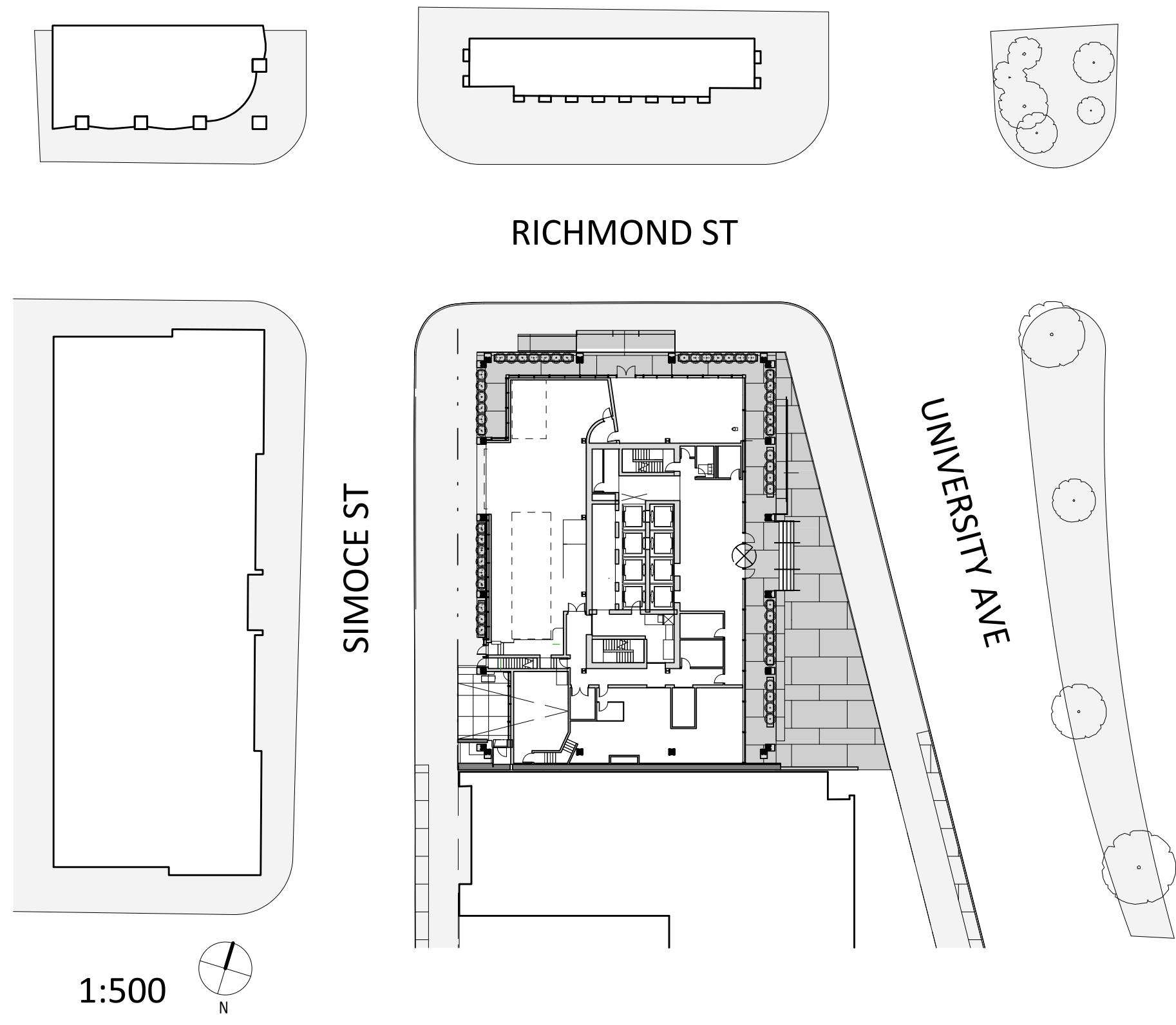


200 UNIVERSITY AVE



CONTEXT PLAN



Sheet No.	Drawing Name	Rev. No.	Issue Date
A0.00 SERIES - GENERAL			
A0.00	COVER SHEET	3	10/05/2022
A0.01	SURVEY	3	10/05/2022
A0.02	SURVEY - AVERAGE GRADE	3	10/05/2022
A0.03	STATISTICS	3	10/05/2022
A0.04	AREA ATTRIBUTION PLANS - PROPOSED	3	10/05/2022
A0.05	AREA ATTRIBUTION PLANS - PROPOSED	3	10/05/2022
A0.06	AREA ATTRIBUTION PLANS - PROPOSED	3	10/05/2022
A0.07	AREA ATTRIBUTION PLANS - EXISTING	3	10/05/2022
A0.08	PAVEMENT AND UNIT AREA PLANS	3	04/06/22
A1.00 SERIES - SITE			
A1.01	SITE PLAN	3	10/05/2022
A3.00 SERIES - OVERALL FLOOR PLANS			
A3.01	PARKING 1 & 2	3	10/05/2022
A3.02	PARKING 1 & 2	3	10/05/2022
A3.03	B1 AND B2 PLANS	3	10/05/2022
A3.04	GROUNDING & MECHANICAL PLANS	3	10/05/2022
A3.05	LEVEL 2 AND LEVEL 3 - 12 PLANS	3	10/05/2022
A3.06	LEVEL 13 AND LEVEL 14 PLANS	3	10/05/2022
A3.07	LEVEL 15 AND LEVEL 16 PLANS	3	10/05/2022
A3.08	LEVEL 16 ROOF AND LEVEL 17 PLANS	3	10/05/2022
A3.09	LEVEL 18 AND LEVEL 19 PLANS	3	10/05/2022
A3.10	LEVEL 20 PLANS AND LEVEL 46-51	3	10/05/2022
A3.11	M.P.H. AND ROOF PLANS	3	10/05/2022
A4.00 SERIES - DETAIL PLANS AND SECTIONS			
A4.01	STAR SECTIONS	3	10/05/2022
A5.00 SERIES - ELEVATIONS			
A5.01	ELEVATIONS	3	10/05/2022
A6.00 SERIES - BUILDING SECTIONS			
A6.01	BUILDING SECTIONS	3	10/05/2022
A7.00 SERIES - WALL SECTIONS			
A7.01	TYPICAL WALL SECTIONS	3	10/05/2022
A8.00 SERIES - EXTERIOR DETAILS			
A8.01	TYPICAL PLAN DETAILS	3	10/05/2022

OWNER AND CONSULTANT LIST

DEVELOPER GWL Realty Advisors 33 Yonge Street, #1000, Toronto, ON M5E 1G4 T: 416-507-2929	TRANSPORTATION BA Consulting Group Ltd 45 St.Clair Ave W, Toronto, ON M4V 1K9 T: 416-961-7110	PLANNING Bousfields Inc. 3 Church St., #200 Toronto, ON M5E 1M2 T: 416-947-9744	ELEVATOR Soberman Engineering 55 St Clair Avenue West, Toronto, ON M4Y 2Y7 T: 416-323-2133	COST CONSULTANT Altus Group 33 Yonge St #500, Toronto, ON M5E 1G4 T: 416-641-9500	HERITAGE AND CONSERVATION ERA Architects Inc. 625 Church St, #600 Toronto, ON M4Y 2G1 T: 416-963-4497	CIVIL ENGINEERING IBI GROUP 8133 Warden Ave, Unit 300 Markham, ON L6G 1G3 T: +1-905-763-2322	GEOTECHNICAL ENGINEERING Grounded Engineering 1 Banigan Dr, East York, ON M4H 1G3 T: 647-264-7909	ARBORIST CONSULTANT Kuntz Forestry 1869 Scugog St, Port Perry, ON L9L 111 T: 289-837-1871
ARCHITECT KPMB Architects 351 King St E, Suite 1200 Toronto, ON M5A 0L6 T: 416-977-5104	STRUCTURAL ENGINEERING Entuitive 200 University Ave 7th Floor, Toronto, ON M5H 3C6 T: 416-477-5832	ELECTRICAL ENGINEERING Mulvey & Banani International Inc. 44 Mobile Dr, North York, ON M4A 2P2 T: 416-751-2520	MECHANICAL ENGINEERING TMP Consulting Engineers 285 Yorkland Blvd., Toronto, ON, M2J 1S5 T: 416-499-8000	CODE CONSULTANT LRI Fire Protection & Building Code 170 University Ave 3rd Floor, Box 1, Toronto, ON M5H 3B3 T: 416-515-9331	SUSTAINABILITY CONSULTANT Morrison Hershfield 125 Commerce Valley Dr W Suite 300, Thornhill, ON L3T 7W4 T: 416-499-3110	LANDSCAPE ARCHITECT The Planning Partnership 1255 Bay St. #500, Toronto, ON M5R 2A9 T: 416-975-1556	NOISE CONSULTANT Aercoacstics 1004 Middlegate Rd #1100, Mississauga, ON L4Y 1M4 T: 416-249-3361	LEGAL CONSULTANT Devine Park 250 Yonge St Suite 2302, Toronto, ON M5B 2L7 T: 416-645-4584

Copyright © 2022 of the Architect.
Any use of this drawing is prohibited by any means from any media without prior written approval of the Architect to be used for information only.
The Architect is not liable for any loss or damage of information resulting from subsequent reproduction of the original drawing.

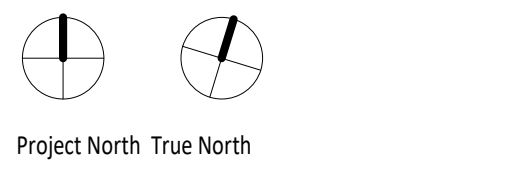
GENERAL NOTES:

1. Contractor shall be bound. Contractor will verify all existing conditions and dimensions reported by the work and will report any discrepancies with the Contract Documents to the Architect before commencing work.
2. The Architectural Drawings are to be used in conjunction with all other Contract Documents including the Project Manual and the Structural, Mechanical and Electrical Drawings. In case of difference between the Contract Documents, the order of priority shall be as follows:
a. The Project Manual
b. The Architectural Drawings
c. The Structural Drawings
d. The Mechanical Drawings
e. The Electrical Drawings
3. The Architect has not been retained for supervision of construction and assumes no responsibility for means, methods and techniques of construction.
4. These drawings are not to be used for construction unless specifically noted for such purpose.

1. 10/05/2022	ISSUED FOR 2M
2. 10/05/2022	ISSUED FOR 3M
3. 10/05/2022	ISSUED FOR 4M

KPMB Architects
351 King St E, Suite 1200
Toronto, ON, Canada M5A 0L6
416.977.5104

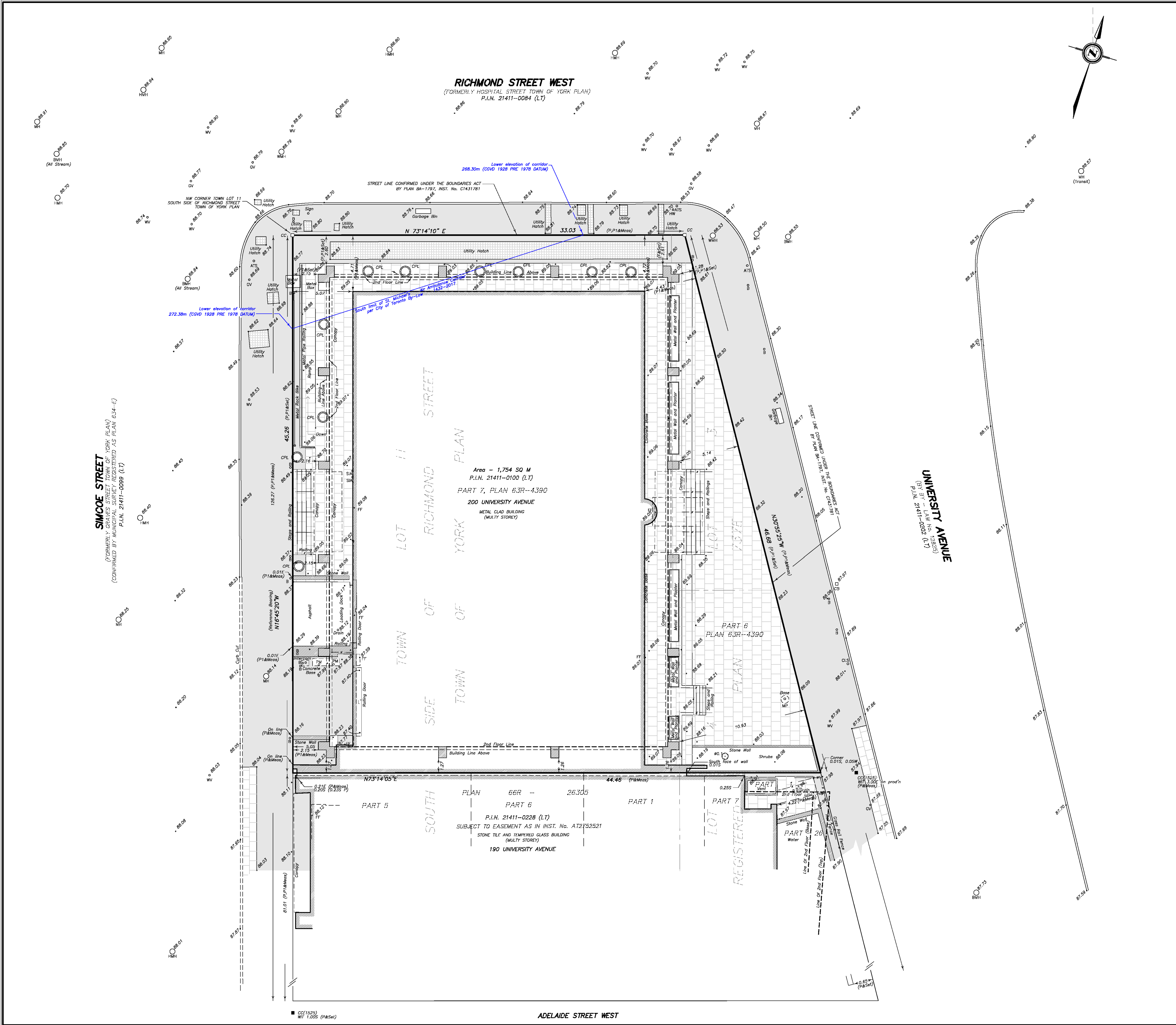
GWL Realty Advisors
200 University



Project No. 2018
Scale 1:500
Plot Date 30/05/2022

COVER SHEET

A0.00



PLAN OF SURVEY WITH TOPOGRAPHY OF
**ALL OF LOT 3 AND PART OF LOT 4
REGISTERED PLAN 737E
AND
PART OF TOWN LOT 11
SOUTH SIDE OF RICHMOND STREET
TOWN OF YORK PLAN
CITY OF TORONTO**

SCALE 1 : 150

SPEIGHT, VAN NOSTRAND & GIBSON LIMITED
ONTARIO LAND SURVEYORS
2020

(C) THE REPRODUCTION, ALTERATION OR USE OF THIS PLAN,
IN WHOLE OR IN PART, WITHOUT THE EXPRESS PERMISSION OF
SPEIGHT, VAN NOSTRAND & GIBSON LIMITED IS STRICTLY PROHIBITED.

METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES
AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

ELEVATION NOTE

ELEVATIONS ARE GEODETIC AND ARE DERIVED FROM THE CITY OF
TORONTO BENCHMARK No. 12219740249, also known as CT-249.

LOCATION :

NORTHEAST CORNER RICHMOND STREET WEST AND SIMCOE STREET
BENCHMARK ON 8 STOREY BANK OF CANADA BUILDING 0.47 METRE
NORTH FROM SOUTHWEST CORNER 0.38 METRE ABOVE GRADE.

ELEVATION:

PUBLISHED ELEVATION = 89.483 metres. (CGVD 1928 PRE 1978 DATUM)

BEARING NOTE

BEARINGS SHOWN HEREON ARE GRID BEARINGS AND ARE REFERRED TO THE
EASTERLY LIMIT OF SIMCOE STREET AS SHOWN ON TORONTO STANDARD CONDOMINIUM
PLAN 2258 HAVING A BEARING OF N16°45'20"W

LEGEND

DENOTES		
■	SURVEY MONUMENT FOUND	
□	SURVEY MONUMENT PLANTED	
WT	WITNESS MONUMENT	
SIB	STANDARD IRON BAR	
SSIB	SHORT STANDARD IRON BAR	
IB	IRON BAR	
CC	CUT CROSS	
N.S.E.W	NORTH, SOUTH, EAST, WEST	
OU	ORIGIN UNKNOWN	
1525	R. AVIS SURVEYING INC.	
P	TORONTO CONDOMINIUM PLAN 2258	
P1	PLAN 63R-4390	
F	FIELD NOTES BY SPEIGHT, VAN NOSTRAND LTD. O.L.S. (13-305TY)	
ATS	AUTOMATIC TRAFFIC SIGNAL	
B	BOLLARD	
BMH	BELL MANHOLE	
CB	CATCH BASIN	
CHP	CONCRETE HYDRO POLE	
CPL	CONCRETE PLANTER	
CLS	CONCRETE LIGHT STANDARD	
FF	FINISHED FLOOR ELEVATION	
FI	FIRE HYDRANT	
GV	GAS VALVE	
HW	HAND WELL	
HWH	HYDRO MANHOLE	
MH	MANHOLE	
MLS	METAL LIGHT STANDARD	
MP	METAL POLE	
O/H	OVERHEAD	
PM	PARKING METER	
SMH	SEWER MANHOLE	
SIA	SIAMSESE CONNECTION	
WMH	WATER MANHOLE	
WV	WATER VALVE	
WHP	WOODEN HYDRO POLE	
○	DECIDUOUS TREE	
★	CONIFEROUS TREE	
■	CONCRETE	
■	CONCRETE STONE	
■	GRAVEL	

SURVEYOR'S CERTIFICATE

I CERTIFY THAT :
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT,
THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON JUNE 29, 2020

DATE : JULY 2, 2020

SPEIGHT, VAN NOSTRAND & GIBSON LIMITED
ONTARIO LAND SURVEYORS
750 OAKDALE ROAD, Units 65 & 66
TORONTO, ONTARIO M3N 2Z4
TEL: 416 749-5VNG(7864) FAX 416 749-7866
E-MAIL: toronto@svng.on.ca

DRAWN : M. M. FILE NAME : A2000128.DWG
CHECKED : L. R. PLOT SCALE : MET. 1=0.15
JOB No. : 200-0128 PLOTTED :
REF. No. : UPDATED :

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
2127602

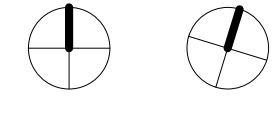
THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
In accordance with
Regulation 1026, Section 29(3)

Copyright is that of the Architect.
Any use of this drawing reproduced by any means from any media
without prior written approval of the Architect is strictly
prohibited.
The Architect will not be liable for any loss or damage of information
resulting from subsequent reproduction of the original drawing.

DISCLAIMER:
1. Consultant will not be liable. Contractor will verify all existing
conditions and dimensions reported by the owner and will report
any discrepancy with the Consultant to the Architect before
commencing work.
2. The Architect's drawings are to be used in conjunction with all other
Contract Documents including the Project Manual and the Schedule
of Values. Mechanical and Electrical drawings in cases of difference between the
Contract Documents shall prevail in the priority order set out in
work the priority and apply.
3. Mechanical equipment (including mechanical devices, fittings
and fixtures) are indicated on the Mechanical Drawings. Location shown
on the Mechanical drawings and shown on Mechanical and Electrical
drawings. Mechanical and electrical items are shown located and
located as indicated by the architect.
4. Dimensions indicated on drawings between the faces of finished surfaces,
unless otherwise noted.
5. The architect has not been required for supervision of construction and
assumes no responsibility for means, methods and techniques of
construction.
6. These drawings are not to be used for construction unless specifically
noted for such purpose.

KPMB Architects
351 King St E, Suite 1200
Toronto, ON, Canada M5X 0L6
416.977.5104

GWL Realty Advisors
200 University

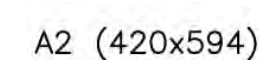


Project North True North

Project No. : 2018
Scale :
Plot Date : 30/05/2022

SURVEY

A0.01



SITE SURVEY PREPARED BY SPEIGHT VAN NOSTRAND & GIBSON LIMITED

A0.02

200 UNIVERSITY: STATISTICAL SUMMARY			
1. Legal Address	200 UNIVERSITY AVENUE, TORONTO, ON, M5H 3C6		
2. Municipal Address	200 UNIVERSITY AVENUE, TORONTO, ON, M5H 3C6		
3. Applicable Zoning By-Laws	City of Toronto Zoning By-Law No. 569-2013 as amended		
4. Zoning Designation	CR 12.0 (c8.0; r11.7) S51 (x2333)		
5. Sustainability Target	TGS TIER 1		
6. Lot Area (ft ² / m ²)	18,905 / 1,754		
7. Total Building GFA (ft ² / m ²)	529,142 / 49,159	Residential GFA (ft ² / m ²)*	527,994 / 49,052
		Non-Residential GFA (ft ² / m ²)*	1,148/ 107
		Residential Density (FSI)	27.9
8. Total Building Density (FSI)	28.0	Non-Residential Density (FSI)	0.1
9. Lot Coverage (ft ² / m ²)	15,014 / 1,395		
10. Average Grade (Per ZBL 569-2013)	Geodetic el. 88.51		
11. Top of Elevator Machine Room (m / geo)	192.2m / 280.7		
	Top of Mechanical Penthouse (m / geo)		
	Datum of Helicopter Flight Path at Lowest Intersection With Building (m / geo)		
	Top of Building At Lowest Intersection With Flight Path Location (m / geo)		
12. Total Number of Residential Units	26,695 / 2,480	Provided Indoor Res Amenity (ft ² / m ²) At 2.61m ² per unit	17,431 / 1,619
		Provided Outdoor Res Amenity (ft ² / m ²) At 0.46m ² per unit	3,076 / 286
14. Loading Spaces Provided		1 Type "C" @ 3.5m (W) x 6m (L)	
		1 Type "G" @ 4m (W) x 13m (L)	

*Value includes a portion of Common GFA (Refer to the Area Statistics) based on a split of: 1% Retail & 99% Residential



Statistics Template – Toronto Green Standard Version 4.0

Mid to High Rise Residential and all New Non-Residential Development

The Toronto Green Standard Version 4.0 Statistics Template is submitted with Site Plan Control Applications and stand-alone Zoning Bylaw Amendment applications. Complete the table and copy it directly onto the Site Plan submitted as part of the application.

For Zoning Bylaw Amendment applications: complete General Project Description and Section 1.
For Site Plan Control applications: complete General Project Description, Section 1 and Section 2.
For further information, please visit www.toronto.ca/greendevlopment

General Project Description	Proposed
Total Gross Floor Area	49,159 m2
Breakdown of project components (m²):	Residential, Retail, and Common (Other)
Residential	49,052 m2
Retail	107 m2
Commercial	N/A
Industrial	N/A
Institutional/Other	N/A
Total number of residential units	620

Section 1: For Stand Alone Zoning Bylaw Amendment Applications and Site Plan Control Applications

Low Emissions Transportation	Required	Proposed	Proposed %
Number of Parking Spaces	427	59	14%
Number of parking spaces with EVSE (residential)	427	59	14%
Number of parking spaces with EVSE (non-residential)	NA	NA	NA

Cycling Infrastructure	Required	Proposed	Proposed %
Number of long-term bicycle parking spaces (all-uses)	621	621	100%
Number of long-term bicycle parking located on:	-	-	-
a) first storey of building	-	-	-
b) second storey of building	-	-	-
c) first level below-ground	558	558	100%
d) second level below-ground	-	-	-
e) other levels below-ground	-	-	-

Cycling Infrastructure	Required	Proposed	Proposed %
Number of short-term bicycle parking spaces	76	76	100%
Number of shower and change facilities (non-residential)	3	3	100%

Tree Canopy	Required	Proposed	Proposed %
Total Soil Volume (40% of the site area ÷ 66 m2 x 30 m³)	319	-	-
Soil volume provided within the site area (m³)	319	-	-
Soil Volume provided within the public boulevard (m³)	N/A	N/A	N/A

AREA STATISTICS

Floor Level	GCA	GFA	GFA (OFFICE)	EXISTING GFA (OFFICE)	GFA (RETAIL)	EXISTING GFA (RETAIL)	GFA (COMMON)	GFA (RESIDENTIAL)
-------------	-----	-----	--------------	-----------------------	--------------	-----------------------	--------------	-------------------

Units:	ft ²	m ²	ft ²	m ²	ft ²	m ²	ft ²	m ²	ft ²	m ²	ft ²	m ²	ft ²	m ²	ft ²	m ²
Elevator	1,017	94	0	0	0	0			0	0			0	0	0	0
Mech.	10,741	998	0	0	0	0			0	0			0	0	0	0
53	10,150	943	9,450	878	0	0			0	0			0	0	9,450	878
52	10,150	943	9,450	878	0	0			0	0			0	0	9,450	878
51	10,150	943	9,450	878	0	0			0	0			0	0	9,450	878
50	10,150	943	9,450	878	0	0			0	0			0	0	9,450	878
49	10,150	943	9,450	878	0	0			0	0			0	0	9,450	878
48	10,150	943	9,450	878	0	0			0	0			0	0	9,450	878
47	10,150	943	9,450	878	0	0			0	0			0	0	9,450	878
46	10,150	943	9,450	878	0	0			0	0			0	0	9,450	878
45	11,477	1,066	10,762	1,000	0	0			0	0			0	0	10,762	1,000
44	11,477	1,066	10,762	1,000	0	0			0	0			0	0	10,762	1,000
43	11,477	1,066	10,762	1,000	0	0			0	0			0	0	10,762	1,000
42	11,477	1,066	10,762	1,000	0	0			0	0			0	0	10,762	1,000
41	11,477	1,066	10,762	1,000	0	0			0	0			0	0	10,762	1,000
40	11,477	1,066	10,762	1,000	0	0			0	0			0	0	10,762	1,000
39	11,477	1,066	10,762	1,000	0	0			0	0			0	0	10,762	1,000
38	11,477	1,066	10,762	1,000	0	0			0	0			0	0	10,762	1,000
37	11,477	1,066	10,762	1,000	0	0			0	0			0	0	10,762	1,000
36	11,477	1,066	10,762	1,000	0	0			0	0			0	0	10,762	1,000
35	11,477	1,066	10,762	1,000	0	0			0	0			0	0	10,762	1,000
34	11,477	1,066	10,762	1,000	0	0			0	0			0	0	10,762	1,000
33	11,477	1,066	10,762	1,000	0	0			0	0			0	0	10,762	1,000
32	11,477	1,066	10,762	1,000	0	0			0	0			0	0	10,762	1,000
31	11,477	1,066	10,762	1,000	0	0			0	0			0	0	10,762	1,000
30	11,477	1,066	10,762	1,000	0	0			0	0			0	0	10,762	1,000
29	11,477	1,066	10,762	1,000	0	0			0	0			0	0	10,762	1,000
28	11,477	1,066	10,762	1,000	0	0			0	0			0	0	10,762	1,000
27	11,477	1,066	10,762	1,000	0	0			0	0			0	0	10,762	1,000
26	11,477	1,066	10,762	1,000	0	0			0	0			0	0	10,762	1,000
25	11,477	1,066	10,762	1,000	0	0			0	0			0	0	10,762	1,000
24	11,477	1,066	10,762	1,000	0	0			0	0			0	0	10,762	1,000
23	11,477	1,066	10,762	1,000	0	0			0	0			0	0	10,762	1,000
22	11,477	1,066	10,762	1,000	0	0			0	0			0	0	10,762	1,000
21	11,477	1,066	10,762	1,000	0	0			0	0			0	0	10,762	1,000
20	11,477	1,066	10,762	1,000	0	0			0	0			0	0	10,762	1,000
19	9,818	912	8,925	829	0	0			0	0			0	0	8,925	829
18	11,933	1,109	8,925	829	0	0			0	0			0	0	8,925	829
17	2,486	231	0	0	0	0			0	0			0	0	0	0
Roof	0	0	0	0	0	0	0	0	0	0			0	0	0	0
16	4,210	391	0	0	0	0	0	0	0	0			0	0	0	0
15	6,922	643	0	0	0	0	0	0	0	0			0	0	0	0
14	8,699	808	7,312	679	0	0	7,888	733	0	0			0	0	7,312	679
13	12,515	1,163	11,247	1,045	0	0	11,480	1,067	0	0			0	0	11,247	1,045
12	12,515	1,163	11,509	1,069	0	0	11,480	1,067	0	0			0	0	11,509	1,069
11	12,515	1,163	11,509	1,069	0	0	11,480	1,067	0	0			0	0	11,509	1,069
10	12,515	1,163	11,509	1,069	0	0	11,480	1,067	0	0			0	0	11,509	1,069
9	12,515	1,163	11,509	1,069	0	0	11,480	1,067	0	0			0	0	11,509	1,069
8	12,515	1,163	11,509	1,069	0	0	11,480	1,067	0	0			0	0	11,509	1,069
7	12,515	1,163	11,509	1,069	0	0	11,480	1,067	0	0			0	0	11,509	1,069
6	12,515	1,163	11,509	1,069	0	0	11,480	1,067	0	0			0	0	11,509	1,069
5	12,515	1,163	11,509	1,069	0	0	11,480	1,067	0	0			0	0	11,509	1,069
4	12,515	1,163	11,509	1,069	0	0	11,480	1,067	0	0			0	0	11,509	1,069
3	12,515	1,163	11,509	1,069	0	0	11,480	1,067	0	0			0	0	11,509	1,069
2	12,515	1,163	11,509	1,069	0	0	11,480	1,067	0	0			0	0	11,509	1,069
Mezz.	6,300	585	3,574	332	0	0	1,383	128	0	0			0	0	3,574	332
Ground	11,482	1,067	7,148	664	0	0	4,256	395	1,148	107	5,418	503	0	0	6,000	557
Total:	603,390	56,057	529,142	49,159	0	0	151,287	14,055	1,148	107	5,418	503	0	0	527,994	49,052

BIKE PARKING STATISTICS

OCCUPANCY	TYPE	PROVISION	REQUIRED COUNT	PROVIDED COUNT	LOCATION	NET AREA OCCUPIED
Residential	Long-Term	0.9 / Unit	558	558	B1	/
	Short-Term	0.1 / Unit	62	62	Ground, P1	/
	E-Bike Parking	15% of Long Term Count	84	84	B1	/
Retail	Long Term	0.2/ 100m ²	1	1	B1	/
	Short Term	3 ÷ 0.3/ 100m ²	4	4	Ground	/
Publicly Accessible	Short Term	Proximity to TTC	10	10	Ground	/

CAR PARKING STATISTICS

OCCUPANCY	TYPE	COUNT	LOCATION	NUMBER OF CHARGING STATIONS PROVIDED	PERFORMANCE LEVEL
Residential	Regular	50	P1 - P4	50 / based on 100% required	Level 2
	Accessible	6	P1 - P4	6 / based on 100% required	Level 2
	Small Car	3	P1 - P3	3 / based on 100% required	Level 2
	Motorcycle	42	P1 - P4		
Total:		59 Regular & 42 Motorcycle			

City of Toronto Zoning By-law 569-2013, as amended (Office Consolidation)

Version Date: September 15, 2021

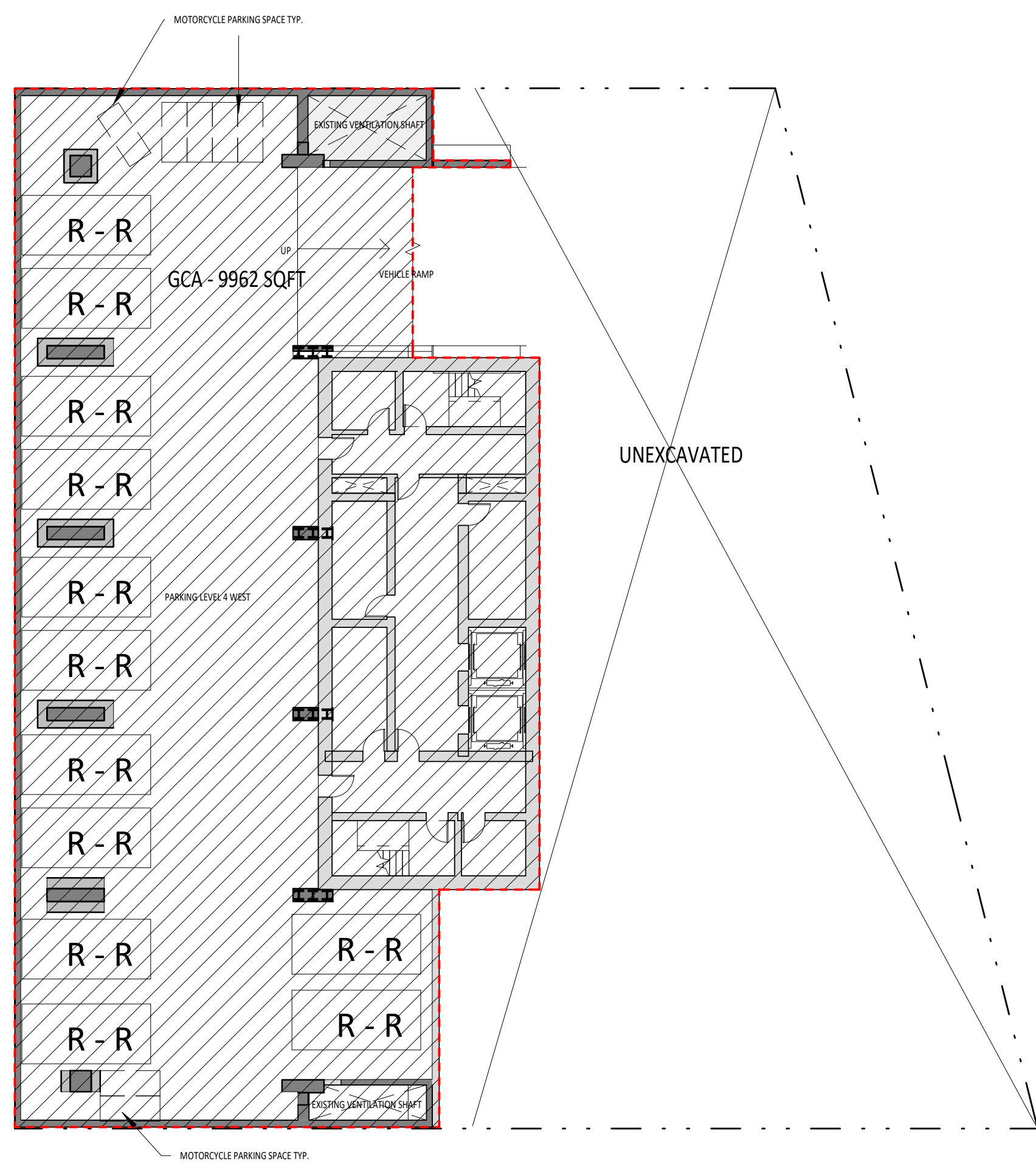
- (3) **Gross Floor Area Calculations for a Mixed Use Building in the Commercial Residential Zone Category**
In the Commercial Residential Zone category the **gross floor area** of a **mixed use building** is reduced by the area in the building used for:
- (A) parking, loading and bicycle parking below-ground;
 - (B) required loading spaces at the ground level and required bicycle parking spaces at or above-ground;
 - (C) storage rooms, washrooms, electrical, utility, mechanical and ventilation rooms in the basement;
 - (D) shower and change facilities required by this By-law for required bicycle parking spaces;
 - (E) **amenity space** required by this By-law;
 - (F) elevator shafts;
 - (G) garbage shafts;
 - (H) mechanical penthouse; and
 - (I) exit stairwells in the building.

Copyright © 2018 of the Architect.
Any use of this drawing reproduced by any means from any media without prior written approval of the Architect is strictly prohibited.
The Architect is not liable for any loss or damage of information resulting from subsequent reproduction of the original drawing.

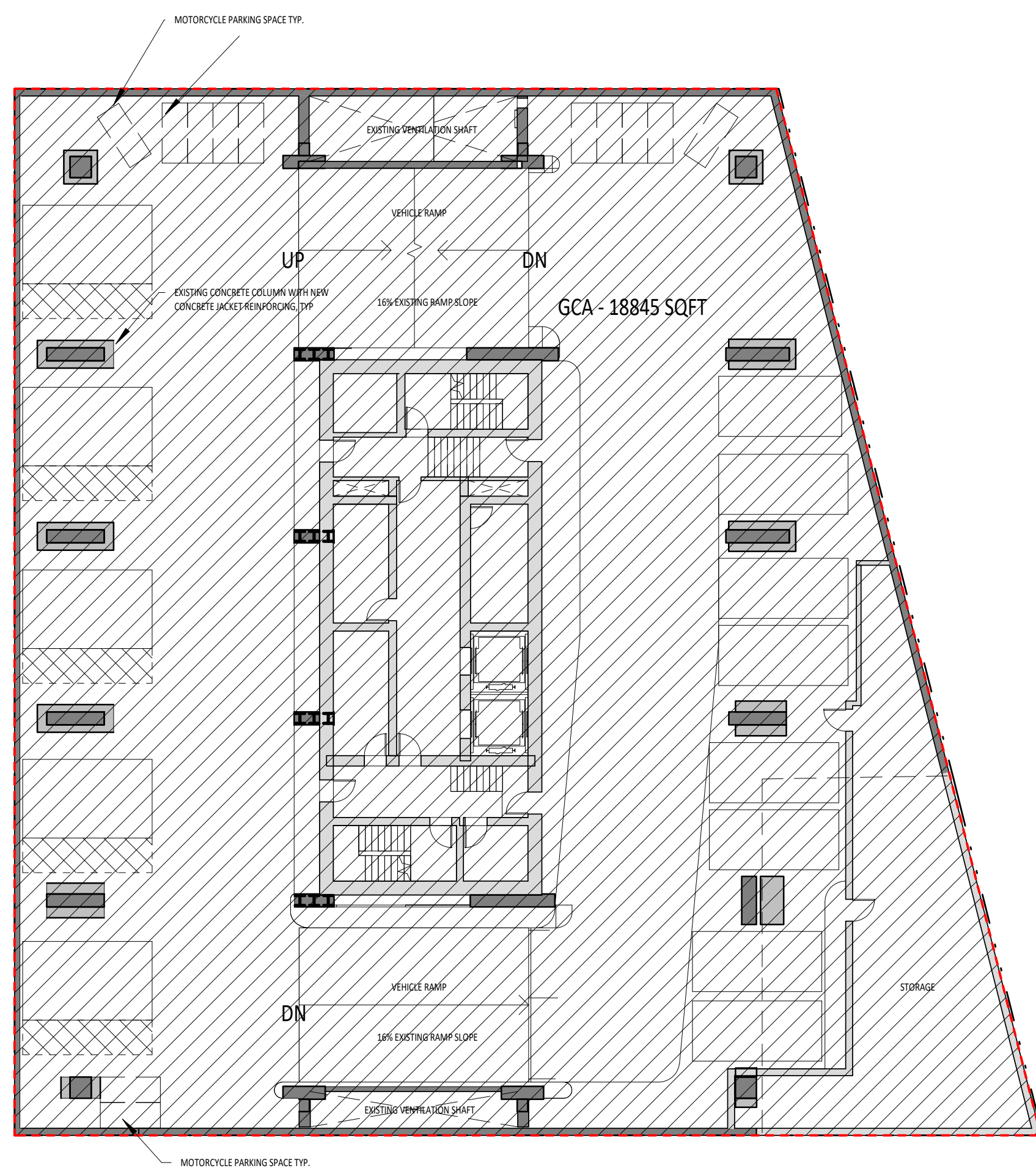
DISCLAIMER:
1. General contract to be issued. Contractor will verify all existing conditions and dimensions required to perform the work and will report any discrepancies with the Contract Documents to the Architect before commencing work.
2. The Architect's drawings are to be used in conjunction with all other Contract Documents including the Project Manual and the Building Mechanical and Electrical drawings. In case of difference between the Contract Documents, the requirements for the quality, safety and scope of work, the project manual apply.
3. The Architect is responsible for the Building Mechanical, Electrical and Plumbing drawings and the Building Mechanical, Electrical and Plumbing drawings are to be used in conjunction with the Building Mechanical and Electrical drawings. In case of difference between the Contract Documents, the requirements for the quality, safety and scope of work, the project manual apply.
4. The Architect is not responsible for the Building Mechanical, Electrical and Plumbing drawings and the Building Mechanical, Electrical and Plumbing drawings are to be used in conjunction with the Building Mechanical and Electrical drawings. In case of difference between the Contract Documents, the requirements for the quality, safety and scope of work, the project manual apply.
5. The Architect has not been required for supervision of construction and assumes no responsibility for means, methods and techniques of construction.
6. These documents are not to be used for construction unless specifically stated to the contrary.

1. (01/21

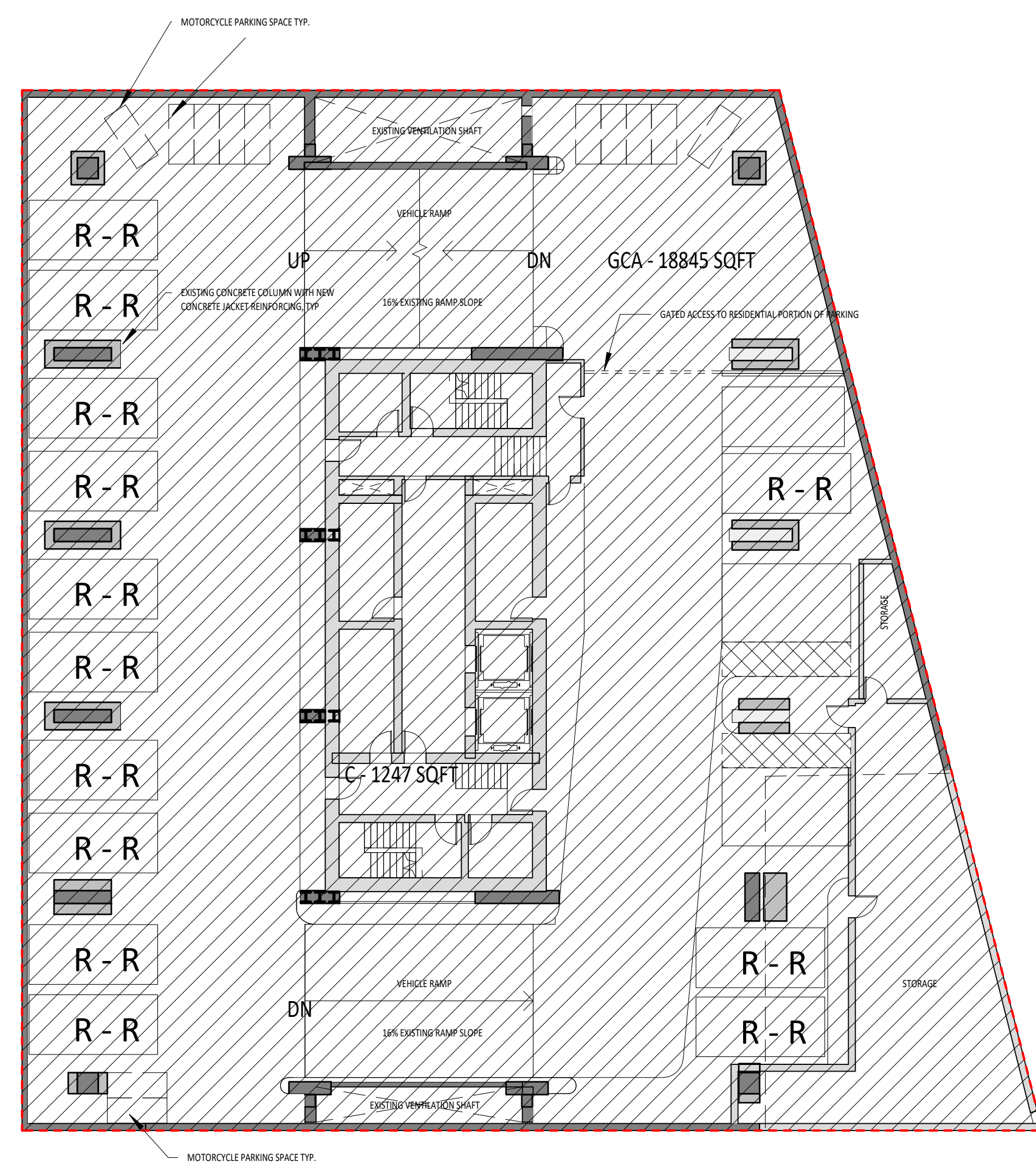
GCA GFA - RESIDENTIAL GFA - RETAIL



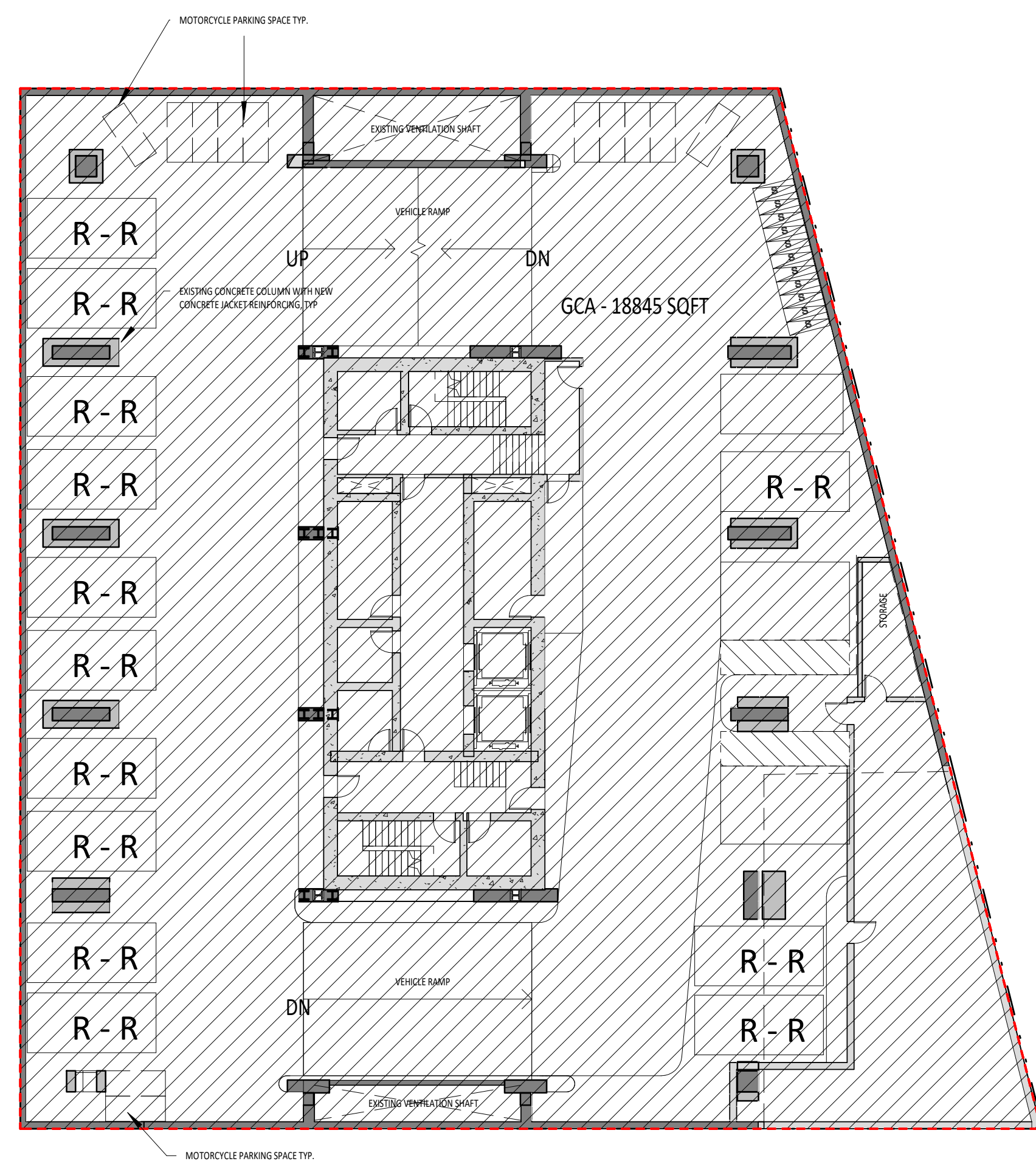
1 AREA - Parking 4
A0.04 1:200



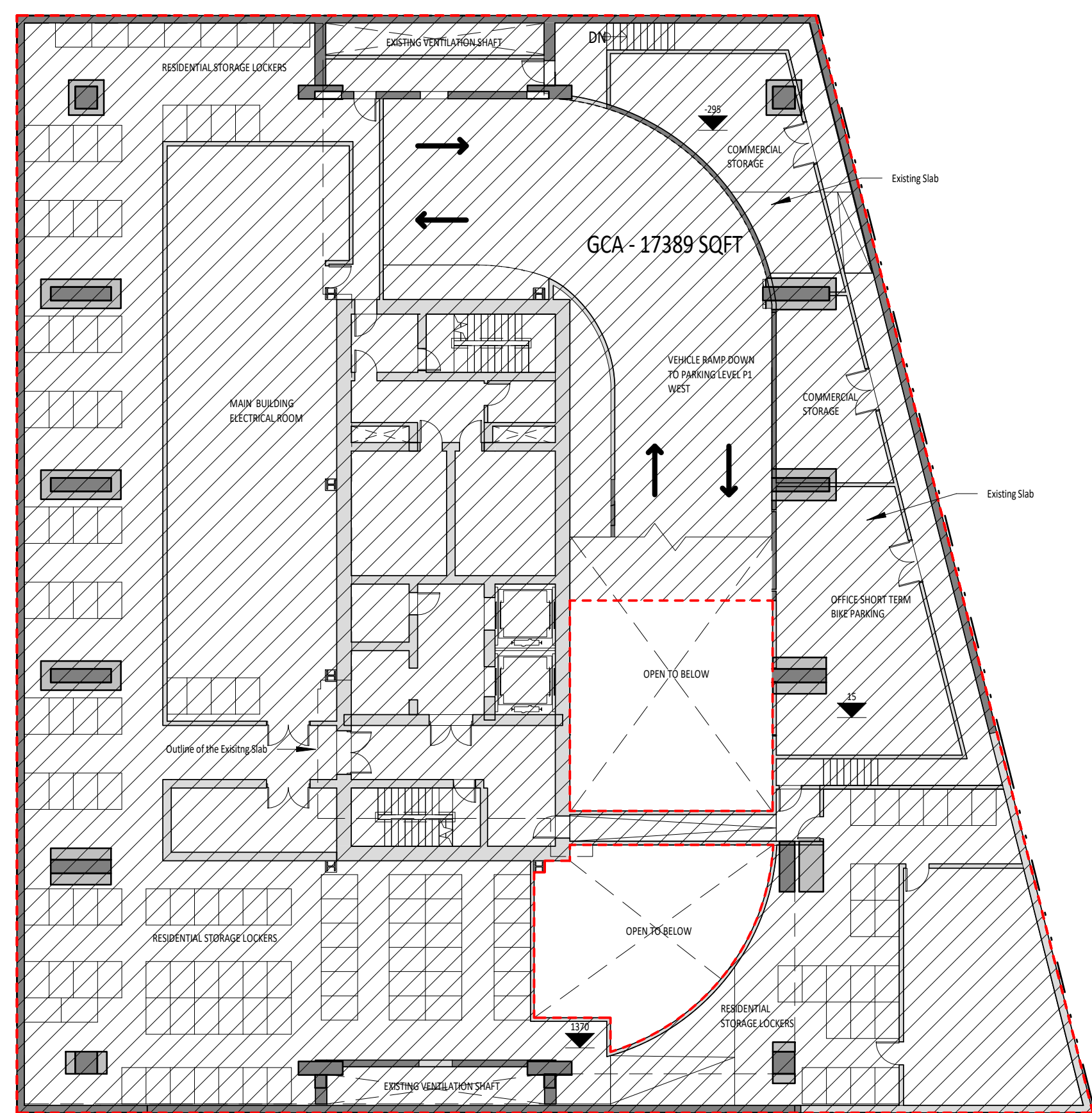
2 AREA - Parking 3
A0.04 1:200



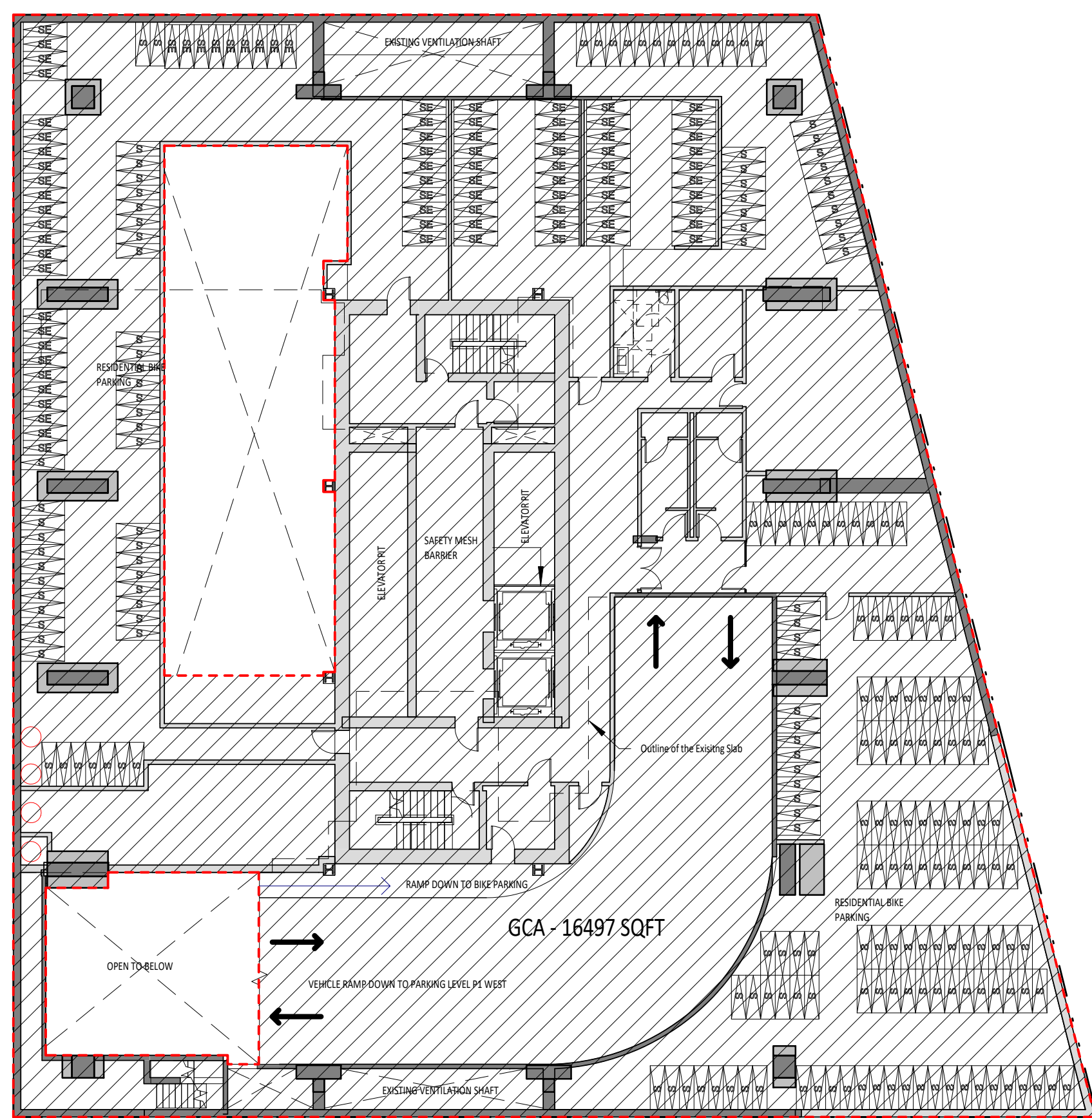
3 AREA - Parking 2
A0.04 1:200



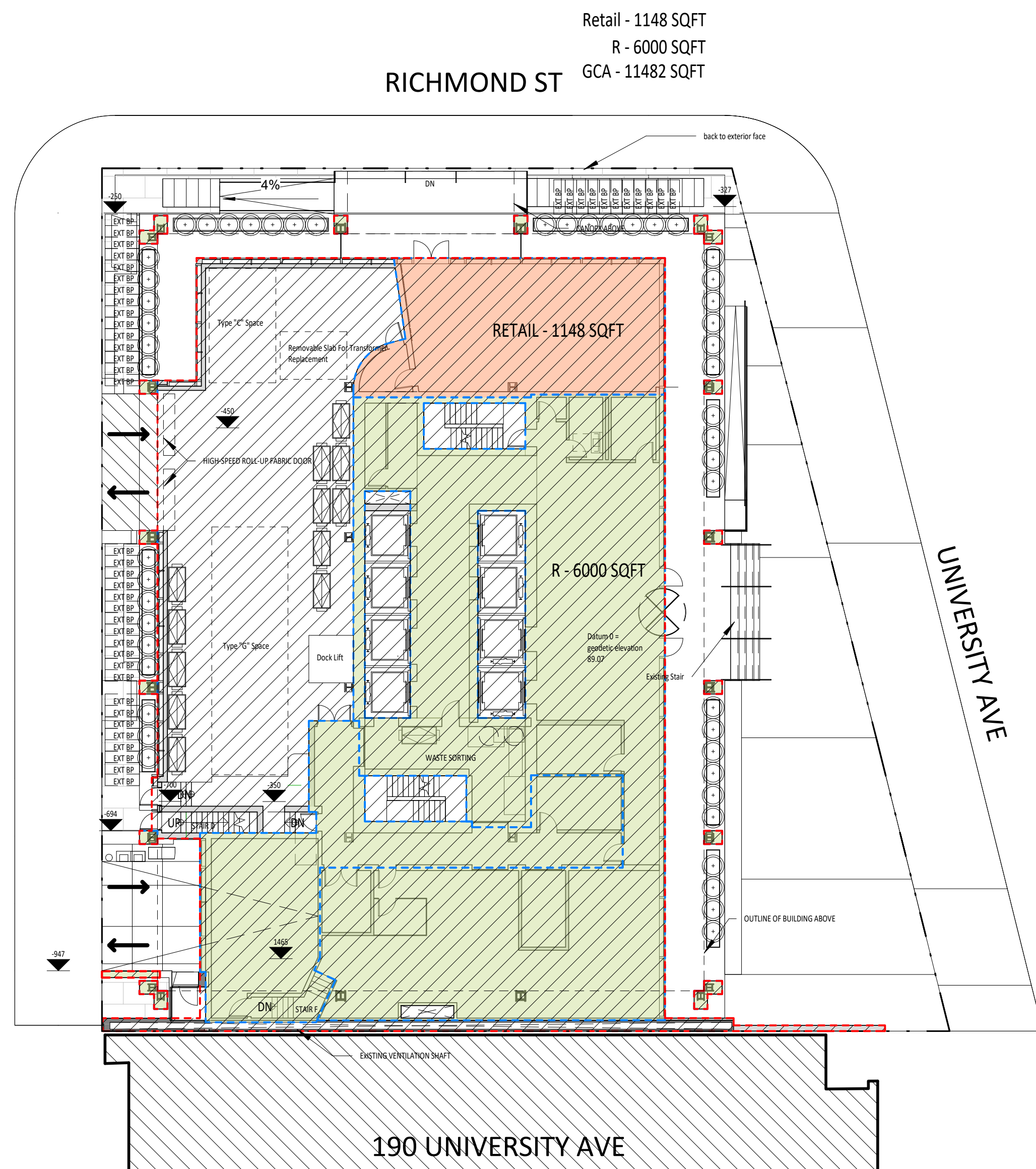
4 AREA - Parking 1
A0.04 1:200



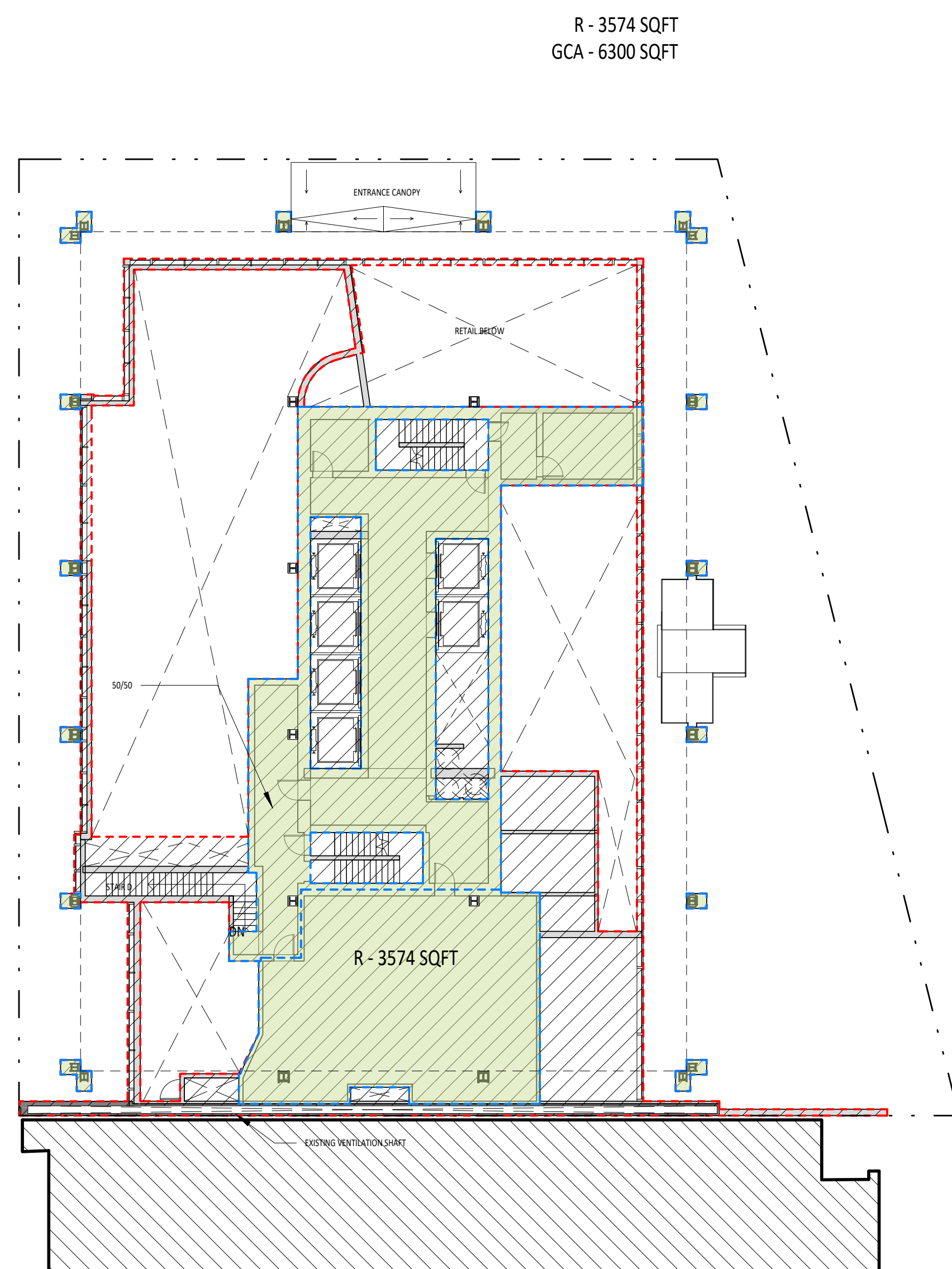
5 AREA - Level B2
A0.04 1:200



6 AREA - Level B1
A0.04 1:200



7 AREA - Ground Floor
A0.04 1:200



8 AREA - Ground Floor Mezzanine
A0.04 1:200

Copyright © 2018 of the Architect.
Any use of this drawing is prohibited by any means from any media without prior written approval of the Architect to be used for information only.
The Architect is not liable for any loss or damage of information resulting from subsequent reproduction of the original drawing.

GENERAL NOTES:

1. General notes are to be read. Contractor will verify all existing conditions and dimensions required to perform the work and will report any discrepancies with the General Notes to the Architect before commencing work.
2. The Architect's Drawings are to be read in conjunction with all other Contract Documents including the Project Manual and the General Notes, Specifications and Technical Drawings. In case of difference between the Contract Documents, the order of priority shall be: Project Manual, Specifications and Technical Drawings, General Notes and General Notes.
3. Materials of equipment (mechanical, electrical, plumbing, etc.) and fixtures are indicated on the Architect's Drawings. Location, layout, and dimensions of equipment and fixtures are indicated on the Architect's Drawings. Materials and equipment are to be installed as indicated by the Architect.
4. Dimensions indicated on other drawings shall govern the location of building surfaces, unless otherwise noted.
5. The Architect has not been required for supervision of construction and assumes no responsibility for means, methods and techniques of construction.
6. These drawings are not to be used for construction unless specifically noted for such purpose.

1. (01/2018)	DESIGN FOR 3D
2. (01/2018)	DESIGN FOR 3D
3. (01/2018)	DESIGN FOR 3D

KPMB Architects
351 King St E, Suite 1200
Toronto, ON, Canada M5A 0L6
416.977.5104

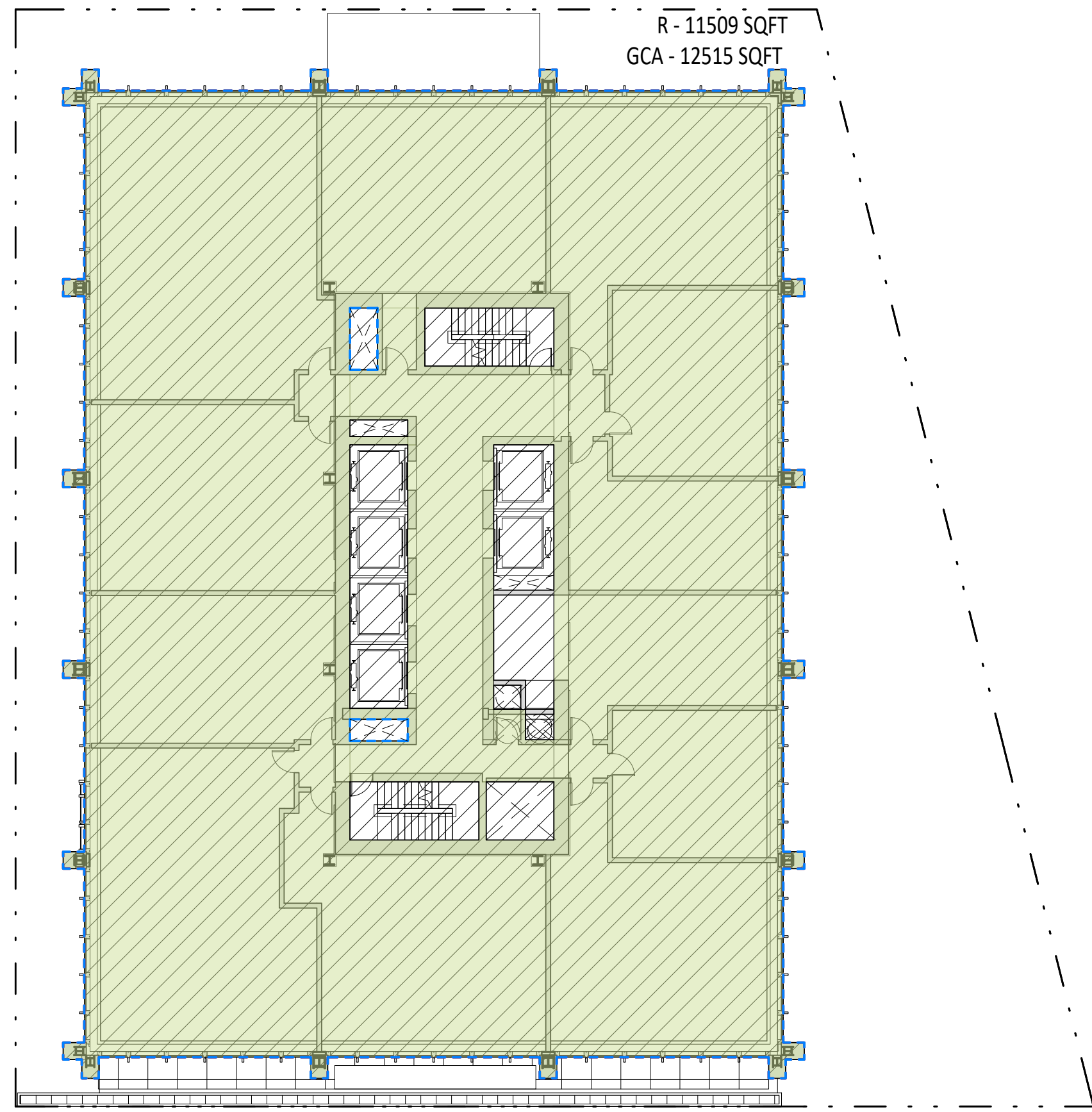
GWL Realty Advisors
200 University

Project No. 2018
Scale As indicated
Plot Date 30/05/2022

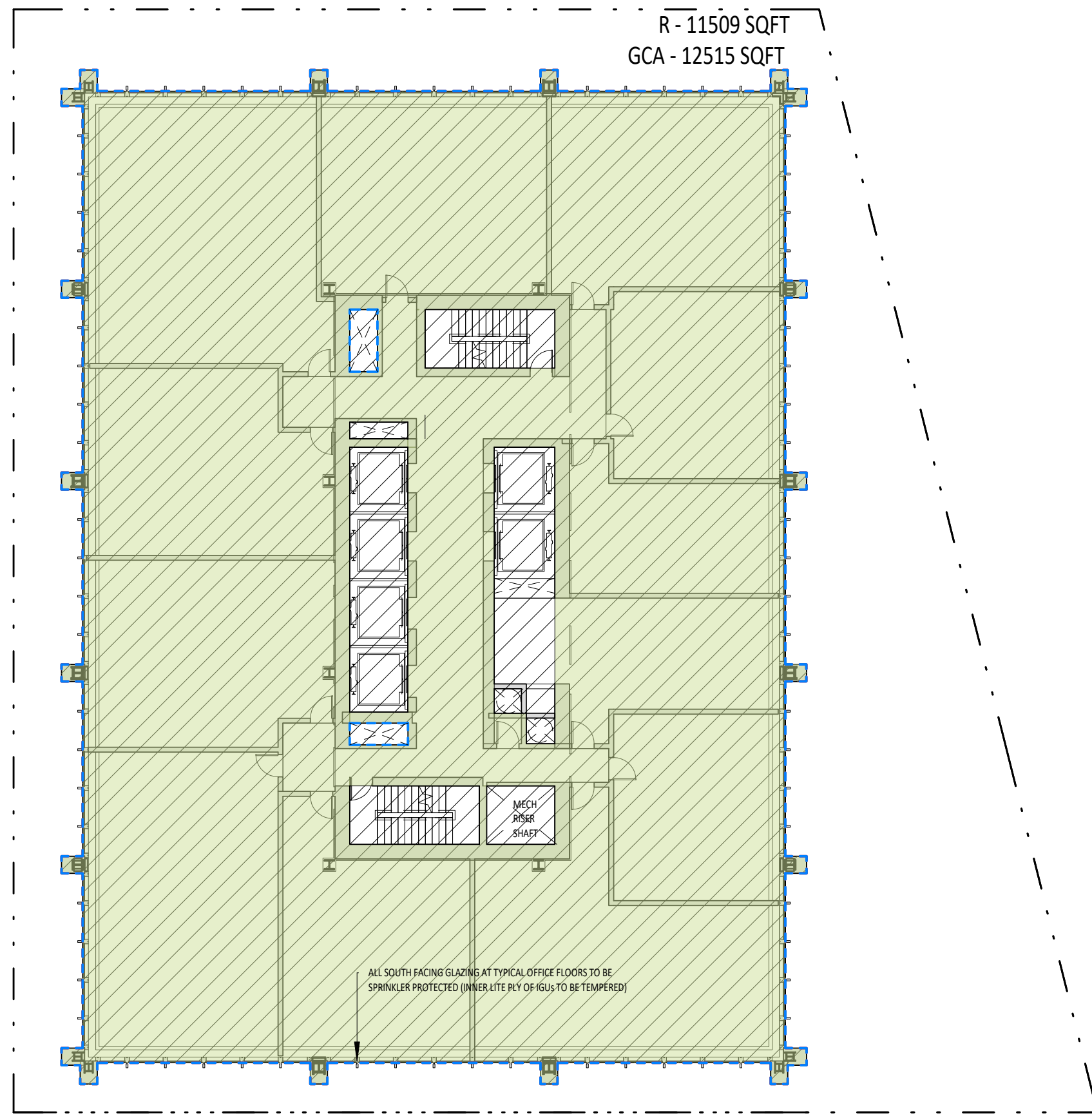
**AREA ATTRIBUTION
PLANS - PROPOSED**

A0.04

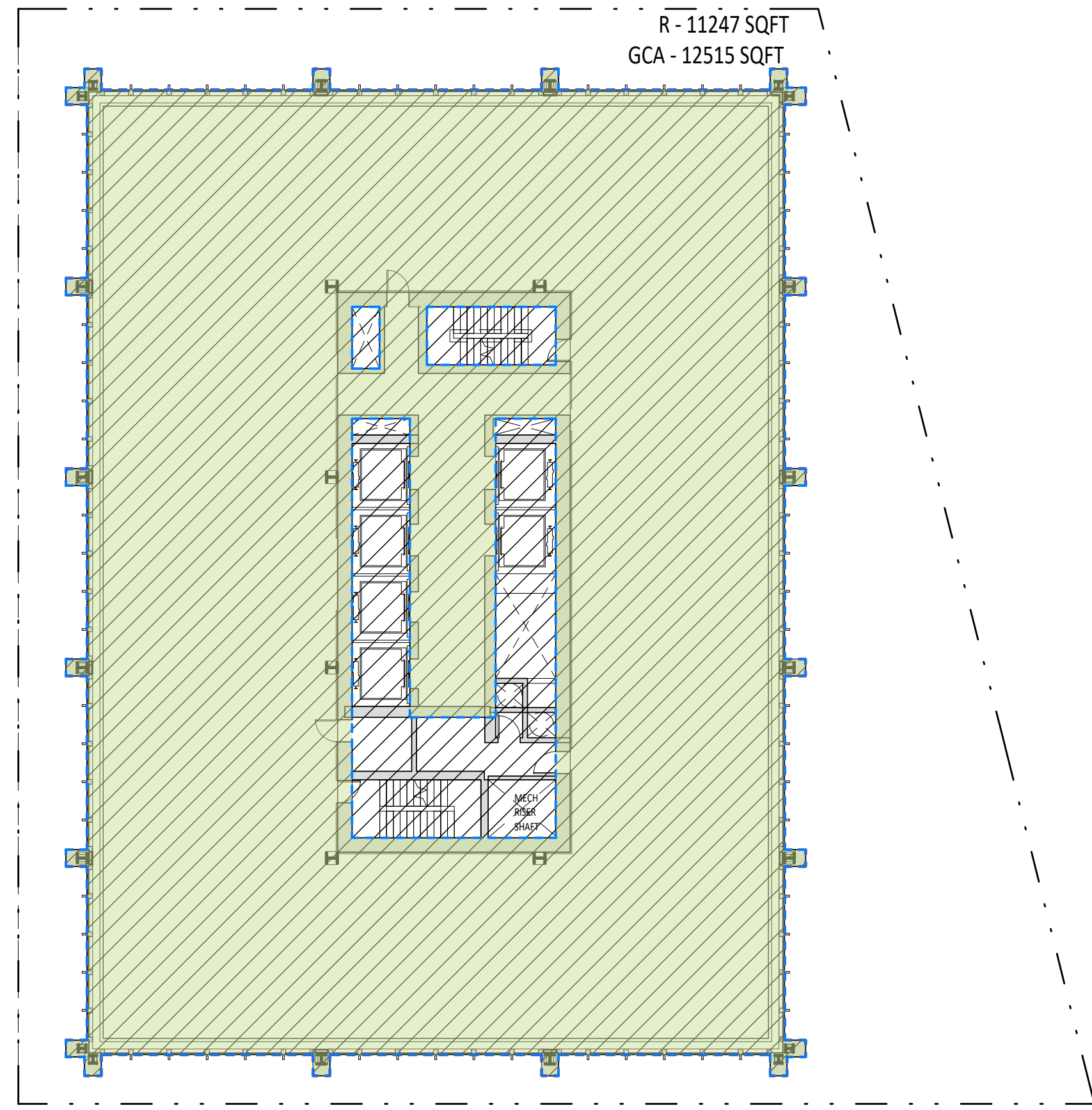
GCA GFA - RESIDENTIAL GFA - RETAIL



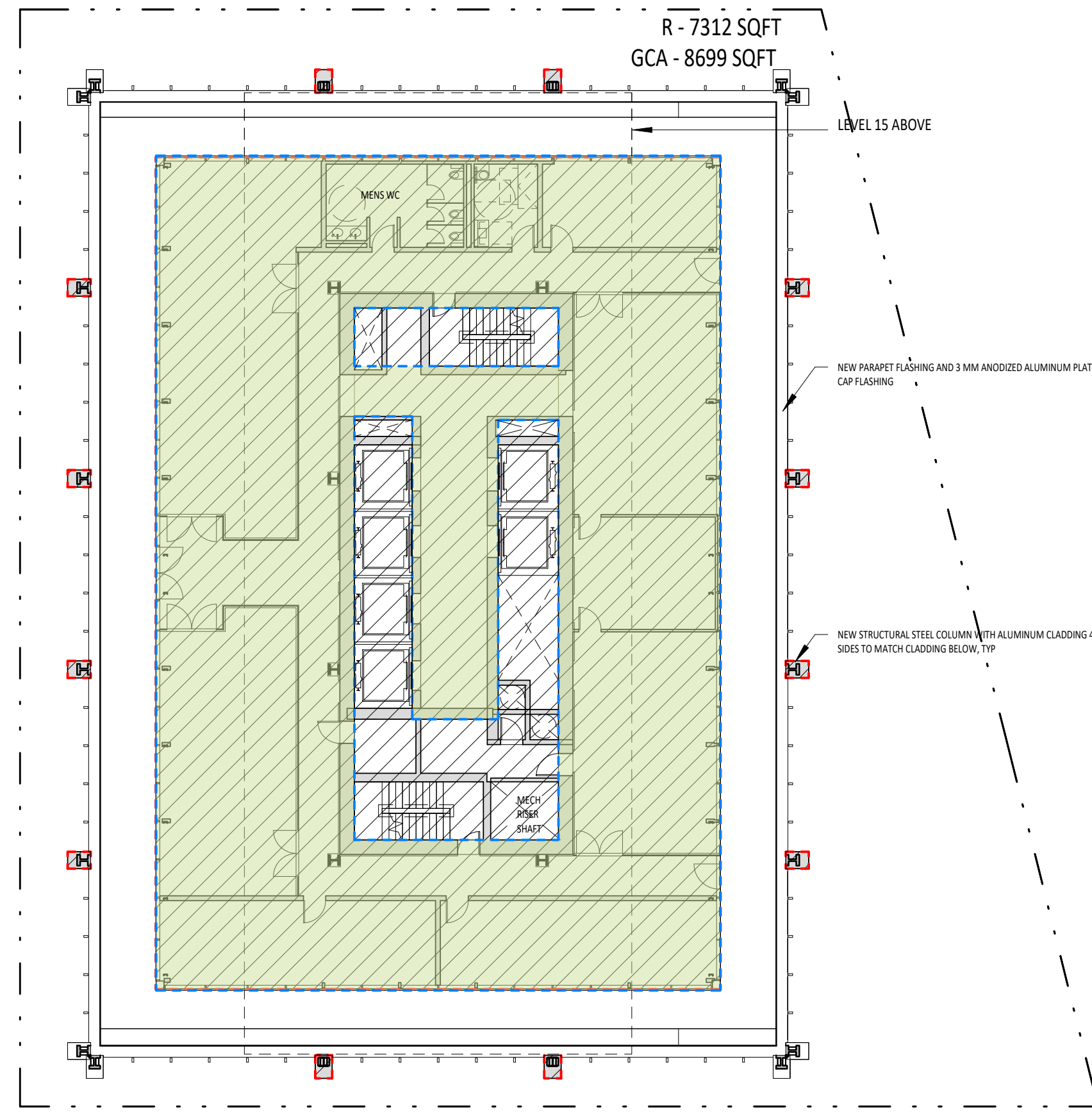
1 AREA Level 02
A0.05 1:200



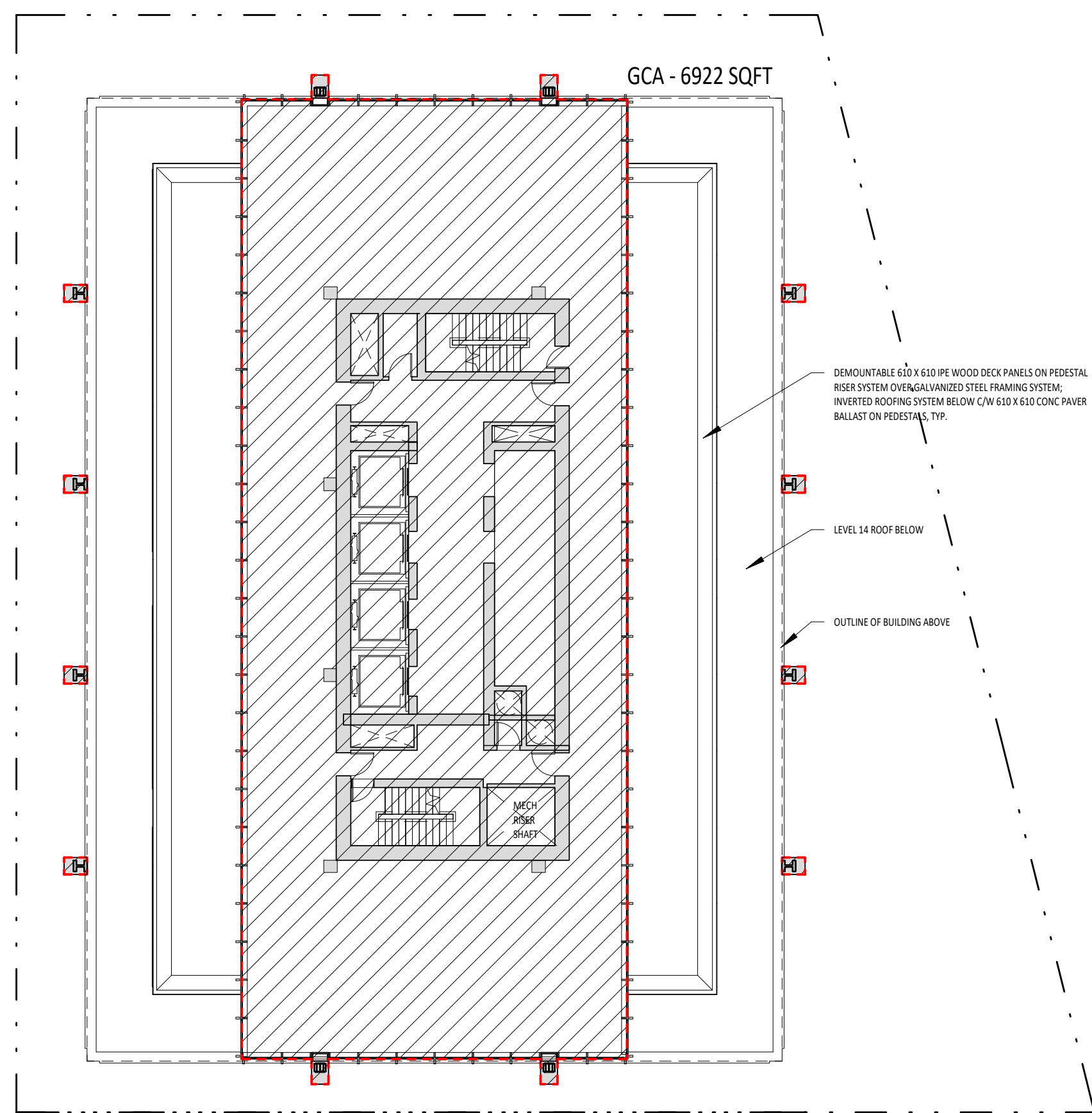
2 AREA - Levels 3 - 12
A0.05 1:200



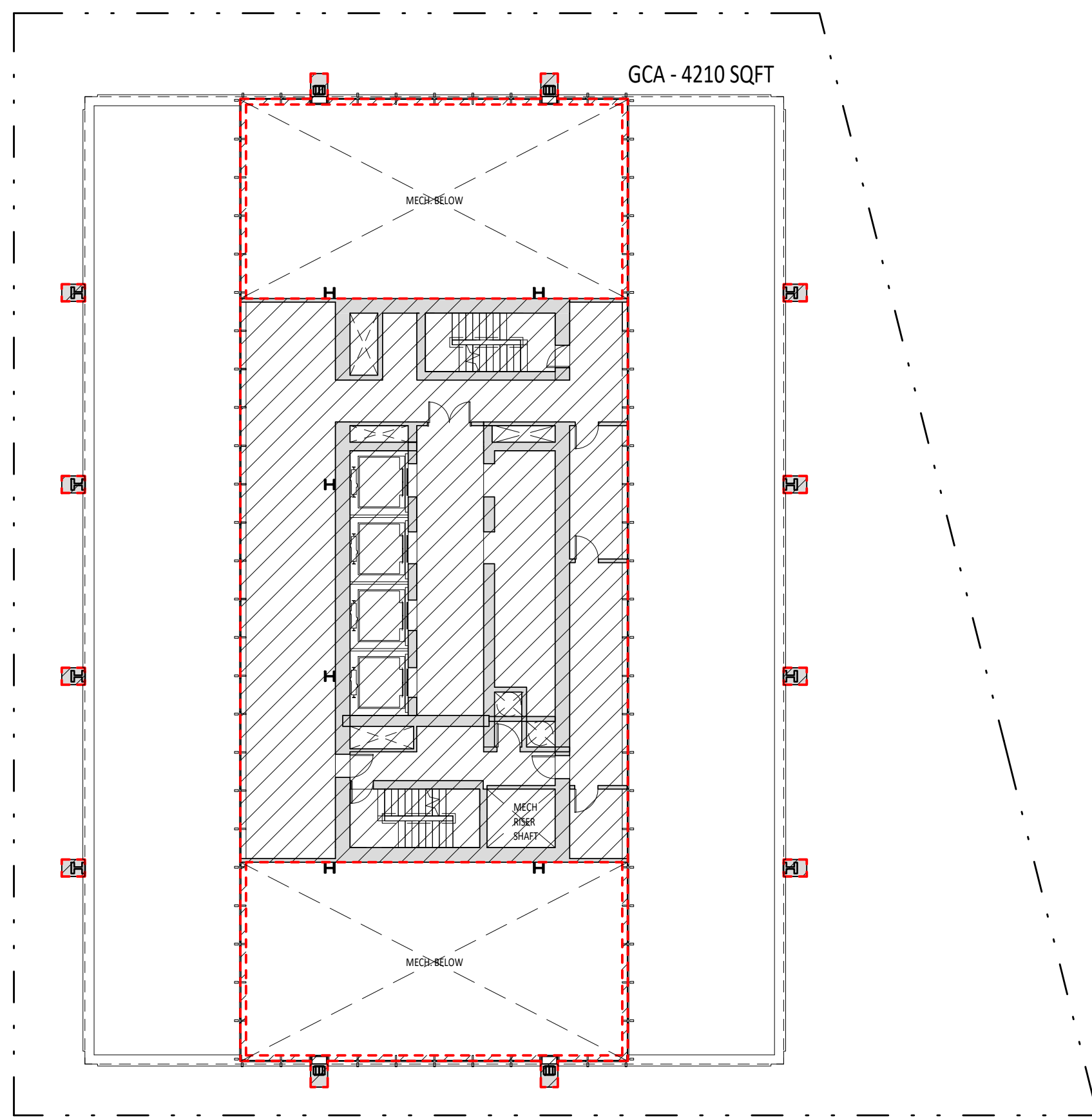
3 AREA - Level 13(AMENITY)
A0.05 1:200



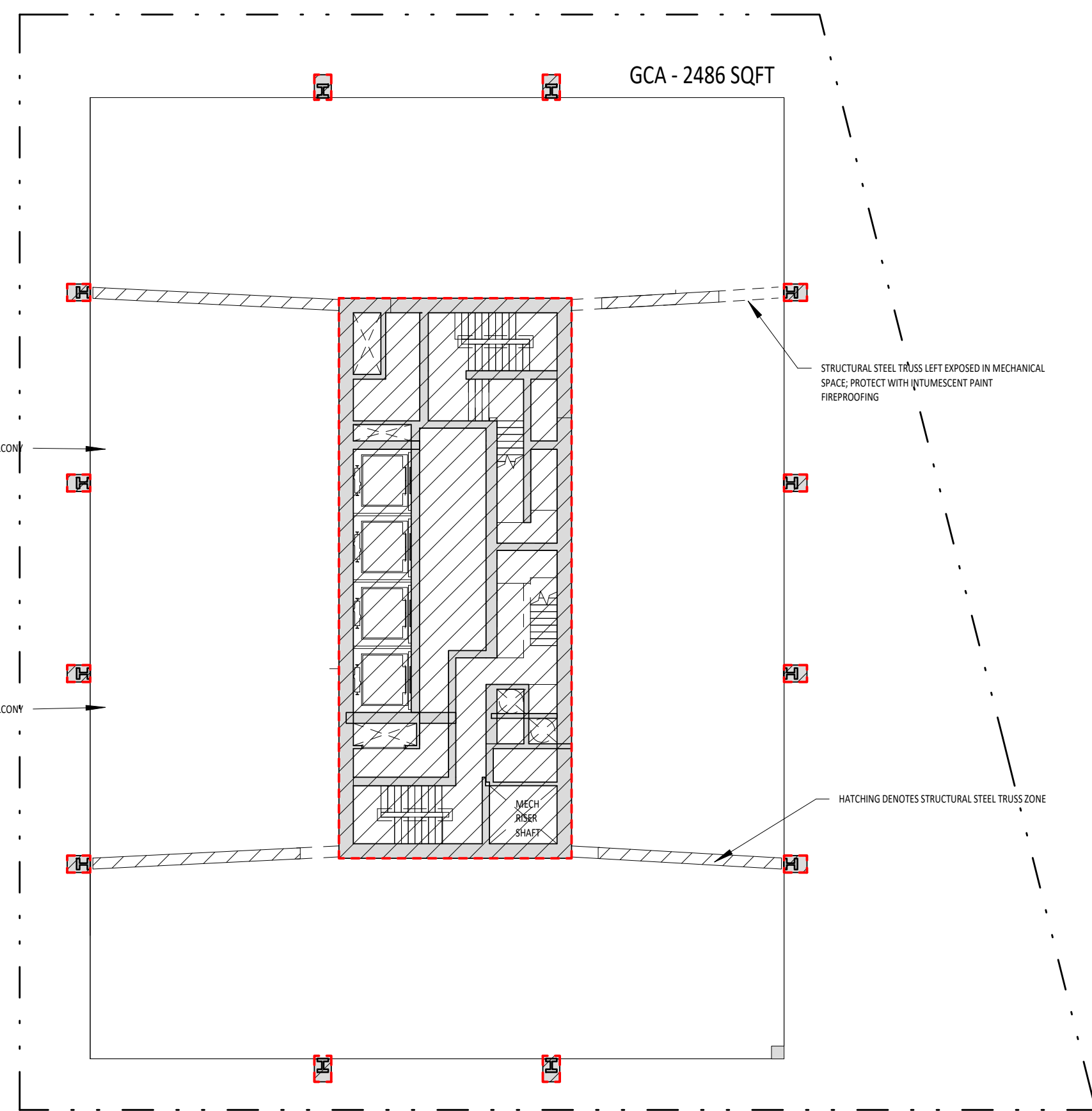
4 AREA - Level 14(AMENITY)
A0.05 1:200



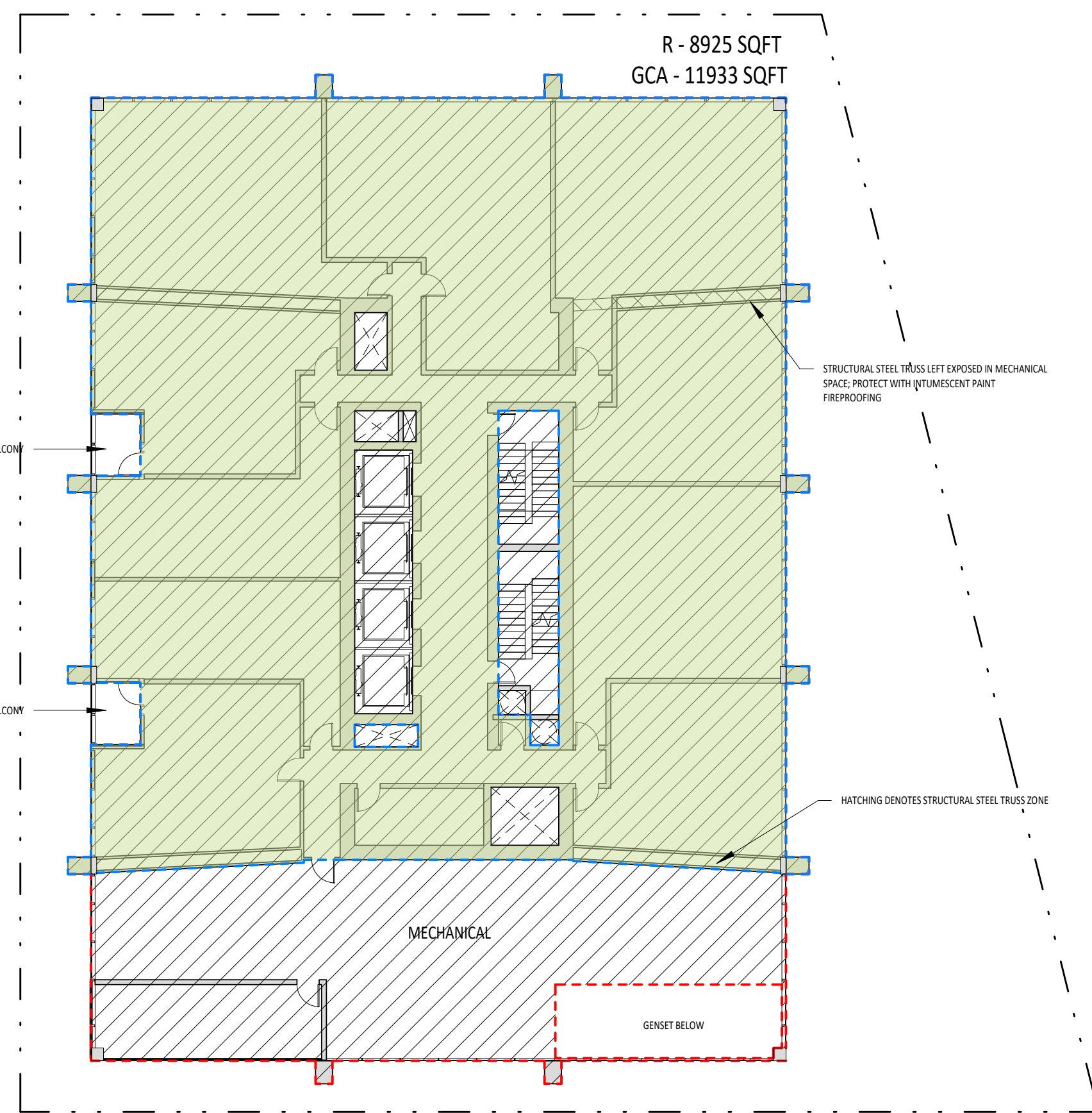
5 AREA - Level 15
A0.05 1:200



6 AREA - Level 16
A0.05 1:200



7 AREA - Level 17
A0.05 1:200



8 AREA - Level 18
A0.05 1:200

Copyright © 2018 by KPMB Architects. All rights reserved. This drawing is the property of KPMB Architects and is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of KPMB Architects. The Architect is not liable for any loss or damage of information resulting from subsequent reproduction of the original drawing.

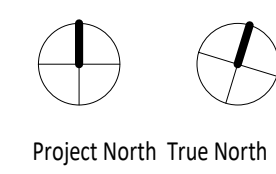
GENERAL NOTES:

1. Contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities and shall report any discrepancies with the Contract Documents to the Architect before commencing work.
2. The Architect's Drawings are to be used in conjunction with all other Contract Documents including the Project Manual and the Structural, Mechanical and Electrical Drawings. In case of any discrepancy between the Contract Documents, the order of priority shall be as follows: a. Work the greater shall apply.
3. Materials of equivalent quality and technical details, fittings and fixtures are indicated on the Architectural Drawings. Location shown on the Structural Drawings and approved by the Architect and Electrical Engineer. Materials and technical details for items indicated are located as directed by the Architect.
4. Dimensions indicated on plans govern over those of finished surfaces, unless otherwise noted.
5. The Architect has not been retained for supervision of construction and assumes no responsibility for means, methods and techniques of construction.
6. These drawings are not to be used for construction unless specifically noted for such purpose.

1.	06/02/2018	DESIGN FOR 3D.
2.	08/05/2018	DESIGN FOR 3D.
3.	08/05/2018	DESIGN FOR 3D.

KPMB Architects
351 King St E, Suite 1200
Toronto, ON, Canada M5A 0L6
416.977.5104

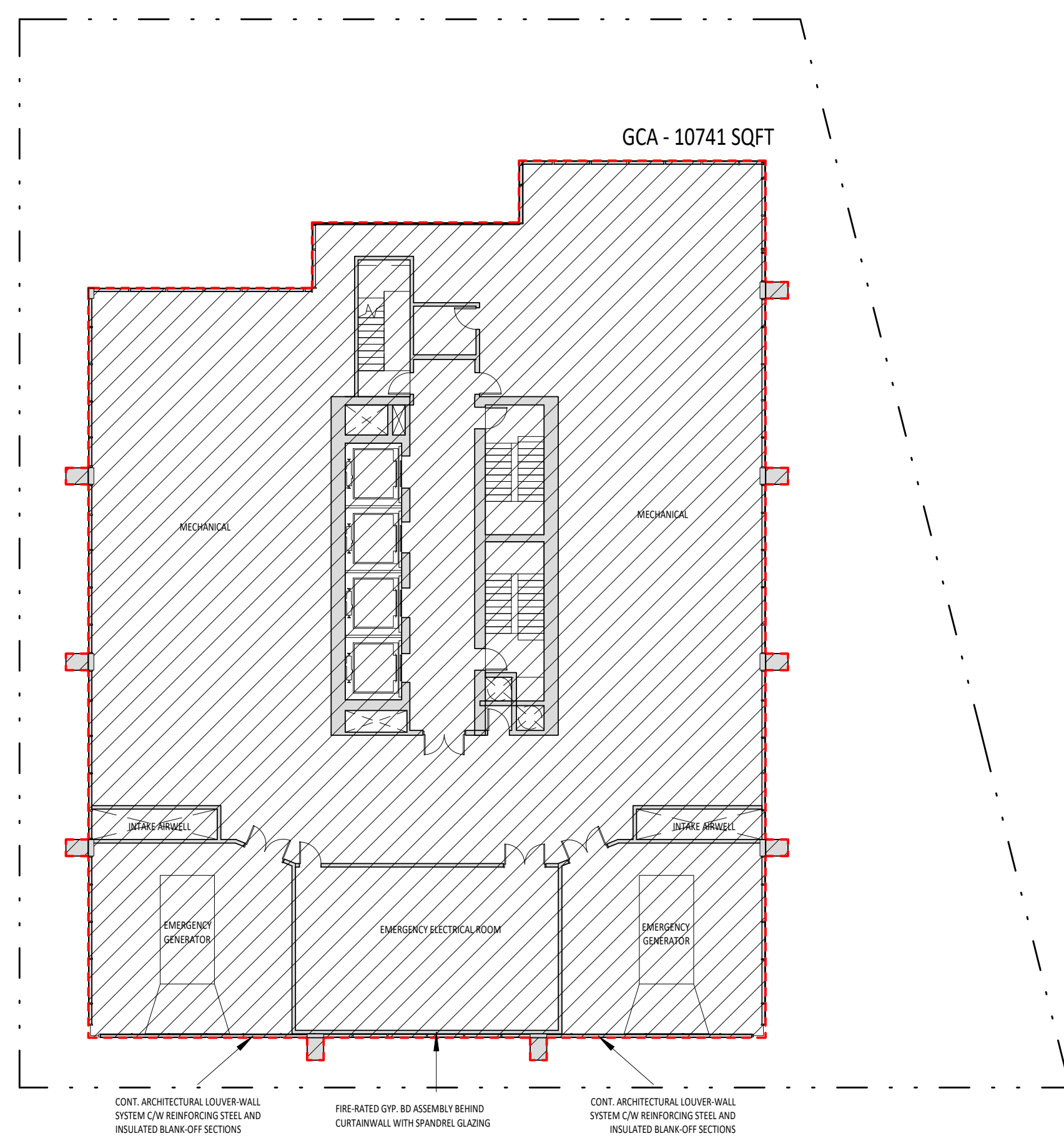
GWL Realty Advisors
200 University



Project No. 2018
Scale As indicated
Plot Date 30/05/2022

AREA ATTRIBUTION
PLANS - PROPOSED

A0.05



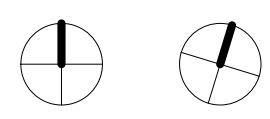
3 AREA - Level 54 - Mechanical Penthouse
A0.06 1:200



3	05/21/2024	ISSUED FOR ZBA
2	30/05/2022	ISSUED FOR ZBA
0	05/03/2021	ISSUED FOR SON SCHEMATIC DESIGN

KPMB Architects
351 King St E, Suite 1200
Toronto, ON, Canada M5A 0L6
416.977.5104

GWL Realty Advisors
200 University



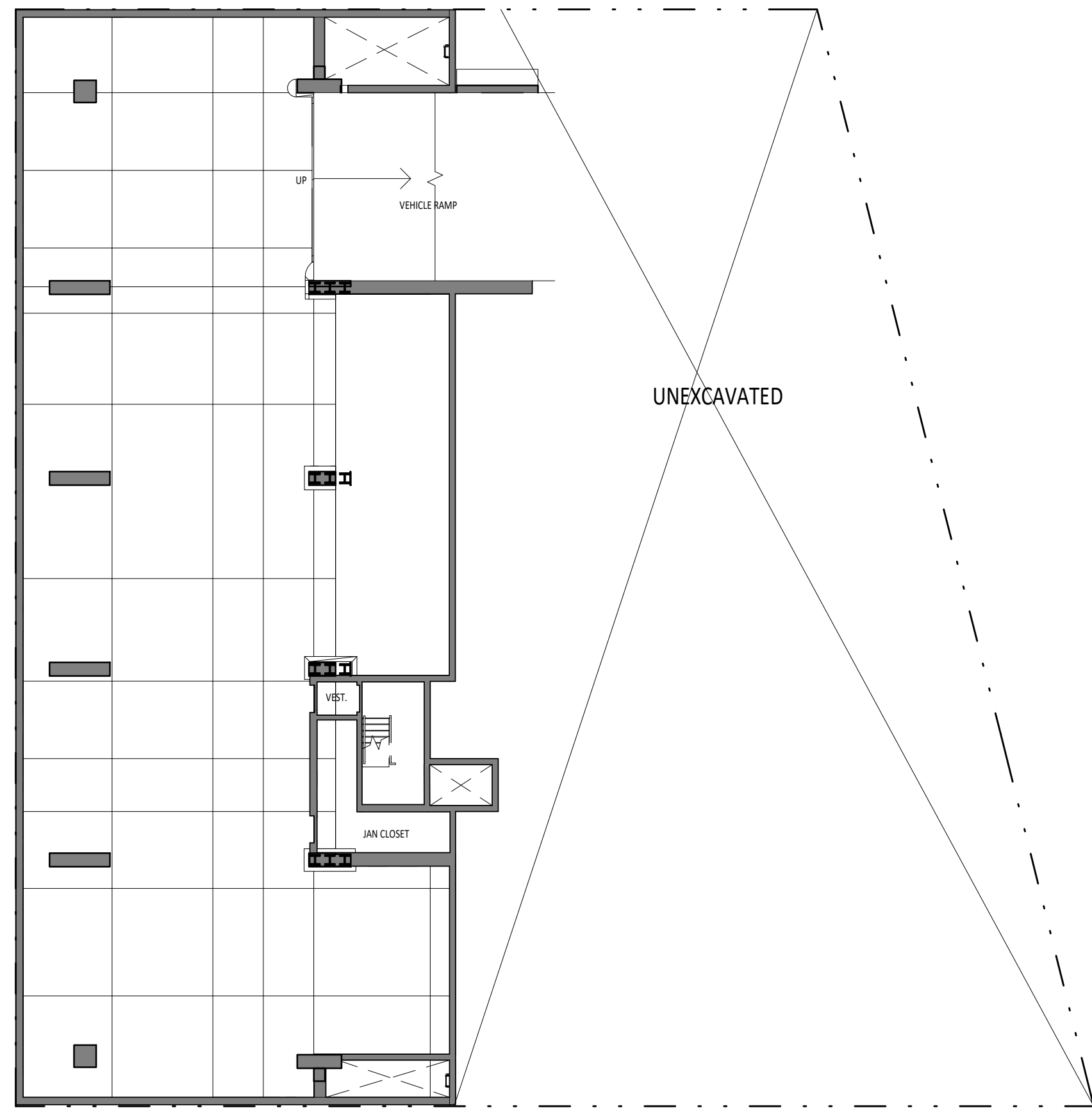
Project North True North

Project No.	2018
Scale	As Indicated
Plot Date	30/05/2022

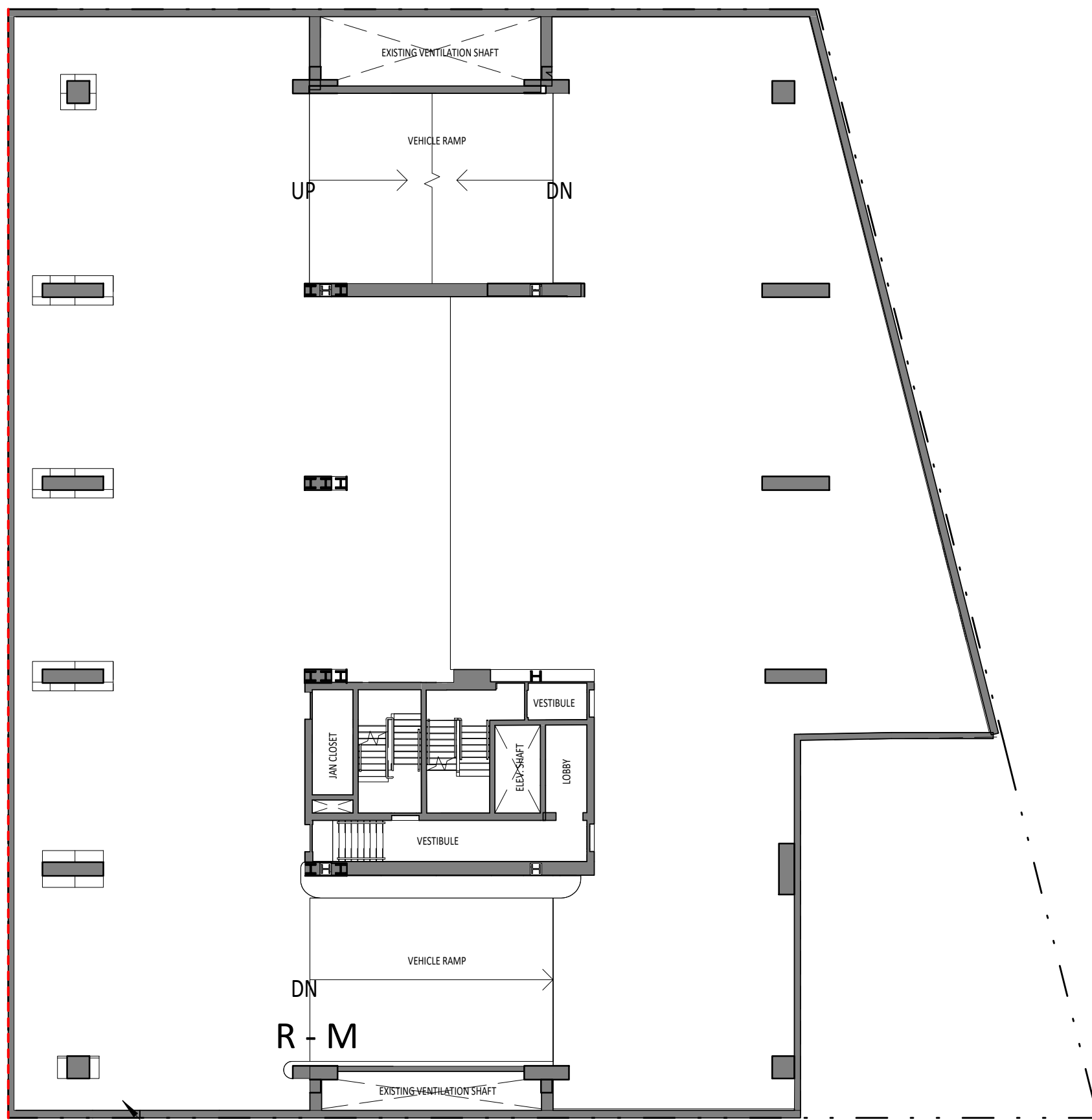
AREA ATTRIBUTION PLANS - PROPOSED

A0.06

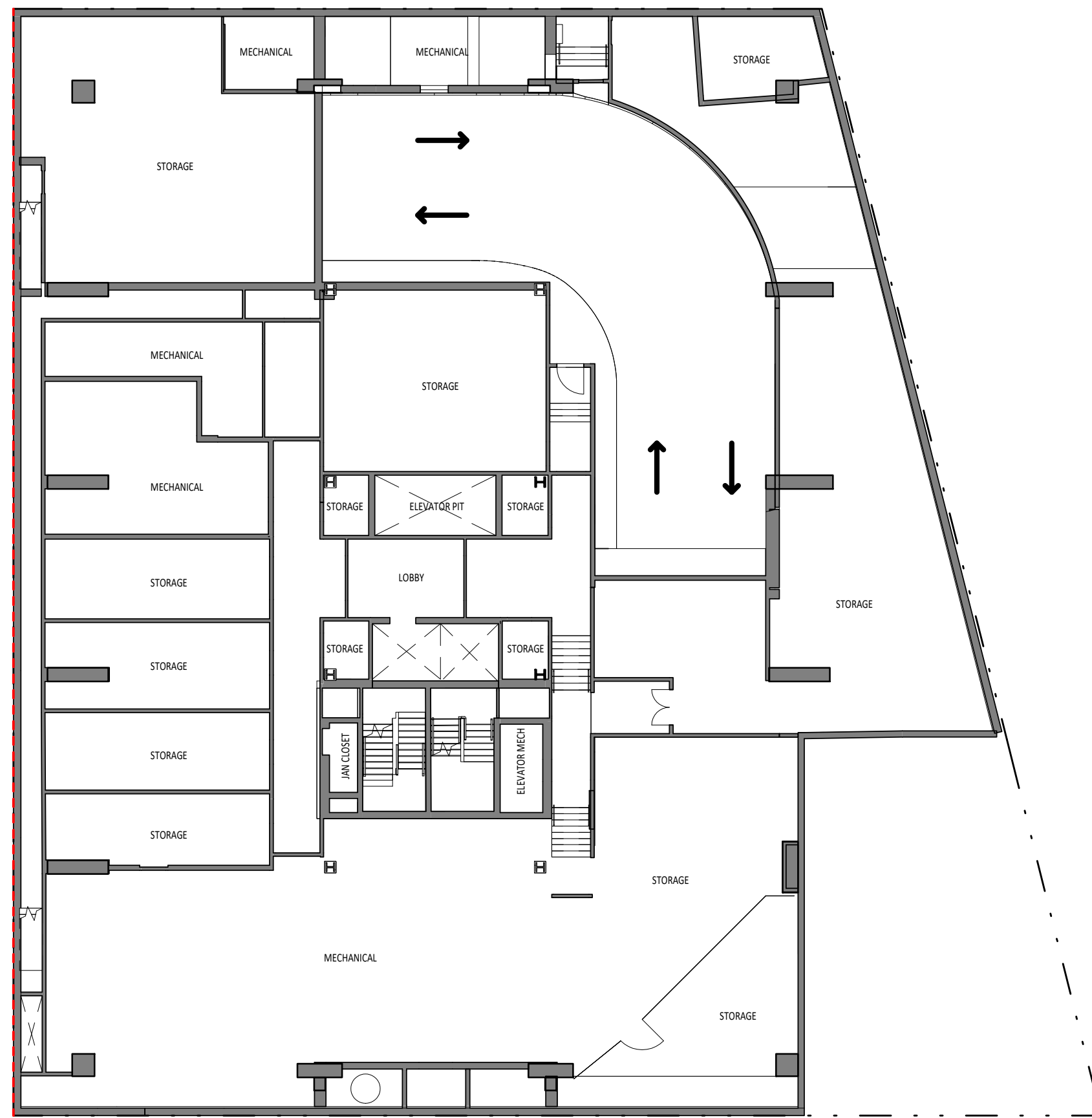
GCA GFA - OFFICE GFA - RESIDENTIAL GFA - RETAIL



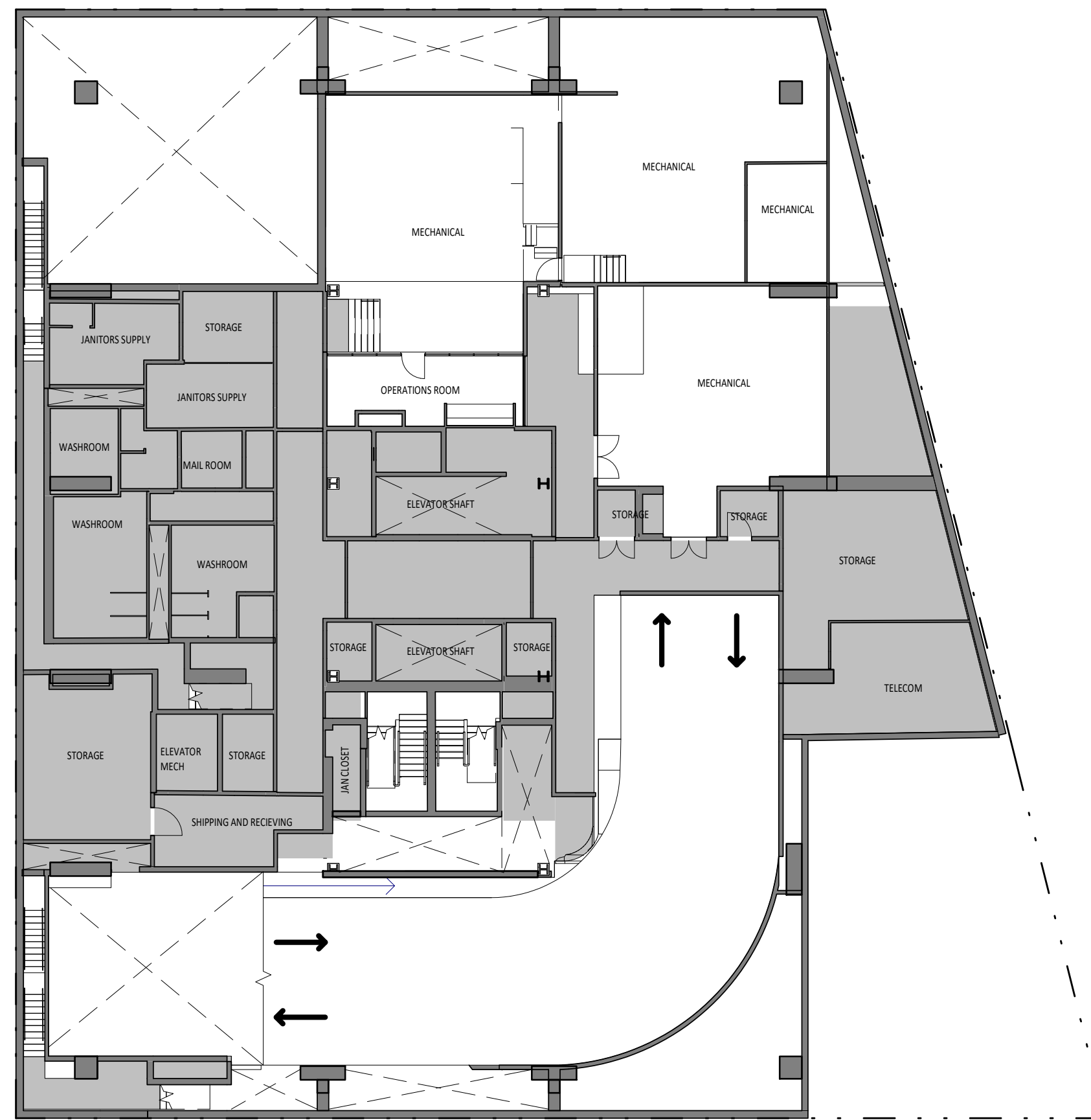
1 EX AREA - Parking 4
A0.07 1:200



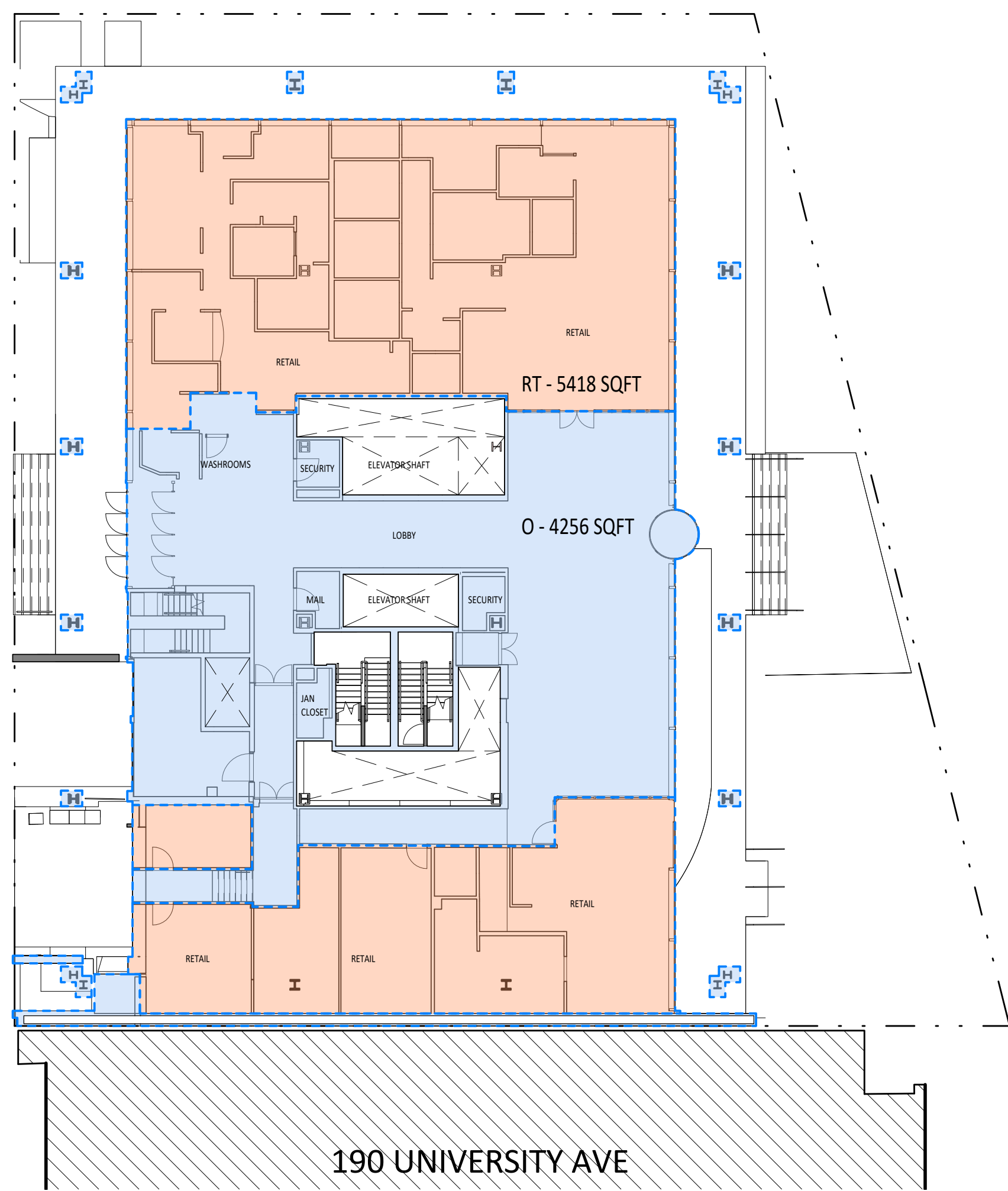
2 EX AREA - Parking 1-3
A0.07 1:200



3 EX AREA - B2 Floor Plan
A0.07 1:200



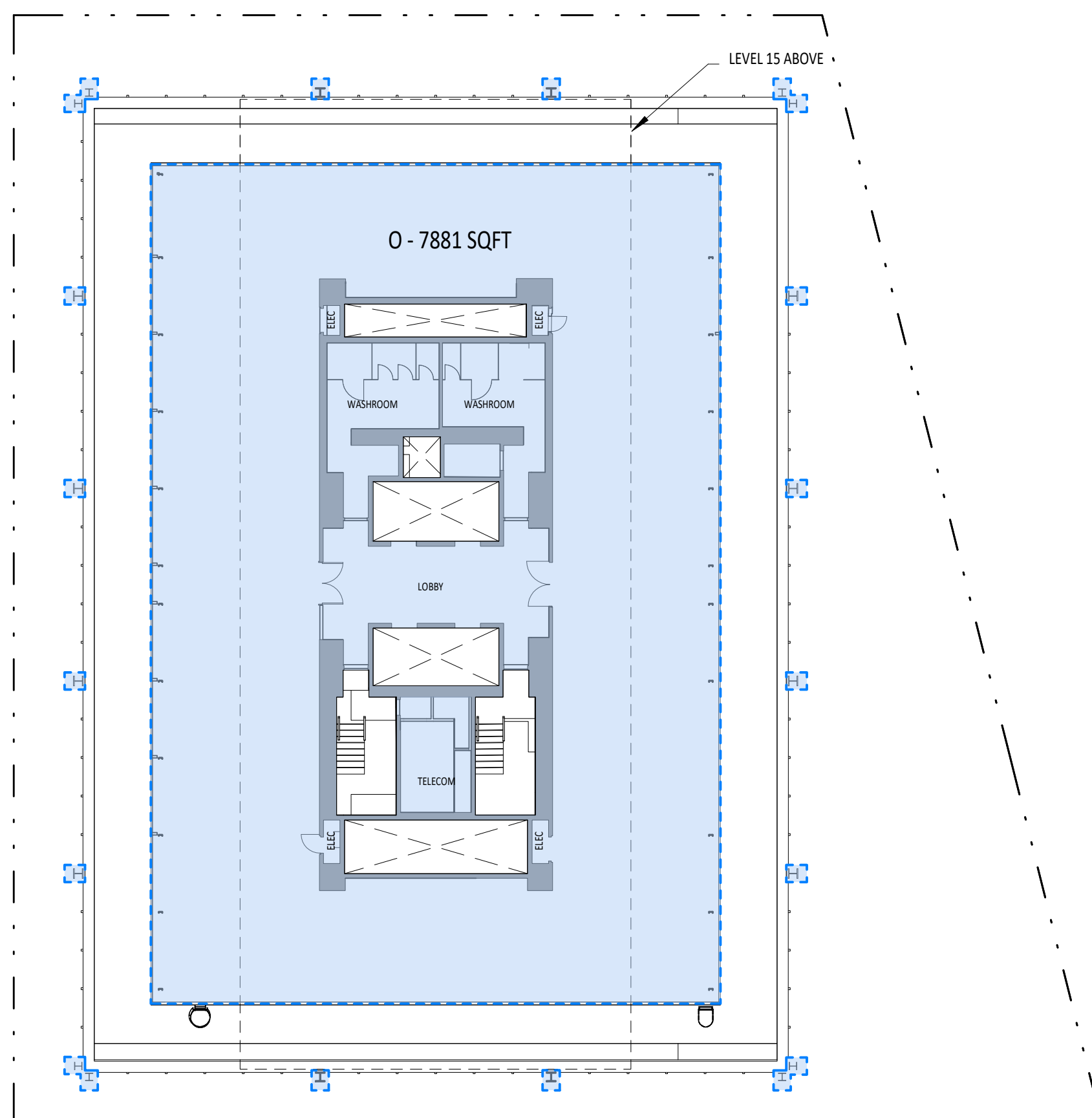
4 EX AREA - B1 Floor Plan
A0.07 1:200



5 EX AREA - Ground Floor
A0.07 1:200



6 EX AREA - Levels 3-13
A0.07 1:200



7 EX AREA - Level 14
A0.07 1:200

Copyright is that of the architect.
Any use of this drawing reproduced by any means from any media without prior written approval of the architect is strictly prohibited.
The architect is not liable for any loss or damage of information resulting from subsequent reproduction of the original drawing.

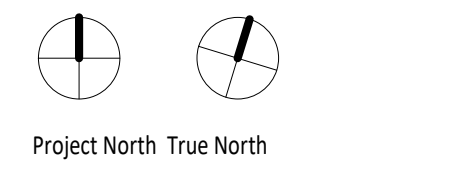
GENERAL NOTES:

1. General notes are to be read. Contractor will verify all existing conditions and dimensions required to perform the work and will report any discrepancy with the Contract Documents to the Architect before commencing work.
2. The Architectural Drawings are to be read in conjunction with all other Contract Documents including the Project Manual and the General Notes. Mechanical and Electrical Drawings in cases of difference between the Contract Documents, shall prevail in the priority order as set out in work the greater and apply.
3. Materials (residential and commercial) or electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings and shown on Mechanical and Electrical Drawings, Mechanical and Electrical items are shown. Locations are indicated as directed by the architect.
4. Dimensions indicated on other drawings shall prevail over the dimensions indicated on the Architectural Drawings.
5. The architect has not been required for supervision of construction and assumes no responsibility for means, methods and techniques of construction.
6. These drawings are not to be used for construction unless specifically noted for such purpose.

1	06/02/2024	REVISED FOR 3D
2	06/02/2024	REVISED FOR 3D
3	06/02/2024	REVISED FOR 3D
4	06/02/2024	REVISED FOR 3D
5	06/02/2024	REVISED FOR 3D
6	06/02/2024	REVISED FOR 3D
7	06/02/2024	REVISED FOR 3D
8	06/02/2024	REVISED FOR 3D
9	06/02/2024	REVISED FOR 3D
10	06/02/2024	REVISED FOR 3D
11	06/02/2024	REVISED FOR 3D
12	06/02/2024	REVISED FOR 3D
13	06/02/2024	REVISED FOR 3D
14	06/02/2024	REVISED FOR 3D
15	06/02/2024	REVISED FOR 3D
16	06/02/2024	REVISED FOR 3D
17	06/02/2024	REVISED FOR 3D
18	06/02/2024	REVISED FOR 3D
19	06/02/2024	REVISED FOR 3D
20	06/02/2024	REVISED FOR 3D
21	06/02/2024	REVISED FOR 3D
22	06/02/2024	REVISED FOR 3D
23	06/02/2024	REVISED FOR 3D
24	06/02/2024	REVISED FOR 3D
25	06/02/2024	REVISED FOR 3D
26	06/02/2024	REVISED FOR 3D
27	06/02/2024	REVISED FOR 3D
28	06/02/2024	REVISED FOR 3D
29	06/02/2024	REVISED FOR 3D
30	06/02/2024	REVISED FOR 3D
31	06/02/2024	REVISED FOR 3D
32	06/02/2024	REVISED FOR 3D
33	06/02/2024	REVISED FOR 3D
34	06/02/2024	REVISED FOR 3D
35	06/02/2024	REVISED FOR 3D
36	06/02/2024	REVISED FOR 3D
37	06/02/2024	REVISED FOR 3D
38	06/02/2024	REVISED FOR 3D
39	06/02/2024	REVISED FOR 3D
40	06/02/2024	REVISED FOR 3D
41	06/02/2024	REVISED FOR 3D
42	06/02/2024	REVISED FOR 3D
43	06/02/2024	REVISED FOR 3D
44	06/02/2024	REVISED FOR 3D
45	06/02/2024	REVISED FOR 3D
46	06/02/2024	REVISED FOR 3D
47	06/02/2024	REVISED FOR 3D
48	06/02/2024	REVISED FOR 3D
49	06/02/2024	REVISED FOR 3D
50	06/02/2024	REVISED FOR 3D
51	06/02/2024	REVISED FOR 3D
52	06/02/2024	REVISED FOR 3D
53	06/02/2024	REVISED FOR 3D
54	06/02/2024	REVISED FOR 3D
55	06/02/2024	REVISED FOR 3D
56	06/02/2024	REVISED FOR 3D
57	06/02/2024	REVISED FOR 3D
58	06/02/2024	REVISED FOR 3D
59	06/02/2024	REVISED FOR 3D
60	06/02/2024	REVISED FOR 3D
61	06/02/2024	REVISED FOR 3D
62	06/02/2024	REVISED FOR 3D
63	06/02/2024	REVISED FOR 3D
64	06/02/2024	REVISED FOR 3D
65	06/02/2024	REVISED FOR 3D
66	06/02/2024	REVISED FOR 3D
67	06/02/2024	REVISED FOR 3D
68	06/02/2024	REVISED FOR 3D
69	06/02/2024	REVISED FOR 3D
70	06/02/2024	REVISED FOR 3D
71	06/02/2024	REVISED FOR 3D
72	06/02/2024	REVISED FOR 3D
73	06/02/2024	REVISED FOR 3D
74	06/02/2024	REVISED FOR 3D
75	06/02/2024	REVISED FOR 3D
76	06/02/2024	REVISED FOR 3D
77	06/02/2024	REVISED FOR 3D
78	06/02/2024	REVISED FOR 3D
79	06/02/2024	REVISED FOR 3D
80	06/02/2024	REVISED FOR 3D
81	06/02/2024	REVISED FOR 3D
82	06/02/2024	REVISED FOR 3D
83	06/02/2024	REVISED FOR 3D
84	06/02/2024	REVISED FOR 3D
85	06/02/2024	REVISED FOR 3D
86	06/02/2024	REVISED FOR 3D
87	06/02/2024	REVISED FOR 3D
88	06/02/2024	REVISED FOR 3D
89	06/02/2024	REVISED FOR 3D
90	06/02/2024	REVISED FOR 3D
91	06/02/2024	REVISED FOR 3D
92	06/02/2024	REVISED FOR 3D
93	06/02/2024	REVISED FOR 3D
94	06/02/2024	REVISED FOR 3D
95	06/02/2024	REVISED FOR 3D
96	06/02/2024	REVISED FOR 3D
97	06/02/2024	REVISED FOR 3D
98	06/02/2024	REVISED FOR 3D
99	06/02/2024	REVISED FOR 3D
100	06/02/2024	REVISED FOR 3D

KPMB Architects
351 King St E, Suite 1200
Toronto, ON, Canada M5A 0L6
416.977.5104

GWL Realty Advisors
200 University

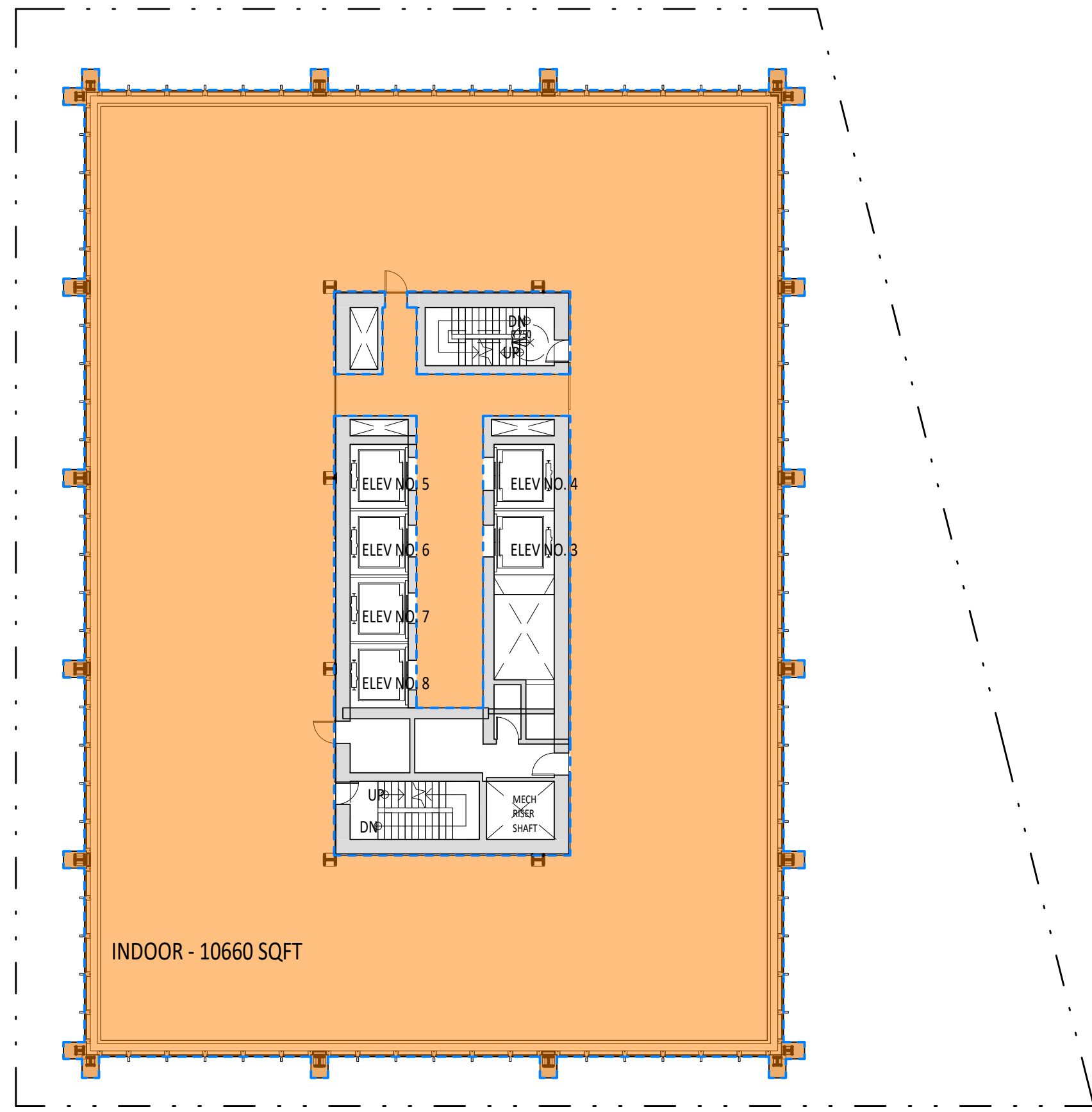


Project No. 2018
Scale As indicated
Plot Date 30/05/2022

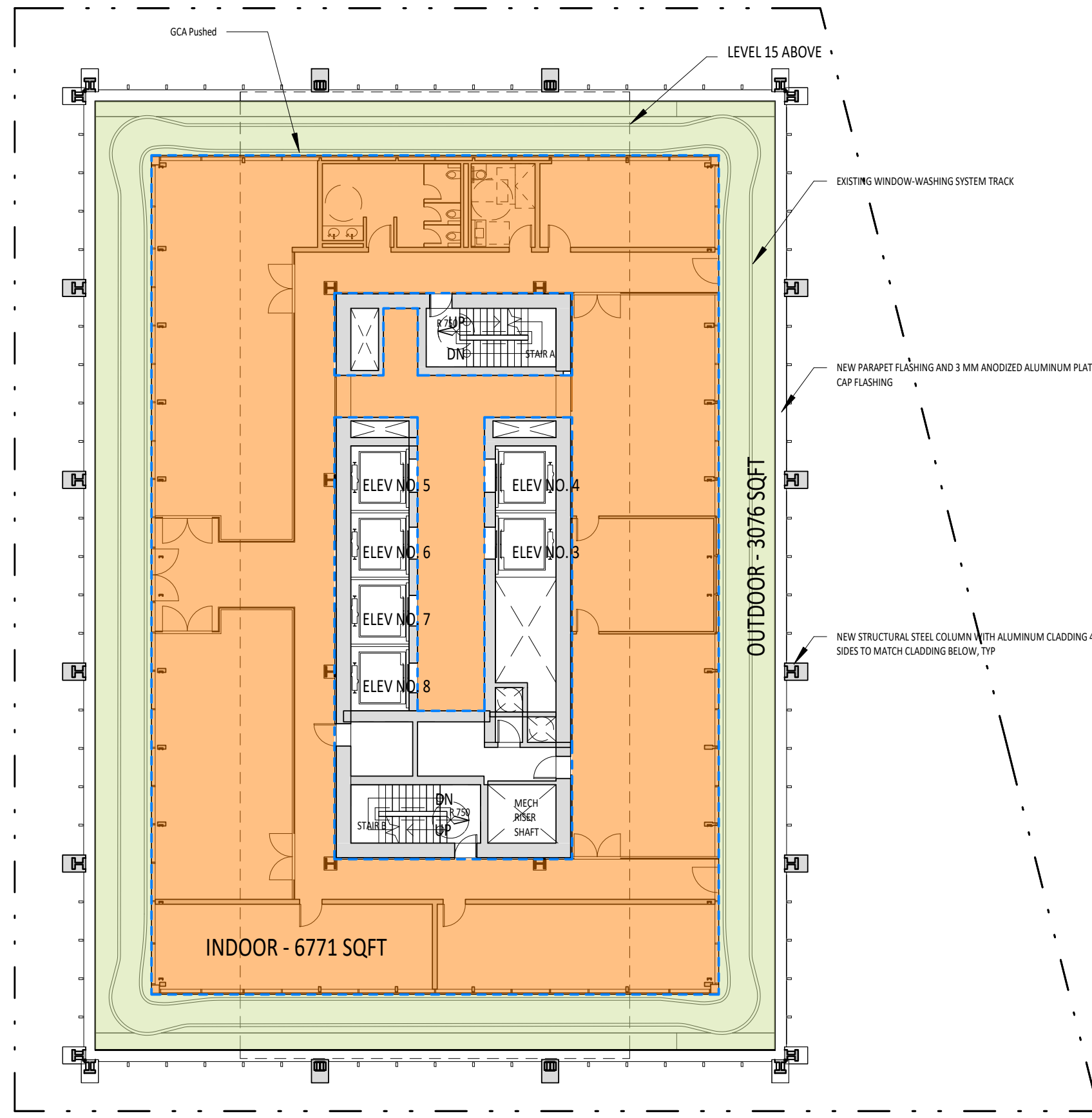
AREA ATTRIBUTION
PLANS - EXISTING

A0.07

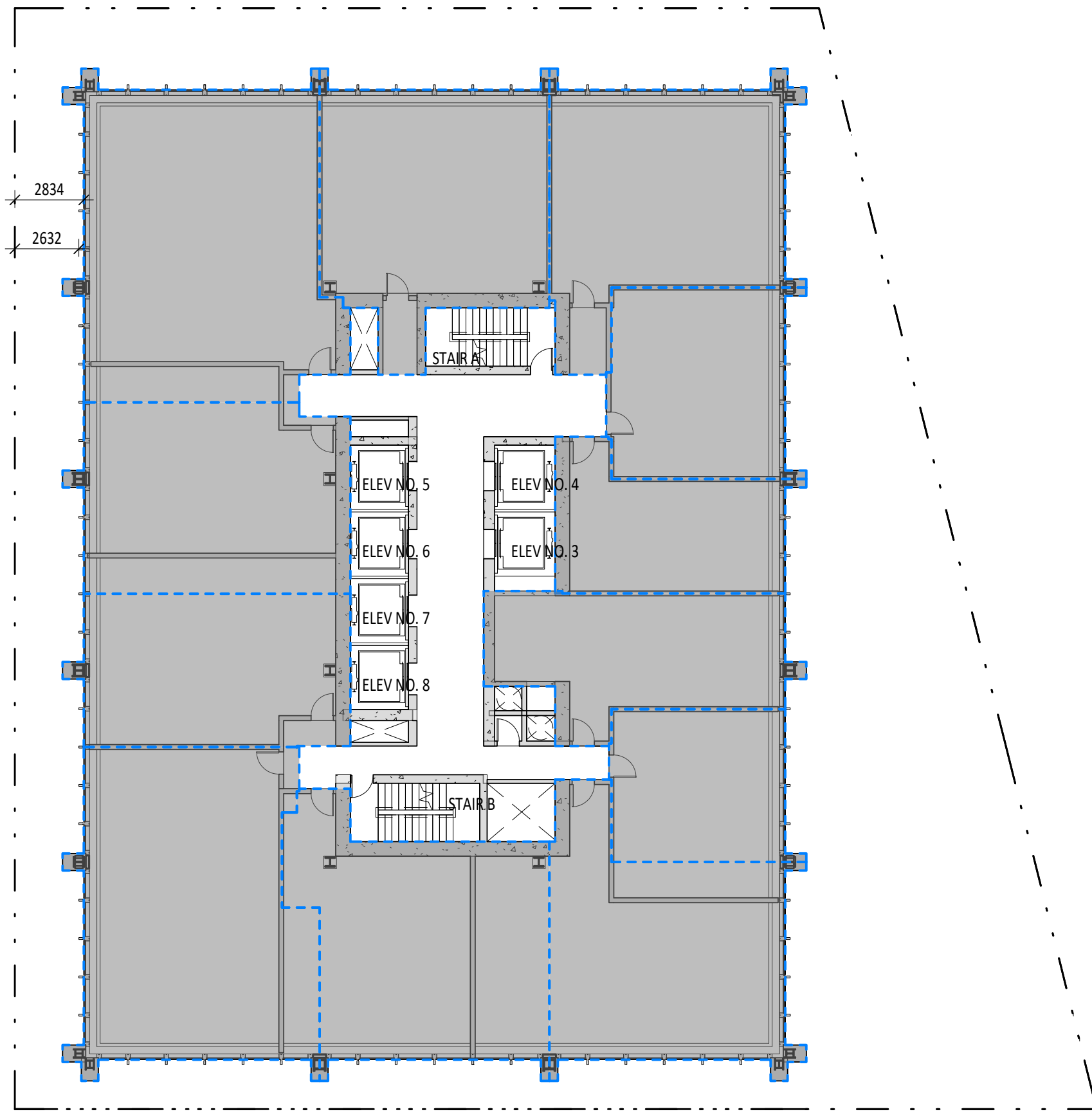
OUTDOOR AMENITY INDOOR AMENITY RESIDENTIAL UNIT



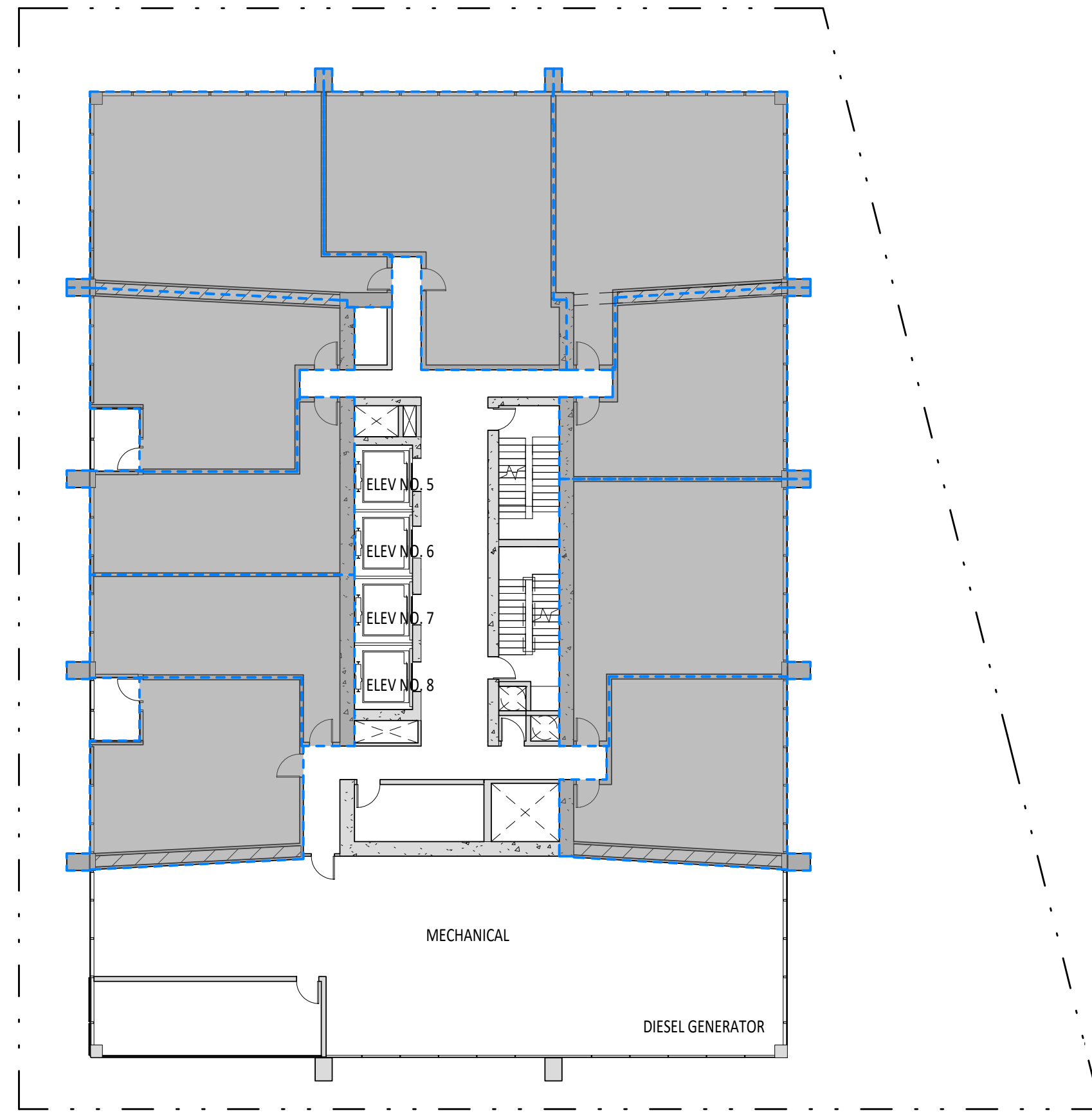
1 RESIDENTIAL AMENITY - Level 13
A0.08 1:200



2 RESIDENTIAL AMENITY - Level 14
A0.08 1:200



4 TYPICAL RESIDENTIAL UNIT AREAS Level 2-12
A0.08 1:200



5 TYPICAL RESIDENTIAL UNIT AREAS Level 18-19
A0.08 1:200



3 TYPICAL RESIDENTIAL UNIT AREAS Level 20-45
A0.08 1:200



6 TYPICAL RESIDENTIAL UNIT AREAS Level 46-53
A0.08 1:200

Copyright is that of the Architect.
Any use of this drawing reproduced by any means from any media without prior written approval of the Architect is to be made for informational purposes only.
The Architect is not liable for any loss or disturbance of information resulting from subsequent reproduction of the original drawing.

GENERAL NOTES:

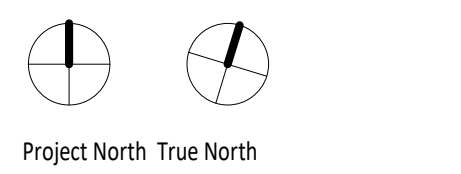
1. Contractor is to be advised. Contractor will verify all existing conditions and dimensions required to perform the work and will report any discrepancies with the Contract Documents to the Architect before commencing work.
2. The Architectural Drawings are to be used in conjunction with all other Contract Documents including the Project Manual and the Structural, Mechanical and Electrical Drawings. In case of difference between the Contract Documents, when required to the quantity, order or scope of work, the greater shall apply.
3. Materials (equipment, finished mechanical or electrical devices, fittings and fixtures) are indicated on the Architectural Drawings. Locations shown on the Structural Drawings and shown on Mechanical and Electrical Drawings. Materials and electrical items not shown shall be located as directed by the Architect.
4. Dimensions indicated on plans govern the face of finished surfaces, unless otherwise noted.
5. The Architect has not been retained for supervision of construction and assumes no responsibility for means, methods and techniques of construction.
6. These documents are not to be used for construction unless specifically noted for such purpose.

1	06/22/2024	REVISED FOR 2M
2	09/05/2022	ISSUED FOR IMA
3	09/05/2021	ISSUED FOR IMA SCHWARTZ DESIGN

Rev: Date: Issued:

KPMB Architects
351 King St. E., Suite 1200
Toronto, ON, Canada M5A 0L6
416.977.5104

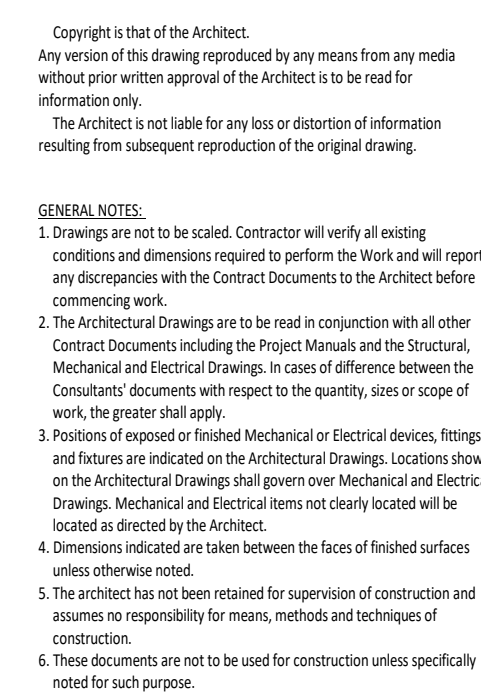
GWL Realty Advisors
200 University



Project No. 2018
Scale As indicated
Plot Date 04/06/22

**AMENITY AND UNIT
AREAS PLANS**

A0.08



3	05/21/2024	ISSUED FOR TBA
2	30/05/2022	ISSUED FOR TBA
0	05/03/2021	ISSUED FOR SINE SCHEMATIC DESIGN

Rev. Date Issued

351 King St E, Suite 1200
Toronto, ON, Canada M5A 0L6
416.977.5104

Project No.	2018
Scale	1 : 100
Plot Date	30/05/2020

SITE PLAN

SITE PLAN

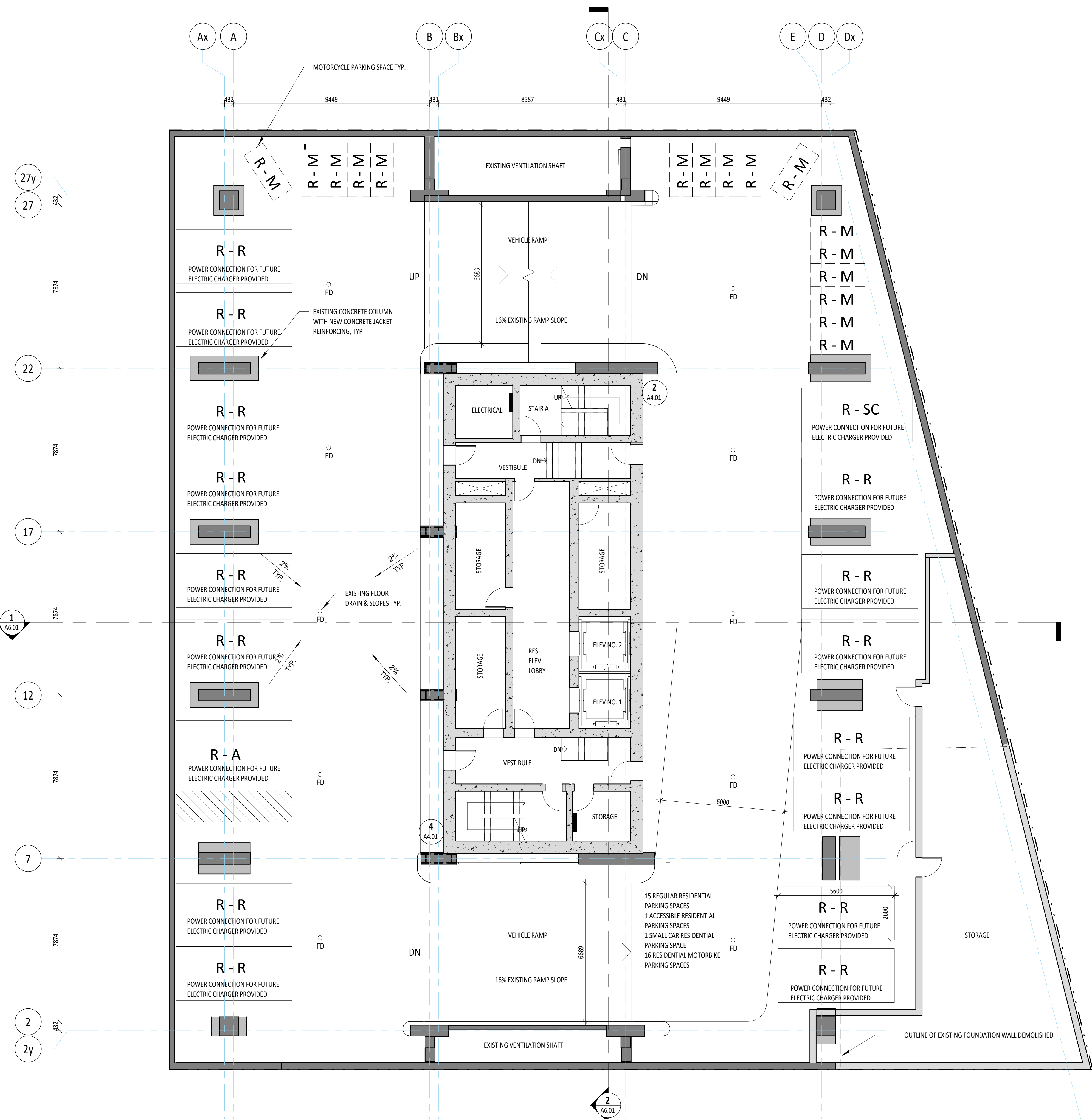
A1.01

R - R - RSEIDENTIAL REGULAR PARKING SPACE
R - A - RESIDENTIAL ACCESSIBLE PARKING SPACE
R - SC - RESIDENTIAL SMALL CAR PARKING SPACE
R - M - RESIDENTIAL MOTORBIKE PARKING SPACE

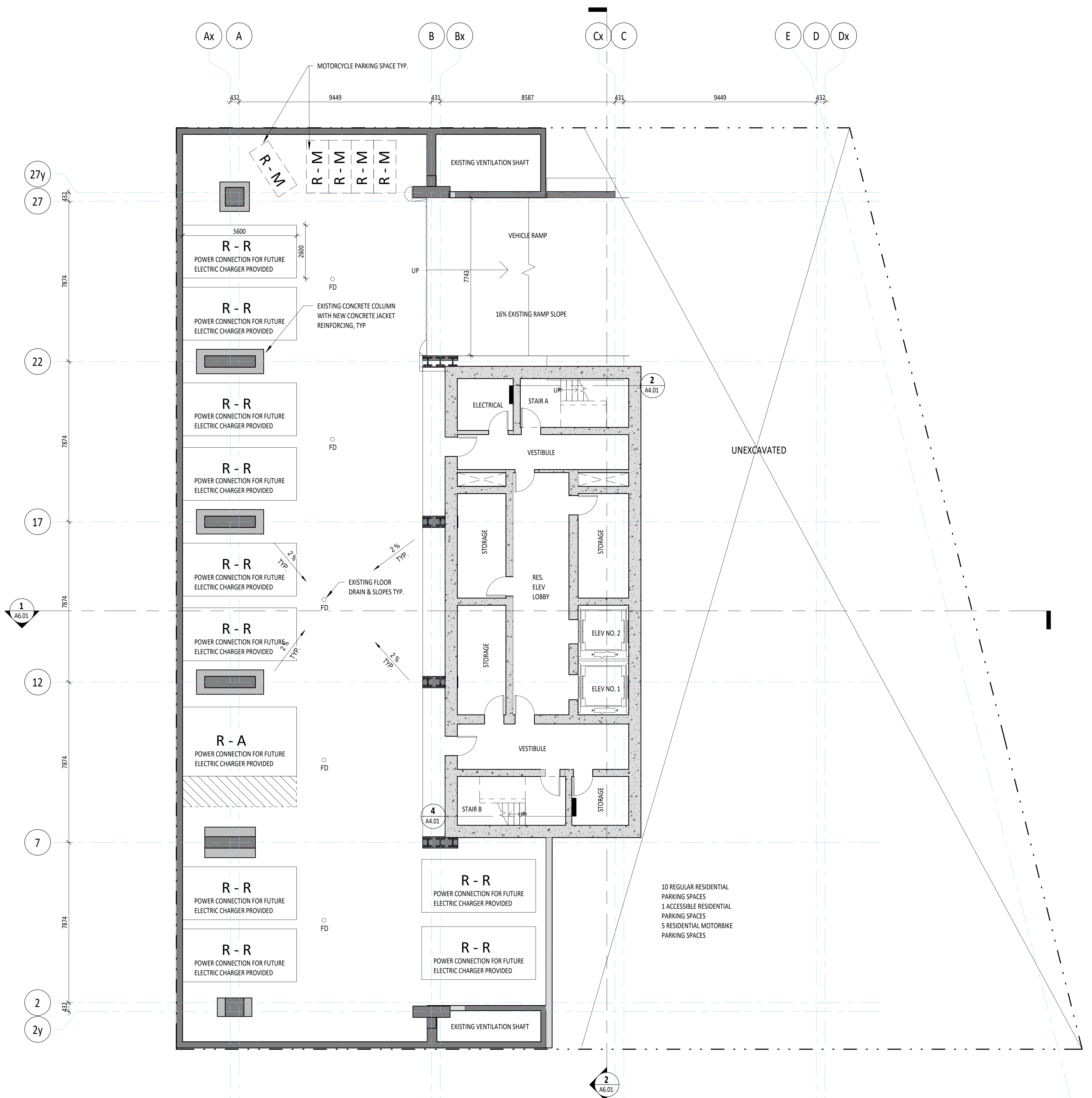
NEW CONSTRUCTION
EXISTING

Copyright is held by the Architect.
Any content of the drawing reproduced by any means from any media without prior written approval of the Architect is to be made for information only.
The Architect is not liable for any loss or distortion of information resulting from subsequent reproduction of the original drawing.

GENERAL NOTES:
1. Drawings are to be read in relation to the Architect's drawings and dimensions required to perform the work and will report any discrepancies with the correct dimensions to the Architect before commencing work.
2. The Architect's drawings are to be read in conjunction with all other Contract Documents including the Project Manual and the Architect's General Conditions of Contract. In case of conflict between the Contract Documents, the Architect's drawings shall prevail.
3. The Architect is not responsible for the design of the building, its structure, or its mechanical, electrical, plumbing, or fire protection systems. The Architect is responsible for the design of the building's exterior and interior spaces, including the building's structure, and for the design of the building's mechanical, electrical, plumbing, and fire protection systems. The Architect is not responsible for the design of the building's structure, its mechanical, electrical, plumbing, or fire protection systems. The Architect is responsible for the design of the building's exterior and interior spaces, including the building's structure, and for the design of the building's mechanical, electrical, plumbing, and fire protection systems.
4. The Architect is not responsible for the design of the building's structure, its mechanical, electrical, plumbing, or fire protection systems. The Architect is responsible for the design of the building's exterior and interior spaces, including the building's structure, and for the design of the building's mechanical, electrical, plumbing, and fire protection systems.
5. The Architect is not responsible for the design of the building's structure, its mechanical, electrical, plumbing, or fire protection systems. The Architect is responsible for the design of the building's exterior and interior spaces, including the building's structure, and for the design of the building's mechanical, electrical, plumbing, and fire protection systems.
6. The Architect is not responsible for the design of the building's structure, its mechanical, electrical, plumbing, or fire protection systems. The Architect is responsible for the design of the building's exterior and interior spaces, including the building's structure, and for the design of the building's mechanical, electrical, plumbing, and fire protection systems.



1 Parking 3
A3.01 1:100



2 Parking 4
A3.01 1:100

1	10/11/2024	ISSUED FOR Bidding
2	10/11/2024	ISSUED FOR Bidding
3	10/11/2024	ISSUED FOR Bidding

Rev. Date Issued

KPMB Architects
351 King St E, Suite 1200
Toronto, ON, Canada M5A 0L6
416.977.5104

GWL Realty Advisors
200 University

Project North True North

Project No. 2018
Scale 1:100
Plot Date 30/05/2022

PARKING 3 & 4

A3.01