



Barristers & Solicitors

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dbronskill@goodmans.ca

May 6, 2024

Our File No.: 231199

WITHOUT PREJUDICE

City of Toronto
Legal Services
26th Floor, 55 John Street
Metro Hall
Toronto, ON M5V 3C6

Attention: Sarah O'Connor

Dear Sirs/Mesdames:

**Re: Case No. OLT-23-000471 – Settlement Offer
295 Jarvis Street, City of Toronto**

As you know, we are solicitors for 295 Jarvis Inc., as general partner of and on behalf of 295 Jarvis LP, in respect of the property known municipally in the City of Toronto as 295 Jarvis Street (the “**Lands**”). We are writing on behalf of our client to provide a without prejudice settlement offer in respect of the above-noted matter, which should be considered as open until the conclusion of the City Council meeting scheduled to commence on May 22, 2024, unless otherwise indicated.

As you know, our client engaged in without prejudice mediation with City staff and two adjacent landowners over the last several months regarding the development proposal for the Lands. This resulted in a revised set of plans, prepared by Arcadis Architects Inc. and attached to this without prejudice settlement offer as Schedule “A” (the “**Revised Plans**”), which would enable and be accompanied by a proposed approach to housing as set out in the terms sheet attached hereto as Schedule “B” (the “**Housing Replacement Terms**”).

The terms of this without prejudice settlement offer are as follows:

1. The Revised Plans include a number of significant revisions, including the following:
 - a. The height of the tower has been reduced from sixty (60) storeys to thirty-six (36) storeys as a result of the Minister’s Zoning Order in Ontario Regulation 10/24, which resulted in a maximum metric height of 125.22 (inclusive of the mechanical penthouse). This height and sculpted mechanical penthouse has also resulted in decreased shadow impacts on the conservatory buildings and significant permanent structures (planned and/or existing) in Allen Gardens on December 21st. Roof

projections will be minimized to address shadow impacts, which will be detailed in the zoning by-law diagram.

- b. Replacement rental units have been added to the 4th, 5th and 6th floors, comprising approximately 1,270.00 square metres of gross floor area. These units are all designed as bachelor units accessed through the main lobby, with full access to the building amenities and in accordance with the Housing Replacement Terms.
 - c. The tower floor plate is 919 square metres based on a 3.5 metre setback on the west and a 3.0-metre cantilever over the property to the south (which shall be reflected in a revised Zoning By-law Amendment Application). This cantilever is enabled by an agreement with Toronto Community Housing (TCHC), which will be considered by the TCHC at its Board meeting on April 22, 2024 and City Council at its meeting scheduled to commence on May 22, 2024. (An agreement has also been reached with the landowner to the north, including a limiting distance agreement.) The limiting distance areas are set out in Schedule “C” to this without prejudice offer.
 - d. The podium has been redesigned to enhance compatibility with adjacent buildings, the heritage attributes of the adjacent property, and the adjacent heritage buildings, and improve the pedestrian experience at-grade, including increased lower level setbacks and upper level cantilevers.
2. The City and our client would seek approval of an official plan amendment to achieve a revised block plan for adjacent lands, substantially accordance with the draft official plan amendment attached hereto as Schedule “D” (the “**Draft OPA**”). The Draft OPA would amend site and area specific policy 461 by adjusting the boundary between the Hazelburn Character Area and the North George Street Character Area and adjusting the area where two towers are permitted on the property to the north of the Lands. The Draft OPA would also add a site-specific policy excepting the Lands from the shadow protection policies at specific times on December 21.
3. The Housing Replacement Terms, which would be secured in an appropriate agreement with the City and are generally consistent with Official Plan Amendment No. 453 (“**OPA 453**”). Replacement policies securing the replacement of the gross floor area of the dwelling rooms proposed for demolition will be included in the site specific OPA on the understanding that the replacement housing to a limit of 4% of the land value will be determined to be an in-kind contribution under Section 37 of the *Planning Act*, with any additional replacement housing being provided in order to conform with Official Plan policy.
4. Our client agrees to address detailed matters related to the hospital flight path as conditions of site plan approval. In particular:

- a. As a condition of Site Plan Approval, and prior to the issuance of any foundation permit, the Owner shall submit a Crane and Construction Structures Plan, to the satisfaction of the City in consultation with the Hospital for Sick Children, demonstrating that any person, equipment or structure use in conjunction with the construction of the development will conform to applicable requirements, including Zoning By-law 1432-2017 and Zoning Order 10/24, as these instruments may be amended and/or replaced;
 - b. As a condition of Site Plan Approval and prior to the issuance of any foundation permit, the Owner shall provide an updated Aeronautical Impact Assessment (AIA) to the satisfaction of the Chief Planner and Executive Director, City Planning to ensure that the building height and projections of the development conform to applicable requirements, including Zoning By-law 1432-2017 and Zoning Order 10/24, as these instruments may be amended and/or replaced, such that sufficient clearance of the flight path is provided on rooftops, including without limitation during construction; for clarity, an updated AIA will be required prior to the issuance of any building permit;
 - c. As a condition of Site Plan Approval, and prior to the issuance of any foundation permit, the Owner shall demonstrate that the Owner has entered into an agreement with the Hospital for Sick Children to secure compliance with the Crane and Construction Structures Plan; and,
 - d. As a condition of Site Plan Approval, and prior to the issuance of any foundation permit, the Owner shall submit an Obstacle Marking and Lighting Plan to the Hospital for Sick Children for review and approval.
5. Our client agrees that, in the event City Council accepts this without prejudice settlement offer, the final order of the Ontario Land Tribunal would be withheld, pending completion of the following, with the Ontario Land Tribunal available to be spoken to in the event that an issue arises as a result of completion of these pre-conditions:
 - a. the proposed official plan amendment and zoning by-law amendment(s) are in a final form and content satisfactory to the City Solicitor and Chief Planner and Executive Director, City Planning;
 - b. the owner has entered into Limiting Distance Agreements with the City, and the owners of the properties to the north, east and south of the Lands, to the satisfaction of the City Solicitor and Chief Planner and Executive Director, City Planning;
 - c. the Owner has provided confirmation of water, sanitary and stormwater capacity to the satisfaction of the Chief Engineer and Executive Director, Engineering and Construction Services;

- d. the Owner has entered into a legal agreement binding the owner and successor owners to secure all rental housing related matters, including replacement of existing dwelling rooms and an acceptable Tenant Relocation and Assistance Plan in accordance with the Housing Replacement Terms, in a form satisfactory to the City Solicitor and Chief Planner and Executive Director, City Planning;
- e. the Owner has provided an AIA to the satisfaction of the Chief Planner and Executive Director, City Planning to ensure that the building height and projections of the development conform to applicable requirements, including Zoning By-law 1432-2017 and Zoning Order 10/24, as these instruments may be amended and/or replaced, such that sufficient clearance of the flight path is provided on rooftops, including during construction;
- f. the Owner has provided confirmation that the development will be constructed and maintained in accordance with Tier 1, Toronto Green Standard, and the owner will be encouraged to achieve Tier 2, Toronto Green Standard, or higher, where appropriate, consistent with the performance standards of Toronto Green Standards applicable at the time of the Site Plan Control application
- g. the Owner has provided an updated wind study to the satisfaction of the Chief Planner and Executive Director, City Planning; and,
- h. the Owner has provided the City and the Ontario Land Tribunal with a withdrawal letter respecting the appeal of OPA 453, and the party status in OPA 82.

As noted above, this without prejudice settlement offer will remain open until the end of the City Council meeting scheduled to commence on May 22, 2024, unless otherwise indicated, at which point it should be considered as withdrawn if not accepted by City Council.

Yours truly,

Goodmans LLP



David Bronskill
DJB/

SCHEDULE A
REVISED PLANS

WITHOUT PREJUDICE REZONING PLANS

APRIL 1st, 2024

<div>295 JARVIS STREET</div> <div>ZONING APPLICATION</div>	
A000	DRAWING LIST AND ARCHITECTURAL VISUALISATION
A001	SITE STATISTICS, CONTEXT PLAN
A002	SITE SURVEY
A100	SITE PLAN
A151	P2 FLOOR PLAN
A150	P1 FLOOR PLAN
A101	GROUND FLOOR PLAN
A102	MEZZANINE PLAN
A103	2ND FLOOR PLAN
A104	3RD FLOOR PLAN
A105	4TH FLOOR PLAN
A106	5TH FLOOR PLAN
A107	6TH FLOOR PLAN
A108	LOWER TYPICAL FLOORS 7-27
A109	UPPER TYPICAL FLOORS 28-36
A110	MPH
A111	ROOF PLAN
A200	SOUTH & WEST ELEVATIONS
A201	NORTH & EAST ELEVATIONS
A300	SECTIONS

CLIENT

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Arcadis Architects (Canada) Inc.

ISSUES

No.	DESCRIPTION	DATE
1	ZBA/SPA/OPA SUBMISSION-1	2022/11/11
2	ZBA/SPA/OPA RESUBMISSION	2023/07/27
3	WITHOUT PREJUDICE ZBA SUBMISSION	2023/12/04

KEY PLAN

CONSULTANTS

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55 St. Clair Avenue West,
Toronto, ON M4V 2Y7, Canada
tel 416 596 1930
www.arcadis.com

PROJECT

295 JARVIS STREET

PROJECT NO:
142481

DRAWN BY:

PROJECT MGR:

SHEET TITLE

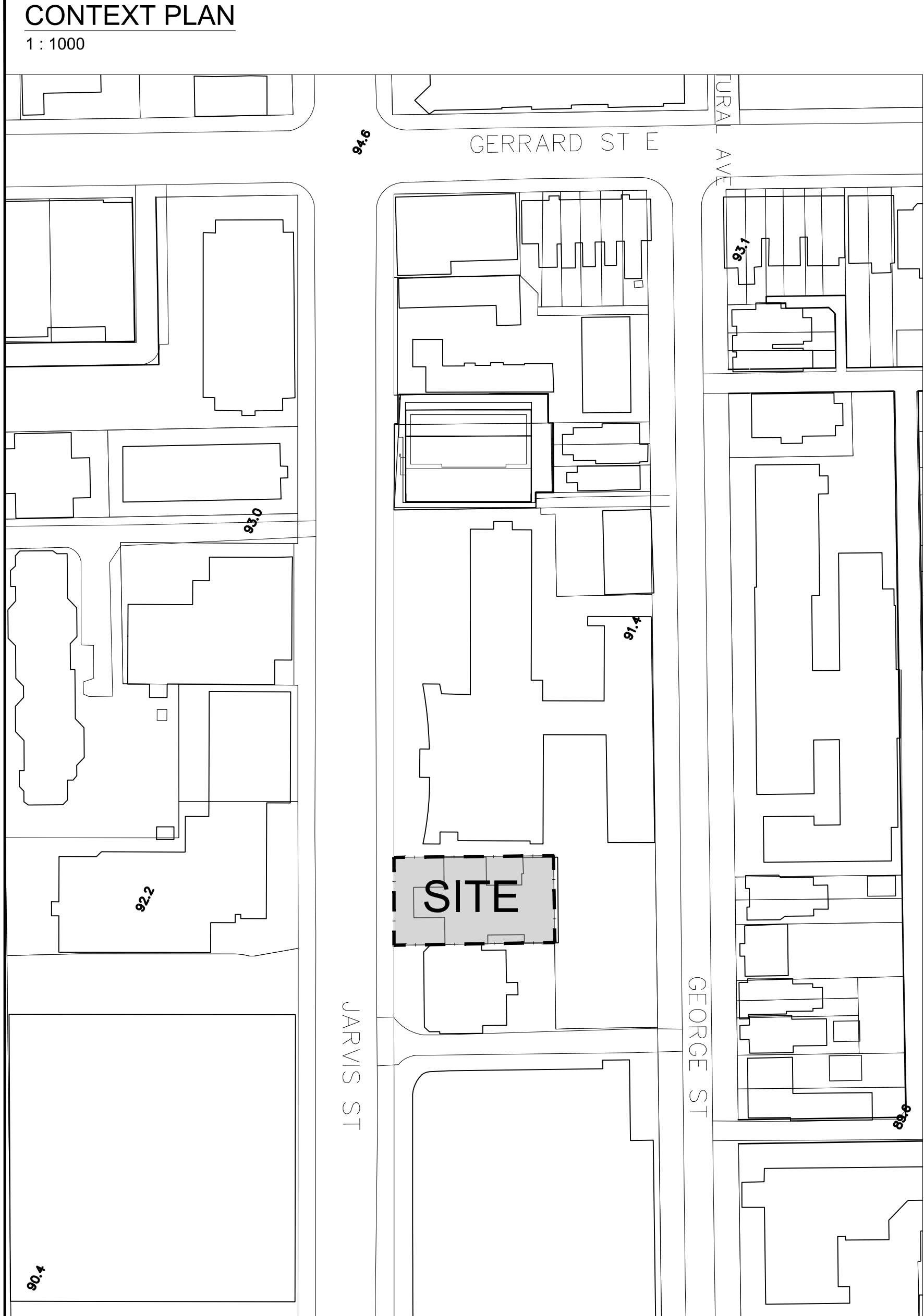
VISUALIZATION AND
DRAWING LIST

SHEET NUMBER

A000

SCALE	N/A
DATE	2024-04-01

1 in



PROJECT STATISTICS

SITE STATISTICS - 295 JARVIS 2024-04-01		
MUNICIPAL ADDRESS	295 JARVIS STREET	
	TORONTO, ONTARIO	
PROPOSED USE	36 STOREY RESIDENTIAL BUILDING	
GROSS SITE AREA	911.4 m²	
BUILDING HEIGHT		
STOREYS	36	
METERS (TOP OF LAST RES. FLOOR)	117.72 m	
METRES (INCL. MPH ROOF)	125.22 m	
GFA TOTALS 569-2013		
GFA RESIDENTIAL	30,346 m²	
FSI	33.30	
UNIT BREAKDOWN		
	TOTAL = 381 SUITES	
STUDIO	21	6%
1B	60	16%
1B+D	201	54%
2B	60	15%
3B	39	10%
TOTAL UNITS	381	100.0%
* 15% of the total residential units to be convertible		
UNIT BREAKDOWN (RENTAL REPLACEMENT STUDIOS)		
FLOOR 4	3	
FLOOR 5	14	
FLOOR 6	16	
TOTAL UNITS	33	
OVERALL UNIT COUNT	414	
RESIDENTIAL AMENITY		
INDOOR	1.5 sm/unit	621 m²
OUTDOOR	1.0 sm/unit	414 m²
AMENITY TOTAL	1,035 m²	
VEHICULAR PARKING	REQUIRED	PROVIDED
RESIDENTIAL PARKING	0 SPACES (MIN)	0 SPACES
VISITOR PARKING	6 SPACES (MIN)	6 SPACES
TOTAL	6 SPACES	6 SPACES
* Vehicle stackers will be operated by valet personnel, therefore accessibility stalls are not required.		
EV PARKING	REQUIRED	PROVIDED
RESIDENTIAL PARKING	0 SPACES (MIN)	0 SPACES
VISITOR PARKING	2 SPACES (25%)	2 SPACES
TOTAL	N/A	2 SPACES
* These stalls are included in the overall totals above		
BICYCLE PARKING	REQUIRED	PROVIDED
RESIDENTIAL LONG-TERM	373 (0.9 SPACES/SUITE)	373 SPACES
RESIDENTIAL SHORT-TERM	83 (0.2 SPACES/SUITE)	83 SPACES
ADDITIONAL SHORT TERM REQUIRED	10 SPACES	10 SPACES
TOTAL	466 SPACES	466 SPACES
E-BIKE INFRASTRUCTURE (120V OUTLET)	REQUIRED	PROVIDED
RESIDENTIAL LONG-TERM	56 (15% OF TOTAL STALLS)	56 SPACES
TOTAL	56 SPACES	56 SPACES
* These stalls are included in the overall totals above		
LOADING		
PROVIDED	1 x TYPE "G" (L13m, W4m, H6.1m)	
WASTE MANAGEMENT	UNITS	AREA
25 SM FOR 50 UNITS	50	25 m²
13 SM EACH ADDITIONAL 50 UNITS	364	95 m²
TOTAL	414	120 m²
GARBAGE BINS	REQUIRED	PROVIDED
GARBAGE BINS	9	9
RECYCLING	12	12
ORGANICS	5	5
TOTAL	26	26

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3	WITHOUT PREJUDICE ZBA SUBMISSION	2023/12/04

KEY PLAN

CONSULTANTS

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tel 416 596 1930
www.arcadis.com

PROJECT

295 JARVIS STREET

PROJECT NO:
142481

DRAWN BY:

CHECKED BY:

PROJECT MGR:

APPROVED BY:

SHEET TITLE

CONTEXT AND STATISTICS

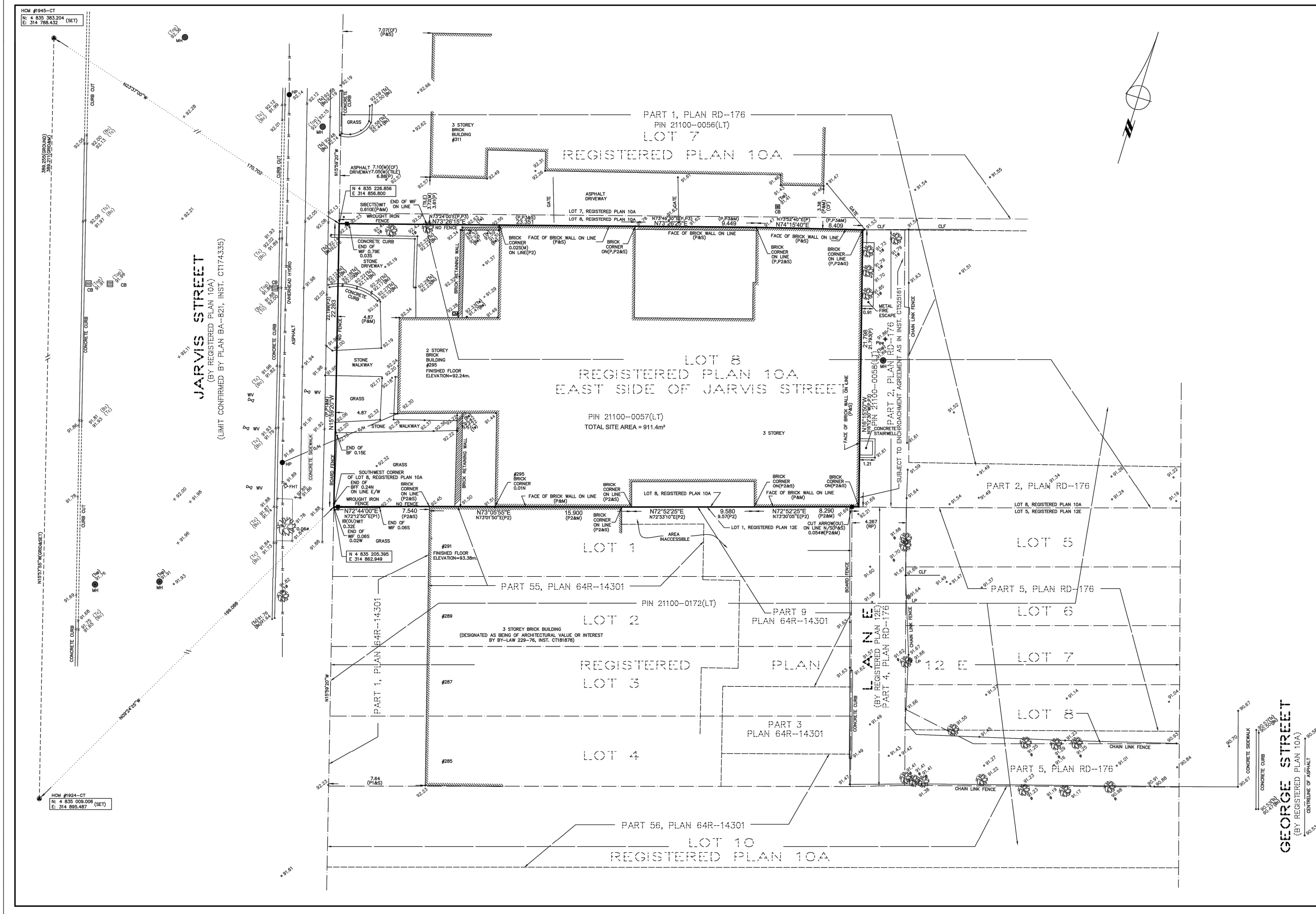
SCALE
N/A

DATE
2024-04-01

SHEET NUMBER

A001

ISSUE



BOUNDARY AND TOPOGRAPHIC SURVEY OF
PART OF LOT 8
REGISTERED PLAN 10A
EAST SIDE OF JARVIS STREET
CITY OF TORONTO
SCALE 1:150

KRCMAR SURVEYORS LTD. 2005

METRIC : DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

GRID
BEARINGS SHOWN HEREON ARE GRID BEARINGS AND ARE DERIVED FROM
HORIZONTAL CONTROL MONUMENTS No. 1924-CT AND No. 1945-CT ARE
REFERRED TO THE ONTARIO CO-ORDINATE SYSTEM UTM ZONE 18, CENTRAL
MERIDIAN 79°30' WEST LONGITUDE.

HCM #1924-CT
N: 4 835 009.006
E: 314 885.487

HCM #1945-CT
N: 4 835 383.204
E: 314 788.432

DISTANCES SHOWN HEREON ARE ADJUSTED GROUND DISTANCES AND CAN
BE CONVERTED TO GRID DISTANCES BY A SCALE FACTOR OF 0.999887.

BENCHMARK
ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE RELATED
TO CITY OF TORONTO BENCH MARK No. CT 781 HAVING AN
ELEVATION OF 95.467 METRES.

LEGEND

- DENOTES SURVEY MONUMENT FOUND
- DENOTES SURVEY MONUMENT PLANTED
- SB DENOTES STANDARD IRON BAR
- IB DENOTES IRON BAR
- (M) DENOTES MEASURED
- (S) DENOTES SET
- (OU) DENOTES ORIGIN UNKNOWN
- (WT) DENOTES WITNESS
- (RP) DENOTES REGISTERED PLAN 12E
- (P) DENOTES PLAN RD-176
- (P1) DENOTES PLAN BA-821
- (P2) DENOTES PLAN 64R-14301
- (P3) DENOTES PLAN OF SURVEY BY C. REIBEN, O.L.S.
DATED JANUARY 15, 1980.
- (CTS) DENOTES CITY OF TORONTO SURVEYORS
- BF DENOTES BOARD FENCE
- WF DENOTES WROUGHT IRON FENCE
- (TC) DENOTES TOP OF CURB
- (BC) DENOTES BOTTOM OF CURB
- (TW) DENOTES TOP OF WALL
- (BW) DENOTES BOTTOM OF WALL
- DENOTES HYDRO SERVICE (OVERHEAD)
- DENOTES EXISTING GRADE ELEVATION
- DENOTES CATCH BASIN
- DENOTES DEODUCOUS TREE WITH TRUNK DIAMETER
- DENOTES FIRE HYDRANT
- DENOTES GAS METER
- DENOTES HORIZONTAL CONTROL MONUMENT
- DENOTES HYDRO HAND WELL
- DENOTES HYDRO POLE
- DENOTES LAMP STANDARD
- DENOTES MANHOLE
- DENOTES PIPE

UPDATE NOTE
TOPOGRAPHY ADDED ALONG JARVIS
STREET ON OCTOBER 16, 2022

SURVEYOR'S CERTIFICATE

- I CERTIFY THAT
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH
THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT
AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 17th DAY OF AUGUST, 2016

DATE AUGUST 22, 2016

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this plan, in whole or in part, is strictly prohibited.

FIELD: S.M. | DRAWN: S.D. | CHECKED: V.K. | JOB NO: 05-231
DWG NAME: 05-2318702 | PLOT INFO: 10/01/22/AUG/2016 | WORK ORDER NO: 19024
1137 Centre Street, Thornhill, ON L4J 9M6 | 905.738.0053 | F 905.738.9221 | www.krcmar.ca

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1	ZBA/SPA/OPA SUBMISSION-1	2022/11/11
2	ZBA/SPA/OPA RESUBMISSION	2023/07/27
3	WITHOUT PREJUDICE ZBA SUBMISSION	2023/12/04

KEY PLAN

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ARCADIS

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PROJECT

PROJECT NO:
142461

DRAWN BY:

CHECKED BY:

PROJECT MGR:

APPROVED BY:

SHEET TITLE

SURVEY

SCALE

1:200

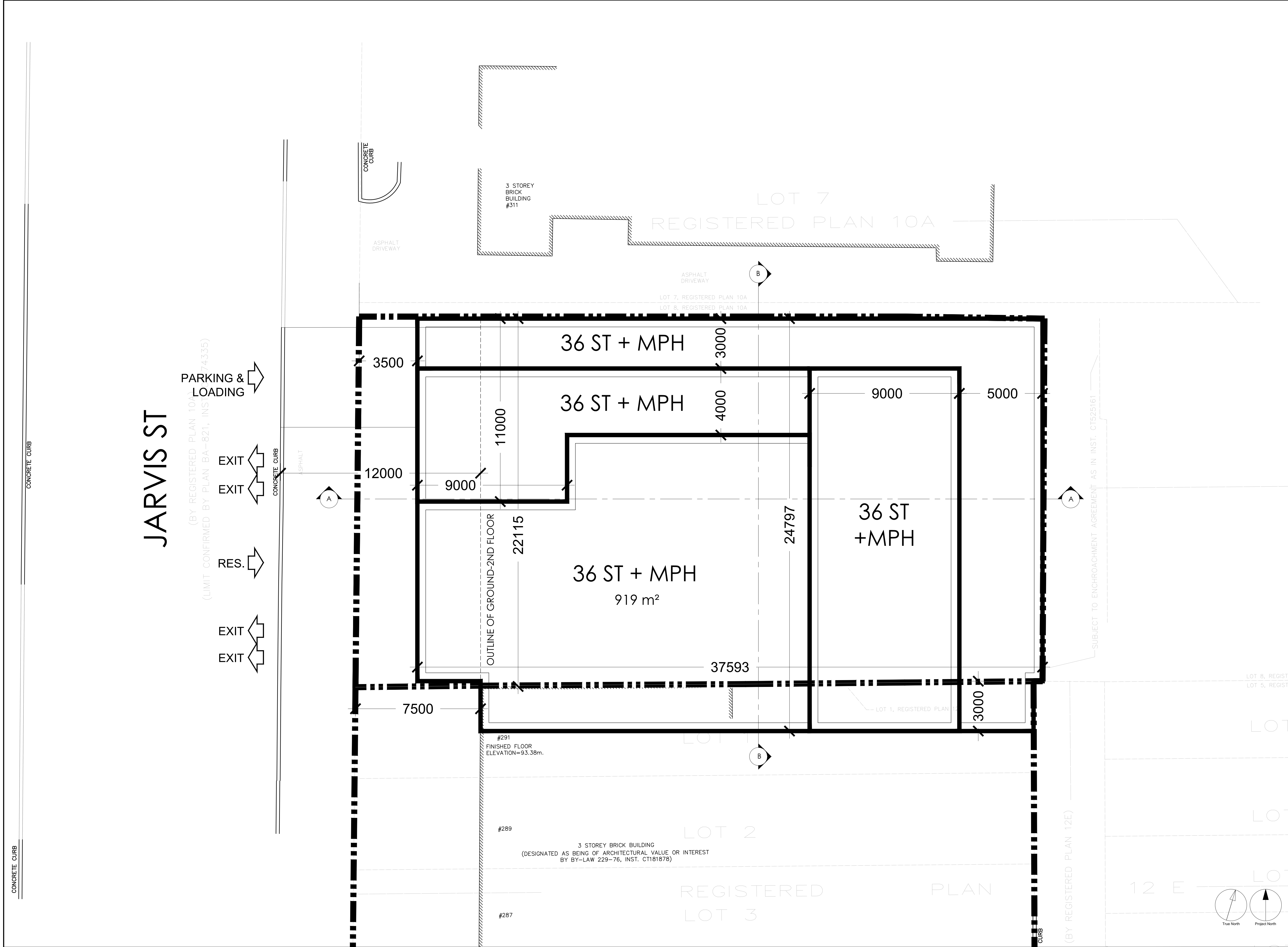
DATE

2024-04-01

SHEET NUMBER

A002

ISSUE



CLIENT		
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ISSUES		
No.	DESCRIPTION	DATE
1	ZBA/SPA/OPA SUBMISSION-1	2022/11/11
2	ZBA/SPA/OPA RESUBMISSION	2023/07/27
3	WITHOUT PREJUDICE ZBA SUBMISSION	2023/12/04
KEY PLAN		
CONSULTANTS		
SEAL		
WITHOUT PREJUDICE & CONFIDENTIAL		
PROJECT		
295 JARVIS STREET		
PROJECT NO: 142461		
DRAWN BY:	CHECKED BY:	
PROJECT MGR:	APPROVED BY:	
SHEET TITLE		SCALE 1:100
SITE PLAN		DATE 2024-04-01
SHEET NUMBER		ISSUE
A100		

BIKE PARKING - LEGEND

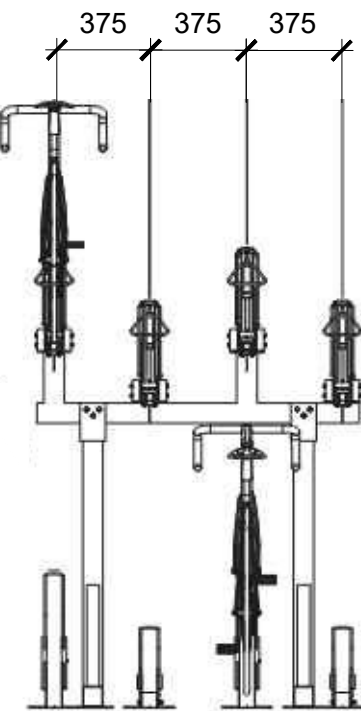
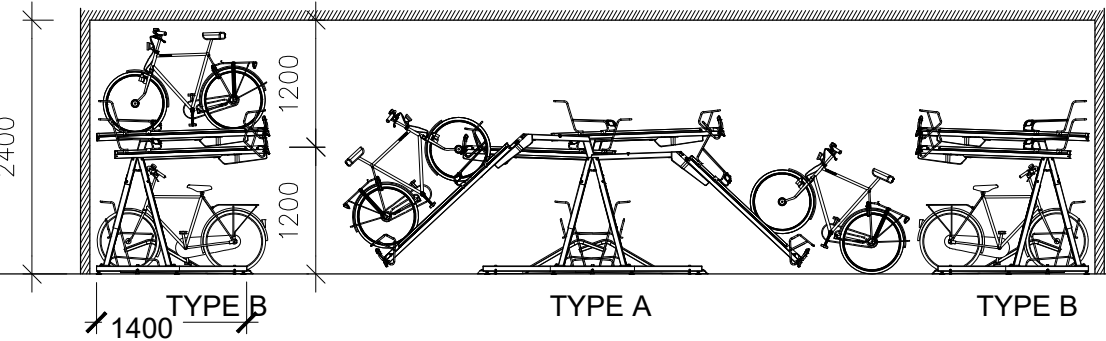
VERTICAL BIKE STALLS
(600 W x 1200 L x 1900 H)

BIKE STACKERS
(375 W, 1400 L, 1200 H)

HORIZONTAL BIKE STALLS
(600 W x 1800 L x 1900 H)

E-BIKE SPACES WILL BE EQUIPPED
WITH A 120V ENERGIZED OUTLET

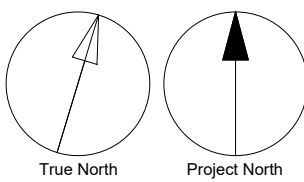
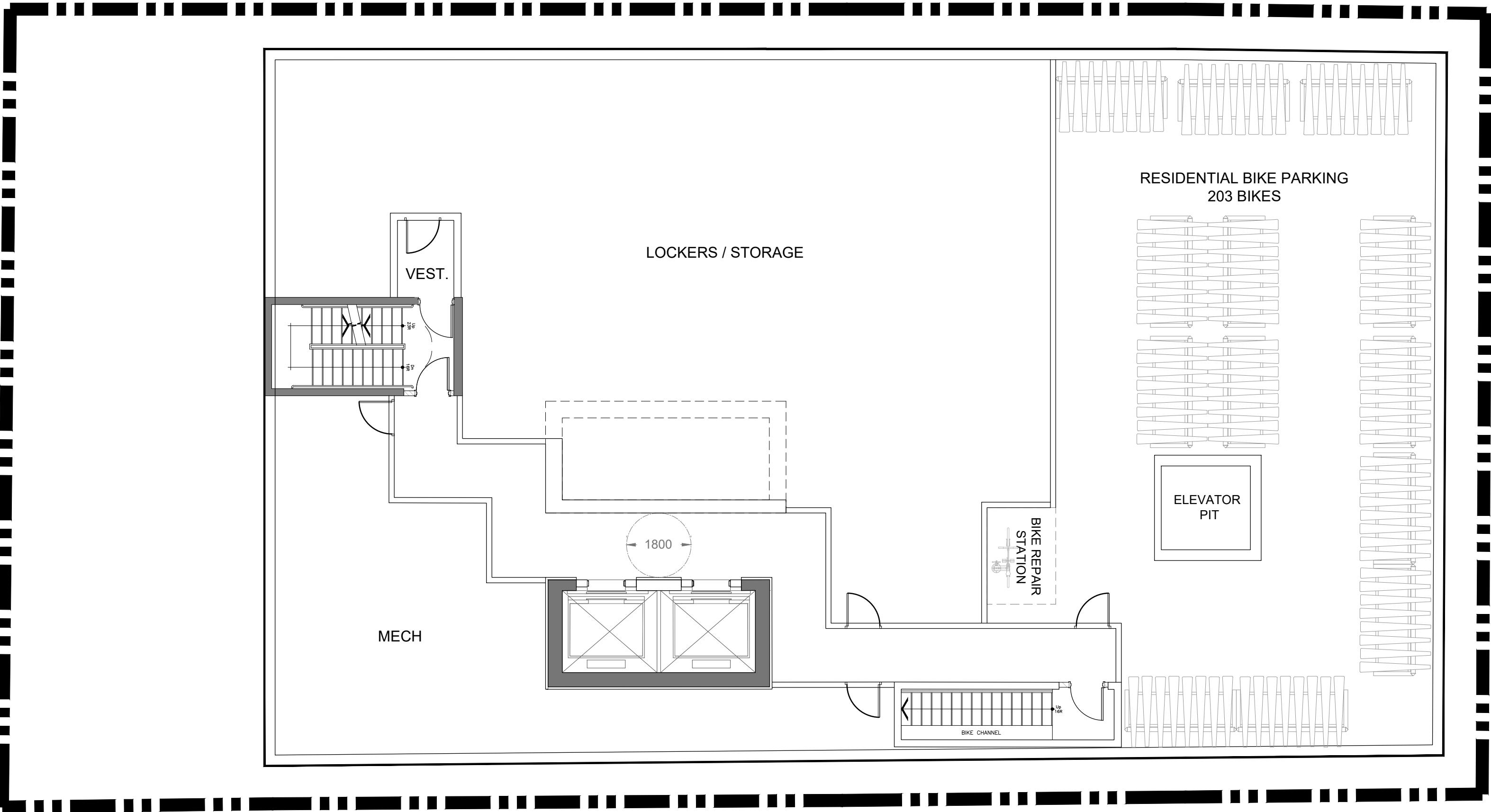
BIKE STACKER SECTION (TYPICAL)



JARVIS ST

BICYCLE PARKING COUNT

	LONG-TERM	SHORT-TERM	TOTAL
P2	203	0	203
P1	170	83	253
GROUND	0	10	10
TOTAL	373	93	466



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PROJECT

295 JARVIS STREET

PROJECT NO:
142481

DRAWN BY:CHECKED BY:

PROJECT MGR:APPROVED BY:

SHEET TITLE
P2 LEVEL

SCALE
1:100

DATE
2024-04-24

SHEET NUMBER
A151

ISSUE

BIKE PARKING - LEGEND

VERTICAL BIKE STALLS
(600 W x 1200 L x 1900 H)

BIKE STACKERS
(375 W, 1400 L, 1200 H)

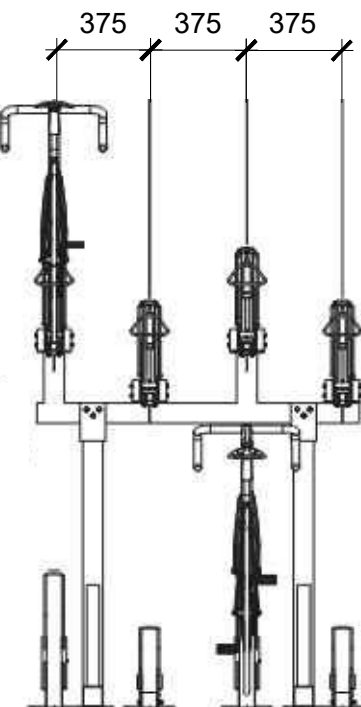
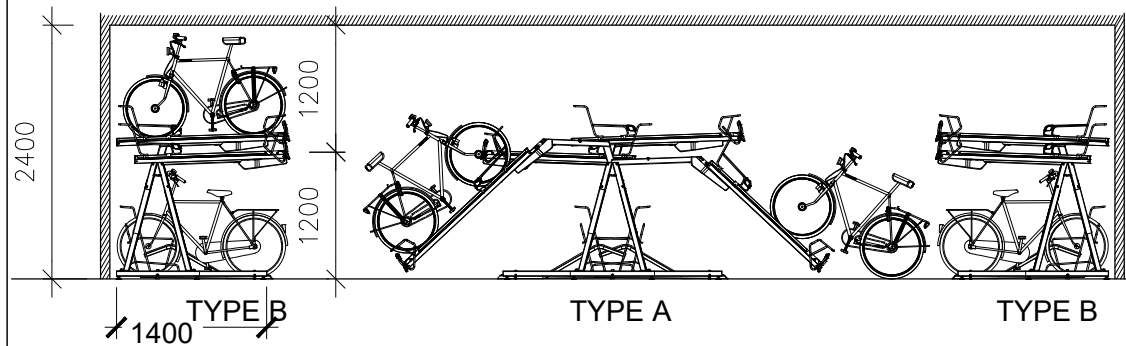
HORIZONTAL BIKE STALLS
(600 W x 1800 L x 1900 H)

E-BIKE SPACES WILL BE EQUIPPED
WITH A 120V ENERGIZED OUTLET

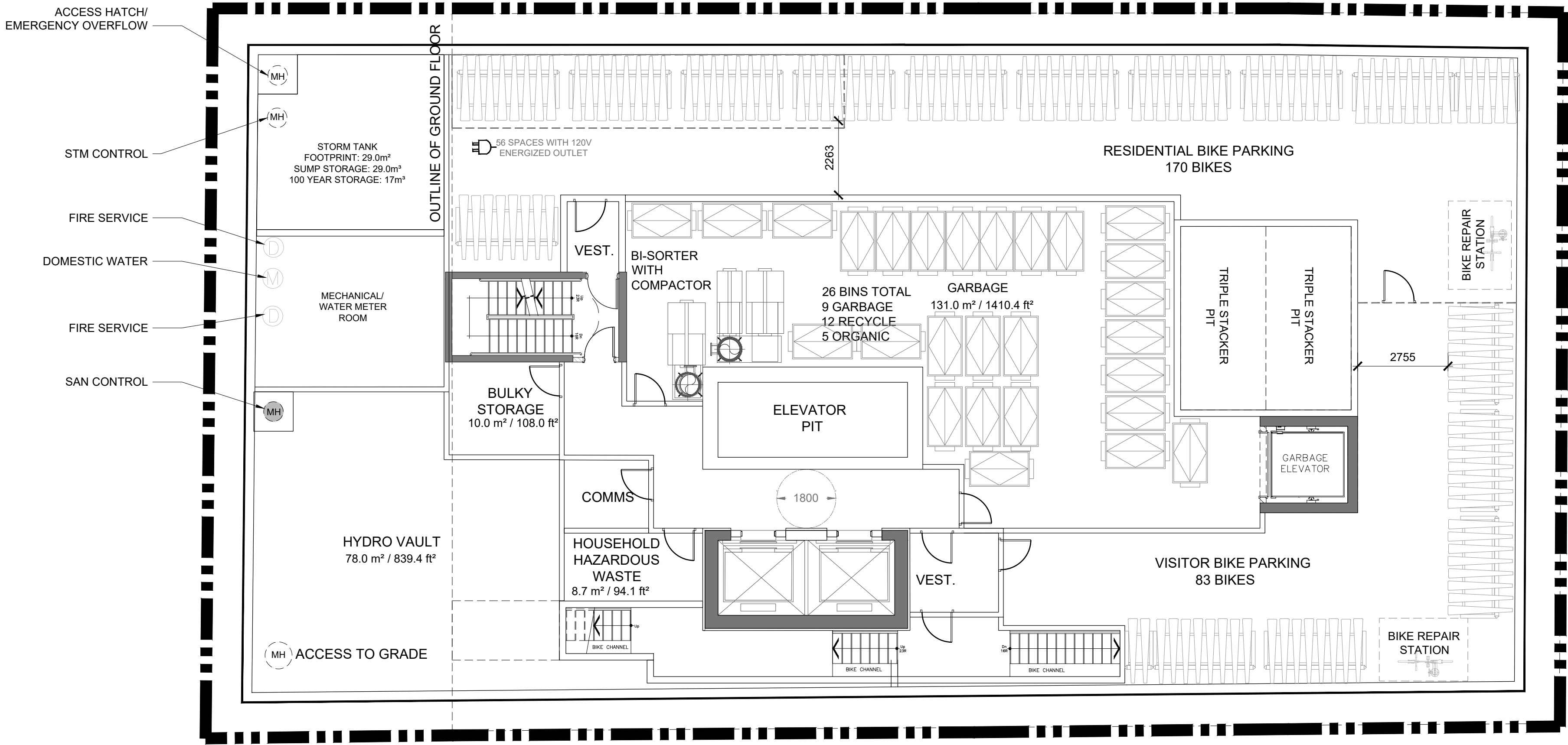
BICYCLE PARKING COUNT

	LONG-TERM	SHORT-TERM	TOTAL
P2	203	0	203
P1	170	83	253
GROUND	0	10	10
TOTAL	373	93	466

BIKE STACKER SECTION (TYPICAL)



JARVIS ST



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PROJECT

295 JARVIS STREET

PROJECT NO:
142481

DRAWN BY:

CHECKED BY:

PROJECT MGR:

APPROVED BY:

SHEET TITLE

P1 LEVEL

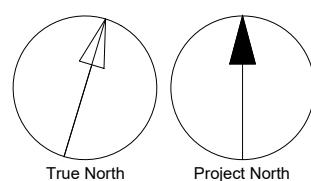
SCALE
1:100

DATE
2024-04-24

SHEET NUMBER

A150

ISSUE



SCALE CHECK
1"=10'

JARVIS ST

(BY REGISTERED PLAN 10A)

(LIMIT CONFIRMED BY PLAN BA-821, INST. CT174335)

PARKING & LOADING

EXIT
EXIT

FIRE DEPARTMENT CONNECTION

RES.

EXIT

EXIT

EXIT

EXIT

EXIT

EXIT

EXIT

EXIT

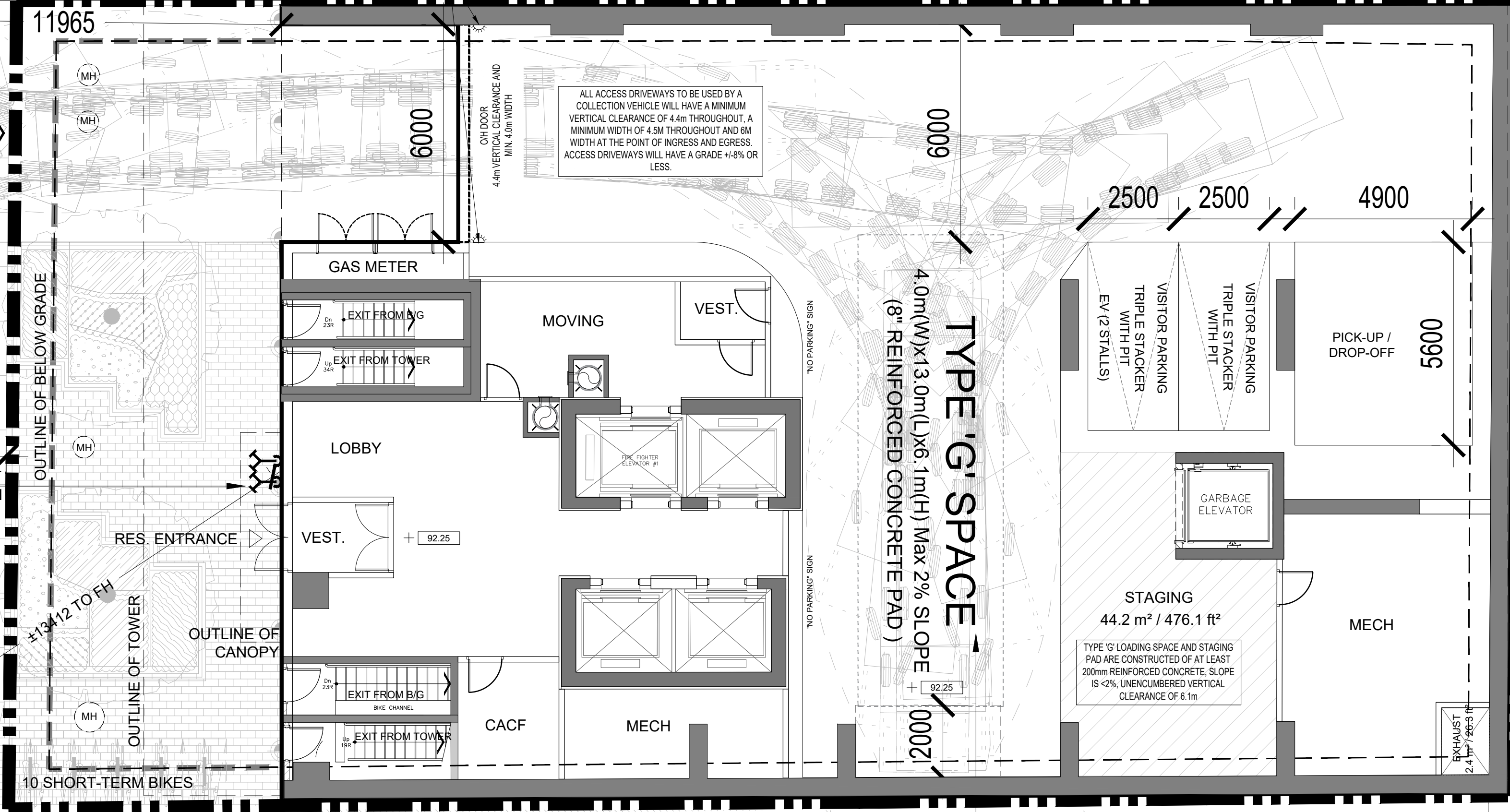
EXIT

EXIT

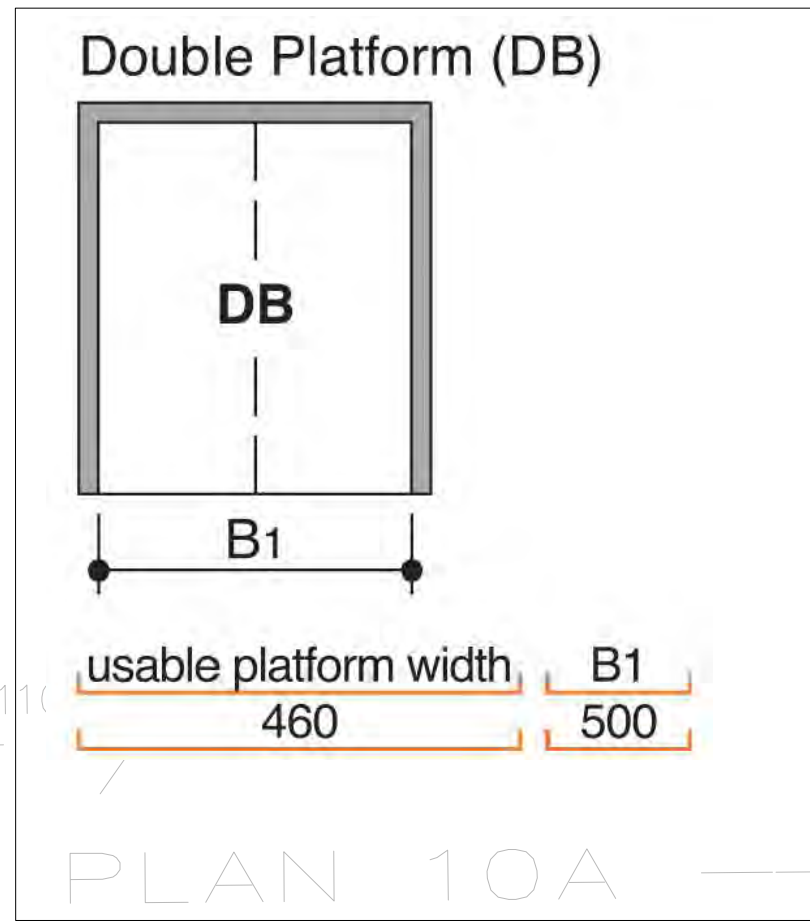
EXIT

EXIT

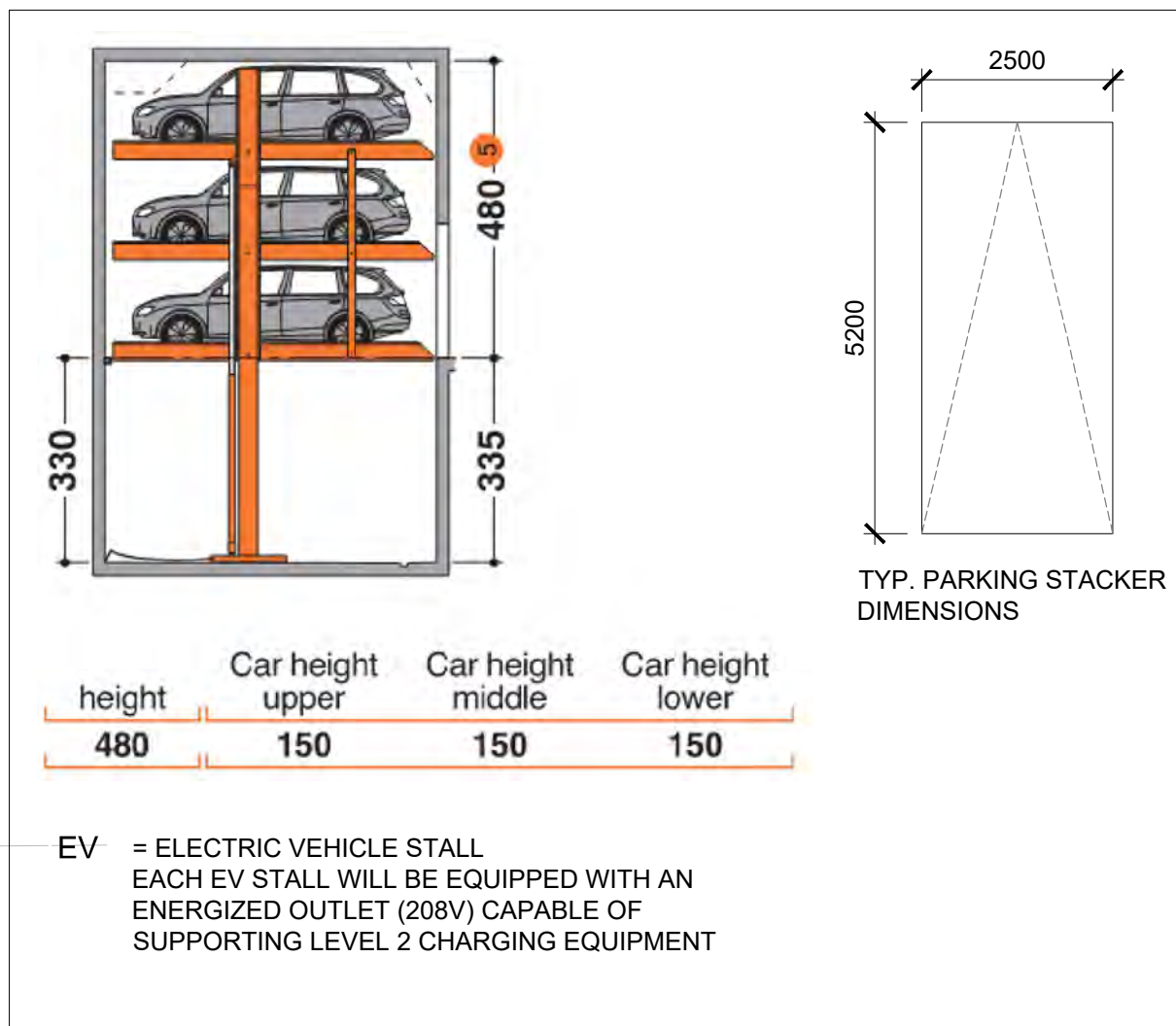
EXIT



PARKING STACKER DETAIL PLAN



PARKING STACKER DETAIL SECTION



- GENERAL NOTES:**
- FOR LANDSCAPE DETAILS REFER DRAWINGS L100-L110, L200-L201, L300-304 PREPARED BY LAND ART DESIGN LANDSCAPE ARCHITECTS
 - FOR SITE SERVICING REFER TO SITE SERVICING PLAN PREPARED BY WSP
 - FOR TRUCK TURNING MOVEMENTS REFER TO DRAWINGS PREPARED BY BA ALL GRATES WILL HAVE A POROSITY OF LESS THAN 20mm X 20mm
 - BIRD FRIENDLY VISUAL MARKERS SHALL BE 5mm DIA AND HAVE a maximum spacing of 50 mm x 50 mm; CERAMIC FRIT DOT @ 5cm ON CENTRE WITH A STRONG CONTRAST COLOUR
 - PRIOR TO SOLID WASTE COLLECTION SERVICES ARE TO BEGIN, THE OWNER SHALL PROVIDE THE CITY WITH A LETTER CERTIFIED BY A PROFESSIONAL ENGINEER THAT IN ALL CASES WHERE A COLLECTION VEHICLE IS REQUIRED TO DRIVE ONTO OR OVER A SUPPORTED STRUCTURE (SUCH AS AN UNDERGROUND PARKING GARAGE) THE STRUCTURE CAN SAFELY SUPPORT A FULLY LOADED COLLECTION VEHICLE (35,000 KILOGRAMS) AND CONFORMS TO THE FOLLOWING: 1) DESIGN CODE - ONTARIO BUILDING CODE, 2) DESIGN LOAD - CITY BULK LIFT VEHICLE IN ADDITION, AND 3) BUILDING CODE REQUIREMENT IMPACT FACTOR - 5% FOR MAXIMUM VEHICULAR SPEEDS TO 15KM/H AND 30% FOR HIGHER SPEEDS
 - OWNER TO PROVIDE A FULLY TRAINED BUILDING MAINTENANCE PERSON TO ASSIST LARGE VEHICLE OPERATORS FOR REFUSE COLLECTION AND OTHER LARGE TRUCKS WITH THE BACK UP MANEUVER TO AND FROM THE LOADING SPACE
 - THE NON-RESIDENTIAL COMPONENT WILL ONLY SCHEDULE USE OF THE TYPE G LOADING SPACE ON DIFFERENT DAYS FROM THE COLLECTION DAYS OF THE RESIDENTIAL COMPONENT TO ENSURE THAT THE TYPE G LOADING SPACE WILL BE VACANT FOR CITY WASTE COLLECTION
 - GEODETIC ELEVATIONS STATED ARE BASED ON NAD83 WHICH UNDER THE GEOMATICS CANADA, CANADIAN SPECIAL REFERENCE SYSTEM IS CGVD28
 - DESIGN WILL BE COMPLIANT WITH ACCESSIBILITY DESIGN STANDARDS
 - ALL PARKING SPACES NOT DESIGNATED TO BE EQUIPPED WITH EVSE SHALL BE PROVIDED WITH ROUGHED IN CONDUITS FOR FUTURE INSTALLATION

MAINTENANCE PERSON TO ACT AS A FLAG PERSON TO ASSIST REFUSE COLLECTION VEHICLES AND OTHER LARGE TRUCKS WITH THE BACK-UP MANEUVER TO AND FROM THE LOADING SPACE. MAINTENANCE PERSON TO ALSO ASSIST WITH THE JOCKEYING OF BINS DURING GARBAGE LOADING.

IN THE EVENT ON-SITE STAFF IS UNAVAILABLE AT THE TIME THE CITY COLLECTION VEHICLE ARRIVES AT THE SITE, THE COLLECTION VEHICLE WILL LEAVE THE SITE AND NOT RETURN UNTIL THE NEXT SCHEDULED COLLECTION DAY.

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ISSUES

No.	DESCRIPTION	DATE
1	ZBA/SPA/OPA SUBMISSION-1	2022/11/11
2	ZBA/SPA/OPA RESUBMISSION	2023/07/27
3	WITHOUT PREJUDICE ZBA SUBMISSION	2023/12/04

KEY PLAN

CONSULTANTS

SEAL

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55 St. Clair Avenue West,
Toronto, ON M4V 2Y7, Canada
tel 416 596 1930
www.arcadis.com

PROJECT

295 JARVIS STREET

PROJECT NO:
142481

DRAWN BY:

CHECKED BY:

PROJECT MGR:

APPROVED BY:

SHEET TITLE

SCALE

1:100

DATE

2024-04-24

SHEET NUMBER

ISSUE

A101



MECHANICAL ROOM
338.1 m² / 3639.7 ft²

OPEN TO
BELOW

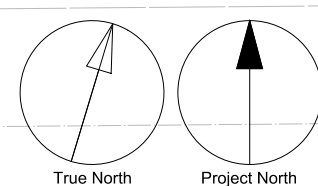
MECE

MECH

OPEN TO
LOADING BELOW

EXHAUST

LOT 1



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PROJECT

295 JARVIS STREET

PROJECT NO:
142481

DRAWN BY:

PROJECT MGR:

PROJECT MGR:	APPROVED BY:
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SHEET TITLE

MEZZANINE

SHEET NUMBER

A102

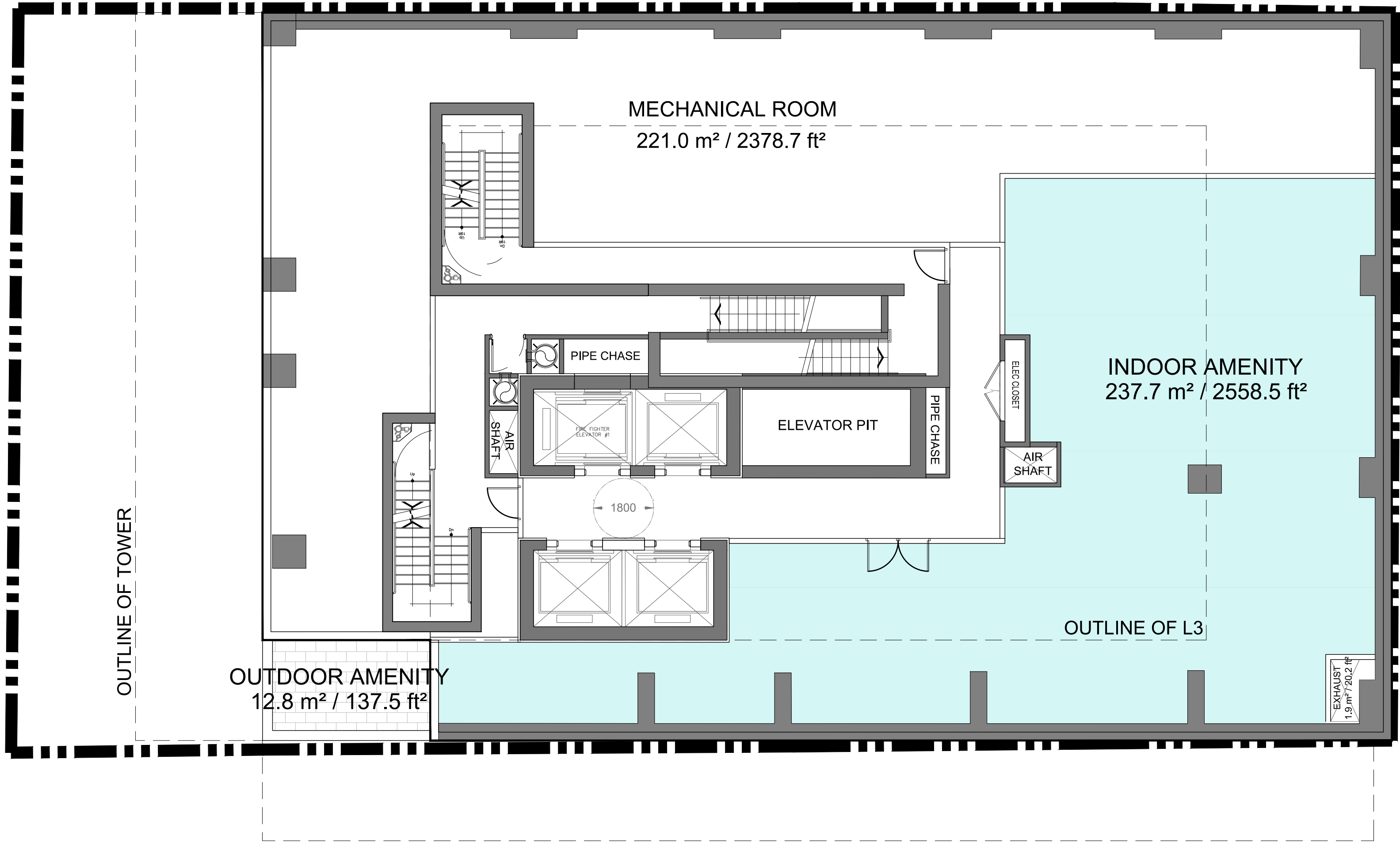
SCALE
1:100

DATE
2024-04-01

SSUE

SCALE CHECK	
1 in	10mm

JARVIS ST



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KEY PLAN

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PROJECT

295 JARVIS STREET

PROJECT NO:
142481

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PROJECT MGR:

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SHEET TITLE

FLOOR 2

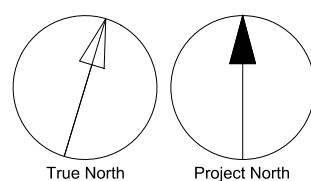
SCALE
1:100

DATE
2024-04-01

SHEET NUMBER

A103

ISSUE



SCALE CHECK
1/10

JARVIS ST

OUTLINE OF TOWER

OUTLINE OF FLOOR 6

OUTLINE OF FLOOR 5

OUTLINE OF LEVEL 4

OUTDOOR AMENITY @ LEVEL 2

OUTDOOR AMENITY 325.0 m² / 3498.4 ft²

SKY LOBBY INDOOR AMENITY 132.3 m² / 1424.2 ft²

CHILDREN'S PLAY AREA

MAIL ROOM

PARCEL

VEST.

PIPE CHASE

AIR SHAFT

ELEC. CLOSET

EXHAUST

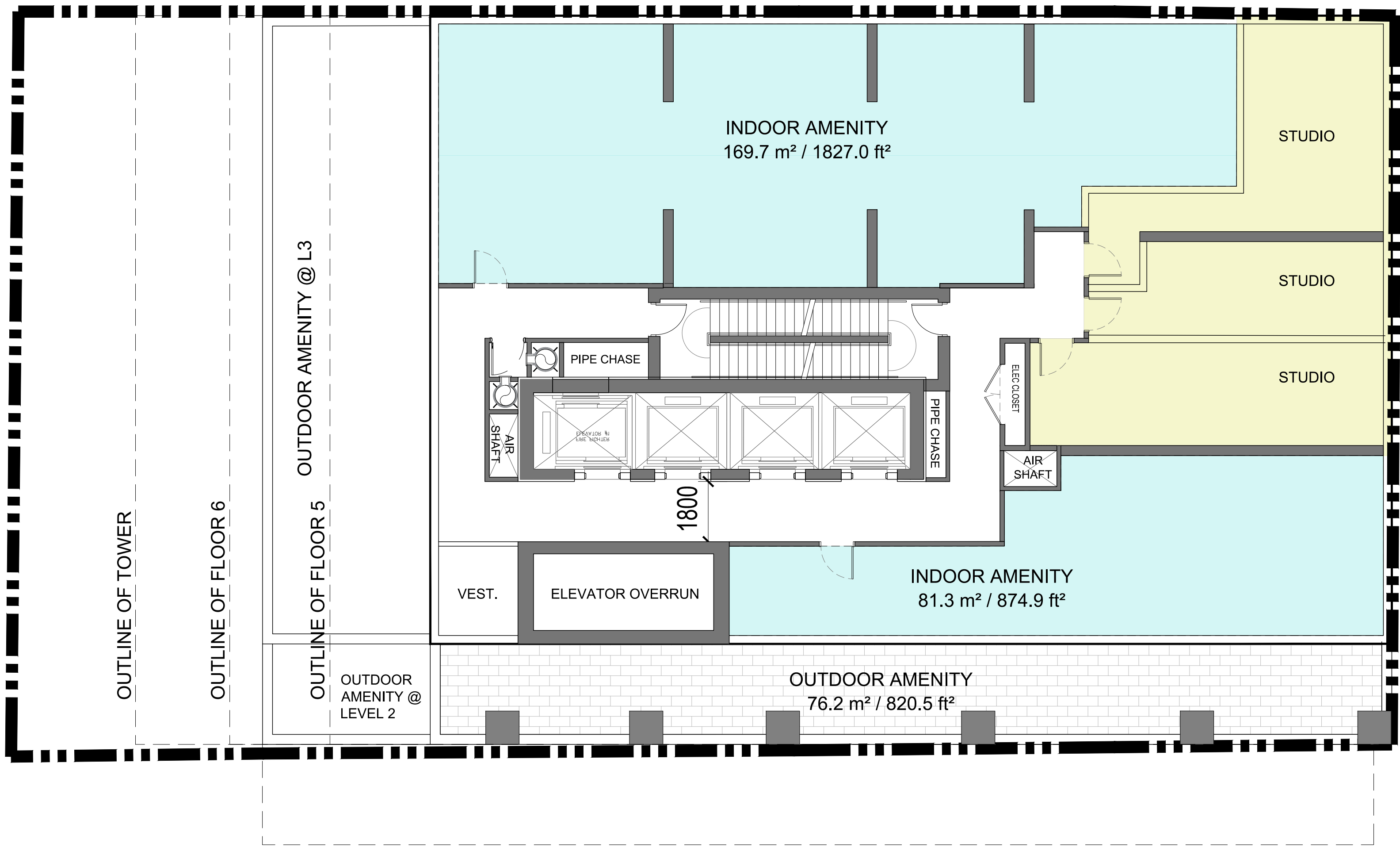
ILLUMINATION LEVELS WILL BE REDUCED WHERE IT ABUTS NEIGHBOURING BUILDINGS.

1800

True North

Project North

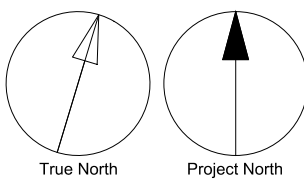
JARVIS ST



EXISTING RENTAL AREA: 1,270 sm
REPLACED RENTAL AREA: 1,270 sm

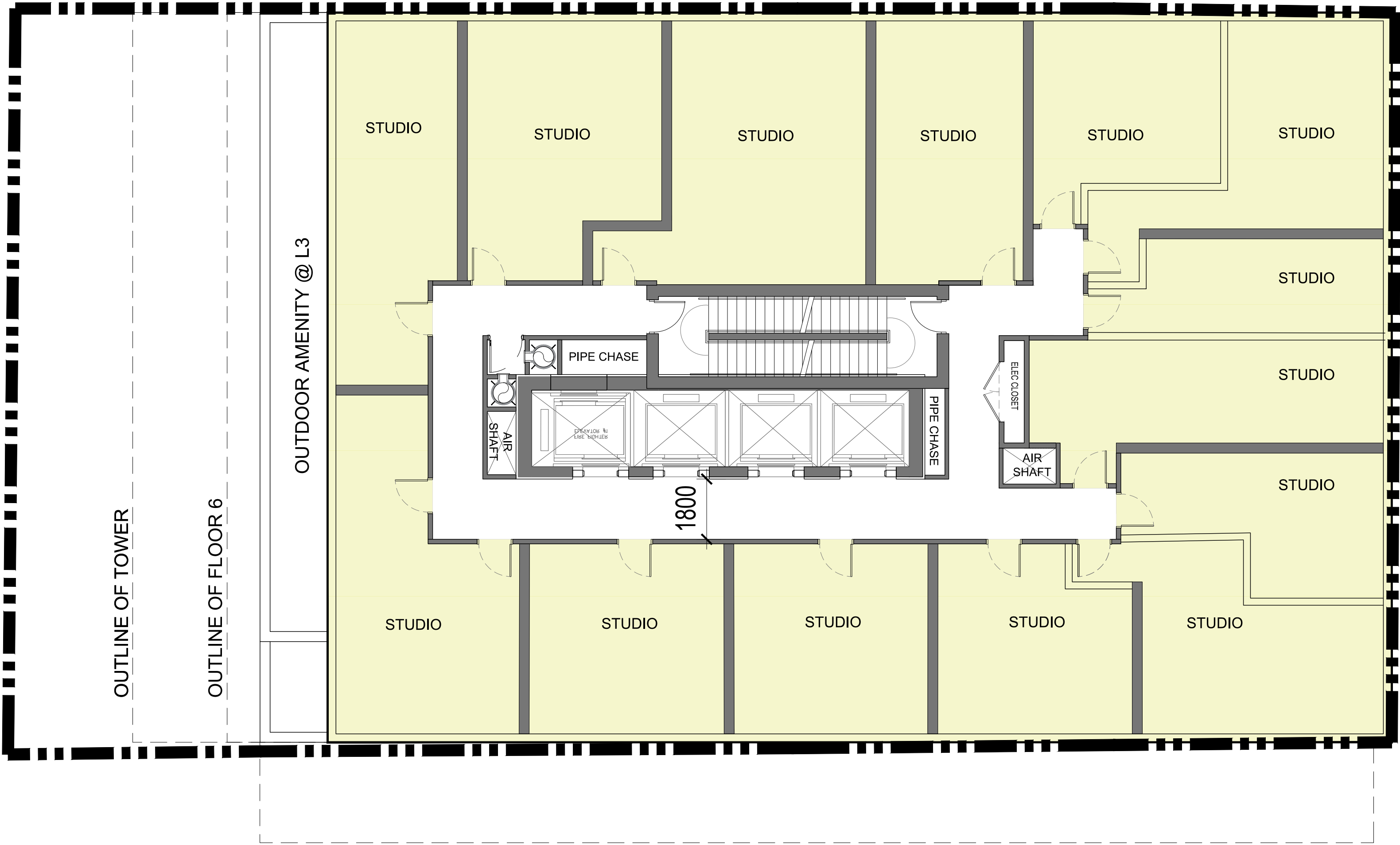
RENTAL REPLACEMENT
104.0 m² / 1119.9 ft²

3 UNITS



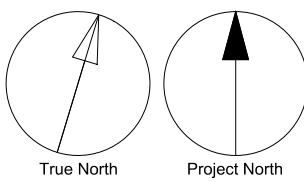
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2	ZBA/SPA/OPA RESUBMISSION	2023/07/27
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KEY PLAN		
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PROJECT		
295 JARVIS STREET		
PROJECT NO: 142481		
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PROJECT MGR:	APPROVED BY:	
SHEET TITLE		SCALE
FLOOR 4		1:100
SHEET NUMBER		DATE
A105		2024-04-01
SHEET NUMBER		ISSUE
A105		

JARVIS ST



EXISTING RENTAL AREA: 1,270 sm
REPLACED RENTAL AREA: 1,270 sm

RENTAL REPLACEMENT
551.1 m² / 5931.8 ft²
14 UNITS



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SHEET TITLE
FLOOR 5

SCALE
1:100

DATE
2024-04-01

SHEET NUMBER
A106

ISSUE

SCALE CHECK
1/10

Version