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April 5, 2024

VIA EMAIL

Mr. Gabe Szobel
Solicitors, Planning & Administrative Tribunal Law
City of Toronto, Legal Services Division
Metro Hall, 55 John Street, 26th Floor
Toronto, ON, M5V 3C6

Dear Mr. Szobel:

**RE: 6 Lloyd Avenue (City of Toronto)
Zoning By-law Amendment (City File No. 13 278533 WET 05 OZ)
Ontario Land Tribunal Case No. 22-004660
With-Prejudice Settlement Offer**

We are the lawyers for Berkeley Carlyle (Junction) Inc. ("**Carlyle**"), being the owner of the properties municipally known as 6 Lloyd Avenue and 159, 181, 179, 177, 175, 171, 169, 167, 165, 163 and 161 Mulock Avenue and commonly referred to as 6 Lloyd Avenue (the "**Site**").

This letter constitutes our client's offer to settle the appeal that is currently before the Ontario Land Tribunal (the "**Tribunal**") in respect of Carlyle's application for a Zoning By-law Amendment (OLT Case No. 22-004660, the "**Application**"). This offer to settle is being submitted on a with-prejudice basis.

The Site and Surrounding Area

The Site is located to the southeast of the intersection at St. Clair Avenue West and Keele Street. The Site directly abuts the Metrolinx/CP railway corridor to the east, St. Clair Avenue West to the north, Lloyd Avenue to the south, and Mulock Avenue to the west. The Site has a total area of approximately 1.06 hectares (2.65 acres). A retaining wall exists along the northern boundary of the site abutting St. Clair Avenue West which slopes down under the rail overpass. The Site was previously occupied by the former Benjamin Moore paint plant and nine detached dwellings. It is currently vacant and has been remediated to residential standards.

The Site is located within the Junction neighbourhood which consists of a mix of residential, commercial and industrial uses. The surrounding area has experienced redevelopment over the last 20 years, including large scale commercial redevelopment at the intersection of St. Clair Avenue West and Keele Street. In recent years, the immediately surrounding area has seen a general transition away from former heavy industrial uses to artist studios, light industrial and other commercial uses. This context further includes an established residential community to the

southwest. A number of recent proposals for high-density residential developments have been submitted for lands in the surrounding area.

From a transportation context, the Site has excellent access to higher-order transit including the adjacent Metrolinx/CP railway corridor, TTC streetcar route 512 along St-Clair and, further south, the Yonge-University Subway line. The Site is also within walking distance of the proposed St. Clair–Old Weston SmartTrack Station and is well served by active transportation infrastructure such as multi-use pathways and bike lanes.

Ontario Land Tribunal Appeal

The Application was appealed to the Tribunal on November 4, 2022, on the basis of City Council's refusal or neglect to make a decision within the statutory timeframe set out in the *Planning Act*. There are no parties to the appeal of the Application other than Carlyle and the City of Toronto. The Application was originally scheduled for a 6-day hearing beginning on April 15 and ending on April 22, 2024. Five of these hearing dates have since been released with April 22 held for a Case Management Conference.

If the settlement offer is accepted by City Council, the Parties have agreed to jointly request that the April 22, 2024 date be converted into a 1-day settlement hearing. If the settlement offer is not accepted by City Council, the Parties will be using the April 22, 2024 date as a Case Management Conference and will be requesting new dates for a contested hearing.

As currently under appeal before the Tribunal, the Application seeks to permit a mixed-use development consisting of two towers with heights of 44 and 31 storeys (the "**North Tower**" and "**South Tower**", respectively), an office building with a height of 8 storeys (the "**Office Building**"), and a 842 square metre new public park at the northeast corner of Lloyd Avenue and Mulock Avenue (the "**New Public Park**") (collectively, the "**Current Proposal**").

Settlement Proposal

Carlyle and City staff have been engaged in ongoing discussions in respect of the Application. Through these discussions, City staff advised that their issues with the Application would be resolved if Carlyle were to revise the Current Proposal in accordance with the Proposed Height Map that is attached hereto as Appendix A (the "**Height Map**"), and requested that a more fulsome set of Architectural Plans be generated based on the principles of development that are illustrated on the Height Map.

On March 20, 2024, Carlyle provided a revised set of Architectural Plans prepared by Raw Design Inc. dated March 20, 2024, a copy of which is attached hereto as Appendix B (the "**Settlement Proposal**"). Based on these discussions, our client is offering to settle the appeal by revising the Application to permit the form of development shown on the Settlement Proposal.

The Settlement Proposal incorporates the following modifications to the Current Proposal:

- North Tower: The height of the North Tower has been reduced from 44 to 35 storeys. The footprint of the North Tower has been reconfigured to ensure that a minimum separation distance of 25.0 metres is being provided between the North Tower and the South Tower from every angle, thereby eliminating a 21.0 metre pinch point that existed in the Current Proposal. The North Tower also maintains a minimum separation distance of 15.0 metres from the 11-storey mid-rise component that is located along St. Clair Avenue. The tower floorplate of the North Tower would have a maximum gross construction area of 750 square metres.
- South Tower: The height of the South Tower has been reduced from 31 to 28 storeys. A minimum separation distance of 15.0 metres has been provided between the South Tower and the Office Building. The 4-storey portion of the podium that is situated beneath the South Tower has a minimum setback of 5.0 metres from the New Public Park. The tower floorplate of the South Tower would have a maximum gross construction area of 750 square metres.
- Office Building: The Office Building is being maintained as part of the Settlement Proposal despite the challenges and economic realities that affect the viability of office uses in the current market. The Office Building will help to contribute to the mix of uses that are proposed on the Site and in close proximity to higher-order transit infrastructure. A minimum setback of 5.0 metres has been provided from the 4-storey podium portion of the Office Building to the New Public Park. The Office Building will include a minimum non-residential gross floor area equal to 4,000 square metres.
- Preliminary Building Statistics: The fundamental basis of the Settlement Proposal relates to the built-form parameters discussed above. On a preliminary basis, the development standards to be included in the final form of Zoning By-law Amendment will permit the following:
 - o The development comprising the North and South Towers and associated podium will include an overall gross floor area of approximately 71,500 square metres, inclusive of approximately 70,500 square metres of residential gross floor area (inclusive of above-grade parking) and a minimum of 1,000 square metres of accessory retail.
 - o The Office Building will have a maximum gross floor area of 8,000 square metres, inclusive of a private daycare that has a minimum area of 500 square metres.
 - o The total gross floor area of the development as a whole will be approximately 79,600 square metres.

- The unit mix of the North and South Towers and associated podium will include a minimum of 15 percent two-bedroom units, and 10 percent 3-bedroom units.
- The minimum amount of outdoor amenity space will be 1.9 square metres per unit and the minimum amount of indoor amenity space will be 2.0 square metres per unit.
- The bicycle parking rates shall be 0.9 long-term bicycle parking spaces for each dwelling unit and 0.1 short-term bicycle parking spaces for each dwelling unit.
- The development shall include one Type-G loading space, one Type-B loading spaces, and three Type-C loading spaces.

Parkland Dedication: The size of the proposed onsite New Public Park has increased from 842 square metres to 880 square metres, which in our view exceeds the total required parkland dedication for the proposed development by approximately 114 square metres. The City does not agree with Carlyle’s calculation. Carlyle and the City will work in good faith to confirm the total required parkland dedication for the proposed development in accordance with Section 42 of the Planning Act through the process of finalizing the Zoning By-law Amendment. Both Carlyle and the City reserve their full rights at law under Section 42 of the Planning Act in respect of the calculation of the required parkland contribution for the proposed development. If it is determined that the parkland dedication requirement is greater than the 880 square metres being provided on-site, the remainder of the parkland dedication requirement may be satisfied through cash-in-lieu. Conversely, if it is determined that the parkland dedication requirement is less than 880 square metres, the size of the New Public Park will be reduced accordingly, subject to such alternatives that both Carlyle and the City may agree to.

Matters of Implementation

Should this Offer be accepted by City Council, Carlyle and the City will jointly advise the Tribunal that all of the City’s issues have been resolved, and that the parties are jointly seeking to convert the Case Management Conference scheduled for April 22, 2024 into a one-day settlement hearing. In advance of the hearing, Carlyle and City Staff will work expeditiously to modify the draft Zoning By-law Amendment to implement the form of development illustrated in the Settlement Proposal in accordance with the terms set out herein.

Carlyle will be responsible for leading planning evidence in support of the Settlement Proposal and the implementing draft zoning by-law amendment, including filing any sworn affidavit evidence with the Tribunal. If the Settlement Proposal is accepted by City Council, Carlyle and the City shall jointly request that the Tribunal withhold its final Order in respect of the Application until the parties have advised that the following preconditions are satisfied:

1. The form and content of the Zoning By-law Amendment is satisfactory to the Chief Planner and Executive Director, City Planning and the City Solicitor;
2. The owner has submitted a revised Functional Servicing and Stormwater Management Report to the satisfaction of the Chief Engineer and Executive Director, Engineering and Construction Services, and such report shall determine the stormwater run-off, sanitary flow and water supply demand resulting from the development and whether there is adequate capacity in the existing municipal infrastructure to accommodate the proposed development and/or any upgrades that may be required;
3. The owner has submitted a revised Hydrological Review Report, Servicing Report Groundwater Summary Form and Hydrological Review Summary Form to the satisfaction of the Chief Engineer and Executive Director, Engineering and Construction Services;
4. The owner has provided a revised Pedestrian Wind Study, such report to be reviewed with recommendations implemented as part of the Zoning By-law and/or secured in a development agreement to the satisfaction of the Chief Planner and Executive Director, City Planning;
5. The owner has submitted revised drawings illustrating the conveyance of lands required by the General Manager, Transportation Services and the Chief Planner and Executive Director, City Planning;
6. The owner has submitted a revised Noise and Vibration Feasibility Study and a Rail Safety Study, to be peer reviewed by consultants retained by the City at the owner's expense, to the satisfaction of the Chief Planner and Executive Director, City Planning;
7. The owner has submitted a revised Transportation Impact Study including all requested revisions to the satisfaction of the General Manager, Transportation Services;
8. The owner makes satisfactory arrangements with Engineering and Construction Services and enters into the appropriate agreement with the City for the design and construction of any improvements to the municipal infrastructure, should it be determined that upgrades are required to the infrastructure to support this development, according to the Functional Servicing Report accepted by the Chief Engineer and Executive Director, Engineering and Construction Services and Traffic Impact Study accepted by the General Manager, Transportation Services;
9. The owner has addressed all outstanding issues raised by Urban Forestry noted in correspondence, dated July 6, 2023, including the need for an updated Arborist Report and Landscape Plan, to the satisfaction of the General Manager of Parks, Forestry and Recreation; and

10. The owner has made revisions to meet the Toronto Green Standard requirements to the satisfaction of the Chief Planner and Executive Director, City Planning.

The Settlement Offer is open until the conclusion of the City Council meeting that is scheduled to commence on April 17, 2024, following which it will become null and void if not accepted. If you have any questions, please contact the undersigned and Michael Cara (mcara@overlandllp.ca).

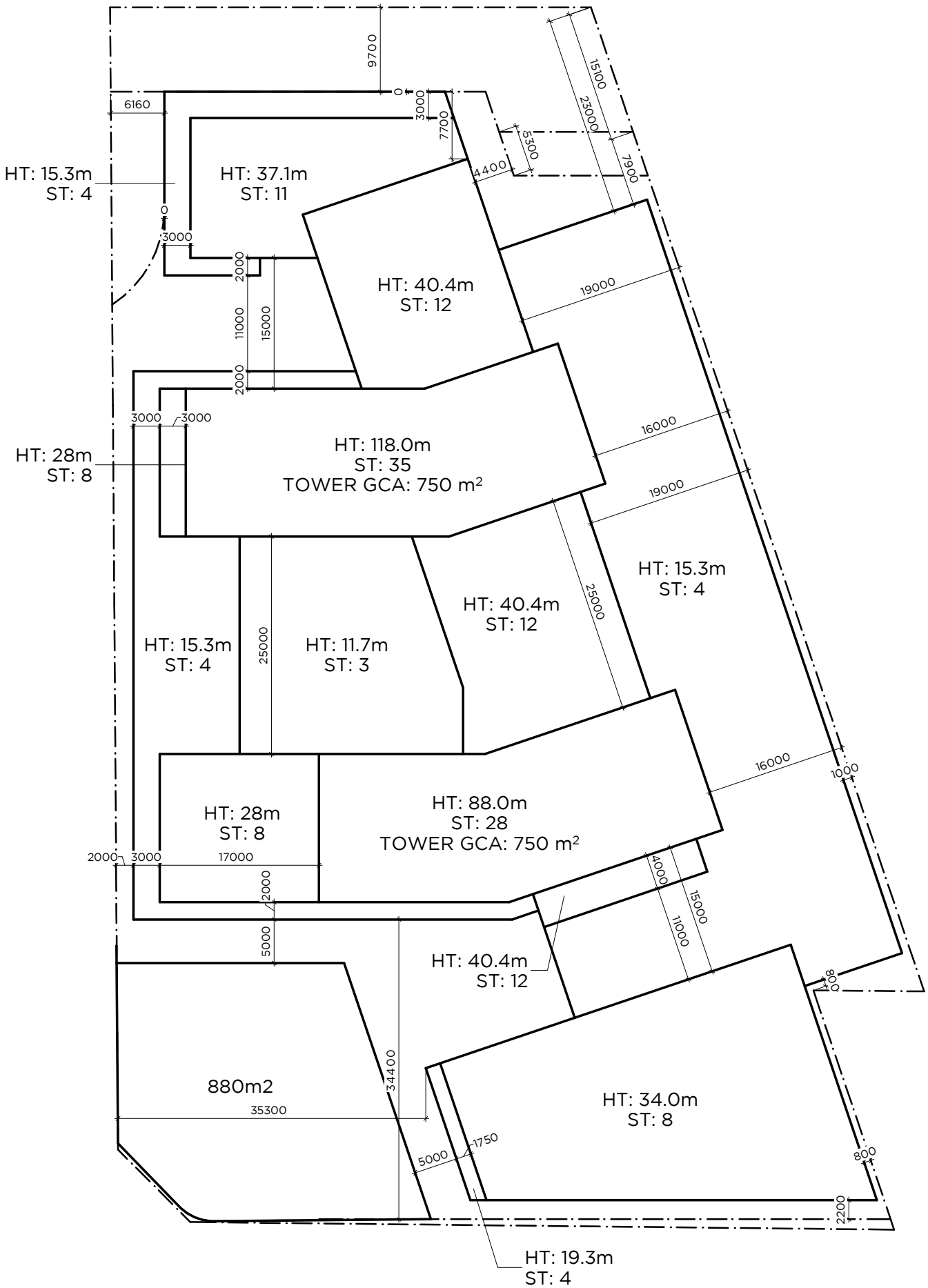
Yours truly,
Overland LLP



Per: Daniel Artenosi
Partner

Appendix A

Proposed Height Map prepared by Raw Design Inc. (dated February 22, 2024)



Appendix B

Settlement Proposal prepared by Raw Design Inc. (dated March 20, 2024)

JUNO RESIDENCES

6 Lloyd Avenue

CARLYLE COMMUNITIES

Project: 17065
Date: 2024-03-20
Issued for: SETTLEMENT

ARCHITECTURAL DRAWING LIST	
SHEET NUMBER	SHEET NAME
A000 - GENERAL	
A.000	COVER / DRAWING LIST + CONTEXT PLAN
A.001	SITE STATS + CONVEYANCE
A100-200 - FLOOR PLANS	
A.100	SITE PLAN
A.101	RETAIL LEVEL PLAN
A.201	GROUND FLOOR PLAN
A.201M	MEZZANINE FLOOR PLAN
A.202	2ND FLOOR PLAN
A.203	3RD FLOOR PLAN
A.204	4TH FLOOR PLAN
A.205	5TH FLOOR PLAN
A.206	6TH FLOOR PLAN
A.207	7TH FLOOR PLAN
A.208	8TH FLOOR PLAN
A.209	9TH FLOOR PLAN
A.210	10TH FLOOR PLAN
A.211	11TH FLOOR PLAN
A.212	12TH FLOOR PLAN
A.213	13TH FLOOR PLAN
A.214	TYPICAL TOWER PLAN
A.215	MECH PH SOUTH PLAN
A.216	MECH PH NORTH PLAN
A.217	ROOF PLAN
A400 - BUILDING ELEVATIONS	
A.401	SOUTH ELEVATION
A.402	NORTH ELEVATION
A.403	WEST ELEVATION
A.404	EAST ELEVATION
A500 - BUILDING SECTIONS	
A.501	BUILDING SECTIONS
A.502	BUILDING SECTIONS

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DIMENSIONS TO THE CONTRACTOR. THE ARCHITECT
DRAWING IS IN METRIC UNITS (1:50). IF METRIC
DIMENSIONS ARE NOT SPECIFIED, THE ARCHITECT
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RAW

460-57 ADELAIDE STREET WEST
TORONTO CANADA M5V 1P7
416.598.9725
WWW.RAWDESIGN.CA

17065
6 Lloyd Avenue

JUNO RESIDENCES

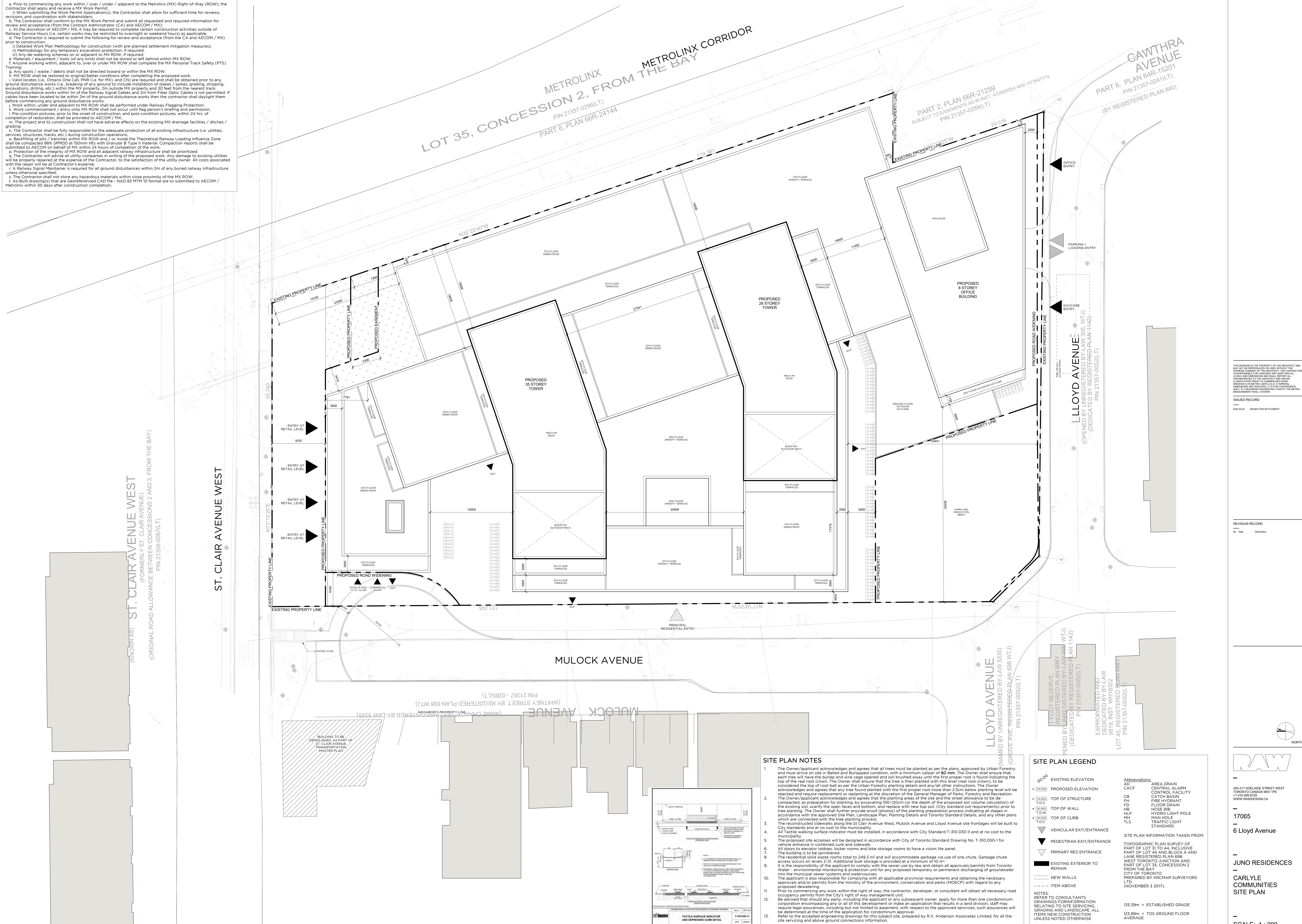
CARLYLE
COMMUNITIES
COVER / DRAWING
LIST + CONTEXT
PLAN

SCALE:

A.000

METROLINX GENERAL NOTES

- Prior to commencing any work within / over / under / adjacent to the Metrolinx (MX) Right-of-Way (ROW), the Contractor shall apply and receive a MX Work Permit.
- When submitting the Work Permit Application(s), the Contractor shall allow for sufficient time for reviews, revisions, and coordination with stakeholders.
- The Contractor shall conform to the MX Work Permit and submit all requested and required information for review and acceptance (from the Contract Administrator (CA) and AECOM / MX).
- At the discretion of AECOM / MX, it may be required to complete certain construction activities outside of Railway Service Hours (i.e. certain works may be restricted to overnight or weekend hours) as applicable.
- The Contractor is required to submit the following for review and acceptance (from the CA and AECOM / MX) prior to construction:
 - Detailed Work Plan Methodology for construction (with pre-planned settlement mitigation measures);
 - Methodology for any temporary excavation protection, if required;
 - Any de-watering schemes on or adjacent to MX ROW, if required;
 - Materials / equipment / tools (of any kind) shall not be stored or left behind within MX ROW;
 - Anyone working within, adjacent to, over or under MX ROW shall complete the MX Personal Track Safety (PTS) Training;
 - Any spoils / waste / debris shall not be directed toward or within the MX ROW;
 - MX ROW shall be restored to original/better conditions after completing the proposed work;
 - Valid locates (i.e. Ontario One Call, PIN (i.e. for MO), and CH) are required and shall be obtained prior to any ground disturbance works (i.e. breaking of any ground to include installation of stakes / spikes, grading, stripping, excavations, drilling, etc.) within the MX property, 2m outside MX property and 30 feet from the nearest track. Ground disturbance works within 1m of the Railway Signal Cables and 2m from Fiber Optic Cables is not permitted if cables have been located to be within 2m of the ground disturbance work then the contractor shall daylight them before commencing any ground disturbance works;
 - Work within, under and adjacent to MX ROW shall be performed under Railway Flagging Protection;
 - Work commencement / entry onto MX ROW shall not occur until flag person's briefing and permission;
 - Pre-condition pictures, prior to the onset of construction, and post-condition pictures, within 24 hrs. of completion of restoration, shall be provided to AECOM / MX;
 - The project and its construction shall not have adverse effects on the existing MX drainage facilities / ditches / grading;
 - The Contractor shall be fully responsible for the adequate protection of all existing infrastructure (i.e. utilities, services, structures, trees, etc.) during construction operations;
 - Backfilling of pits / trenches within MX ROW and / or inside the Theoretical Railway Loading Influence Zone shall be compacted 96% SPMDD at 150mm lifts with Granular B Type II material. Compaction reports shall be submitted to AECOM on behalf of MX within 24 hours of completion of the work;
 - Protection of the integrity of MX ROW and all adjacent railway infrastructure shall be prioritized;
 - The Contractor will advise all utility companies in writing of the proposed work. Any damage to existing utilities will be properly repaired at the expense of the Contractor, to the satisfaction of the utility owner. All costs associated with the repair will be at Contractor's expense;
 - A Railway Signal Maintainer is required for all ground disturbances within 2m of any buried railway infrastructure unless otherwise specified;
 - The Contractor shall not store any hazardous materials within close proximity of the MX ROW;
 - All-Built drawing(s) that are Georeferenced CAD file - NAD 83 MTM 10 format are to be submitted to AECOM / Metrolinx within 30 days after construction completion.



SITE PLAN NOTES

- The Owner/applciant acknowledges and agrees that all trees must be planted as per the plans, approved by Urban Forestry and must arrive on site in Balled and Burlapped condition, with a minimum caliper of 60 mm. The Owner shall ensure that each tree will have the burlap and wire cage opened and soil brushed away until the first proper root is found indicating the top of the real root crown. The Owner shall ensure that the tree is then planted with this level (real root crown), to be considered the top of root-ball as per the Urban Forestry planting details and any/all other instructions. The Owner acknowledges and agrees that any tree found planted with the first proper root more than 2.5cm below planting level will be rejected and require replacement or replanting at the discretion of the General Manager of Parks, Forestry and Recreation.
- The Owner/applciant acknowledges and agrees that the planting areas of the site and the street allowance to be de-compacted, as preparation for planting, by excavating 100-200cm (or the depth of the proposed soil volume calculation) of the existing soil, scarify the open faces and bottom, and replace with new top soil, (City standard soil requirements) prior to tree planting. The Owner shall further provide proof (photos) of the planting preparation process indicating all stages in accordance with the approved Site Plan, Landscape Plan, Planting Details and Toronto Standard Details, and any other plans which are connected with the tree planting process.
- The reconstructed sidewalks along the St. Clair Avenue West, Mulock Avenue and Lloyd Avenue site frontages will be built to City standards and at no cost to the municipality.
- All tactile walking surface indicator must be installed, in accordance with City Standard T-310.030-II and at no cost to the municipality.
- The proposed site accesses will be designed in accordance with City of Toronto Standard Drawing No. T-310.050-I for vehicle entrance in combined curb and sidewalk.
- All doors to elevator lobbies, locker rooms and bike storage rooms to have a vision lite panel.
- The residential solid waste rooms total to 249.3 m² and will accommodate garbage via use of one chute. Garbage chute access occurs on levels 2-31. Additional bulk storage is provided at a minimum of 10 m³.
- It is the responsibility of the applicant to comply with the sewer use by-law and obtain all approvals/permits from Toronto Water - environmental monitoring & protection unit for any proposed temporary or permanent discharging of groundwater into the municipal sewer systems and watercourses.
- The applicant is also responsible for complying with all applicable provincial requirements and obtaining the necessary approvals and/or permits from the ministry of the environment, conservation and parks (MOECP) with regard to any proposed dewatering.
- Prior to commencing any work within the right of way, the contractor, developer, or consultant will obtain all necessary road occupancy permits from the City's right of way management unit.
- Be advised that should any party, including the applicant or any subsequent owner, apply for more than one condominium corporation encompassing any or all of this development or make an application that results in a land division, staff may require legal assurances, including but not limited to, easement, with respect to the approved services, such assurances will be determined at the time of the application for condominium approval.
- Refer to the accepted engineering drawings for this subject site, prepared by R.V. Anderson Associates Limited, for all the site servicing and above ground connections information.

SITE PLAN LEGEND

<ul style="list-style-type: none"> 0000 EXISTING ELEVATION + 00000 PROPOSED ELEVATION FO.S: TOP OF STRUCTURE FO.F: TOP OF WALL T.O.W: TOP OF CURB + 00000 VEHICULAR EXIT/ENTRANCE PEDESTRIAN EXIT/ENTRANCE PRIMARY RES ENTRANCE EXISTING EXTERIOR TO REMAIN NEW WALLS ITEM ABOVE 	<p>Abbreviations:</p> <ul style="list-style-type: none"> AD AREA DRAIN CACF CENTRAL ALARM CONTROL FACILITY CB CATCH BASIN FH FIRE HYDRANT FD FLOOR DRAIN HB HOSE BIB HLP HYDRO LIGHT POLE MH MAN HOLE TLS TRAFFIC LIGHT STANDARD <p>SITE PLAN INFORMATION TAKEN FROM: TOPOGRAPHIC PLAN SURVEY OF PART OF LOT 31 TO 44, INCLUSIVE, PART OF LOT 45 AND BLOCK A AND LANE REGISTERED PLAN 698 WEST TORONTO JUNCTION AND PART OF LOT 35, CONCESSION 2 FROM THE BAY CITY OF TORONTO PREPARED BY ARCMAR SURVEYORS LTD. (NOVEMBER 3 2017).</p> <p>125.39m = ESTABLISHED GRADE 123.89m = TOG GROUND FLOOR AVERAGE</p>
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465-517 ADELAIDE STREET WEST
TORONTO CANADA M5V 1P4
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17065
6 Lloyd Avenue
JUNO RESIDENCES
CARLYLE COMMUNITIES SITE PLAN

SCALE: 1 : 200
A.100



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17065
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JUNO RESIDENCES
 CARLYLE COMMUNITIES
 RETAIL LEVEL PLAN

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A.101



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17065
6 Lloyd Avenue
JUNO RESIDENCES
CARLYLE COMMUNITIES
MEZZANINE FLOOR PLAN

SCALE: 1 : 150
A.201M



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17065
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 JUNO RESIDENCES
 CARLYLE COMMUNITIES
 2ND FLOOR PLAN

SCALE: 1 : 150
A.202



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17065
 6 Lloyd Avenue
 JUNO RESIDENCES
 CARLYLE COMMUNITIES
 3RD FLOOR PLAN

SCALE: 1 : 150
A.203



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17065
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 JUNO RESIDENCES
 CARLYLE COMMUNITIES
 4TH FLOOR PLAN

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A.204



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No.	Date	Description

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17065
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JUNO RESIDENCES
CARLYLE COMMUNITIES
5TH FLOOR PLAN

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A.205



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 IS RESPONSIBLE FOR OBTAINING ALL NECESSARY
 PERMITS AND APPROVALS AND SHALL REPORT ALL
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 CLARIFICATION FROM THE ARCHITECT BEFORE
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 TORONTO CANADA M5V 1P2
 416-598-9728
 WWW.RAWDESIGN.CA

17065
 6 Lloyd Avenue
 JUNO RESIDENCES
 CARLYLE
 COMMUNITIES
 6TH FLOOR PLAN

SCALE: 1 : 150
A.206



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 IS RESPONSIBLE FOR OBTAINING ALL NECESSARY
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 CLARIFICATION FROM THE ARCHITECT BEFORE
 PROCEEDING. THIS DRAWING IS THE PROPERTY OF
 THE ARCHITECT AND SHALL REMAIN HIS/HERS.
 MEASUREMENT SHALL GOVERN.

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No.	Date	Description

RAW
 460-57 ADELAIDE STREET WEST
 TORONTO CANADA M5V 1P2
 416-598-9728
 WWW.RAWDESIGN.CA

17065
 6 Lloyd Avenue
 JUNO RESIDENCES
 CARLYLE
 COMMUNITIES
 7TH FLOOR PLAN

SCALE: 1 : 150
A.207



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ISSUED RECORD
2024.03.20 09:40 FOR RETITLEMENT

REVISION RECORD
No. Date Description

RAW
400-317 ADELAIDE STREET WEST
TORONTO CANADA M5V 1P2
WWW.RAWDESIGN.CA

17065
6 Lloyd Avenue
JUNO RESIDENCES
CARLYLE COMMUNITIES
8TH FLOOR PLAN

SCALE: 1 : 150
A.208



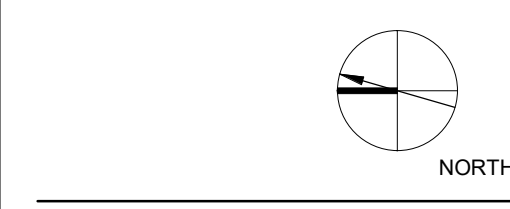
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 EXPRESS CONSENT OF THE ARCHITECT. THE CONTRACTOR
 IS RESPONSIBLE FOR OBTAINING ALL NECESSARY
 PERMITS AND APPROVALS AND SHALL BE RESPONSIBLE FOR ALL
 DISCREPANCIES TO THE ARCHITECT AND FOR OBTAINING
 ALL NECESSARY PERMITS AND APPROVALS. THE ARCHITECT
 DOES NOT WARRANT OR GUARANTEE THE ACCURACY OF THE
 MEASUREMENTS OR DIMENSIONS SHOWN ON THIS DRAWING.
 MEASUREMENT SHALL GOVERN.

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REVISION RECORD

No. Date Description



RAW

460-57 ADELARDE STREET WEST
 TORONTO CANADA M5V 1P2
 WWW.RAWDESIGN.CA

17065
 6 Lloyd Avenue

JUNO RESIDENCES
 CARLYLE
 COMMUNITIES
 9TH FLOOR PLAN

SCALE: 1 : 150

A.209



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ISSUED RECORD
2024.03.20 09:40 FOR RETITLEMENT

REVISION RECORD
No. Date Description

RAW
400-317 ADELAIDE STREET WEST
TORONTO CANADA M5V 1P2
WWW.RAWDESIGN.CA

17065
6 Lloyd Avenue
JUNO RESIDENCES
CARLYLE COMMUNITIES
11TH FLOOR PLAN

SCALE: 1 : 150
A.211



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 EXPRESS CONSENT OF THE ARCHITECT. THE CONTRACTOR
 IS RESPONSIBLE FOR OBTAINING ALL NECESSARY
 PERMITS AND APPROVALS AND SHALL REPORT ALL
 DISCREPANCIES TO THE ARCHITECT AND OBTAIN
 CORRECTIONS BEFORE COMMENCING WORK.
 DRAWINGS IN METRIC UNITS (1:50, 1:100, 1:200)
 SHALL TAKE PRECEDENCE OVER DRAWINGS IN IMPERIAL
 UNITS (1/8", 1/4", 1/2", 3/4", 1", 2", 3", 4", 6", 8", 12")
 UNLESS OTHERWISE SPECIFIED. THE METRIC
 MEASUREMENT SHALL GOVERN.

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REVISION RECORD
 No. Date Description

RAW
 460-517 ADELAIDE STREET WEST
 TORONTO CANADA M5V 1P2
 416-598-9728
 WWW.RAWDESIGN.CA

17065
 6 Lloyd Avenue
 JUNO RESIDENCES
 CARLYLE
 COMMUNITIES
 12TH FLOOR PLAN

SCALE: 1 : 150
A.212



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ISSUED RECORD
 2024.03.20 09:40 FOR RETITLEMENT

REVISION RECORD
 No. Date Description

RAW
 460-517 ADELAIDE STREET WEST
 TORONTO CANADA M5V 1P2
 WWW.RAWDESIGN.CA

17065
 6 Lloyd Avenue
 JUNO RESIDENCES
 CARLYLE COMMUNITIES
 13TH FLOOR PLAN

SCALE: 1 : 150
A.213



THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AUTHORITIES AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AUTHORITIES.

ISSUED RECORD
 2024.03.20 09:40 FOR RETITLEMENT

REVISION RECORD
 No. Date Description

RAW
 460-517 ADELAIDE STREET WEST
 TORONTO CANADA M5V 1P2
 WWW.RAWDESIGN.CA

17065
 6 Lloyd Avenue
 JUNO RESIDENCES
 CARLYLE COMMUNITIES
 TYPICAL TOWER PLAN

SCALE: 1 : 150
 A.214



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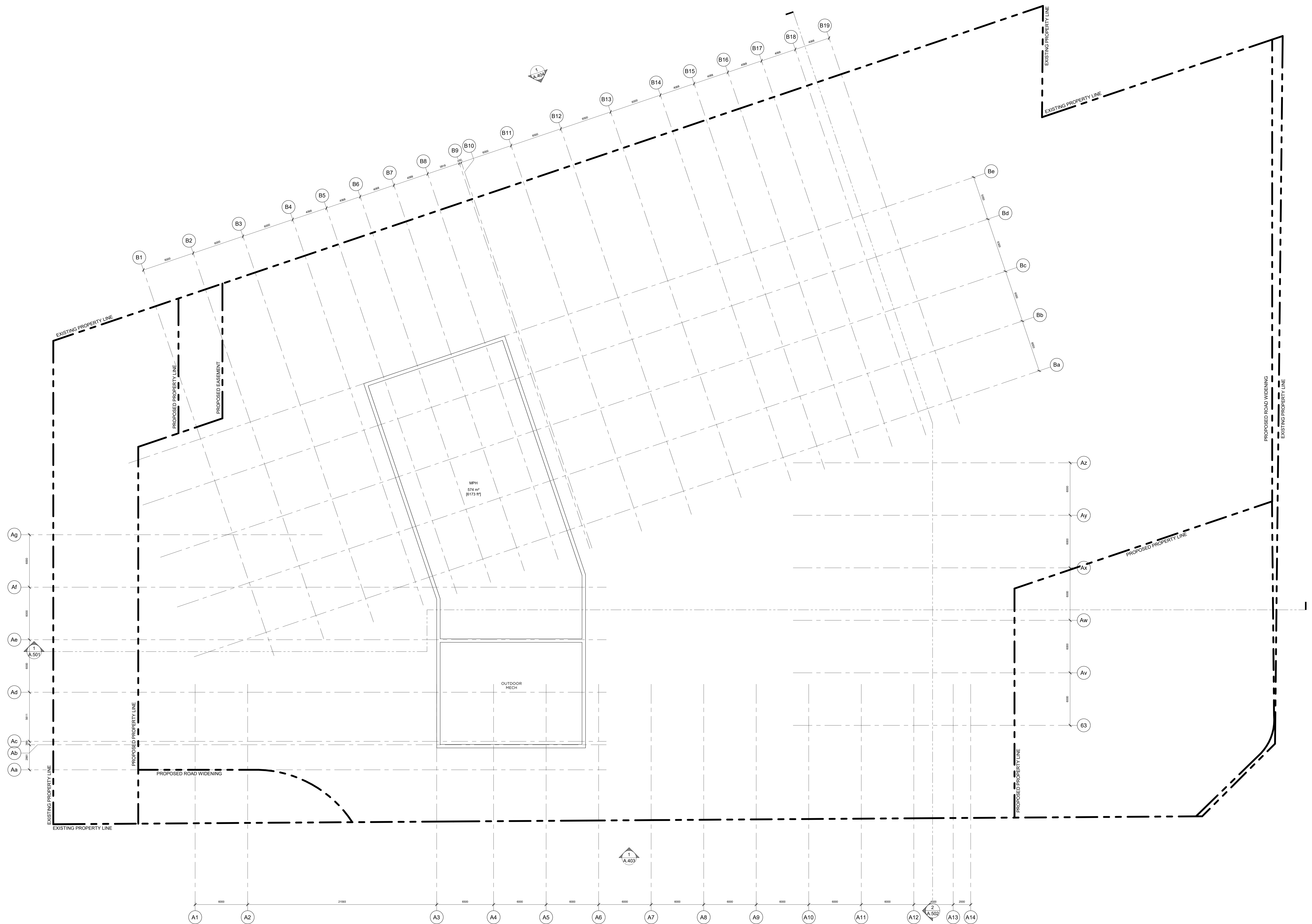
ISSUED RECORD
2024.03.20 09:40 FOR RETITLEMENT

REVISION RECORD
No. Date Description

RAW
460-517 ADELIAE STREET WEST
TORONTO CANADA M5V 1P2
WWW.RAWDESIGN.CA

17065
6 Lloyd Avenue
JUNO RESIDENCES
CARLYLE COMMUNITIES
MECH PH SOUTH PLAN

SCALE: 1 : 150
A.215



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ISSUED RECORD
2024.03.20 09:40 FOR RETIREMENT

REVISION RECORD

No.	Date	Description

RAW
460-517 ADELIAE STREET WEST
TORONTO CANADA M5V 1P2
WWW.RAWDESIGN.CA

17065
6 Lloyd Avenue
JUNO RESIDENCES
CARLYLE COMMUNITIES
MECH PH NORTH PLAN

SCALE: 1 : 150
A.216



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ISSUED RECORD
 2024.03.20 09:40 FOR RETITLEMENT

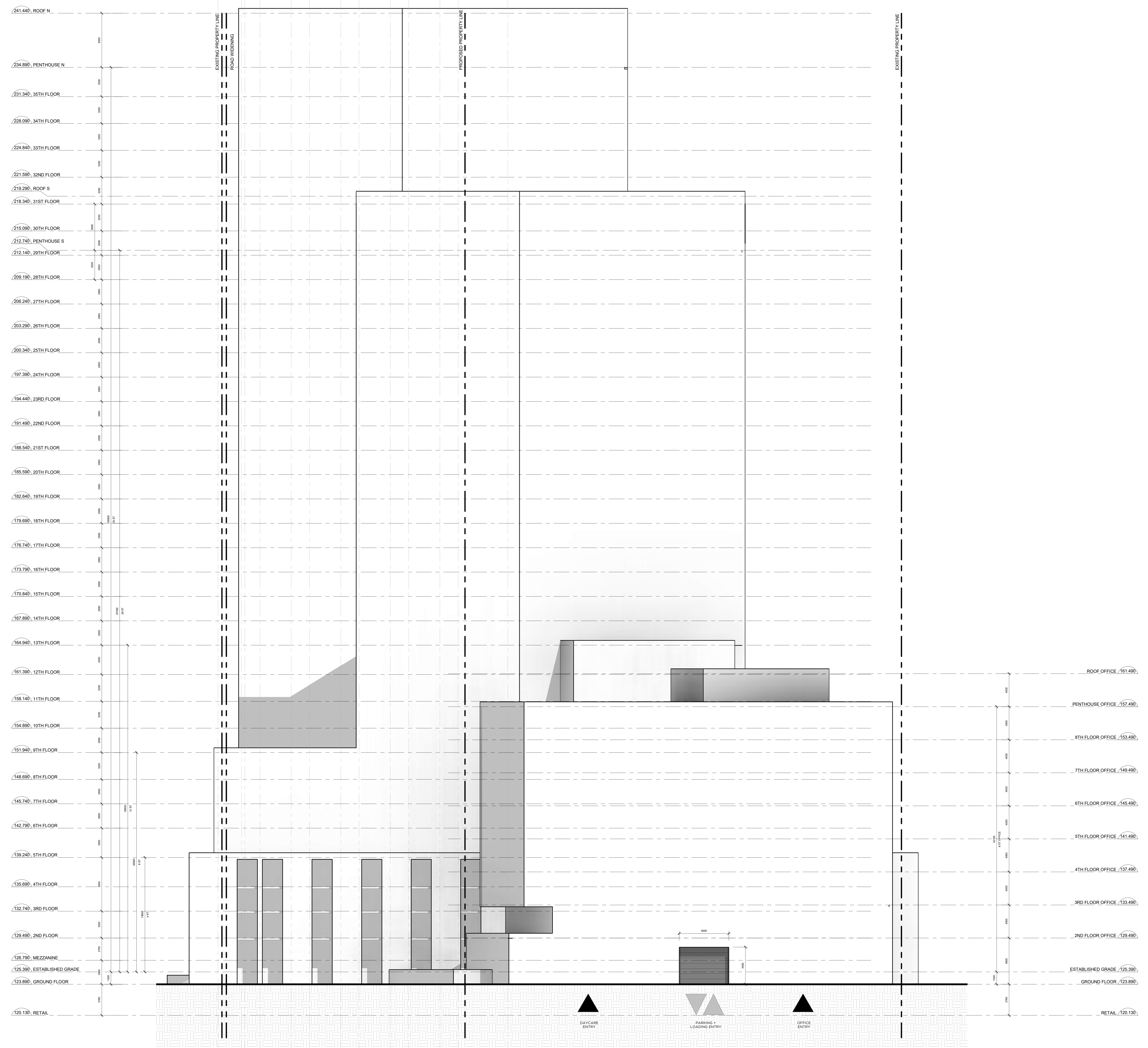
REVISION RECORD
 No. Date Description

RAW
 460-517 ADELAIDE STREET WEST
 TORONTO CANADA M5V 1P2
 416-598-1728
 WWW.RAWDESIGN.CA

17065
 6 Lloyd Avenue
 JUNO RESIDENCES
 CARLYLE COMMUNITIES
 ROOF PLAN

SCALE: 1 : 150
 A.217

Aa Abd B3 Ad Av Ae Aw At Ax Ag Ay Az



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REVISION RECORD

No.	Date	Description

RAW

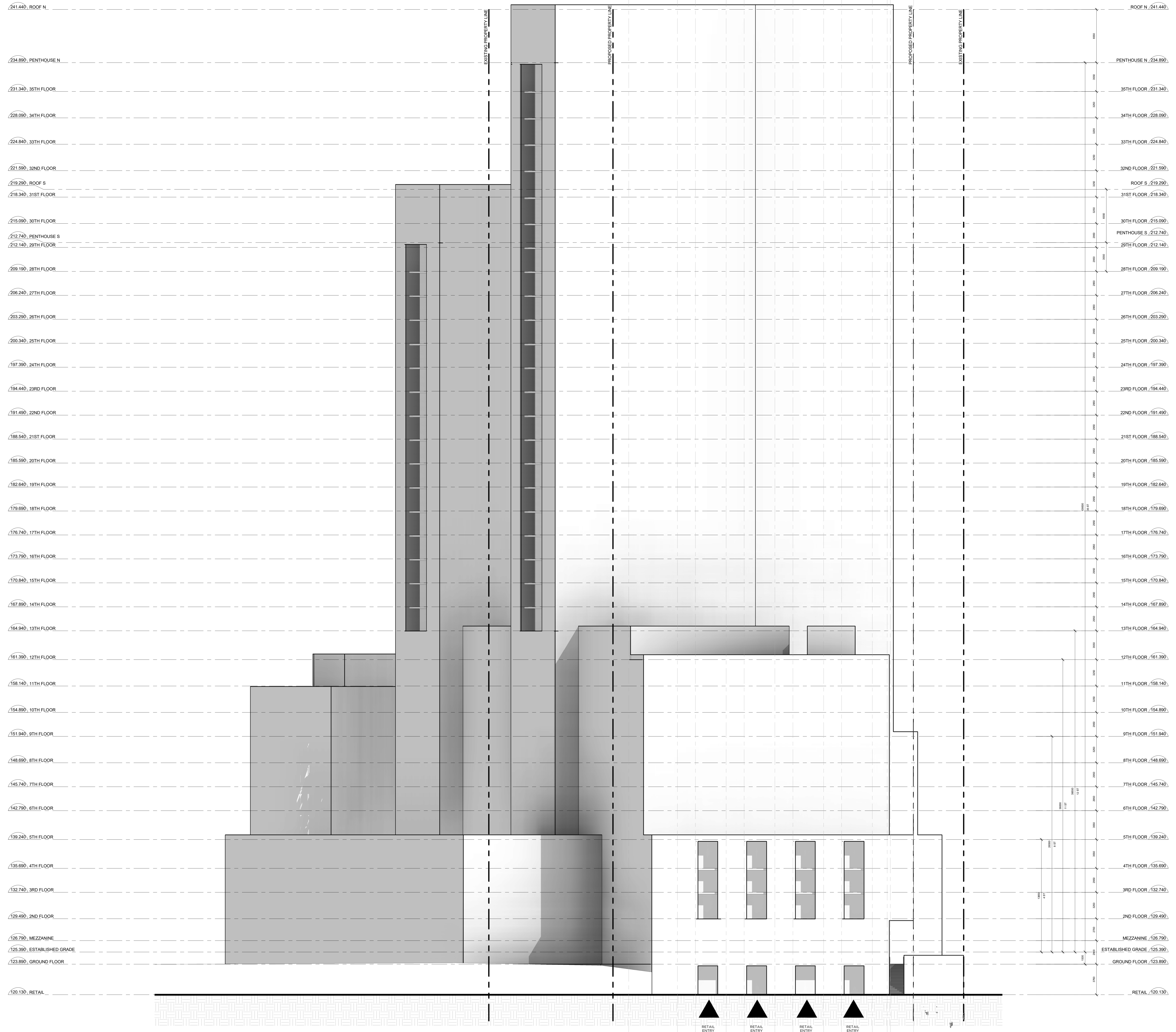
460-317 ADELAIDE STREET WEST
TORONTO CANADA M5V 1P7
416-598-9725
WWW.RAWDESIGN.CA

17065
6 Lloyd Avenue

JUNO RESIDENCES
CARLYLE COMMUNITIES
SOUTH ELEVATION

SCALE: 1 : 150

A.401



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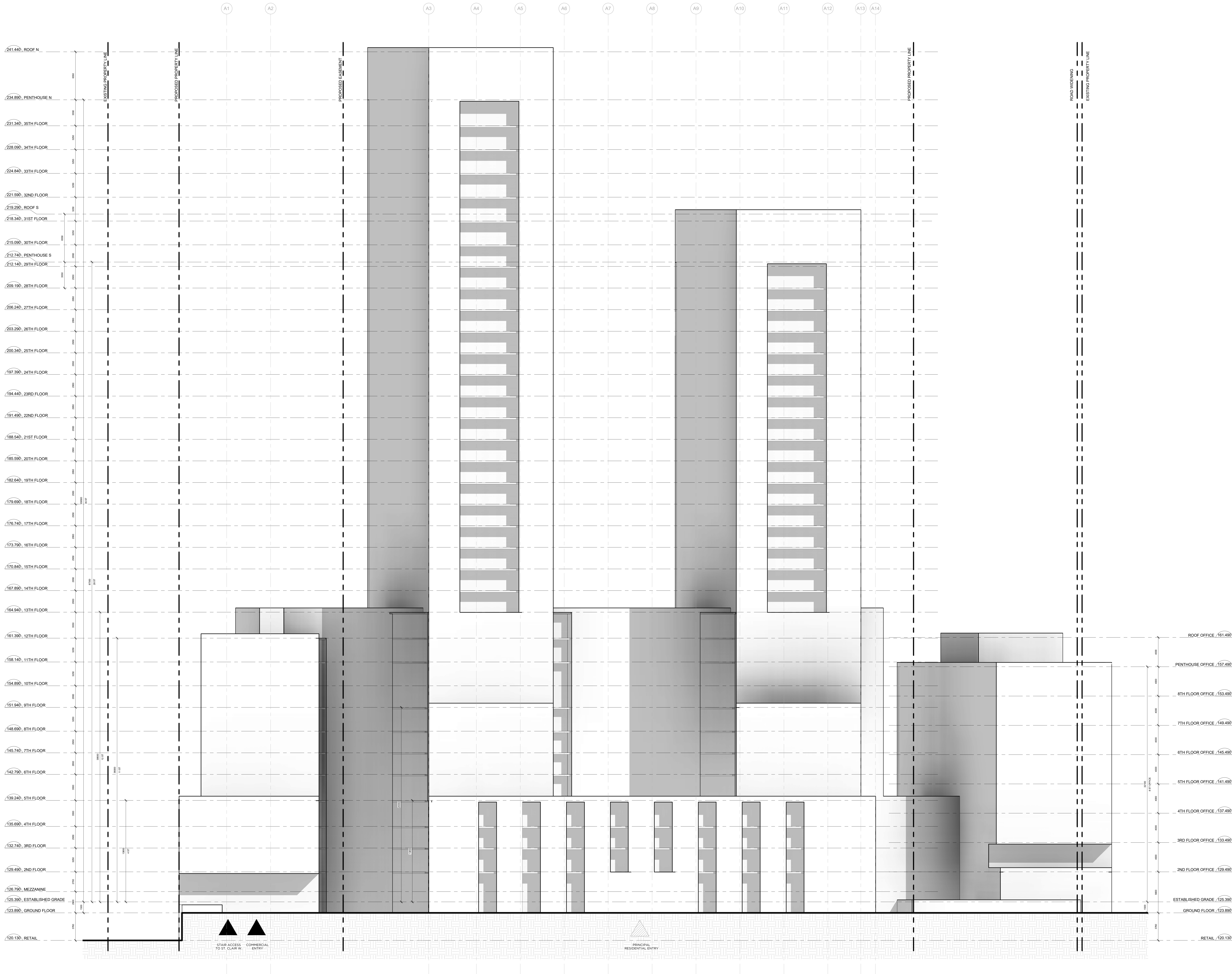
ISSUED RECORD
2024.03.20 66.60 FOR RETIREMENT

REVISION RECORD
No. Date Description

RAW
460-517 ADELAIDE STREET WEST
TORONTO CANADA M5V 1P9
416-598-9725
WWW.RAWDESIGN.CA

17065
6 Lloyd Avenue
JUNO RESIDENCES
CARLYLE COMMUNITIES
NORTH ELEVATION

SCALE: 1 : 150
A.402



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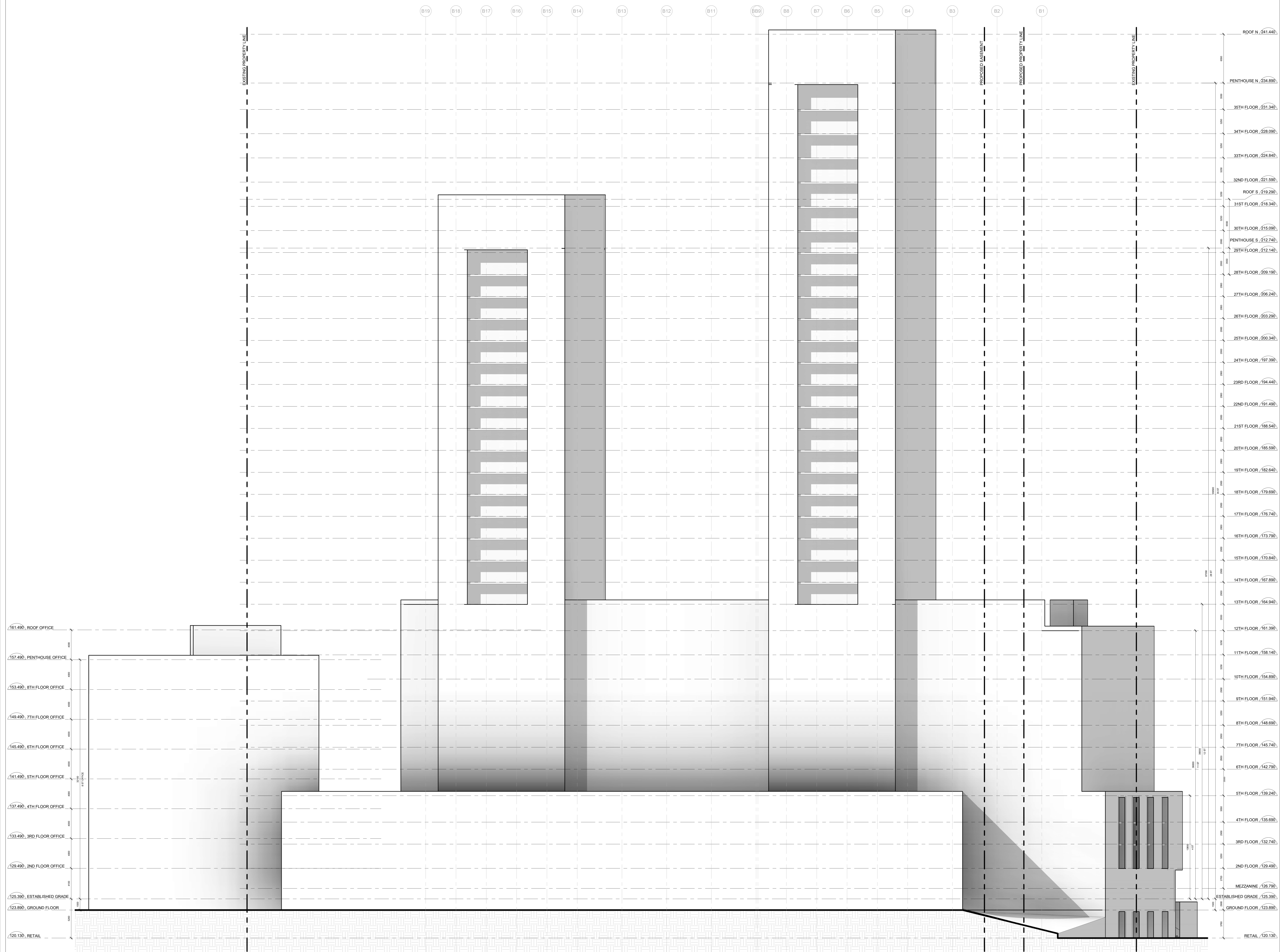
ISSUED RECORD
2024.03.20 09:00 FOR RETIREMENT

No.	Date	Description

RAW
460-37 ADELAIDE STREET WEST
TORONTO CANADA M5V 1P4
416-598-9725
WWW.RAWDESIGN.CA

17065
6 Lloyd Avenue
JUNO RESIDENCES
CARLYLE COMMUNITIES
WEST ELEVATION

SCALE: 1 : 150
A.403



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 CLARIFICATION PRIOR TO COMMENCING WORK.
 DRAWINGS ARE NOT VALID UNLESS SIGNED BY A REGISTERED
 ARCHITECT IN THE PROVINCE OF ONTARIO. THE ARCHITECT'S
 REGISTRATION SHALL GOVERN.

ISSUED RECORD
 2024.03.20 00:00 FOR RETITLEMENT

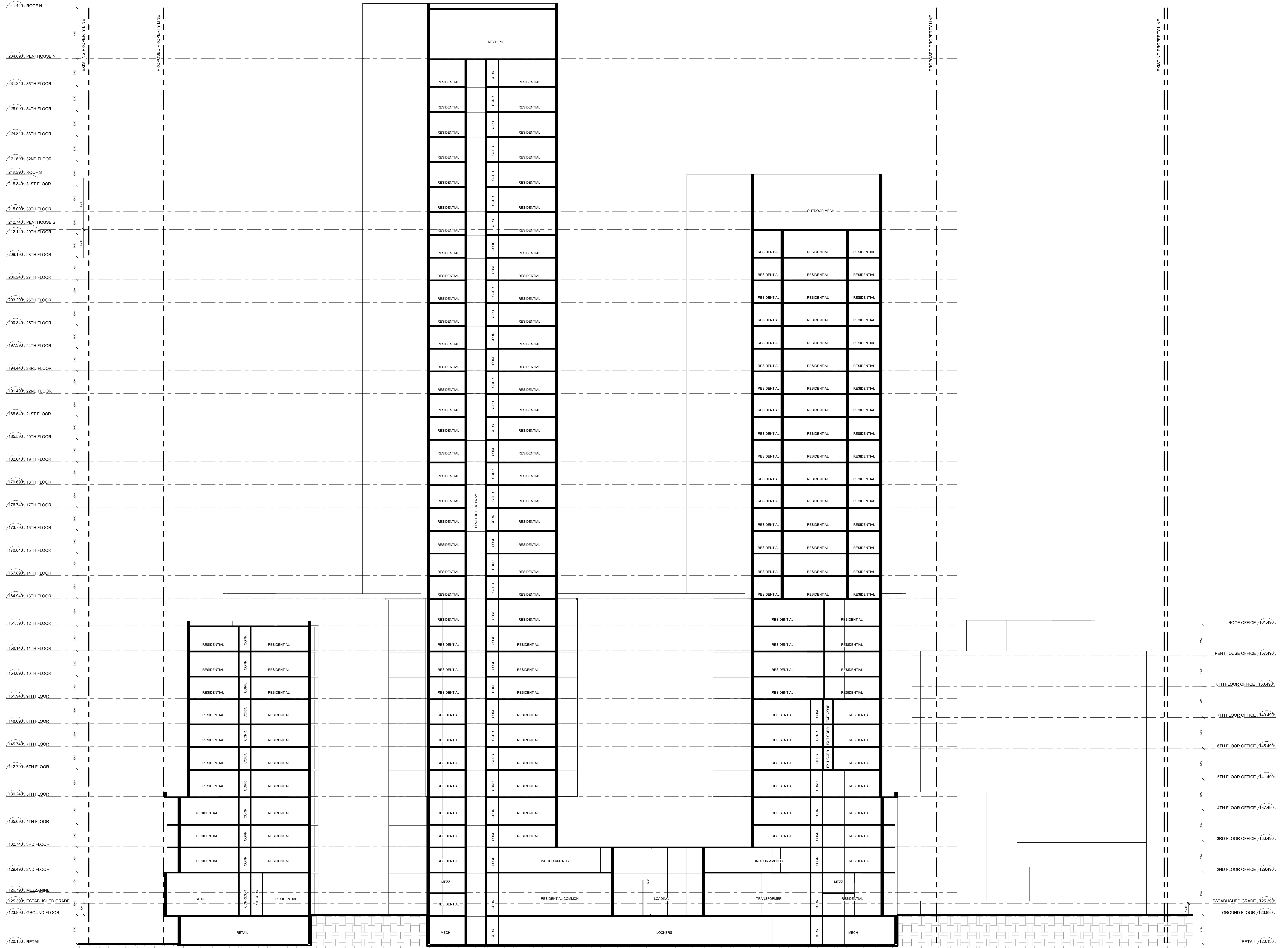
REVISION RECORD
 No. Date Description

RAW
 460-37 ADELAIDE STREET WEST
 TORONTO CANADA M5V 1P4
 416-598-9725
 WWW.RAWDESIGN.CA

17065
 6 Lloyd Avenue
 JUNO RESIDENCES
 CARLYLE COMMUNITIES
 EAST ELEVATION

SCALE: 1 : 150

A.404



241.440, ROOF H
 234.890, PENTHOUSE N
 231.340, 35TH FLOOR
 228.090, 34TH FLOOR
 224.840, 33TH FLOOR
 221.590, 32ND FLOOR
 219.290, ROOF S
 218.340, 31ST FLOOR
 215.090, 30TH FLOOR
 212.740, PENTHOUSE S
 212.140, 29TH FLOOR
 209.190, 28TH FLOOR
 206.240, 27TH FLOOR
 203.290, 26TH FLOOR
 200.340, 25TH FLOOR
 197.390, 24TH FLOOR
 194.440, 23RD FLOOR
 191.440, 22ND FLOOR
 188.540, 21ST FLOOR
 185.590, 20TH FLOOR
 182.640, 19TH FLOOR
 179.690, 18TH FLOOR
 176.740, 17TH FLOOR
 173.790, 16TH FLOOR
 170.840, 15TH FLOOR
 167.890, 14TH FLOOR
 164.940, 13TH FLOOR
 161.990, 12TH FLOOR
 158.140, 11TH FLOOR
 154.890, 10TH FLOOR
 151.940, 9TH FLOOR
 148.690, 8TH FLOOR
 145.740, 7TH FLOOR
 142.790, 6TH FLOOR
 139.240, 5TH FLOOR
 135.690, 4TH FLOOR
 132.740, 3RD FLOOR
 129.490, 2ND FLOOR
 126.790, MEZZANINE
 125.390, ESTABLISHED GRADE
 123.890, GROUND FLOOR
 120.130, RETAIL

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ISSUED RECORD
 2024.03.20 09:40 FOR RETIREMENT

REVISION RECORD
 No. Date Description

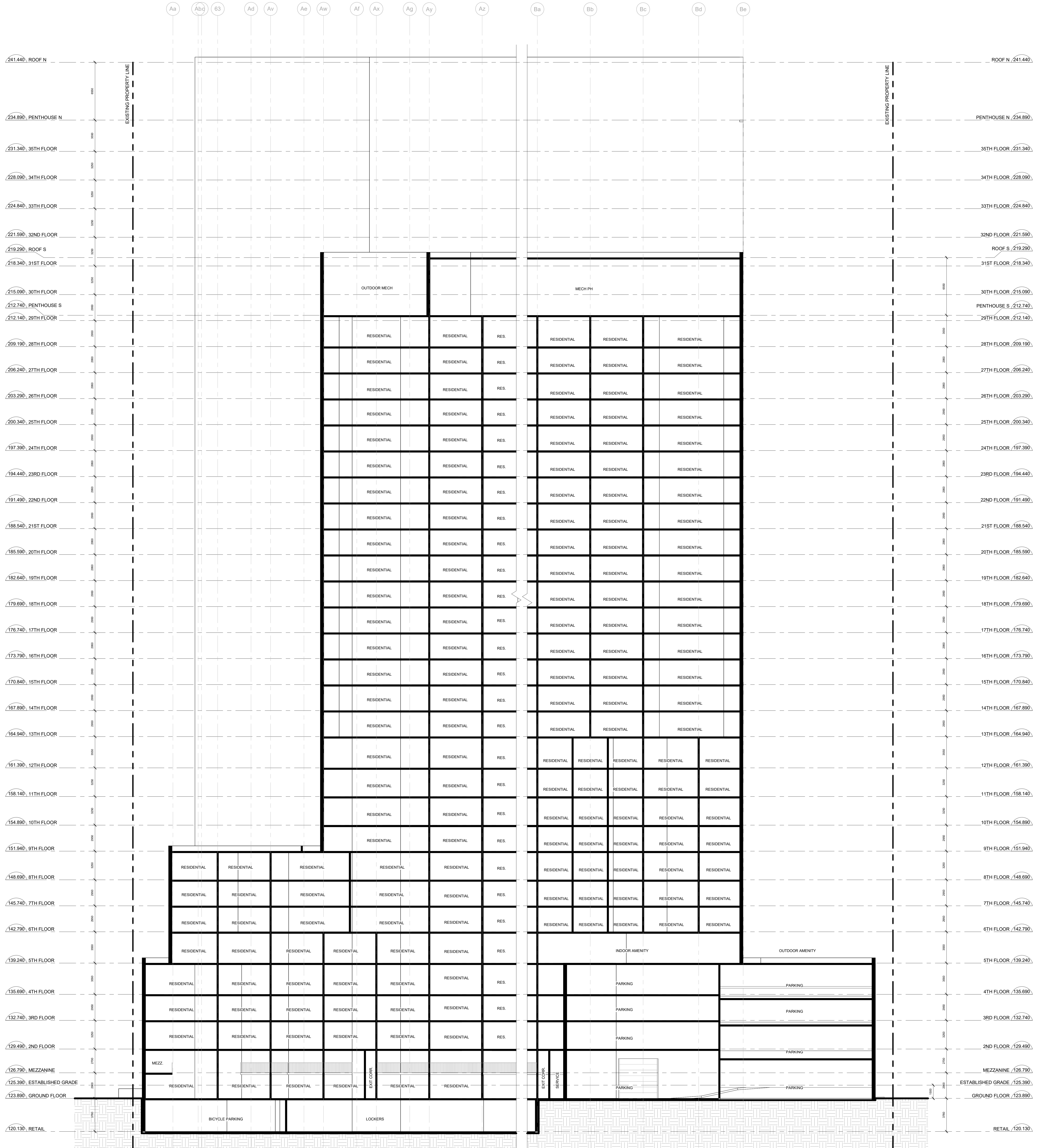


140-37 ADELAIDE STREET WEST
 TORONTO CANADA M5V 1P2
 416-598-9728
 WWW.RAWDESIGN.CA

17065
 6 Lloyd Avenue
 JUNO RESIDENCES
 CARLYLE COMMUNITIES BUILDING SECTIONS

SCALE: 1 : 150
A.501

1 N-S SECTION
 A.501 T.150



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ISSUED RECORD
 2024.03.20 00.00 FOR RETAILMENT

REVISION RECORD
 No. Date Description

RAW
 405-517 ADELAIDE STREET WEST
 TORONTO CANADA M5V 1P4
 416-598-9725
 WWW.RAWDESIGN.CA

17065
 6 Lloyd Avenue
 JUNO RESIDENCES
 CARLYLE COMMUNITIES
 BUILDING SECTIONS

SCALE: 1 : 150
A.502