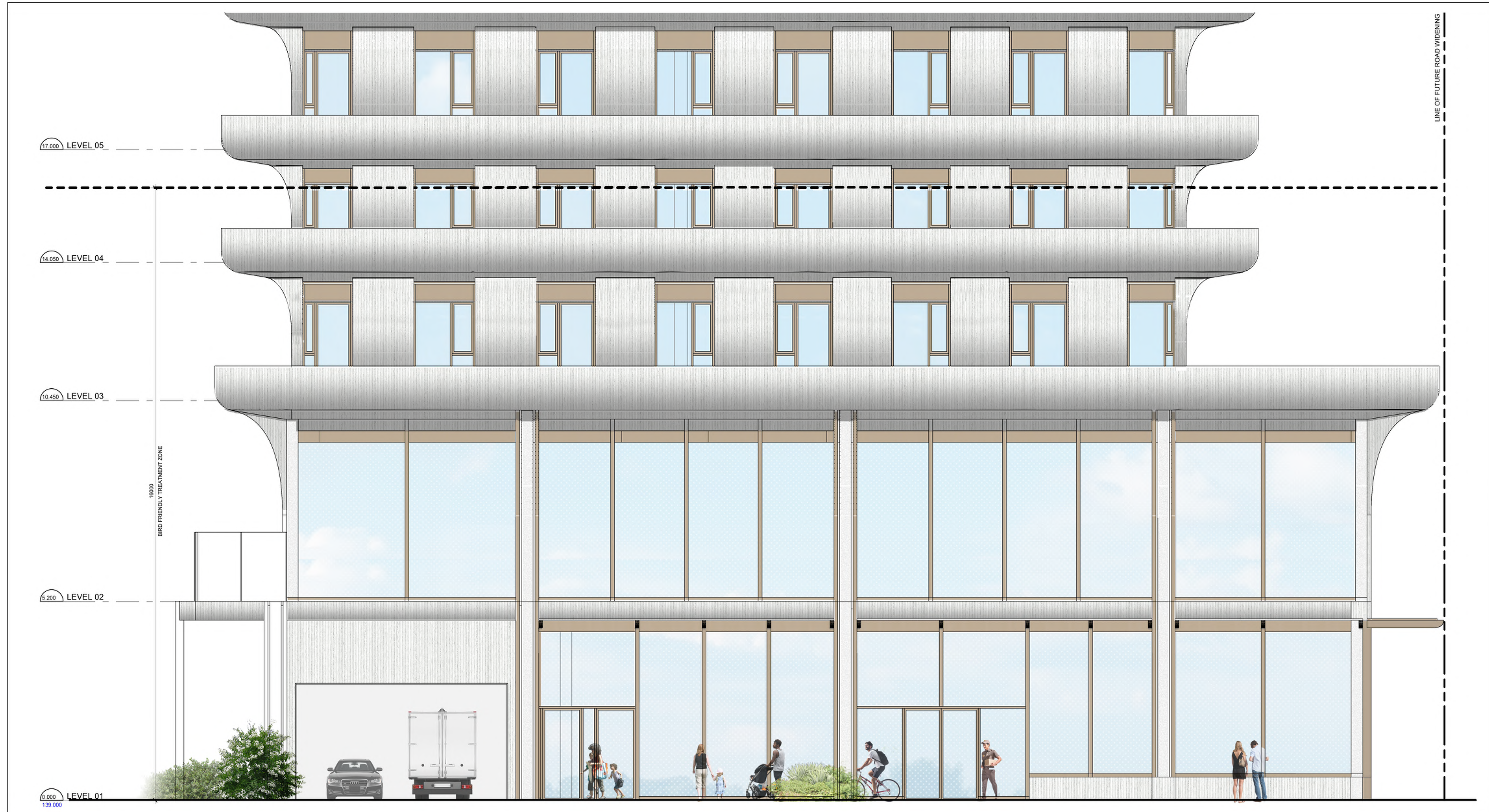
Drawn by:  
M.D., A.C.

Checked by:  
R.P.

Project No.:  
21-048

Date:  
Jan 15, 2024

Drawing No.:



East Elevation Building A **1**  
1 : 50  
dA5.11



**WITHOUT PREJUDICE**

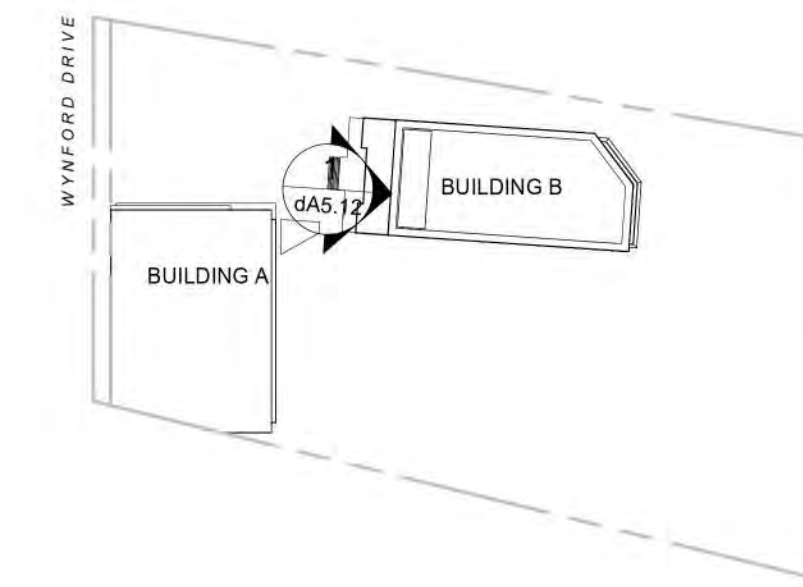
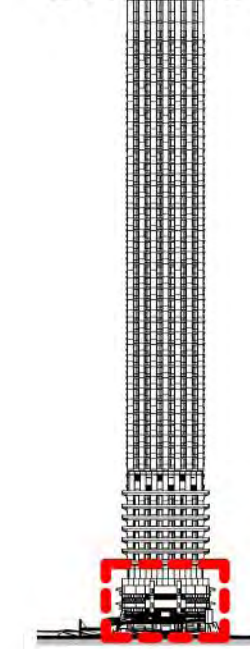
**EXTERIOR FINISH SCHEDULE**

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Exterior Finish Legend **3**  
dA5.12

**BUILDING B**



Key Diagrams **2**  
dA5.12

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Date:

**KIRKOR**  
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Revisions:		
No.:	Revision:	Date:

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01	ZBA / Site Plan Approval	July 22, 2022
No.:	Issued For:	Date:

Design Architect:  
**Moriyama Teshima | ARCHITECTS**

Client:  
**ORIGINATE DEVELOPMENTS**

123 Wynford Drive  
Proposed Residential Development

Drawing Title:  
**Colour Elevation - Building B, North**

Scale:  
As indicated  
Drawn by:  
M.D., A.C.  
Checked by:  
R.P.  
Project No.:  
21-048  
Date:  
Jan 15, 2024  
Drawing No.:

**dA5.12**



North Elevation Building B **1**  
dA5.12  
1 : 50