

# VILLIERS ISLAND PRECINCT PLAN

2024 AMENDMENT











Waterfront Toronto acknowledges that the land upon which we are undertaking our revitalization efforts is part of the traditional territory of the Mississaugas of the Credit First Nation and that Toronto is covered by Treaty 13 with the Mississaugas of the Credit First Nation (MCFN). In addition, Waterfront Toronto acknowledges that Toronto has historically been a gathering place for many Indigenous peoples, including the Mississaugas of the Credit, the Anishnabeg, the Chippewa, the Haudenosaunee and the Wendat peoples, and is home to many First Nations, Inuit and Métis peoples today.



We acknowledge the land we are meeting on is the traditional territory of many nations including the Mississaugas of the Credit, the Anishnabeg, the Chippewa, the Haudenosaunee and the Wendat peoples and is now home to many diverse First Nations, Inuit and Métis peoples. We also acknowledge that Toronto is covered by Treaty 13 with the Mississaugas of the Credit.



As the public agency responsible for overseeing the City of Toronto's real estate assets, we acknowledge the lands we have been entrusted to manage are treaty lands and the traditional territories of many nations including the Anishnabeg, the Haudenosaunee and the Wendat peoples and are now home to many diverse First Nations, Inuit and Métis peoples. These territories are currently covered by Treaty 13 (1805) with the Mississaugas of the Credit and the Williams Treaties (1923) signed with multiple Mississauga and Chippewa bands.

At CreateTO, our work spans the entirety of the City of Toronto's geographic boundaries, encompassing many important waterways and lands that, for thousands of years, have been the homelands and gathering places for many nations. We gratefully acknowledge these Indigenous nations for their stewardship of this land.

We recognize our accountability to these Indigenous nations and support the realization of the priority actions outlined in the City of Toronto's Reconciliation Action Plan.

We also look forward to strengthening our relationships with the First Nations, Inuit and Métis peoples of Toronto and to working together in the spirit of peace, friendship and respect to continue building a livable city for all who call it home.

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# SECTION 1

# INTRODUCTION





## In this section:

- 1.1 Project Background - Precinct Plan
- 1.2 The Density Study and Precinct Plan Amendment Process
- 1.3 Confirming the Guiding Principles

The City of Toronto, in collaboration with CreateTO and Waterfront Toronto, is undertaking a significant revitalization of the Port Lands - one of the city's most ambitious urban transformation projects. At the heart of this transformation is the newly envisioned Island, being created as part of the more than \$1.4 billion Port Lands Flood Protection Project. This Island, currently called Villiers Island (the "Island"), will accommodate greater density, reflecting the evolving needs and priorities of the City, shaped by the national housing crisis, the impact of the global pandemic, and increasing recognition of the climate emergency.

The Precinct Plan, approved in 2017, was developed through a partnership between the City of Toronto and Waterfront Toronto. It was informed by contributions from external and internal collaborators, public consultations, the Waterfront Design Review Panel and specialist consultant teams. This plan was developed as a demonstration plan, reflecting Official Plan and Secondary Plan policies, a comprehensive planning vision for the Island. It provides guiding principles, built form recommendations, and detailed strategies guidelines to achieve them, establishing a well-defined street and block network, height and massing standards, and public realm considerations.

The Precinct Plan was built on a strong planning and policy framework aimed at guiding ongoing waterfront revitalization efforts. The Central Waterfront Secondary Plan, adopted in 2003, plans for the transformation of the Port Lands into vibrant new urban communities and modern, creative employment districts adjacent to the working port.

The Port Lands Planning Framework, adopted in 2017, provides detailed policy around land use, provisions for green spaces, heritage conservation, inclusive community development, transportation networks, urban design, and sustainable development practices. Key initiatives including the Don Mouth Naturalization and Port Lands Flood Protection Environmental Assessment (DMNP EA) and Lower Don Lands Infrastructure Master Plan EAs have played a pivotal role in physically shaping Villiers Island and the surrounding waterways. These efforts, involving flood protection, river channel naturalization, infrastructure planning and phased development will help guide the revitalization of the Island and the Port Lands.

Following the expected completion of the Port Lands Flood Protection Project by the end of 2024, the almost 20 hectares of developable land on the Island, including rights-of-way, will become available for transformation into a leading example of a contemporary, mixed-use community within Toronto's Port Lands.

◀ **FIGURE 1.** Notional render of Keating Channel, looking southwest towards the Keating Channel Water's Edge Promenade (source: Waterfront Toronto)



## 1.2 THE DENSITY STUDY AND PRECINCT PLAN AMENDMENT PROCESS

Work started on the Density Study in late 2021 with a planning and architectural consultant team. This work aimed to explore massing options that would respond to the evolving built form context of a general increase in heights and densities along Toronto's eastern waterfront. The next phase of the Density Study work aimed to update the Precinct Plan as a response to direction from City Council to support a significant increase in housing opportunities on the Island. Reporting to Planning and Housing Committee in February 2023, City staff provided an update on the affordable housing strategy for the Island, which will include a minimum of 20% and a target of 30% affordable rental homes on public lands, secured as long-term or permanently affordable housing aligned with the City's new income-based definition of affordability. This affordable housing target is achievable and consistent with the City's housing plans, including the HousingTO 2020-2030 Action Plan, Housing Action Plan 2022-2026, and the Generational Transformation report.

The City of Toronto, CreateTO, and Waterfront Toronto collaborated extensively to review the Precinct Plan and the density on public lands. The partnership sought to identify appropriate built form changes that could help achieve the City's increasingly ambitious housing and affordable housing goals. This comprehensive review process benefited from a series of iterative design workshops, expert advice from professional planning and design consultants, feedback from the Waterfront Design Review Panel, and public feedback through consultations and focus groups.



FIGURE 2. Amended Villiers Island Massing model with maximum tower heights on publicly-owned lands

## 1.3 CONFIRMING THE GUIDING PRINCIPLES

The 2017 Precinct Plan established comprehensive guiding principles to envision the Island as a unique waterfront community with a mix of uses surrounded by new parkland and a new, naturalized riverfront. These guiding principles are to:

- > Animate and activate the water's edges to provide a variety of memorable experiences along the river, harbour and channel edges;
- > Create a network of spectacular open spaces and waterside parks to serve the local community, city and region;
- > Provide a catalytic use opportunity to reinforce the Island's identity as a regional destination;
- > Reinforce the Island as a gateway to the waterfront and the Port Lands;
- > Celebrate the area's industrial heritage character and legacy through conservation; Prioritize pedestrian, cycling and transit infrastructure to, from and within the Island by providing connected pedestrian and cycling networks and optimizing planned transit infrastructure;
- > Plan for a diverse, complete, mixed-use and inclusive community with employment opportunities and a range of affordable and family-oriented housing opportunities;
- > Provide a variety of building forms to support a comfortable and inviting public realm and establish a distinct skyline;
- > Develop an innovative model for a climate-positive urban community and demonstrate excellence in community design; and
- > Ensure that the Precinct Plan and supporting infrastructure are viable and implementable.

The amendments to the Precinct Plan retain these principles while proposing an approach to increase densities in alignment with City Council's updated housing goals, including updating the target of affordable housing for the Island. These amendments retain the core structuring elements and block plan from the 2017 Precinct Plan but introduce revised built form typologies and heights to support additional density, while preserving the key principles related to a high-quality public realm. These amendments were guided and informed by the following approaches and study inputs:

- > Revising built form guidelines based on an urban design study;
- > Conducting due diligence studies to evaluate the impacts of greater density on transportation, land use compatibility, airspace, community services, infrastructure and the microclimatic impacts within the public realm; and
- > Engaging professionals and the public on urban design strategies to maximize the amount of housing achievable while upholding sustainability and public realm goals.

This extensive review process, spanning over a year, resulted in amendments that enable approximately 60 percent more gross floor area on the Island than initially planned, all of which is intended to support more housing opportunities. These amendments not only support a significant increase in residential and affordable housing units but also allow for more efficient use of lands unlocked by flood protection efforts. This includes the creation of approximately 20 hectares of parks and open spaces, playgrounds and naturalized wetlands. Furthermore, it leverages the significant public investments in water and servicing infrastructure, public spaces, cycling and transit infrastructure on the Island to support a greater population and vastly improved parks and public realm.



## SECTION 2

# SUMMARY OF AMENDMENTS





**In this section:**

- 2.1 The Context for Change
- 2.2 A Long-Term Vision: Housing, Reconciliation, and Climate Positive
- 2.3 Affordable Housing Strategy
- 2.4 Climate Positive and Resilience
- 2.5 Increasing Densities
- 2.6 Building a Complete Community

In the years since City Council approved the 2017 plan, evolving policies and changing priorities – prompted by the housing and homelessness crisis, the impacts of the global pandemic, and an increasing recognition of the climate emergency – have highlighted the need for increasingly adaptive, forward-thinking strategies. Acknowledging the significant role that communities serve in addressing wide-ranging social, economic, and ecological challenges, this revision of the Precinct Plan is aimed at providing updated approaches and contemporary solutions. It does so by focusing on enhancements in housing density, built form, sustainability measures, and land use configurations.

The first new waterfront precincts to be planned and commence development, East Bayfront and the West Don Lands, and more recently Lower Yonge and Keating West, have all experienced an increase in proposed and approved densities, often significantly above what was originally imagined in their respective precinct plans. Furthermore, East Harbour received approvals for significant densities; Quayside is pursuing an increase in density permissions to accommodate more housing and affordable housing; and precinct planning work has recently commenced on the McCleary District. This has also been clear in other downtown neighbourhood revitalization projects such as Regent Park. This trend has been in response to intensive development pressures city-wide but also reflects the desirability of these new mixed-use downtown and waterfront districts.

Collectively, the scale of recent development applications and approvals across the eastern waterfront has changed the surrounding context of Villiers Island since work on the Port Lands Planning Framework and precinct plan commenced in 2014 and these planning documents were adopted by Council in 2017. This changed context has helped inform the Density Study and these amendments to the Precinct Plan which have responded to the recommended 60% increase in gross floor area on the Island.

Despite its proximity to downtown, these formerly industrial lands require comprehensive infrastructure and services investments. Through several years of consultation and planning, a strong foundation was established for a new mixed-use neighbourhood, which was approved by City Council in 2017. The public realm approach established in the 2017 plan set the streets, blocks, and open spaces that provide the foundation to support more density through new utilities, generous sidewalks, cycle tracks, green infrastructure to manage stormwater, and future transit connections, much of which builds on, or is being delivered by the Port Lands Flood Protection project.

◀ **FIGURE 3.** Notional render of Promontory Park North in the summer (source: Waterfront Toronto)



Revitalizing the Port Lands is one of the largest and most complex city-building projects in Toronto's history – development on the Island is considered in this broader context. Upon completion, the Island will house more than 15,000 residents, but it's also part of the larger

Port Lands area, which is projected to be home to nearly 40,000 people and 20,000 jobs. The Island's unique, memorable parkland will make it a waterfront destination – serving the larger downtown and attracting visitors from around the world.

While these amendments mark a significant progress, more work is needed to align the vision for the Island and the Port Lands with the City's updated priorities for the Next Phase of Waterfront Revitalization, including advancing initiatives for truth, justice and Reconciliation.

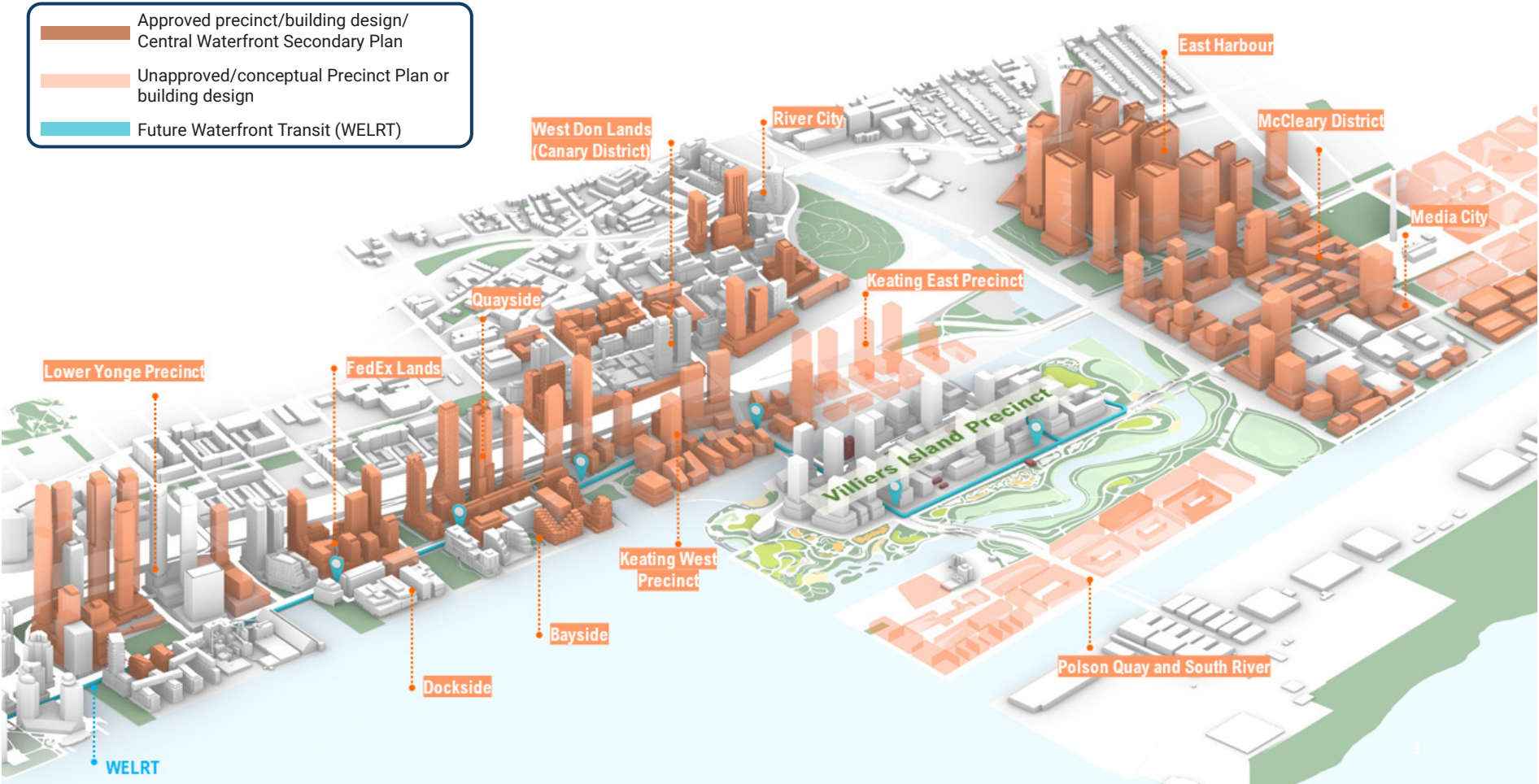


FIGURE 4. Planned development along the waterfront

## A LONG-TERM VISION: HOUSING, RECONCILIATION, AND CLIMATE POSITIVE

The vision for the Island, reflected in these amendments, builds upon the foundation established in 2017, reorienting it towards the current policy imperatives for housing and climate mitigation. Furthermore, this vision will be subject to changes to reflect the renewed commitment to truth, justice, and Reconciliation. This includes a focused effort to renew vision statement with Indigenous communities, including Elders, Knowledge Keepers, language speakers, and community members. This is part of the next phase of work, as outlined in City Council's April 2024 motion: New Island, New Beginnings: Furthering Reconciliation and an Indigenous Cultural Framework for the Port Lands.

Following City Council's direction, City staff have been collaborating with an Indigenous engagement consultant to advance the engagement related to this initiative. This process, which includes a place naming advisory circle, will result in a

recommended Indigenous name for the Island and a list of proposed names for new streets (currently referred to as New Munition Street, Centre Street, Villiers Park Street and Trinity Boulevard) and parks (currently referred to as Silo Square, Marina Square, Villiers Park, Promontory Park North, Promontory Park South, River Park).

These amendments and updated built form direction, and its impact on the public realm, draw upon the strong planning foundations established in the 2017 Precinct Plan. They increase the density of development on the Island while preserving the plan's network of spectacular parks and public spaces. Although the locations and purpose of key public spaces remains unchanged, their character is poised to adapt alongside the updated built form. This work will contribute meaningfully to honouring and advancing of Indigenous cultural revitalization, enriching the evolving shape of the Island as the long-term vision unfolds.



## 2.3 AFFORDABLE HOUSING STRATEGY

The focus on enhancing affordable housing on the Island is in response to the increasingly ambitious housing goals, all orders of government to help address the growing need in Toronto for housing solutions to meet the needs of current and future residents. Given the Island's unique advantage of significant public land holdings, there is an opportunity to align development closely with public policy goals, and make a meaningful impact.

Added density on the Island will, in turn, support the provision of affordable housing units. This intensification of market and non-market housing will assist in the creation of a complete community – one that is mixed-income and provides housing stability for renters for the long-term.

In December 2022, City Council directed City staff to review policy and planning initiatives in the Port Lands to ensure housing density was optimized, and the required infrastructure built, to deliver more housing supply, choice and affordability for current and future residents in complete communities.

In February 2023, Toronto's Planning and Housing Committee instructed City staff to redefine the affordable housing targets for the Island. The direction was that the former goal of ensuring 20% of units qualify as affordable should now be considered the baseline, with a target of achieving 30% affordable housing units across the Island's publicly-owned blocks. The units would be secured as long-term or permanently affordable housing and be aligned with the City's income-based definition of affordable housing. This updated target is designed as an aggregate goal for the entire Island, rather than a mandate for individual development sites.

In November 2023, City Council directed City staff to include consideration of the new approaches to building affordable housing, among these were identifying housing partners, housing providers, housing sectors, housing types and affordability mix in the report back on increased density on the Island. The details of this increased affordable housing target for the Island will be further evaluated and determined in the Business and Implementation Plan and Affordable Housing Strategy associated with the implementation of this Precinct Plan update.

The City's housing plans, including the HousingTO 2020-2030 Action Plan, Housing Action Plan 2022-26 and the Generational Transformation report, include timelines for the implementation of a wide range of actions, policies and programs to increase the supply of housing within complete, inclusive and sustainable communities and ensure a focus on those facing the greatest barriers to accessing and maintaining safe, adequate and affordable housing in Toronto.

Looking ahead, opportunities for Indigenous leadership in projects such as affordable rental housing and economic development initiatives are emerging. The City continues to work in collaboration with First Nations Leaders and Indigenous housing partners towards the shared goal of By Indigenous, For Indigenous housing solutions.

## 2.4 CLIMATE POSITIVE AND RESILIENCE

In December 2021, City Council set ambitious new community-wide greenhouse reduction targets, including a 45% reduction by 2025 from 1990 levels and achieving net-zero emissions by 2040, advancing the timeline by a decade. To achieve this goal, the City developed the TransformTO Net Zero Strategy, setting a comprehensive suite of targets and actions that collectively provide a pathway to net-zero. The sustainability and climate strategies to be implemented on the Island are designed to not only support but also exceed these targets by emulating the following “critical steps” established by TransformTO:

- > Demonstrate carbon accountability locally and globally by establishing a carbon budget;
- > Accelerate a rapid and significant reduction in natural gas use;
- > Increase access to low carbon transportation options, including walking, biking, public transit and electric vehicles; and,
- > Increase local renewable energy to contribute to a resilient, carbon-free grid.

This amendment to the Precinct Plan continues to pursue a climate-positive target, inclusive of operational carbon and clean energy, transportation, water, and waste infrastructure. However, the framework has changed in marked ways, chief among them a shift from Passive House certification to capped intensity targets for buildings energy and greenhouse gas emissions by floor area. This evolution aligns with the Toronto Green Standard and the Canadian Green Building Council’s Zero Carbon Building Standard.

In addition, the Precinct Plan widens its view on carbon accounting to include upfront, or “embodied” carbon, emitted through material extraction, manufacture, and transportation. It also contemplates end of life carbon through new strategies related to flexibility, deconstruction, and material recovery and reuse.

This approach ensures flexibility and innovation in meeting the Island’s ambitious sustainability goals, acknowledges that climate-positive development can be achieved through many avenues, promoting a wide exploration of solutions to achieve the most effective outcomes.



## 2.5 INCREASING DENSITIES

This amendment to the 2017 Precinct Plan introduces four key adjustments to the built form contemplated in the 2017 Precinct Plan, aiming to significantly increase densities and, consequently, increase the number of residential units available by:

- > Increasing the number and heights of towers;
- > Increasing the heights and floor area in mid-rise buildings and the base buildings of towers;
- > Increasing the density of the low-rise Keating Channel Blocks; and,
- > Increasing policy flexibility for building setbacks, and stepbacks, and in the location of tall buildings, which may enable projects to increase the unit yield through detailed design.

**Tower Locations and Heights:** After examining various scenarios for tower placement and heights, the recommended strategy establishes a gateway to the Port Lands at New Cherry Street. This corridor is poised to become the central axis and welcoming point onto the Island, given its proximity to the Cherry Street bridge and the planned LRT stop at New Cherry and Centre Streets. The strategy allows for tower heights to decrease on the remaining blocks while adhering to an Island-wide height strategy. The tallest towers will be concentrated on the west side of the Island, in close proximity to the future gateway LRT stop. The lower building heights on the eastern blocks preserve sun access onto sensitive new habitat below the top-of-bank of the new river valley and the Keating Channel Waters Edge Promenade.

**Base Buildings:** Base buildings, or podiums, while shorter than towers, contribute a substantial amount of gross floor area across the Island's development blocks. The recommended adjustments increase permitted base building heights by one to four storeys across the Island and provide ample room within the zoning envelopes for stepbacks and design responses to minimize impacts to sunlight access to the interior streets and key public spaces, where pedestrian comfort is a key consideration.

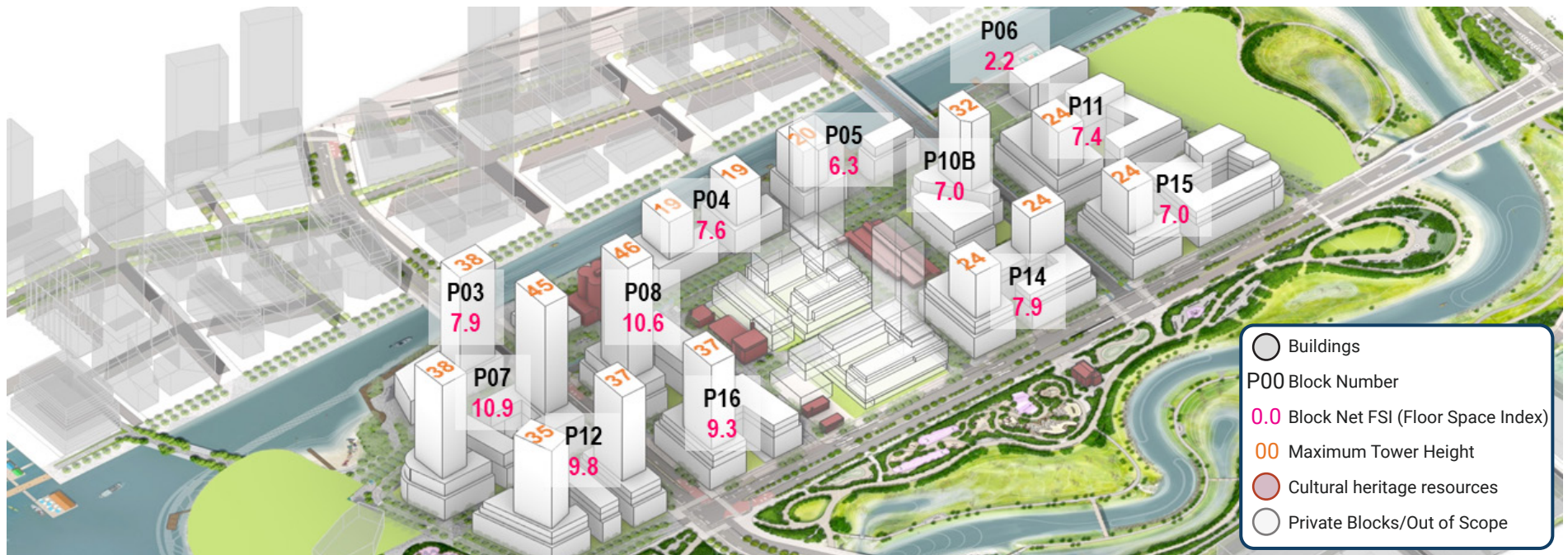


FIGURE 5. Updated massing diagram with heights and densities on public lands



**Intensification of the Keating Channel Blocks:**

The blocks fronting onto the Keating Channel had originally been planned to accommodate only existing and new low-rise buildings between 3-5 storeys. The proposed changes add density to these linear publicly owned blocks, maintaining the recommended retail, cultural and dining uses at grade in base buildings. Studies determined that mid-scale residential towers above base buildings preserve sun access onto the Keating Channel north Water's Edge Promenade.

By strategically combining these measures, while respecting the Precinct Plan's guiding principles, the amendment will increase the gross floor area across the Island by approximately 60%. The detailed amendments to built form and tower height strategies are included in Section 3.

This Amendment to the Precinct Plan also acknowledges that the associated demonstration plan illustrates one way in which the Island may develop over the next several decades, and that it is anticipated that built forms will continue to evolve with the changing markets, climate, technologies and community needs.

The shift toward greater density necessitates a comprehensive review of related planning implications, ensuring the Island's hard and soft infrastructure can adequately support an increased population. Studies that informed the 2017 Precinct Plan were updated and new analysis has been conducted, including water and servicing requirements; transportation and transit capacities; supportable commercial retail area; and the provision of community facilities including schools, community centres, and parkland programming. Ambitious sustainability goals for the Island have been strengthened, and the technologies and strategies to achieve them have been updated.



FIGURE 6. Notional render of Keating Channel blocks (source: Waterfront Toronto)



## 2.6 BUILDING A COMPLETE COMMUNITY

**Community Services:** In 2015, the Port Lands Community Infrastructure Strategy was developed to inform the provision of community services and facilities that would support the new community envisioned by the 2017 Port Lands Planning Framework and Precinct Plan. This work analyzed the existing and planned needs for community services and facilities within the Port Lands and its vicinity, informed by trends and best practices for delivering community services and facilities as development proceeds.

Following a substantial increase in planned density for the Island, an update to the community services and facilities provision was conducted in 2023. This Community Services and Facilities update study assessed the requirements resulting from a 60% increase in density. The study's recommendations included expansions to the planned the community centre and elementary school, the provision of an additional childcare facility, and the introduction of a neighbourhood library to support the expanded community.

Conceptual allocations and programming for community facilities and services on the Island are detailed in Figure 7. The exact locations and size of these facilities will be determined as development proceeds.

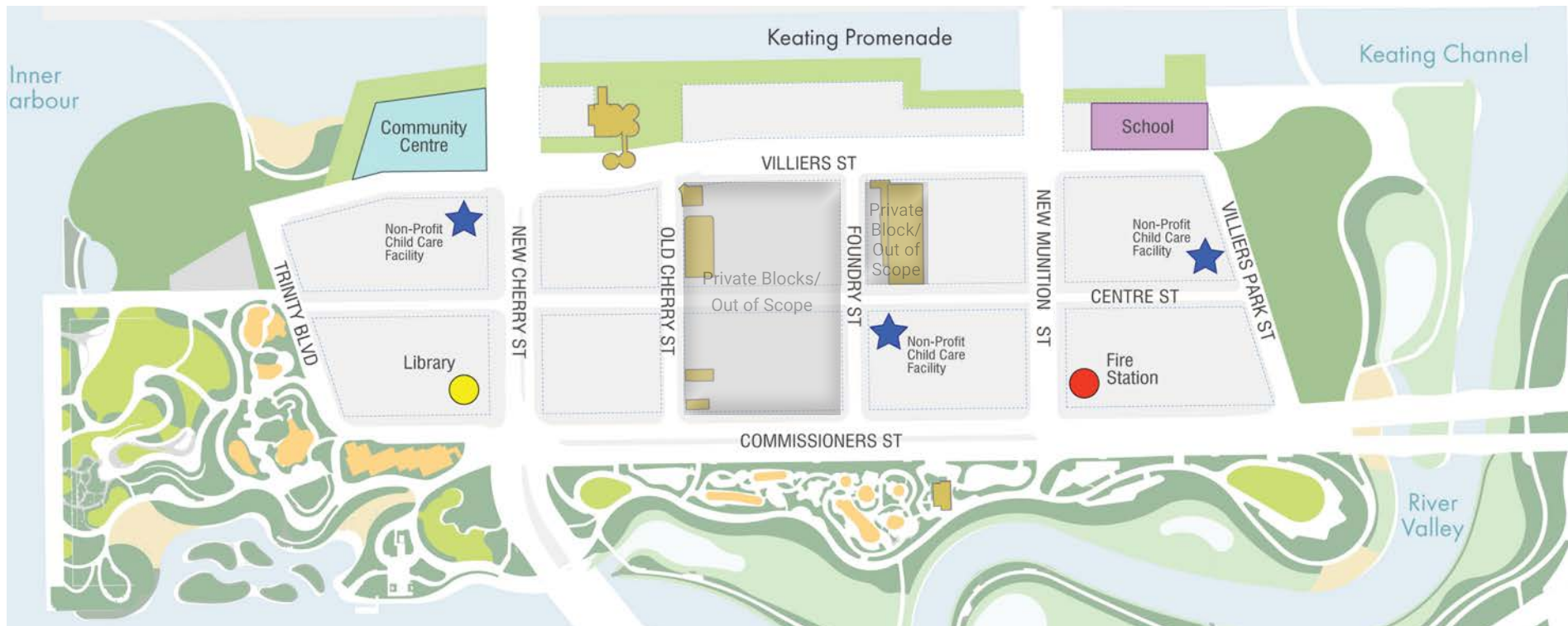


FIGURE 7. Updated Community Services and Facilities plan

**Activities and Uses:** The Port Lands Area Specific Policy established a policy that at least 20 percent of the Island's gross floor area be designated for non-residential uses, such as employment and commercial spaces, community facilities and retail establishments, and also identified priority retail streets. This policy aimed to ensure that the Island would emerge as a vibrant, mixed-use community, balancing residential development with essential non-residential functions.

In consideration of current market trends regarding commercial office space, the amount of non-residential gross floor area will remain consistent with the original policies and Precinct

Plan. Without recommending an increase to non-residential gross floor area, the Density Study proposed adjusting the target for non-residential uses to a minimum of 10 percent of the Island's total gross floor area. This revised minimum continues to allow for a mix of employment and commercial uses, light industrial uses, community facilities, retail uses and other commercial activation uses that activate the Island's urban fabric, while allowing for the majority of the added density to address the key focus of providing additional housing and affordable housing opportunities on the Island.



FIGURE 8. Notional render of Promontory Park North in the winter (source: Waterfront Toronto)

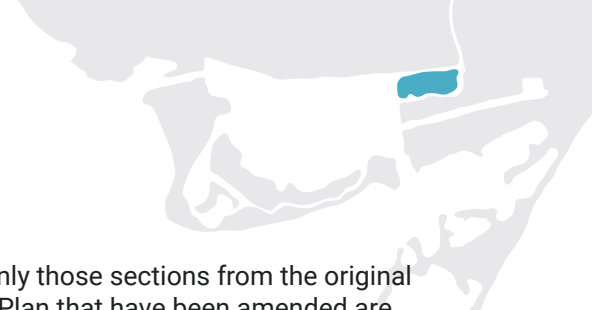


# SECTION 3

## DETAILED AMENDMENTS







**In this section:**

- 3.1 Villiers Island Development Plan
- 3.2 Climate Positive Precinct
- 3.3 Public Art Strategy
- 3.4 Mid-Block Connections
- 3.5 Heritage
- 3.6 Activities and Uses
- 3.7 Affordable Housing Strategy
- 3.8 Community Services and Facilities
- 3.9 Built Form
- 3.10 Municipal Infrastructure

**How to Interpret this Section:** The following section provides a side-by-side comparison of language from the original 2017 Precinct Plan and the 2024 Precinct Plan amendment (see Figure 9). The text in the 2024 Amendment column fully replaces the text in the 2017 Precinct Plan column. Importantly, amendments only apply to the text included in the comparison table; in some instances, this will represent a partial amendment only, whereby parts of the original Precinct Plan section remain in force.

Finally, only those sections from the original Precinct Plan that have been amended are included; for those sections not amended, readers should refer to the direction provided in the original Precinct Plan.

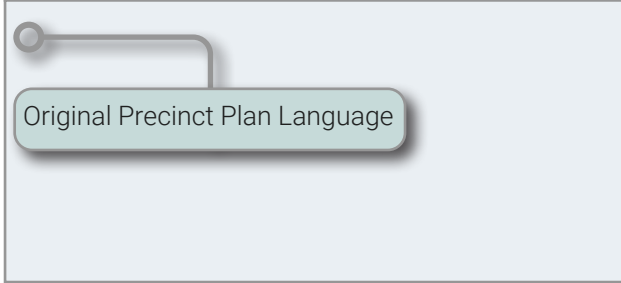

2017 Precinct Plan	2024 Amendment
	

FIGURE 9. Illustrative example of 2017 Precinct Plan and 2024 Amendment comparison

FIGURE 10. Notional render of Villiers Park  
(source: Waterfront Toronto)



## 3.1 VILLIERS ISLAND DEVELOPMENT PLAN

### 3.1.1 Amendments to Section 2.4 Villiers Island Development Plan

2017 Precinct Plan	2024 Amendment
<ul style="list-style-type: none"><li>&gt; 4,865 units</li><li>&gt; 8,700 people</li><li>&gt; 2,900 jobs</li><li>&gt; 20% non-res / 80% residential</li><li>&gt; 340 people + jobs/ha</li><li>&gt; 3km of waterfront access</li></ul>	<ul style="list-style-type: none"><li>&gt; 9,000 units</li><li>&gt; 15,000+ people</li><li>&gt; 2,900 jobs</li><li>&gt; 10% non-res / 90% residential</li><li>&gt; 460 people + jobs/ha</li><li>&gt; 3km of waterfront access</li></ul>

## 3.2 CLIMATE POSITIVE PRECINCT

### 3.2.1 Amendments to Section 2.3.1 Climate Positive Framework

2017 Precinct Plan	2024 Amendment
<p>TransformTO, the City of Toronto’s proposed climate change strategy, lays out an action plan to achieve 80% greenhouse gas (GHG) reductions by 2050, as well as interim GHG reductions targets, as per the 2007 Climate Change Action Plan, unanimously adopted by Council. Villiers Island will showcase real-world solutions that help mitigate climate change that exceeds the Port Lands wide ambitions for a net zero energy district. Waterfront Toronto will demonstrate environmental leadership by piloting and developing the Island as the first neighbourhood in the city primed to achieve a climate positive outcome. In addition to greenhouse gas emissions reductions, Villiers Island will also form new resilient neighbourhood that is positioned to respond to the stresses and shocks of a changing climate. It will feature inclusive, intelligent and connected places that use technology to improve quality of life, enhance the human experience through design excellence, and connect people to nature through biophilic design – that is, to design and create public spaces inspired by natural systems, aiming to foster environmental restoration and increase ecological function. These priorities for Toronto’s waterfront districts, including Villiers Island, are described in Waterfront Toronto’s Resilience and Innovation Framework for Sustainability. This framework’s development was guided by local, national and international best practices and in consultation with the Framework Steering Committee and Advisory Committee, the waterfront community and members of the Waterfront Toronto team.</p>	<p>Greenhouse gas emissions reductions will address both building operations and building construction phases (often referred to as “upfront” or “embodied” carbon). All buildings on the Island are required to meet stringent targets for these emissions, requiring careful approach to mechanical systems, energy sources, buildings envelopes, materials and construction techniques.</p> <p>In addition to greenhouse gas emissions reductions, the Island will also become a resilient neighbourhood that is positioned to respond to the stresses and shocks of a changing climate. It will feature inclusive, intelligent and connected places that use technology to improve quality of life, enhance the human experience through design excellence, and connect people to nature. This includes biophilic design principles, which seek to design and create public spaces inspired by natural systems to foster environmental restoration and increase ecological function.</p> <p>The Island will also emulate nature’s cyclical processes through the adoption of the principles of the circular economy. To this end, buildings and public spaces on the Island will be designed to support the City of Toronto’s zero waste and circular economy targets.</p> <p>Ultimately, the Island will be a climate-positive community that creates the conditions for future adaptation and resilience in response to the global climate challenge.</p>



3.2.2 Amendments to Section 3.1.4 Buildings: Optimized Built Form and Passive Design

With a focus on achieving net-zero carbon buildings and reducing embodied carbon emissions, this update aims to ensure that the Island sets a new benchmark for environmentally conscious urban development. By implementing stringent performance standards, embedding sustainable practices in contractual agreements, and anticipating the use of innovative low-carbon materials and construction approaches, this update seeks to align building design with the ambitious goals of achieving Climate Positive status and fostering a resilient, ecologically integrated community on the Island.

2017 Precinct Plan	2024 Amendment
<p>Buildings represent 48% of greenhouse gas emissions in Toronto, and as such, minimizing building energy consumption and optimizing passive solar gain will be essential to achieving the objective of Climate Positive status at Villiers Island.</p> <p>The Port Lands Planning Framework directs buildings to be design passively, and to meet the minimum requirements in the applicable Toronto Green Standards. On publicly-owned land in the Port Lands, buildings will be required to exceed the Toronto Green Standard’s highest performance measures and include new and emerging approaches for advancing a progressive sustainability agenda, and showcasing innovation, in accordance with the Area Specific Policy.</p> <p>This includes designing buildings with a shape, scale, location, and orientation to both reduce incidences of heat loss and energy demand that minimizes shadowing on other buildings and ensures excellent sunlight conditions in the public realm and daylighting within interior spaces within a block. Additionally, buildings in the Port Lands will incorporate shading strategies or design features applied to south and west façades to reduce solar heat gain in the summer and cooling loads, and should minimize the ratio of windows on a façade. Windows should have a demonstrated ability to minimize heat loss, and should not exceed 50% of a façade and a minimum sill height should be provided unless otherwise demonstrated through achieving passive design.</p> <p>Additionally, the City of Toronto Zero Emissions Building Framework prompts new developments to attain higher levels of performance on total energy use intensity, thermal energy demand intensity, and greenhouse gas emissions intensity. The Framework recommends new measures that will help ensure</p> <p><i>2017 Precinct Plan text continues on next page</i></p>	<p>The Waterfront Toronto Green Building Requirements (GBRs) no longer require LEED certification. Instead, the GBRs align with the highest tier of the prevailing version of the Toronto Green Standard, including a greenhouse gas intensity (GHGI) target of 0 KgCO2/m2/year. In adopting this target, the Island will deliver 20-25 net-zero carbon buildings, the largest cluster in Canada.</p> <p>Beyond achieving an operational GHGI of 0 KgCO2/m2/year, all new buildings on the Island will disclose and demonstrate a reduction in embodied carbon compared to a baseline building. Development partners will be required to investigate low-carbon alternatives to proposed structure or envelope materials. While a specific pathway to reduce embodied carbon emissions will not be prescribed, the following materials and approaches to construction is anticipated across the Island:</p> <ul style="list-style-type: none"><li>&gt; Sustainably harvested mass timber</li><li>&gt; Low-carbon concrete</li><li>&gt; Recycled steel products</li><li>&gt; Low-carbon insulation</li><li>&gt; Modular construction</li></ul>

2017 Precinct Plan	2024 Amendment
<p>modelled performance targets are realized in practice, including renewable energy generation, district energy connections, air tightness testing requirements, building commissioning requirements, sub-metering, and building labelling and disclosure of energy consumption.</p> <p>The current Waterfront Toronto Minimum Green Building Requirements (Version 2.1) also result in higher performance of new buildings on Toronto's waterfront, featuring LEED Gold certification, in-suite sub-metering for all utilities, 50% energy cost savings, 65% reduction in peak heating demand, 30% reduction in peak cooling demand - all compared to the Model National Energy Code for Buildings. Furthermore, Waterfront Toronto is currently updating the MGBR, and will enable and encourage certification of even higher performance standards, such as the Passive House standard. All development occurring on public lands is expected to adhere to Waterfront Toronto Minimum Green Building Requirements, and those developments on private lands are encouraged to also participate.</p> <p>Waterfront Toronto undertook a study – the Villiers Island Climate Positive Assessment – to compare the emissions profile of the current Minimum Green Building Requirements with a typical Toronto development (a 23% improvement) and described how Villiers Island could reduce local GHG emissions by a further 77% to reach Climate Positive status.</p> <p>As such, Waterfront Toronto plans to utilize the ultra-efficient Passive House Standard for buildings, which results in absolute thermal and electrical energy demand below 15 kWh/m<sup>2</sup> per year. The lower window-to-wall ratios and enhanced insulation of the Standard will dramatically reduce thermal energy demand, which will be further reduced through optimized payout and massing to leverage passive solar gain. Orienting buildings to harness free solar energy is a simple strategy to reduce greenhouse gas emissions from natural gas space heating, while also reducing energy costs. By optimizing the neighbourhood design, and ensuring that buildings are designed passively in accordance with the Port Lands Planning Framework, Villiers Island can reduce heating demand over 95% compared to typical Toronto development.</p> <p>The City of Toronto's Port Lands Energy Plan also offers guidelines for buildings in the Port Lands, including emphasizing the importance of reducing energy consumption, referencing passive design principles, as well as building-scale renewable energy solutions, such as building-integrated photovoltaics (BIPV), ground-source heating and cooling, small-scale bird-friendly wind turbines, and biomass combined heat and power (CHP).</p>	<p><i>No new text; see page 18 for full amendment.</i></p>



### 3.2.3 New Section - Exploration of Circular Economy and Zero Waste

#### 2024 Amendment

The Island will be designed to support the City of Toronto's zero waste and circular economy targets. Construction will reduce solid waste sent to landfills, keeping products in use for longer and maximizing their productivity, while reducing carbon emissions and resource extraction. Like climate resilience and adaptation, the circular economy ethos is in its nascent stages. Accordingly, the amendments to the Precinct Plan purposely leaves space for future exploration to address the tenets of circularity. In the interim, the following strategies could be considered: including community sharing spaces like tool libraries or repair cafes in the design of buildings; designing for disassembly; reducing and tracking waste; adaptively reusing demolition material; and reducing and diverting construction and demolition waste.

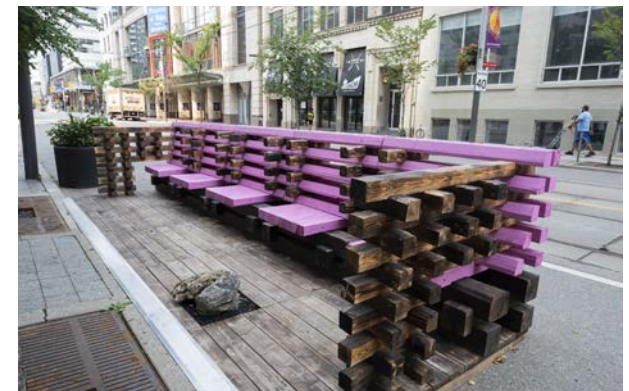
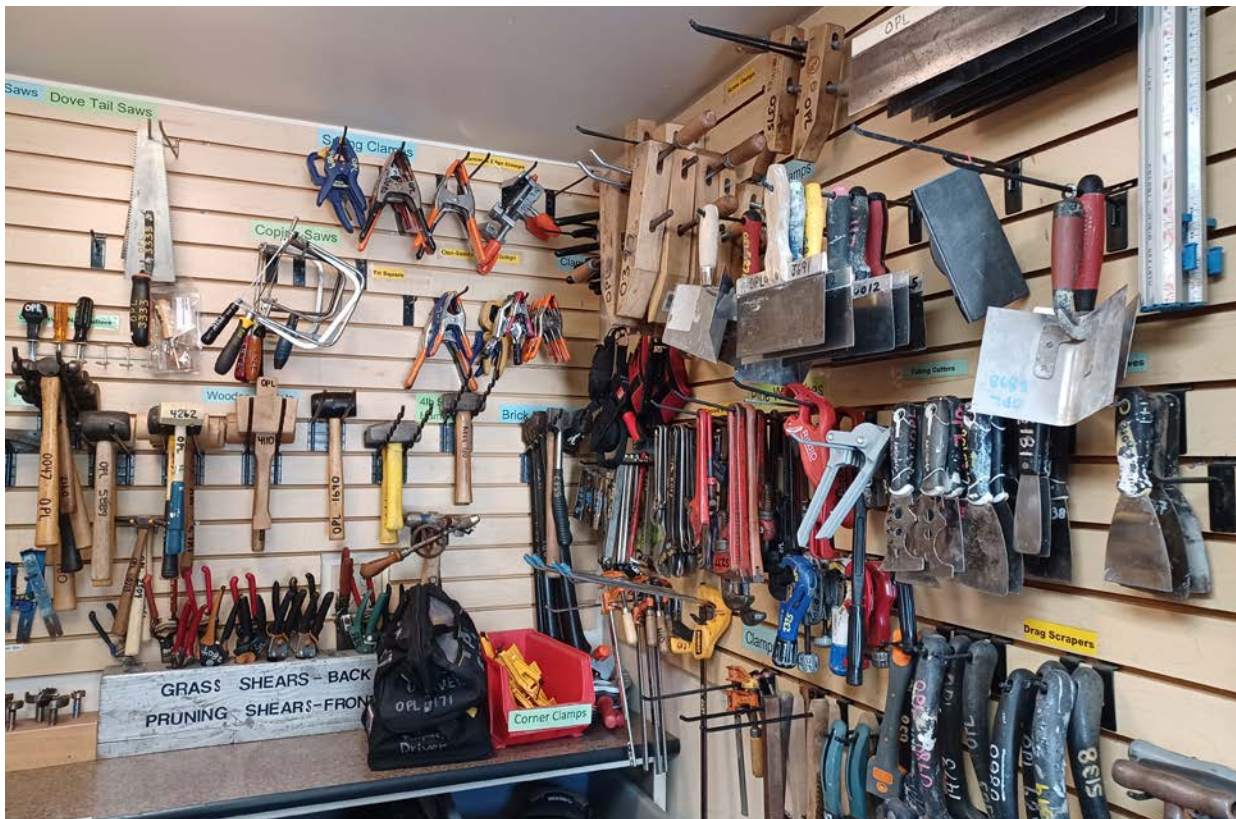


FIGURE 11. Illustration of circular economy interventions: Left: Tool Lending Library in Oakland, CA. Right: Examples of temporary parklets constructed using recycled materials, King Street, Toronto, ON.

## VILLIERS ISLAND AND KEATING WEST PUBLIC ART MASTER PLAN

### 3.3.1 Amendments to Section 3.3.2 Villiers Island and Keating West Public Art Master Plan

2017 Precinct Plan	2024 Amendment
<p>Public art plays a vital role in major urban revitalization initiatives around the world. Successful programs infuse the urban experience with enlightening moments of reflection, and weave the co-existence of past, present and future seamlessly into the urban fabric.</p> <p>As a steward of waterfront revitalization, Waterfront Toronto places a strong emphasis on the quality of the public realm and views the implementation of an inspiring public art program as a critical component of its success. The City of Toronto shares this value and supports the development of comprehensive public art programs for its neighbourhoods, as evidenced in its Central Waterfront Secondary Plan, which cites the importance of “a coordinated Central Waterfront public art program for both public and private developments” (Policy 14).</p> <p>The Villiers Island Public Art Strategy expresses a vision for building an enduring and meaningful relationship between Torontonians and the new mouth of the Don River. Inspiring models like the West Don Lands and the Council approved plan for East Bayfront demonstrate that planning public art programs at the outset of development facilitates the emergence of thoughtfully curated precincts, offering meaningful and impactful collections for communities and the city as a whole. The priorities identified for Villiers Island are consistent with the goals of the City of Toronto and Waterfront Toronto as outlined in the Precinct Plan and in relation to the current understanding of the public and private development opportunities in the area.</p> <p>The Public Art Strategy for Villiers Island sets out high level principles and goals, setting the stage for an integrated public art program that will be responsive to the area’s changes over time.</p> <p><i>2017 Precinct Plan text continues on next page</i></p>	<p>The Villiers Island and Keating West Public Art Master Plan (PAMP) (see Figure 12) spans two precincts that extend from Parliament Street to Cherry Street, and from the Keating Channel to the new, naturalized mouth of the Don River. The Plan is built upon the understanding and recognition that the land upon which the City, CreateTO and Waterfront Toronto are undertaking revitalization is part of the traditional territory of the Mississaugas of the Credit First Nation and that Toronto is covered by Treaty 13.</p> <p>The overarching goal of the Villiers Island and Keating West Public Art Master Plan is to deliver an outstanding collection of artwork that responds to the theme of water and its relationship to the landscape. It also aims to enhance the social, environmental, and economic quality of the waterfront. While embracing a multidisciplinary approach, the Plan seeks to commission permanent, temporary, and ephemeral artwork of varying scales that resonate with the site’s history, natural environment, and future aspirations, creating meaningful connections between residents, visitors, and the evolving urban context.</p> <p>The Plan identifies five key themes to guide public art in the Island, which are:</p> <ul style="list-style-type: none"> <li>&gt; Waterways – Reconnect the shoreline, the Great Lakes and Don River ecosystem</li> <li>&gt; Public Art of Our Time – Accommodate ephemerality, innovation and new ways of doing</li> <li>&gt; Multiple and Layered Histories – Let the sites’ stories emerge and co-exist across past, present and future</li> <li>&gt; Commit to the Environment – Sustainability and climate change are themes and integrated into art practices</li> <li>&gt; Indigenous Place-Knowing – Honour pre-settler systems of knowledge, practices and relationships</li> </ul> <p><i>2024 Amendment text continues on next page</i></p>



## Amendments to Section 3.3.2 Villiers Island and Keating West Public Art Master Plan (continued)

2017 Precinct Plan	2024 Amendment
<p>It provides a framework of priorities and possibilities, allows for the subsequent development of specific and evolving art and programming opportunities, and encourages collaboration between Waterfront Toronto, the City, public and private partners, and stakeholders. It also recognizes artists as key partners in this process, with the intention of benefiting from their unique ability to analyze and question the existing landscape to help re-imagine our future. The Strategy has been informed by consultation with a local community of artists that has been making work in or around this area for several years.</p> <p>Successful implementation of the Villiers Island Public Art Strategy is predicated on required 1% Public Art contributions for development on public lands and major infrastructure projects, as well as securing public art funding from developments on private lands. The intent is that public art contribution funds will be allocated to the appropriate projects identified in this Strategy and will be spent in compliance with the plan as they are received.</p> <p>The Villiers Island Public Art Strategy proposes three different commission programs that will each function differently to engage artists and the public:</p> <p>Engagement, Passages and Linkages Programs</p> <p>This terminology has been chosen in order to develop a strategy for the public art program to connect artists and the public with the changing character of the Island at various stages of development. This approach allows for flexibility wherein the criteria of form and media and other site specifics will be determined once more is known about the actual scope of the various sites as well as the possibilities and restrictions of commissioning public art works dictated at the time of implementation. At that point, all relevant partners will be consulted and involved in the various stages of development.</p>	<p>The Plan also identifies key locations for prominent, high-impact pieces, as well as locations for more subtle, discoverable artworks. It also describes the processes for oversight of the conceptualization, commissioning, and integration of public art within the precincts' overall development.</p> <p>The plan advocates for the inclusion of diverse perspectives and voices, ensuring that artistic representation and processes eliminate systematic barriers. There is also an emphasis on ensuring that the Plan engages with contemporary issues to encourage innovation, evolution and changes that may arise when thinking about public art.</p> <p>The Plan is committed to increasing Indigenous cultural presence on the waterfront. Throughout the waterfront, the Public Art Program aims to respect, recognize and celebrate the historical and modern-day presence of the Anishinaabe, the Haudenosaunee, the Huron Wendat and the treaty territory of the Mississaugas of the Credit First Nation (MCFN).</p>

## Permanent Art Locations

1. Parliament St. Underpass (covered by East Bayfront Public Art Master Plan)
2. Trinity Cycle Pedestrian Underpass
3. Cherry St. Underpass
4. Silo Park\*
- 5a. Keating Channel North Promenade
- 5b. Keating Channel North Promenade (covered by future Keating East Public Art Master Plan)
6. Keating Channel Pedestrian Bridge
7. Promontory Park North\*
8. Old Cherry Street Diagonal Plaza
9. Silo Square
10. Keating Channel South Promenade
11. Marina Square
12. Villiers Park North
13. Villiers Park South
14. River Park South - Retaining Wall and Lawn
15. Promontory Park South - Canoe Cove Overlook
16. Promontory Park South - Promontory Overlook
17. Pavilion with integrated art by Indigenous artist (not funded through this Plan)

\* Parks have yet to be designed, exact location to be determined in conjunction with future park design.

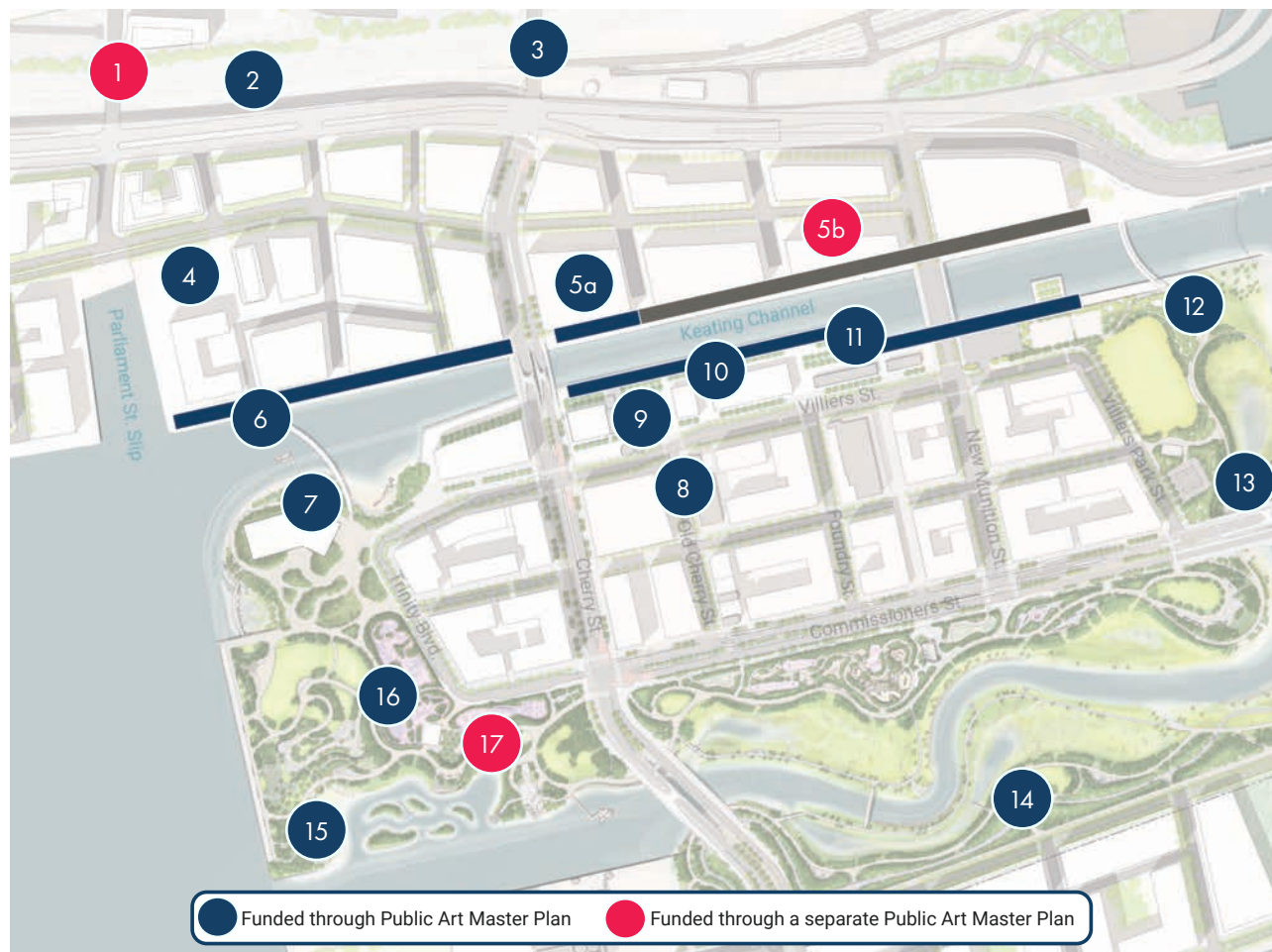


FIGURE 12. Villiers Island and Keating West Public Art Master Plan



## 3.4 MID-BLOCK CONNECTIONS

### 3.4.1 Amendments to Section 3.3.1.5 Mid-Block Connections

2017 Precinct Plan	2024 Amendment
<p>Mid-block pedestrian connections will contribute to the Island’s porous pedestrian environment. Pedestrian connections will reinforce views to the heritage structures and the water’s edge, allow for sunlight penetration, and additional pedestrian movement. These connections will be secured as publicly accessible open spaces (POPs) with public easements.</p> <p><b>Old Cherry Diagonal Street Plaza:</b> A small triangular plaza will showcase a view of the Lake Ontario Portland Cement Company Silos, on the west side of Old Cherry Street. This plaza will provide a pedestrian connection between Silos Square and Arrival Plaza at Centre Street.</p> <p><b>Old Munition Street Pedestrian Link:</b> The original alignment of Munition Street will be preserved as a mid-block north-south pedestrian connection, which will be well landscaped and inviting. It will be lined by the Queen’s City Foundry building and a new mid-rise building to the east with grade-related units. This pedestrian connection will terminate in a view south of the relocated Fire Hall station in River Park. In order to secure the Pedestrian Link buildings the distance from building face to building face will be 14 to 18 metres.</p>	<p>Mid-block pedestrian connections will provide more fine-grained porosity into and through the development blocks, offering convenient exterior pathways to destinations and transit and framing of significant or unique views and visual connections, particularly through blocks to and from the surrounding waterways, promenades, parks and cultural heritage resources. They may also increase opportunities for sunlight access into the inner courtyards and help provide added articulation to building frontages. These connections can be secured as Privately-Owned Publicly Accessible Spaces (POPS) or as public access easements.</p> <p>Base and mid-rise buildings should have a minimum separation distance of 11 metres between buildings on the same block, with the exception of the New Munition Street pedestrian link described below which should be approximately 15m in width, all subject to further recommendations during development application and design review stages. To ensure the desired increased block porosity, especially within the larger westernmost and easternmost blocks (P07, P11, P12 and P15), a minimum of one mid-block connection is required, with a greater number of more fine-grained connections strongly encouraged and will be informed by future public realm design work and Design Review Panel recommendations.</p> <p>Mid-block connections should be coordinated between blocks to provide north-south view corridors between the Keating Channel and the river valley. Unobstructed walkway widths within the mid-block connections should be a minimum of 3-4 metres with generous landscaping and planting areas along them. This will allow the natural system of the river valley to integrate with the interior of the Island.</p> <p>Three areas with key mid-block connections, include (see Figure 13):</p> <p><b>Old Cherry Diagonal Street Plaza:</b> While not a traditional mid-block connection, this small triangular plaza will showcase a view of the Lake Ontario Portland Cement Company Silos, on the west side of Old Cherry Street. This plaza will provide a pedestrian connection between Silos Square and Arrival Plaza at Centre Street.</p> <p><i>2024 Amendment text continues on next page</i></p>

2017 Precinct Plan	2024 Amendment
	<p><b>Old Munition Street Pedestrian Link:</b> The original alignment of Munition Street will be preserved as a mid-block north-south pedestrian connection, which will be well landscaped and inviting. It will be lined by the Queen's City Foundry building and a new building to the east with grade-related units. This pedestrian connection will terminate in a view south of the relocated Fire Hall station in River Park. In order to secure the Pedestrian Link, the distance from building face to building face will be approximately 15 metres.</p> <p><b>Blocks P04 and P05:</b> A high degree of porosity is required for these blocks with multiple mid-block connections between Villiers Street and the Keating Channel Water's Edge Promenade providing additional space for pedestrians as well as active retail and indoor/outdoor dining spaces. Two key alignments will be with the Old Munition Street pedestrian link (see above) and Foundry Street, allowing for strong visual and pedestrian connections from River Park North to the Keating Channel.</p> <p>The precise locations of additional mid-block connections will be determined during future phases of planning and design of the Villiers Island public realm as well as through the development application and design review process. Conceptual locations have been illustrated in Figure 10 below.</p>

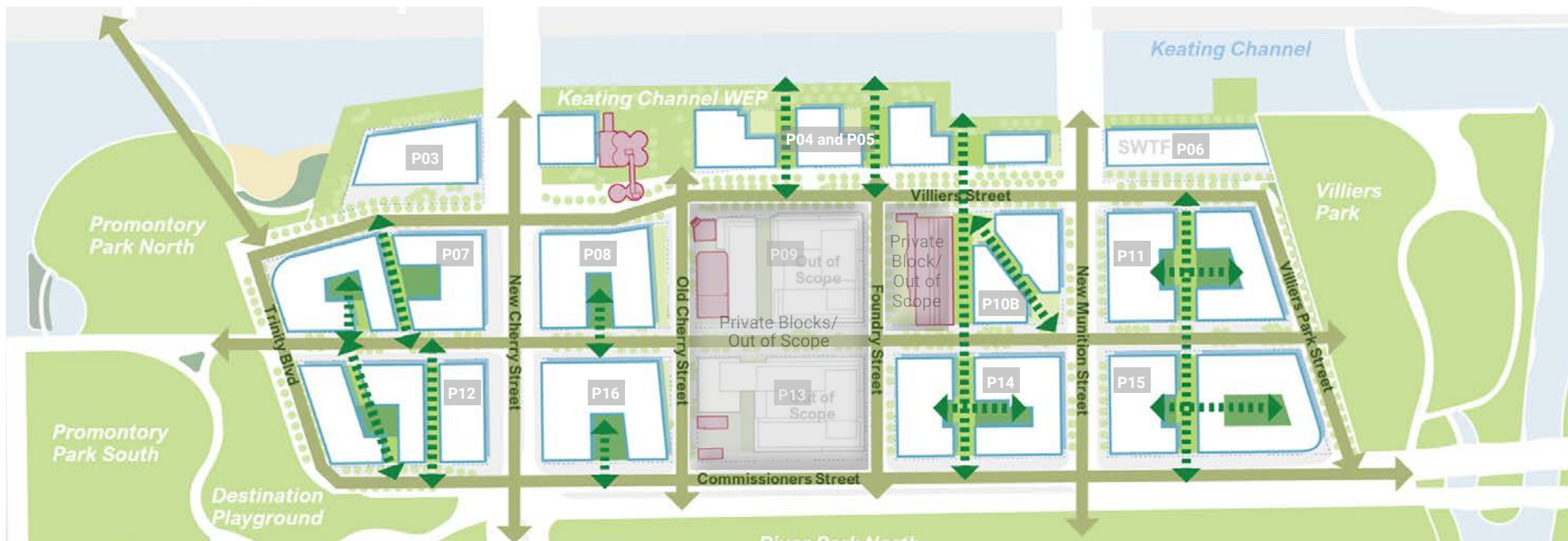


FIGURE 13. Notional mid-block pedestrian connections



## 3.5 HERITAGE

### 3.5.1 New Section - Heritage Update

The Port Lands Flood Protection Project prompted an evaluation of structures along the Keating Channel by Heritage Planning. Two buildings on the property at 62 Villiers Street, known as the Toronto Harbour Commission's office building and workshop, were listed on the City's Heritage Register but have since been demolished due to significant deterioration.

#### 2024 Amendment

The Queen's City Foundry building located on the south side of Villiers Street at 16 Munition Street and the Lake Ontario Portland Cement Company Silos located at the western terminus of Villiers Street, are the key structures of cultural heritage value within the Keating Channel area. As a result, the built form, land use, and vision for the Keating Channel have been reevaluated as part of the Density Study and this Precinct Plan update envisions these blocks accommodating new open spaces, retail, restaurant, and animating uses at grade with residential towers above. This update continues to reinforce the significance of Old Cherry Street as the key cluster of cultural heritage resources and its role as a special place that celebrates the Island's rich industrial and commercial heritage (see Figure 14). It also recognizes the significance of the Sakura Project cherry trees located at the northeastern corner of Villiers and Old Cherry Streets and recommends that any new redevelopment in this area ensures their ongoing protection and celebration.

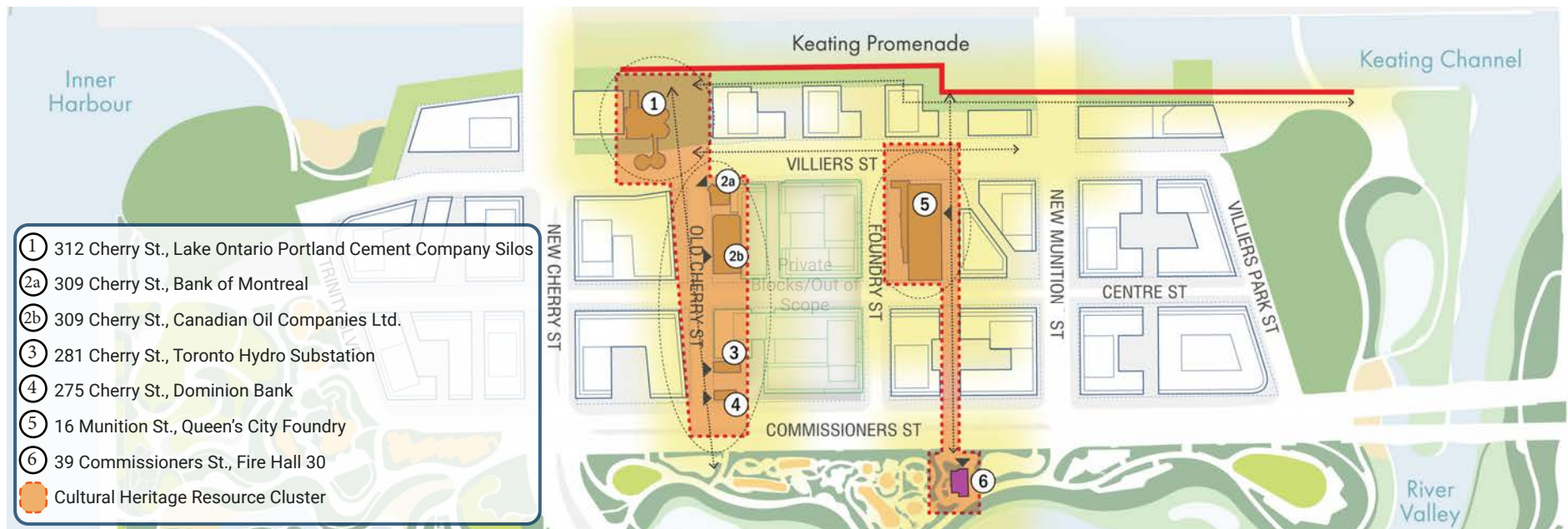


FIGURE 14. Existing conditions - cultural heritage resources

## 3.6 ACTIVITIES AND USES

The Activities and Uses Update (see Figure 15) to the Precinct Plan proposes revisions to the allocation of space for mixed-use residential and non-residential purposes, reflecting a balance between residential density and commercial activity. While, the amendment decreases the minimum requirement for non-residential uses from 20% to 10% of the total gross floor area on the Island, the total amount of non-residential uses remains similar to what was included in original precinct plan. Key streets are designated to encourage concentrations of retail and service establishments. Additionally, the amendments introduce the concept of Meanwhile Uses – temporary uses to activate undeveloped blocks or buildings throughout the development phases. A comprehensive Meanwhile Use Strategy is recommended to guide the implementation of interim uses, ensure they contribute to the City’s goals of sustainable and inclusive development.

### 3.6.1 Amendments to Section 3.5.1 Mixed-Use Residential

2017 Precinct Plan	2024 Amendment
To ensure the Island develops as a complete community, a minimum of 20 percent of the Island’s total gross floor area will be non-residential uses, which include employment/commercial uses, destination/catalytic uses, community facilities and retail uses.	To ensure the Island develops as a complete community, a minimum of 10 percent of the Island’s total gross floor area will be non-residential uses, which include employment/commercial uses, destination/catalytic uses, community facilities and retail uses.





FIGURE 15. Land use plan

### 3.6.2 Amendments to Section 3.5.1.2 Priority Retail Streets and Frontages

The amendment regarding retail and service updates the streets designated as Priority Retail Streets and Frontages. Priority Retail Streets and Frontages are intended to host various retail establishments, including restaurants, cafés, galleries, and food stores, both large and small-scale. Additionally, the amendment emphasizes the importance of commercial activation uses along these designated streets to animate the public realm and support the emerging community.

2017 Precinct Plan	2024 Amendment
<p>Villiers Island will include urban and locally-oriented retail and service uses:</p> <ul style="list-style-type: none"> <li>&gt; Priority Retail Streets and Frontages are located along Villiers Street and the Keating Promenade, New Cherry Street and Old Cherry Street. Retail uses may include restaurants, cafés, galleries, small-scale grocery stores, studios and other service space. The site at New Cherry Street and Villiers Street is an appropriate location for a supermarket anchor; and</li> <li>&gt; Secondary Priority Retail Streets will be protected for on Centre Street in accordance with the Port Lands Planning Framework. Retail uses should concentrate at the corners of Centre Street-New Munition Street and Centre Street-Foundry Street. Retail uses at the corners may include convenience stores, coffee shops and other locally-oriented retail and service amenities. The design of Centre Street will accommodate the future conversion of live/work spaces into retail uses, ensuring the Street can evolve alongside market demand.</li> </ul> <p>Refer to Section 3.9.6 of this Precinct Plan for further direction on built form guidelines related to retail uses and ground floor animation.</p>	<p>Key streets on the Island will continue to encourage larger concentrations of at-grade, street-related retail and service uses, as well as other commercial activation uses (see Figure 16), which will animate and active the public realm. Blocks fronting onto the Keating Channel are encouraged to be designed to support destination-type retail and dining uses spilling out onto Villiers Street and the water's edge promenade.</p> <ul style="list-style-type: none"> <li>&gt; <b>Priority Retail Streets and Frontages</b> are located on the west side of New Cherry Street, along Villiers Street, between Old Cherry Street and New Munition Street, and along Old Cherry Street. Priority Retail "nodes" were identified at the intersections of Foundry Street and Centre Street, New Munition Street and Centre Street, and the northwest corner, facing Promontory Park North. Priority Retail Streets and Frontages are also located on development blocks between New Cherry Street and New Munition Street, fronting the Keating Channel promenade and Silo Square. Commercial activation uses are required along Priority Retail Streets and Frontages.</li> <li>&gt; <b>Secondary Retail Streets</b> will protect for future commercial animation uses and include Centre Street, between New Cherry Street and New Munition Street, and the east side New Cherry Street. Commercial activation uses are permitted and encouraged on all Secondary Retail Streets.</li> </ul> <p>Refer to Section 3.9.5 of this Precinct Plan for further direction on built form guidelines related to retail uses and ground floor animation.</p>





FIGURE 16. Priority retail streets and frontages

## 3.7 AFFORDABLE HOUSING STRATEGY

### 3.7.1 Amendments to Section 3.5.4 Affordable Housing Strategy

2017 Precinct Plan	2024 Amendment
<p>Both the Official Plan and Central Waterfront Secondary Plan (CWSP) support the development of complete communities, including a full range of housing types to support a mix of incomes and people living in their neighbourhoods throughout their lives. The overall goal for the Central Waterfront is that affordable rental housing comprise 20% of all housing units. Affordable rental housing is defined in the Official Plan as housing with total monthly costs that do not exceed the average rent across the City of Toronto for each unit size, as calculated by the Canada Mortgage and Housing Corporation.</p> <p>In order to meet this objective, a combination of built units, land (equivalent to the land necessary to accommodate 20% of the residential gross floor area), and cash in lieu, will be secured to generate affordable rental housing, with priority given to units and land alone or in combination. On publicly owned lands a minimum of 20% of units based on total gross floor area can be achieved through the provision of land sufficient to accommodate the units. This equate to roughly 790 units. This can be in the form of mixed-income buildings or stand alone and will be spread across the entire Island and made available commensurate to the market units. Funding and partnerships with affordable housing operators will also need to be secured to build and operate the units. In addition, Waterfront Toronto and the City of Toronto will work towards identifying opportunities to achieve an even higher percentage of affordable housing at deeper subsidies. This includes looking for opportunities to work with the private sector to deliver moderate rental housing opportunities and affordable ownership opportunities as well as working with the City's Affordable Housing Office to establish co-operative housing and rent-geared-to-income housing.</p>	<p>Both the Official Plan and Central Waterfront Secondary Plan (CWSP) support the development of complete communities, including a full range of housing types to support a mix of incomes and people living in their neighbourhoods throughout their lives. The overall goal for the Central Waterfront is that affordable rental housing comprises 20% of all housing units. Affordable rental housing is defined in the Official Plan as housing with total monthly costs that do not exceed the average rent across the City of Toronto for each unit size, as calculated by the Canada Mortgage and Housing Corporation.</p> <p>In order to meet this objective, a combination of built units, land and cash in lieu will be secured to generate affordable rental housing, with priority given to units and land alone or in combination. On publicly-owned blocks a target of 30% of units based on total gross floor area can be achieved through the provision of land sufficient to accommodate the units. This equates to roughly between 2,200 and 2,700 units, Island-wide on both public and private lands, depending on unit sizes. This can be in the form of mixed-income or stand alone buildings and made available commensurate to the market units. Funding and partnerships with affordable housing operators will also need to be secured to build and operate the units. In addition, Waterfront Toronto and the City of Toronto will work towards identifying opportunities to achieve an even higher percentage of affordable housing at deeper subsidies.</p>



## 3.8 COMMUNITY SERVICES AND FACILITIES

The Amendment introduces new requirements for the size of community facilities as well as introduces a neighbourhood library.

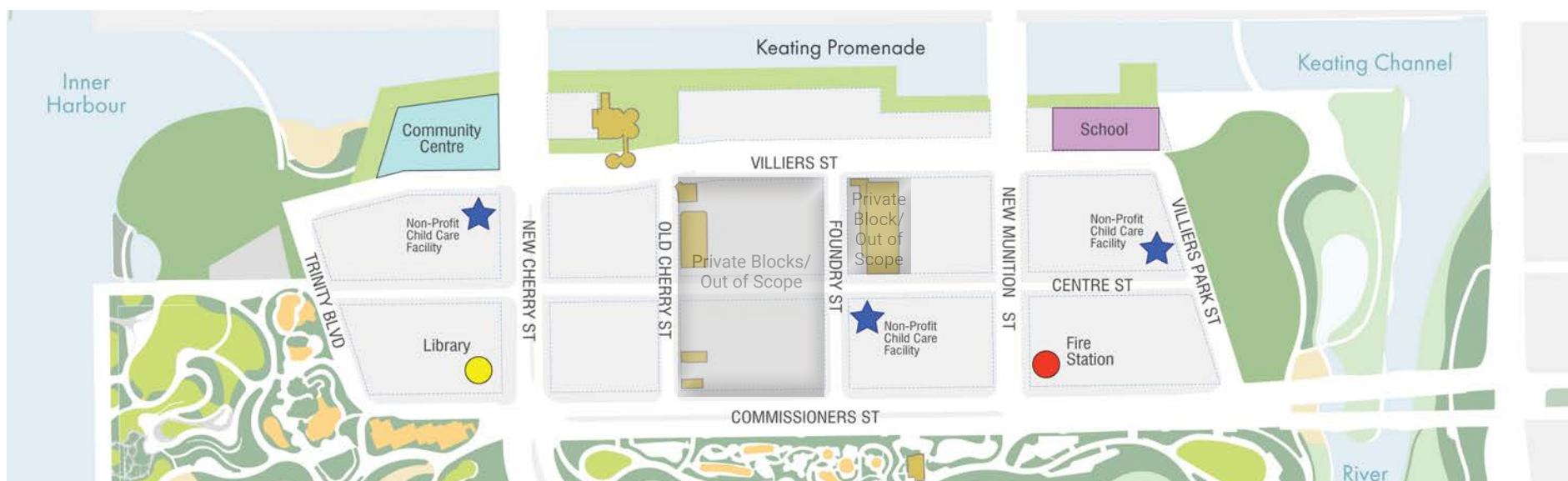


FIGURE 17. Updated Community Services and Facilities Plan

### 3.8.1 Amendments to Section 3.5.5.1 Elementary School

2017 Precinct Plan	2024 Amendment
<p>The preferred location for an elementary school is along the Keating Channel Promenade, next to Villiers Park. The play area associated with the school should be located on the roof of the building. This location provides an opportunity to co-locate the school and community park. The school site will animate the eastern end of the Keating Channel Promenade during the weekday.</p> <p>Alternate location: As an alternate location, the school site may co-locate with the community centre and pool site and create an integrated community facility.</p>	<p>The preferred location for an elementary school is along the Keating Channel Promenade, next to Villiers Park. Innovative approaches to incorporating the play area into the development of the school should be explored, including roof-top play areas and shared space opportunities.</p> <p>The preferred location provides the opportunity to co-locate the school and the neighbourhood park, as well as animate the eastern edge of the Keating Channel Promenade.</p> <p>The school may be co-located with a mixed-use residential development.</p> <p>As an alternate location, the school site may co-locate with the community centre and a mixed-use residential development, to create an integrated community hub, directly adjacent to Promontory Park North.</p>

### 3.8.2 Amendments to Section 3.5.5.2 Multi-Purpose Community Centre/Pool

2017 Precinct Plan	2024 Amendment
<p>A multi-purpose community centre will be located at the foot of New Cherry Street and Villiers Street, with an indoor pool, multi-purpose and gymnasium space. This facility should be designed with high-quality architecture with a strong relationship to the Keating Channel. The site offers the potential to reinterpret the Essroc Quay, through architectural landscape design. Alternate location: As an alternate, the community centre could be located together with the Lake Ontario Portland Cement Company Silos, and integrated with the adaptive reuse of Silos Square.</p>	<p>The location of the community centre will be confirmed as development proceeds, with a focus on identifying the most advantageous location. Potential sites under consideration include the northwestern-most block, in close proximity to both the Keating Channel Promenade and New Cherry Street, or next to Silo Square alongside the Keating Channel Promenade.</p> <p>In these scenarios, the community centre may be part of a mixed-use residential project. Alternatively, a separate facility within Promontory Park and co-located with the planned “catalytic use” will also be considered. A standalone facility would provide operational flexibility, enhanced public accessibility, circulation, and design excellence, and would support integration with other community services and facilities.</p> <p>The community centre program will be confirmed once the first phases of development have proceeded, it is recommended to include a pool, gymnasium and multi-purpose spaces. The design of the community centre should reinforce a strong relationship to nearby public spaces.</p>



3.8.3 Amendments to Section 3.5.5.3 Childcare Services

2017 Precinct Plan	2024 Amendment
There will be a need for at least two licensed non-profit childcare facilities, with a minimum of 62 spaces each. These facilities should be centrally located on the Island and integrated with a mixed-use/residential development	Up to three licensed, non-profit childcare centres will be required, of a minimum 929 square metres (10,000 square feet) in size. These facilities should be centrally located on the Island ideally co-located with schools or other community facilities such as community centres and libraries. In addition, childcare centres can be integrated within mixed-use or residential buildings that meet the indoor and outdoor space requirements (legislated under the Child Care and Early Years Act, 2014). Growth in the population of children aged birth to 4 years will be monitored during the phased development and the number of childcare centres required in the broader Waterfront community will be adjusted accordingly.

3.8.4 Amendments to Section 3.5.5.5 Emergency Services: Fire Station

2017 Precinct Plan	2024 Amendment
A new emergency services fire station is planned for either Villiers Island or the McCleary District. The fire station should be integrated within a larger development. A facility will be held at the northeast corner of New Munition Street and Commissioners Street	<p>A new emergency services fire station will be located on the Island and is recommended to be constructed during the earlier phases of development to service the Island and the wider Port lands precincts and districts, as well as East Harbour and the eastern Central Waterfront.</p> <p>The fire station will be integrated within a mixed-use development and can be located at the corner of New Munition and Commissioners Street.</p> <p>The location will be confirmed with Emergency Services.</p>



### 3.8.5 New Section - Neighbourhood Library

2024 Amendment
<p>The preferred location for a neighbourhood library (1,400-1,860 square metres) is on the ground floor of a development block which fronts the west side of New Cherry Street. A single floor facility with ground floor access is preferred, but multi-storey options with significant ground floor presence can be explored.</p> <p>The location provides access to the Cherry Street transit hub, Keating Channel pedestrian bridge, parks spaces and the community centre.</p> <p>As an alternate location, the library may be co-located with the community centre to create an integrated community hub.</p>

### 3.8.6 New Section - Complete and Inclusive Mixed-Use Communities

#### 2024 Amendment

Both the Official Plan and the Central Waterfront Secondary Plan (CWSP) guide the development of the Island, emphasizing the creation of complete communities that cater to the diverse needs of its residents. These plans ensure that the Island not only offers a variety of housing types but also integrates higher-order transit, a superior public realm, and essential community services and neighbourhood amenities into its urban fabric. This development of the community will also support residents across different stages of their lives, ensuring a sustainable, inclusive, and enriched living environment.

The Island will continue Toronto's legacy of master-planned communities that integrate schools, community centres, childcare facilities, retail, and other essential services alongside new housing developments. This holistic approach is crucial as the Island develops into a vertical community capable of supporting a diverse population. Emphasizing inclusivity, the Island's development plans include:

- > **Child-Friendly Design:** Building on the City's legacy of accommodating children in new development, the Island will incorporate the "Growing Up: Planning for Children in New Vertical Communities Guidelines." This includes delivering playgrounds and a public realm that allow for independent mobility. Development on the Island will encourage that new buildings include amenity spaces that are flexible for children. New development should target 40% two and three bedroom units to support larger households, multi-generational households and aging-in-place with a live in caregiver.
- > **Senior Supportive Amenities:** Aligned with the HousingTO 2020-2030 Action Plan, implementation will promote age-friendly environments that cater specifically to the needs of seniors. This will involve the development of accessible housing, community support services, and healthcare facilities that encourage seniors to live independently while being fully supported by community resources.
- > **Pet-Friendly Design:** As per the "Pet Friendly Design Guidelines," the Island will incorporate specific amenities for pets, such as designated outdoor spaces and pet-friendly facilities within buildings. This approach not only caters to pet owners but also ensures that the impact on the public realm, like parks and the river valley, is minimized, particularly impacts to the sensitive river valley habitats.
- > **Making an Accessible Waterfront:** Aligned with the Waterfront Design Accessibility Design Guidelines, implementation will increase the accessibility of waterfront areas and amenities for people with lived experience with disability, people of all ages and sizes and caregivers.

These city-wide strategic guidelines are part of a broader vision to ensure that the Island emerges as a benchmark for complete community development. The Island will feature mixed-income housing, including a significant proportion of affordable units, to ensure economic diversity. Publicly accessible waterfronts, parks, and cultural spaces will further enhance the quality of life for its residents. Integrating these elements will support the development of the Island that is not only physically inclusive but also socially supportive and vibrant.

### 3.8.7 New Section - Enabling Meanwhile Uses

The Island is a 20+ year phased development program, where early phases will be surrounded by vacant development blocks or existing buildings that may be repurposed. As development progresses, Meanwhile Uses activate vacant lands or buildings prior to the realization of the final development vision for those lands.

Due to the long period between the adoption of the Precinct Plan Amendment and completion of the final mixed-use residential development, Meanwhile Uses can play a critical role in activating early phases of development on the Island.

Meanwhile Uses can be diverse in scale, intensity and duration. Opportunities include a small public realm pop-up in an on-street parking space, a shipping container retail space, a large-scale event, or much larger, longer duration commercial activation, employment, community, cultural, sport or event uses.

Meanwhile Use interventions are tactical and support wider strategies of planned change. Although Meanwhile Use projects may be temporary in nature, they are distinct in that they occur on land that has a finite period during which to fill the vacancy and will not always be available for that use.

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A broad range of Meanwhile Uses are permitted on the Island, including retail, commercial, light industrial, community, cultural, entertainment, sport and agricultural uses. The diversity of Meanwhile Uses maximizes the flexibility to support the emerging community, experiment with new ways of activating spaces, support the programming and visitor experience of the new Don River parkland system, and allows for the evolution of the Precinct as phased development proceeds. In Parks and Open Space Areas, Meanwhile Uses are intended to be compatible with the future design and programming of the parks which will be constructed over the timeline of the Precinct Plan.

It is critical to ensure that Meanwhile Uses are not subject to specific policies or criteria intended for the final form of development, (such as the three-storey minimum height along major roads), to allow for innovation and flexibility, as well as accommodating atypical buildings or Meanwhile Use activation concepts.

Some attributes of Meanwhile Uses are:

- > Modular or designed for disassembly – ability to be removed and/or relocated
- > Support the emerging community – economically, socially, culturally Animation and activation uses, and public realm initiatives
- > Ideal for pilot projects and innovative approaches to transitional urbanism
- > A limited duration of operation (normally between a few days and 15+ years, depending on the Meanwhile Use and development phasing)

A Meanwhile Use Strategy, which may include urban design guidelines, would provide a structured approach to introducing Meanwhile Uses that support the Island, Port Lands or broader City-wide priorities. It would create opportunities to activate the Island, enhance the public realm and provide a framework for the evolution of the Island as it develops over time while being careful to mitigate any potential impacts to future parks and other open spaces.





**FIGURE 18.** Meanwhile use example. Left to right, top: Stackt (retail and cultural), Toronto, ON; Food pod cluster (parking lot), Portland, OR; Davie Village Community Garden (former gas station) Vancouver, BC; Blue House Yard (affordable work and retail spaces, London, UK; bottom: PLACE/Ladywell (24 units affordable rental housing), London, UK.

## 3.9 BUILT FORM

The Precinct Plan provides detail on the built form considerations and guidelines for the Island from pages 100 – 129. The following section identifies the updates to those guidelines.

The distribution of height and density across the Island responds to the framework of key public spaces, which determine the Island's unique identity. This includes the River Valley and the Keating Channel to the south and north, respectively, and Promontory Park to the west and Villiers Park to the east. Old Cherry Street and Centre Street corridors serve as the spines that link the iconic parks and public spaces along the Island's perimeter. The built form along the park edge streets maintains a consistent height profile, with tower heights stepped back and creating a gateway at the transit stop at New Cherry Street and Centre Street. Heights gradually descend

towards the east and north, preserving sun access for the river valley's sensitive habitats in the river valley and key public spaces along the Keating Channel. Pedestrian priority corridors like Old Cherry Street and Centre Street are framed by lower height street walls to maintain a human-scale environment, gradually transitioning to taller mid-rise heights and towers beyond, to optimize density while allowing sun access to the north side of Keating Channel Promenade, and on naturalized wetlands. Tower locations and stepbacks will be established to ensure comfortable microclimate at grade and to preserve views through to the lake beyond, adhering to a minimum 40-metre separation.

Tower heights along the Keating Channel have been established to preserve full sun access to the north Keating Channel promenade at noon

during the fall equinox, to ensure sun access during the shoulder seasons onto this unique public realm asset – Toronto's only urban canal. The demonstration plan resulted from several studies and was fine-tuned to result in a dynamic skyline visible from the inner harbour and the city. However, acknowledging this vast area will take many decades to develop, it is understood that this is a demonstration plan, and that built form will continue to evolve based on the context of each unique block and with the changing markets, climate and community needs.

This section provides specific direction related to both base/mid-rise buildings and tall buildings to achieve greater densities while following the intent of the built form principles identified in section 3.6.1 of the 2017 Precinct Plan.

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<p>Villiers Island holds an important place in the context of Toronto's natural and built landscapes at the intersection between the city, river and lake. Future vantages from Villiers Island looking west across Toronto's Inner Harbour will offer a unique sense of being in two distinct worlds at once: close to Toronto's thriving downtown, yet also intimately linked to the city's broader lake and river shed setting. Visitors, residents and workers will enjoy its vibrant, beautiful and walkable environment through all seasons. These unique attributes call for a built form strategy that reinforces a distinct island experience, and will set the precinct apart from the surrounding development context.</p> <p>Building on the direction in the Central Waterfront Secondary Plan and the Port Lands Planning Framework, Villiers Island will have a human-scale mid-rise character with some tall buildings of moderate height strategically located and scaled to the Island. Buildings will be carefully located within the Island to contribute to a high-quality public realm and comfortable pedestrian environment.</p>	<p>The Island holds an important place in the context of Toronto's natural and built landscapes at the intersection between the city, river and lake. Future vantages from the Island looking west across Toronto's Inner Harbour will offer a unique sense of being in two distinct worlds at once: close to Toronto's thriving downtown, yet also intimately linked to the city's broader lake and the Don River setting. Visitors, residents and workers will enjoy its vibrant, beautiful and walkable environment through all seasons. These unique attributes call for a built form strategy that reinforces a distinct island experience and draws from its unique location surrounded by water and parkland.</p> <p>Building on the early direction in the Central Waterfront Secondary Plan and the Port Lands Planning Framework, the Island will have a coherently scaled built form of mid-rise base buildings and tall towers. Buildings will be carefully located and designed to contribute to a high-quality public realm and comfortable pedestrian environment.</p>



### 3.9.1 Amendments to Section 3.6.1 Built Form Principles

2017 Precinct Plan	2024 Amendment
<p>The built form on Villiers Island will be planned, designed and developed in accordance with the following principles:</p> <ol style="list-style-type: none"> <li><b>1. Create a varied and dynamic built form that contributes to the city and Port Lands skyline and creates visual interest:</b> A variety of building types and scales will contribute to a distinct and dynamic skyline. Together with the evolving Port Lands, the ensemble of the skyline will contribute to the sense of place and identify for Villiers Island within Toronto's waterfront.</li> <li><b>2. Reinforce distinct character areas and places in the Island:</b> Villiers Island consists of a collection of special places with different relationships to the water's edge and the public realm.</li> <li><b>3. Contribute to spectacular and comfortable all-season parks, open spaces and destinations:</b> Villiers Island will be wrapped with a continuous green loop of parks and open spaces along its four waterside edges. This condition requires special consideration with regards to the public realm and microclimate conditions.</li> <li><b>4. Design the built form to frame and animate streets, parks and open spaces and respond to water edge conditions:</b> To create a lively and animated district with an excellent pedestrian environment, the built form must have a good scale and relationship to street, parks and open spaces. Buildings will define streets and adjacent parks with continuous and strong building edges, with breaks and separation between buildings to allow for pedestrian access, as well as allowing for openness to the sky view.</li> </ol> <p><i>2017 Precinct Plan text continues on next page</i></p>	<p>The built form on the Island will be planned, designed and developed in accordance with the following principles:</p> <ol style="list-style-type: none"> <li><b>1. Create a varied and dynamic built form that contributes to the city and Port Lands skyline and creates visual interest:</b> A variety of building types and scales will contribute to a distinct and dynamic skyline. Together with the evolving Port Lands, the ensemble of the skyline will contribute to the sense of place and identity for the Island within Toronto's waterfront.</li> <li><b>2. Reinforce distinct character areas and places in the Island:</b> The Island consists of a collection of special places with different relationships to the water's edge and the public realm.</li> <li><b>3. Contribute to spectacular and comfortable all-season parks, open spaces and destinations:</b> The Island will be wrapped with a continuous green loop of parks and open spaces along its four waterside edges. This condition requires special consideration with regards to the public realm and microclimate conditions.</li> <li><b>4. Design the built form to frame and animate streets, parks and open spaces and respond to water edge conditions:</b> To create a lively and animated district with an excellent pedestrian environment, the built form must have an appropriate scale and relationship to street, parks and open spaces. Buildings will define streets and adjacent parks with continuous and strong building edges, with breaks and separation between buildings to allow for pedestrian access, as well as allowing for openness to sky view.</li> </ol> <p><i>2024 Amendment text continues on next page</i></p>



## Amendments to Section 3.6.1 Built Form Principles (continued)

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<p><b>5. Maintain and celebrate the built, cultural and natural heritage of the Island and surrounding Port Lands:</b> Villiers Island has a special industrial and natural heritage context that will contribute to the identity of the Island as the precinct evolves. New development will establish sensitive transitions in scale, form, material and character to support and complement the heritage structures, define the different character areas and celebrate the history of the Island.</p> <p><b>6. Position tall buildings in strategic locations to optimize proximity to transit nodes, define gateways and frame open spaces:</b> Tall buildings will be located in strategic locations with special consideration to how they maintain and frame views in and out of Villiers Island, their contribution to the ensemble of the skyline, while ensuring that they are located, designed and massed to have a positive impact on the surrounding public realm.</p> <p><b>7. Showcase views to the water and industrial landmarks:</b> The built form will be designed to enhance views from the city to Villiers Island and views out to the Port Lands and the Inner Harbour. Heritage structures and industrial landmarks in and around Villiers Island including the Lake Ontario Portland Cement Company Silos, and the Hearn Generating Station, Ashbridges Bay and Commissioners Incinerator chimney stacks will continue to be dominant structures and landmarks in the area and remain prominent in the skyline.</p> <p><b>8. Leverage passive solar gain and enable daylighting within buildings and open spaces:</b> The location, design and massing of buildings can contribute to achieving climate positive goals by reducing energy demands through passive solar gain, while providing daylighting within interior courtyards.</p>	<p><b>5. Maintain and celebrate the built, cultural and natural heritage of the Island and surrounding Port Lands:</b> The Island has a special industrial and natural heritage context that will contribute to the identity of the Island as the precinct evolves. New development will establish sensitive transitions in scale, form, material and character to support and complement the heritage resources, define the different character areas and celebrate the history of the Island.</p> <p><b>6. Tall buildings will be located throughout most of the Island, and will be located to support a comfortable public realm:</b> This approach ensures that while embracing density and vertical growth, the Island maintains its commitment to creating comfortable, welcoming outdoor spaces for residents and visitors alike.</p> <p><b>7. Showcase views to the water and industrial landmarks:</b> Buildings will be designed and spaced to enhance views from the city to the Island and views out to the Port Lands and the Inner Harbour. Heritage resources and landmarks in and around the Island including the Lake Ontario Portland Cement Company Silos, and the Hearn Generating Station, Ashbridges Bay and Commissioners Incinerator chimney stacks will continue to be notable landmarks in the area.</p> <p><b>8. Enable daylighting within buildings and open spaces:</b> The location, design and massing of buildings can contribute to a more livable, sustainable, and healthful urban environment by providing daylighting within buildings, open spaces, and interior courtyards.</p>

### 3.9.2 Amendments to Sections 3.6.2 Low-Rise Buildings and 3.6.3 Base Buildings and Mid-Rise Buildings

The amendments concerning base buildings and mid-rise buildings introduce several adjustments aimed at increasing flexibility for built form, street interaction, and environmental considerations. The enabling Zoning By-law permits maximum flexibility, while the Precinct Plan provides greater specificity on performance objectives. While eliminating minimum setbacks, the amendments continue to emphasize the importance of building heights in relation to streets, parks, and waterways to ensure a comfortable public realm and sunlight access. Overall, these amendments aim to provide a flexible approach to create a more vibrant, pedestrian-friendly, and sustainable built environment on the Island, while accommodating more density. Setbacks should align with the structural grid to minimize the use of transfer slabs and their embodied carbon.



FIGURE 19. Low-rise, base and mid-rise building heights and locations

## Section 3.6.2 Low-Rise Buildings

Deleted – Except for 3.6.2.2. Old Cherry Street, east side.

## Section 3.6.3 Base Buildings and Mid-Rise Buildings

### 2017 Precinct Plan

Base and mid-rise buildings on Villiers Island will range from 6 to 10 storeys (19 - 32 metres) and will be the predominant building type of the Island. Base and mid-rise buildings will be designed to frame streets and create a consistent streetwall. Base and mid-rise buildings heights and locations are indicated on Figure 64. Base and mid-rise buildings should be no longer than 85 metres. Base buildings are the lower portion of a tall building. Base buildings will be no taller than 8 storeys. The height of base and mid-rise buildings will vary based on the character area and the relationship to heritage, street width and solar orientation. The overall distribution of base and mid-rise buildings on the Island is based on a staggered heights strategy, with lower heights along Commissioners Street and higher base and mid-rise building elements along Villiers Street. One of the opportunities gained from this approach is the potential to leverage passive solar gain on a precinct-wide basis and terrace the heights of buildings down towards River Park. Mid-rise buildings will incorporate varying setbacks to reduce the perception of height from the street, create an excellent pedestrian environment and allow for sunlight access and sky views from the public realm. Setbacks are an important massing technique to maintain a human scale and allow for a minimum amount of sun on the public realm by stepping upper storeys away from the street edges. Setbacks can also provide space for outdoor terraces, which can contribute to eyes on the street and contribute to a building's private amenity space. All building's ground floors will have a minimum 5 metre floor-to-floor height; all residential upper storeys will have a 3 metre floor-to-floor height; all commercial storeys will have a minimum 4 metre floor-to-floor height.

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Base buildings – located below a tower – and standalone mid-rise buildings on the Island will continue to have maximum heights of 10 storeys as recommended in the 2017 Precinct Plan.

How base building heights will be deployed within this maximum will be informed by building location and microclimate studies to understand potential impacts on adjacent public realm.

Base building setbacks remain an important way to articulate massing to establish a consistent streetwall and to help reduce the perception of taller building massing above the street, and to help permit sunlight access and sky views onto key public realm locations. While very few minimum base building setbacks are required, they may be recommended as a result of microclimate studies in order to improve sun access or wind conditions on key public realm areas.

The length of base building frontages is recommended to encourage a finer grain of block porosity especially on the larger easternmost and westernmost blocks (P07, P11, P12, P15). Buildings are encouraged to provide at least one mid-block connection or access point to internal courtyards to break up the massing on the block and provide logical public pathways through blocks, especially on the larger easternmost and westernmost blocks noted above. Articulation and diversity of frontages is encouraged, as well as additional setbacks or chamfered corners to help increase views to the parks and heritage resources and expand the public realm in key locations to for patios and gathering spaces to make the pedestrian realm more dynamic.

All buildings' ground floors will have an approximately 5 metre floor-to-floor height; all residential upper storeys will have a minimum 3 metre floor-to-floor height; all commercial upper storeys will have a minimum 4 metre floor-to-floor height.



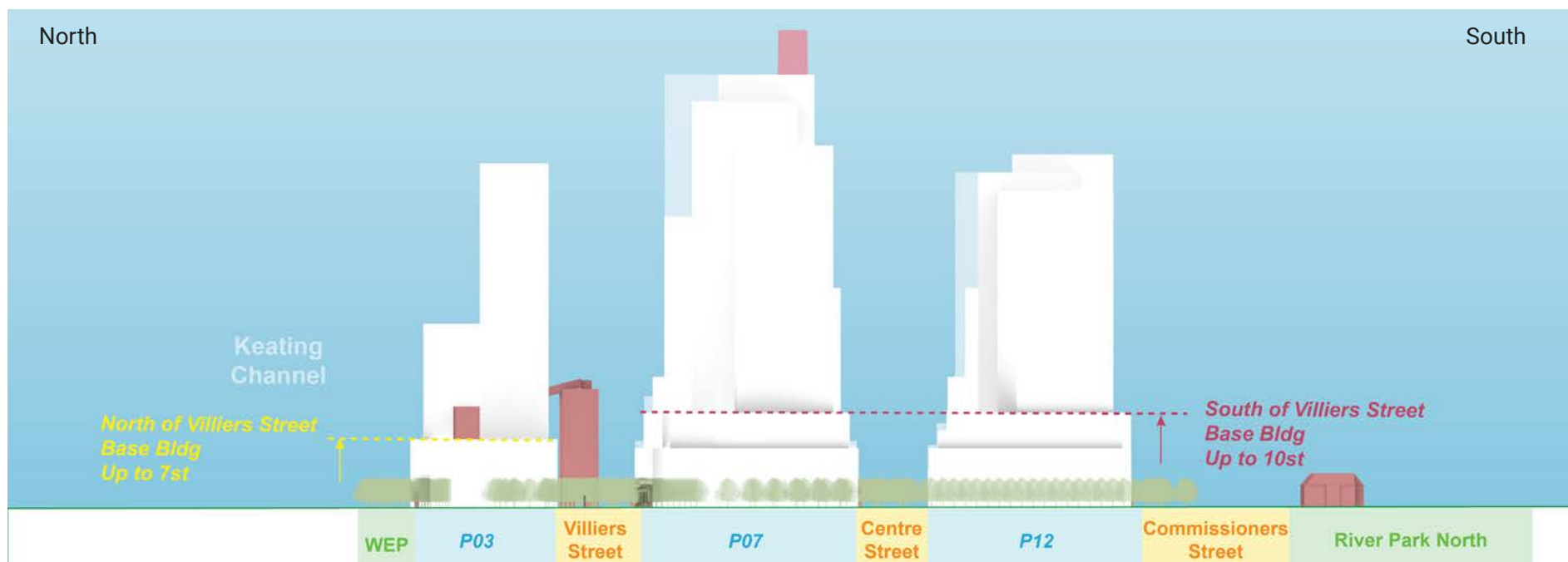


FIGURE 20. Diagram illustrating the maximum base and mid-rise building heights in a conceptual north-south cross section of the Island

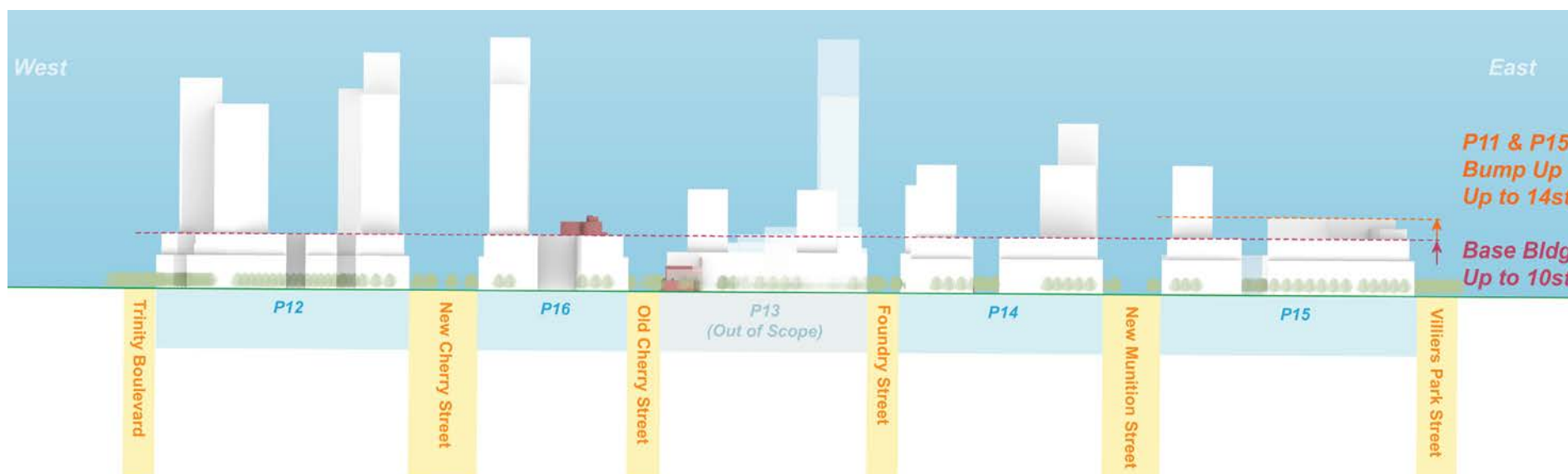


FIGURE 21. Diagram illustrating the maximum base and mid-rise building heights in a conceptual east-west cross section of the Island

### 3.9.3 Amendments to Section 3.6.3 *Low-Rise Building and Base Buildings and Mid-Rise Buildings: Streets*

The original Precinct Plan provided design direction for various street typologies (subsections 3.6.3.1, 3.6.3.2, 3.6.3.3, 3.6.3.4, 3.6.3.5, and 3.6.3.6). However, in this Amendment, streets have been reorganized based on a revised set of typologies:

- > **Park edge streets** are framed by buildings on one side and open to parks on the other, and include Commissioners Street, Trinity Boulevard and Villiers Park Street.
- > **Pedestrian priority streets** will likely be the preferred route for most pedestrians on the Island. They connect key public spaces are lined with active uses and may be closed to traffic or have traffic calming components, and include Old Cherry Street, Centre Street, Villiers Street, and Old Munition Street.
- > **North South Connector streets** are functional mobility corridors that connect the Island back to the city or from one street to another, and include New Cherry Street, Foundry Street, and New Munition Street.

The street typology and scale of the rights-of-way (ROW) relate to the built form that frames it. Streetwall heights have been refined to contribute to the character and scale of this diverse array of streets that lend identity to the public realm of the Island. Tall streetwalls line the park edge streets and connectors, and lower streetwalls provide more human scale to pedestrian priority streets with stepbacks to allow sun access and sky views.

Amendments to street design will be organized according to these revised street typology categories.

### 3.9.3.1 Amendments to Sections 3.6.3.1 North South Streets and 3.6.3.3 Commissioners Street, North Side

2017 Precinct Plan	2024 Amendment
<p><b>Commissioners Street</b></p> <ul style="list-style-type: none"> <li>&gt; Buildings will be permitted up to 7 storeys (22 metres) to frame River Park, and leverage solar gain and minimize shadow impact on internal courtyards and buildings along Centre Street;</li> <li>&gt; Buildings on Commissioners Street will be encouraged to include variation in height, scale and articulation to establish architectural interest;</li> <li>&gt; Buildings will incorporate a front stepback at the 6th storey (south façade) with a minimum depth of 1.5 metres. Greater stepback areas are encouraged to create generous south facing terraces facing the River Valley with space for outdoor furniture; and</li> <li>&gt; Buildings will incorporate a stepback at the 6 storey (north façade) with a minimum depth of 3 metres up to 4.5 metres to minimize shadow impact on internal courtyards and on buildings on Centre Street.</li> </ul> <p><b>North-South Streets (3).6.3.1</b></p> <ul style="list-style-type: none"> <li>&gt; Buildings with primary frontage on north-south streets will be permitted up to 8 storeys, and incorporate stepbacks at the 6th storey; and</li> <li>&gt; The height and scale of buildings fronting north-south streets will relate to the street right-of-way to create a pedestrian-friendly environment and leverage passive solar gain.</li> </ul> <p><b>3.6.3.4 Villiers Street, south side</b></p> <ul style="list-style-type: none"> <li>&gt; Buildings will be permitted up to 8 to 10 storeys, with stepbacks at the 6th or 8th storey, with a depth of 3 metres. The stepback area should incorporate outdoor terraces directly facing the Promenade;</li> <li>&gt; Base and mid-rise buildings will relate to the street right-of-way and create a comfortable pedestrian condition; and</li> <li>&gt; Buildings should provide additional stepbacks to minimize the perception of height from the street and the Keating Channel Promenade.</li> </ul> <p><i>2017 Precinct Plan text continues on next page</i></p>	<p><b>Park Edge Streets</b></p> <p><b>Commissioners Street</b></p> <ul style="list-style-type: none"> <li>&gt; Commissioners Street (maximum 40 metre ROW) is a wide, multi-use thoroughfare with two vehicular lanes, dedicated transit and cycling infrastructure and a generously landscaped public realm. Buildings are located on the north side only and face southward over new parks and the river valley, toward the Port Lands and ship channel.</li> <li>&gt; Base and mid-rise buildings fronting onto Commissioners Street will be permitted to a maximum height of 10 storeys (approximately 32 metres).</li> </ul> <p><b>Trinity Boulevard</b></p> <ul style="list-style-type: none"> <li>&gt; Trinity Boulevard (maximum 20 metre ROW) is the park edge street on the west edge of the Island, fronting onto the iconic Promontory Park, and the most prominent of the Island's development blocks as viewed from the city and inner harbour.</li> <li>&gt; Base building frontages on Trinity Boulevard are permitted to a maximum height of 10 storeys (approximately 32 metres).</li> </ul> <p><b>Villiers Park Street</b></p> <ul style="list-style-type: none"> <li>&gt; Villiers Park Street (maximum 20 metre ROW) fronts onto the community-focused Villiers Park. The southern portion of the street may also accommodate the transit loop for the future Waterfront East LRT.</li> <li>&gt; Base building frontages facing Villiers Park Street are permitted to a maximum height of 10 storeys (approximately 32 metres).</li> </ul> <p><b>Villiers Street - South Side</b></p> <ul style="list-style-type: none"> <li>&gt; Base buildings fronting onto the south side of Villiers Street will be permitted to a maximum height of 10 storeys.</li> </ul> <p><i>2024 Amendment text continues on next page</i></p>



Amendments to Sections 3.6.3.1 North South Streets and 3.6.3.3 Commissioners Street, North Side (continued)

2017 Precinct Plan	2024 Amendment
<p><b>3.6.2.1 Villiers Street North/Keating Promenade</b></p> <ul style="list-style-type: none"> <li>&gt; Buildings along the Keating Channel Promenade, east of New Cherry Street will be a maximum of 3 storeys, up to 15 metres. Buildings will respond the scale of the Harbour Commissioner and Dry Dock buildings, contribute to a high-quality pedestrian experience, and maximize sunlight along the Promenade;</li> <li>&gt; Buildings along the Keating Channel Promenade should incorporate substantial glazing and function as extensions of the public realm, with patio and spill out opportunities on both the northern and southern façades;</li> <li>&gt; The building on the east side of New Munition Street along the Keating Channel will be up to 3 storeys and the site for a future school. The school's main entrance should be located on Villiers Street and the northern façade should incorporate substantial glazing, and should include playful and whimsical design elements; and</li> <li>&gt; There will be one five storey building permitted along the Keating Channel Promenade to the immediate west of New Cherry Street. This site will accommodate a 2-storey community centre, with potential residential/ commercial uses.</li> </ul>	<p><b>Villiers Streets - North Side</b></p> <ul style="list-style-type: none"> <li>&gt; The blocks on the north side of Villiers Street are intended to accommodate an increase in heights and densities over the 2017 Precinct Plan to provide additional housing and mixed-use opportunities on serviced, publicly-owned blocks while providing for a comfortable public realm. Built form massing approaches should be considered to provide adequate sunlight on the public realm on the northside of Villiers Street.</li> <li>&gt; Block P03: The site located west of New Cherry Street between Trinity Blvd and the Keating Channel Promenade is the preferred location for a community centre and potential mix of other uses within the base building permitted to a maximum height of 7 storeys (approximately 23 metres).</li> <li>&gt; Blocks P04 and P05 (between the Cherry Street and Munition Street bridges along the Keating Channel): Base building frontages along the north side of Villiers Street and the south side of the Keating Channel Promenade between New Cherry and New Munition Streets, are permitted to a maximum height of 7 storeys (approximately 23 metres), except for 10 storeys on the eastern portion of Block P05. A high degree of porosity is required for these blocks with multiple mid-block connections between Villiers Street and the Keating Channel Water's Edge Promenade to increase permeability and create public space in lieu of Marina Square. Building placement on P04 should safeguard the existing Sakura Project cherry trees at the northeastern corner of Villiers and Old Cherry Streets.</li> <li>&gt; Block P06: The site on the east side of New Munition Street between Villiers Street and the Keating Channel is the preferred location for a future school with potential residential or commercial uses above in a tall mid-rise typology to a maximum height of 7 storeys (approximately 23 metres).</li> <li>&gt; The buildings along the Keating Channel Promenade are required to include active uses at grade and incorporate substantial glazing and function as extensions of the public realm, with patio and spill out opportunities on both the north and south frontages.</li> </ul>



FIGURE 22. Notional rendering of Silo Square, northside of Villiers Street (source: Waterfront Toronto)

**3.9.3.2 Amendments to Sections 3.6.3.2 Old Cherry Street, 3.6.3.4 Villiers Street South Side, 3.6.3.5 Centre Street and 3.6.3.6 Old Munition Street Pedestrian Link**

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<p><b>3.6.3.2 Old Cherry Street</b></p> <ul style="list-style-type: none"> <li>&gt; Buildings at this scale will relate to the street right-of-way and establish a transition in scale to the low-rise buildings along the east side of Old Cherry Street. These buildings are planned as commercial/office buildings; and</li> <li>&gt; Buildings to the immediate east of Old Cherry Street, facing east and west streets (Villiers Street, Centre Street, Commissioners Street) will incorporate a significant stepback in height to establish a sensitive transition in scale, as indicated in figure 66. For the portion of a building adjacent to a heritage structure, buildings should be a maximum of 6 storeys. Buildings directly adjacent to heritage structures should transition in height and scale via stepbacks and other massing techniques.</li> </ul> <p><i>2017 Precinct Plan text continues on next page 51</i></p>	<p><b>Pedestrian Priority Streets</b></p> <p><b>Old Cherry Street</b> (see Figures 23 and 24)</p> <ul style="list-style-type: none"> <li>&gt; Old Cherry Street is a key connector between River Park North and the Keating Channel Promenade, and contains a significant concentration of the industrial cultural heritage resources on the Island. It widens from 20 metres at Commissioners Street to 32 metres at Villiers Street to the north to increase views to the Silos heritage structure and provide public space at grade.</li> <li>&gt; Due to its proximity to the future transit stop, connected by a pedestrianized section of Centre Street and its strategic location, it is planned to be the heart of the Island and an important animated pedestrian priority corridor and public space for festivals and programming.</li> </ul> <p><b>Old Cherry Street – East Side:</b></p> <ul style="list-style-type: none"> <li>&gt; Infill buildings along the east side of Old Cherry Street will be low-rise in scale, with a maximum height of 11 metres [subject to OLT decision]. Infill buildings will establish a transition in scale and character to the cluster of existing low rise cultural heritage resources along the street. The portion of infill buildings that front onto the east side of Old Cherry Street will be low-rise in scale. Buildings will establish a transition in scale and character to the cluster of existing low-rise cultural heritage resources along the street.</li> <li>&gt; Tower elements of buildings fronting Old Cherry Street are permitted with a minimum setback of 14 metres from Old Cherry Street.</li> </ul> <p><i>2024 Amendment text continues on page 51</i></p>



2017 Precinct Plan	2024 Amendment
<p><b>3.6.3.2 Old Cherry Street</b></p> <ul style="list-style-type: none"> <li>&gt; Buildings on the west side of Old Cherry Street will be permitted up to 6 to 7 storeys (22 metres);</li> </ul> <p><b>3.6.3.6 Old Munition Street Pedestrian Link</b></p> <ul style="list-style-type: none"> <li>&gt; Along the Old Munition Street Pedestrian Link, buildings will be up to 6 storeys to create a more intimate residential-type pedestrian-only mews and create a transition in scale to the heritage building at 33 Villiers Street.</li> </ul> <p><i>2017 Precinct Plan text continues on next page 52</i></p>	<p><b>Old Cherry Street – West Side:</b></p> <ul style="list-style-type: none"> <li>&gt; Base building frontages on the west side of Old Cherry Street will be permitted up to 10 storeys (approximately 32 metres).</li> <li>&gt; A maximum streetwall height of 6 storeys (approximately 20 metres) is permitted, with a minimum 3 metre stepback above to provide sun access onto the Old Cherry Corridor and reduce the perception of height for pedestrians at grade. Additional stepbacks above this height should be studied in order to maximize sun access onto Old Cherry Street.</li> <li>&gt; Buildings will establish a transition in scale to the low-rise cultural heritage resources along the east side of Old Cherry Street will optimize sun access and sky view along this pedestrian priority heritage corridor.</li> </ul> <p><b>Old Munition Street Pedestrian Link:</b></p> <ul style="list-style-type: none"> <li>&gt; Old Munition Street (maximum 15 metre ROW) is a pedestrian laneway that connects the Keating Channel promenade to the River Park, with a protected view southward toward the Fire Hall.</li> <li>&gt; Heights should create a transition in scale to the cultural heritage resource at 16 Munition Street and promote a more intimate pedestrian scale along this corridor.</li> </ul> <p><i>2024 Amendment text continues on page 52</i></p>

Amendments to Sections 3.6.3.2 Old Cherry Street, 3.6.3.4 Villiers Street South Side, 3.6.3.5 Centre Street and 3.6.3.6 Old Munition Street Pedestrian Link (continued)

2017 Precinct Plan	2024 Amendment
<p><b>3.6.3.5 Centre Street</b></p> <ul style="list-style-type: none"> <li>&gt; Buildings will be permitted up to 8 storeys, with stepbacks at the 6th storey. Buildings along Centre Street will incorporate stepbacks and elevated penthouses to create a sense of intimacy and frame the pedestrian-focused street.</li> <li>&gt; On the north side of Centre Street, base buildings will incorporate a 3 metre wide stepback at the 6th storey; and</li> <li>&gt; On the south side of Centre Street, base buildings will incorporate two stepbacks at the 6th and 7th storeys, to maximize sunlight on the northern sidewalk area. Additional built form massing approaches should be considered to maximize sunlight on the street.</li> </ul> <p><b>3.6.2.1 Villiers Street North/Keating Promenade</b></p> <ul style="list-style-type: none"> <li>&gt; Buildings along the Keating Channel Promenade, east of New Cherry Street will be a maximum of 3 storeys, up to 15 metres. Buildings will respond the scale of the Harbour Commissioner and Dry Dock buildings, contribute to a high-quality pedestrian experience, and maximize sunlight along the Promenade;</li> <li>&gt; Buildings along the Keating Channel Promenade should incorporate substantial glazing and function as extensions of the public realm, with patio and spill out opportunities on both the northern and southern façades;</li> <li>&gt; The building on the east side of New Munition Street along the Keating Channel will be up to 3 storeys and the site for a future school. The school's main entrance should be located on Villiers Street and the northern façade should incorporate substantial glazing, and should include playful and whimsical design elements; and</li> <li>&gt; There will be one five storey building permitted along the Keating Channel Promenade to the immediate west of New Cherry Street. This site will accommodate a 2-storey community centre, with potential residential/commercial uses</li> </ul>	<p><b>Centre Street</b> (see Figure 25)</p> <ul style="list-style-type: none"> <li>&gt; Centre street (maximum 20 metre ROW) is a pedestrian priority shared street and the central spine that ties the Island together from east to west, prioritizing slow speeds, pedestrian and active mobility, and commercial uses from many of its frontages at grade. It is the Island's smallest scale street at 20 metre wide and framed by base buildings and towers on both sides.</li> </ul> <p><b>Centre Street - South Side:</b></p> <ul style="list-style-type: none"> <li>&gt; Base buildings fronting onto the south side of Centre Street will be permitted to a maximum height of 10 storeys (approximately 32 metres).</li> <li>&gt; Buildings will be designed to maximize sunlight onto the northern sidewalk at 12:18PM during the fall equinox and additional built form massing approaches should be considered to maximize sun access including through stepbacks and/or sculpted built forms and the location and orientation of towers.</li> </ul> <p><b>Keating Channel Promenade:</b></p> <ul style="list-style-type: none"> <li>&gt; The Keating Channel South Promenade is not a street, but an important east-west pedestrian thoroughfare along a unique urban waterway that will prioritize commercial activation uses at-grade, including unique dining and retail experiences.</li> <li>&gt; Base building designs and tower stepbacks will help provide a comfortable microclimate and pedestrian scale perception at grade and a high-quality public realm.</li> <li>&gt; Base buildings will have a maximum height of 7 storeys (approximately 23 metres).</li> <li>&gt; Tower locations and orientations will be established at the design stage and will be reviewed against their microclimactic impacts on the surrounding adjacent promenades and public realm.</li> </ul>



FIGURE 23. Old Cherry Street Diagonal Plaza

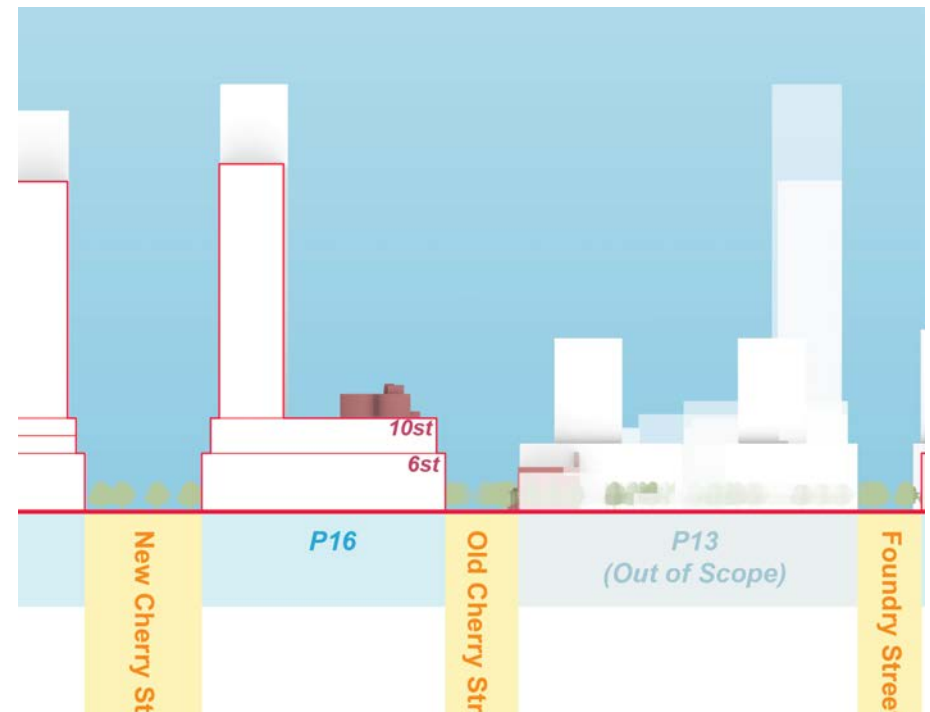


FIGURE 24. Old Cherry Street section

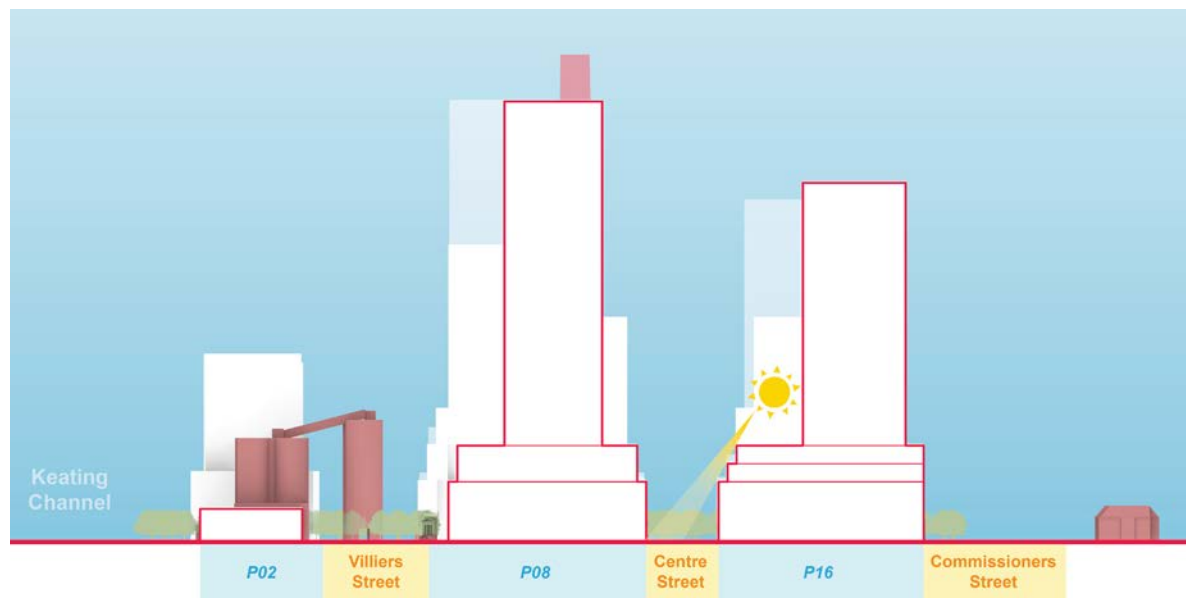


FIGURE 25. Centre Street section



### 3.9.3.3 Amendments to Sections 3.6.3.1 North South Streets

The amendments introduce adjustments regarding the permitted heights and design guidelines for buildings fronting onto major north-south streets including New Cherry Street, Foundry Street and New Munition Street.

Overall, these amendments aim to enhance the built form, urban design and character of the streets that connect the Island north to south, two of which lead to bridges onto and off of the Island, while ensuring compatibility with the surrounding natural and built environment and heritage context.

2017 Precinct Plan	2024 Amendment
<p><b>North-South Streets (3).6.3.1</b></p> <ul style="list-style-type: none"> <li>&gt; Buildings with primary frontage on north-south streets will be permitted up to 8 storeys, and incorporate stepbacks at the 6th storey (see Figure 65); and</li> <li>&gt; The height and scale of buildings fronting north-south streets will relate to the street right-of-way to create a pedestrian-friendly environment and leverage passive solar gain.</li> </ul>	<p><b>North South Connectors</b></p> <p><b>New Cherry Street</b></p> <ul style="list-style-type: none"> <li>&gt; New Cherry Street (maximum 40 metre ROW), serves as the prominent urban gateway to the Island from downtown featuring the primary future LRT stop on the Island. It is a wide, multi-use thoroughfare with two vehicular lanes, dedicated transit and cycling infrastructure and a generously landscaped public realm.</li> <li>&gt; Base building frontages on both the east and west sides of New Cherry Street will be permitted to a maximum height of 10 storeys (approximately 32 metres).</li> </ul> <p><b>Foundry Street</b></p> <ul style="list-style-type: none"> <li>&gt; Foundry Street (maximum 20 metre ROW) is a local north-south connector street that is flanked by the historic Foundry building.</li> <li>&gt; Base building frontages on Foundry Street will be permitted to a maximum height of 10 storeys (approximately 32 metres).</li> </ul> <p><b>New Munition Street</b></p> <ul style="list-style-type: none"> <li>&gt; New Munition Street (maximum 30 metre ROW) will be an important north-south connector street from the Island back to the city with a future vehicular bridge. The second transit stop will be located along Commissioners Street near New Munition Street and the southern portion of this street may also accommodate the transit loop for the future Waterfront East LRT.</li> <li>&gt; Base building frontages on New Munition Street will be permitted with maximum heights of up to 10 storeys (approximately 32 metres).</li> </ul>

### 3.9.4 Amendments to Section 3.6.2.1 Tall Buildings

The 2017 Precinct Plan envisioned tall buildings on the Island and concentrated them on five blocks between Villiers Street and Centre Street to a maximum height of 29 storeys. Direction from City Council to maximize new housing opportunities through increased densities on publicly-owned blocks necessitated a new analysis of how best to plan for greater density island-wide. The Density Study examined a variety of ways to deploy density across the Island, while continuing to respect the key principles that the 2017 Precinct Plan introduced. The 2024 Precinct Plan Amendment maintains a minimum 40 metre tower separation

and continues to prioritize connections between the City and the lake beyond, and space between the buildings, to support sun access onto key public spaces including the north side of the Keating Channel and on naturalized wetlands. Maintaining these principles resulted in focused opportunities for greater densities on more and taller towers on the Island

Through significant iterative scenario modelling, due diligence and public consultation feedback, the Density Study recommended a 60% increase in gross floor area. This was achieved by increasing tower heights, increasing the number of towers

throughout the Island, and introducing new development blocks with moderate height tall buildings along the Keating Channel (see Figure 26). The updated massing and height strategy was strategically located and shaped to reach the increased density targets, while minimizing adverse microclimate impacts on the public realm.

As noted, New Cherry Street will serve as a prominent urban gateway to the precinct. The updated height strategy recommends increased maximum tower heights along this corridor, with the tallest buildings focused generally western portion of the Island.



FIGURE 26. Conceptual tower locations

### 3.9.4.1 Amendments to Section 3.6.4.1 Tall Building Locations

2017 Precinct Plan	2024 Amendment
<p>The location, organization and orientation of tall buildings has been carefully considered to balance a number of planning and design considerations:</p> <p><b>Maximize Sunlight on the Public Realm:</b> Tall buildings will minimize shadow impact on the Island’s parks and open spaces and ensure adequate sunlight on the public realm and natural habitat.</p> <p><b>Leverage Passive Solar:</b> In order to reduce energy demands for buildings, tall buildings will be located strategically on the Island to maximize south facing sunlight exposure, capitalizing on the energy and benefits associated with passive solar gain.</p> <p><b>Mitigate Wind Impact:</b> Villiers Island is located in an area subject to strong winds. Tall buildings need to be carefully positioned to minimize wind impacts and create a comfortable public realm</p> <p><b>Define Gateways:</b> Tall buildings will define the two north-south gateways into the Island, along New Cherry Street and New Munition Street</p> <p><b>Proximity to Transit Stops:</b> Tall buildings will be clustered around the New Cherry Street transit stop to ensure people and jobs are located in close proximity to transit</p> <p><b>Transition to Heritage Structures:</b> To provide appropriate transitions in scale and form to the lower-scale heritage structures on the Island, tall buildings are not appropriate within close proximity to heritage structures. Tall buildings are also not appropriate in locations that would block or obstruct views to heritage structures in Villiers Island and the surrounding Port Lands.</p> <p>The tall building locations on the Island will distinguish the scale and built form between the different character areas in the Island, and also distinguish the Island from the built form character in surrounding areas. In addition to the considerations discussed on the preceding pages, tall buildings will also be located away from the Cement Terminal on Polson Quay to minimize noise mitigation concerns. Tall buildings will be located within the development blocks bounded by Centre Street to the south and Villiers Street to the north. By locating tall buildings within these blocks and staggering their locations, it is possible to minimize shadowing on surrounding buildings. This approach is optimal from a passive solar perspective on a precinct-wide basis and will contribute to reducing energy demands generated by buildings.</p>	<p>The location, organization and orientation of tall buildings has been carefully considered to balance a number of planning and design considerations:</p> <p><b>Maximize Sunlight on the Public Realm:</b> Tall buildings will maximize sunlight on the Island’s parks, open spaces, public realm, and natural habitat.</p> <p><b>Mitigate Wind Impact:</b> Villiers Island is located in an area subject to strong winds. Tall buildings need to be carefully positioned to minimize wind impacts and create a comfortable public realm. See Section 3.9.7.2 for additional guidelines.</p> <p><b>Define Gateways:</b> Tall buildings straddling New Cherry Street will define it as the primary north-south gateway onto the Island.</p> <p><b>Proximity to Transit Stops:</b> Tall buildings will be clustered around the New Cherry Street transit stop to ensure a higher concentration of people and jobs are located in close proximity to this primary transit hub for the Island.</p> <p><b>Transition to Cultural heritage resources:</b> Building massing will provide appropriate transitions in scale and form to the lower-scale cultural heritage resources on the Island. Tall buildings should frame protected views to cultural heritage resources on the Island and the surrounding Port Lands.</p>



### 3.9.4.2 Amendments to Section 3.6.4.3 Tall Building Stepbacks

2017 Precinct Plan	2024 Amendment
<p>Tall buildings will be well set back from the base building and the street edge. Tall building stepbacks will mitigate wind impacts, reduce the perception of tall buildings from the street and create a comfortable pedestrian environment. Tall buildings will be stepped back from the base building frontage by a minimum of:</p> <ul style="list-style-type: none"> <li>&gt; 10 metres on the south side of Villiers Street to provide a substantial stepback to the pedestrian oriented Keating Channel Promenade and heritage structures;</li> <li>&gt; 6 metres on the north side of Centre Street along the length of the street, to preserve the character of Centre Street as a mid-rise street; and</li> <li>&gt; At least 3 metres on north-south street.</li> </ul>	<p>Tall buildings should be stepped back from the base building in most cases, and the street edge to mitigate wind impacts and create a comfortable pedestrian environment (see Figure 27). Detailed design will inform the recommended tall building stepbacks below to optimize microclimate conditions at grade, in context with surrounding development.</p> <p>Tall buildings will be stepped back from the base building frontage by the following minimum distances:</p> <ul style="list-style-type: none"> <li>&gt; <b>Villiers Street – South Side:</b> a minimum of 10 metres between New Cherry Street and New Munition Street; <b>North Side:</b> no minimum</li> <li>&gt; <b>Old Cherry Street – East Side:</b> a minimum of 14 metres</li> <li>&gt; <b>All other streets:</b> no minimum</li> </ul>



FIGURE 27. Tower stepbacks

**3.9.4.3** Amendments to *Section 3.6.4.4 Tall Building Stepback to Heritage Structures*

2017 Precinct Plan	2024 Amendment
In order to establish a transition in scale to heritage structures within Villiers Island, tall buildings will be separated a minimum of 40 metres from the predominant face of heritage structures.	In order to establish a transition in scale to cultural heritage resources within the Island, tall buildings will be separated a minimum of 40 metres from the predominant face of taller cultural heritage resources.

#### 3.9.4.4 Amendments to Section 3.6.4.5 Tall Building Floorplates

2017 Precinct Plan	2024 Amendment
Residential tall building floorplates for the portion of a building over 10 storeys will not exceed 750 square metres (excluding balconies). This floorplate size will ensure that daylight penetrates through to the streets and the perceived bulk of the building does not dominate the human-scale quality of the street.	<p>Tall building floorplates will generally be an average of 750 square metres across all tall building storeys, however exploration of a variety of built forms on the Island is encouraged. As such, towers may demonstrate alternative built form approaches with larger floorplates where they:</p> <ul style="list-style-type: none"><li>&gt; Support sustainable design including greater passive performance, energy efficiency, and reduced embodied carbon;</li><li>&gt; Provide more multi-bedroom units beyond minimum requirements and/or more flexible unit designs that can adapt as household needs change;</li><li>&gt; Minimize impacts on the adjacent public realm; and/or</li><li>&gt; Allow for greater block porosity in the base building(s) below.</li></ul>



### 3.9.4.5 Amendments to Section 3.6.4.6 Tall Buildings Height Strategy

2017 Precinct Plan	2024 Amendment
<p>The heights of tall buildings in Villiers Island will contribute to an interesting skyline, maintain and enhance view corridors, and minimize shadow impact on parks and open spaces. The majority of tall buildings will be in the low to mid-twenties. As indicated on Figure 73, four height ranges are appropriate for Villiers Island:</p> <ul style="list-style-type: none"> <li>&gt; Tall 1: Buildings up to and ranging between 80 and 89 metres (26 and 29 storeys);</li> <li>&gt; Tall 2: Buildings up to and ranging between 68 and 80 metres (22 to 26 storeys);</li> <li>&gt; Tall 3: Buildings up to and ranging between 62 and 68 metres (20 to 22 storeys); and</li> <li>&gt; Tall 4: Buildings up to 50 metres (16 storeys).</li> </ul> <p><b>Tall 1 – up to 29 storeys (89 metres)</b></p> <ul style="list-style-type: none"> <li>&gt; The tallest element (Tall 1) will be located immediately west of New Cherry Street and south of Villiers Street. This is a highly visible location from downtown and the Central Waterfront and marks the primary gateway into the Island. This location is considered an opportunity site for an architecturally significant landmark building. It will be the tallest element in Villiers Island and frame the New Cherry Street gateway and transit stop.</li> </ul> <p><i>2017 Precinct Plan text continues on next page</i></p>	<p>The building heights on the Island will contribute to an interesting skyline, maintain and enhance view corridors, and optimize sun access on parks and open spaces. The height strategy establish a prominent gateway on the blocks fronting New Cherry Street up to a maximum of 46 storeys. From there, tower heights will taper to the east and north toward the Keating Channel. These amended maximum tower heights have been established while maintaining key tall building principles of the 2017 Precinct Plan including contributing to an iconic skyline, maintaining view corridors to heritage resources, and optimizing sun access to parks and open spaces. The updated maximum tower heights are:</p> <ul style="list-style-type: none"> <li>&gt; <b>New Cherry Gateway</b> (P08 and P16, eastern portions of P07 and P12): <ul style="list-style-type: none"> <li>• P08: 46 storeys</li> <li>• P16: 37 storeys</li> <li>• P07 (east tower): 45 storeys</li> <li>• P12 (east tower): 37 storeys</li> </ul> </li> <li>&gt; <b>Central Keating Channel Blocks</b> (P04 and P05): <ul style="list-style-type: none"> <li>• P04: 19 storeys</li> <li>• P05: 20 storeys</li> </ul> </li> <li>&gt; <b>Western Blocks</b> (western portions of P07 and P12): <ul style="list-style-type: none"> <li>• P07 (west tower): 38 storeys</li> <li>• P12 (west tower): 35 storeys</li> </ul> </li> <li>&gt; <b>Central Blocks</b> (P09, P13 and P10, P14): <ul style="list-style-type: none"> <li>• P09 and P13: Private blocks to be determined through Ontario Land Tribunal decision</li> <li>• P10: 32 storeys</li> <li>• P14: 24 storeys</li> </ul> </li> </ul> <p><i>2024 Amendment text continues on next page</i></p>

Amendments to *Section 3.6.4.6 Tall Buildings Height Strategy (continued)*

2017 Precinct Plan	2024 Amendment
<p><b>Tall 2 – up to 26 storeys (80 metres)</b></p> <ul style="list-style-type: none"> <li>&gt; East side of New Cherry Street - a building will be permitted up to 80 metres (approximately 26 storeys). This building will frame the east side of the New Cherry Street gateway and transit stop; and</li> <li>&gt; West side of New Munition - a building will be permitted up to 80 metres (approximately 26 storeys). This building will frame the west side of the New Munition Street gateway and will be set back a minimum of 40 metres from Queen’s City Foundry building.</li> </ul> <p><b>Tall 3 – up to 24 storeys (74 metres)</b></p> <ul style="list-style-type: none"> <li>&gt; On the west side of Foundry Street, a tall building up 74 metres (24 storeys) will be permitted. The height and form of a tall building in this location must create a sensitive transition in scale to the nearby heritage properties along Old Cherry Street and the Queen’s City Foundry building; and</li> <li>&gt; New Munition Street marks a secondary gateway into the Island, where tall buildings are appropriate. On the east side of New Munition Street, a building up to 24 storeys (74 metres) is permitted.</li> </ul> <p><b>Tall 4 – up to 16 storeys (50 metres)</b></p> <ul style="list-style-type: none"> <li>&gt; The two ends of the Island, at Trinity Boulevard and Villiers Park Street will be marked with buildings in the range of 50 metres (16 storeys). Buildings at this height will minimize shadow on Promontory Park and the western cove, and Villiers Park.</li> </ul>	<ul style="list-style-type: none"> <li>&gt; <b>Eastern Blocks</b> (P11 and P15): <ul style="list-style-type: none"> <li>• P11: 24 storeys</li> <li>• P15: 24 storeys</li> </ul> </li> <li>&gt; <b>Community Centre Mixed-Use Site</b> (P03): <ul style="list-style-type: none"> <li>• P03: 38 storeys</li> </ul> </li> <li>&gt; <b>School Site</b> (P06): <ul style="list-style-type: none"> <li>• P06: 7 storeys</li> </ul> </li> </ul>

3.9.5 Amendments to Section 3.6.5 Grade Level Built Form Guidelines

The amendments introduce changes to the guidelines for grade-level built form. These changes aim to enhance the quality and functionality of the ground floor spaces, ensuring they contribute to a vibrant and engaging pedestrian environment throughout the Island. The amendments include provisions regarding ground floor height, permitted uses at grade, ground floor animation, and grade-related residential units. Overall, these changes aim to promote a lively and dynamic public realm while accommodating a mix of uses that contribute to a complete and walkable community on the Island.

2017 Precinct Plan	2024 Amendment
The first floors of buildings are the main interface between the public and private realms. The ground floor should ensure high-quality dynamic spaces that contribute to vibrant pedestrian environment. Active uses will animate streets, parks and open spaces throughout the Island.	The first floors of buildings are the main interface between the public and private realms and are critical to ensure a successful active and lively complete community. The ground floor should ensure high-quality dynamic spaces and programs that contribute to vibrant, lively and engaging pedestrian environment. Active uses will animate streets, parks and open spaces throughout the Island, and with particular focus on pedestrian priority streets and destination parks and attractions.

3.9.5.1 Amendments to Section 3.6.5.1 Ground Floor Height

2017 Precinct Plan	2024 Amendment
All ground floor heights in Villiers Island will be a minimum of 5 metres in height (with the exception of existing heritage buildings). The minimum ground-floor height will create a consistent pedestrian experience, while allowing for flexibility of various ground level uses.	<p>All ground floor heights in the Island will be approximately 5 metres, with the exception of cultural heritage resources, The ground floor height will protect for commercial activation uses, which include retail and service, cultural, entertainment, recreation, sport, and community uses. Commercial activation uses also include light industrial and commercial uses that include a public-facing aspect, such as breweries with a taproom or a production studio with small soundstages that have visual porosity.</p> <p>The approximately 5 metre ground floor height will also allow for the evolution of commercial activation uses as well as ground-oriented residential dwellings at specific locations where home occupation uses are encouraged.</p>



### 3.9.5.2 Amendments to Section 3.6.5.2 Uses At-Grade and Ground Floor Animation

This Amendment relates to the following *Priority Retail Streets*: The west side of New Cherry Street, Old Cherry Street, Villiers Street, between Old Cherry Street and New Munition Street, Trinity Boulevard frontages facing Promontory Park North, and frontage along Keating Channel promenade and Silo Square.

2017 Precinct Plan	2024 Amendment
<p>Priority Retail Street and Frontages Villiers Street and the Keating Promenade, Old Cherry Street, New Cherry Street and portions of Trinity Boulevard will contain at-grade street-related retail and service uses, which will animate and active the public realm. Keating Channel has the potential for destination-type retail uses.</p> <p>Ground floor commercial retail uses will also be encouraged elsewhere on the Island as Secondary Priority Retail Frontages on selected locations along Centre Street.</p> <p>At-grade retail uses will be designed in accordance with the following guidelines:</p> <ul style="list-style-type: none"> <li>&gt; With the exception of residential lobbies and secondary entrances and exits, the ground floor of buildings in these locations will contain only non-residential uses. At-grade residential units in these areas are not appropriate;</li> <li>&gt; At-grade retail uses should include a minimum of 70% transparent glazing to permit a clear view from the street and include multiple entrances from the street;</li> <li>&gt; Retail signage should contribute to the architectural character of a building and the heritage of the Island; and</li> <li>&gt; Retail frontages should be fine-grained and allow for flexibility and adaptability to encourage a diversity of identity and character.</li> </ul> <p><i>2017 Precinct Plan text continues on next page</i></p>	<p>The west side of New Cherry Street, Old Cherry Street, Villiers Street, between Old Cherry Street and New Munition Street, Trinity Boulevard frontages facing Promontory Park North, and frontage along Keating Channel promenade and Silo Square will contain commercial animation uses along 60% of the front wall of the main floor of a building, which will animate and activate the public realm (see Figure 16). Priority Retail Streets and Frontages will be designed to permit ground floor non-residential commercial activation uses, with the exception of residential lobbies and secondary entrances and exits. At-grade residential uses in these areas are not permitted.</p> <p>Commercial Activation frontages will be fine-grained and modular to allow for flexibility and adaptability over time. Where large commercial activation uses are incorporated into a development, the frontage should be designed to provide a fine-grained retail pedestrian experience and to allow flexibility for finer grain retail to evolve over time. Angled setbacks and articulation is recommended at key nodes and intersections of pedestrian priority streets with other key public spaces like parks and heritage resources to open up views, and space for ground floor animation, and to make for a more dynamic public realm (i.e. the intersection of Centre St. And Old Cherry St. Or the outlet of Centre Street into Promontory Park).</p> <p><i>2024 Amendment text continues on next page</i></p>

Amendments to Section 3.6.5.2 Uses At-Grade and Ground Floor Animation (continued)

2017 Precinct Plan	2024 Amendment
<p><b>Animated At-grade Frontages:</b> Animated at-grade frontages will be required along all frontages facing parks (along Villiers Park, Commissioners Street and Promontory Park) and along Centre Street west of New Cherry Street (see Figure 74). Animated at-grade frontages will be designed in accordance with the following guidelines:</p> <ul style="list-style-type: none"> <li>&gt; Animated at-grade frontages will include doors, windows and common amenity areas with pedestrian activity fronting and directly accessible from the sidewalk;</li> <li>&gt; Ground floor façades should be devoted to transparent windows and doors, and visually open to allow maximum visual interaction between the sidewalk and interior spaces; and</li> <li>&gt; Ground floors will be designed to enable conversion to narrow frontage retail and be a suitable depth to accommodate retail and service uses.</li> </ul> <p><b>Grade-related Residential and Live/Work Units:</b> In some areas of the Island, grade-related residential units and live/work units are appropriate, including along Centre Street (east of New Cherry Street), and Old Munition Street Pedestrian Link. Grade-related residential units will be designed in accordance with the following guidelines:</p> <ul style="list-style-type: none"> <li>&gt; Incorporate stairs and landscaping within the private setback area to provide a degree of separation and privacy from the street;</li> <li>&gt; Be designed with flexibility to allow for live/work opportunities and accommodate small-scale commercial, retail and service-related uses;</li> <li>&gt; Contribute to the overall neighbourhood character of Centre Street and a high-quality public realm.</li> </ul>	<p>Commercial activation uses will be designed in accordance with the following guidelines:</p> <ul style="list-style-type: none"> <li>&gt; With the exception of residential lobbies and secondary entrances and exits, the ground floor of buildings in these locations will contain only non-residential uses. At-grade residential units in these areas are not appropriate;</li> <li>&gt; At-grade retail uses should include a minimum of 70% transparent glazing to permit a clear view from the street and include multiple entrances from the street;</li> <li>&gt; Retail signage should contribute to the architectural character of a building and the heritage of the Island; and</li> <li>&gt; Retail frontages should be fine-grained and allow for flexibility and adaptability to encourage a diversity of identity and character.</li> </ul> <p><b>Animated At-grade Frontages:</b> Animated at-grade frontages will be protected for along all frontages facing parks and open spaces, including along Villiers Park, Commissioners Street, and Trinity Boulevard. Much like Secondary Retail Streets, all commercial activation uses are permitted along these animated grade frontages. It is expected that greater demand for commercial activation uses will increase as development proceeds on the Island and the various parks spaces are constructed, such as Villiers Park, Keating Channel Promenade and Promontory Park. Animated at-grade frontages should be designed to allow for flexibility and evolution, contributing to an animated and lively public realm.</p> <p><b>Grade-related Residential Units and Other At-Grade Frontages:</b> Grade related residential uses are permitted throughout the Island, with the exception of along Primary Retail Streets and Frontages, including Old Munition Pedestrian Corridor. Commercial activation uses are permitted, but not required on all at-grade frontages on the Island, including those frontages that are not listed above, to allow the flexibility of responding to the changing context of the Island as it develops, as well changing or emerging trends in retail, service or other commercial activation uses. These grade related units can provide flexibility in the interim and ultimate conditions to encourage integration of creative small businesses and mixing of housing with other supporting uses to create a complete walkable community to grow in place.</p>





FIGURE 28. Illustrations of retail animation: Top, left to right: Chicago Riverwalk, Chicago, IL; Paddington Central, London, UK. Bottom: San Antonio Riverwalk, San Antonio, TX



### 3.9.5.3 Amendments to Section 3.6.5.3 Setbacks

2017 Precinct Plan	2024 Amendment
<p>Setbacks at grade help to expand the public realm and allow for increased space for pedestrian movement. Setbacks provide opportunities for widened pedestrian clearways, landscaping, street furnishings, entrance canopies, terraces and a buffer between the building face and public right-of-way. Setbacks from the front property line will be provided in specific locations to assure additional space for pedestrians.</p> <p><b>Old Cherry Street - West Side:</b></p> <ul style="list-style-type: none"> <li>&gt; Buildings on the west side of Old Cherry will feature a diagonal set back area from the public right-of-way to create a pedestrian plaza in front of the buildings and reveal a view from the Silos Square to the River Valley.</li> </ul> <p><b>Centre Street:</b></p> <ul style="list-style-type: none"> <li>&gt; Buildings along Centre Street will have varied setbacks from the public right-of-way with 1 metre on the north side and 3 metres on the south side to achieve a minimum distance of 24 metres from building face to building face; and</li> <li>&gt; The enhanced setback will ensure that there is a minimum of 5 hours of sunlight on the north side of Centre Street. This setback area will reinforce the mews-like character along Centre Street. It will create space for landscaping/planting zone between the public right-of-way and the entrance to grade related use.</li> </ul>	<p>At-grade setbacks at grade can help to expand the public realm and allow for increased space for pedestrian movement. They can also increase right-of-way widths and reduce opportunities for buildable floor area better used for housing.</p> <p>The 2017 Precinct Plan contemplated ample street widths and did not specify private setback metrics for most streets and these amendments have removed mandatory minimum private setbacks from the majority of streets on the Island. How the established street widths are used to accommodate modes of transportation, pedestrian and public realm uses will be studied further and recommendations included in future amendments to the Precinct Plan.</p> <p>Minimum setbacks from the front property line will be required only along the following streets:</p> <p><b>Old Cherry Street - West Side:</b></p> <ul style="list-style-type: none"> <li>&gt; Buildings on the west side of Old Cherry will continue to feature a diagonal set back area from the public right-of-way to create a pedestrian plaza in front of the buildings and reveal a view from the Silos Square to the River Valley.</li> </ul> <p><b>Commissioners Street:</b></p> <ul style="list-style-type: none"> <li>&gt; Buildings along Commissioners Street will be set back by 2.5 metres on the north side from New Cherry Street eastward to Villiers Park Street.</li> </ul>





FIGURE 29. Notional rendering of Old Cherry Street, looking north (source: Waterfront Toronto)

3.9.6 Amendments to Section 3.6.8 Density and Development

2017 Precinct Plan	2024 Amendment
<p>A zoning by-law for Villiers Island will be prepared in the future for Villiers Island, which will translate the built form strategy articulated in this Precinct Plan into development permissions. Development permissions for residential and non-residential development will ensure that there is a critical mass of people and jobs on the Island, with an overall mid-rise built form character.</p> <p>Figure 89 indicates the approximate density (expressed as a floor space index) for each development block within Villiers Island and the density associated with existing heritage structures.</p> <p>The density for the residential and non-residential development blocks from the south side of Villiers Street to the north of Commissioners Street range from approximately 4.4 to 8.5 times the block area. These densities correspond with mid-rise and tall building types.</p> <p>The blocks along the Keating Channel Promenade will contain non-residential and community facility uses with lower densities, ranging from approximately 2.1 to 3.1 times the block area. These densities correspond with low-rise building types.</p>	<p>Development massing will be guided by the vision and guidelines established in this document, read in conjunction with the original Precinct Plan, as well as by Official Plan policies and an area-specific Zoning By-law that will establish a maximum Floor Space Index (FSI) for each block, while maintaining a flexible approach to zoning envelopes and tower locations, and further informed by environmental performance metrics (see Figure 30).</p>





FIGURE 30. Density and development block plan

### 3.9.7 Amendments to Section 3.6.6 Built Form and Microclimate Considerations

#### 3.9.7.1 Amendments to Section 3.6.6.1 Sun and Shadow

2017 Precinct Plan	2024 Amendment
<p>Development will minimize shadow impact on parks, open spaces and the public realm to achieve the following sunlight at the spring and fall equinoxes:</p> <ul style="list-style-type: none"> <li>&gt; 7 hours of continuous sunlight on naturalized wetlands (below top of bank), including the naturalized coves along the Keating Channel from 10:18 am;</li> <li>&gt; 8 hours of continuous sunlight on Promontory Park from 10:18 am;</li> <li>&gt; 6 hours of continuous sunlight on Villiers Park from 9:18 am;</li> <li>&gt; 8 hours of continuous sunlight on River Valley Park from 9:18 am;</li> <li>&gt; Minimal shadow on the Keating Channel Promenade at noon, and 5 hours of continuous sunlight from 1:18 pm;</li> <li>&gt; 5 hours of continuous sunlight from 1:18 pm with interspersed shadow cast by tall buildings until 3:18 pm on the northern side of Villiers Street;</li> <li>&gt; 5 hours of continuous sunlight from 12:18 pm along the northern edge of Centre Street; and</li> <li>&gt; 4 hours of continuous sunlight along Old Cherry Street from 10:18 am.</li> </ul>	<p>Sun access and shadow impacts remain a primary consideration for the Island, particularly given the introduction of increased building locations and heights. Detailed studies informed potential impacts on specific public realm locations during key times of year including the spring and fall equinoxes. Increased tower heights proved to have minimal impacts on the Island's regional parks including Promontory Park North, Promontory Park South and River Park North while the lower building heights on the east side of the Island helped maintain significant sun access onto Villiers Park. The recommended massing and height strategy for the Island considered potential impacts on the following focused parts of the Island's public realm:</p> <ul style="list-style-type: none"> <li>&gt; <b>A. North side of the Keating Channel water's edge promenade:</b> Full sun at 12:18PM on the fall equinox</li> <li>&gt; <b>B. Old Cherry Street:</b> Maximize sun access onto Old Cherry Street, except shadows introduced by new towers which should be minimized.</li> <li>&gt; <b>C. North sidewalk of Centre Street:</b> Generally 5 hours of sun access on the north sidewalk of Centre Street from 12:18PM on the fall equinox, except shadows introduced by new towers.</li> <li>&gt; <b>D. Below the top-of-bank line along the new river valley:</b> No shadow below top-of-bank between 10:18AM and 4:18PM on the fall equinox to support growing conditions for the new river valley landscape.</li> </ul>



FIGURE 31. Sun exposure diagram



3.9.7.2 Amendments to Section 3.6.6.2 Wind Mitigation

2017 Precinct Plan	2024 Amendment
<p>Buildings will be located, massed, oriented and designed to mitigate uncomfortable ground level conditions wherever possible. Villiers Island is located in a highly exposed waterfront area, and wind mitigation is an important component of building massing and design. RWDI Inc. prepared a Pedestrian Wind Assessment for the Precinct Plan and the built form strategy has been prepared to mitigate wind impacts, wherever possible. The findings indicate that mid-rise buildings with stepbacks typically allow winds to pass over the buildings and thereby protect areas downwind of the buildings. This building type will be the predominant building type in the Island. During the development and detailed design phase, the following potential solutions for wind mitigation should be considered:</p> <ul style="list-style-type: none"><li>&gt; Where tall buildings are deemed appropriate, base buildings provide important wind control by deflecting wind from tall buildings, thereby keeping the wind above street level. In accordance with Section 3.6.4, the tall building setback distance from the base building will be substantial to maximize the podium’s efficacy of wind down wash capture;</li><li>&gt; Massing articulation such as chamfered, curved, or re-entrant corners on both tall buildings and highly exposed base-buildings may aid in reducing corner wind accelerations;</li></ul> <p><i>2017 Precinct Plan text continues on next page</i></p>	<p>The Island is located in a highly exposed waterfront area, and wind mitigation is a component of building massing and design, to ensure safety and comfort in the public realm. The prevailing winds are from the west, and tend to accelerate along the harbour. The east side of the Island will also experience winds accelerating along the river, and the east-west streets will channel the wind.</p> <p>Buildings will be located, massed, oriented and designed to mitigate uncomfortable conditions, both at grade, and on outdoor amenity terraces. RWDI Inc. prepared a Pedestrian Wind Assessment for the 2017 Precinct Plan and their recommendations for built form should be incorporated to mitigate wind impacts, wherever possible. Base building and tower stepbacks typically allow winds to pass over the buildings and thereby protect areas downwind of the buildings from downwash and wind acceleration at grade.</p> <p>Very few tower stepbacks are required on the Island, but they may be recommended based on future wind analysis to mitigate downwash.</p> <p><i>2024 Amendment text continues on next page</i></p>

### Amendments to Section 3.6.6.2 Wind Mitigation (continued)

2017 Precinct Plan	2024 Amendment
<ul style="list-style-type: none"> <li>&gt; Architectural features should be incorporated such as covered colonnades and large canopies on the base buildings along the east, west and south sides of the Island;</li> <li>&gt; Measures such as canopies over main entrances and recessing main entrances to protect them from winds;</li> <li>&gt; Incorporating localized wind screens and trellises on sidewalks, plazas, podiums and terraces; and</li> <li>&gt; Outdoor roof space may require additional wind mitigation to create comfortable environments. Typical wind mitigation would include tall, transparent parapets or wind screens to deflect winds up above the roof areas; and</li> <li>&gt; In addition, coniferous trees in the parks surrounding the buildings may minimize wind impacts, particularly along east-west streets such as Commissioners Street and Centre Street.</li> </ul>	<p>Additionally, during the detailed design of individual blocks, the following potential solutions for wind mitigation as recommended in the 2017 Precinct Plan, should continue to be actively considered:</p> <ul style="list-style-type: none"> <li>&gt; Where tall buildings are deemed appropriate, base buildings provide important wind control by deflecting wind from tall buildings, thereby keeping the wind above street level. Tall building setback distances from the base building will be studied and encouraged to maximize the base building's ability to deflect wind downwash;</li> <li>&gt; Massing articulation such as chamfered, curved, or re-entrant corners on both tall buildings and highly exposed base-buildings may reduce corner wind accelerations;</li> <li>&gt; Architectural features should be incorporated such as covered colonnades and large canopies on the base buildings along the east, west and south sides of the Island;</li> <li>&gt; Measures such as canopies over main entrances and recessing main entrances to protect them from winds;</li> <li>&gt; Incorporating planted trellises in plazas, podiums and terraces;</li> <li>&gt; Outdoor rooftop amenity areas may require additional wind mitigation to create comfortable environments. Typical wind mitigation would include tall, transparent parapets to deflect winds up above the roof areas, as well as trellises and planting strategies; and,</li> <li>&gt; Coniferous trees in the parks and private setbacks surrounding the buildings may minimize wind impacts, particularly along east-west streets such as Commissioners Street, Centre Street, and Villiers Street.</li> </ul>

### 3.9.8 Amendments to Section 3.6.7 Views

The Density Study studied the impacts of increased towers on the view corridors illustrated in the 2017 Precinct Plan. Council direction to maximize increased housing opportunities on the publicly-owned blocks on the Island compelled a re-evaluation of where and how the contemplated view corridors had significant impacts on higher density development on these blocks.

Through detailed modelling and analysis, minor modifications to one of the view corridors has been recommended: Port Lands Skyline (View 1) has been updated to require a view to the Hearn Stack from at-grade along the central waterfront located at Sugar Beach, as opposed to the foot of Yonge, continuing to the foot of Sherbourne Common where it meets the water's edge promenade. In

addition, View 5 from the 2017 Precinct Plan has been removed. All remaining view corridors from the 2017 Precinct Plan are unchanged.

This section includes diagrams for nine view corridors (see Figure 32), which reflect the updated massing and density strategy described throughout this Amendment.



FIGURE 32. View corridors map



### 3.9.8.1 Amendments to Section 3.6.7 Views 1: Port Lands Skyline

2017 Precinct Plan	2024 Amendment
<p>Views to the Port Land's skyline along the Central Waterfront promenade from the foot of Yonge Street to Sherbourne Common will create a symbolic connection between the city and the next area of waterfront revitalization. The City's image will be enriched by the expansion of its skyline in a way that varies dramatically from that of the Downtown Toronto. The Port Land's skyline will be curated and sculpted to convey the identity of the evolving city district by preserving views to and showcasing the collection of prominent heritage structures and landmarks. These consist of the Commissioners chimney stack, the Hearn and its chimney stack, the Lake Ontario Portland Cement Company Silos and any conserved attributes of Marine Terminal Building No. 35 as determined through a more detailed assessment. New development will be carefully sited and building heights controlled to ensure the landmarks remain dominant within the evolving skyline, with generous sky view surrounding the Hearn's chimney stack.</p>	<p>Views to the Port Land's skyline along the Central Waterfront promenade from Sugar Beach to Sherbourne Common will create a symbolic connection between the city and the next area of waterfront revitalization. The Port Land's skyline will be curated and sculpted to convey the identity of the evolving city district by preserving views to and showcasing the collection of prominent cultural heritage resources and landmarks, as well as infrastructures like the Keating Channel and the renaturalized river valley. These prominent heritage structures consist of the Commissioners chimney stack, the Hearn and its chimney stack, the Lake Ontario Portland Cement Company Silos and any conserved attributes of Marine Terminal Building No. 35.</p> <p>New development will be carefully sited and building heights established to ensure the landmarks remain visible within the evolving skyline, with generous sky view surrounding the Hearn's chimney stack and the Keating Channel.</p> <p>(View diagram on next page)</p>

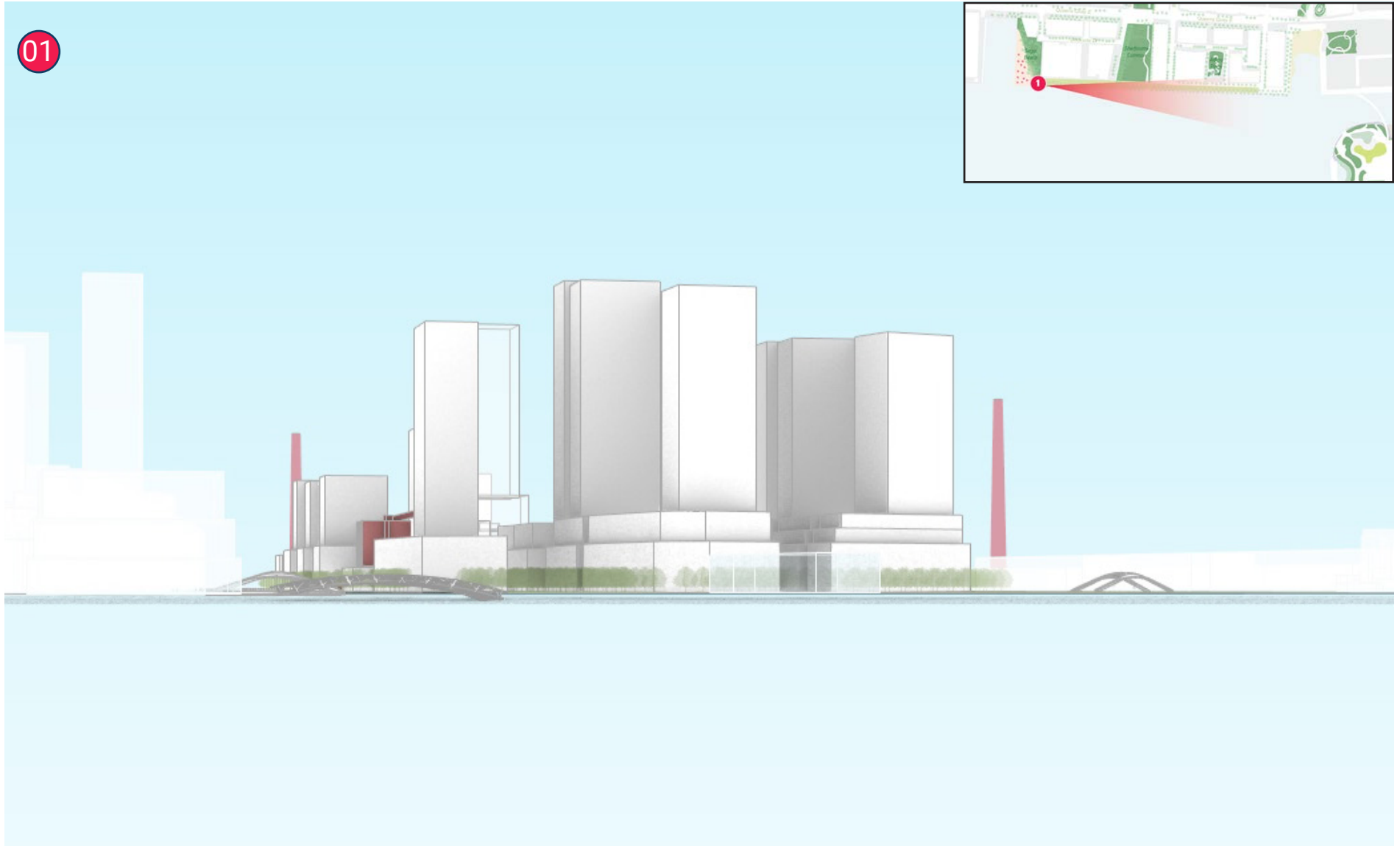


FIGURE 33. Port Lands Skyline; from: Central Waterfront Promenade, from the foot of Yonge Street to Sherbourne Common (view illustrated from Sugar Beach)

### 3.9.8.2 Amendments to Section 3.6.7 View 2: Commissioners Stack

2017 Precinct Plan	2024 Amendment
<p>An intimate, oblique view of the historic Commissioner’s Incinerator chimney stack, a totem of the Port Lands, will be achieved by generally aligning Centre Street in Villiers Island and a new east-west street in McCleary District to capture a long view of the chimney stack from the west, while preserving the historic Foundry building in its original location. Sky view will be provided around the chimney stack by stepping back development above a mid-rise height</p>	<p>The view along Commissioners Street, the longest street adjacent to the renaturalized river valley and River Park North, will maintain a strong park edge mid-rise scale with towers set back to not be dominant on the park. Transition in scale to the low-rise heritage resources along Old Cherry Street will create an aperture in the massing, allowing for sun access and sky-view to the Old Cherry heritage corridor.</p>



FIGURE 34. Commissioners Stack; from: Centre Street, Western end



3.9.8.3 Amendments to Section 3.6.7 Views 3 and 4: Portland Cement Company Silos

2017 Precinct Plan	2024 Amendment
Views from the east and west along Villiers Street will be dominated by the dramatic scale and prominent location of the Lake Ontario Portland Cement Company Silos at existing Cherry Street, and lined to the north by the historic Toronto Harbour Commissioners buildings. The Silos will be a distinctive centre piece for the street as it evolves into a pedestrian priority retail / recreation destination. Development will frame the view, ensuring that buildings are sited and oriented to maintain the prominence of the silos through setbacks and/or generous stepbacks.	Views from the east and west along Villiers Street will be animated by the scale and prominent location of the Lake Ontario Portland Cement Company Silos at existing Cherry Street. The Silos will be a distinctive centre piece for the street as it evolves into a pedestrian priority retail/recreation destination. Development will frame the view, ensuring that buildings are sited and oriented to maintain the prominence of the silos through setbacks and/or generous stepbacks.

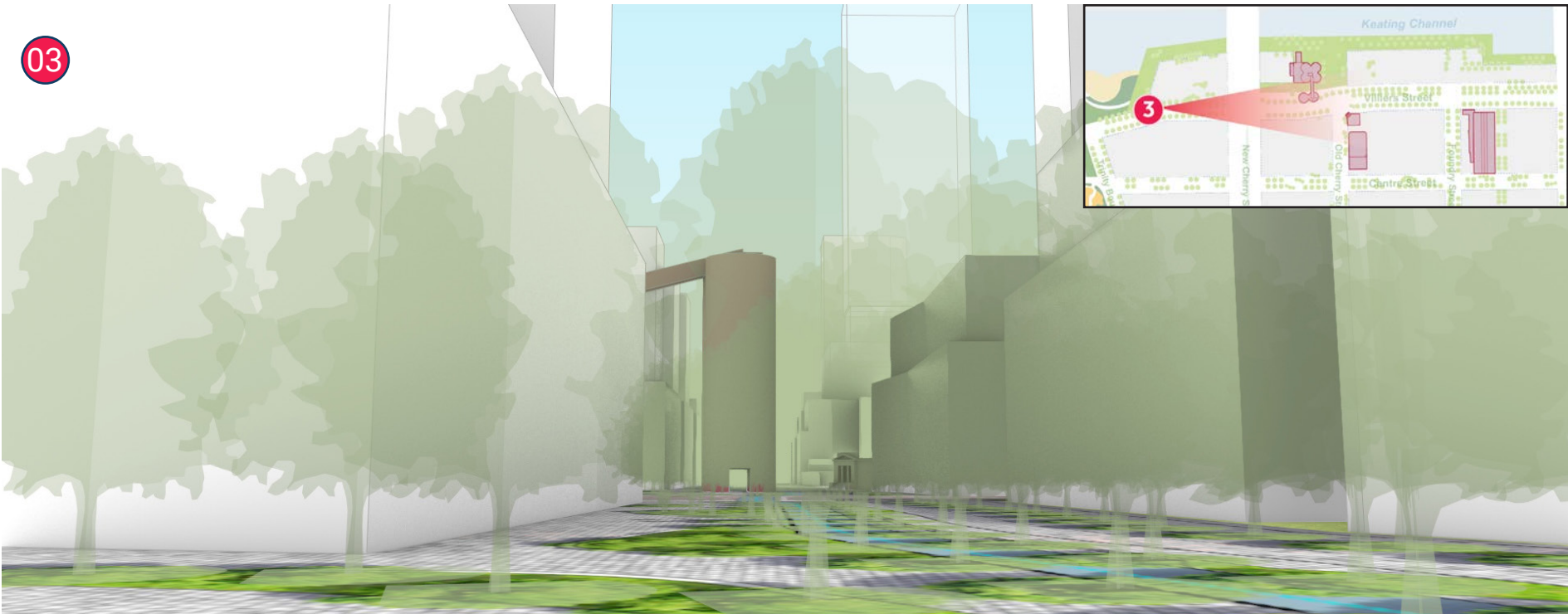


FIGURE 35. Villiers Street and Lake Ontario Portland Cement Company Silos; from: Promontory Park, looking east

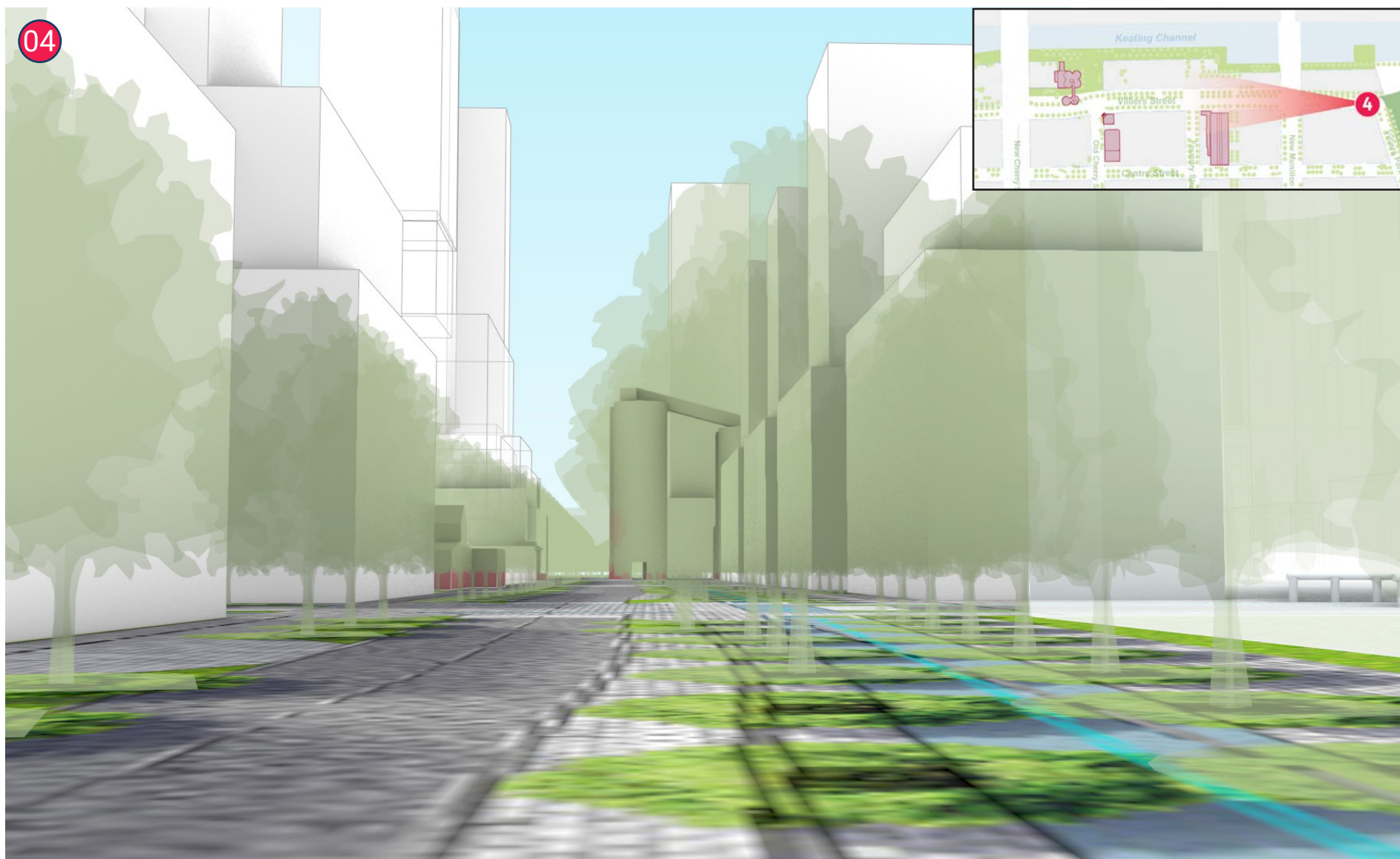


FIGURE 36. Villiers Street, Lake Ontario Portland Cement Company Silos; from: Villiers Park Street, looking west

3.9.8.4 Amendments to Section 3.6.7 Views 6\*: Keating Channel and Lake Ontario Portland Cement Company Silos

2017 Precinct Plan	2024 Amendment
<p>The Keating Channel, an important heritage asset and reminder of the Don River’s historic reconfiguration, provides long views down the Channel to Villiers Island and emerging neighbourhoods in the Central Waterfront. This view prominently features the Lake Ontario Portland Cement Company Silos and Toronto Harbour Commission buildings, conveying a strong sense of place and celebrating the Port Lands heritage. Development adjacent to the Keating Channel Promenade will be low-rise in nature and be massed to maintain the prominence of the historic resources.</p>	<p>The Keating Channel, an important asset and reminder of the Don River’s historic reconfiguration, provides long views down the Channel to the Island and emerging neighbourhoods in the Central Waterfront. This view prominently features the Lake Ontario Portland Cement Company Silos, conveying a strong sense of place and celebrating the Port Lands heritage. Development adjacent to the Keating Channel Promenade will be massed to maintain the prominence of the built heritage resources.</p> <p>*Note that “View 5” from the 2017 Precinct Plan has been removed; the 2024 Amendment’s “View 5” replaces the 2017 Precinct Plan’s “View 6”</p>



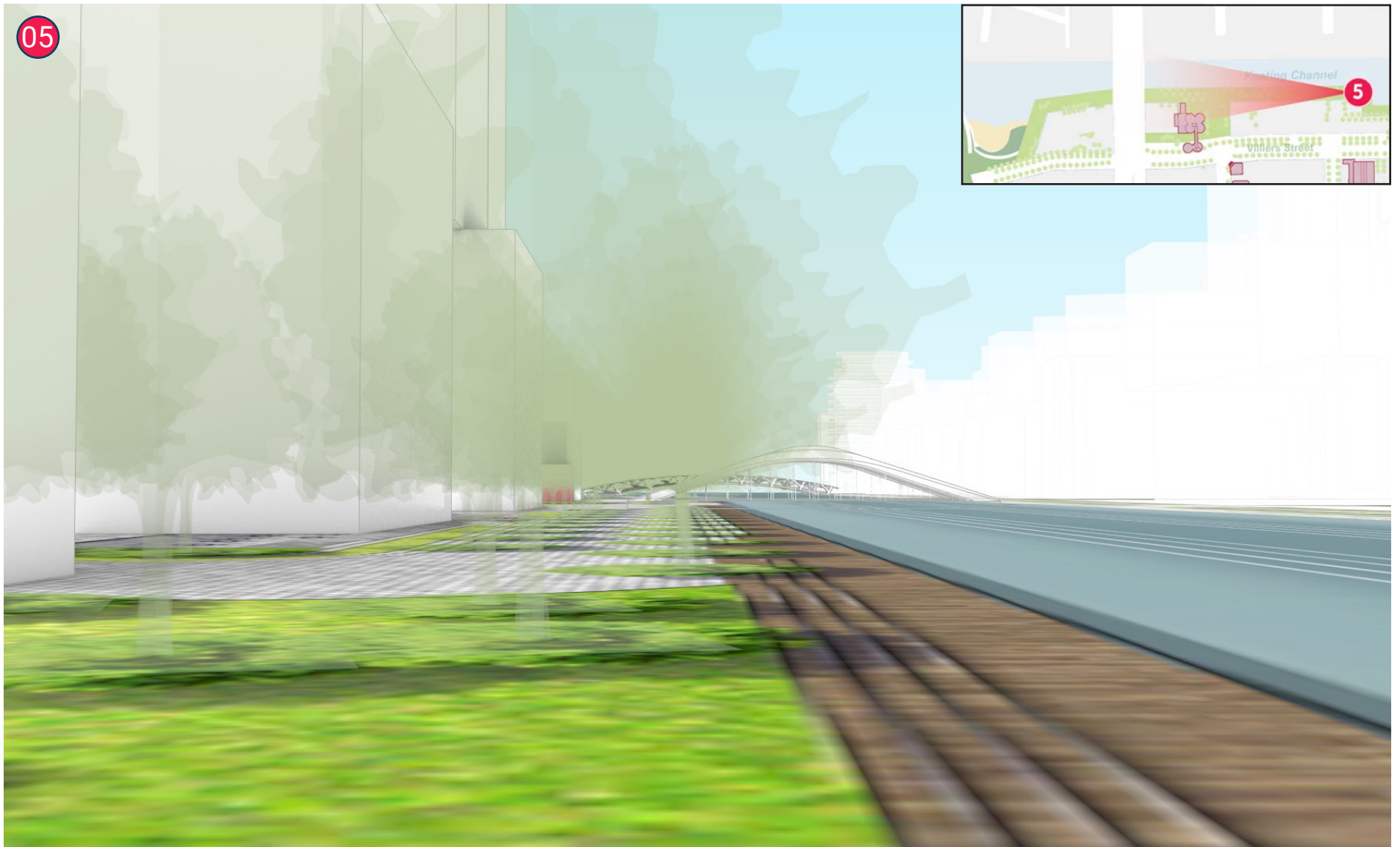


FIGURE 37. Keating Promenade, Lake Ontario Portland Cement Company Silos; from: Marina Square, looking west

3.9.8.5 Amendments to Section 3.6.7 Views 7 and 8\*: Old Cherry Street

2017 Precinct Plan	2024 Amendment
The view looking north on Old Cherry Street from Commissioners Street is framed by the Lake Ontario Portland Cement Company Silos to the west, and a cluster of heritage buildings to the east. Development along the east side of Old Cherry Street will be massed and sited to preserve views of these buildings and complement their low-rise scale. The tower elements within the Keating Precinct are seen further afield.	Views north to the silos and the Keating Channel, and south to the river valley will be prioritized along the Old Cherry heritage corridor. Built form will frame views to the silos and transition appropriately to the low-rise heritage resources along Old Cherry to prioritize ground level views, sky view and optimal sun access to animate the public realm at this key location.  *Note that the 2024 Amendment’s “View 6” and “View 7” replace the 2017 Precinct Plan’s “View 7” and “View 8”

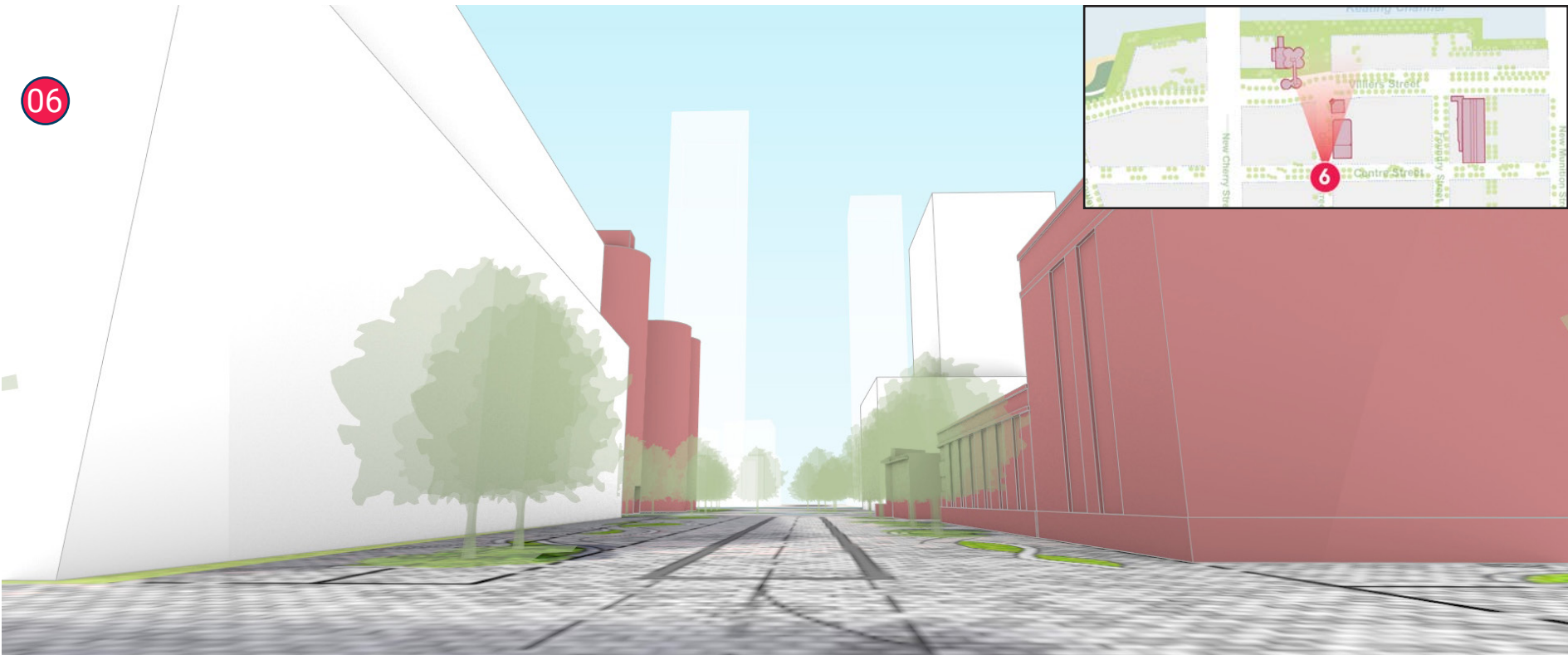


FIGURE 38. View of Old Cherry Street; from: Commissioners Street, looking north



FIGURE 39. View of Old Cherry Street: from: Silos Square looking south



3.9.8.6 Amendments to Section 3.6.7 View 9\*: Commissioners Street and River Park

2017 Precinct Plan	2024 Amendment*
Views east and west along Commissioners Street will feature naturalized landscapes, including the new River Valley, estuary, and River Park to the south, and mid-rise built form to the north. The view corridor also provides direct views of Fire Hall No. 30, located adjacent to Commissioners, and the Hearn’s chimneystack.	No change; included to demonstrate revised massing within view corridor.  *Note that the 2024 Amendment’s “View 8” replaces the 2017 Precinct Plan’s “View 9”

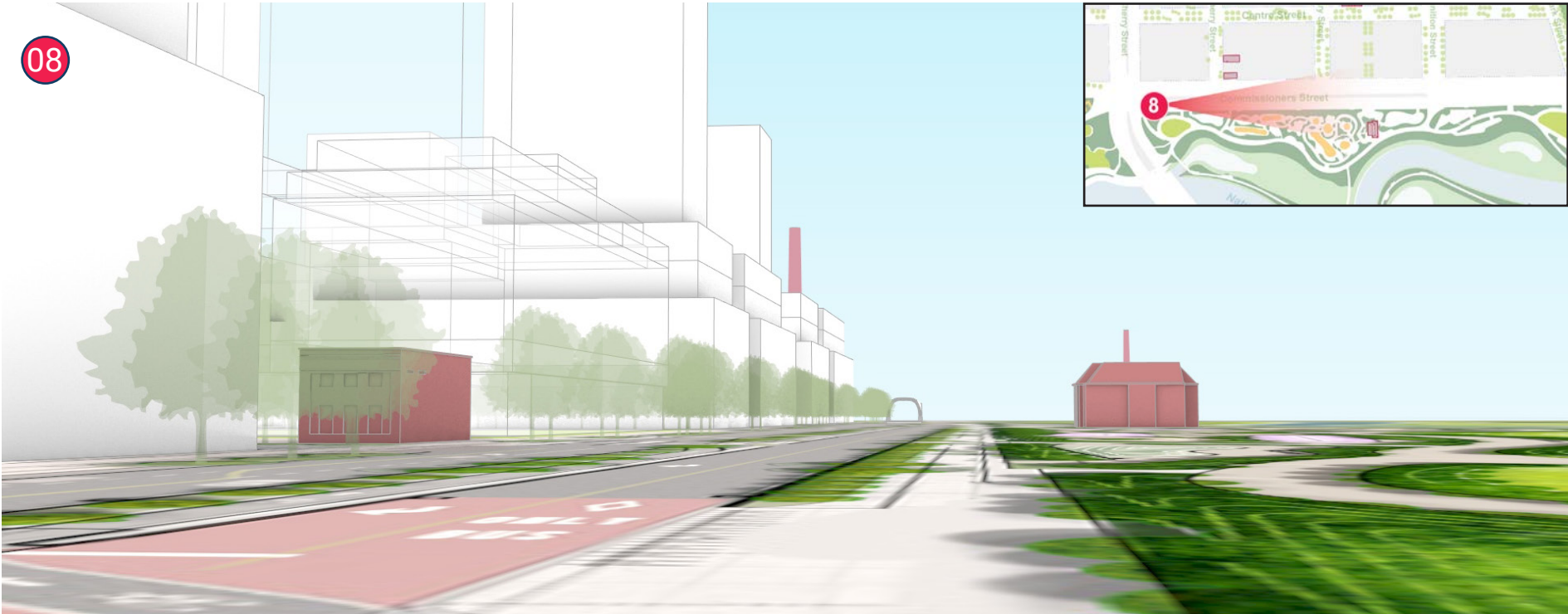


FIGURE 40. View of Fire Hall No. 30 looking east; from: Commissioners Street

### 3.9.8.7 Amendments to Section 3.6.7 View 10\*: Fire Hall No. 30

2017 Precinct Plan	2024 Amendment
<p>Fire Hall No.30 at 39 Commissioners stands at the terminus of the current alignment of Munition Street, with the Queen's City Foundry building on the west side of Munition Street. Fire Hall No. 30 will be relocated slightly south of the widened Commissioners Street. Munition Street will be shifted eastward to preserve the Toronto Harbour Commissioners buildings. A midblock connection in the street's current location will be introduced, with the Fire Hall continuing to terminate the view of the connection.</p>	<p>Fire Hall No. 30 stands at the terminus of the current alignment of Munition Street and has been relocated slightly south of the widened Commissioners Street. A midblock connection in the street's current location will be introduced, with the Fire Hall continuing to terminate the southward view of the connection.</p> <p>*Note that the 2024 Amendment's "View 9" replaces the 2017 Precinct Plan's "View 10"</p>

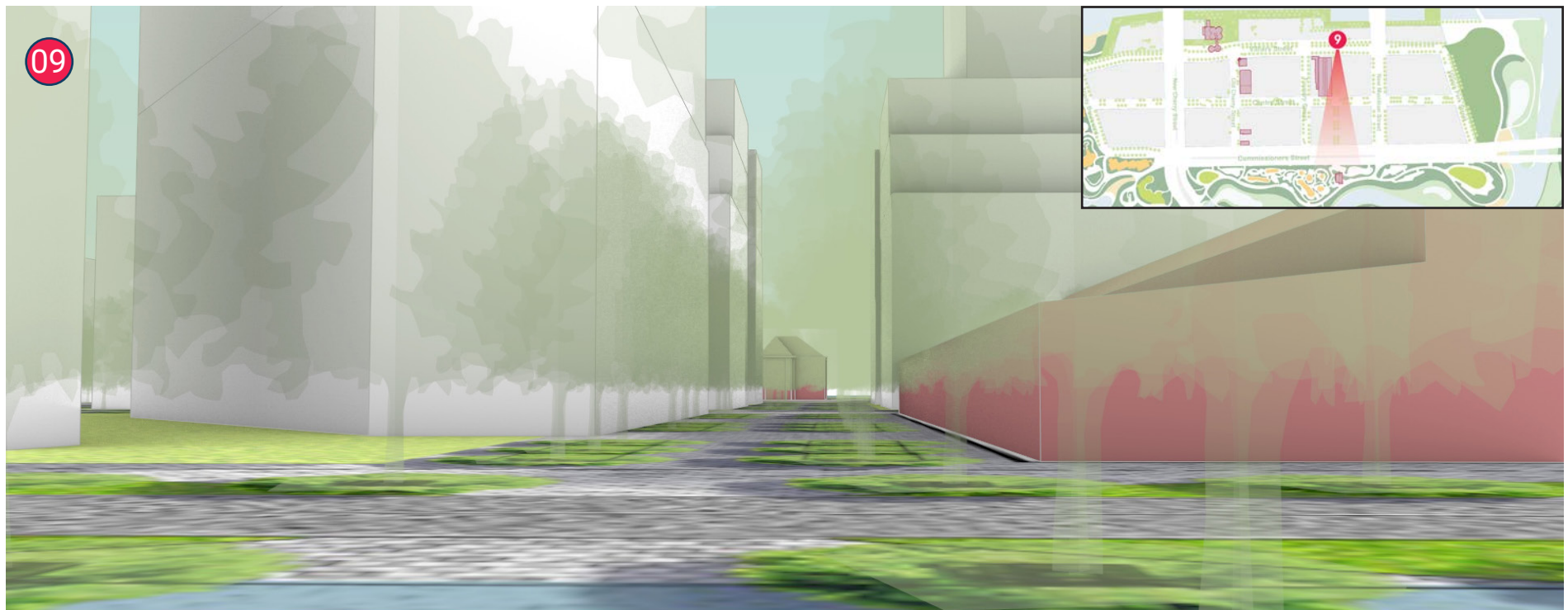


FIGURE 41. View of Fire Hall No. 30 looking south; from: Villiers Street at Old Munition Street looking south

## 3.10 MUNICIPAL INFRASTRUCTURE

### 3.10.1 New Section: Municipal Infrastructure Update: Due Diligence Study

#### 2024 Amendment

The City of Toronto, CreateTO, and Waterfront Toronto have collaborated on an Infrastructure Due Diligence Study to assess the impact of the proposed densities on the existing and planned servicing. Waterfront Toronto has updated the servicing approach for the Island and confirmed that appropriate servicing infrastructure will be available to accommodate the proposed population.

The City of Toronto has implemented revisions to the design of the ultimate sanitary pumping station at 545 Commissioners Street. Further work has confirmed that the trunk sanitary sewers proposed to convey flows to the ultimate sanitary sewage pumping station at 545 Commissioners Street are appropriately sized and adequate capacity for the estimated population.

The phasing approach for the Island will have to consider and the timing of the delivery of downstream infrastructure along Commissioners Street east of the Don Roadway, which is not funded, and the sanitary pumping station at 545 Commissioners Street.



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