

**SCHEDULE "A"**

**Settlement Plans, prepared by Arcadis Architects (Canada) Inc., dated May 3, 2024**



52 STOREYS	sm	sf
Site Area	2,510	27,033
GCA	47,568	512,307
Overall GFA	36,868	397,068
Residential GFA	36,653	394,753
Non-Residential GFA	215	2,316
FSI	14.69	
Units	579	

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\* GCA Indicated does not include balconies, terraces and roof area.

Floor Level	Unit Mix				Total
	S	1BR	2BR	3BR	
P1 Level - M+E	0	0	0	0	0
Ground Floor	0	0	0	0	0
Mezzanine Floor	0	0	0	0	0
2nd Floor	7	2	1	0	10
3rd Floor	7	3	2	0	12
4th Floor	7	3	2	0	12
5th Floor	0	0	0	0	0
6th Floor	3	2	0	0	5
7th Floor	8	3	1	1	12
8th Floor	8	3	1	1	12
9th Floor	8	3	1	1	12
10th Floor	8	3	1	1	12
11th Floor	8	3	1	1	12
12th Floor	8	3	1	1	12
13th Floor	8	3	1	1	12
14th Floor	8	3	1	1	12
15th Floor	8	3	1	1	12
16th Floor	8	3	1	1	12
17th Floor	8	3	1	1	12
18th Floor	8	3	1	1	12
19th Floor	8	3	1	1	12
20th Floor	8	3	1	1	12
21st Floor	8	3	1	1	12
22nd Floor	8	3	1	1	12
23rd Floor	8	3	1	1	12
24th Floor	8	3	1	1	12
25th Floor	8	3	1	1	12
26th Floor	8	3	1	1	12
27th Floor	8	3	1	1	12
28th Floor	8	3	1	1	12
29th Floor	8	3	1	1	12
30th Floor	8	3	1	1	12
31st Floor	8	3	1	1	12
32nd Floor	8	3	1	1	12
33rd Floor	8	3	1	1	12
34th Floor	8	3	1	1	12
35th Floor	8	3	1	1	12
36th Floor	8	3	1	1	12
37th Floor	8	3	1	1	12
38th Floor	8	3	1	1	12
39th Floor	8	3	1	1	12
40th Floor	8	3	1	1	12
41st Floor	8	3	1	1	12
42nd Floor	8	3	1	1	12
43rd Floor	8	3	1	1	12
44th Floor	8	3	1	1	12
45th Floor	8	3	1	1	12
46th Floor	8	3	1	1	12
47th Floor	8	3	1	1	12
48th Floor	8	3	1	1	12
49th Floor	2	3	4	9	9
50th Floor	2	3	4	9	9
51st Floor	2	3	4	9	9
2nd Floor	2	3	4	9	9
Mech. Floor					0
	21	355	145	58	579

Amenity Required	sm	sf
Indoor Amenity	1,158	12,460
Outdoor Amenity	1,158	12,460

Amenity Provided	sm	sf
Indoor Amenity	1,252	13,472
Outdoor Amenity	1,075	11,567

Area Calculation	GCA	GFA Deduct	Total GFA
P1 Level - M+E	2,345	2,325	20
Ground Floor	2,150	1,622	528
Mezzanine Floor	1,250	1,189	107
2nd Floor	1,752	914	838
3rd Floor	1,752	900	852
4th Floor	1,752	894	858
5th Floor	800	744	56
6th Floor	800	478	325
7th Floor	800	76	724
8th Floor	800	76	724
9th Floor	800	76	724
10th Floor	800	76	724
11th Floor	800	76	724
12th Floor	800	76	724
13th Floor	800	76	724
14th Floor	800	76	724
15th Floor	800	76	724
16th Floor	800	76	724
17th Floor	800	76	724
18th Floor	800	76	724
19th Floor	800	76	724
20th Floor	800	76	724
21st Floor	800	76	724
22nd Floor	800	76	724
23rd Floor	800	76	724
24th Floor	800	76	724
25th Floor	800	76	724
26th Floor	800	76	724
27th Floor	800	76	724
28th Floor	800	76	724
29th Floor	800	76	724
30th Floor	800	76	724
31st Floor	800	76	724
32nd Floor	800	76	724
33rd Floor	800	76	724
34th Floor	800	76	724
35th Floor	800	76	724
36th Floor	800	76	724
37th Floor	800	76	724
38th Floor	800	76	724
39th Floor	800	76	724
40th Floor	800	76	724
41st Floor	800	76	724
42nd Floor	800	76	724
43rd Floor	800	76	724
44th Floor	800	76	724
45th Floor	800	76	724
46th Floor	800	76	724
47th Floor	800	76	724
48th Floor	800	76	724
49th Floor	800	76	724
50th Floor	800	76	724
51st Floor	800	76	724
52nd Floor	800	76	724
Mech. Floor	462	463	0
<b>Total Area</b>	<b>47,558</b>	<b>110,720</b>	<b>36,683</b>
SF	512,307	115,239	397,068

PARKING PROVIDED							
Per Level	ACCESSIBLE PARKING		REGULAR PARKING		TOTAL NON-RESIDENT PARKING	TOTAL PARKING	TOTAL PARKING
	NON-RESIDENT PARKING	RESIDENT PARKING	NON-RESIDENT PARKING	RESIDENT PARKING			
Parking Level 1 (P1)		4		43			47
Ground Floor	0	0	8	0	9	9	
2nd Floor				14		17	17
3rd floor		2		16		18	18
4th Floor		2		16		18	18
Total	1	11	8	89	9	100	109
					0.02	0.08	

Ground floor available collection = 1 accessible space / 4 disabled spaces / 2 regular spaces / 12 non-disabled spaces; total=4+16=20  
Total parking provided = 109

BICYCLE PARKING SPACE	
<b>Residential</b>	
Long-Term Bicycle Parking:	574
Short-Term Bicycle Parking:	78
<b>Non-Residential:</b>	
Long-Term Bicycle Parking :	
Short-Term Bicycle Parking:	
<b>TOTAL:</b>	<b>652</b>

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No.	DATE	DESCRIPTION
REVISIONS		
DRAWING STATUS: _ _ _ _ _		
STATUS APPROVAL: _ _ _ _ _		
DATE: _ _ _ _ _		

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**Arcadis Architects (Canada) Inc.**

PROJECT

MARLIN  
SPRING

SEAL

SHEET TITLE

OVERALL STAT

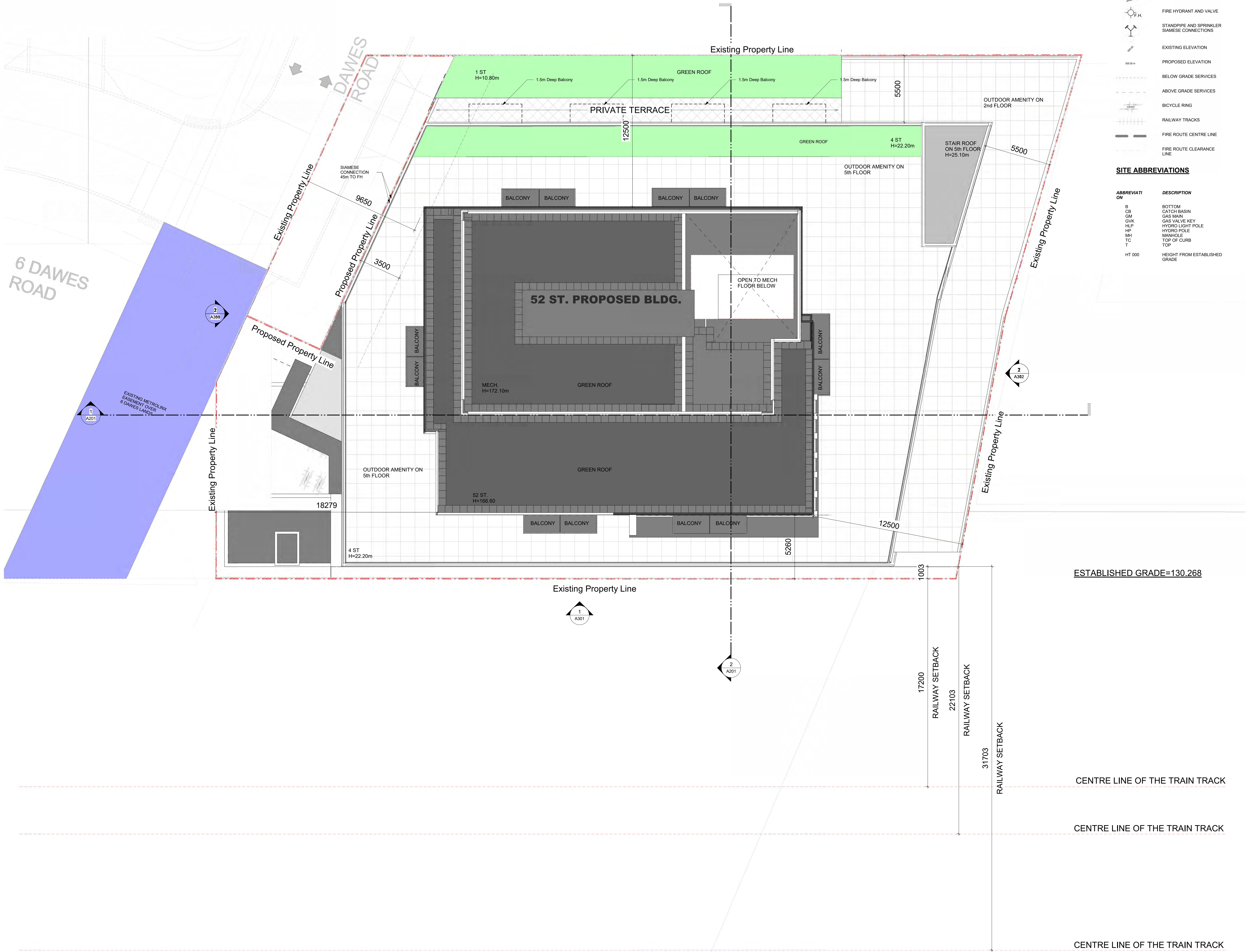
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Author	Checker	04/29/24	

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PROJECT NO:	DWG NO.
119029	A001a





SITE LEGEND

SYMBOL	DESCRIPTION
	PEDESTRIAN ENTRY ACCESS
	PEDESTRIAN EXIT ACCESS
	LOADING BAY ENTRY
	VEHICULAR ACCESS
	FIRE HYDRANT AND VALVE
	STANDPIPE AND SPRINKLER
	SIAMESE CONNECTIONS
	EXISTING ELEVATION
	PROPOSED ELEVATION
	BELOW GRADE SERVICES
	ABOVE GRADE SERVICES
	BICYCLE RING
	RAILWAY TRACKS
	FIRE ROUTE CENTRE LINE
	FIRE ROUTE CLEARANCE LINE

SITE ABBREVIATIONS

ABBREVIATION	DESCRIPTION
B	BOTTOM
CB	CATCH BASIN
GM	GAS MAIN
GVK	GAS VALVE KEY
HLP	HYDRO LIGHT POLE
HP	HYDRO POLE
MH	MANHOLE
TC	TOP OF CURB
TOP	TOP
HT 000	HEIGHT FROM ESTABLISHED GRADE

MARLIN  
SPRING

Dandaw Developments Limited

ISSUED

No.	DATE	DESCRIPTION
1	2023/10/17	ISSUED FOR SPAREZONING SUBMISSION
2	2023/09/01	ISSUED FOR APPEALING
3	2023/02/03	ISSUED FOR REZONING SUBMISSION
4	2023/05/03	4. 2023/03/20 ISSUED FOR MEDIATION

GENERAL NOTES

1. DRAWINGS ARE PREPARED BASED ON BOUNDARY PLAN AND TOPOGRAPHICAL SURVEY OF PART OF LOT 2 CONCESSION 1, FROM THE BAY AND PART OF DAWES ROAD (CLOSED BY BY-LAW 809, INST. NO. CA320497) CITY OF TORONTO'S AVE SURVEYING INC. AND DATED MAY 8, 2022.

2. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANTS' DRAWINGS AND REPORTS.

- REFER TO TRAFFIC CONSULTANTS' DOCUMENTATION FOR TRAFFIC DIAGRAMS, TURNING RADI, TRAFFIC REPORT AND SITE ACCESS INFORMATION.
- REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR LANDSCAPING INFORMATION, GRADING, GREEN ROOF AND OUTDOOR AMENITY SPACES.
- REFER TO SITE SERVICING / CIVIL ENGINEERS' DRAWINGS AND REPORTS FOR SITE SERVICING AND UTILITY INFORMATION.
- REFER TO WASTE MANAGEMENT CONSULTANTS' DESIGN BRIEF FOR INFORMATION ABOUT WASTE STORAGE, PICK-UP AND HANDLING FOR ALL USE OCCUPANCIES.
- REFER TO LETTER FROM STRUCTURAL ENGINEER FOR DRIVEWAYS, PASSAGEWAYS AND LOADING SPACE WITH IMPACT FACTORS WHERE THEY ARE LOCATED OVER A SUPPORTED STRUCTURE.

3. ALL ACCESS DRIVEWAYS TO BE USED BY THE COLLECTION VEHICLE WILL BE LEVEL (±0.0%), HAVE A MINIMUM VERTICAL CLEARANCE OF 4.4 m THROUGHOUT. A MINIMUM 4.5 m WIDE THROUGHOUT AND 8 m WIDE AT POINT OF INGRESS AND EGRESS.

4. OVERHEAD DOORS THE COLLECTION VEHICLE WILL BE PASSING THROUGH HAVE A MINIMUM WIDTH OF 4 m AND A MINIMUM OVERHEAD CLEARANCE OF 4.4 m.

5. TYPE C LOADING SPACE THAT IS LEVEL (±0.0%), AND IS CONSTRUCTED OF A MINIMUM OF 200 MM REINFORCED CONCRETE.

6. A TRAINED ON-SITE STAFF MEMBER WILL BE AVAILABLE TO MANEUVER BINS FOR THE COLLECTION DRIVER AND ALSO ACT AS A FLAGMAN WHEN THE TRUCK IS REVERSING. IN THE EVENT THE ON-SITE STAFF IS UNAVAILABLE AT THE TIME THE CITY COLLECTION VEHICLE ARRIVES AT THE SITE, THE COLLECTION VEHICLE WILL LEAVE THE SITE AND NOT RETURN UNTIL THE NEXT SCHEDULED COLLECTION DAY.

7. A WARNING SYSTEM TO CAUTION MOTORISTS LEAVING THE PARKING GARAGE OF HEAVY VEHICLES WHEN LOADING OPERATIONS ARE OCCURRING. THIS WARNING SYSTEM SHOULD INCLUDE BOTH LIGHTS AND SIGNS.

8. A NON-RESIDENTIAL WASTE STORAGE ROOM FOR NON-RESIDENTIAL WASTE WHICH IS INDEPENDENT OF AND NOT ACCESSIBLE TO THE RESIDENTIAL WASTE ROOM.

9. THE BINS THAT WILL BE USED FOR THE NON-RESIDENTIAL WASTE WILL BE LABELLED SEPARATELY FROM THE BINS FOR THE RESIDENTIAL WASTE.

10. BUILDING TO BE FULLY SPRINKLED.

11. ALL DOORS LEADING TO BICYCLE ROOMS HAVE ADO (Automatic Door Openers).

12. AS PER NFPA 14 "STANDARD FOR THE INSTALLATION OF STANDPIPE AND HOSE SYSTEMS", THIS BUILDING (HIGH-RISE BUILDING) IS EQUIPPED WITH AT LEAST TWO REMOTELY LOCATED FIRE DEPARTMENT CONNECTIONS FOR EACH ZONE. A HIGH-RISE BUILDING, AS DEFINED WITHIN NFPA 14, IS ANY BUILDING WHERE THE FLOOR OF AN OCCUPIED STOREY IS GREATER THAN 23 M ABOVE THE LOWEST LEVEL OF THE FIRE DEPARTMENT VEHICLE ACCESS.

REVISIONS

No.	DATE	DESCRIPTION
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DRAWING STATUS

STATUS APPROVAL: \_\_\_\_\_

DATE: \_\_\_\_\_

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PROJECT

MARLIN  
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SEAL:

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SITE PLAN

DRAWN BY: CHK'D BY: DATE: SCALE:

Author Checker 01/08/2023 1: 100

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PROJECT NO: DWG NO:

119029 A004

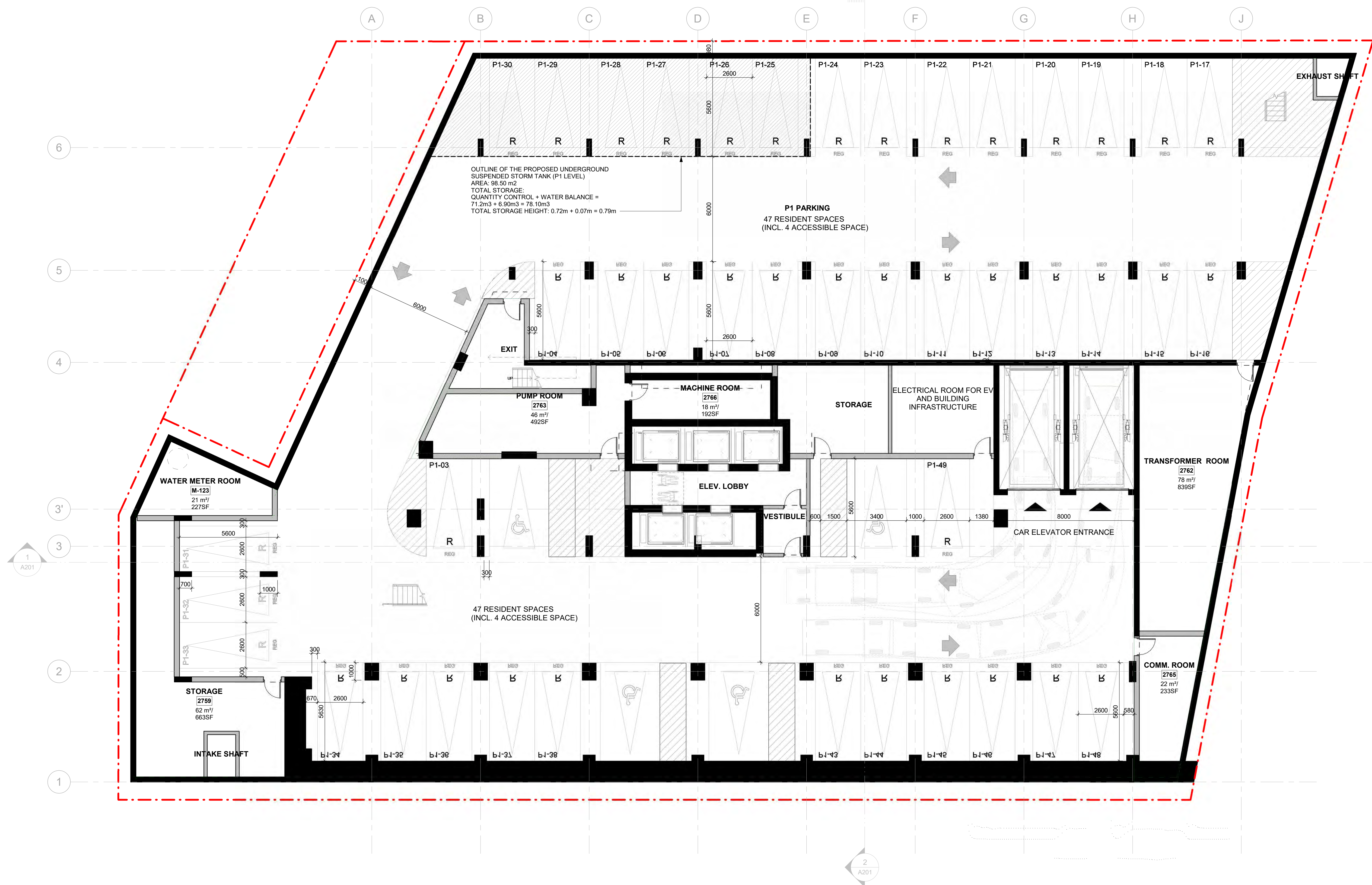


## SITE LEGEND

SYMBOL	DESCRIPTION
	PEDESTRIAN ENTRY ACCESS
	PEDESTRIAN EXIT ACCESS
	LOADING BAY ENTRY
	VEHICULAR ACCESS
	FIRE HYDRANT AND VALVE
	STANDPIPE AND SPRINKLER SIAMSE CONNECTIONS
	EXISTING ELEVATION
	PROPOSED ELEVATION
	BELOW GRADE SERVICES
	ABOVE GRADE SERVICES
	BICYCLE RING
	RAILWAY TRACKS
	FIRE ROUTE CENTRE LINE
	FIRE ROUTE CLEARANCE LINE

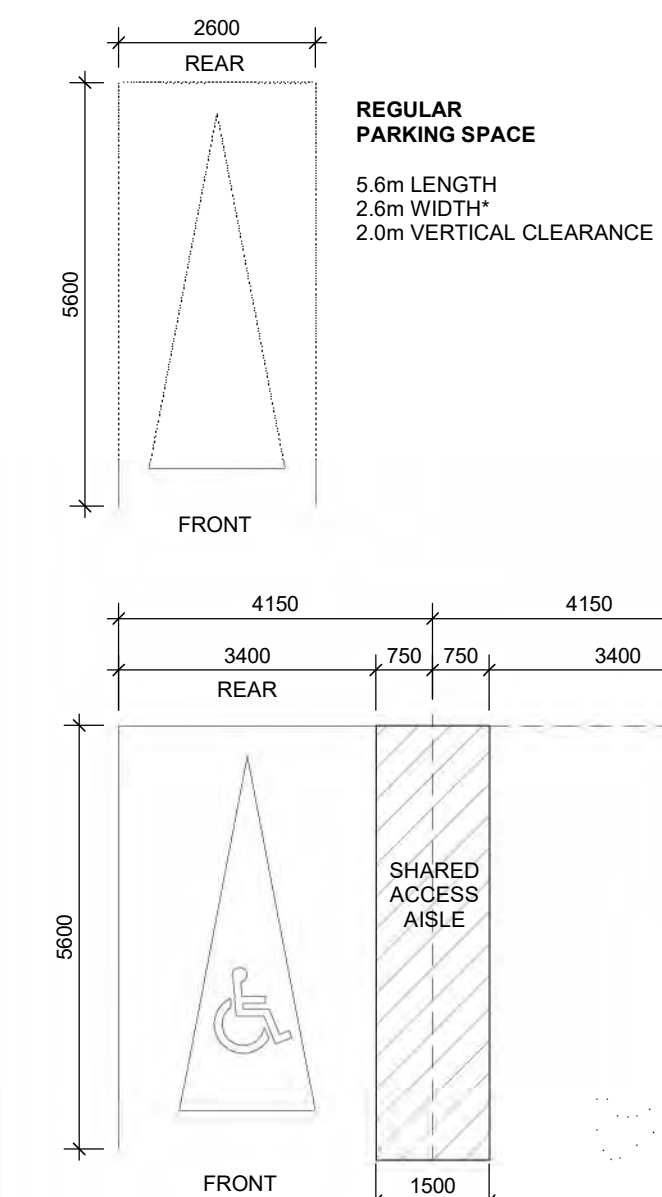
## SITE ABBREVIATIONS

ABBREVIATION	DESCRIPTION
B	BOTTOM
CB	CATCH BASIN
GM	GAS MAIN
GVK	GAS VALVE KEY
HLP	HYDRO LIGHT POLE
HP	HYDRO POLE
MH	MANHOLE
TC	TOP OF CURB
T	TOP
HT 000	HEIGHT FROM ESTABLISHED GRADE

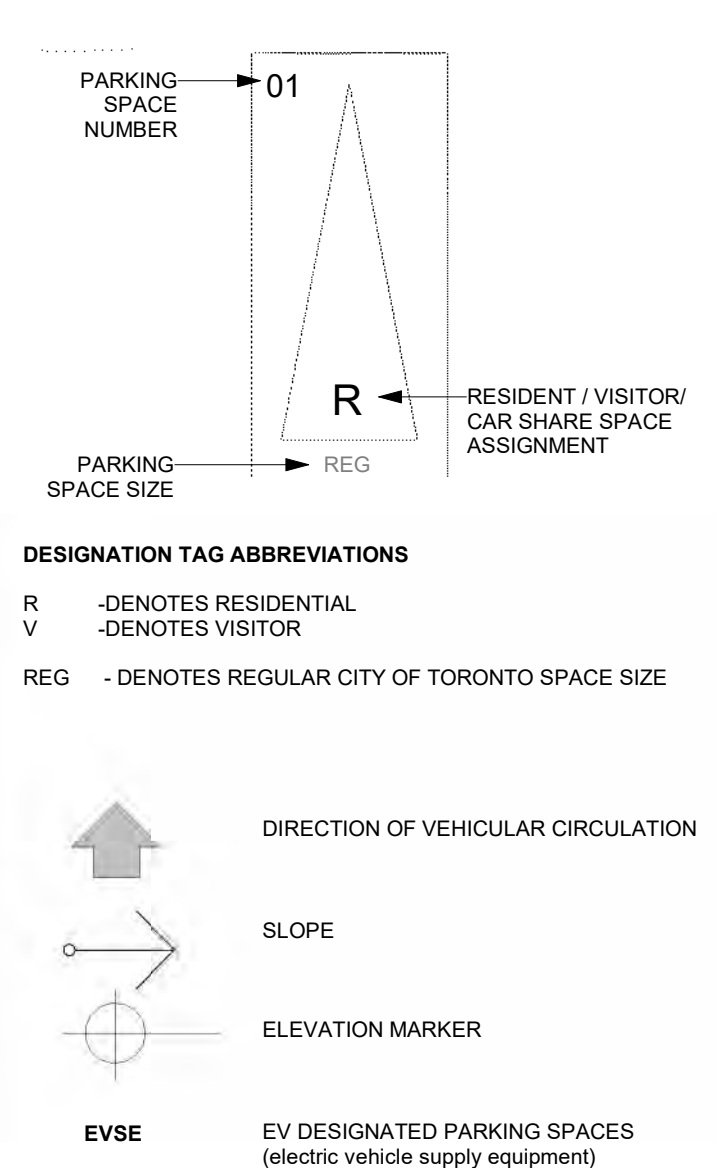


## LEGEND - PARKING SPACE DIMENSIONS

PARKING SPACE DIMENSIONS ARE AS PER MINIMUM CITY OF TORONTO BY-LAW 569-2013 PARKING SPACE REGULATIONS



## LEGEND - PARKING SYMBOLS &amp; NOTATIONS



## SITE LEGEND

	PEDESTRIAN ENTRY ACCESS
	PEDESTRIAN EXIT ACCESS
	PROPOSED BICYCLE RING AS PER CITY STANDARD
	EXISTING ELEVATION
	PROPOSED ELEVATION
	HEIGHT FROM E.G.
	PROPOSED AREA DRAIN, SEE SERVING PLAN

## Parking Space Account by Assignment

Level	Assignment	Stall Count
4th Floor	R	18
3rd Floor	R	18
2nd Floor	R	17
Ground Floor	V	5
P1 Level	R	47
TOTAL PARKING SPACES: 105		

## Barrier Free Parking Space Count

Level	Type	Parking Assignment	Stall Count
4th Floor	BF 3400x5600	R	2
3rd Floor	BF 3400x5600	R	2
2nd Floor	BF 3400x5600	R	3
Ground Floor	BF 3400x5600	V	1
P1 Level	BF 3400x5600	R	4
Total Parking Spaces: 12			

Note:

100% of EV space on resident parking stalls will be equipped with an energized outlet capable of providing Level 2 charging or higher to the parking space.

TOTAL OF 107 parking stalls with EVSE

25% of EV spaces on non-resident parking stalls will be equipped with an energized outlet capable of providing Level 2 charging or higher to the parking space.

TOTAL OF 2 parking stalls with EVSE

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ISSUED

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## GENERAL NOTES

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  - REFER TO SITE SERVING CIVIL ENGINEERS DRAWINGS AND REPORTS FOR SITE SERVING AND UTILITY INFORMATION
  - REFER TO WASTE MANAGEMENT CONSULTANTS DESIGN SHEET FOR INFORMATION ABOUT WASTE STORAGE, PICK-UP AND HANDLING FOR ALL OCCUPANCIES
  - REFER TO LETTER FROM STRUCTURAL ENGINEER FOR DRIVEWAYS, PASSAGE WAYS AND LOADING SPACE WITH IMPACT FACTORS WHERE THEY ARE LOCATED OVER A SUPPORTED STRUCTURE
- ALL ACCESS DRIVEWAYS TO BE USED BY THE COLLECTION VEHICLE WILL BE LEVEL (H=0%), HAVE A MINIMUM VERTICAL CLEARANCE OF 4 m THROUGHOUT, A MINIMUM 4 m WIDE THROUGHOUT AND 8 m WIDE AT POINT OF INGRESS AND EGRESS.
- OVERHEAD DOORS THE COLLECTION TRUCKS WILL BE PASSING THROUGH HAVE A MINIMUM WIDTH OF 4 m AND A MINIMUM OVERHEAD CLEARANCE OF 4 m.
- TYPE G LOADING SPACE THAT IS LEVEL (H=2%), AND IS CONSTRUCTED OF A MINIMUM OF 200 MM REINFORCED CONCRETE.
- A TRAINED ON-SITE STAFF MEMBER WILL BE AVAILABLE TO MANOEUVRE BINS FOR THE COLLECTION DRIVER AND ALSO ACT AS A FLAGMAN WHEN THE TRUCK IS REVERSING. IN THE EVENT THE ON-SITE STAFF IS UNAVAILABLE AT THE TIME THE CITY COLLECTION VEHICLE ARRIVES AT THE SITE, THE COLLECTION VEHICLE WILL LEAVE THE SITE AND NOT RETURN UNTIL THE NEXT SCHEDULED COLLECTION DAY.
- A WARNING SYSTEM TO CAUTION MOTORISTS LEAVING THE PARKING GARAGE OF HEAVY VEHICLES WHEN LOADING OPERATIONS ARE OCCURRING. THIS WARNING SYSTEM SHOULD INCLUDE BOTH LIGHTS AND SIGNS.
- A NON-RESIDENTIAL WASTE STORAGE ROOM FOR NON-RESIDENTIAL WASTE IS PROVIDED WHICH IS INDEPENDENT OF AND NOT ACCESSIBLE TO THE RESIDENTIAL WASTE ROOM.
- THE BINS THAT WILL BE USED FOR THE NON-RESIDENTIAL WASTE WILL BE LABELLED SEPARATELY FROM THE BINS FOR THE RESIDENTIAL WASTE.
- TO BE FULLY SPRINKLED.
- ALL DOORS LEADING TO BICYCLE ROOMS HAVE ADO (Automatic Door Openers).
- AS PER NFPA 14 "STANDARD FOR THE INSTALLATION OF STANDPIPE AND HOSE SYSTEMS" THIS BUILDING (HIGH-RISE BUILDING) IS EQUIPPED WITH AT LEAST TWO REMOTELY LOCATED FIRE DEPARTMENT CONNECTIONS FOR EACH ZONE. A HIGH-RISE BUILDING, AS DEFINED WITHIN NFPA 14, IS ANY "BUILDING WHERE THE FLOOR OF AN OCCUPIED STOREY IS GREATER THAN 21 M ABOVE THE LOWEST LEVEL OF THE FIRE DEPARTMENT VEHICLE ACCESS"

No.

DATE

DESCRIPTION

REVISIONS

DRAWING STATUS

STATUS APPROVAL:

DATE:

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Arcadis Architects (Canada) Inc.

PROJECT

MARLIN  
SPRING

SEAL:

SHEET TITLE

P1 - PARKING PLAN

DRAWN BY:

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DATE:

SCALE:

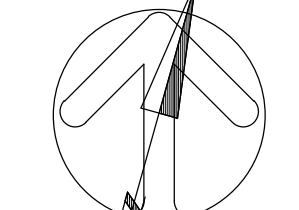
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08/13/23

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PROJECT NO:

119029

DWG NO.

A100



# SITE LEGEND

SYMBOL	DESCRIPTION
	PEDESTRIAN ENTRY ACCESS
	PEDESTRIAN EXIT ACCESS
	LOADING BAY ENTRY
	VEHICULAR ACCESS
	FIRE HYDRANT AND VALVE
	STANDPIPE AND SPRINKLER
	SIAMESE CONNECTIONS
	EXISTING ELEVATION
	PROPOSED ELEVATION
	BELOW GRADE SERVICES
	ABOVE GRADE SERVICES
	BICYCLE RING
	RAILWAY TRACKS
	FIRE ROUTE CENTRE LINE
	FIRE ROUTE CLEARANCE LINE

## SITE ABBREVIATIONS

ABBREVIATION	DESCRIPTION
CB	BOTTOM CATCH BASIN
GM	GAS MAIN
GK	GAS VALVE KEY
HLP	HYDRO LIGHT POLE
HP	HYDRO POLE
MH	MANHOLE
TC	TOP OF CURB
T	TOP
HT 000	HEIGHT FROM ESTABLISHED GRADE

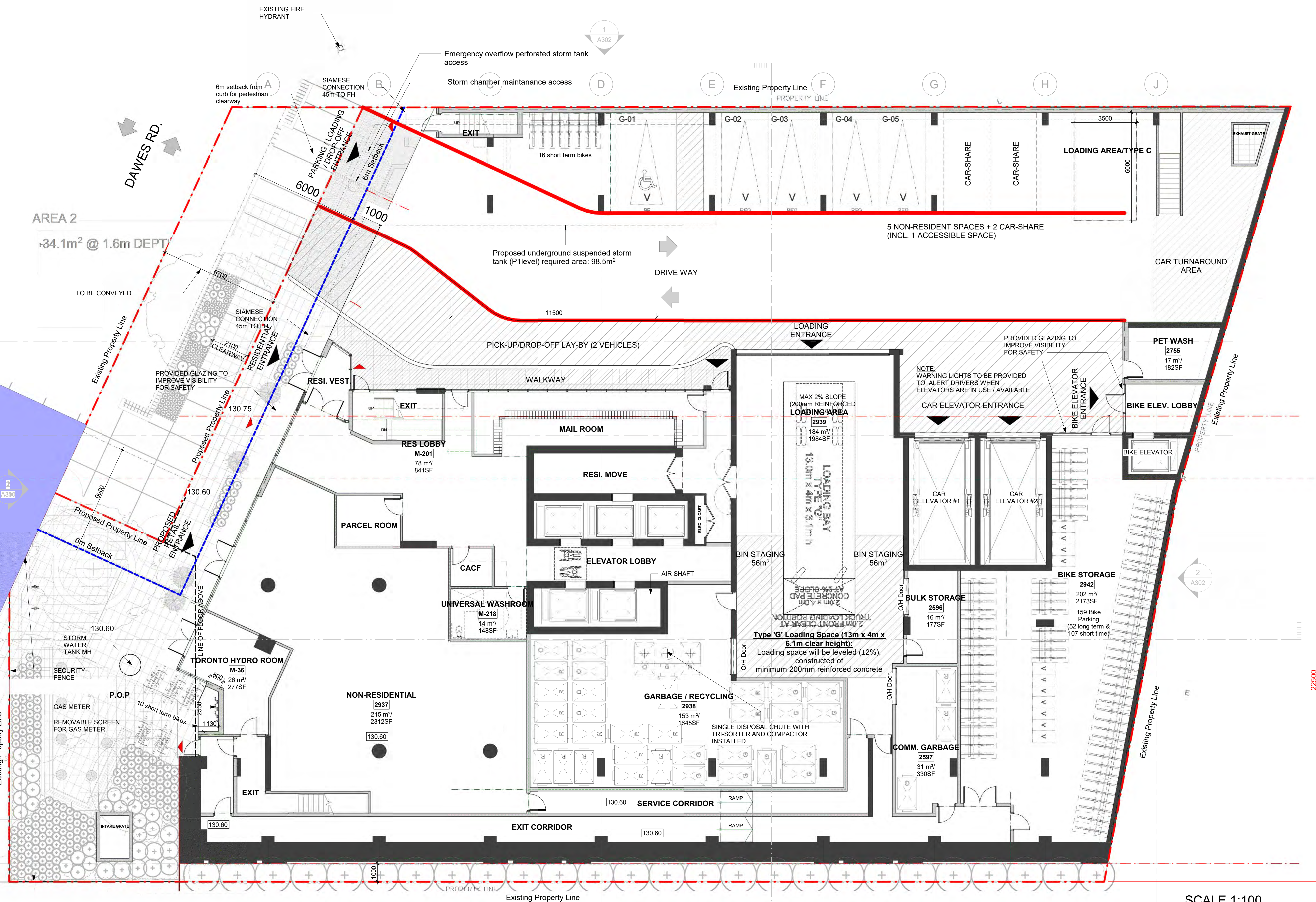
**Staging Pad:**  
Staging pad will be leveled (±2%) and constructed of 200mm reinforced concrete (18 m2) that has a vertical clearance of at least 6.1 metres from concrete to concrete.

**Non-residential component:**  
It is planned for the Non-residential component to make use of the type G loading spaces. The non-residential component will only schedule use of the type G loading space on different days from the collection days of the residential component to ensure that the Type G loading space will be vacant for City Waste Collection. Nonresidential waste will be labeled separately from the bins for the residential waste.

**Access Driveway:**  
Access driveways to be used by the collection vehicle will be leveled (±8%) that has a vertical clearance of 4.4 metres throughout and a minimum 4.5 metres wide throughout and 6 metres wide at point of ingress and egress.

**Type 'G' Loading Space (13m x 4m x 6.1m clear height):**  
Loading space will be leveled (±2%), constructed of minimum 200mm reinforced concrete and Type G loading space that has an unencumbered vertical clearance of 6.1 metres.

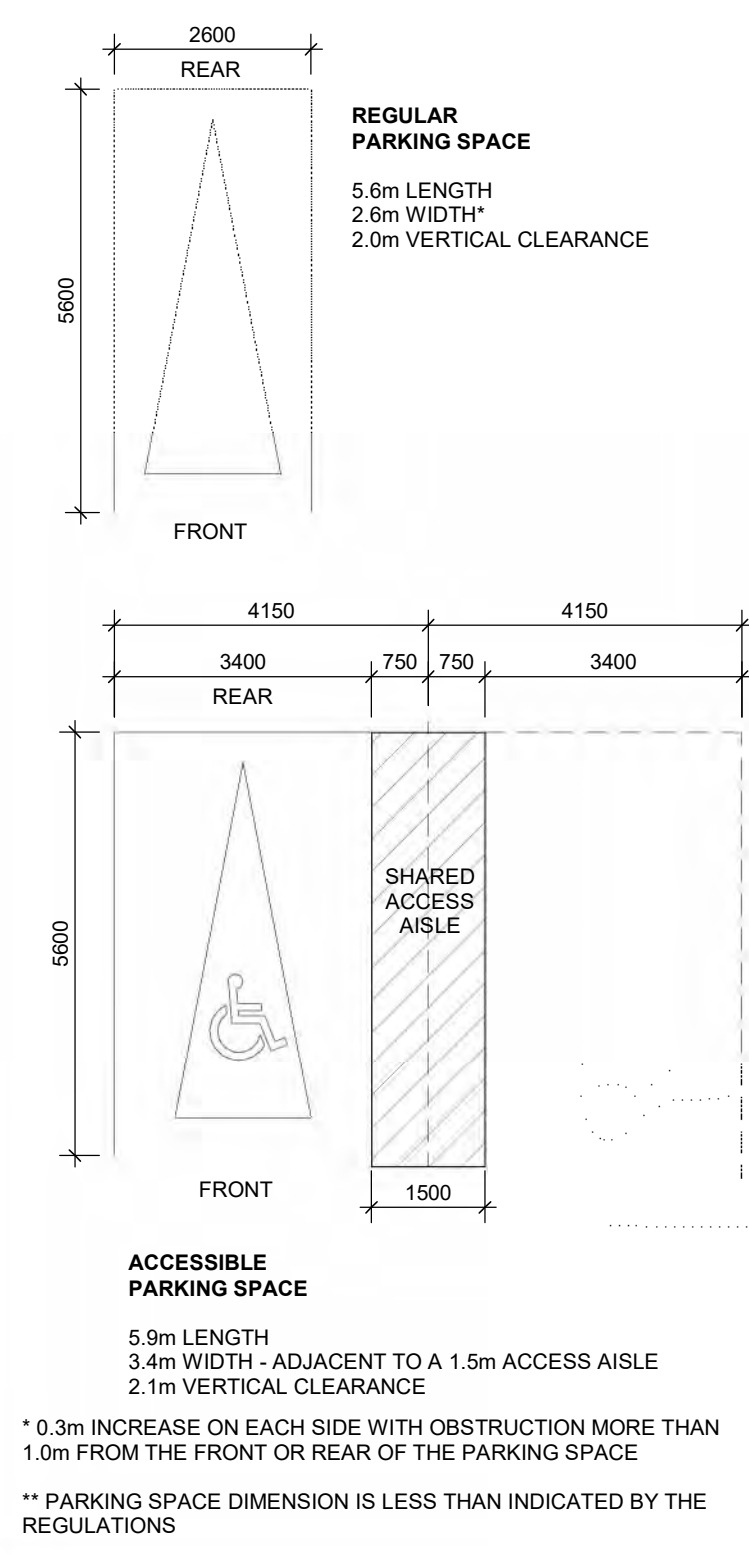
1 Ground Floor  
Scale: 1: 100



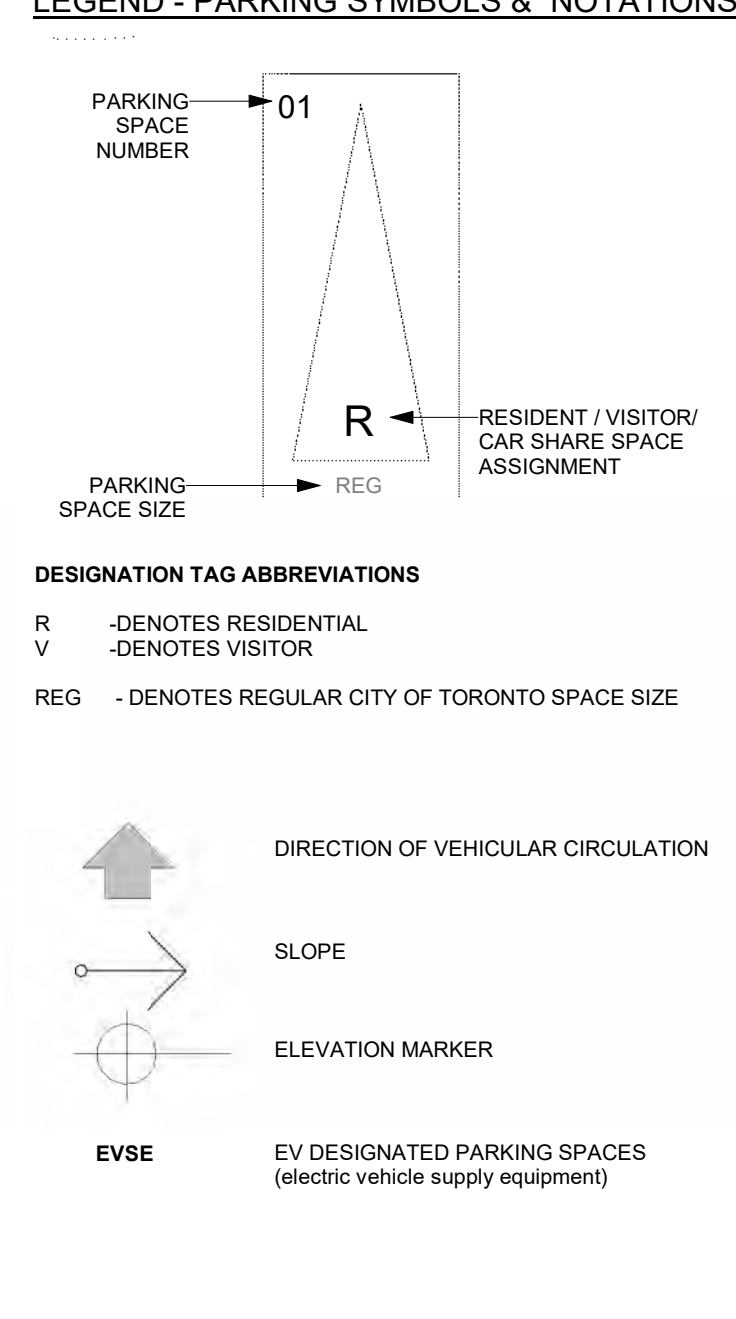
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## LEGEND - PARKING SPACE DIMENSIONS

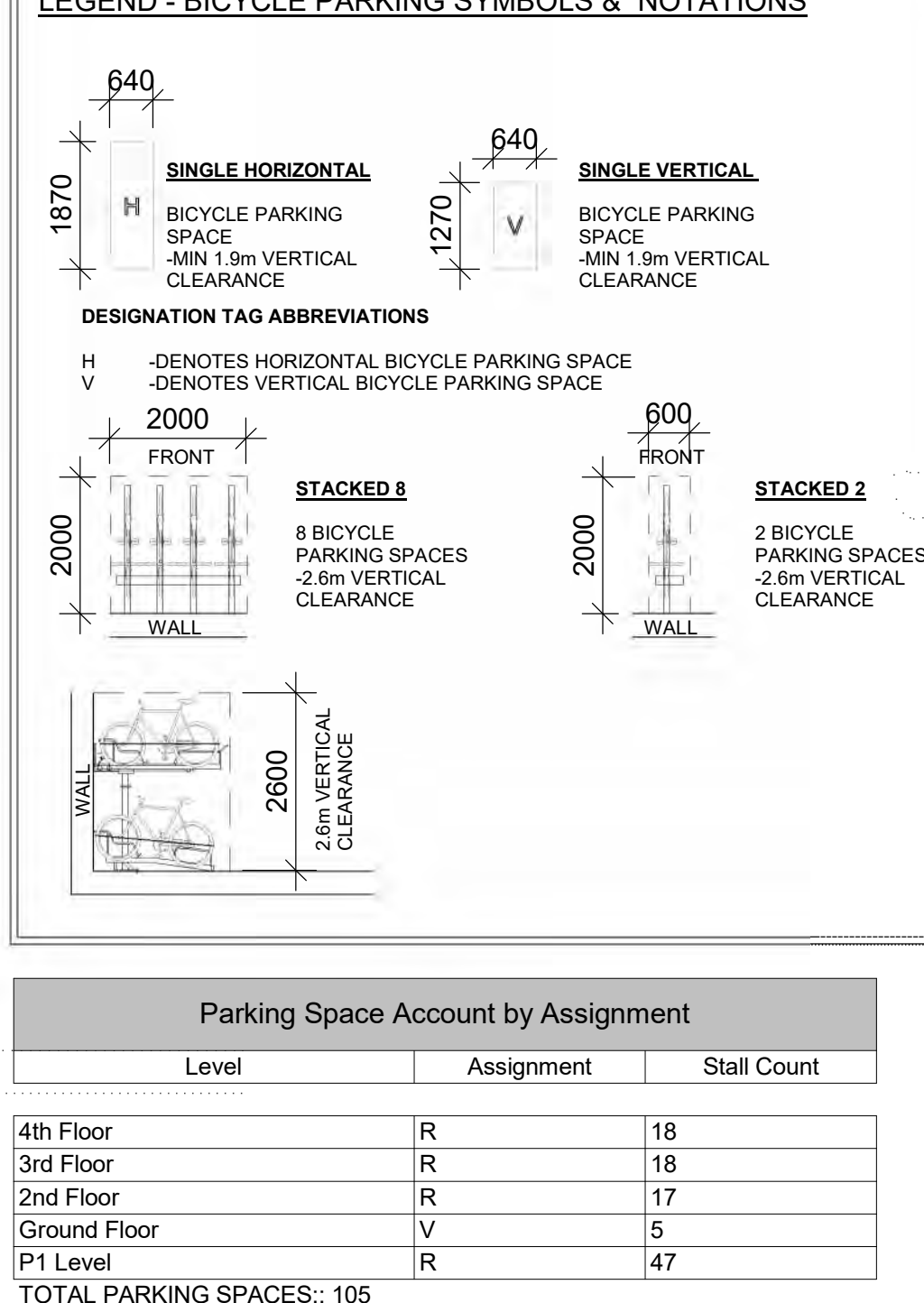
PARKING SPACE DIMENSIONS ARE AS PER MINIMUM CITY OF TORONTO BY-LAW 609-2013 PARKING SPACE REGULATIONS



## LEGEND - PARKING SYMBOLS & NOTATIONS



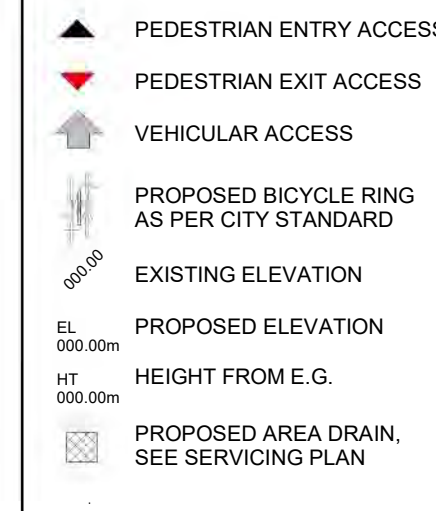
## LEGEND - BICYCLE PARKING SYMBOLS & NOTATIONS



Parking Space Account by Assignment			
Level	Assignment	Stall Count	
4th Floor	R	18	
3rd Floor	R	18	
2nd Floor	R	17	
Ground Floor	V	5	
PT Level	BF	47	
TOTAL PARKING SPACES: 105			

Barrier Free Parking Space Count			
Level	Type	Parking Assignment	Stall Count
4th Floor	BF	3400x5600	2
3rd Floor	BF	3400x5600	2
2nd Floor	BF	3400x5600	3
Ground Floor	BF	3400x5600	1
PT Level	BF	3400x5600	4
Total Parking Spaces: 12			

## SITE LEGEND



Bicycle Parking Count				
Comments	Level	Count	Bike Type	Bike Count
Ground Floor				
Bike	Ground Floor	5	Bike Rack 2	10
Bike	Ground Floor	11	Single Vertical	11
Bike	Ground Floor	2	Stacked 2	4
Bike	Ground Floor	20	Stacked 8	160
Mezzanin Floor				
Bike	Mezzanin Floor	29	Single Vertical	29
Bike	Mezzanin Floor	31	Stacked 2	62
Bike	Mezzanin Floor	47	Stacked 8	376
Grand total: 145				
Note: 15% OF LONG-TERM BICYCLE SPACES INCLUDE AN ENERGIZED OUTLET (120V) ADJACENT TO THE BICYCLE RACK				
TOTAL: 97 bike with Electric Bike Infrastructure				

Note:  
100% of EV space on resident parking stalls will be equipped with an energized outlet capable of providing Level 2 charging or higher to the parking space.  
TOTAL: 97 parking stalls with EVSE  
25% of EV spaces on non-resident parking stalls will be equipped with an energized outlet capable of providing Level 2 charging or higher to the parking space.  
TOTAL: 97 parking stalls with EVSE

CLIENT

MARLIN SPRING

Dandaw Developments Limited

ISSUED

No.	DATE	DESCRIPTION
1	2023/10/17	ISSUED FOR SPAREZONING SUBMISSION
2	2023/09/01	ISSUED FOR APPEALING
3	2023/02/03	ISSUED FOR REZONING SUBMISSION
4	2023/05/03	4. 2023/03/20 ISSUED FOR MEDIATION

GENERAL NOTES

- DRAWINGS ARE PREPARED BASED ON BOUNDARY PLAN AND TOPOGRAPHICAL SURVEY OF PART OF LOT 2 CONCESSION 1 FROM THE BAY AND PART OF DAWES ROAD (CLOSED BY BY-LAW 206, INST. NO. C432097) CITY OF TORONTO, R. AND SURVEYING, INC. AND DATED MAY 9, 2022.
- DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANT'S DRAWINGS AND REPORTS.
  - REFER TO TRAFFIC CONSULTANT'S TURNING RADI, TRAFFIC REPORT AND SITE ACCESS INFORMATION.
  - REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR LANDSCAPING INFORMATION, GRADING, GREEN ROOF AND OUTDOOR AMENITY SPACES.
  - REFER TO SITE SERVING CIVIL ENGINEERS' DRAWINGS AND REPORTS FOR SITE SERVING AND UTILITY INFORMATION.
  - REFER TO WASTE MANAGEMENT CONSULTANT'S DESIGN BRIEF FOR INFORMATION ABOUT WASTE STORAGE, PICK-UP AND HANDLING FOR ALL USES/OCCUPANCIES.
  - REFER TO LETTER FROM STRUCTURAL ENGINEER FOR DRIVEWAYS, PASSAGE WAYS AND LOADING SPACE WITH IMPACT FACTORS WHERE THEY ARE LOCATED OVER A SUPPORTED STRUCTURE.
- ALL ACCESS DRIVEWAYS TO BE USED BY THE COLLECTION VEHICLE WILL BE LEVELED (±8%) HAVE A MINIMUM VERTICAL CLEARANCE OF 4.4 m THROUGHOUT, A MINIMUM 4.5 m WIDE THROUGHOUT AND 6 m WIDE AT POINT OF INGRESS AND EGRESS.
- OVERHEAD DOORS THE COLLECTION VEHICLE WILL BE PASSING THROUGH HAVE A MINIMUM WIDTH OF 4 m AND A MINIMUM OVERHEAD CLEARANCE OF 4.4 m.
- TYPE G LOADING SPACE THAT IS LEVEL (±2%), AND IS CONSTRUCTED OF A MINIMUM OF 200 MM REINFORCED CONCRETE.
- A TRAINED ON-SITE STAFF MEMBER WILL BE AVAILABLE TO MANEUVER BINS FOR THE COLLECTION DRIVER AND ALSO ACT AS FLAGMAN WHEN THE TRUCK IS REVERSING. IN THE EVENT THE ON-SITE STAFF IS UNAVAILABLE AT THE TIME THE CITY COLLECTION VEHICLE ARRIVES AT THE SITE, THE COLLECTION VEHICLE WILL LEAVE THE SITE AND NOT RETURN UNTIL THE NEXT SCHEDULED COLLECTION DAY.
- A WARNING SYSTEM TO CAUTION MOTORISTS LEAVING THE PARKING GARAGE OF HEAVY VEHICLES WHEN LOADING OPERATIONS ARE OCCURRING. THIS WARNING SYSTEM SHOULD INCLUDE BOTH LIGHTS AND SOUNDS.
- A NON-RESIDENTIAL WASTE STORAGE ROOM FOR NON-RESIDENTIAL WASTE WILL BE LABELED SEPARATELY FROM THE BINS FOR THE RESIDENTIAL WASTE.
- THE BINS THAT WILL BE USED FOR THE NON-RESIDENTIAL WASTE WILL BE LABELED SEPARATELY FROM THE BINS FOR THE RESIDENTIAL WASTE.
- BUILDING TO BE FULLY SPRINKLED.
- ALL DOORS LEADING TO TOILET ROOMS HAVE ADO (Automatic Door Operator).
- AS PER MTA 14 STANDARD FOR THE INSTALLATION OF STANDPIPE AND HOSE SYSTEMS, THE BUILDING (OR BUILDING) IS EQUIPPED WITH AT LEAST TWO REMOTELY LOCATED FIRE DEPARTMENT CONNECTIONS FOR EACH ZONE. A HIGH-RISE BUILDING, AS DEFINED WITHIN NFPA 1, IS ANY BUILDING WHERE THE FLOOR OF AN OCCUPIED STOREY IS GREATER THAN 10 METRES ABOVE THE LEVEL OF THE FIRE DEPARTMENT VEHICLE ACCESS.

No.	DATE	DESCRIPTION
REVISIONS		
DRAWING STATUS		
STATUS APPROVAL:		
DATE:		

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Arcadis Architects (Canada) Inc.

PROJECT

MARLIN SPRING

SEAL:

SHEET TITLE

GROUND FLOOR PLAN

DRAWN BY:

CHW/BY:

CHECKER:

DATE:

SCALE:

As indicated

ARCADIS

ARCADIS ARCHITECTS (CANADA) INC.

7th Floor, 155 St. Clair Avenue West

Toronto, Ontario M5V 2T7 Canada

tel: 416-593-5200 fax: 416-593-5244

www.arcadis.com

PROJECT

MARLIN SPRING

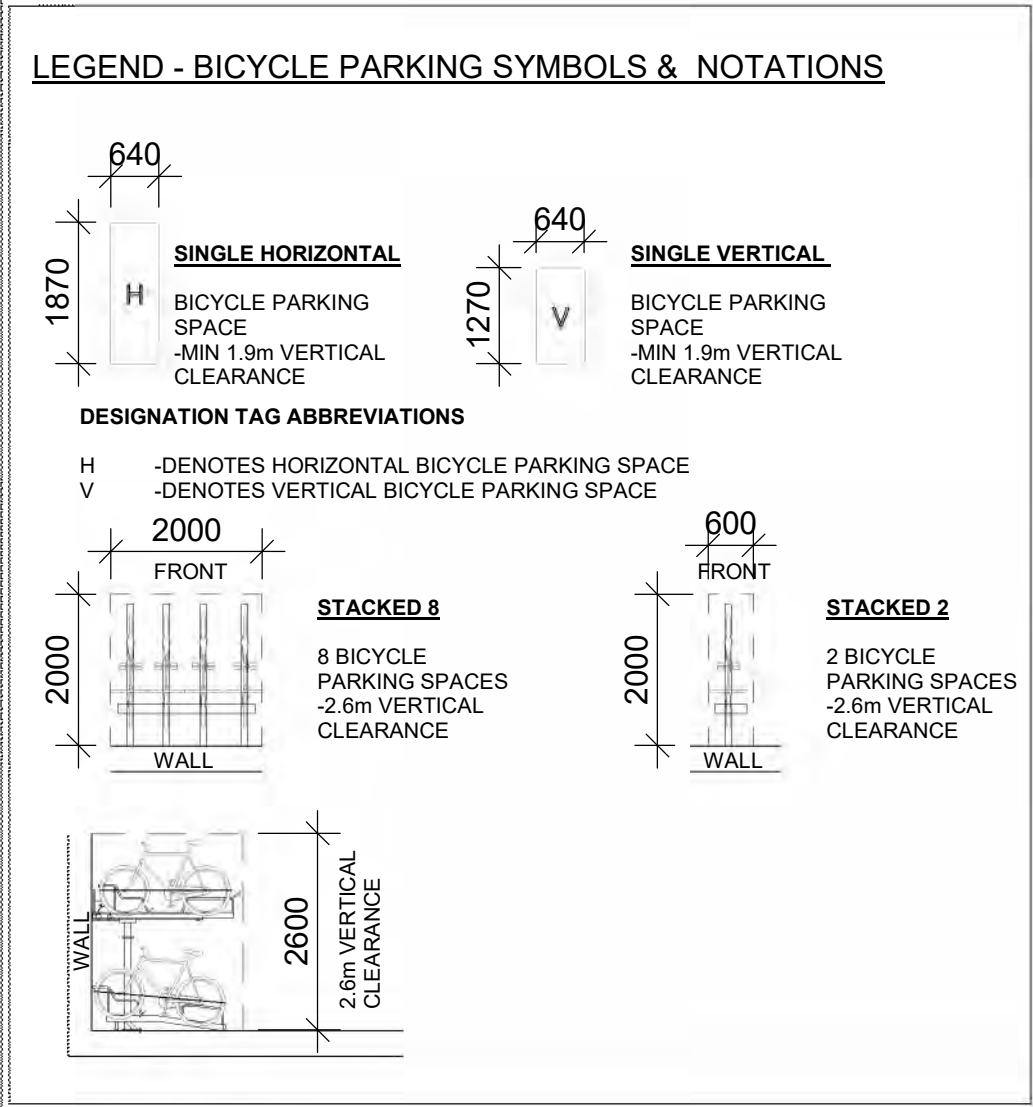
PROJECT

119029

DWG NO.

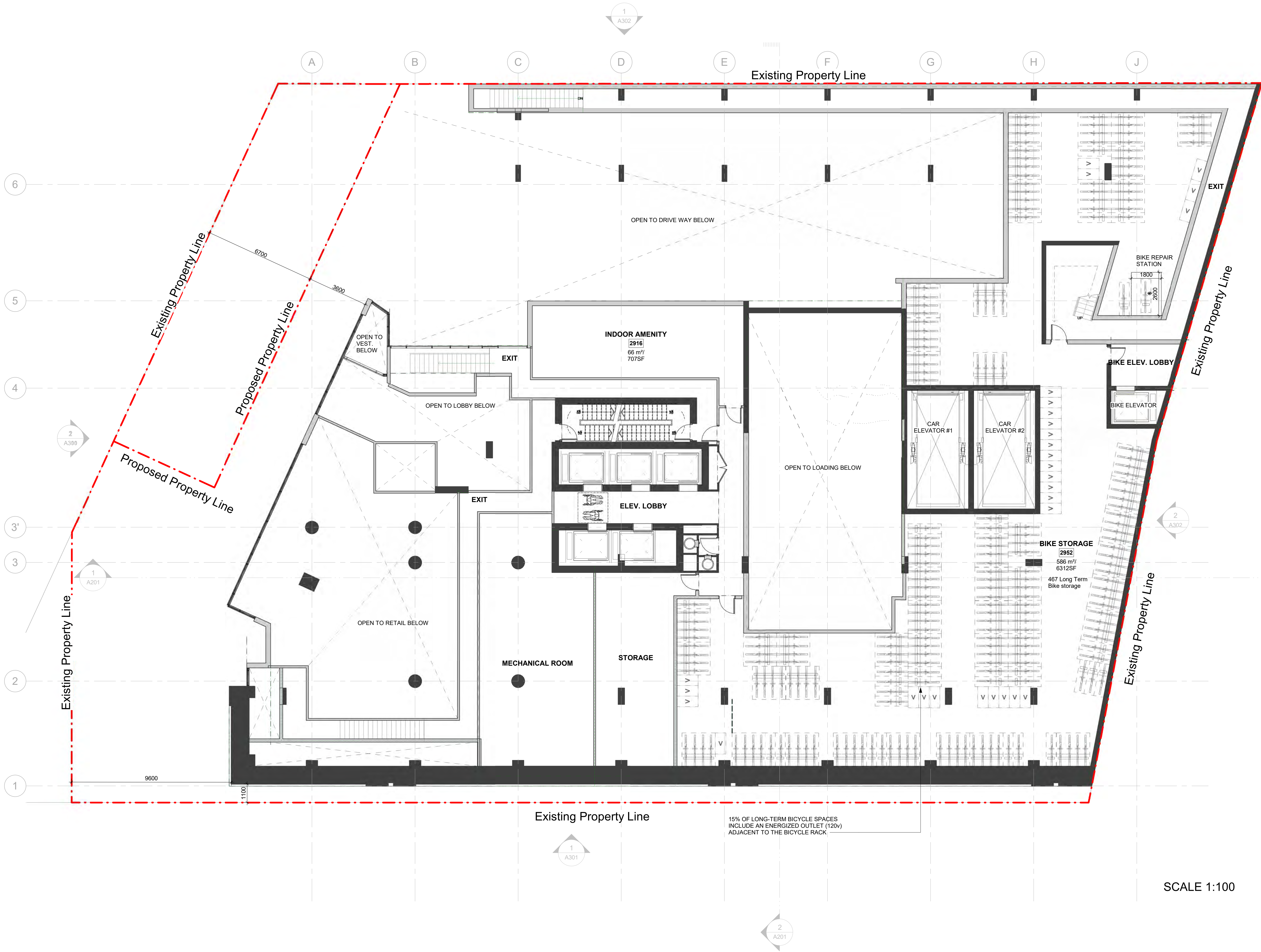
A101





Bicycle Parking Count				
Comments	Level	Count	Bike Type	Bike Count
Ground Floor				
Bike	Ground Floor	5	Bike Rack 2	10
Bike	Ground Floor	11	Single Vertical	11
Bike	Ground Floor	2	Stacked 2	4
Bike	Ground Floor	20	Stacked 8	160
Ground Floor				185
Mezzanin Floor				
Bike	Mezzanin Floor	29	Single Vertical	29
Bike	Mezzanin Floor	31	Stacked 2	62
Bike	Mezzanin Floor	47	Stacked 8	376
Mezzanin Floor				467
Grand total:				652

Notes:  
15% OF LONG-TERM BICYCLE SPACES INCLUDE AN ENERGIZED OUTLET (120V) ADJACENT TO THE BICYCLE RACK  
TOTAL: 652 Bikes with Electric Bike Infrastructure



CLIENT

# MARLIN SPRING

Dandaw Developments Limited

ISSUED

No.	DATE	DESCRIPTION
1	2023/10/17	ISSUED FOR SPAREZONING SUBMISSION
2	2023/09/01	ISSUED FOR REZONING SUBMISSION
3	2023/02/03	ISSUED FOR REZONING SUBMISSION
4	2023/05/03	ISSUED FOR REZONING SUBMISSION

- GENERAL NOTES
- DRAWINGS ARE PREPARED BASED ON BOUNDARY PLAN AND TOPOGRAPHICAL SURVEY OF PART OF LOT 2 CONCESSION 1 FROM THE BAY AND PART OF DAVIES ROAD (CLOSED BY BY-LAW 506, INST. NO. C432807) CITY OF TORONTO P.L. AVE SURVEYING INC., AND DATED MAY 9, 2022.
  - DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANTS DRAWINGS AND REPORTS.
    - REFER TO TRAFFIC CONSULTANTS DOCUMENTATION FOR TRAFFIC DIAGRAMS, TURNING RADI, TRAFFIC REPORT AND SITE ACCESS INFORMATION.
    - REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR LANDSCAPING INFORMATION, GRADING, GREEN ROOF AND OUTDOOR AMENITY SPACES.
    - REFER TO SITE SERVING CIVIL ENGINEERS DRAWINGS AND REPORTS FOR SITE SERVING AND UTILITY INFORMATION.
    - REFER TO WASTE MANAGEMENT CONSULTANTS DESIGN BRIEF FOR INFORMATION ABOUT WASTE STORAGE, PICK-UP AND HANDLING FOR ALL OCCUPANCIES.
    - REFER TO LETTER FROM STRUCTURAL ENGINEER FOR DRIVEWAYS, PASSAGEWAYS AND LOADING SPACE WITH IMPACT FACTORS WHERE THEY ARE LOCATED OVER A SUPPORTED STRUCTURE.
  - ALL ACCESS DRIVEWAYS TO BE USED BY THE COLLECTION VEHICLE WILL BE LEVEL (H=0%) HAVE A MINIMUM VERTICAL CLEARANCE OF 4.4 m THROUGHOUT A MINIMUM 4.9 m WIDE THROUGHOUT AND 6 m WIDE AT POINT OF INGRESS AND EGRESS.
  - OVERHEAD DOORS THE COLLECTION VEHICLE WILL BE PASSING THROUGH HAVE A MINIMUM WIDTH OF 4 m AND A MINIMUM OVERHEAD CLEARANCE OF 4.4 m.
  - TYPE G LOADING SPACE THAT IS LEVEL (H=0%) AND IS CONSTRUCTED OF A MINIMUM 100 mm OF 200 MM REINFORCED CONCRETE.
  - A TRAINED ON-SITE STAFF MEMBER WILL BE AVAILABLE TO MONITOR THE BINS FOR THE COLLECTION VEHICLE AND ALSO AS A FLAGMAN WHEN THE TRUCK IS REVERSING. IN THE EVENT THE ON-SITE STAFF IS UNAVAILABLE AT THE TIME THE CITY COLLECTION VEHICLE ARRIVES AT THE SITE, THE COLLECTION VEHICLE WILL LEAVE THE SITE AND NOT RETURN UNTIL THE NEXT SCHEDULED COLLECTION DAY.
  - A WARNING SYSTEM TO CAUTION MOTORISTS LEAVING THE PARKING GARAGE OF HEAVY VEHICLES WHEN LOADING OPERATIONS ARE OCCURRING. THIS WARNING SYSTEM SHOULD INCLUDE BOTH LIGHTS AND SIGNS.
  - A NON-RESIDENTIAL WASTE STORAGE ROOM FOR NON-RESIDENTIAL WASTE IS PROVIDED WHICH IS INDEPENDENT OF AND NOT ACCESSIBLE TO THE RESIDENTIAL WASTE ROOM.
  - THE BINS THAT WILL BE USED FOR THE NON-RESIDENTIAL WASTE WILL BE LABELLED SEPARATELY FROM THE BINS FOR THE RESIDENTIAL WASTE.
  - BUILDING TO BE FULLY SPRINKLED.
  - ALL DOORS LEADING TO BICYCLE ROOMS HAVE ADO (Automatic Door Openers).
  - AS PER NFPA 14 STANDARD FOR THE INSTALLATION OF STAIRWIRE AND FIRE-RESISTANT SYSTEMS, THIS BUILDING (HIGH-RISE BUILDING) IS EQUIPPED WITH AT LEAST TWO REMOTELY LOCATED FIRE DEPARTMENT VEHICLE ACCESS FOR EACH ZONE. A HIGH-RISE BUILDING, AS DEFINED WITHIN NFPA 14, IS AN "BUILDING WHERE THE FLOOR OF AN OCCUPIED STORY IS GREATER THAN 2.1 M ABOVE THE LOWEST LEVEL OF THE FIRE DEPARTMENT VEHICLE ACCESS".

No.	DATE	DESCRIPTION
REVISIONS		
DRAWING STATUS		
STATUS APPROVAL:		
DATE:		

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Arcadis Architects (Canada) Inc.

PROJECT

# MARLIN SPRING

SEAL:

SHEET TITLE  
MEZZANINE FLOOR PLAN

DRAWN BY:	CHECKED BY:	DATE:	SCALE:
Author	Checker	01/08/2023	As indicated

ARCADIS ARCHITECTS (CANADA) INC.

700 Bayview Ave., Suite 200, Toronto, Ontario M5T 2Y7 Canada  
Tel: 416-593-5200 Fax: 416-593-5204  
www.arcadis.com

PROJECT NO.	DWG NO.
119029	A102



ISSUED		
No.	DATE	DESCRIPTION
1	2022/10/17	ISSUED FOR SPAREZONING SUBMISSION
2	2023/08/01	ISSUED FOR APPEALLING
3	2024/02/23	ISSUED FOR REZONING SUBMISSION
4	2024/05/03	4 2024/03/20 ISSUED FOR MEDIATION

- GENERAL NOTES**
- DRAWINGS ARE PREPARED BASED ON BOUNDARY PLAN AND TOPOGRAPHICAL SURVEY OF PART OF LOT 2 CONCESSION 1, FROM THE BAY AND PART OF DAVEN ROAD (CLOSED BY BY-LAW 826, INST. NO. C432387) CITY OF TORONTO R. AVE SURVEYING INC. AND DATED MAY 9, 2022.
  - DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANTS DRAWINGS AND REPORTS:
    - REFER TO TRAFFIC CONSULTANTS DOCUMENTATION FOR TRAFFIC DIAGRAM, TURNING VOLUMES, TRAFFIC REPORT AND SITE ACCESS INFORMATION.
    - REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR LANDSCAPE INFORMATION, GRADING, GREEN ROOF AND OUTDOOR AMENITY SPACES.
    - REFER TO SITE SERVICING CIVIL ENGINEERS DRAWINGS AND REPORTS FOR SITE SERVICING AND UTILITY INFORMATION.
    - REFER TO WASTE MANAGEMENT CONSULTANTS DESIGN SHEET FOR INFORMATION ABOUT WASTE STORAGE, PICK-UP AND HANDLING FOR ALL OCCUPANCIES.
    - REFER TO LETTER FROM STRUCTURAL ENGINEER FOR DRIVEWAYS, PASSAGEWAYS AND LOADING SPACE WITH IMPACT FACTORS WHERE THEY ARE LOCATED OVER A SUPPORTED STRUCTURE.
  - ALL ACCESS DRIVEWAYS TO BE USED BY THE COLLECTION VEHICLE WILL BE LEVEL (+/-2%) WITH A MINIMUM VERTICAL CLEARANCE OF 4.4 m THROUGHOUT. A MINIMUM 4.5 m WIDE THROUGHOUT AND 6 m WIDE AT POINT OF INGRESS AND EGRESS.
  - OVERHEAD DOORS THE COLLECTION VEHICLE WILL BE PASSING THROUGH HAVE A MINIMUM WIDTH OF 4 m AND A MINIMUM OVERHEAD CLEARANCE OF 4.4 m.
  - TYPE G LOADING SPACE THAT IS LEVEL (+/-2%) AND IS CONSTRUCTED OF A MINIMUM OF 200 MM REINFORCED CONCRETE.
  - A TRAINED ON-SITE STAFF MEMBER WILL BE AVAILABLE TO MANAGE BINS FOR THE COLLECTION DRIVER AND ALSO ACT AS A FLAGMAN WHEN THE TRUCK IS REVERSING. IN THE EVENT THE ON-SITE STAFF IS UNAVAILABLE AT THE TIME THE CITY COLLECTION VEHICLE ARRIVES AT THE SITE, THE COLLECTION VEHICLE WILL LEAVE THE SITE AND NOT RETURN UNTIL THE NEXT SCHEDULED COLLECTION DAY.
  - A WARNING SYSTEM TO CAUTION MOTORISTS LEAVING THE PARKING GARAGE OF HEAVY VEHICLES WHEN LOADING OPERATIONS ARE OCCURRING. THIS WARNING SYSTEM SHOULD INCLUDE BOTH LIGHTS AND SIGNS.
  - A NON-RESIDENTIAL WASTE STORAGE ROOM FOR NON-RESIDENTIAL WASTE PROVIDED WHICH IS INDEPENDENT OF AND NOT ACCESSIBLE TO THE RESIDENTIAL WASTE ROOM.
  - THE BINS THAT WILL BE USED FOR THE NON-RESIDENTIAL WASTE WILL BE LABELED SEPARATELY FROM THE BINS FOR THE RESIDENTIAL WASTE.
  - BUILDING TO BE FULLY SPRINKLED.
  - ALL DOORS LEADING TO BICYCLE ROOMS HAVE AUTO (PASSIVE) DOOR OPENERS.
  - AS PER NFPA 14 "STANDARD FOR THE INSTALLATION OF STAIRCASE AND HOSE SYSTEMS" THIS BUILDING (HIGH-RISE BUILDING) IS EQUIPPED WITH AT LEAST TWO REMOTELY LOCATED FIRE DEPARTMENT CONNECTIONS FOR EACH ZONE. A HIGH-RISE BUILDING, AS DEFINED WITHIN NFPA 14, IS ANY BUILDING WHERE THE FLOOR OF AN OCCUPIED STOREY IS GREATER THAN 23 M ABOVE THE LOWEST LEVEL OF THE FIRE DEPARTMENT VEHICLE ACCESS.

No.	DATE	DESCRIPTION
REVISIONS		
DRAWING STATUS		
STATUS APPROVAL:		
DATE:		

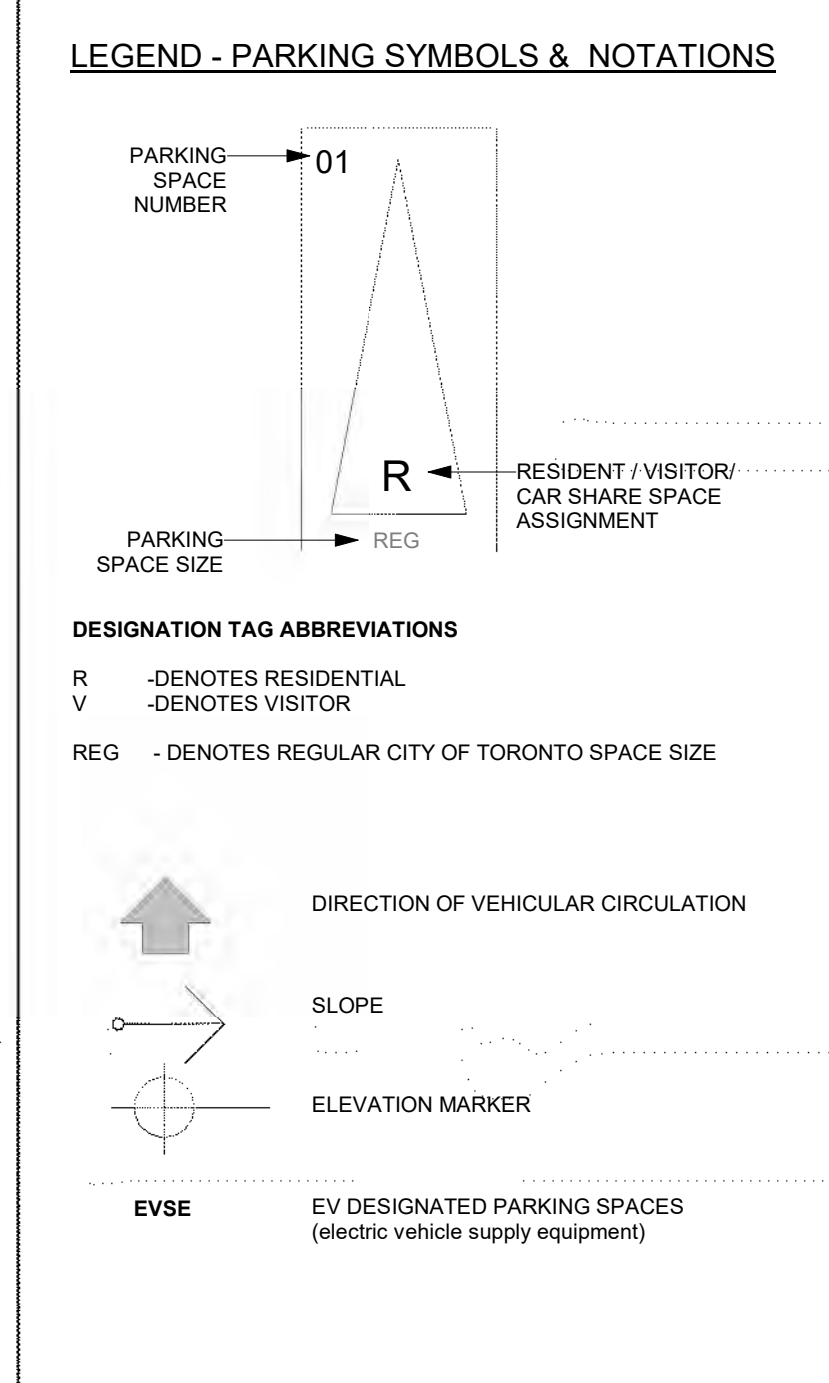
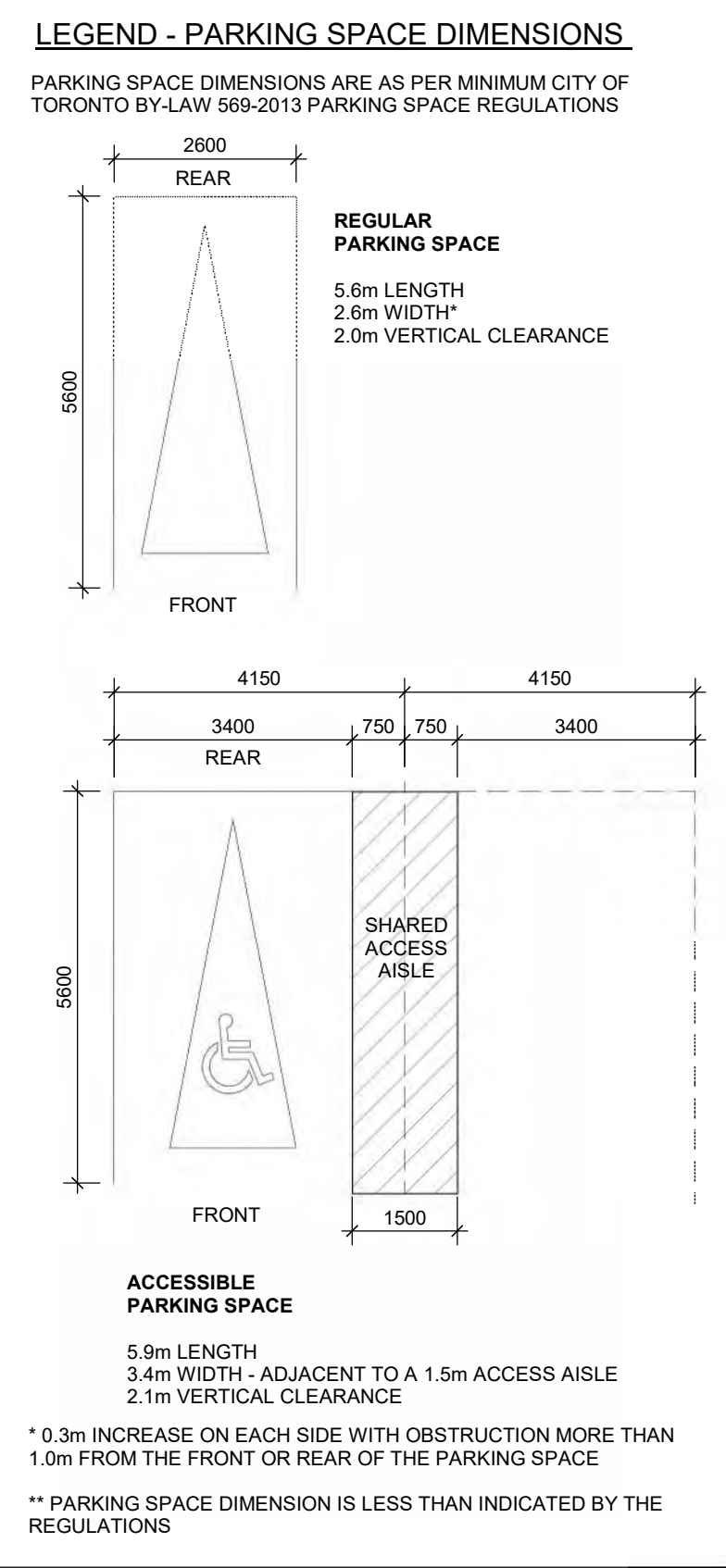
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Arcadis Architects (Canada) Inc.

SEAL:

SHEET TITLE  
2nd FLOOR PLAN

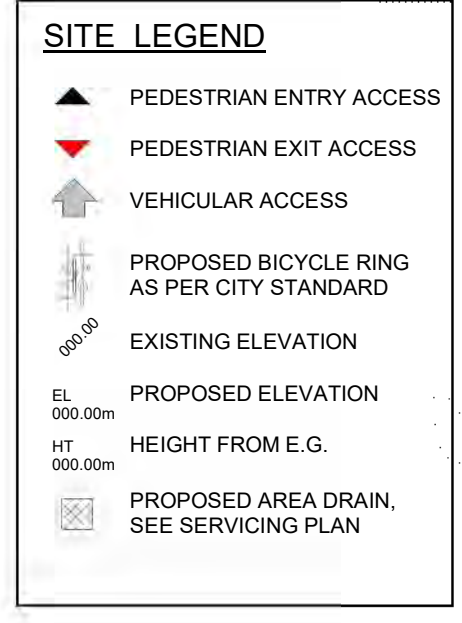
DRAWN BY:	CHECKED BY:	DATE:	SCALE:
Author	Checker	01/08/2023	As indicated



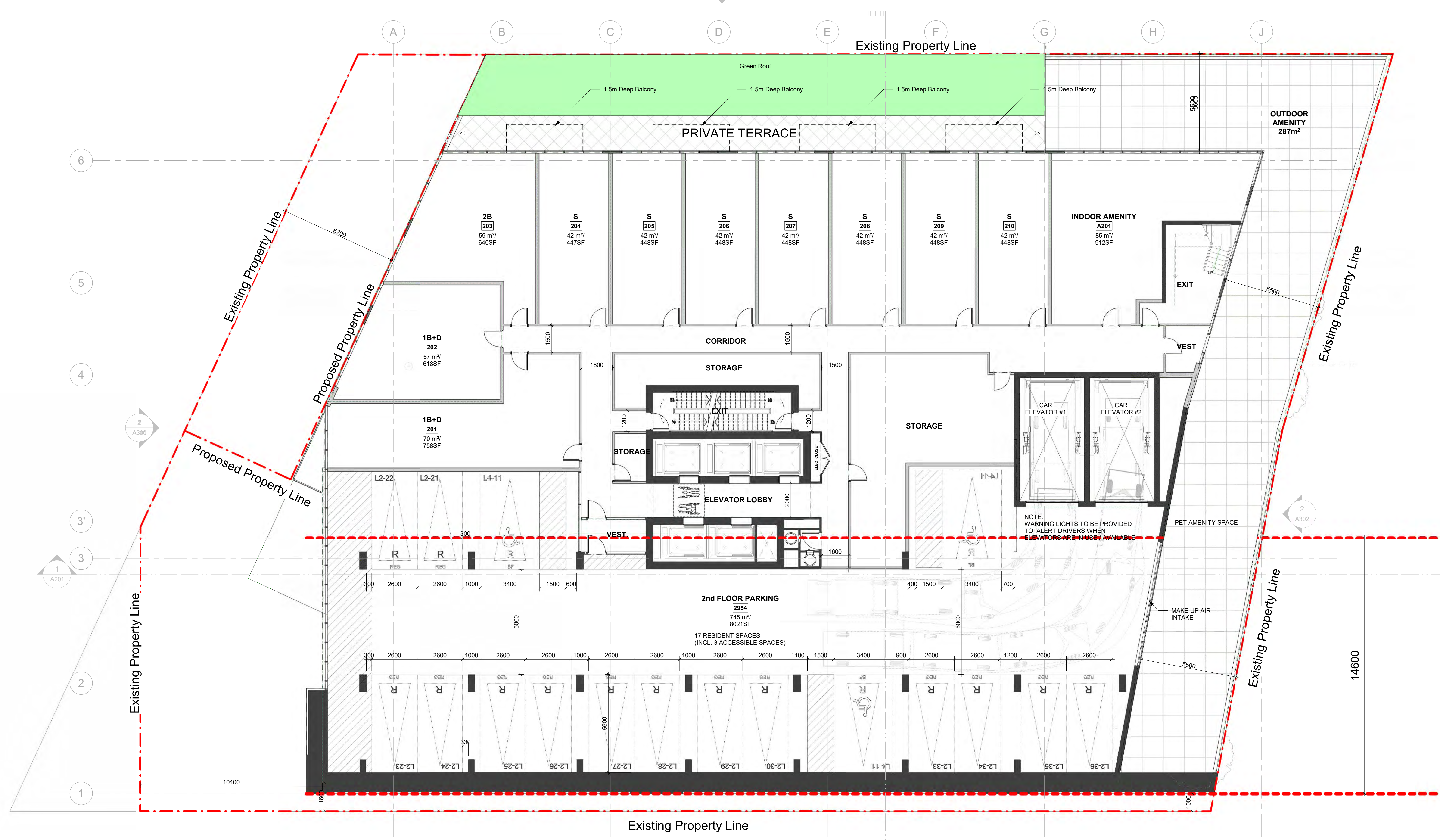
Parking Space Account by Assignment			
Level		Assignment	Stall Count
4th Floor		R	18
3rd Floor		R	18
2nd Floor		R	17
Ground Floor		V	5
P1 Level		R	47
TOTAL PARKING SPACES: 105			

Barrier Free Parking Space Count			
Level	Type	Parking Assignment	Stall Count
4th Floor	BF 3400x5600	R	2
3rd Floor	BF 3400x5600	R	2
2nd Floor	BF 3400x5600	R	3
Ground Floor	BF 3400x5600	V	1
P1 Level	BF 3400x5600	R	4
Total Parking Spaces: 12			

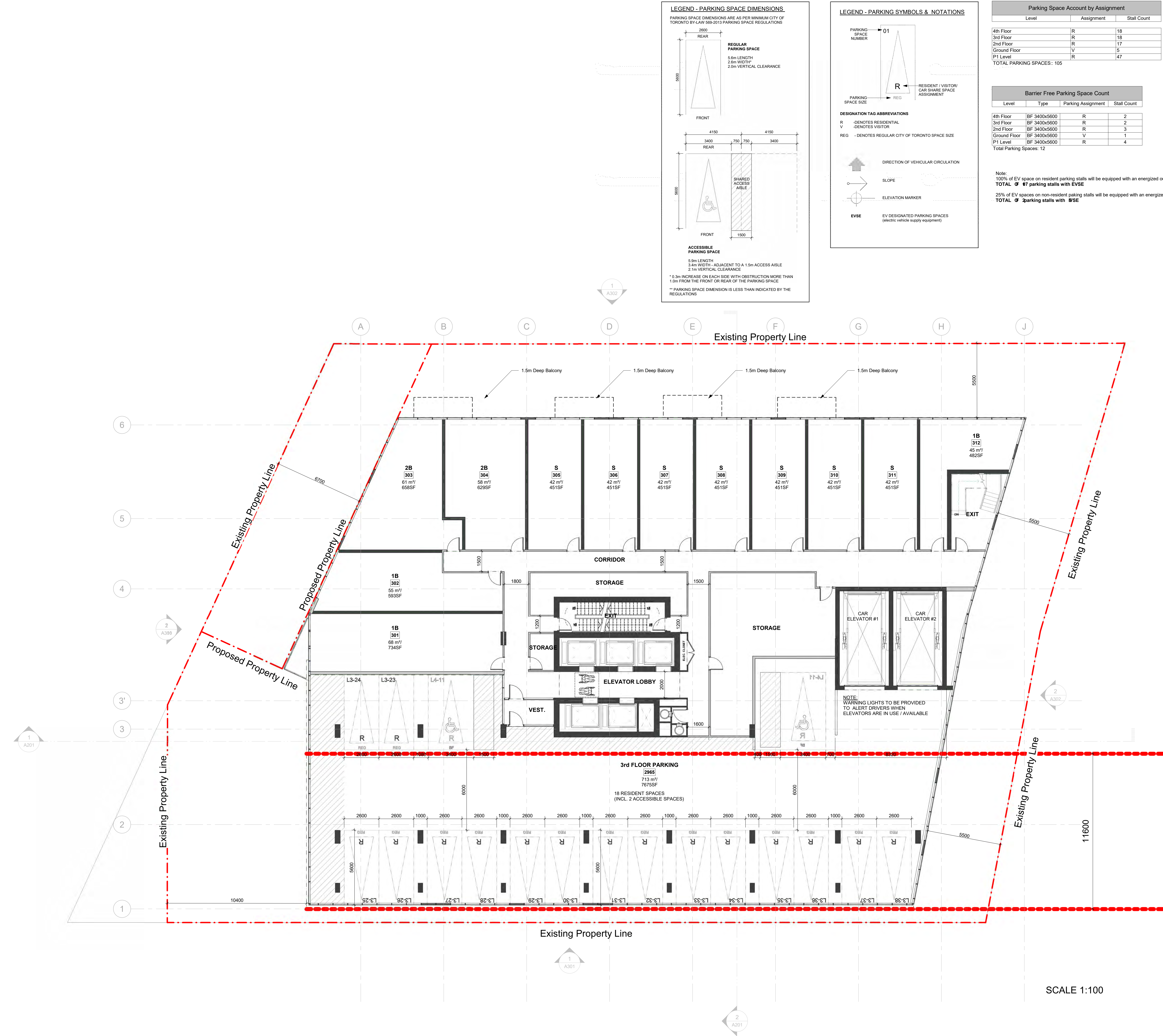


Note:  
100% of EV space on resident parking stalls will be equipped with an energized outlet capable of providing Level 2 charging or higher to the parking space.  
**TOTAL 67 parking stalls with EVSE**  
25% of EV spaces on non-resident parking stalls will be equipped with an energized outlet capable of providing Level 2 charging or higher to the parking space.  
**TOTAL 2 parking stalls with EVSE**



SCALE 1:100





SCALE 1:100



ISSUED	DATE	DESCRIPTION
1	2023/10/17	ISSUED FOR SPAREZONING SUBMISSION
2	2023/08/01	ISSUED FOR APPEAL LND
3	2023/02/03	ISSUED FOR REZONING SUBMISSION
4	2023/05/03	4. 2023/03/20 ISSUED FOR MEDIATION

- GENERAL NOTES
- DRAWINGS ARE PREPARED BASED ON BOUNDARY PLAN AND TOPOGRAPHICAL SURVEY OF PART OF LOT 2 CONCESSION 1 FROM THE BAY AND PART OF DAVIES ROAD CLOUSED BY BY-LAW 569, INT. No. CAC28907 CITY OF TORONTO R. AVIS SURVEYING INC., AND DATED MAY 9, 2022.
  - DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANTS' DRAWINGS AND REPORTS. REFER TO TRAFFIC CONSULTANT'S DOCUMENTATION FOR TRAFFIC DIAGRAM, TURNING RADII, TRAFFIC REPORT AND SITE ACCESS INFORMATION. REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR LANDSCAPING INFORMATION, GRADING, GREEN ROOF, AND OUTDOOR AMENITY SPACES. REFER TO SITE SERVING (CIVIL ENGINEERS) DRAWINGS AND REPORTS FOR SITE SERVING, DRAWINGS AND REPORTS FOR SITE SERVING, AND UTILITY INFORMATION. REFER TO WASTE MANAGEMENT CONSULTANT'S DESIGN BRIEF FOR INFORMATION ABOUT WASTE STORAGE, PICK-UP AND HANDLING FOR ALL USES/OCCUPANCIES. REFER TO LETTER FROM STRUCTURAL ENGINEER FOR DRIVEWAYS, PASSAGE WAYS AND LOADING SPACE WITH IMPACT FACTORS WHERE THEY ARE LOCATED OVER A SUPPORTED STRUCTURE.
  - ALL ACCESS DRIVEWAYS TO BE USED BY THE COLLECTION VEHICLE WILL BE LEVEL (+/-%) HAVE A MINIMUM VERTICAL CLEARANCE OF 4.1 m THROUGHOUT A MINIMUM 4.5 m WIDE THROUGHOUT AND 4 m WIDE AT POINT OF INGRESS AND EGRESS.
  - OVERHEAD DOORS THE COLLECTION VEHICLE WILL BE PASSING THROUGH HAVE A MINIMUM WIDTH OF 4 m AND A MINIMUM OVERHEAD CLEARANCE OF 4.4 m.
  - TYPE G LOADING SPACE THAT IS LEVEL (+/-2%), AND IS CONSTRUCTED OF A MINIMUM OF 200 MM REINFORCED CONCRETE.
  - A TRAINED ON-SITE STAFF MEMBER WILL BE AVAILABLE TO MANEUVER TRUCKS FOR THE COLLECTION DRIVER AND ALSO ACT AS A FLAGMAN WHEN THE TRUCK IS NEAR THE CURB. THE ON-SITE STAFF IS UNAVAILABLE AT THE TIME THE CITY COLLECTION VEHICLE WILL LEAVE THE SITE AND NOT RETURN UNTIL THE NEXT SCHEDULED COLLECTION DAY.
  - A WARNING SYSTEM TO CAUTION MOTORISTS LEAVING THE PARKING GARAGE OF HEAVY VEHICLES WHEN LOADING OPERATIONS ARE OCCURRING. THIS WARNING SYSTEM SHOULD INCLUDE BOTH LIGHTS AND SIGNS.
  - A NON-RESIDENTIAL WASTE STORAGE ROOM FOR NON-RESIDENT COMPONENT IS PROVIDED WHICH IS INDEPENDENT OF AND NOT ACCESSIBLE TO THE RESIDENTIAL WASTE ROOM.
  - THE BINS THAT WILL BE USED FOR THE NON-RESIDENTIAL WASTE WILL BE LABELLED SEPARATELY FROM THE BINS FOR THE RESIDENTIAL WASTE.
  - ALL DOORS LEADING TO BICYCLE ROOMS HAVE ADD (Automatic Door Openers).
  - AS PER NFPA 14 "STANDARD FOR THE INSTALLATION OF STANDPIPE AND HOSE SYSTEMS" THIS BUILDING (HIGH-RISE BUILDING) IS EQUIPPED WITH AT LEAST TWO REMOTE LOCATED FIRE DEPARTMENT CONNECTIONS FOR EACH ZONE. A HIGH-RISE BUILDING, AS DEFINED WITHIN NFPA 14, IS ANY "BUILDING WHERE THE FLOOR OF AN OCCUPIED STORY IS GREATER THAN 23 M ABOVE THE LOWEST LEVEL OF THE FIRE DEPARTMENT VEHICLE ACCESS".

No.	DATE	DESCRIPTION
REVISIONS		
DRAWING STATUS		
STATUS APPROVAL:		
DATE:		

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Arcadis Architects (Canada) Inc.

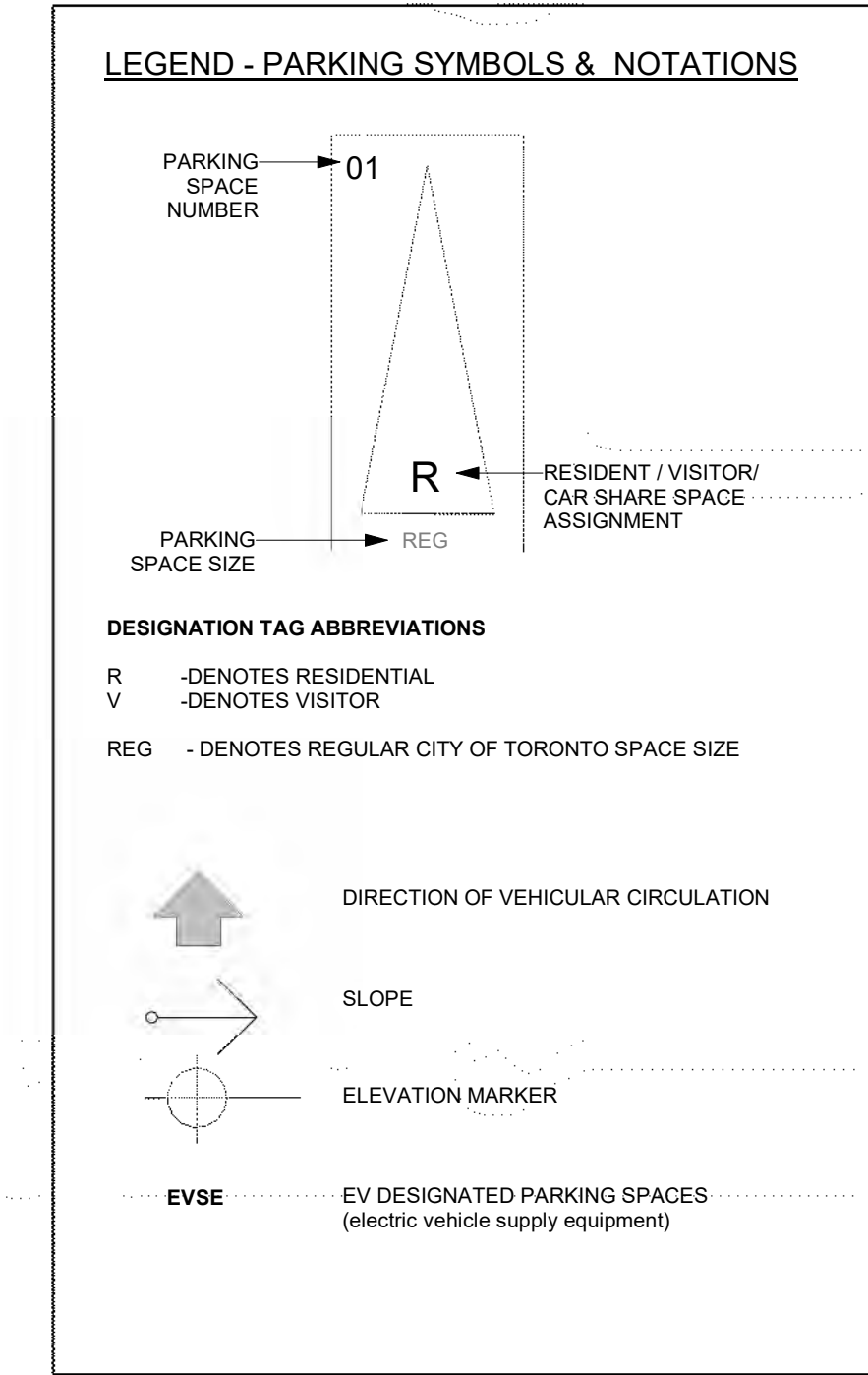
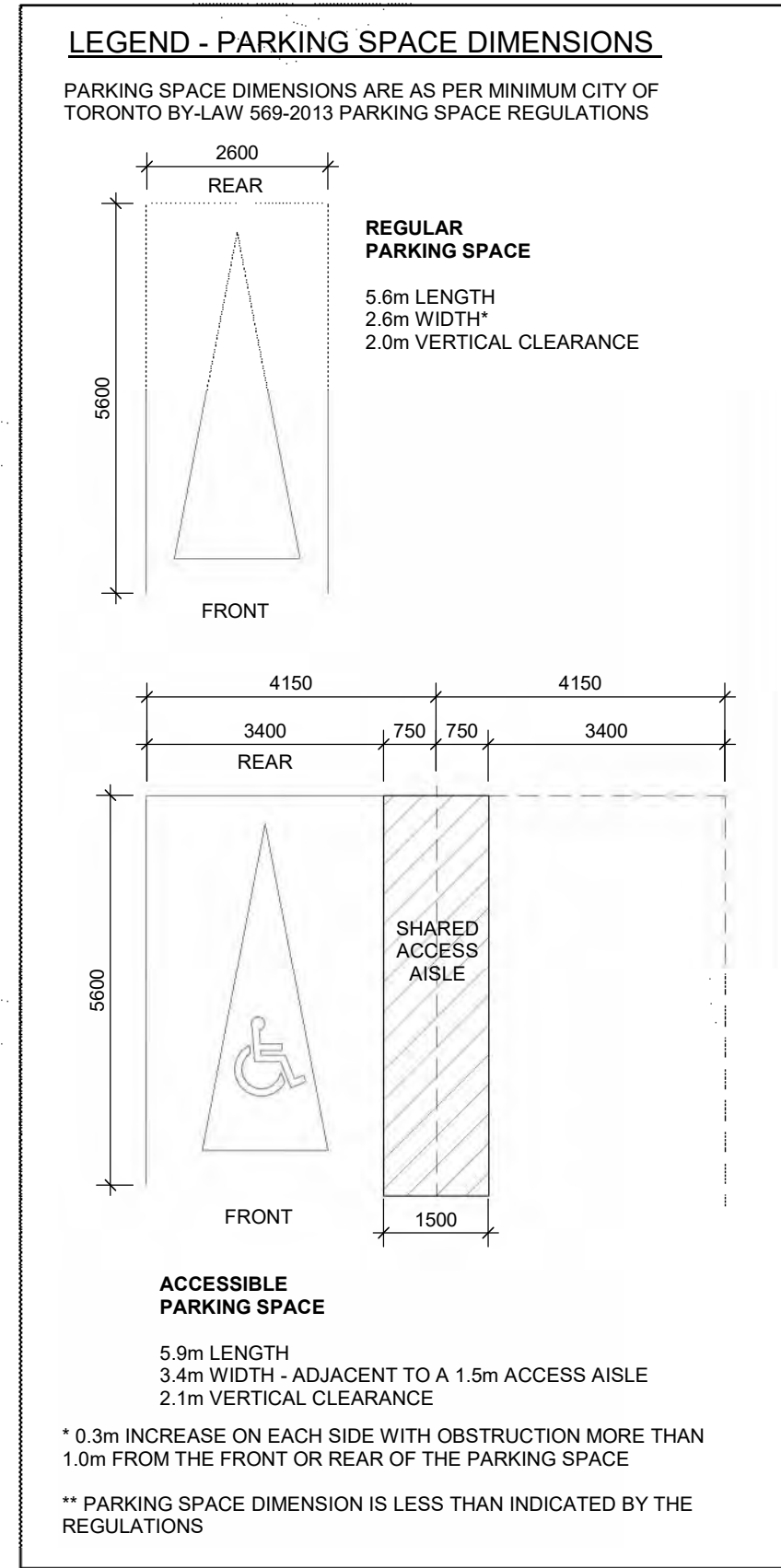
SEAL:

SHEET TITLE

3rd FLOOR PLAN

DRAWN BY:	CHECKED BY:	DATE:	SCALE:
Author	Checker	01/08/2023	As indicated





Parking Space Account by Assignment			
Level	Assignment	Stall Count	
4th Floor	R	18	
3rd Floor	R	18	
2nd Floor	R	17	
Ground Floor	V	5	
P1 Level	R	47	
TOTAL PARKING SPACES: 105			

Barrier Free Parking Space Count			
Level	Type	Parking Assignment	Stall Count
4th Floor	BF 3400x5600	R	2
3rd Floor	BF 3400x5600	R	2
2nd Floor	BF 3400x5600	R	3
Ground Floor	BF 3400x5600	V	1
P1 Level	BF 3400x5600	R	4
Total Parking Spaces: 12			

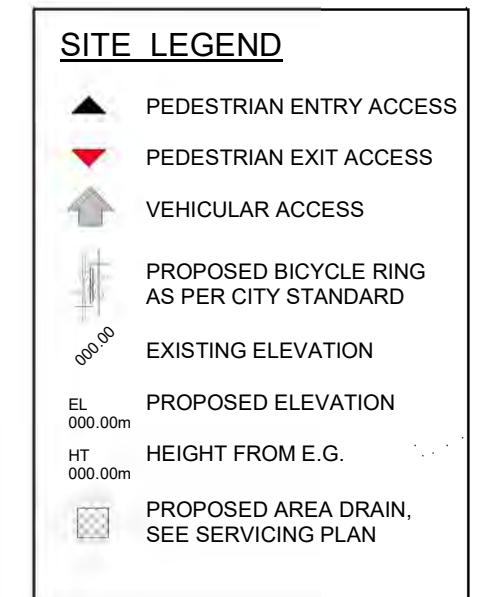
Note:

100% of EV space on resident parking stalls will be equipped with an energized outlet capable of providing Level 2 charging or higher to the parking space.

TOTAL 07 parking stalls with EVSE

25% of EV spaces on non-resident parking stalls will be equipped with an energized outlet capable of providing Level 2 charging or higher to the parking space.

TOTAL 07 parking stalls with EVSE



MARLIN  
SPRING

Dandaw Developments Limited

ISSUED

No.	DATE	DESCRIPTION
1	2023/10/17	ISSUED FOR SPACING SUBMISSION
2	2023/09/01	ISSUED FOR APPEAL LND
3	2024/02/03	ISSUED FOR REZONING SUBMISSION
4	2024/05/03	4. 2024/03/20 ISSUED FOR MEDIATION

GENERAL NOTES

- DRAWINGS ARE PREPARED BASED ON BOUNDARY PLAN AND TOPOGRAPHICAL SURVEY OF PART OF LOT 2 CONCESSION 1, FROM THE BAY AND PART OF DAVIES ROAD (CLOSED BY BY-LAW 569, INST. No. C423267/1) CITY OF TORONTO, R. AVE SURVEYING INC., AND DATED MAY 3, 2022.
- DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANTS DRAWINGS AND REPORTS:
  - REFER TO TRAFFIC CONSULTANTS' DOCUMENTATION FOR TRAFFIC DIAGRAMS, TURNING RADIUS, TRAFFIC REPORT AND SITE ACCESS INFORMATION.
  - REFER TO LANDSCAPE ARCHITECTS' DRAWINGS FOR LANDSCAPING INFORMATION, GRADING, GREEN ROOF AND OUTDOOR AMENITY SPACES.
  - REFER TO SITE SERVING CIVIL ENGINEERS' DRAWINGS AND REPORTS FOR SITE SERVING AND UTILITY INFORMATION.
  - REFER TO WASTE MANAGEMENT CONSULTANTS' DESIGN BRIEF FOR INFORMATION ABOUT WASTE STORAGE, PICK-UP AND HANDLING FOR ALL LIFE OCCUPANCIES.
  - REFER TO LETTER FROM STRUCTURAL ENGINEER FOR DRIVEWAYS, PASSAGEWAYS AND LOADING SPACE WITH IMPACT FACTORS WHERE THEY ARE LOCATED OVER A SUPPORTED STRUCTURE.
- ALL ACCESS DRIVEWAYS TO BE USED BY THE COLLECTION VEHICLE WILL BE LEVEL (+/-2%), HAVE A MINIMUM VERTICAL CLEARANCE OF 4.4m THROUGHOUT A MINIMUM 4.5m WIDE THROUGHOUT AND 6m WIDE AT POINT OF INGRESS AND EGRESS.
- OVERHEAD CABLES THE COLLECTION VEHICLE WILL BE PASSING THROUGH HAVE A MINIMUM WIDTH OF 4m AND A MINIMUM OVERHEAD CLEARANCE OF 4.4m.
- TYPE G LOADING SPACE THAT IS LEVEL (+/-2%), AND IS CONSTRUCTED OF A MINIMUM OF 200 MM REINFORCED CONCRETE.
- A TRAINED ON-SITE STAFF MEMBER WILL BE AVAILABLE TO MANAGE THE BINS FOR THE COLLECTION DRIVER AND ALSO ACT AS A FLAGMAN WHEN THE TRUCK IS REVERSING. IN THE EVENT THE ON-SITE STAFF IS UNAVAILABLE AT THE TIME THE CITY COLLECTION VEHICLE ARRIVES AT THE SITE, THE COLLECTION VEHICLE WILL LEAVE THE SITE AND NOT RETURN UNTIL THE NEXT SCHEDULED COLLECTION DAY.
- A WARNING SYSTEM TO CAUTION MOTORISTS LEAVING THE PARKING GARAGE OF HEAVY VEHICLES WHEN LOADING OPERATIONS ARE OCCURRING. THIS WARNING SYSTEM SHOULD INCLUDE BOTH LIGHTS AND SIGNS.
- A NON-RESIDENTIAL WASTE STORAGE ROOM FOR NON-RESIDENTIAL WASTE IS PROVIDED WHICH IS INDEPENDENT OF AND NOT ACCESSIBLE TO THE RESIDENTIAL WASTE ROOM.
- THE BINS THAT WILL BE USED FOR THE NON-RESIDENTIAL WASTE WILL BE LABELED SEPARATELY FROM THE BINS FOR THE RESIDENTIAL WASTE.
- BUILDING TO BE FULLY SPRINKLED.
- ALL DOORS LEADING TO BICYCLE ROOMS HAVE 400 (minimum) Door Openers.
- AS PER NFPA 14 "STANDARD FOR THE INSTALLATION OF STANDPIPE AND HOSE SYSTEM" THIS BUILDING (HIGH-RISE BUILDING) IS EQUIPPED WITH AT LEAST TWO REMOTELY LOCATED FIRE DEPARTMENT CONNECTIONS FOR EACH ZONE. A HIGH-RISE BUILDING, AS DEFINED WITHIN NFPA 14, IS ANY BUILDING WHERE THE FLOOR OF AN OCCUPIED STORY IS GREATER THAN 20M ABOVE THE LOWEST LEVEL OF THE FIRE DEPARTMENT VEHICLE ACCESS.

REVISIONS

No.	DATE	DESCRIPTION
DRAWING STATUS		
STATUS APPROVAL:		
DATE:		

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PROJECT

MARLIN  
SPRING

SEAL:

SHEET TITLE

4th FLOOR PLAN

DRAWN BY:

CHKD BY:

DATE:

SCALE:

Author

Checker

01/08/2023

As indicated

ARCADIS

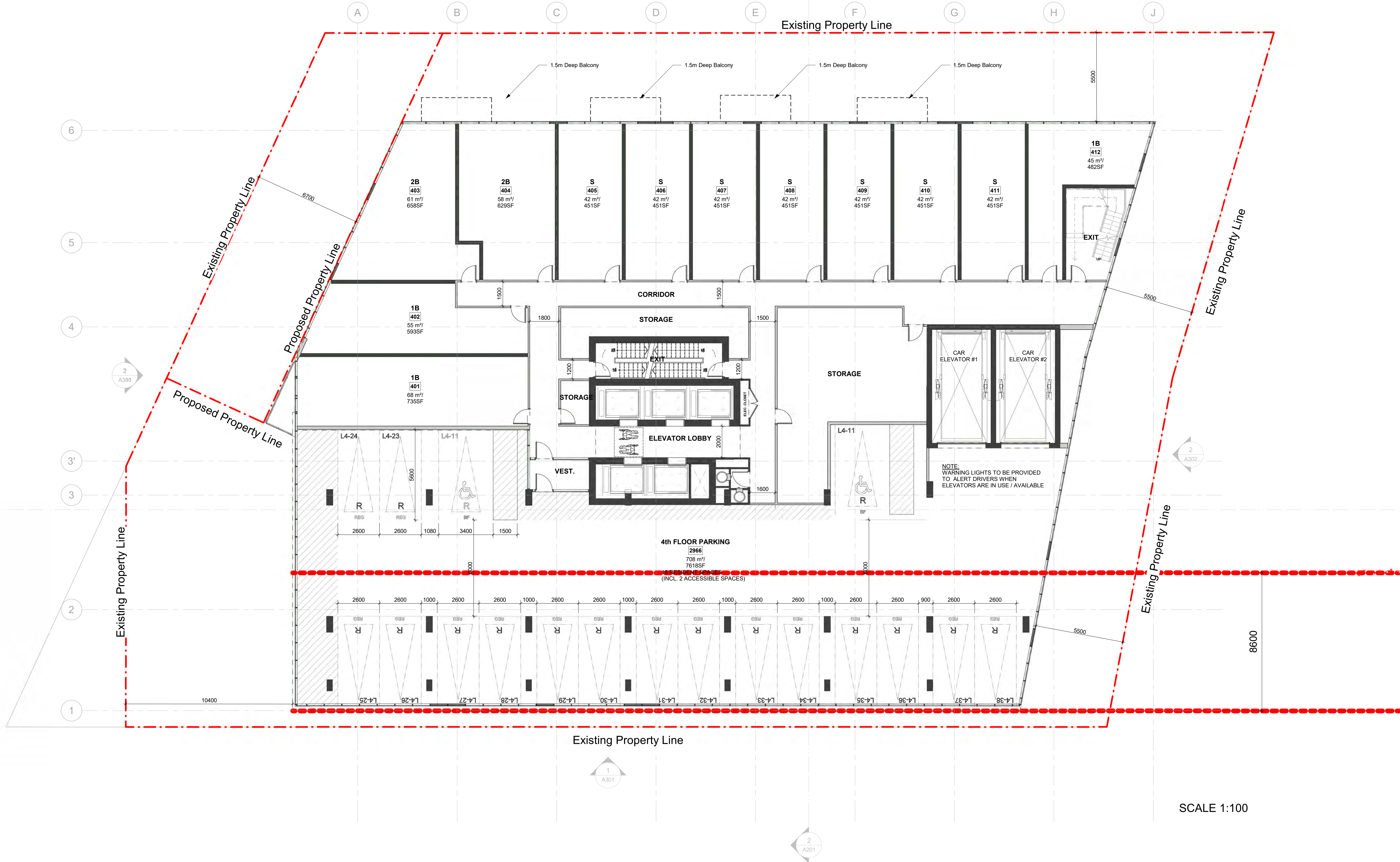
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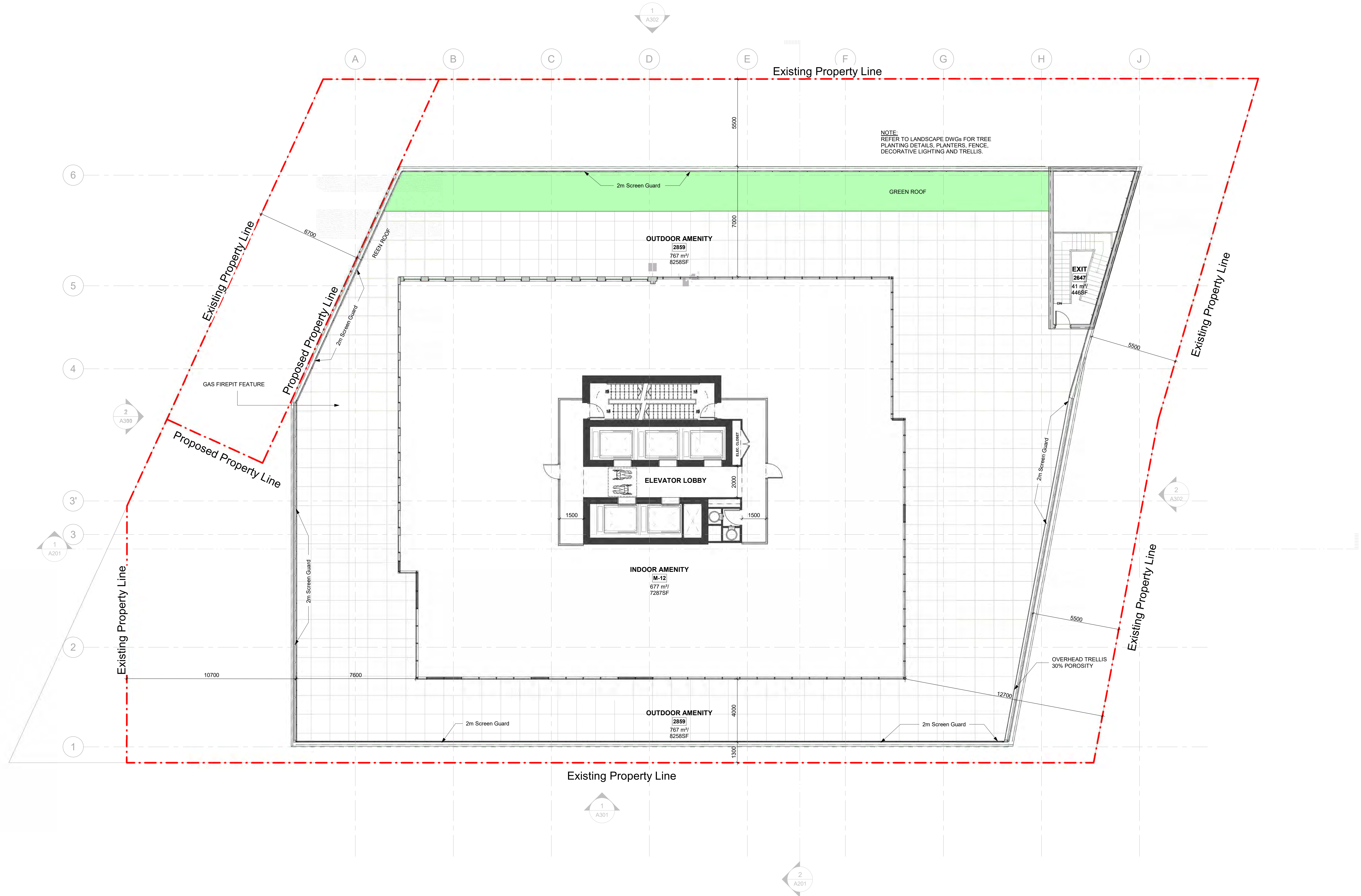
DWG NO:

119029

A105







No.	DATE	DESCRIPTION
1	2023/10/17	ISSUED FOR SPAREZONING SUBMISSION
2	2023/08/01	ISSUED FOR APPEALING
3	2023/02/03	ISSUED FOR REZONING SUBMISSION
4	2023/05/03	4. 2023/03/20 ISSUED FOR MEDIATION

- GENERAL NOTES**
- DRAWINGS ARE PREPARED BASED ON BOUNDARY PLAN AND TOPOGRAPHICAL SURVEY OF PART OF LOT 3 CONCESSION 1 FROM THE BAY AND PART OF DAVES ROAD (CLOSED BY BY-LAW 806 INST. NO. C432967) CITY OF TORONTO & A/S SURVEYING INC. AND DATED MAY 14, 2022.
  - DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANTS' DRAWINGS AND REPORTS.
    - REFER TO TRAFFIC CONSULTANTS' DOCUMENTATION FOR TRAFFIC DIAGRAM, TURNING RADI, TRAFFIC REPORT AND SITE ACCESS INFORMATION.
    - REFER TO LANDSCAPE ARCHITECTS' DRAWINGS FOR LANDSCAPING INFORMATION, GRADING, GREEN ROOF AND OUTDOOR AMENITY SPACES.
    - REFER TO SITE SERVING CIVIL ENGINEERS' DRAWINGS AND REPORTS FOR SITE SERVING AND UTILITY INFORMATION.
    - REFER TO WASTE MANAGEMENT CONSULTANTS' DESIGN BRIEF FOR INFORMATION ABOUT WASTE STORAGE, PICK-UP AND HANDLING FOR ALL USER OCCUPANCIES.
    - REFER TO LETTER FROM STRUCTURAL ENGINEER FOR DRIVEWAYS, PASSAGE WAYS AND LOADING SPACE WITH IMPACT FACTORS WHERE THEY ARE LOCATED OVER A SUPPORTED STRUCTURE.
  - ALL ACCESS DRIVEWAYS TO BE USED BY THE COLLECTION VEHICLE WILL BE LEVEL 1+4% HAVE A MINIMUM VERTICAL CLEARANCE OF 4.4 m THROUGHOUT A MINIMUM 4.5 m WIDE THROUGHOUT AND 6 m WIDE AT POINT OF INGRESS AND EGRESS.
  - OVERHEAD DOORS THE COLLECTION VEHICLE WILL BE PASSING THROUGH HAVE A MINIMUM WIDTH OF 4 m AND A MINIMUM OVERHEAD CLEARANCE OF 4.4 m.
  - TYPE C LOADING SPACE THAT IS LEVEL (+/-2%) AND IS CONSTRUCTED OF A MINIMUM OF 200 MM REINFORCED CONCRETE.
  - A TRAINED ON-SITE STAFF MEMBER WILL BE AVAILABLE TO MANEUVER BINS FOR THE COLLECTION DRIVER AND ALSO AS A LAGUARD WHEN THE TRUCK IS REVERSING. IN THE EVENT THE ON-SITE STAFF IS UNAVAILABLE AT THE TIME THE CITY COLLECTION VEHICLE ARRIVES AT THE SITE, THE COLLECTION VEHICLE WILL LEAVE THE SITE AND NOT RETURN UNTIL THE NEXT SCHEDULED COLLECTION DAY.
  - A WARNING SYSTEM TO CAUTION MOTORISTS LEAVING THE PARKING GARAGE OF HEAVY VEHICLES WHEN LOADING OPERATIONS ARE OCCURRING. THIS WARNING SYSTEM SHOULD INCLUDE BOTH LIGHTS AND SOUNDS.
  - A NON-RESIDENTIAL WASTE STORAGE ROOM FOR NON-RESIDENTIAL WASTE WILL BE LABELLED SEPARATELY FROM THE BINS FOR THE RESIDENTIAL WASTE.
  - THE BINS THAT WILL BE USED FOR THE NON-RESIDENTIAL WASTE WILL BE LABELLED SEPARATELY FROM THE BINS FOR THE RESIDENTIAL WASTE.
  10. BUILDING TO BE FULLY SPRINKLED.
  11. ALL DOORS LEADING TO BICYCLE ROOMS HAVE ADO (Automatic Door Operates).
  12. AS PER NFPA 14 STANDARD FOR THE INSTALLATION OF STANDPIPES AND HOSE SYSTEMS, THIS BUILDING (HIGH-RISE BUILDING) IS EQUIPPED WITH AT LEAST TWO STANDPIPES, EACH ZONE A HIGH-RISE BUILDING, AS DEFINED WITHIN NFPA 14, IS ANY BUILDING WHERE THE FLOOR OF AN OCCUPIED STOREY IS GREATER THAN 10 M ABOVE THE LOWEST LEVEL OF THE FIRE DEPARTMENT VEHICLE ACCESS.

No.	DATE	DESCRIPTION
1	2023/10/17	ISSUED FOR SPAREZONING SUBMISSION
2	2023/08/01	ISSUED FOR APPEALING
3	2023/02/03	ISSUED FOR REZONING SUBMISSION
4	2023/05/03	4. 2023/03/20 ISSUED FOR MEDIATION

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PROJECT  
MARLIN  
SPRING

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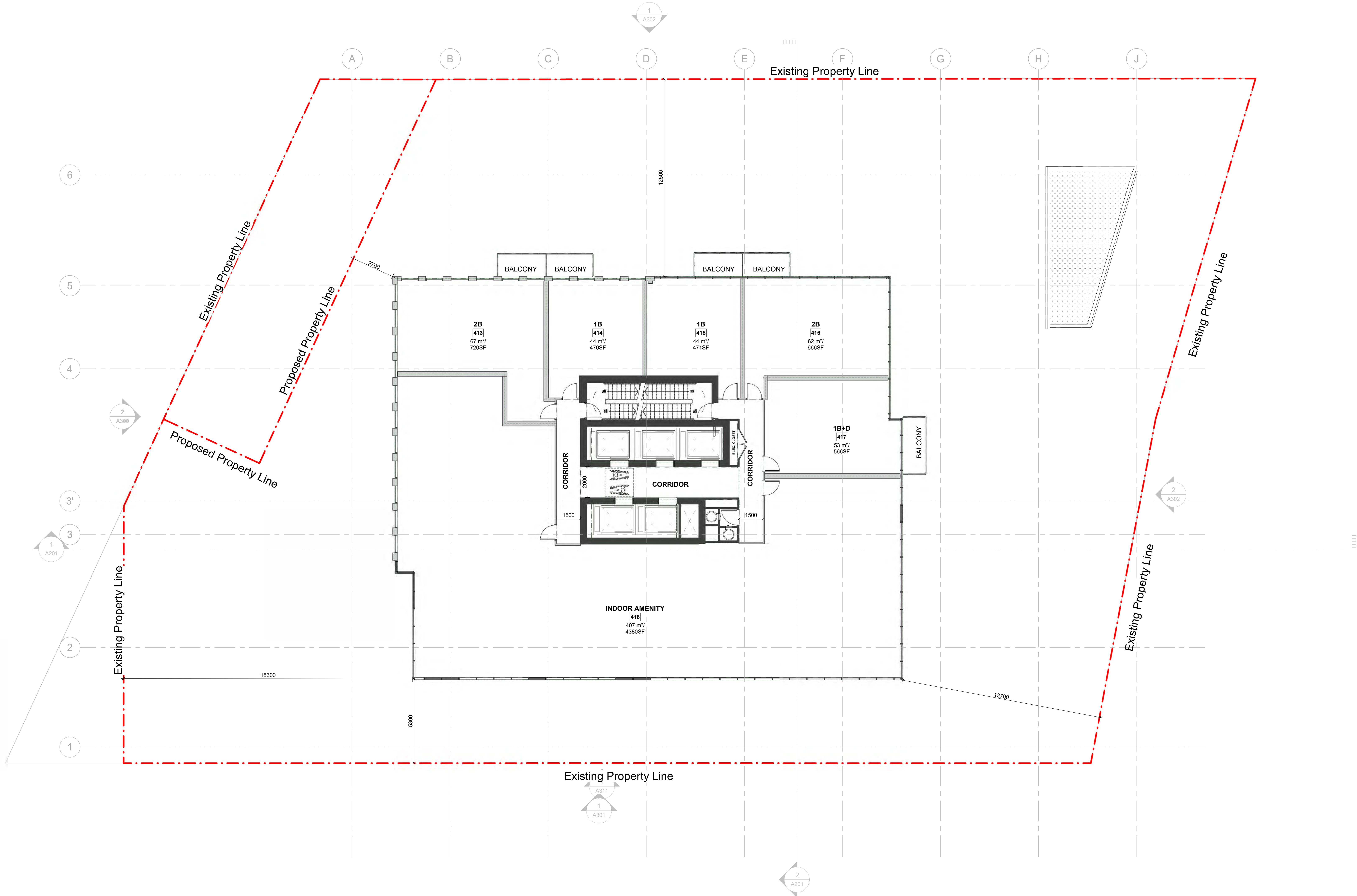
SHEET TITLE  
5th FLOOR PLAN

DRAWN BY:	CHECKED BY:	DATE:	SCALE:
Author	Checker	01/08/2023	1: 100

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PROJECT NO: 119029  
DWG NO: A106





No.	DATE	DESCRIPTION
1	2023/10/17	ISSUED FOR SPAREZONING SUBMISSION
2	2023/08/01	ISSUED FOR APPEALING
3	2024/02/03	ISSUED FOR REZONING SUBMISSION
4	2024/05/03	4. 2024/03/20 ISSUED FOR MEDIATION

- GENERAL NOTES**
1. DRAWINGS ARE PREPARED BASED ON BOUNDARY PLAN AND TOPOGRAPHICAL SURVEY OF PART OF LOT 7 CONVEYANCE 1 FROM THE BAY AND PART OF DAVIES ROAD (CLOSED) BY LAW 188, INST. NO. CAG2007/017 OF TORONTO R. ASS SURVEYING INC. AND DATED MAY 9, 2022.
  2. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANT'S DRAWINGS AND REPORTS.
    - REFER TO TRAFFIC CONSULTANT'S DOCUMENTATION FOR TRAFFIC DIAGRAM, TURNING RADI, TRAFFIC REPORT AND SITE ACCESS INFORMATION.
    - REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR LANDSCAPING INFORMATION, GRADING, GREEN ROOF AND OUTDOOR AMENITY SPACES.
    - REFER TO SITE SERVICES/CIVIL ENGINEERS' DRAWINGS AND REPORTS FOR SITE SERVING AND UTILITY INFORMATION.
    - REFER TO WASTE MANAGEMENT CONSULTANT'S DESIGN BRIEF FOR INFORMATION ABOUT WASTE STORAGE, PICK-UP AND HANDLING FOR ALL USER OCCUPANCIES.
    - REFER TO LETTER FROM STRUCTURAL ENGINEER FOR DRIVEWAYS, PASSAGEWAYS AND LOADING SPACE WITH IMPACT FACTORS WHERE THEY ARE LOCATED OVER A SUPPORTED STRUCTURE.
  3. ALL ACCESS DRIVEWAYS TO BE USED BY THE COLLECTION VEHICLE WILL BE LEVEL (+0.00) HAVE A MINIMUM VERTICAL CLEARANCE OF 4.4 m THROUGHOUT, A MINIMUM 4.5 m WIDE THROUGHOUT AND 6 m WIDE AT POINT OF INGRESS AND EGRESS.
  4. OVERHEAD DOORS THE COLLECTION VEHICLE WILL BE PASSING THROUGH HAVE A MINIMUM WIDTH OF 4 m AND A MINIMUM OVERHEAD CLEARANCE OF 4.4 m.
  5. TYPE G LOADING SPACE THAT IS LEVEL (+/-2%) AND IS CONSTRUCTED OF A MINIMUM OF 20 MM REINFORCED CONCRETE.
  6. A TRAINED ON-SITE STAFF MEMBER WILL BE AVAILABLE TO MANOEUVRE BINS FOR THE COLLECTION DRIVER AND ALSO ACT AS A GUARD WHEN THE TRUCK IS REVERSING. IN THE EVENT THE ON-SITE STAFF IS UNAVAILABLE AT THE TIME THE CITY COLLECTION VEHICLE ARRIVES AT THE SITE, THE COLLECTION VEHICLE WILL LEAVE THE SITE AND NOT RETURN UNTIL THE NEXT SCHEDULED COLLECTION DAY.
  7. A WARNING SYSTEM TO CAUTION MOTORISTS LEAVING THE PARKING GARAGE OF HEAVY VEHICLES WHEN LOADING OPERATIONS ARE OCCURRING. THIS WARNING SYSTEM SHOULD INCLUDE BOTH LIGHTS AND SIGNS.
  8. A NON-RESIDENTIAL WASTE STORAGE ROOM FOR NON-RESIDENTIAL WASTE IS PROVIDED WHICH IS INDEPENDENT OF AND NOT ACCESSIBLE TO THE RESIDENTIAL WASTE ROOM.
  9. THE BINS THAT WILL BE USED FOR THE NON-RESIDENTIAL WASTE WILL BE LABELLED SEPARATELY FROM THE BINS FOR THE RESIDENTIAL WASTE.
  10. BUILDING TO BE FULLY SPRINKLED.
  11. ALL DOORS LEADING TO BICYCLE ROOMS HAVE ADO (Automatic Door Operator).
  12. PER NFPA 1A STANDARD FOR THE INSTALLATION OF STANDPIPE AND HOSE SYSTEMS, THIS BUILDING (HIGH RISE BUILDING) IS EQUIPPED WITH AT LEAST TWO REMOTELY LOCATED FIRE DEPARTMENT CONNECTIONS FOR EACH ZONE. A HIGH RISE BUILDING, AS DEFINED WITHIN NFPA 1A, IS ANY BUILDING WHERE THE FLOOR OF AN OCCUPIED STOREY IS GREATER THAN 2.1 M ABOVE THE LOWEST LEVEL OF THE FIRE DEPARTMENT VEHICLE ACCESS.

No.	DATE	DESCRIPTION
REVISIONS		
DRAWING STATUS:		
STATUS APPROVAL:		
DATE:		

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PROJECT  
**MARLIN  
SPRING**

SEAL:

SHEET TITLE  
**6th FLOOR PLAN**

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Author	Checker	01/08/2023	1: 100

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PROJECT NO: 119029  
DWG NO: A107



[illegible]

### GENERAL NOTES

- [illegible]

DATE	DESCRIPTION
VISIONS	
DRAWING STATUS: _____	
STATUS APPROVAL: _____	
DATE: _____	

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**Arcadis Architects (Canada) Inc.**

PROJECT  
MARLIN  
SPRING

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ET TITLE  
p. 7th to 48th FLOOR PLAN

DRAWN BY:	CHKD BY:	DATE:	SCALE:
Author	Checker	01/08/2023	1 : 100



PROJECT NO:	DWG NO.
119029	A108



DATE	DESCRIPTION
2022/10/17	ISSUED FOR SPAREZONING SUBMISSION
2023/08/01	ISSUED FOR APPEALLING
2024/02/23	ISSUED FOR REZONING SUBMISSION
2024/06/03	4 2024/03/20 ISSUED FOR MEDIATION

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DATE	DESCRIPTION
DIVISIONS	

DRAWING STATUS: \_\_\_\_\_  
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**Arcadis Architects (Canada) Inc.**

PROJECT  
MARLIN  
SPRING

ET TITLE  
p. 49th & 52nd FLOOR PLAN

OWN BY:	CHKD BY:	DATE:	SCALE:
Thor	Checker	01/08/2023	1 : 100



PROJECT NO:	DWG NO.
119029	A111