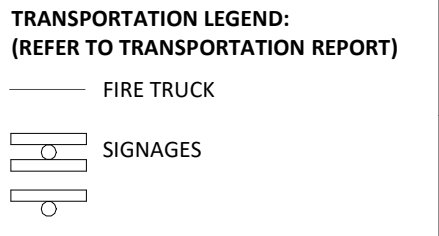


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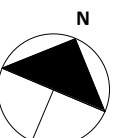
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$A \ 1.01A$

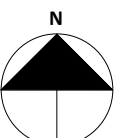
ARCHITECT

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JE NORTH



## PROJECT NORTH

MULTI-UNIT RESIDENTIAL DEVELOPMENT

ADDRESS:  
10 The East Mall, Etobicoke, ON, M9B 4B1

## COMPOSITE GROUND FLOOR SITE PLAN (A)

Project No.: 2132  
Scale: 1 : 400  
Date: June 07, 2024

Drawing No.



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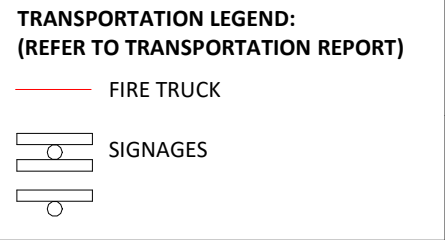
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Drawing No.:

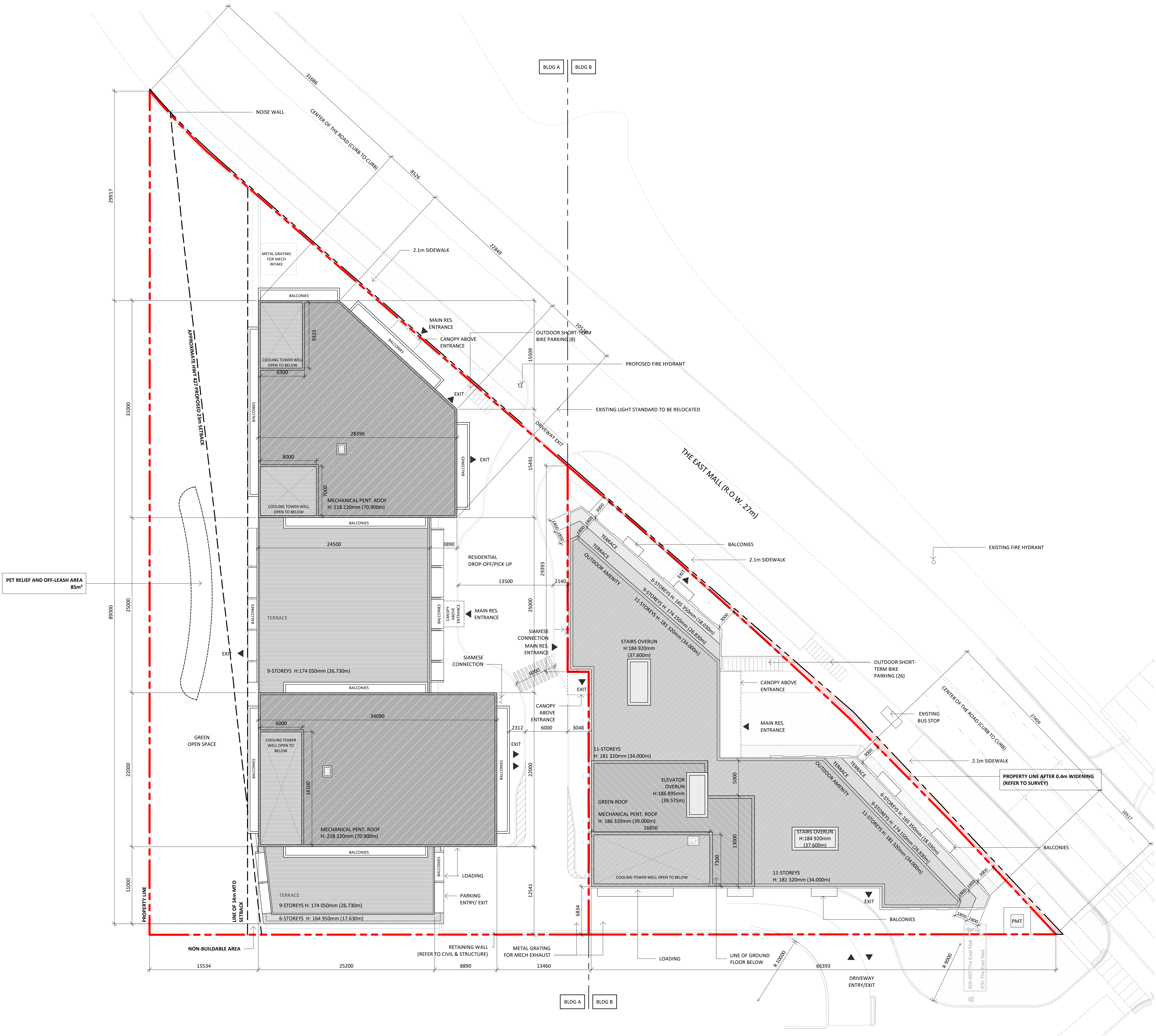
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ADDRESS:  
10 The East Mall, Etobicoke, ON, M9B 4B1

Project No.: 2132  
Scale: 1 : 400  
Date: June 07, 2024

Drawing No.:





Issued:

SPA Submission #3	Jun 07, 2024
ZBA Submission #3	Jun 07, 2024
SPA Submission #2	Oct 06, 2023
ZBA Submission #2	Oct 06, 2023
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Issue For	Date

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TRUE NORTH PROJECT NORTH

MULTI-UNIT RESIDENTIAL DEVELOPMENT

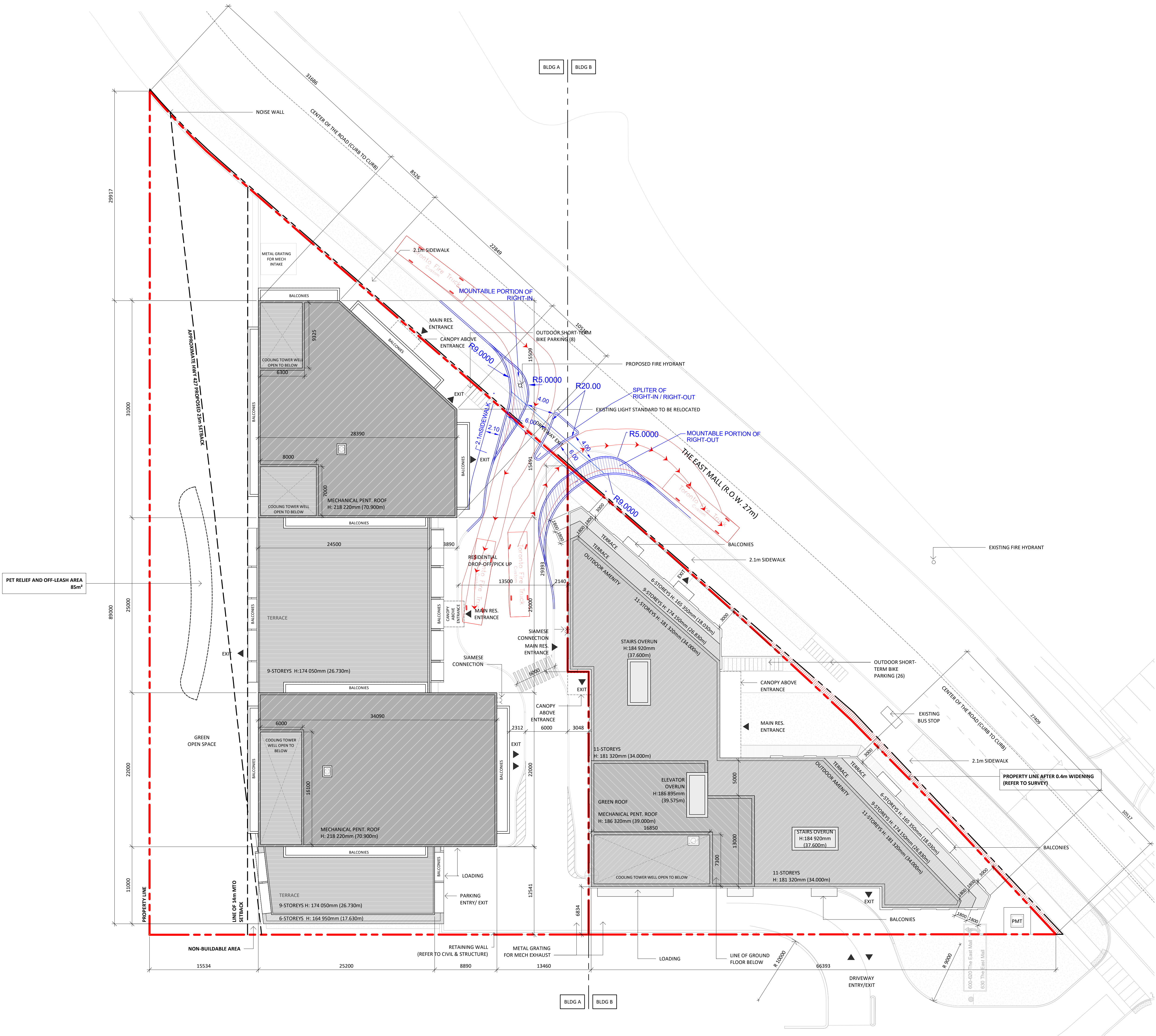
ADDRESS:  
630 The East Mall, Etobicoke, ON, M9B 4B1

AERIAL SITE PLAN (A)

Project No.: 2132  
Scale: 1:250  
Date: June 07, 2024

Drawing No.:  
**A 1.02A**





**TRANSPORTATION LEGEND:**  
(REFER TO TRANSPORTATION REPORT)

- FIRE TRUCK
- SIGNAGES

NOTE: REFER TO SIGNAGE AND PAVEMENT MARKING PLANS BY WSP

Issued:

SPA Submission #3	Jun 07, 2024
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TRUE NORTH PROJECT NORTH

MULTI-UNIT RESIDENTIAL DEVELOPMENT

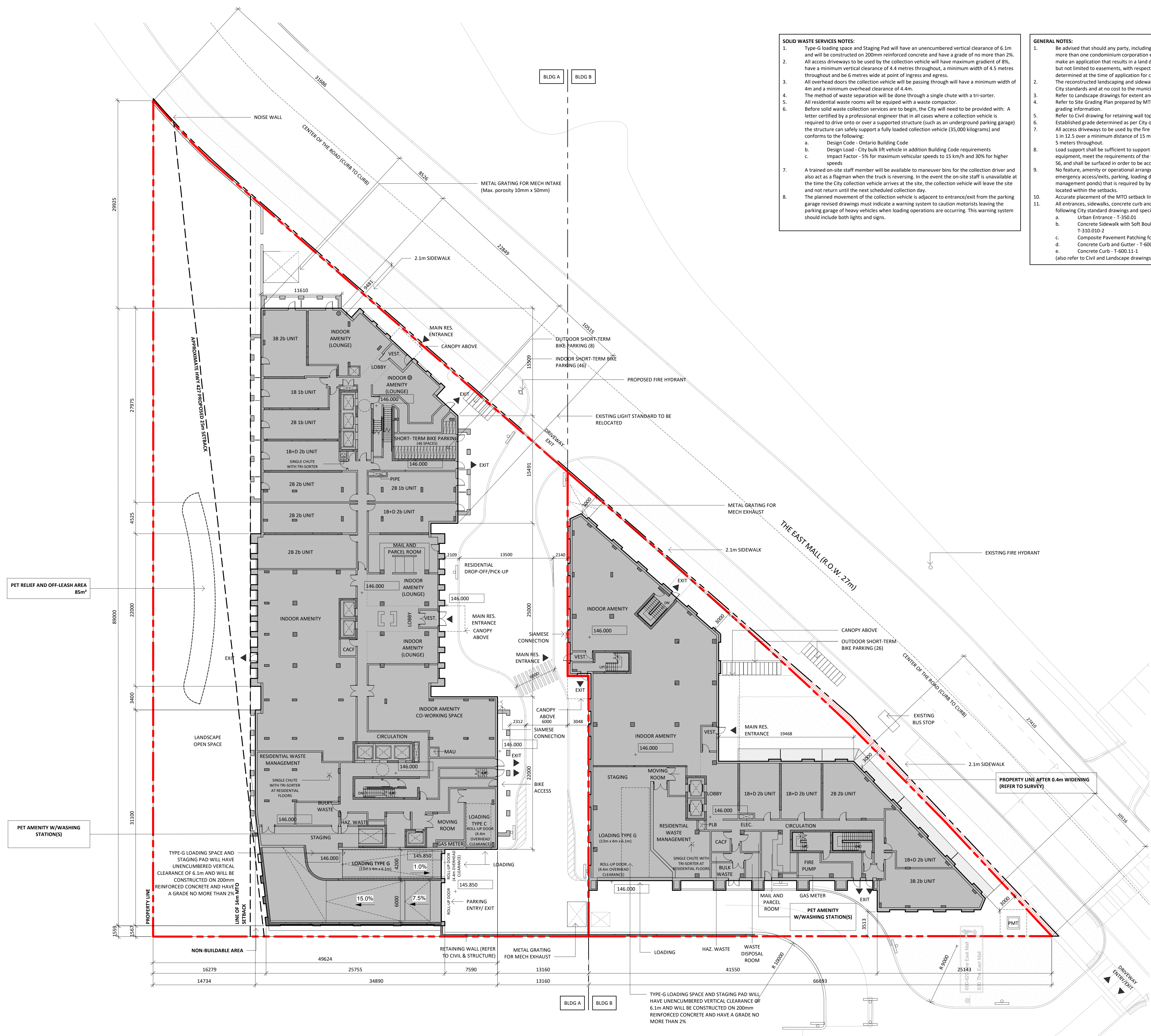
ADDRESS:  
630 The East Mall, Etobicoke, ON, M9B 4B1

AERIAL SITE PLAN (B)

Project No.: 2132  
Scale: 1 : 250  
Date: June 07, 2024

Drawing No.:  
**A 1.02B**





- SOLID WASTE SERVICES NOTES:**
1. Type-G loading space and Staging Pad will have an unencumbered vertical clearance of 6.1m and will be constructed on 200mm reinforced concrete and have a grade of no more than 2%. All access driveways to be used by the collection vehicle will have maximum gradient of 8%, have a minimum vertical clearance of 4.4 metres throughout, a minimum width of 4.5 metres throughout and be 6 metres wide at point of ingress and egress.
  2. All overhead doors the collection vehicle will be passing through will have a minimum width of 4m and a minimum overhead clearance of 4.4m.
  3. The method of waste separation will be done through a single chute with a tri-sorter. All residential waste rooms will be equipped with a waste compactor.
  4. Before solid waste collection services are to begin, the City will need to be provided with: A letter certified by a professional engineer that in all cases where a collection vehicle is required to drive onto or over a supported structure (such as an underground parking garage) the structure can safely support a fully loaded collection vehicle (35,000 kilograms) and conforms to the following:
    - a. Design Code - Ontario Building Code
    - b. Design Load - City bulk lift vehicle in addition Building Code requirements
    - c. Impact Factor - 5% for maximum vehicular speeds to 15 km/h and 30% for higher speeds
  5. A trained on-site staff member will be available to maneuver bins for the collection driver and also act as a flagman when the truck is reversing. In the event the on-site staff is unavailable at the time the City collection vehicle arrives at the site, the collection vehicle will leave the site and not return until the next scheduled collection day.
  6. The planned movement of the collection vehicle is adjacent to entrance/exit from the parking garage revised drawings must indicate a warning system to caution motorists leaving the parking garage of heavy vehicles when loading operations are occurring. This warning system should include both lights and signs.

- GENERAL NOTES:**
1. Be advised that should any party, including the applicant or any subsequent owner, apply for more than one condominium corporation encompassing any or all of this development or make an application that results in a land division, Staff may require legal assurances, including but not limited to easements, with respect to the approved services. Such assurances will be determined at the time of application for condominium approval.
  2. The reconstructed landscaping and sidewalk along The East Mall, site frontage will be built to City standards and at no cost to the municipality.
  3. Refer to Landscape drawings for extent and details of all hard surface materials.
  4. Refer to Site Grading Plan prepared by MTE, drawing C2.1, for the purposes of obtaining site grading information.
  5. Refer to Civil drawing for retaining wall top and bottom of wall spot elevations.
  6. Established grade determined as per City of Toronto's Zoning by-law 569-2013.
  7. All access driveways to be used by the fire truck will have a change of gradient not more than 1 in 12.5 over a minimum distance of 15 meters (i.e. 8%), have a minimum vertical clearance of 5 meters throughout.
  8. Load support shall be sufficient to support the expected loads imposed by fire fighting equipment, meet the requirements of the Canadian Highway Bridge Design Code, CAN/CSA-S6, and shall be surfaced in order to be accessible under all climatic conditions.
  9. No feature, amenity or operational arrangement (such as, but not limited to, fire-routes, emergency access/exits, parking, loading docks, access to loading docks, storm-water management ponds) that is required by by-law or is essential to the viability of this site, will be located within the setbacks.
  10. Accurate placement of the MTO setback line to be confirmed by the surveyor.
  11. All entrances, sidewalks, concrete curb and gutter works are constructed based on the following City standard drawings and specifications,
    - a. Urban Entrance - T-350.01
    - b. Concrete Sidewalk with Soft Boulevard or Concrete Sidewalk adjacent to Curb - T-310.010-2
    - c. Composite Pavement Patching for Utility Cuts - T-509.010-1
    - d. Concrete Curb and Gutter - T-600.05-1
    - e. Concrete Curb - T-600.11-1(also refer to Civil and Landscape drawings for more details)

TRANSPORTATION LEGEND:  
(REFER TO TRANSPORTATION REPORT)

- FIRE TRUCK
- SIGNAGES

NOTE: REFER TO SIGNAGE AND PAVEMENT MARKING PLANS BY WSP

Issued:

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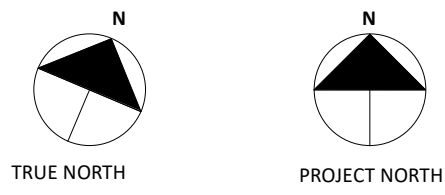
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MULTI-UNIT RESIDENTIAL DEVELOPMENT

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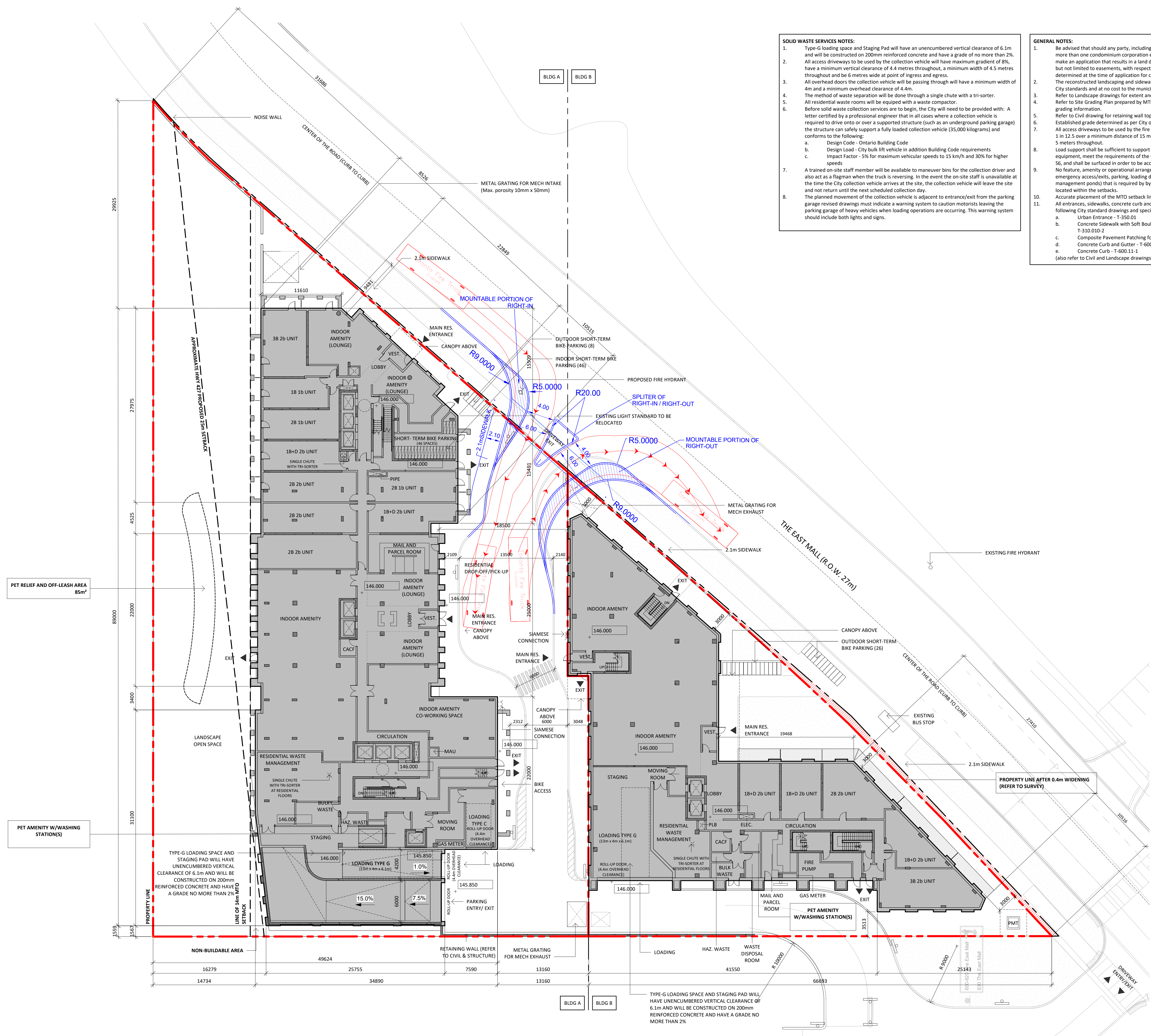
GROUND FLOOR SITE  
PLAN (A)

Project No.: 2132  
Scale: 1 : 250  
Date: June 07, 2024

Drawing No.:

A 1.03A





- SOLID WASTE SERVICES NOTES:**
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    - Concrete Curb and Gutter - T-600.05-1
    - Concrete Curb - T-600.11-1(also refer to Civil and Landscape drawings for more details)

Issued:

SPA Submission #3	Jun 07, 2024
ZBA Submission #3	Jun 07, 2024
Issue For	Date

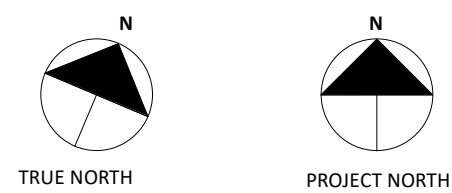
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MULTI-UNIT RESIDENTIAL DEVELOPMENT

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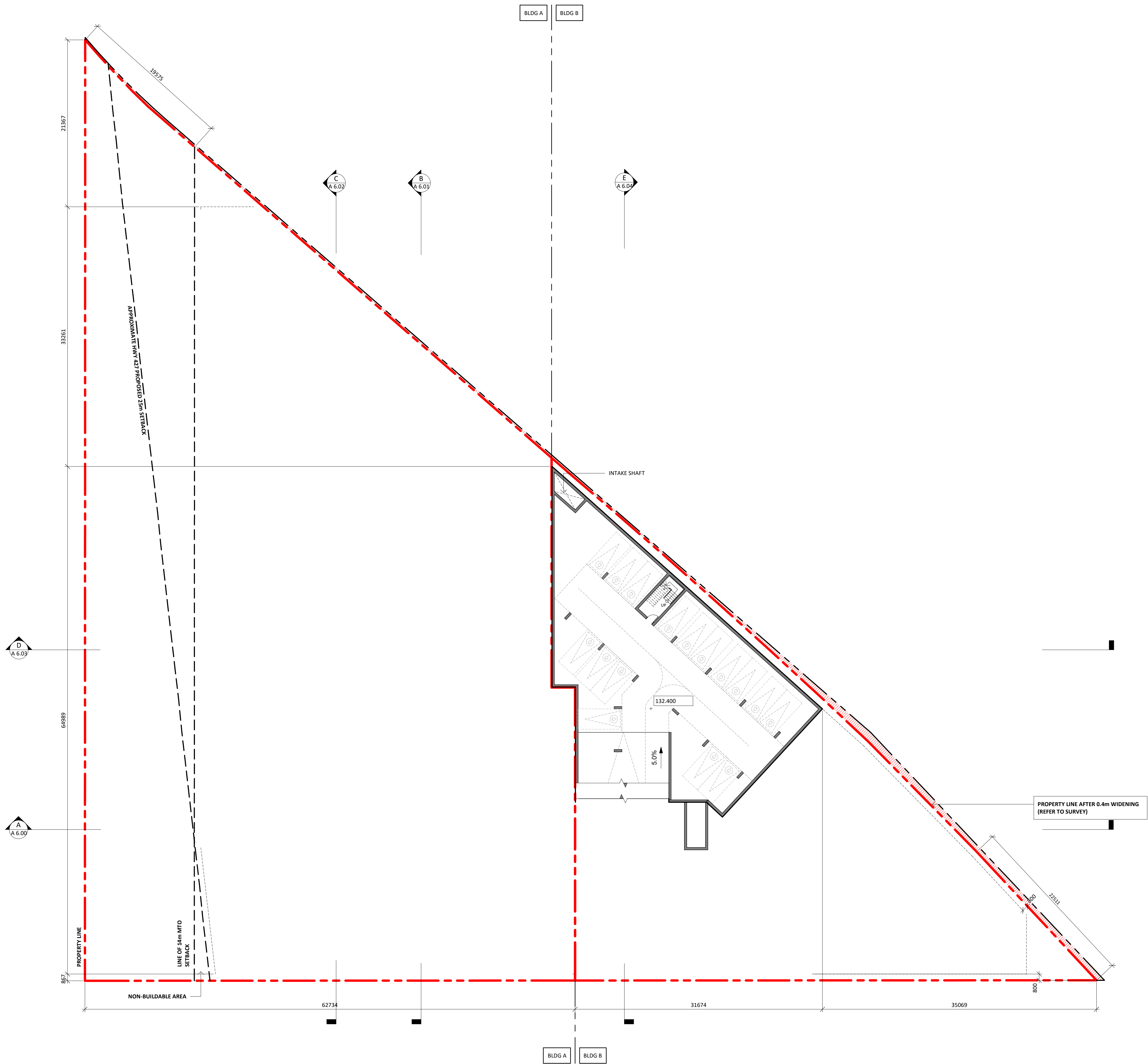
**GROUND FLOOR SITE PLAN (B)**

Project No.: 2132  
Scale: 1 : 250  
Date: June 07, 2024

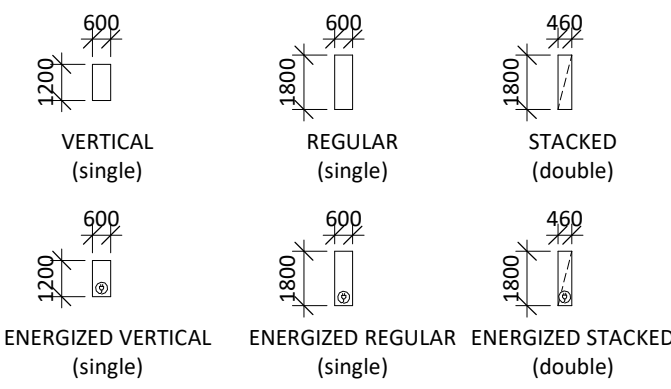
Drawing No.:

**A 1.03B**

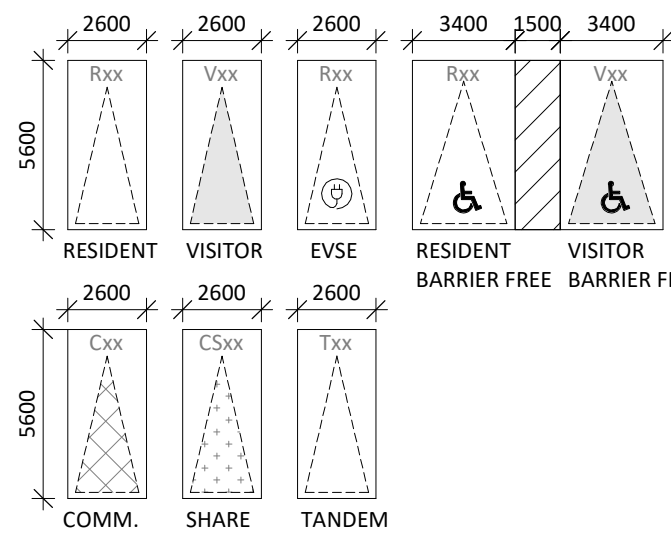




BIKE PARKING LEGEND:



VEHICULAR PARKING LEGEND



- PARKING NOTES:**
1. PARKING SPACES EQUIPPED WITH AN ENERGIZED OUTLET IN ACCORDANCE WITH ZONING BYLAW 569-2013 AS AMENDED.
  2. BICYCLE PARKING RATES IN ACCORDANCE WITH ZONING BYLAW 569-2013.
  3. LONG-TERM BICYCLE PARKING, SECURE CONTROLLED-ACCESS IN ACCORDANCE WITH ZONING BYLAW 569-2013.
  4. 15% OF REQUIRED LONG-TERM BICYCLE PARKING SPACES WILL INCLUDE AND ENERGIZED OUTLET (120V) ADJACENT TO THE BICYCLE RACK OR PARKING SPACE.
  5. REFER TO SIGNAGE AND PAVEMENT MARKING PLANS BY WSP

Issued:

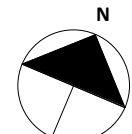
SPA Submission #3	Jun 07, 2024
ZBA Submission #3	Jun 07, 2024
SPA Submission #2	Oct 06, 2023
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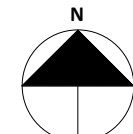
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TRUE NORTH



PROJECT NORTH

MULTI-UNIT RESIDENTIAL DEVELOPMENT

ADDRESS:  
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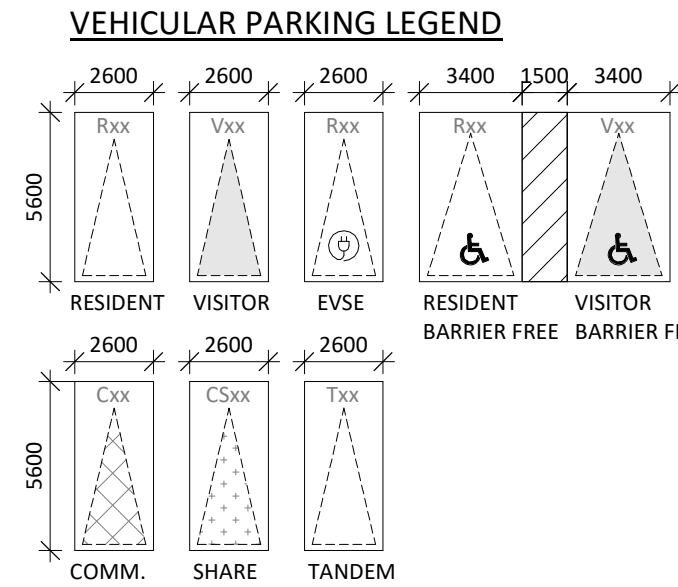
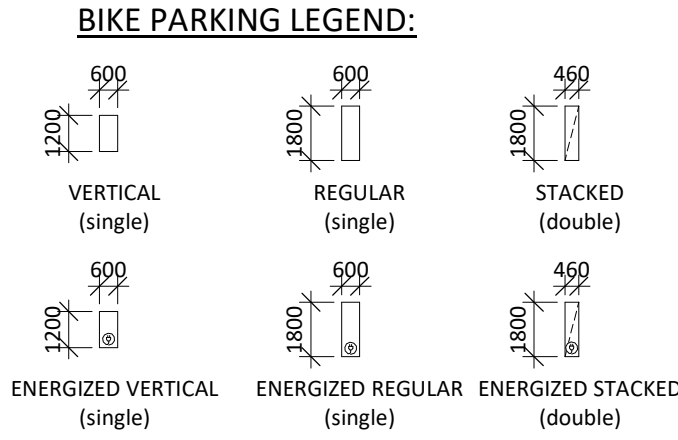
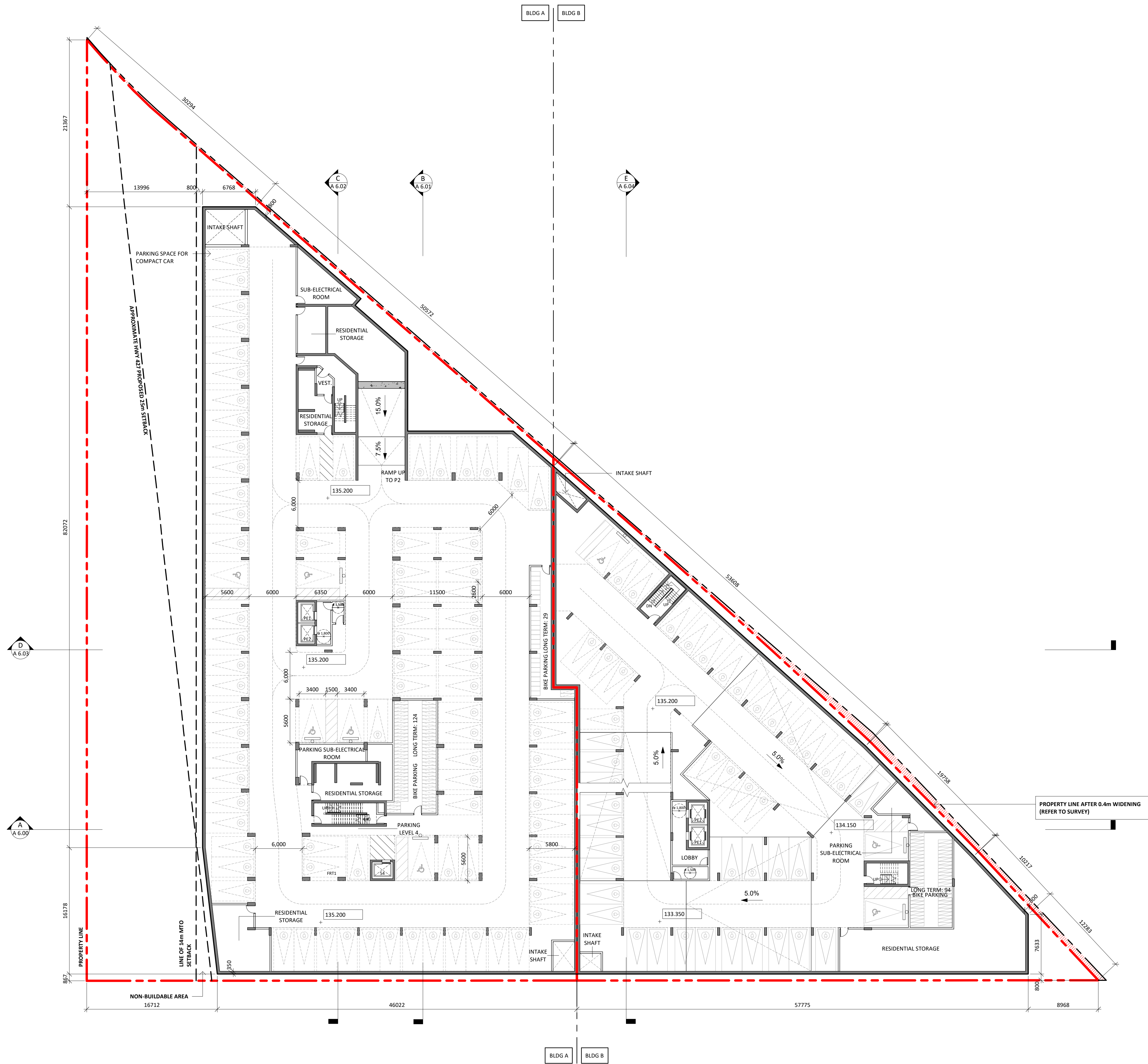
P3 (LOWER) PARKING  
LEVEL

Project No.: 2132  
Scale: 1 : 250  
Date: June 07, 2024

Drawing No.:

A 3.00W





- PARKING NOTES:**
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  2. BICYCLE PARKING RATES IN ACCORDANCE WITH ZONING BYLAW 569-2013.
  3. LONG-TERM BICYCLE PARKING, SECURE CONTROLLED-ACCESS IN ACCORDANCE WITH ZONING BYLAW 569-2013.
  4. 15% OF REQUIRED LONG-TERM BICYCLE PARKING SPACES WILL INCLUDE AND ENERGIZED OUTLET (120V) ADJACENT TO THE BICYCLE RACK OR PARKING SPACE.
  5. REFER TO SIGNAGE AND PAVEMENT MARKING PLANS BY WSP

Issued:

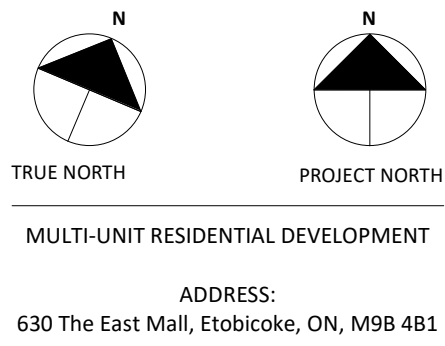
SPA Submission #3	Jun 07, 2024
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MULTI-UNIT RESIDENTIAL DEVELOPMENT

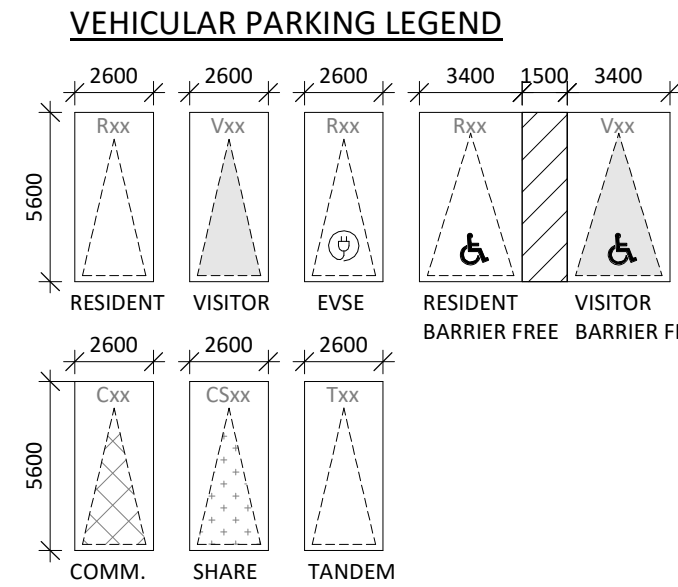
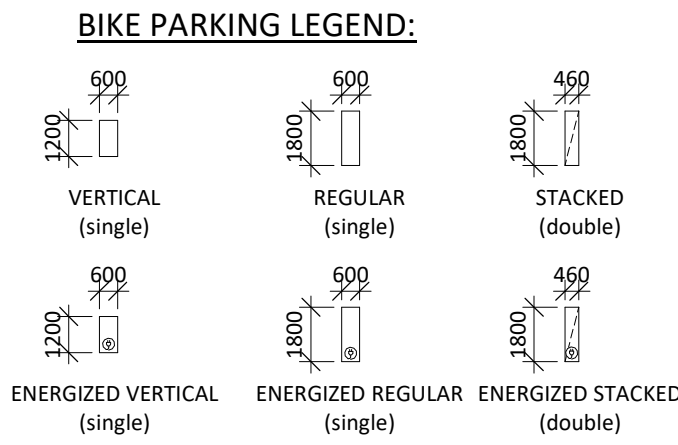
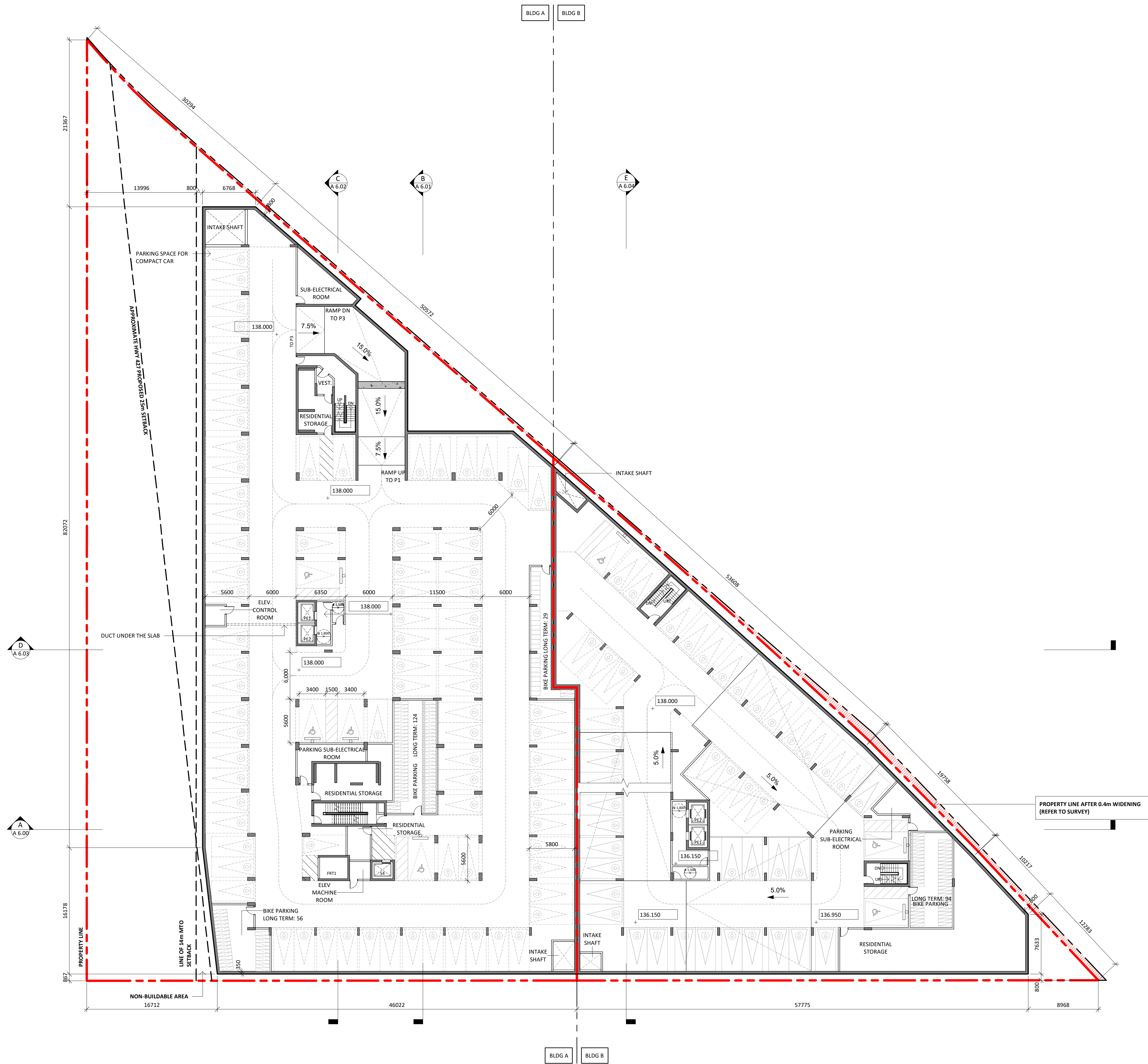
ADDRESS:  
630 The East Mall, Etobicoke, ON, M9B 4B1

## P3 PARKING LEVEL

Project No.: 2132  
Scale: 1 : 250  
Date: June 07, 2024

Drawing No.:  
**A 3.00X**





- PARKING NOTES:**
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  5. REFER TO SIGNAGE AND PAVEMENT MARKING PLANS BY WSP

Issued:

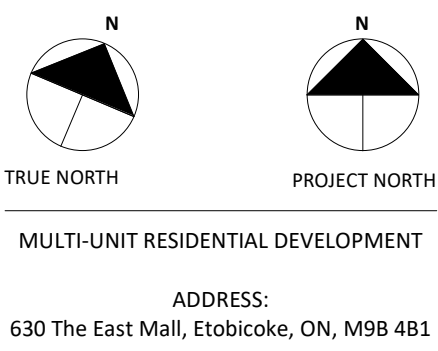
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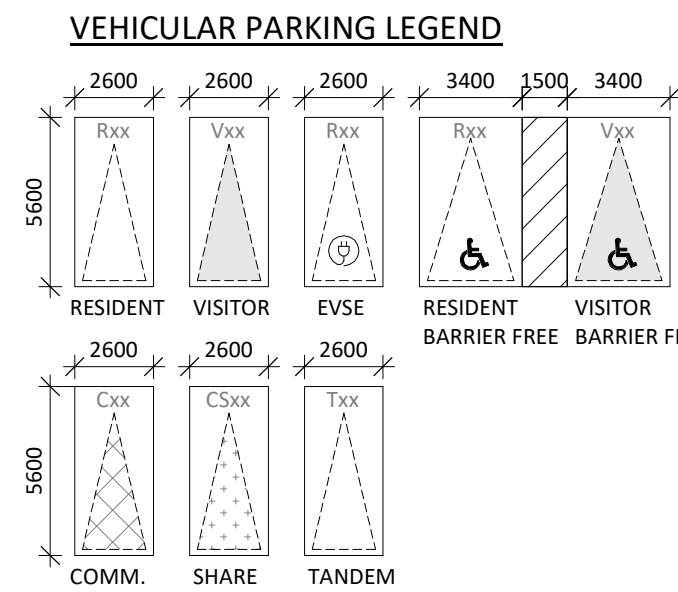
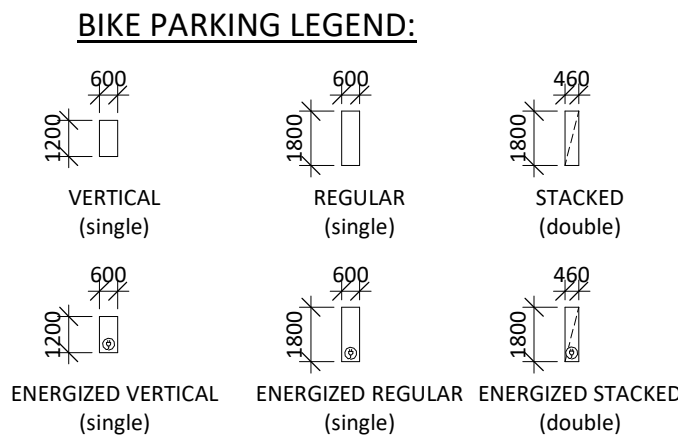
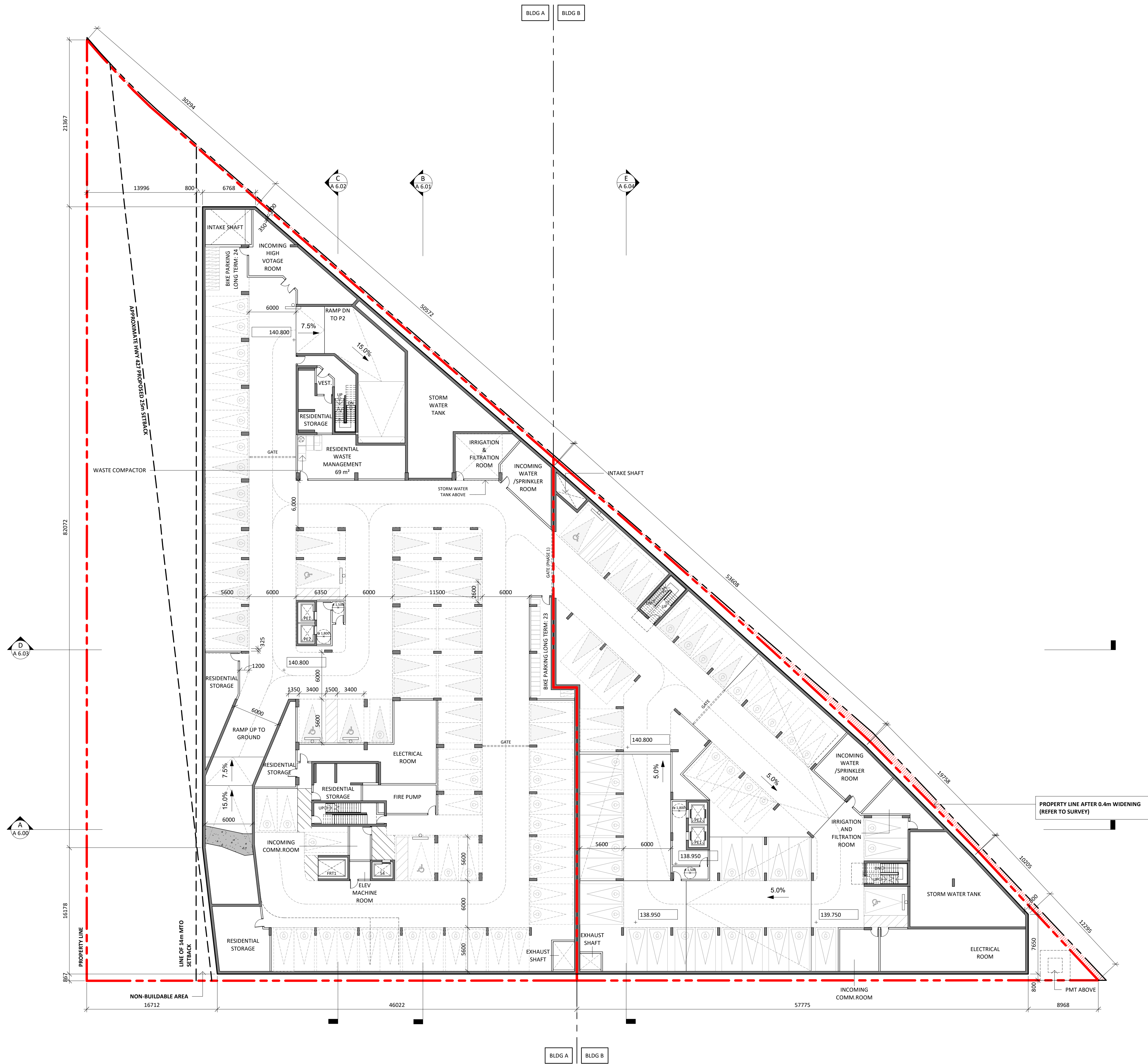


**P2 PARKING LEVEL**

Project No.: 2132  
Scale: 1 : 250  
Date: June 07, 2024

Drawing No.:  
**A 3.00Y**





- PARKING NOTES:**
1. PARKING SPACES EQUIPPED WITH AN ENERGIZED OUTLET IN ACCORDANCE WITH ZONING BYLAW 569-2013 AS AMENDED.
  2. BICYCLE PARKING RATES IN ACCORDANCE WITH ZONING BYLAW 569-2013.
  3. LONG-TERM BICYCLE PARKING, SECURE CONTROLLED-ACCESS IN ACCORDANCE WITH ZONING BYLAW 569-2013.
  4. 15% OF REQUIRED LONG-TERM BICYCLE PARKING SPACES WILL INCLUDE AND-ENERGIZED OUTLET (120V) ADJACENT TO THE BICYCLE RACK OR PARKING SPACE.
  5. REFER TO SIGNAGE AND PAVEMENT MARKING PLANS BY WSP

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## P1 PARKING LEVEL

Project No.: 2132  
Scale: 1 : 250  
Date: June 07, 2024

Drawing No.:  
**A 3.00Z**



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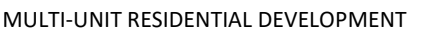
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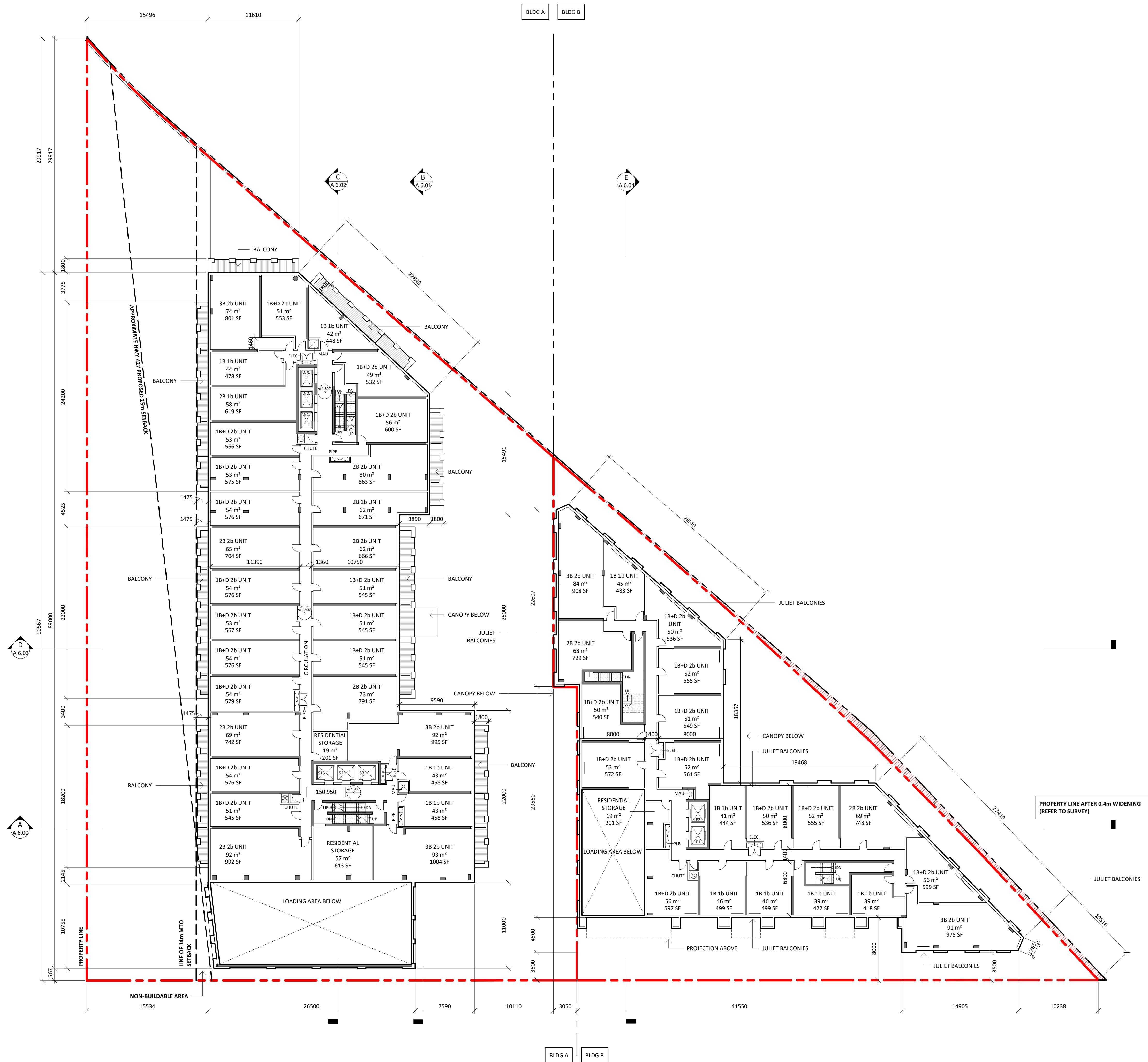


## GROUND FLOOR PLAN

Drawing No.

# A 3.01





Issued:

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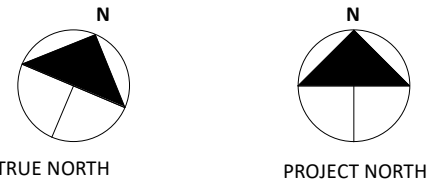
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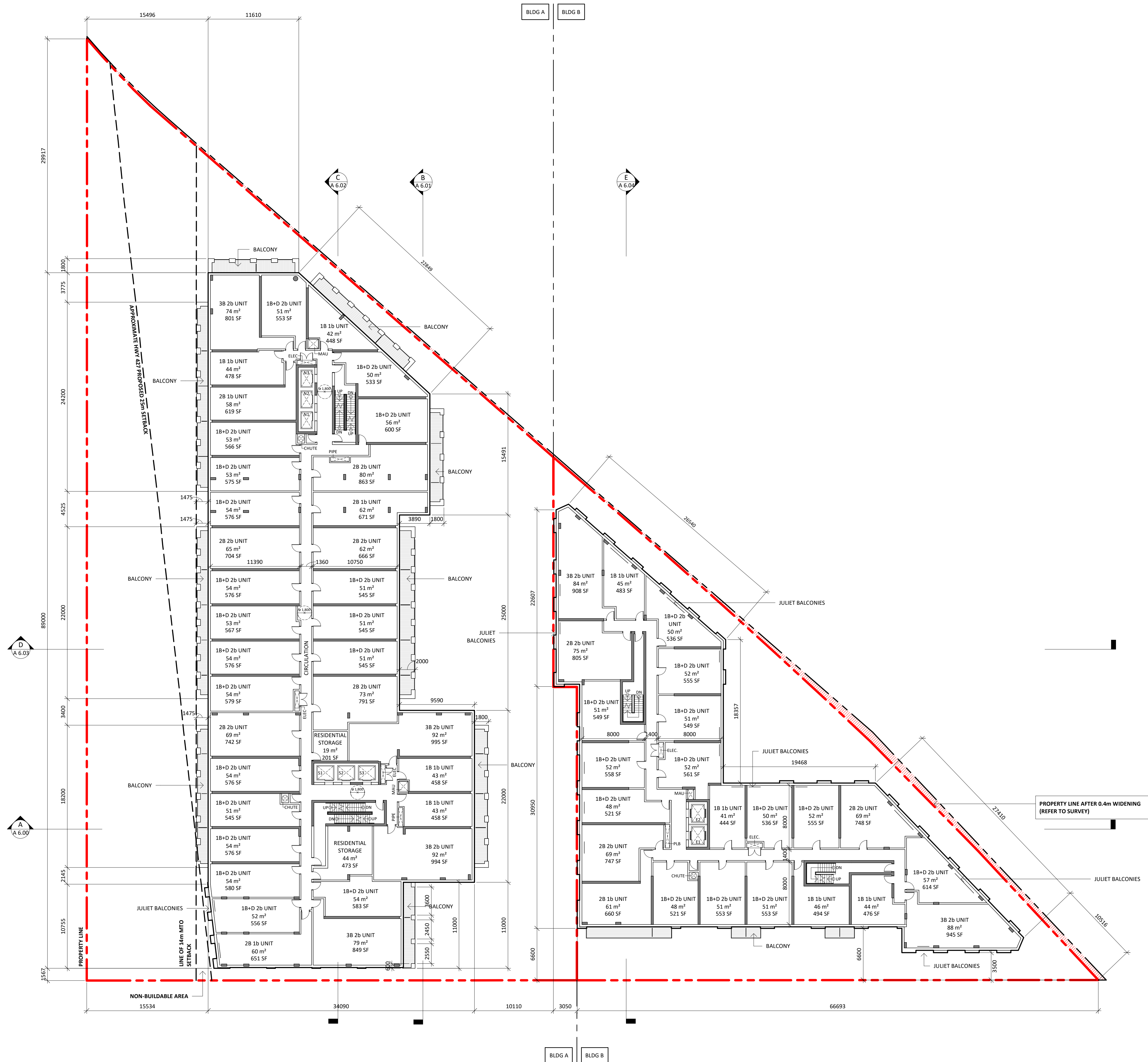
2ND FLOOR PLAN

Project No.: 2132  
Scale: 1 : 250  
Date: June 07, 2024

Drawing No.:

**A 3.02**





Issued:

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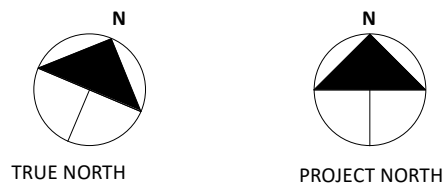
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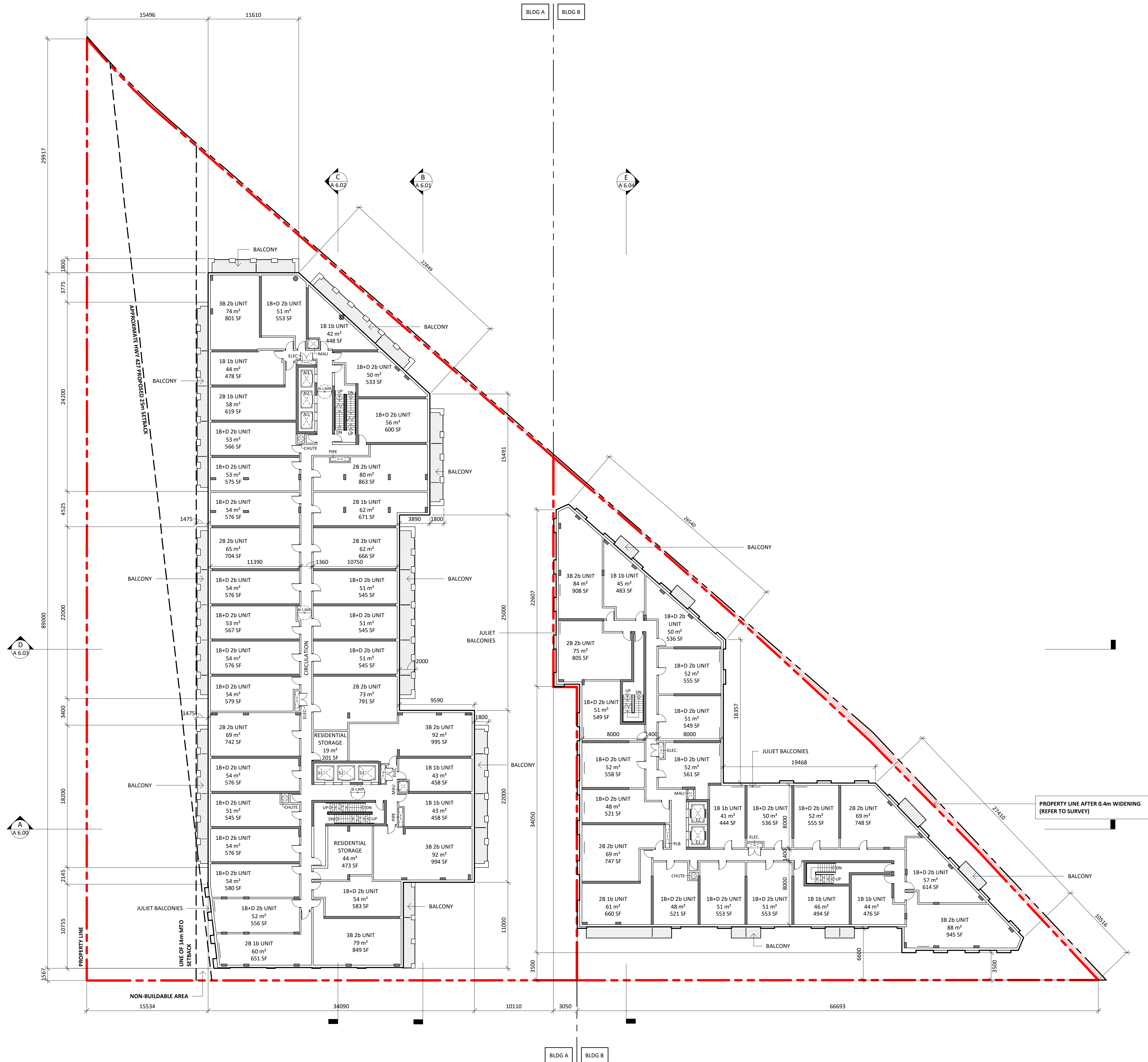
3RD FLOOR PLAN

Project No.: 2132  
Scale: 1 : 250  
Date: June 07, 2024

Drawing No.:

**A 3.03**





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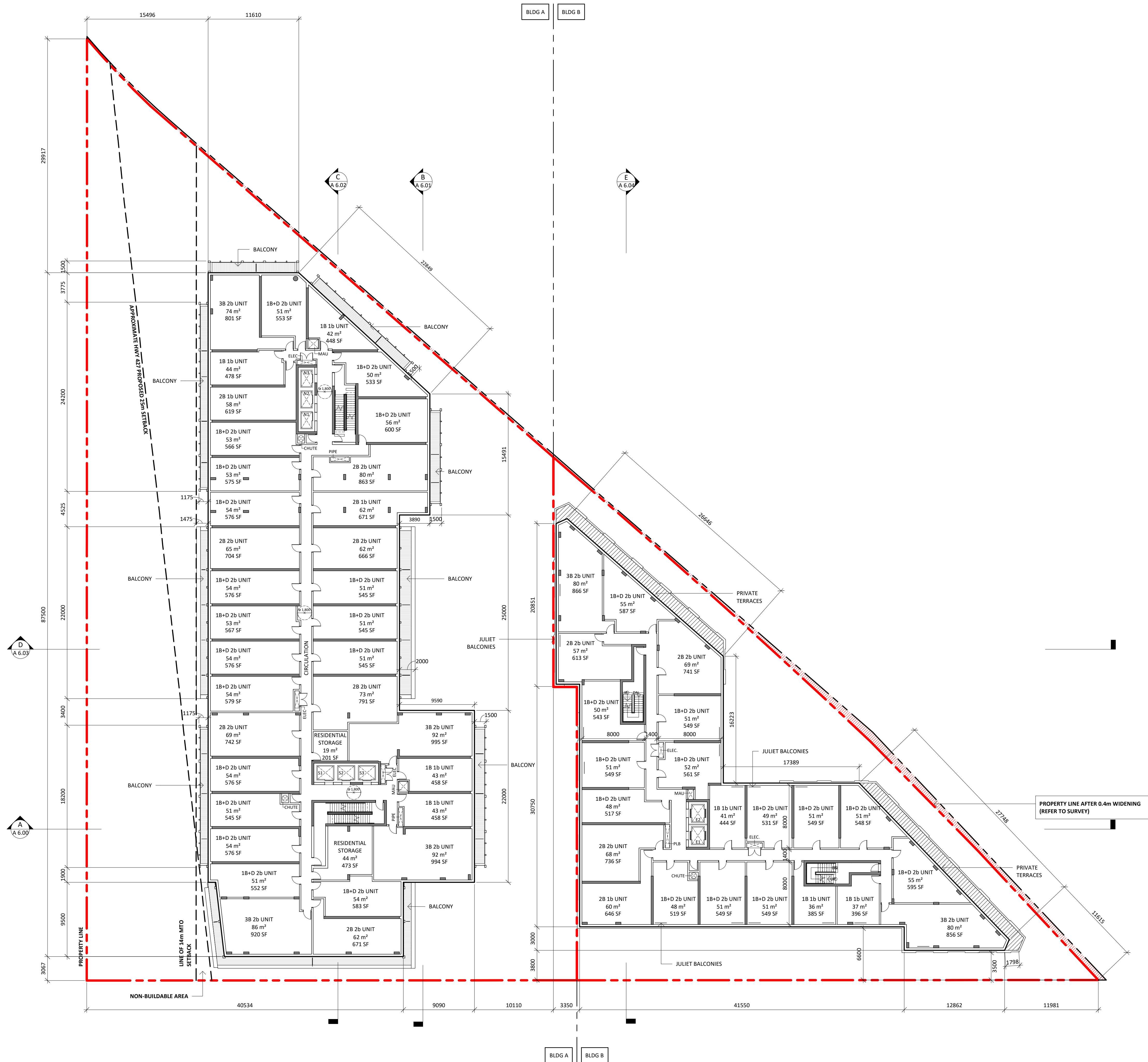
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4TH-6TH FLOOR PLAN

Project No.: 2132  
Scale: 1 : 250  
Date: June 07, 2024

Drawing No.:  
**A 3.04**





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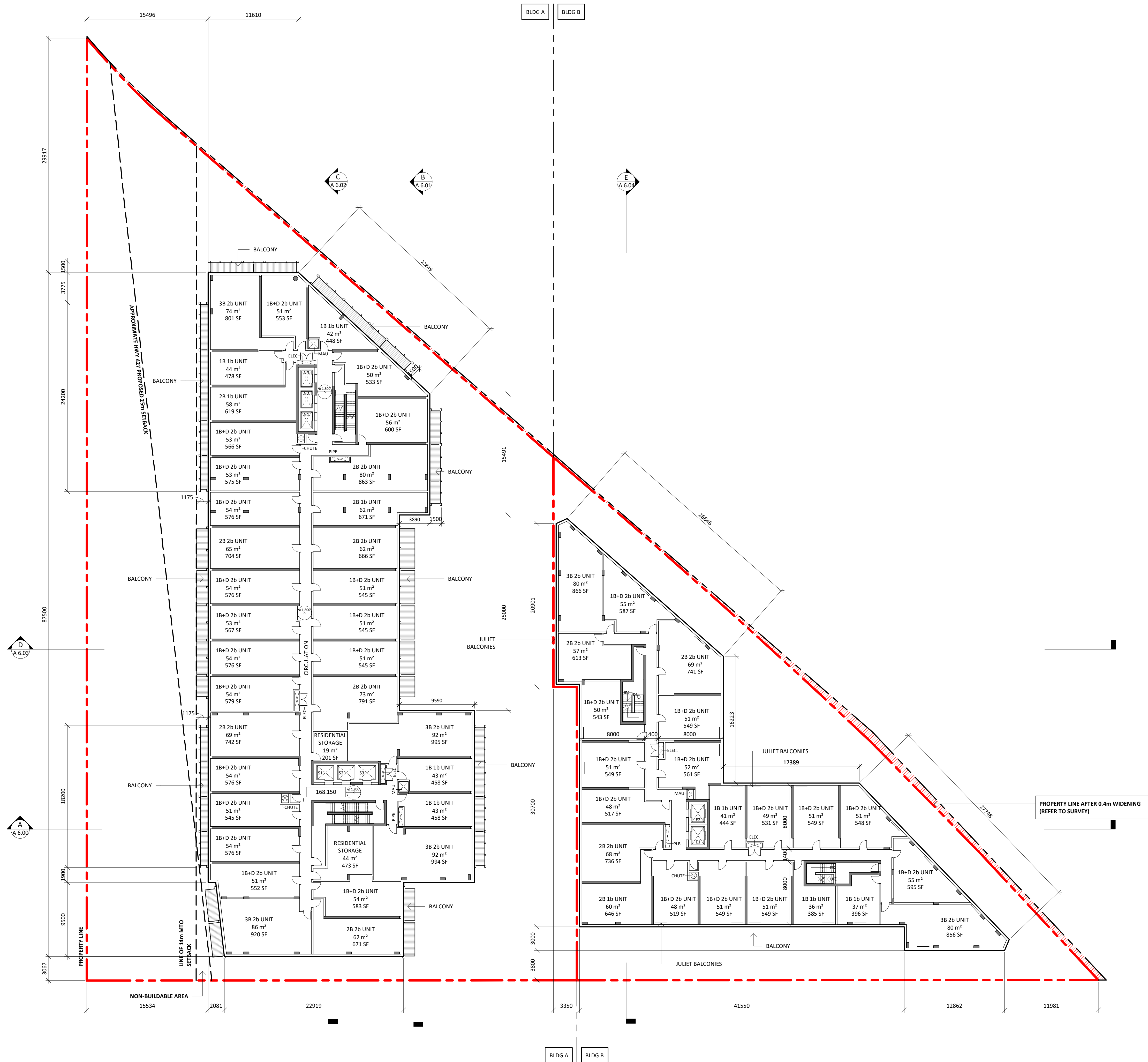
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7TH FLOOR PLAN

Project No.: 2132  
Scale: 1 : 250  
Date: June 07, 2024

Drawing No.:  
**A 3.05**





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8TH FLOOR PLAN

Project No.: 2132  
Scale: 1 : 250  
Date: June 07, 2024

Drawing No.:  
**A 3.06**



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General Notes:

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Drawing No.:



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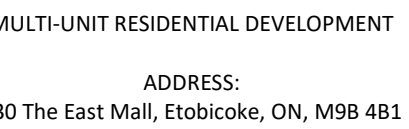
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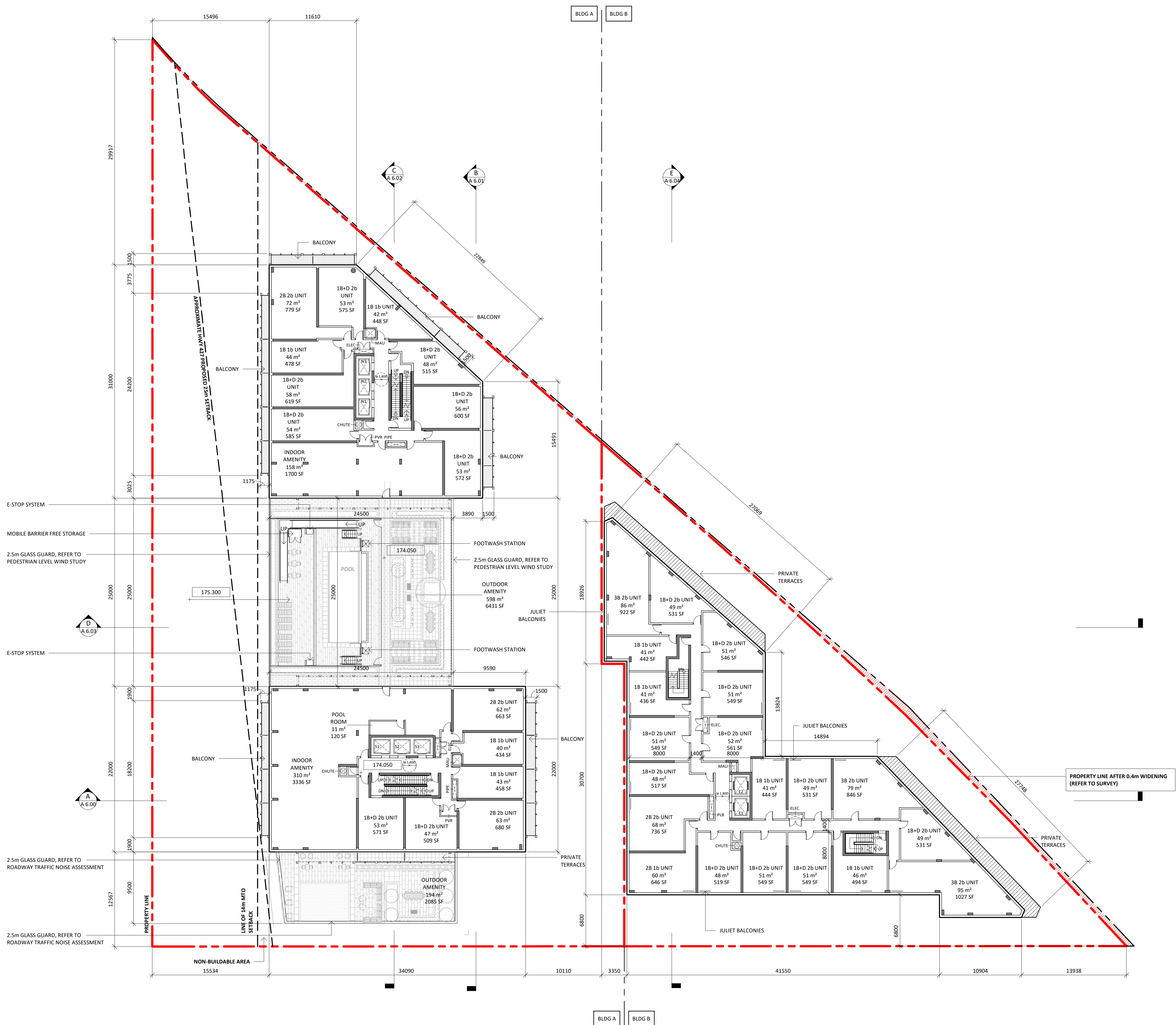
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Project No.: 2132  
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rawing No.:  
**A 3.08**





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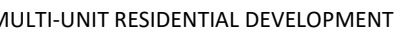
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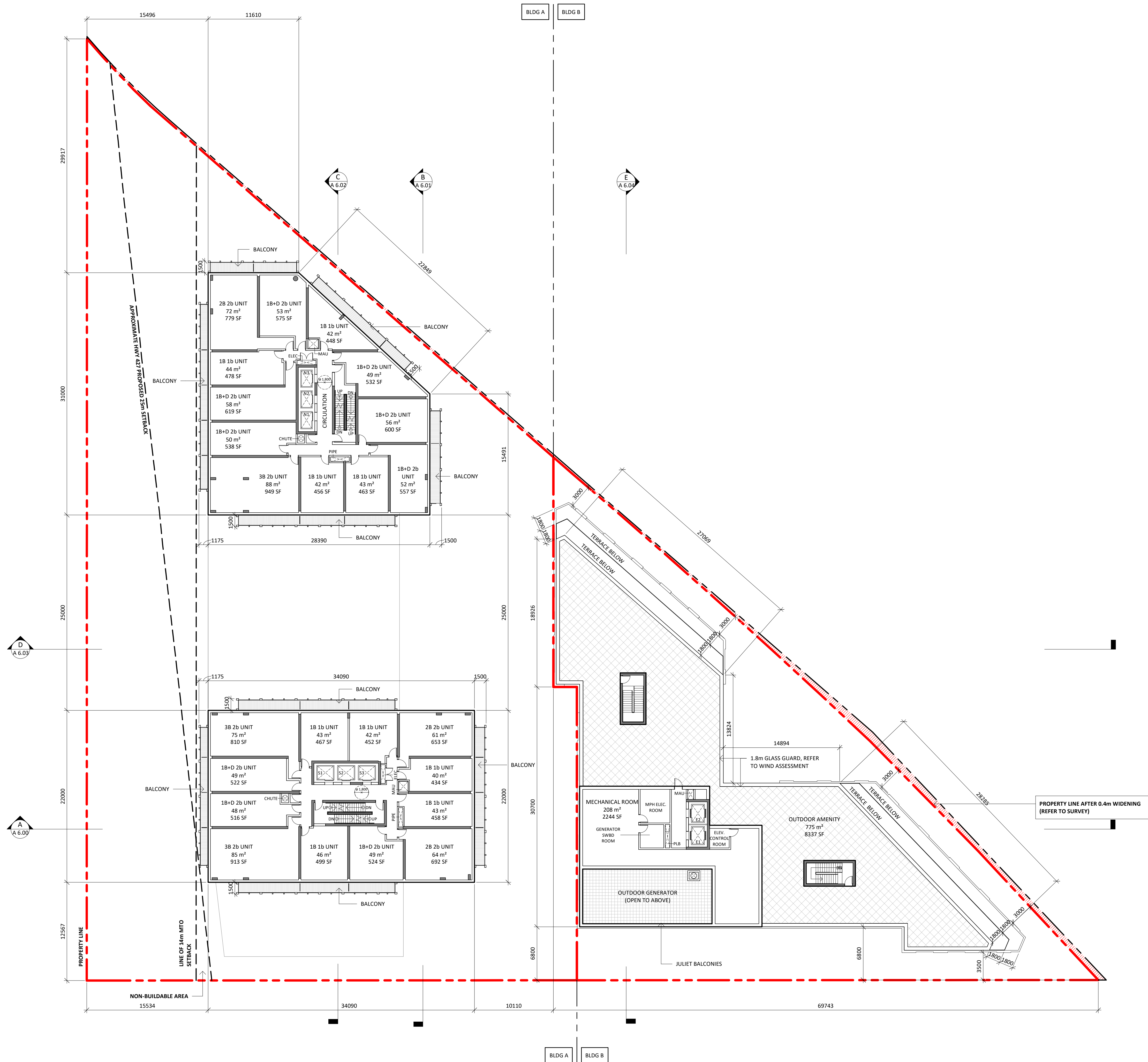


## 1TH FLOOR PLAN

Drawing No.:

A 3.09





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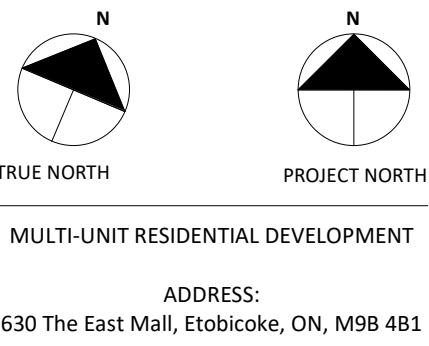
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## 12TH FLOOR PLAN

Project No.: 2132  
Scale: 1 : 250  
Date: June 07, 2024

Drawing No.:  
**A 3.10**







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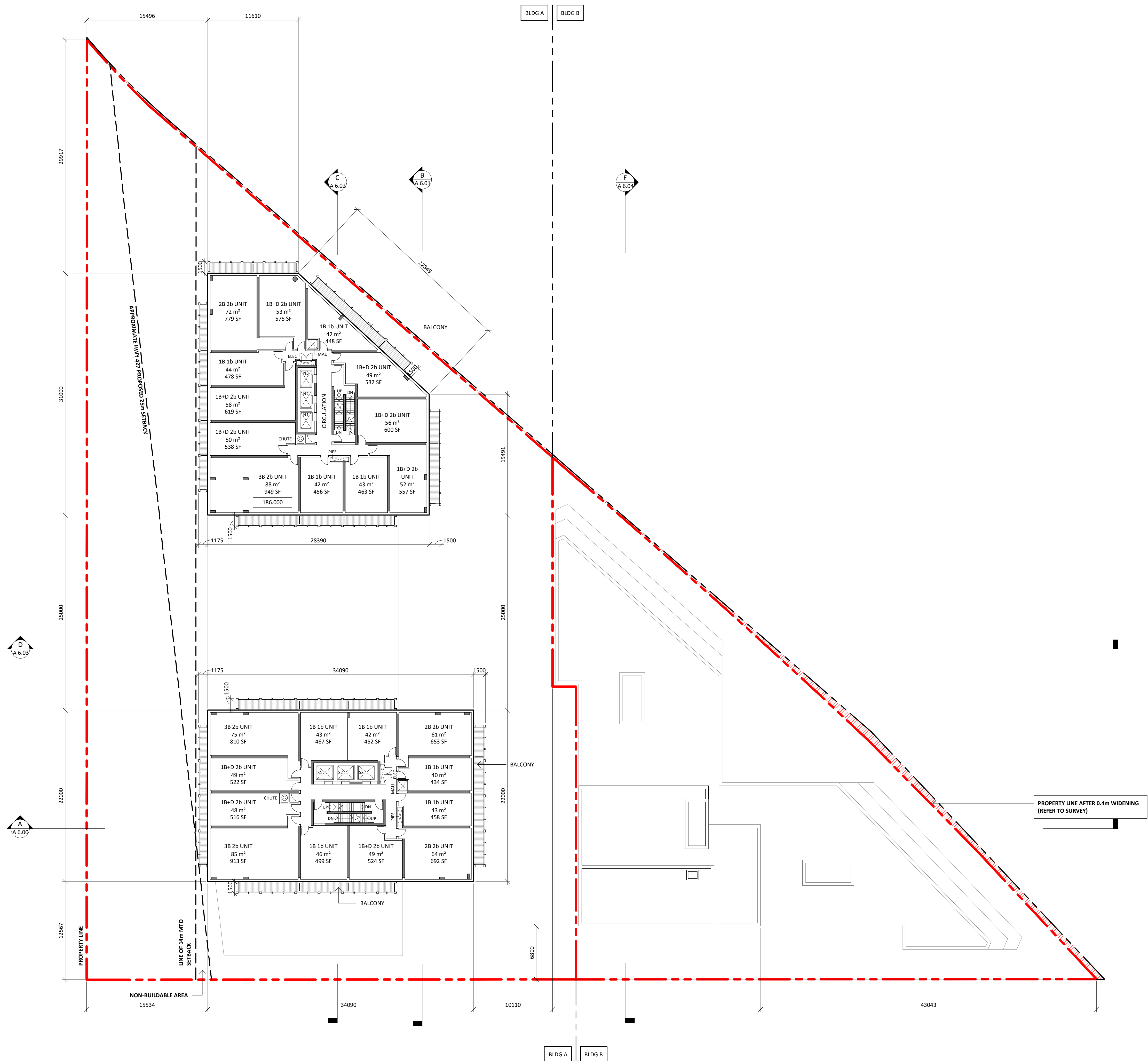
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Project No.: 2132  
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# A 3.12







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17TH FLOOR PLAN

Project No.: 2132  
Scale: 1 : 250  
Date: June 07, 2024

Drawing No.:  
**A 3.13**



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22ND FLOOR PLAN

Drawing No.:

### A 3.14







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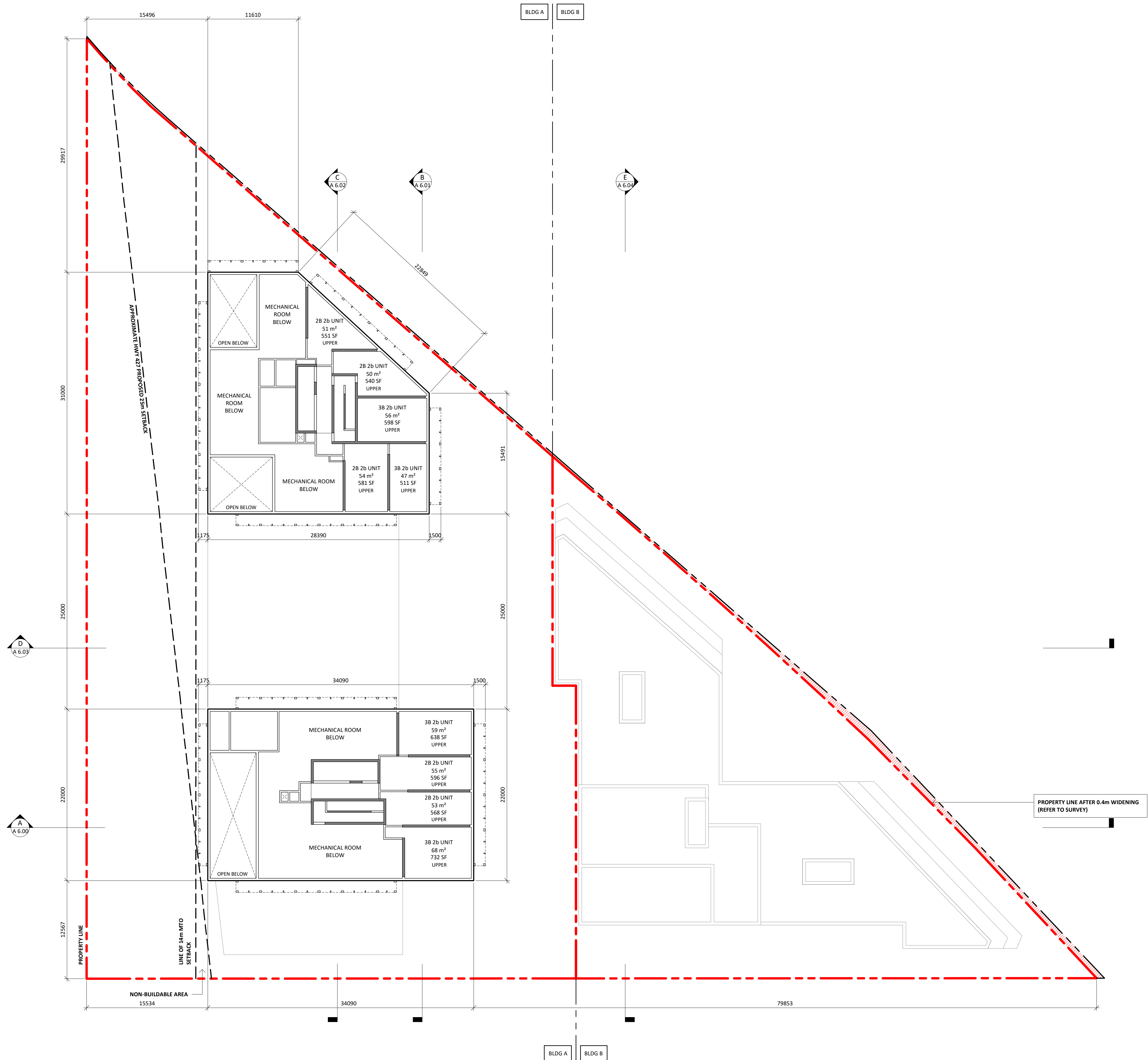
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# A 3.16





The Green Roof Statistics Template is required to be submitted for Site Plan Control Applications where a green roof is required under the Toronto Municipal Code Chapter 492, Green Roofs. Complete the table below and copy it **directly onto the Roof Plan** submitted as part of any Site Plan Control Application requiring a green roof in accordance with the Bylaw. Refer to Section § 492-1 of the Municipal Code for a complete list of defined terms, and greater clarity and certainty regarding the intent and application of the terms included in the template. The Toronto Municipal Code Chapter 492, Green Roofs can be found online at: [http://www.toronto.ca/legdocs/municode/1184\\_492.pdf](http://www.toronto.ca/legdocs/municode/1184_492.pdf)

Green Roof Statistics

	Proposed
Gross Floor Area, as defined in Green Roof Bylaw (m <sup>2</sup> )	53,358.8
Total Roof Area (m <sup>2</sup> )	3854.8
Area of Residential Private Terraces (m <sup>2</sup> )	406.2
Rooftop Outdoor Amenity Space, if in a Residential Building (m <sup>2</sup> )	1,384.8
Area of Renewable Energy Devices (m <sup>2</sup> )	-
Tower (s)Roof Area with floor plate less than 750 m <sup>2</sup>	1499.9
Total Available Roof Space (m <sup>2</sup> )	363.9
Green Roof Coverage	RequiredProposed
Coverage of Available Roof Space (m <sup>2</sup> )	338.3456.3
Coverage of Available Roof Space (%)	80%80%

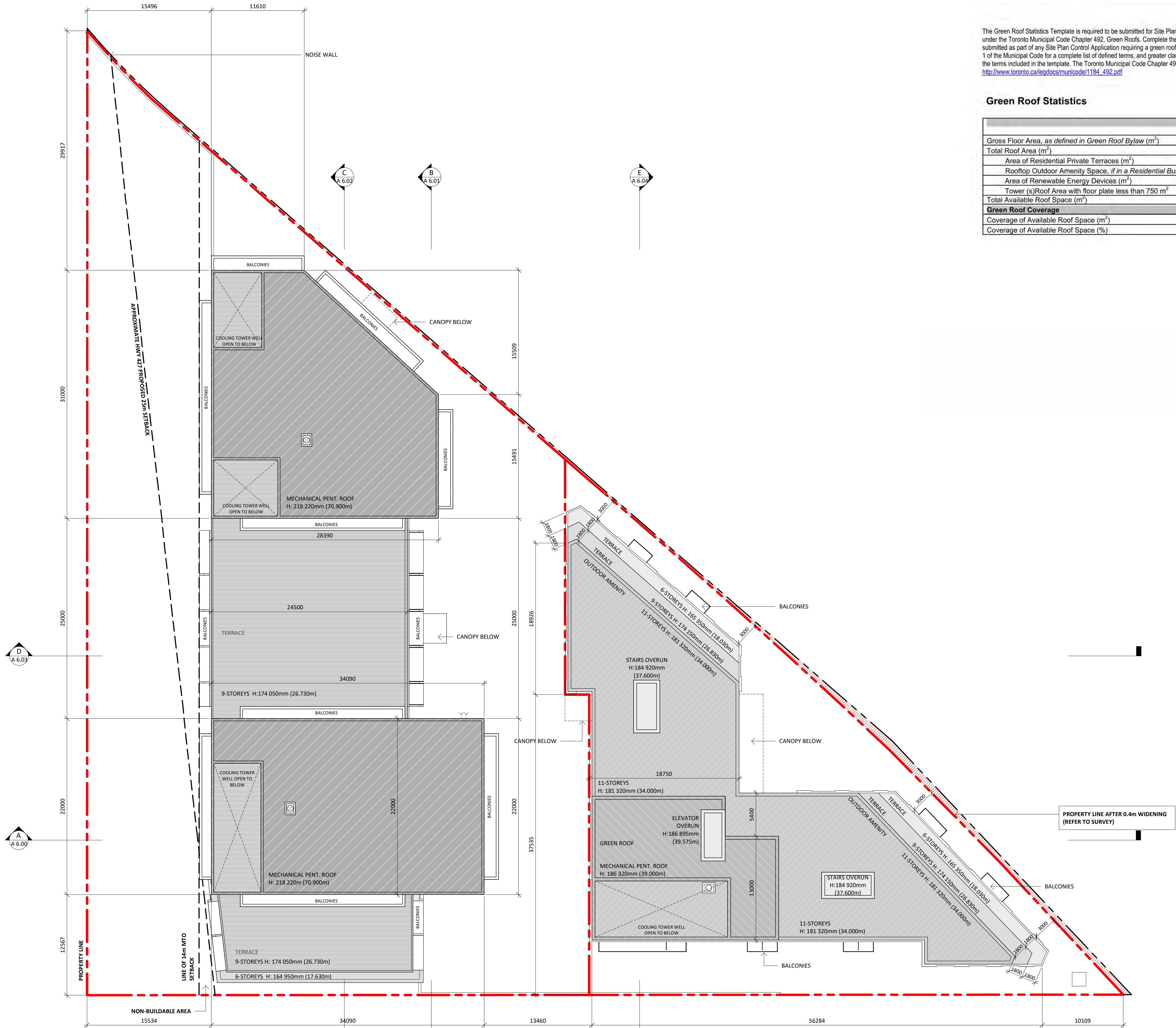
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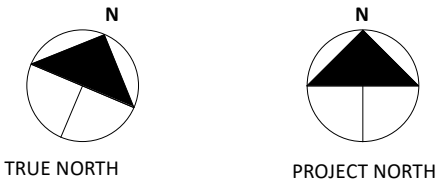
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ROOF PLAN

Project No.: 2132  
Scale: 1 : 250  
Date: June 07, 2024

Drawing No.:

A 3.17



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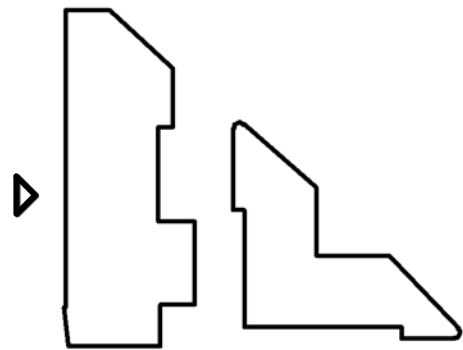
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## BUILDING A WEST ELEVATION

rawing No.:  
**A 5.00**