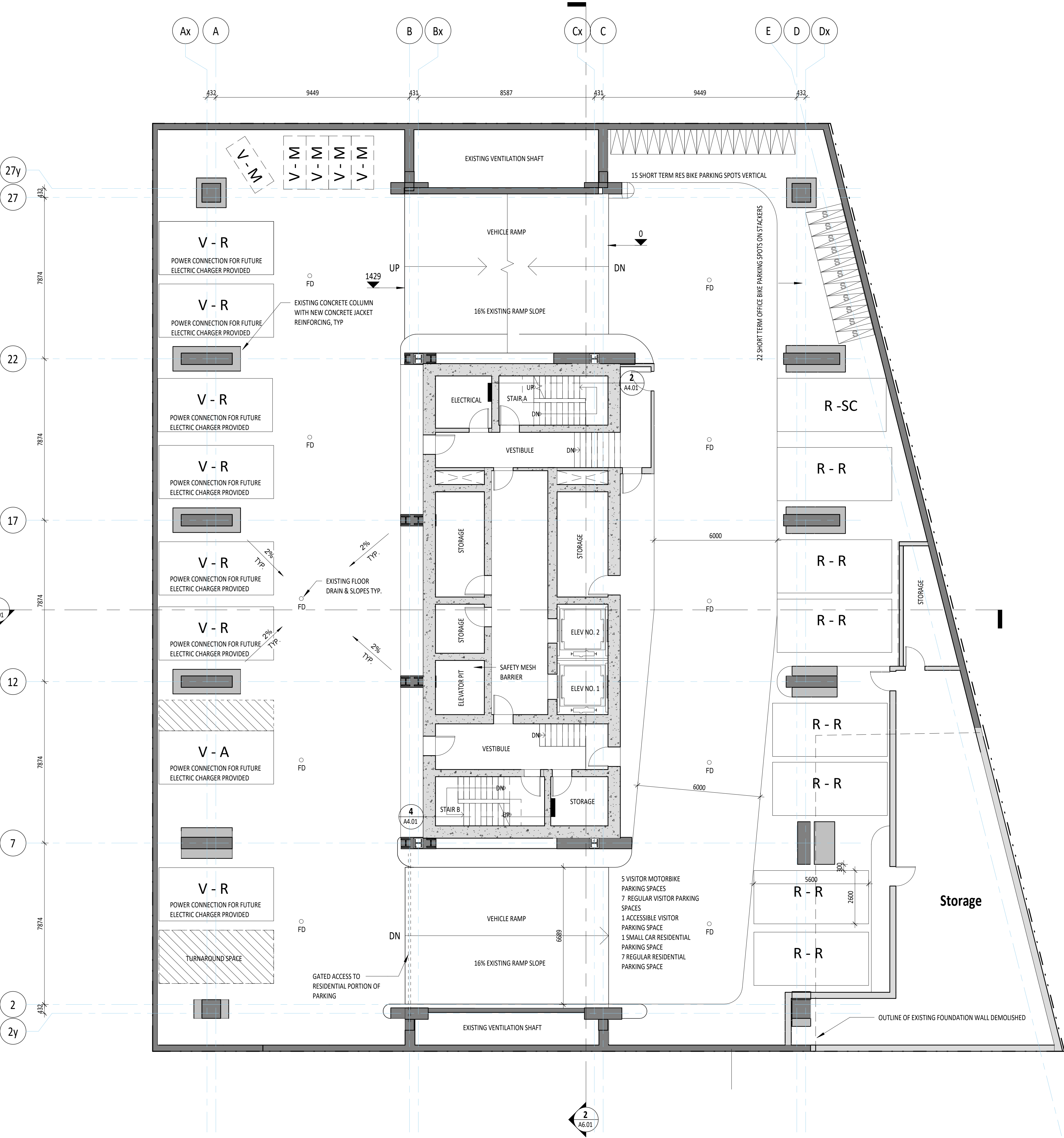


R - R - RSEIDENTIAL REGULAR PARKING SPACE
R - A - RESIDENTIAL ACCESSIBLE PARKING SPACE
R - SC - RESIDENTIAL SMALL CAR PARKING SPACE
V - M - VISITOR MOTORBIKE PARKING SPACE
V - R - VISITOR REGULAR PARKING SPACE

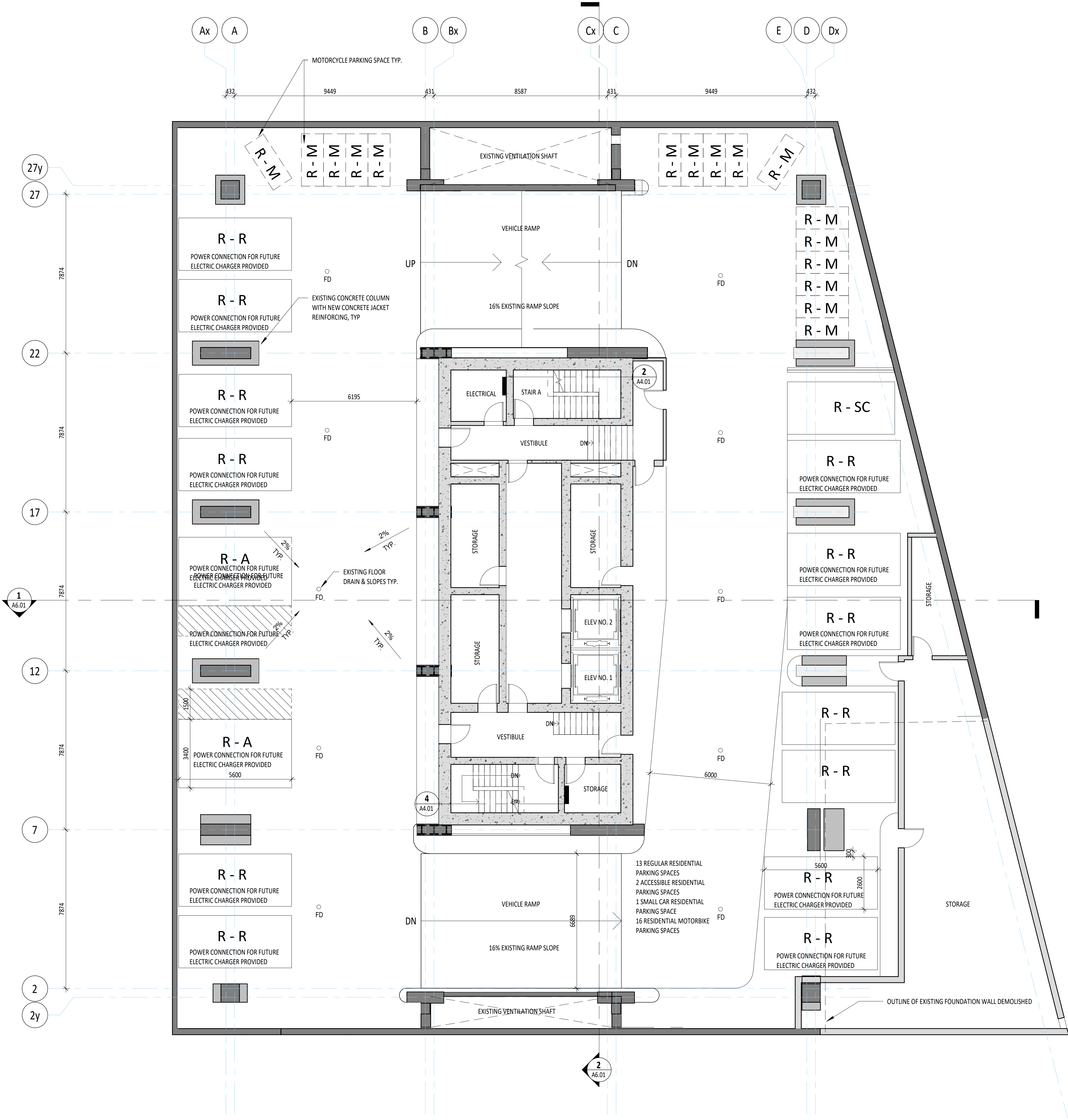
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2. The Architect and Engineer are to be retained in conjunction with all other trades and disciplines required for the proper design and construction of the building. Mechanical and Electrical Engineering, Structural Engineering, and other trades are to be retained as directed by the Architect.
3. The Architect and Engineer are to be retained in conjunction with all other trades and disciplines required for the proper design and construction of the building. Mechanical and Electrical Engineering, Structural Engineering, and other trades are to be retained as directed by the Architect.
4. The Architect and Engineer are to be retained in conjunction with all other trades and disciplines required for the proper design and construction of the building. Mechanical and Electrical Engineering, Structural Engineering, and other trades are to be retained as directed by the Architect.
5. The Architect and Engineer are to be retained in conjunction with all other trades and disciplines required for the proper design and construction of the building. Mechanical and Electrical Engineering, Structural Engineering, and other trades are to be retained as directed by the Architect.
6. The Architect and Engineer are to be retained in conjunction with all other trades and disciplines required for the proper design and construction of the building. Mechanical and Electrical Engineering, Structural Engineering, and other trades are to be retained as directed by the Architect.



1 Parking 1
A3.02 1:100



2 Parking 2
A3.02 1:100

1 10/11/2024 ISSUED FOR Bidding
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100 10/11/2024 ISSUED FOR Bidding

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Scale 1:100
Plot Date 30/05/2022

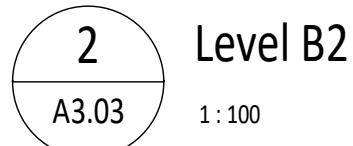
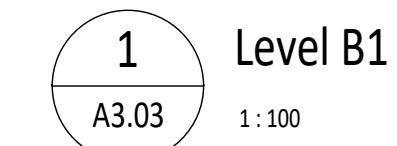
PARKING 1 & 2

A3.02

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- The Architect's Drawings are to be read in conjunction with all the following: the Contract Documents, the Request for Proposal, and the Structural, Mechanical and Electrical Drawings. In cases of difference between the Contract Documents with respect to the quantity, size or scope of work, the Contract Documents shall apply.
- Positions of opening of finished Mechanical or Electrical devices, fixtures and fixtures are indicated on the Architectural Drawings. Locations shall be determined by the Contractor in accordance with Mechanical and Electrical Notes. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
- Dimensions are indicated between the faces of finished surfaces unless otherwise noted.
- The Architect has not been retained for supervision of construction and shall not be responsible for means, methods and techniques of construction.
- These drawings are not to be used for similar *other* systems specified, noted or purchased.

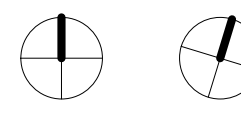


3	05/11/2024	ISSUED FOR ZBA
2	30/05/2022	ISSUED FOR ZBA
0	05/03/2021	ISSUED FOR SON SCHEMATIC DESIGN
Rev.	Date	Issued

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B1 AND B2 PLANS

A3.03

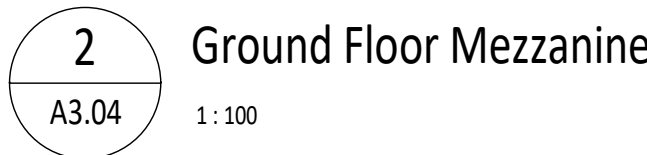
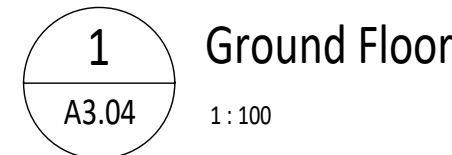
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- Drawings are not to be scaled. Contractor will verify all existing conditions and dimensions required to perform the Work and will report any discrepancies to the Contract Documents to the Architect before commencing work.
- The Architect's Drawings are to be read in conjunction with all other Contract Documents. The Architect's Drawings include the Structural, Mechanical and Electrical Drawings, in cases of difference between the Contract Documents, drawings required to quantify, scope or scope of work, the greater shall prevail.
- Positions of openings or finished Mechanical Electrical Drawings, fittings and hardware are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items shall clearly indicate what is located at each location.
- On the greater shall prevail when the faces of finished surfaces unless otherwise noted.
- The Architect has not been retained for supervision of construction and the Contractor is responsible for means, methods and techniques of construction.
- These drawings are not to be used for other actual actions specifically noted for such purpose.

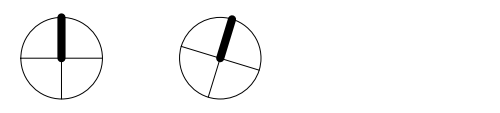


1	05/11/2024	ISSUED FOR 2BA
2	30/05/2022	ISSUED FOR 2BA
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Project North True North

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Plot Date	30/05/2022

GROUND & MEZZANINE PLANS

A3.04

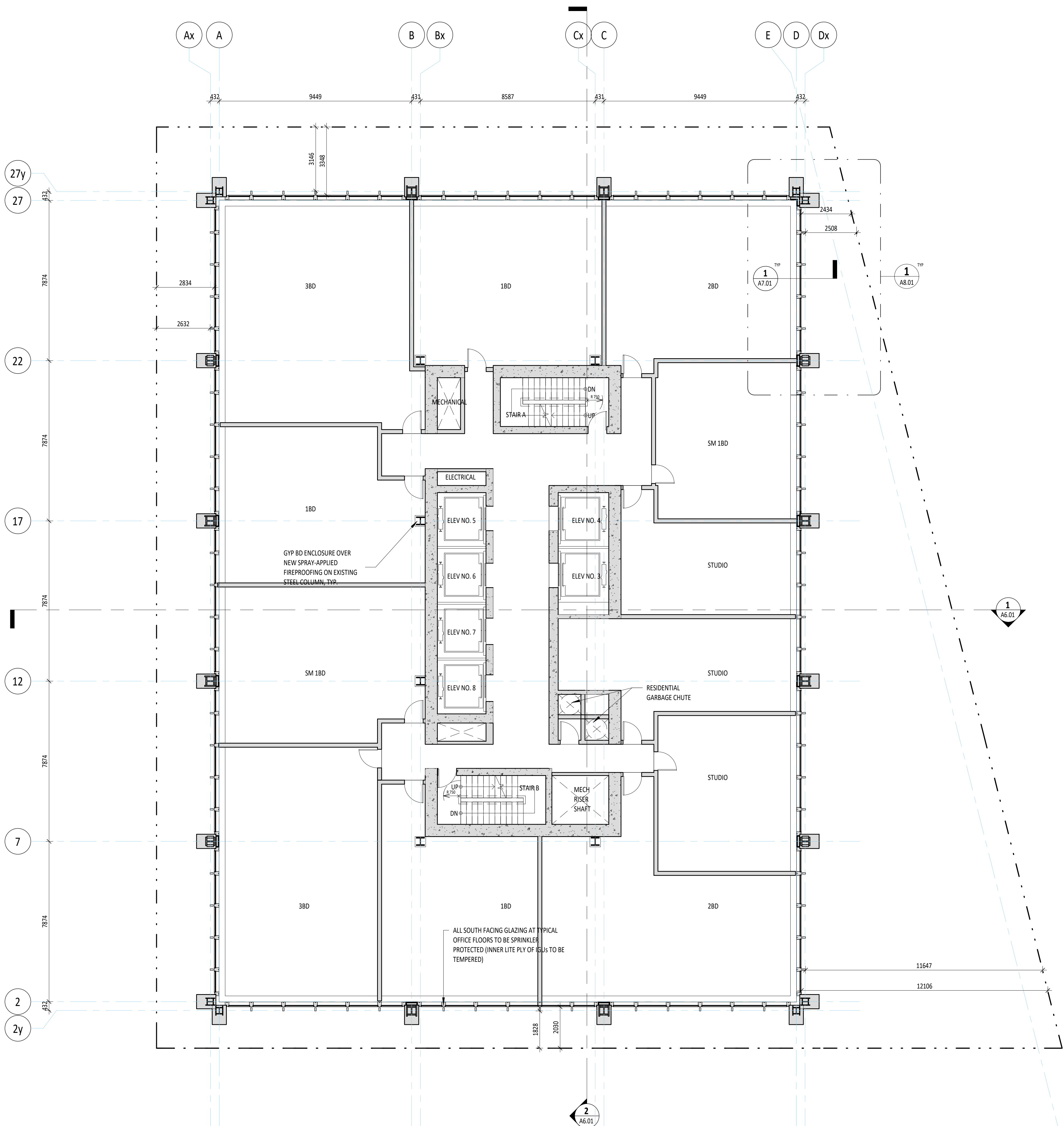
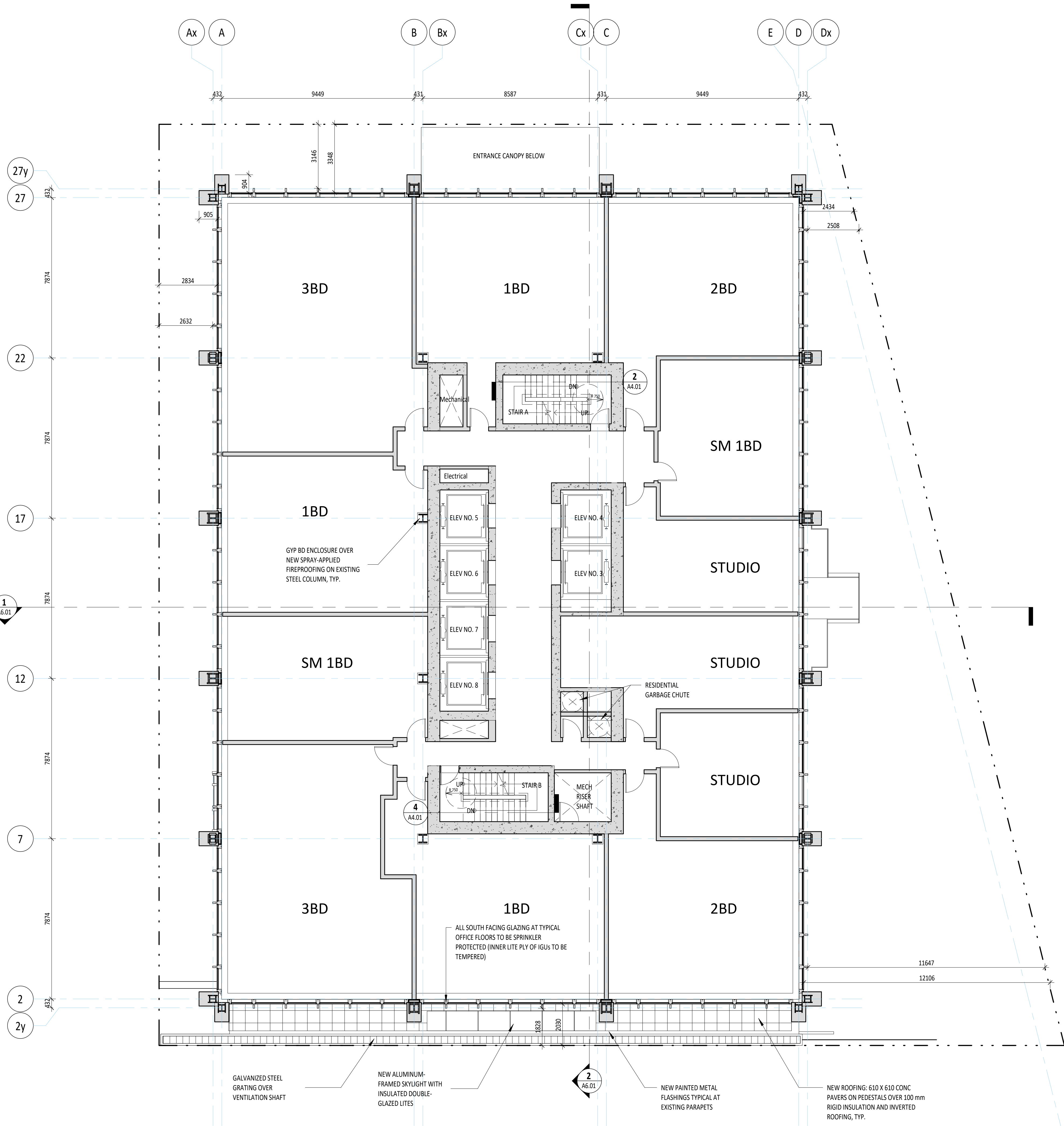
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2. The Architectural Drawings are to be read in conjunction with all other Contract Documents including the Project Manual and the Schedule of Mechanical and Electrical Drawings. In case of difference between the Contract Documents, the Architect's Drawings shall prevail.
3. Materials specified as finished mechanical or electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Mechanical and Electrical Drawings and shown on Mechanical and Electrical Drawings, Mechanical and Electrical devices to comply with the schedule as indicated by the Architect.
4. Dimensions indicated on these drawings are the basis of finished surfaces unless otherwise noted.
5. The Architect has not been retained for supervision of construction and assumes no responsibility for means, methods and techniques of construction.
6. These drawings are to be used for construction unless specifically noted for other purposes.

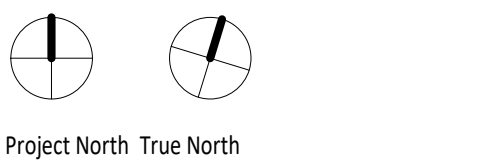


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LEVEL 2 AND LEVEL 3 - 12 PLANS

A3.05

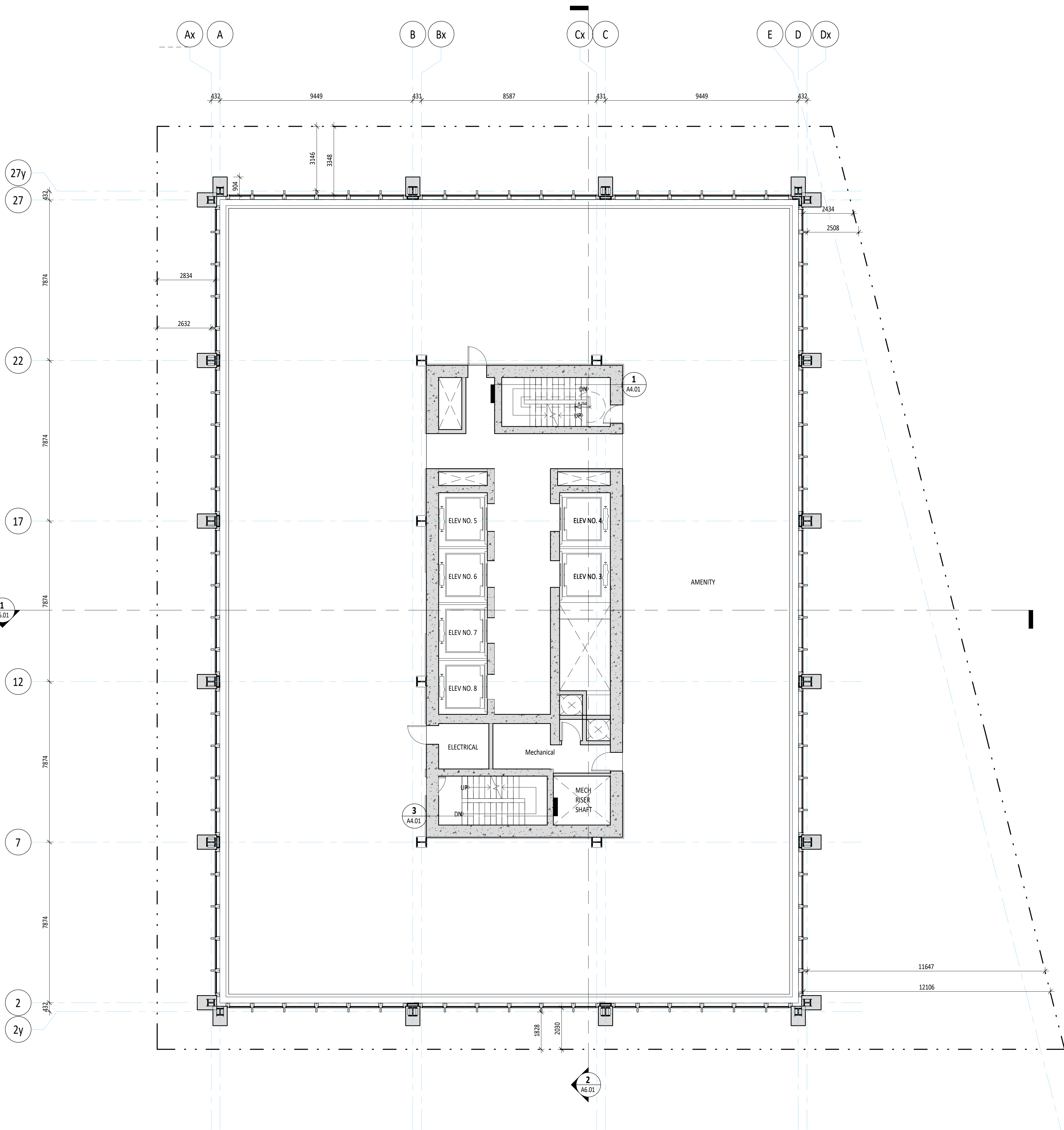
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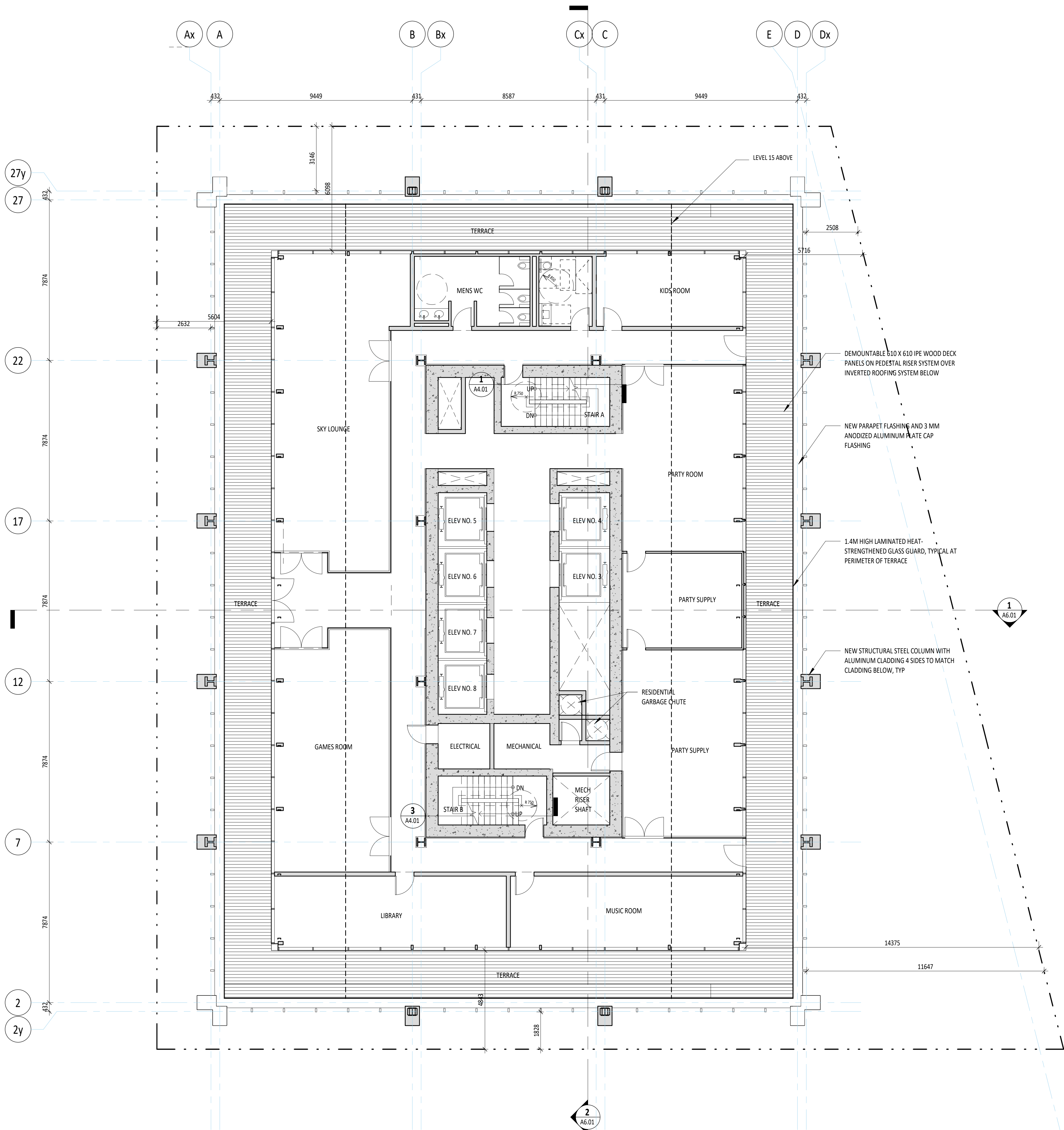
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2. The Architectural Drawings are to be read in conjunction with all other Contract Documents including the Project Manual and the Building Code.
3. The Architectural Drawings are to be read in conjunction with all other Contract Documents including the Project Manual and the Building Code.
4. The Architectural Drawings are to be read in conjunction with all other Contract Documents including the Project Manual and the Building Code.
5. The Architect has been retained for supervision of construction and assumes no responsibility for means, methods and techniques of construction.
6. These documents are to be used for construction unless specifically noted for other purposes.



2 Level 13
A3.06 1:100



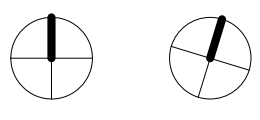
1 Level 14
A3.06 1:100

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LEVEL 13 AND LEVEL 14 PLANS

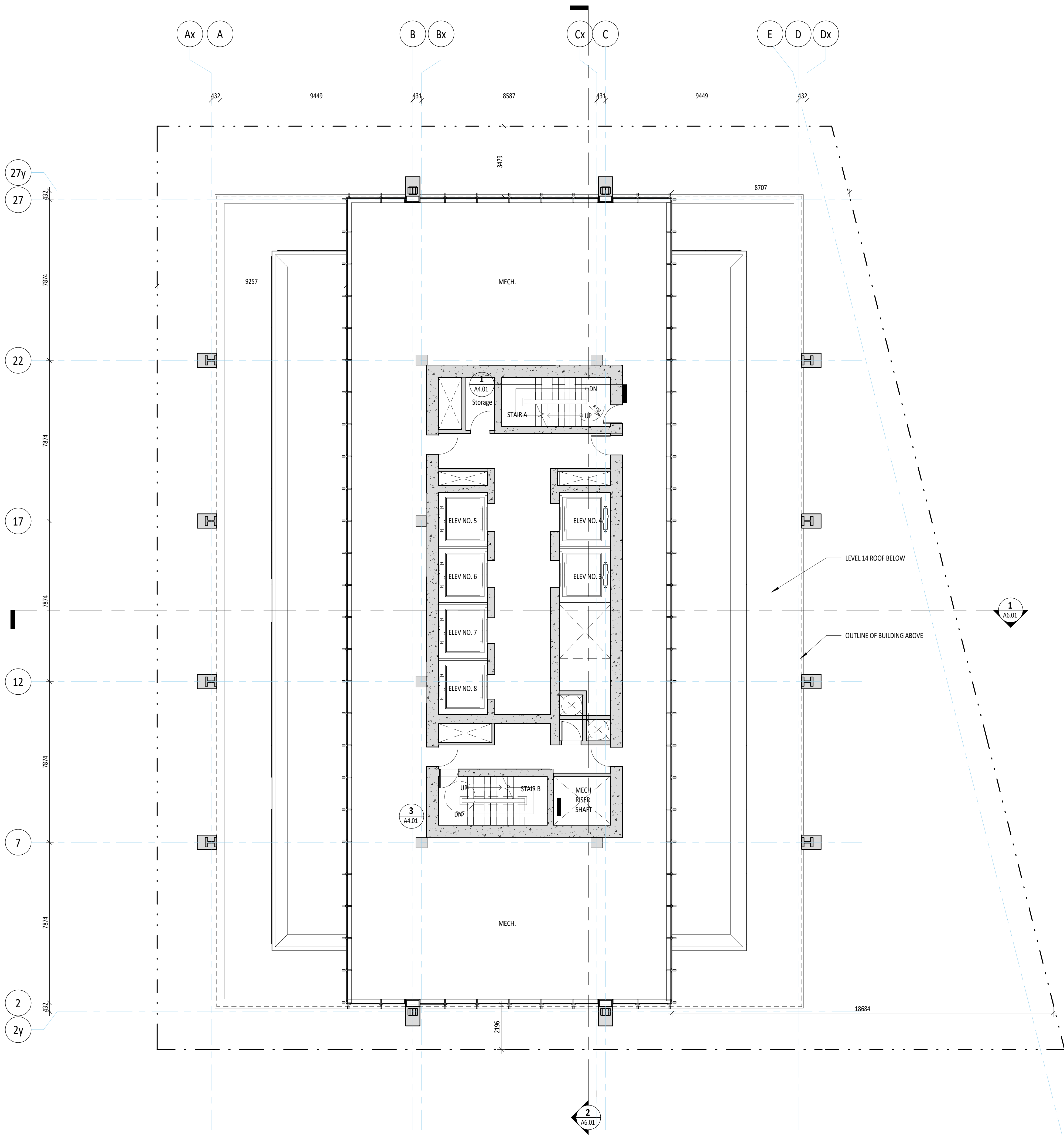
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NEW CONSTRUCTION

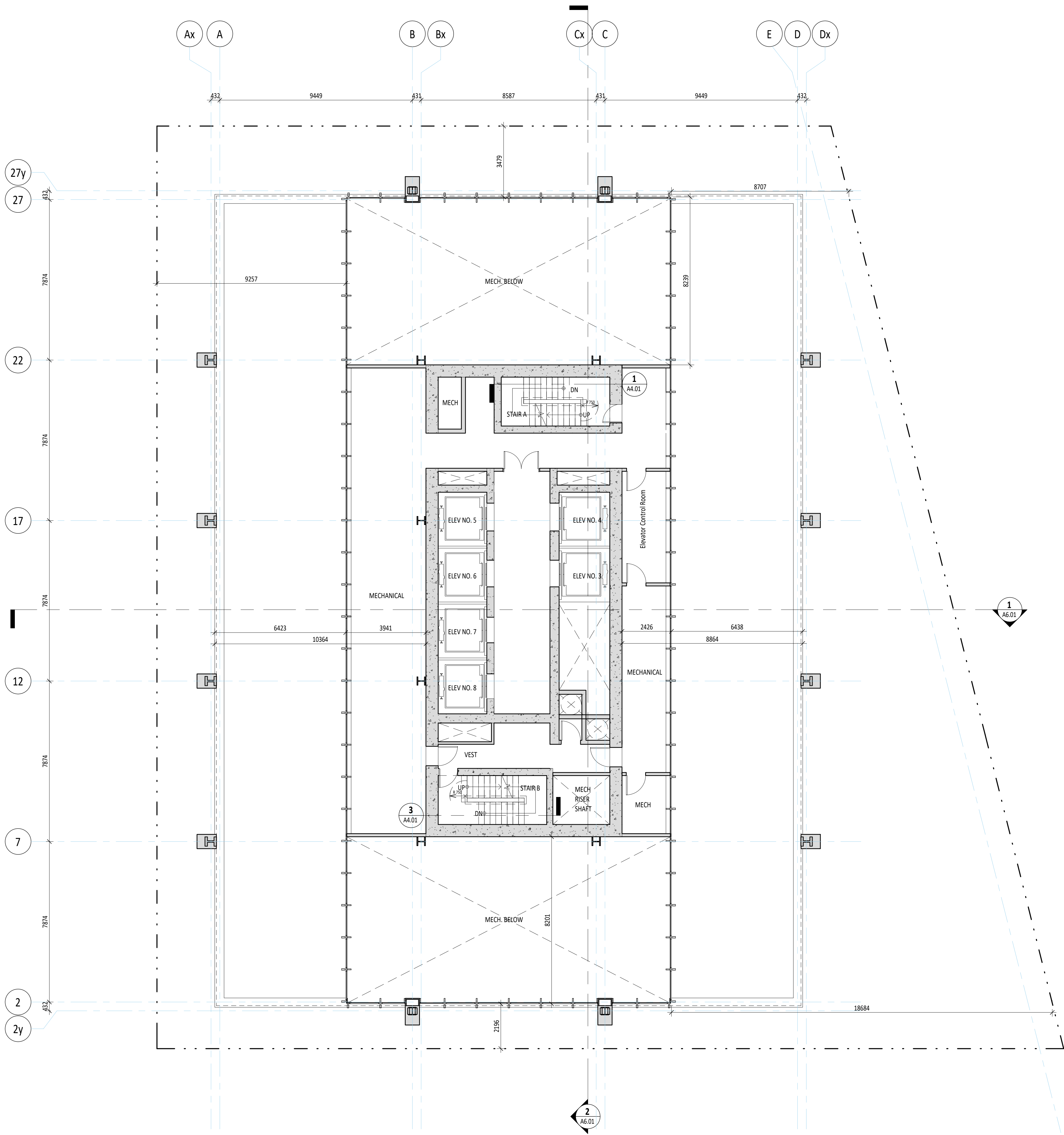
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2. The Architect and Engineer are to be read in conjunction with all other drawings and specifications, including the Project Manual and the Building Code.
3. The Architect and Engineer are to be read in conjunction with all other drawings and specifications, including the Project Manual and the Building Code.
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2 Level 15
A3.07 1:100

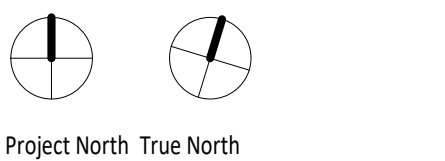


1 Level 16
A3.07 1:100

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3	06/11/2024	ISSUED FOR BIA

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**LEVEL 15 PLAN AND
LEVEL 16 PLANS**

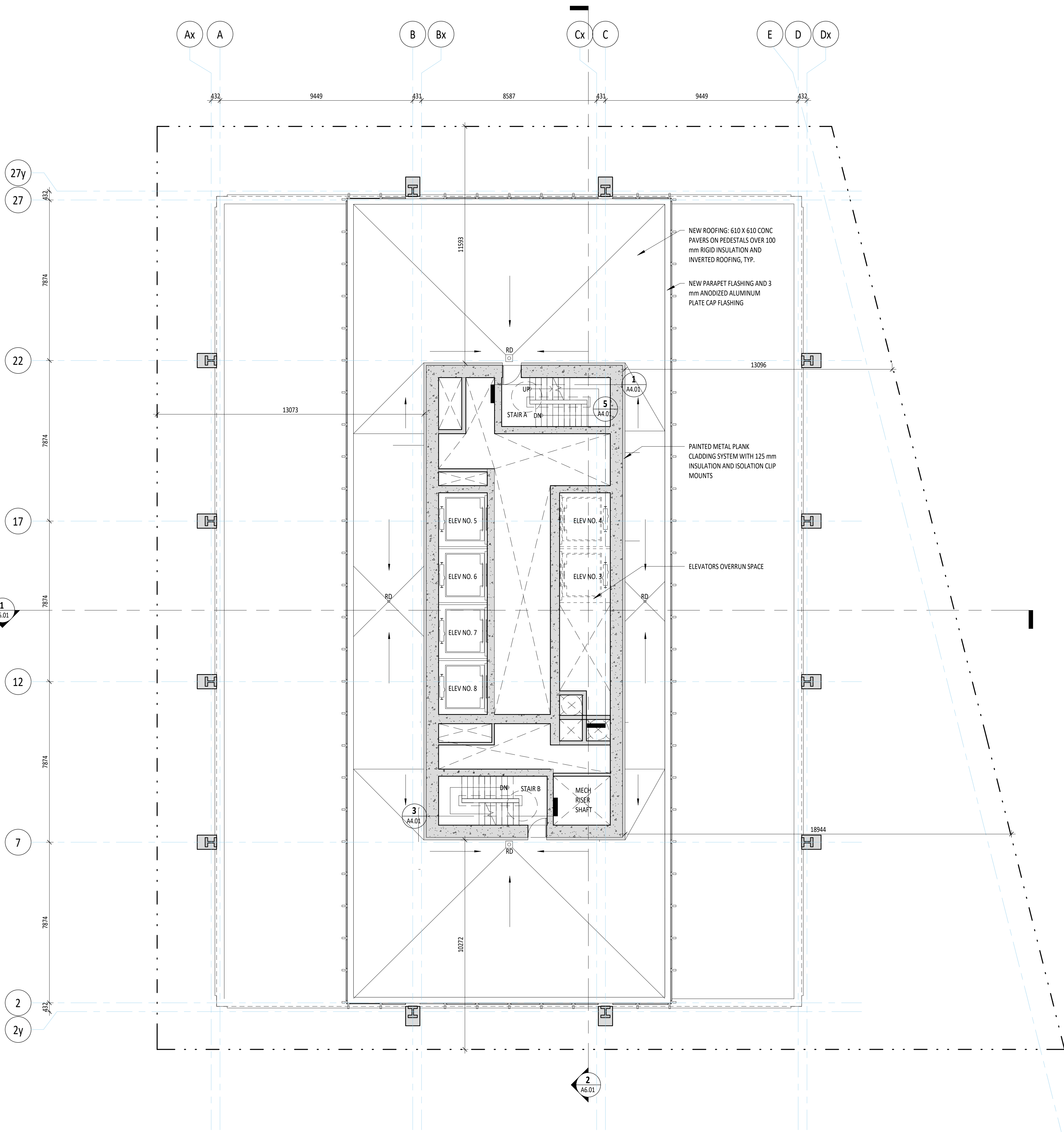
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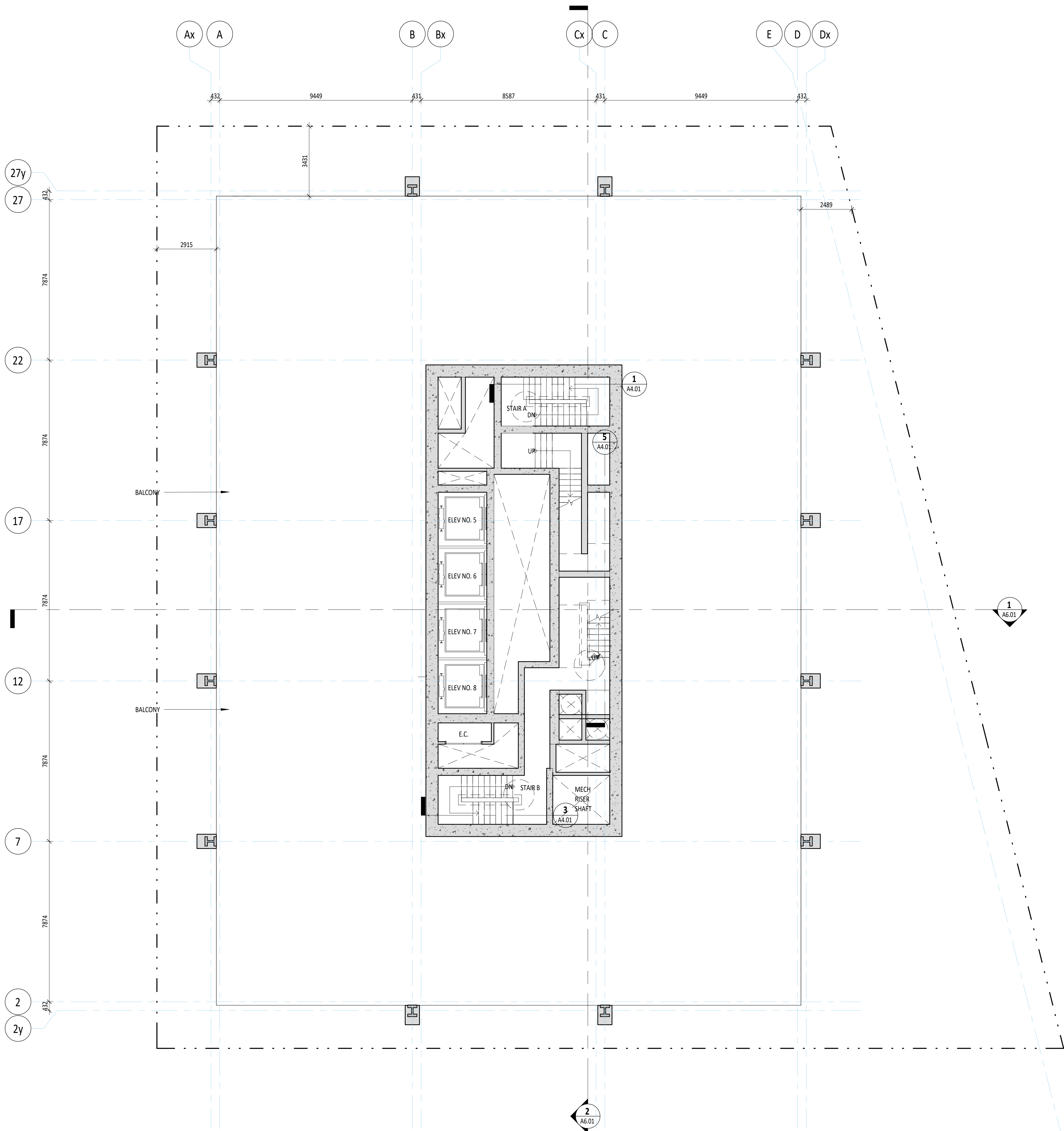
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2. The Architect and Drawings are to be used in conjunction with all other Contract Documents including the Project Manual and the Schedule of Values.
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2 Level 16 ROOF
A3.08 1:100



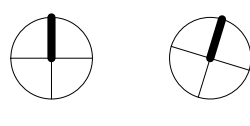
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A3.08 1:100

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3	10/11/2024	ISSUED FOR BIA

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**LEVEL 16 ROOF AND
LEVEL 17 PLANS**

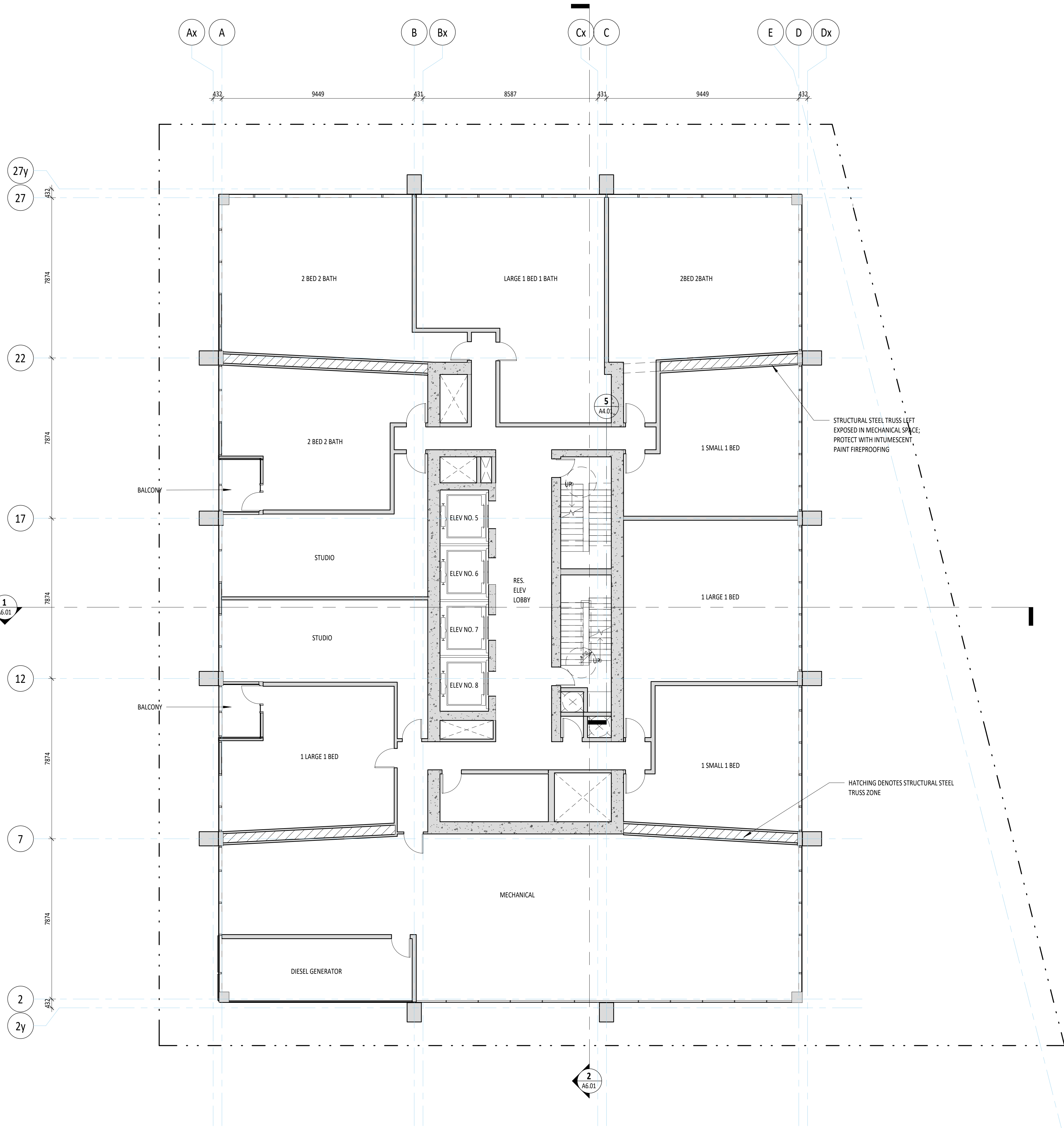
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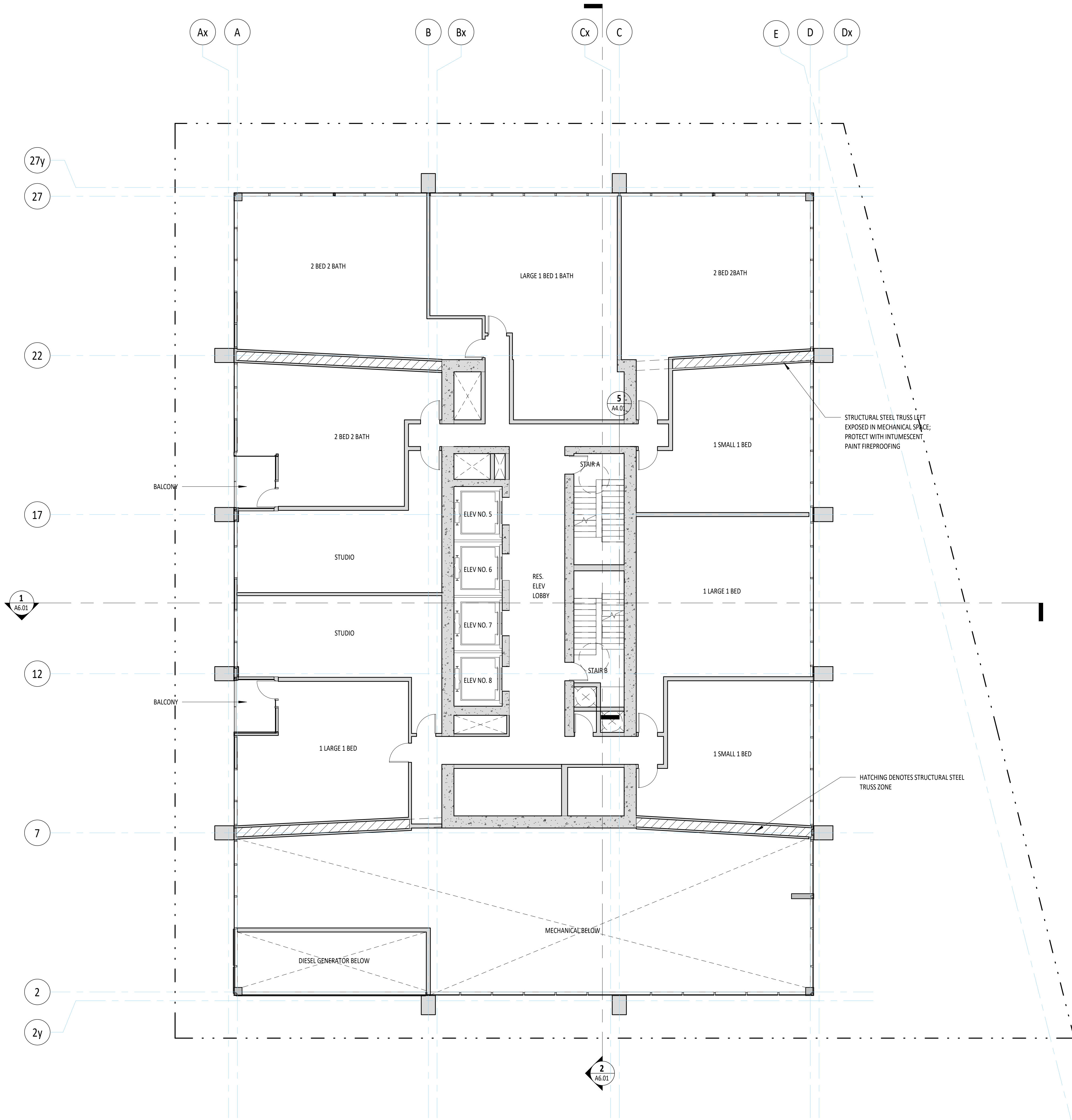
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2. The Architect and Drawings are to be read in conjunction with all other Contract Documents including the Project Manual and the Schedule of Values.
3. The Architect and Drawings are to be read in conjunction with all other Contract Documents including the Project Manual and the Schedule of Values.
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2 Level 18
A3.09 1:100



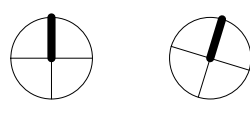
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A3.09 1:100

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3	06/01/2024	ISSUED FOR Bidding

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Plot Date 30/05/2022

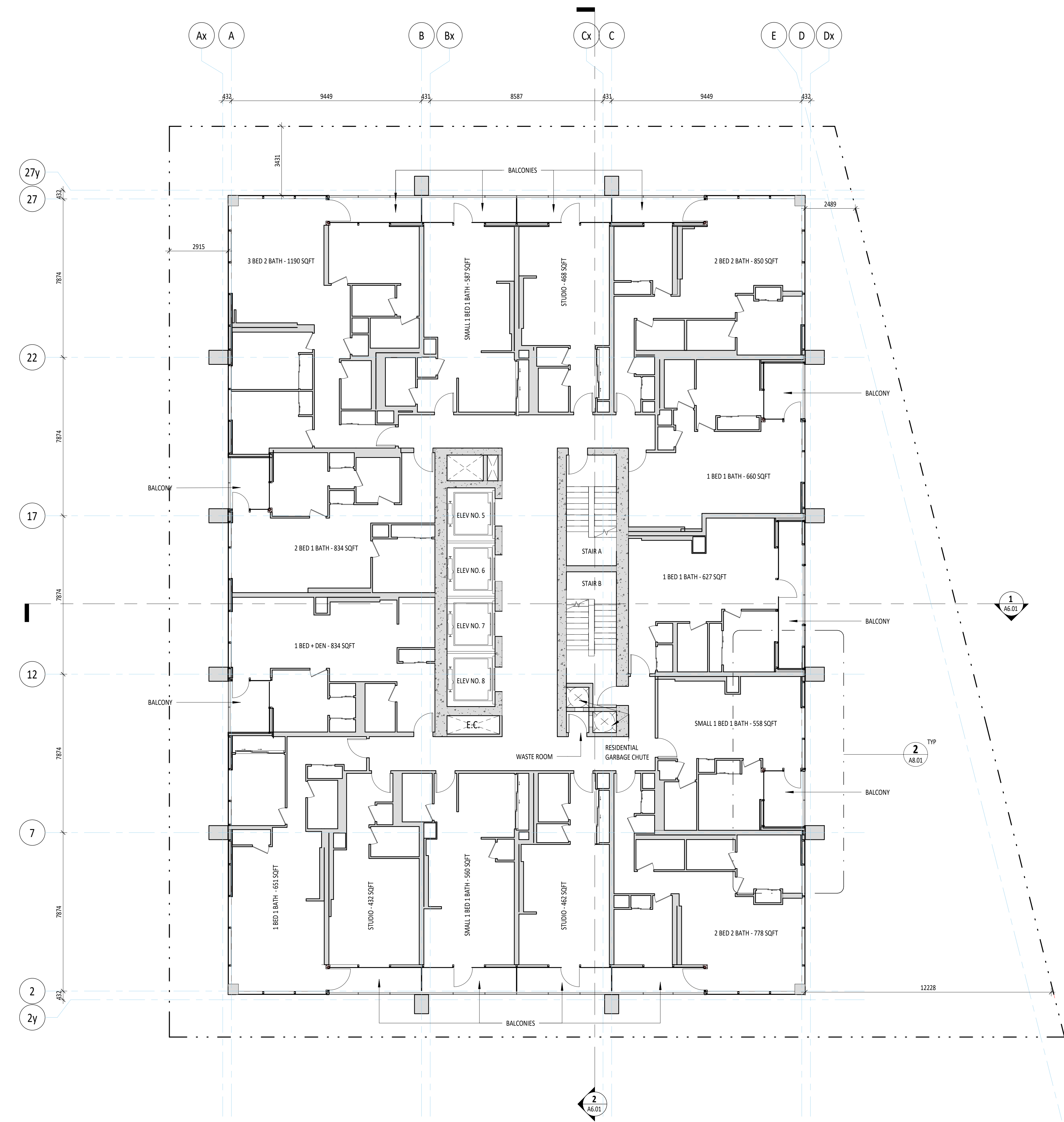
LEVEL 18 AND LEVEL 19 PLANS

A3.09

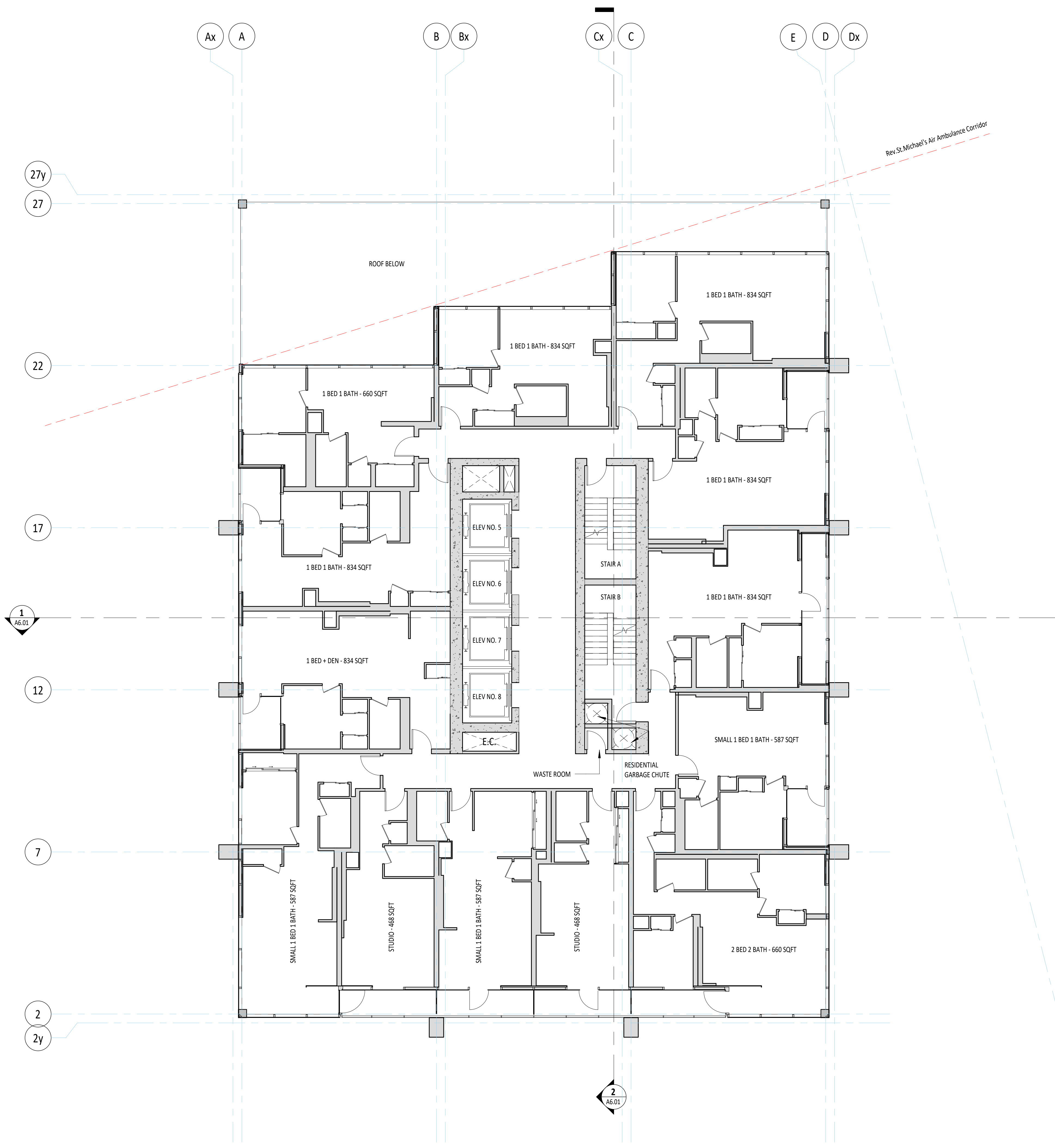
NEW CONSTRUCTION

EXISTING

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1. Drawings are to be read in conjunction with the project description and all other information provided by the architect.
2. The Architect and Engineer are to be read in conjunction with all other information provided by the architect.
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4. The Architect and Engineer are to be read in conjunction with all other information provided by the architect.
5. The Architect and Engineer are to be read in conjunction with all other information provided by the architect.
6. The Architect and Engineer are to be read in conjunction with all other information provided by the architect.



2 Level 20-45 - TYPICAL RES LAYOUT
A3.10 1:100



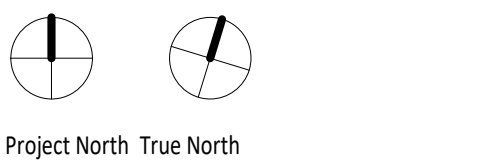
1 Level 46-53 - TYPICAL RES LAYOUT
A3.10 1:100

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2	06/11/2024	ISSUED FOR BIA
3	06/11/2024	ISSUED FOR BIA

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**LEVEL 20-45 PLAN AND
LEVEL 46-53**

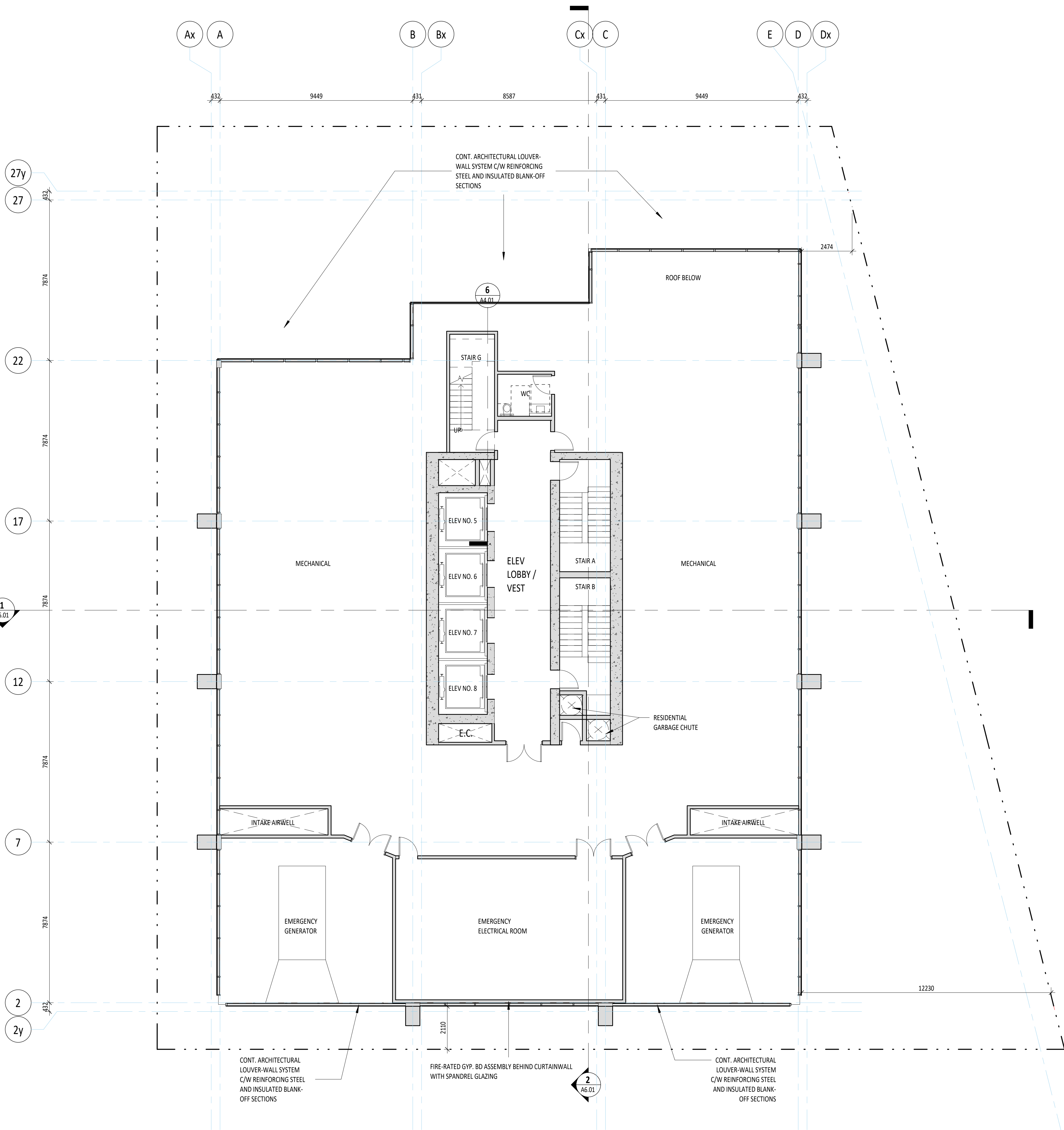
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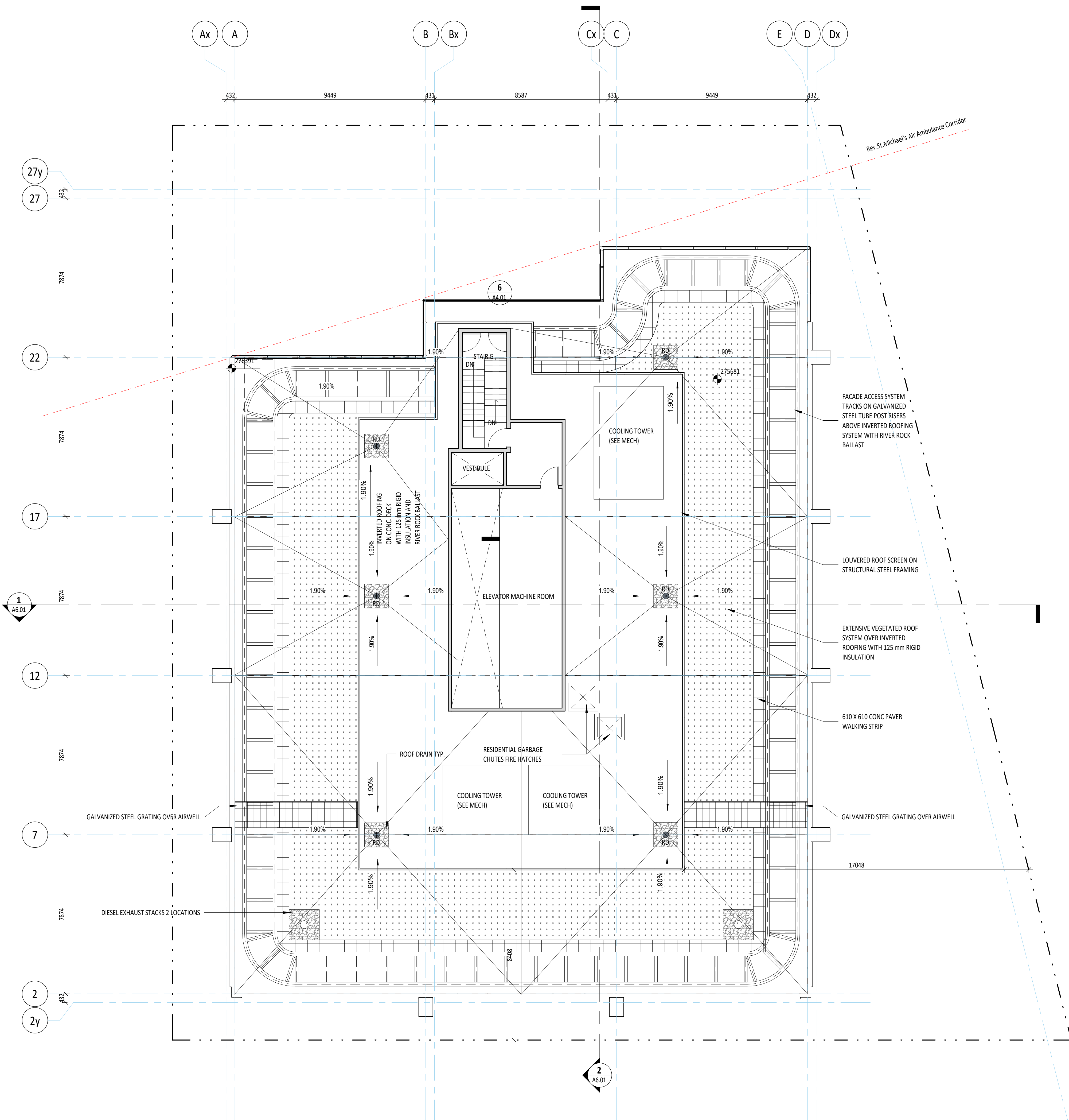
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2. The Architect and Engineer are to be used in conjunction with all other trades. Contractor is responsible for the proper installation of the Architect, Mechanical and Electrical work. In case of difference between the Architect, Mechanical and Electrical work, the Architect's work shall prevail.
3. Materials of construction shall be as specified or approved by the Architect. Materials shall be as specified or approved by the Architect. Materials shall be as specified or approved by the Architect. Materials shall be as specified or approved by the Architect.
4. The Architect and Engineer are to be used in conjunction with all other trades. Contractor is responsible for the proper installation of the Architect, Mechanical and Electrical work. In case of difference between the Architect, Mechanical and Electrical work, the Architect's work shall prevail.
5. The Architect and Engineer are to be used in conjunction with all other trades. Contractor is responsible for the proper installation of the Architect, Mechanical and Electrical work. In case of difference between the Architect, Mechanical and Electrical work, the Architect's work shall prevail.
6. These drawings are to be used for construction unless specifically noted for other purposes.



1 Level 54 - Mechanical Penthouse
A3.11 1:100



2 ELEVATOR MACHINE ROOM AND ROOF PLAN
A3.11 1:100

1	10/11/2024	ISSUED FOR BIA
2	10/11/2024	ISSUED FOR BIA
3	10/11/2024	ISSUED FOR BIA

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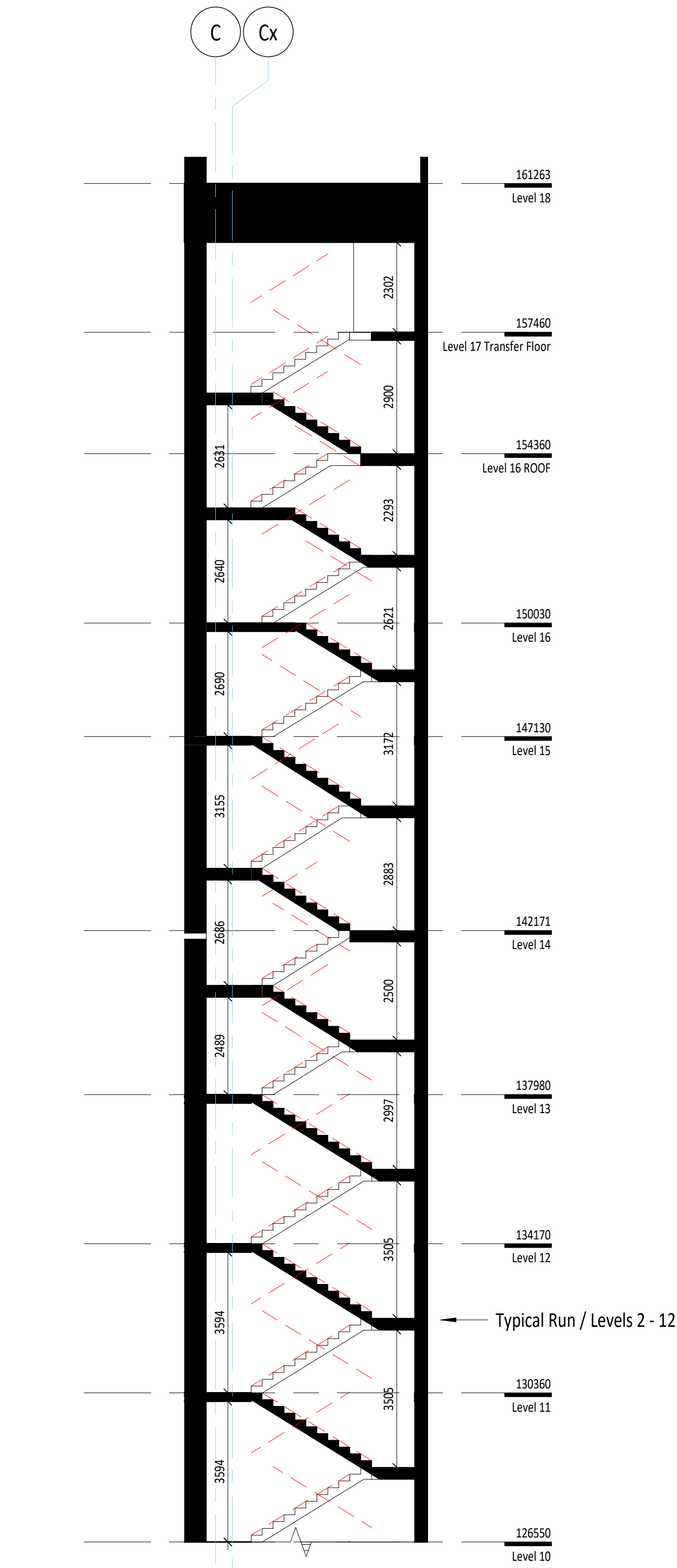
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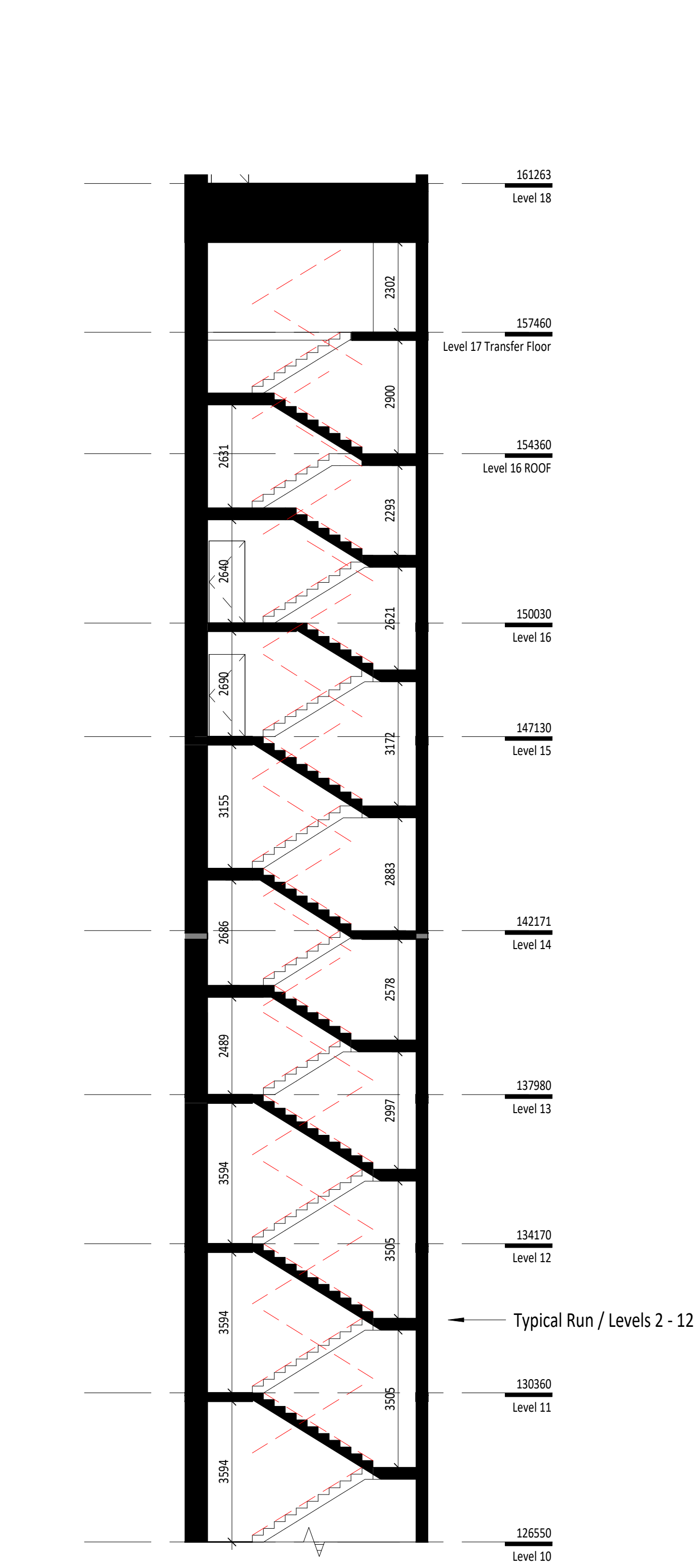
Project No. 2018
Scale 1:100
Plot Date 30/05/2022

M.P.H. AND ROOF PLANS

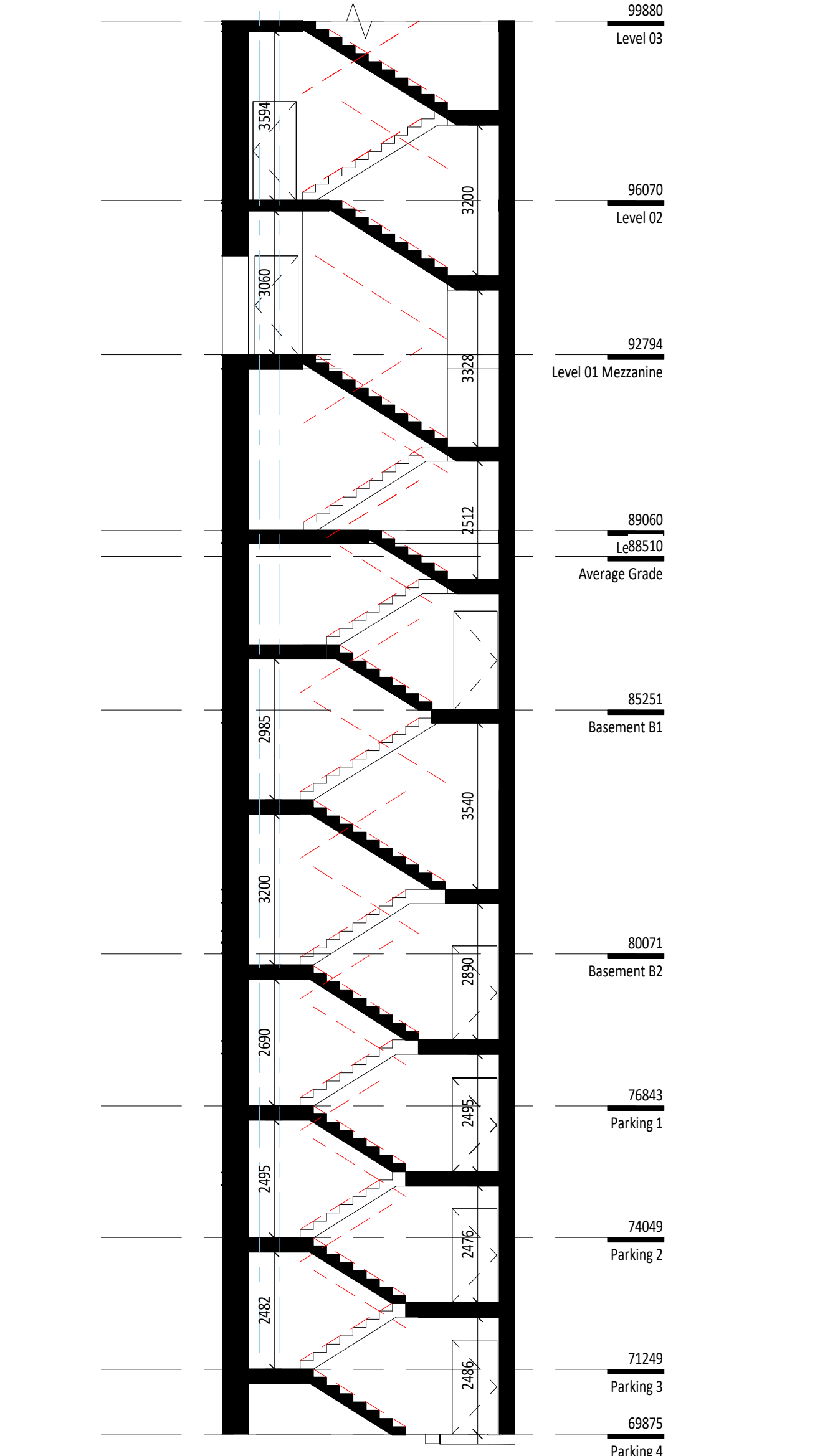
A3.11



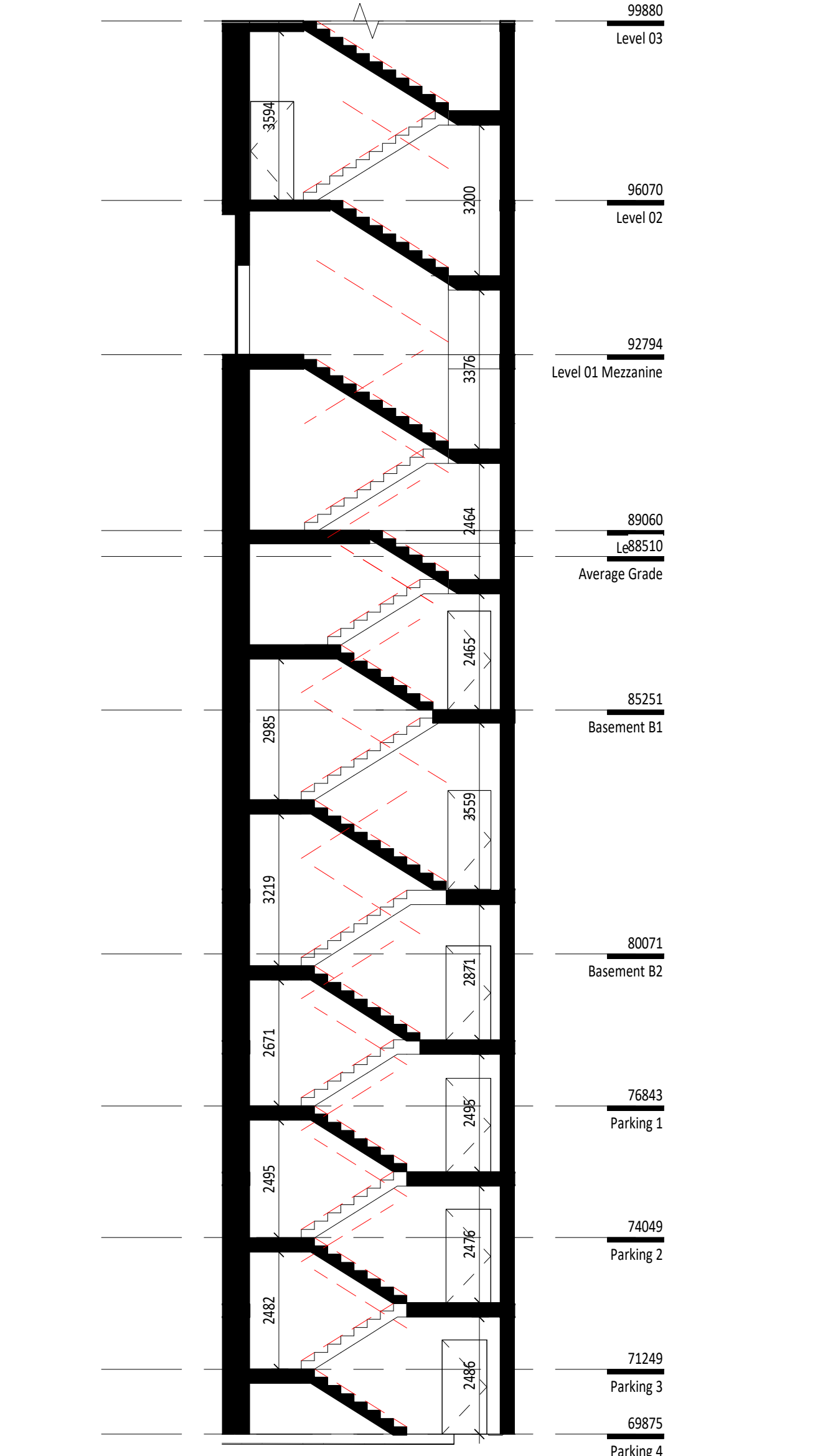
1 LOWER STAIR A SECTION LEVELS 10 - 17
A4.01 1:100



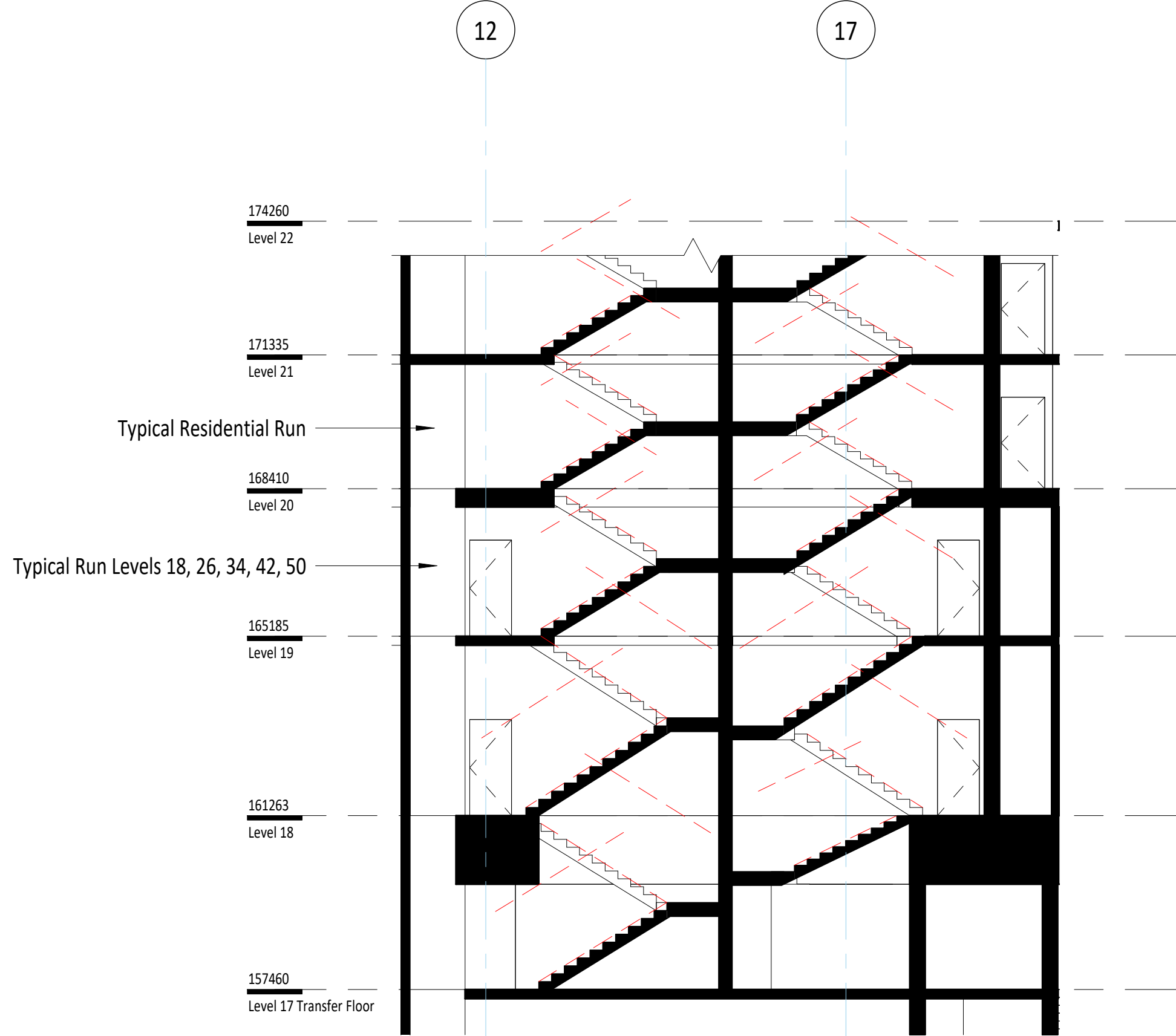
3 LOWER STAIR B SECTION LEVELS 10 - 17
A4.01 1:100



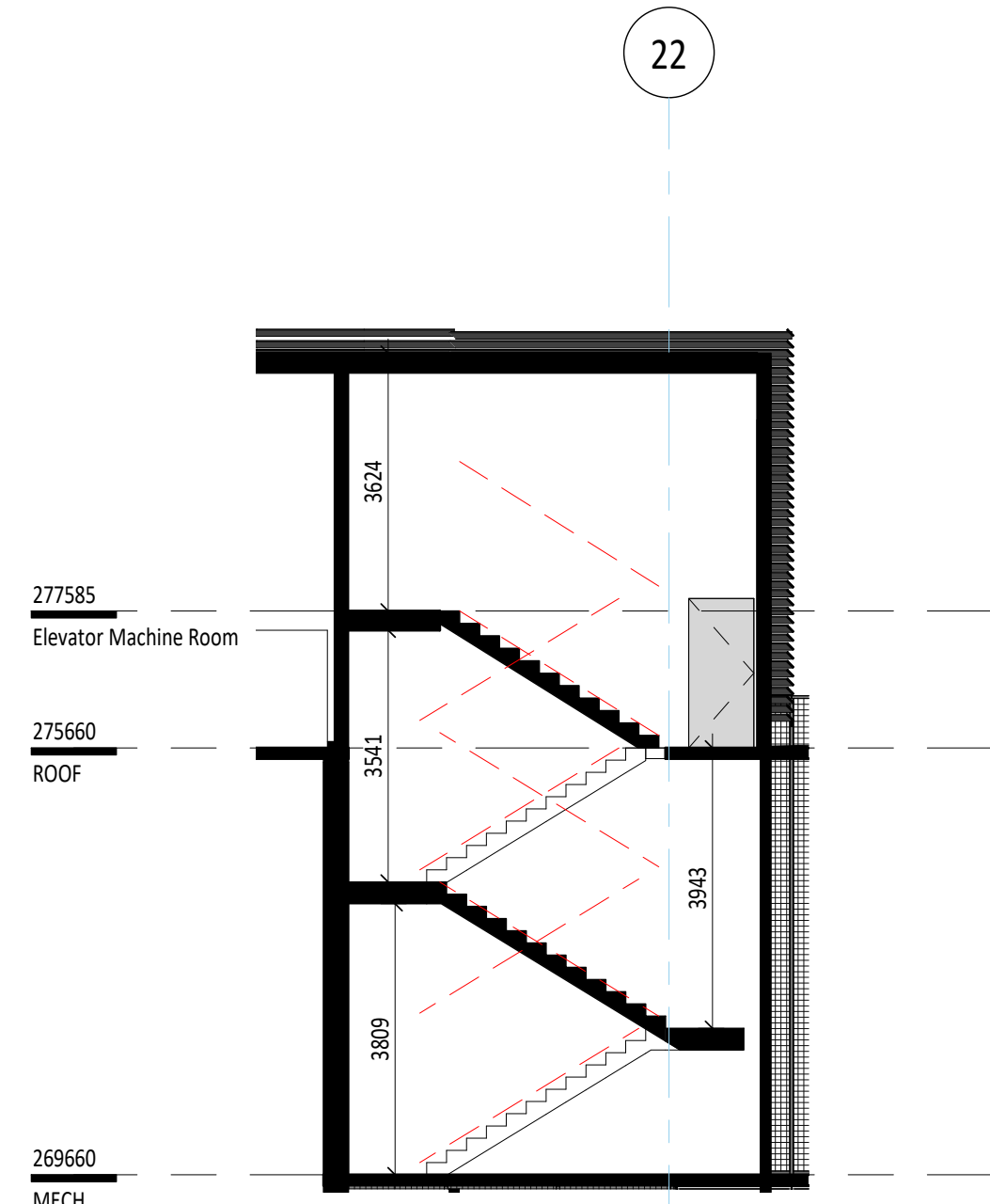
2 LOWER STAIR A SECTION LEVELS P4 - 03
A4.01 1:100



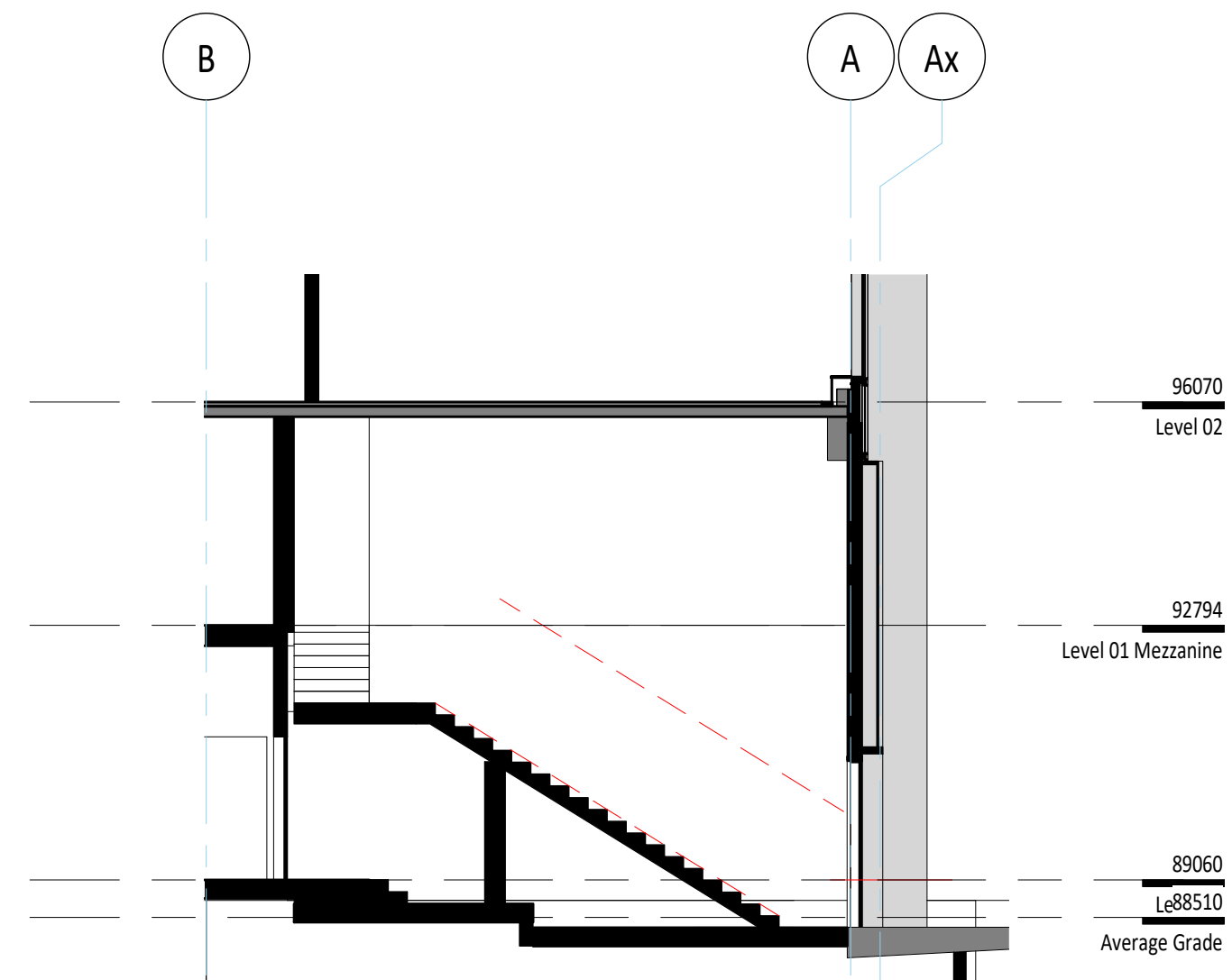
4 LOWER STAIR B SECTION LEVELS P4 - 03
A4.01 1:100



5 UPPER STAIRS A & B SECTION
A4.01 1:100



6 STAIR G SECTION
A4.01 1:100



7 STAIR D SECTION
A4.01 1:100

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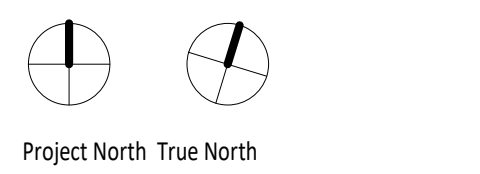
GENERAL NOTES:
1. Contractor is to be advised. Contractor will verify all existing conditions and dimensions required to perform the work and will report any discrepancies with the Contract Documents to the Architect before commencing work.
2. The Architectural Drawings are to be used in conjunction with all other Contract Documents including the Project Manual and the Structural, Mechanical and Electrical Drawings. In case of difference between the Contract Documents, the order of priority shall be: a. Project Manual, b. Architectural Drawings, c. Structural Drawings, d. Mechanical Drawings, e. Electrical Drawings.
3. The Architect is not responsible for the accuracy of the information provided by the contractor or other parties.
4. The Architect is not responsible for the accuracy of the information provided by the contractor or other parties.
5. The Architect is not responsible for the accuracy of the information provided by the contractor or other parties.
6. The Architect is not responsible for the accuracy of the information provided by the contractor or other parties.
7. The Architect is not responsible for the accuracy of the information provided by the contractor or other parties.
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1	06/02/2024	REVISED FOR 200
2	06/02/2024	REVISED FOR 200
3	06/02/2024	REVISED FOR 200
4	06/02/2024	REVISED FOR 200

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STAIR SECTIONS

A4.01



Systems and Materials Key for Elevations:

- 1.Structural glazing system with low iron glass IGUs
- 2.Slonie slab facing
- 3.High-gloss SSG curtainwall glazing system with clear vision glass IGUs
- 4.ASSC curtainwall glazing system with opacified clear glass spandrels
- 5.Custom tinted aluminum SSG curtainwall glazing system with decorative pattern to match existing exterior profiles, clear and low iron glass triple IGUs
- 6.Curtainwall glazing system with decorative pattern to match existing exterior profiles, clear and low iron glass triple IGUs
- 7.Aluminum plate column enclosures
- 8.High-gloss curtainwall glazing system with decorative pattern to match existing exterior profiles, clear and low iron glass triple IGUs with translucent frit pattern
- 9.Custom tinted curtainwall glazing system with low iron glass IGUs
- 10.Hybrid unitized window wall system with clear glass IGUs
- 11.Aluminum and glass balcony/railing system
- 12.Aluminum lower wall system
- 13.Metal plank cladding system
- 14.Aluminum panel cladding system
- 15.Low-eved aluminum screen
- 16.High-speed fabric cooling door

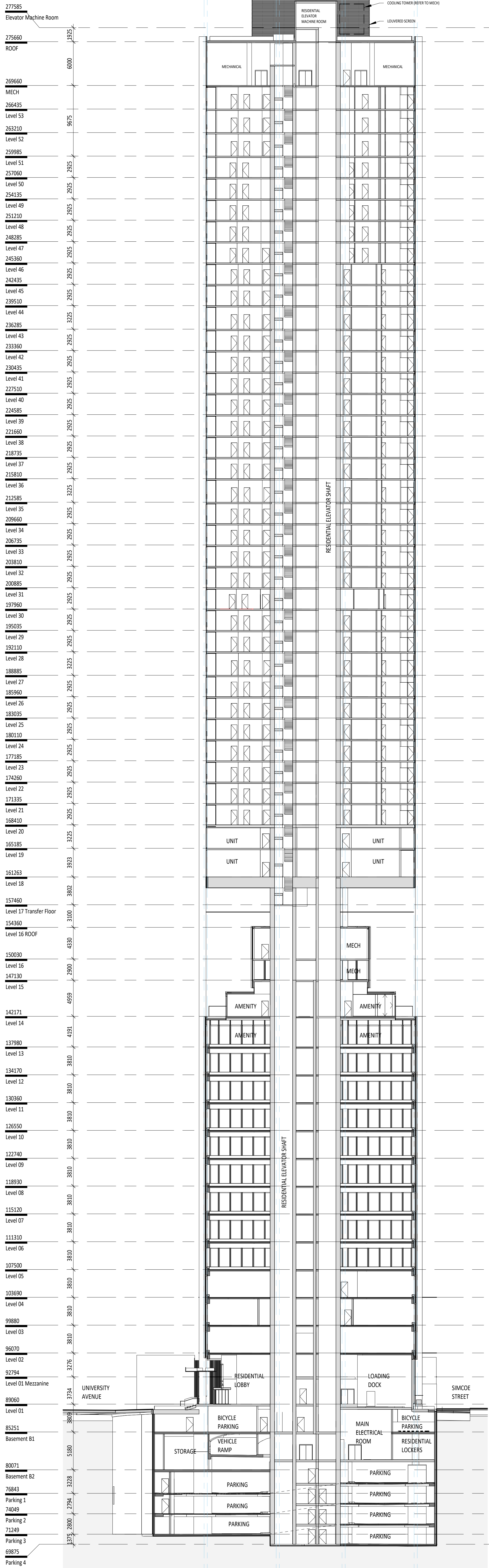
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ELEVATIONS

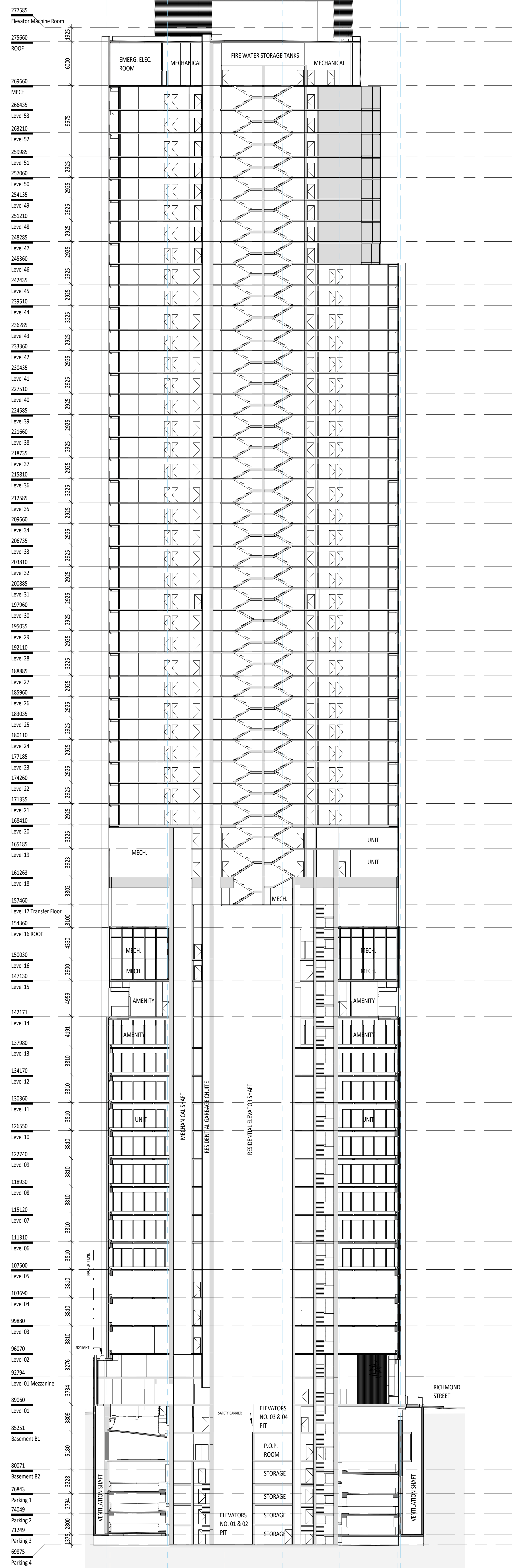
A5.01

Dx D C Cx Bx B A Ax



1 SECTION-EW FACING SOUTH
A6.01 1:250

2y 2 7 12 17 22 27 27y



2 SECTION-NS FACING WEST
A6.01 1:250

NEW CONSTRUCTION

EXISTING

GENERAL NOTES:
1. Drawings are to be used by the Contractor. Contractor will verify all existing conditions and dimensions required to perform the work and will report any discrepancies with the project documents to the Architect before construction begins.
2. The Architect and Engineer are to be used in conjunction with all other project documents and the project documents to the Architect and Engineer. The Architect and Engineer are to be used in conjunction with all other project documents and the project documents to the Architect and Engineer.
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1	10/11/2024	ISSUED FOR Bidding
2	10/11/2024	ISSUED FOR Bidding
3	10/11/2024	ISSUED FOR Bidding

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BUILDING SECTIONS

A6.01

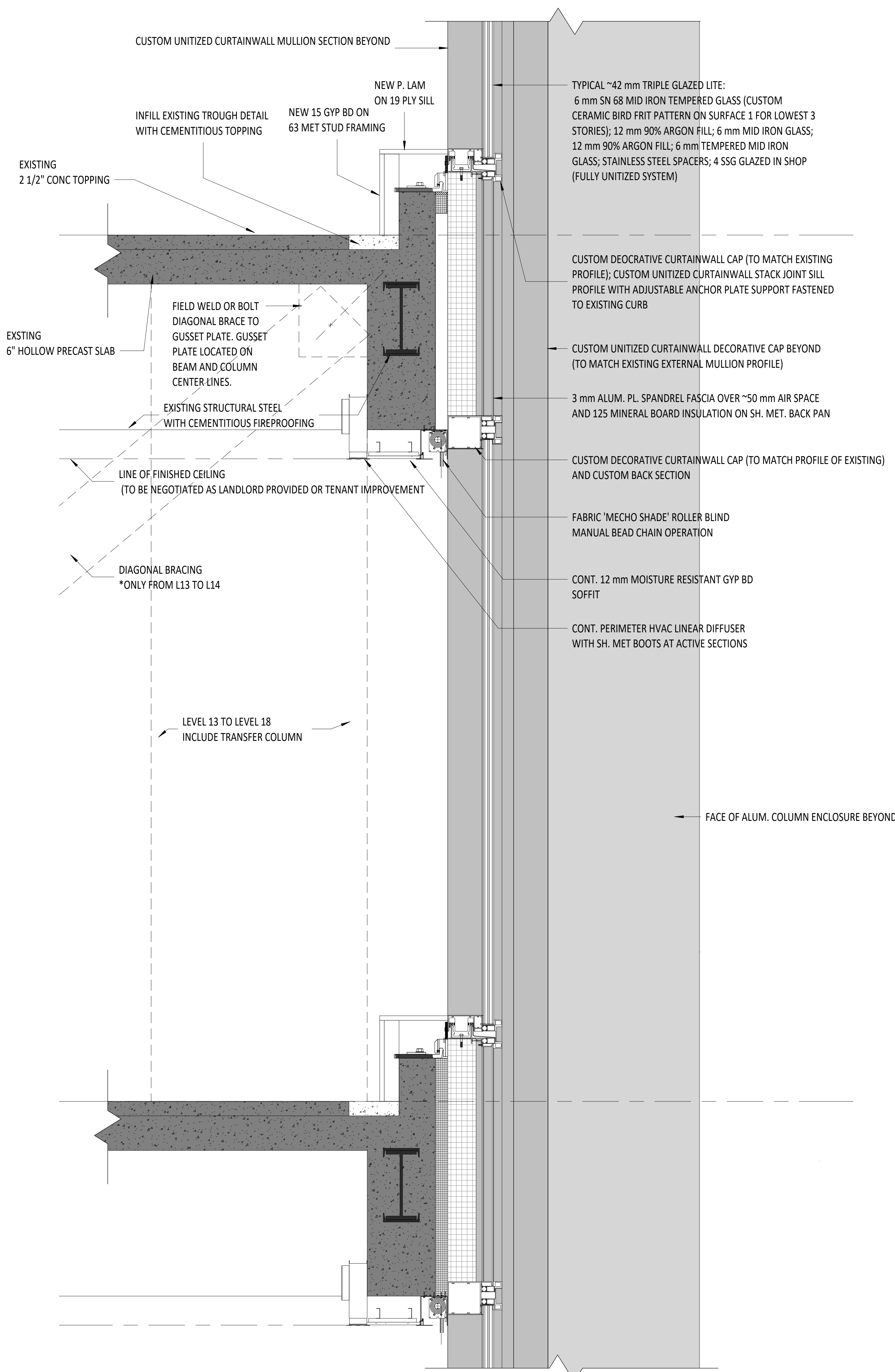
NEW CONSTRUCTION

EXISTING

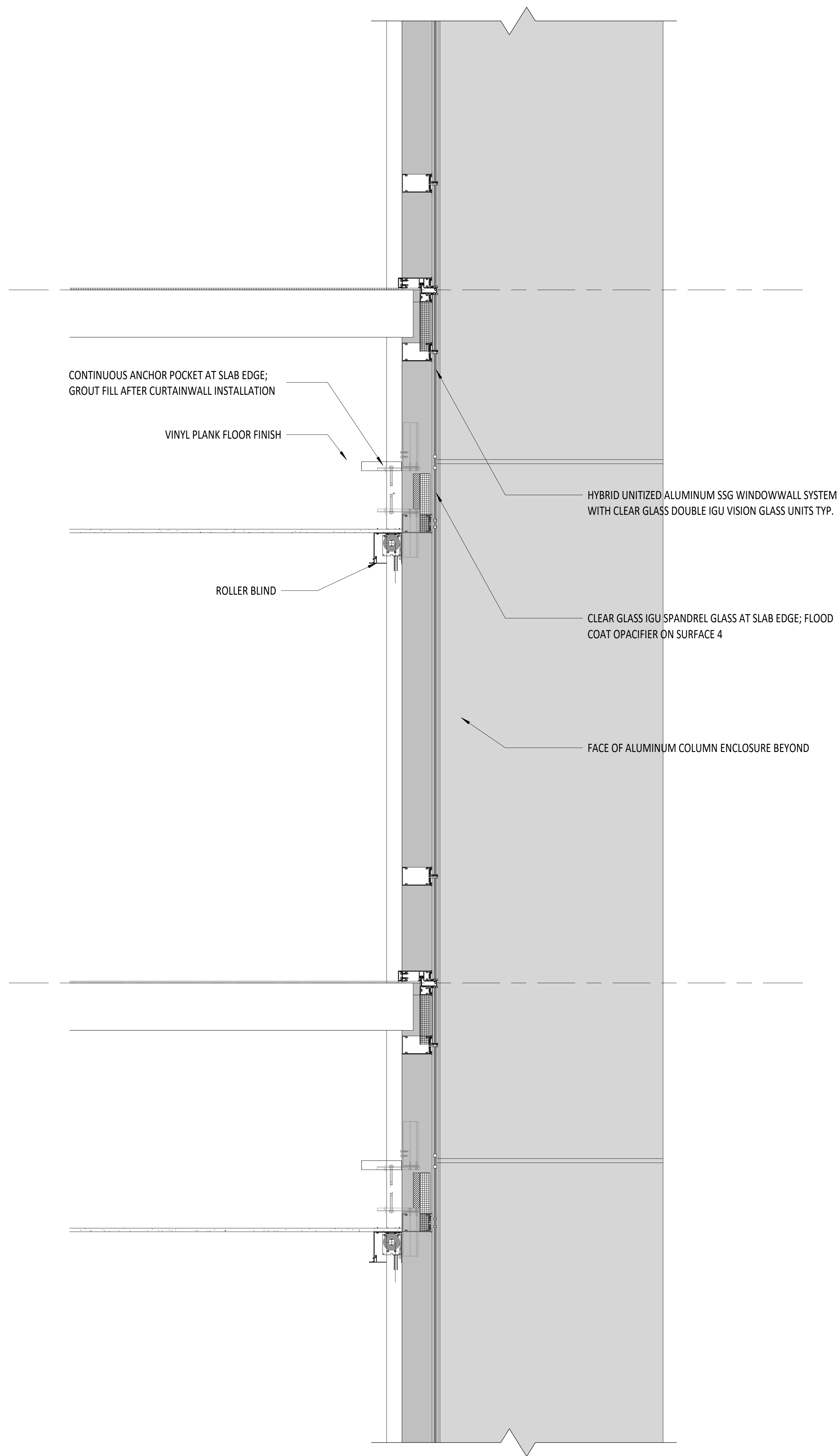
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2. The Architect and Drawings are to be used in conjunction with all other Contract Documents including the Project Manual and the Schedule of Values.
3. The Architect and Drawings are to be used in conjunction with all other Contract Documents including the Project Manual and the Schedule of Values.
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6. The Architect and Drawings are to be used in conjunction with all other Contract Documents including the Project Manual and the Schedule of Values.



1 Unitized Curtainwall Glazing System - Commercial / Existing Floors
A7.01 1:10



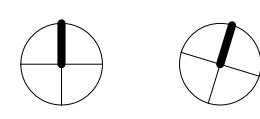
2 Unitized Hybrid WindowWall Glazing System - Residential Floors
A7.01 1:10

1	06/11/2024	ISSUED FOR Bidding
2	08/05/2022	ISSUED FOR Bidding
3	08/05/2021	ISSUED FOR Bidding

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Plot Date 30/05/2022

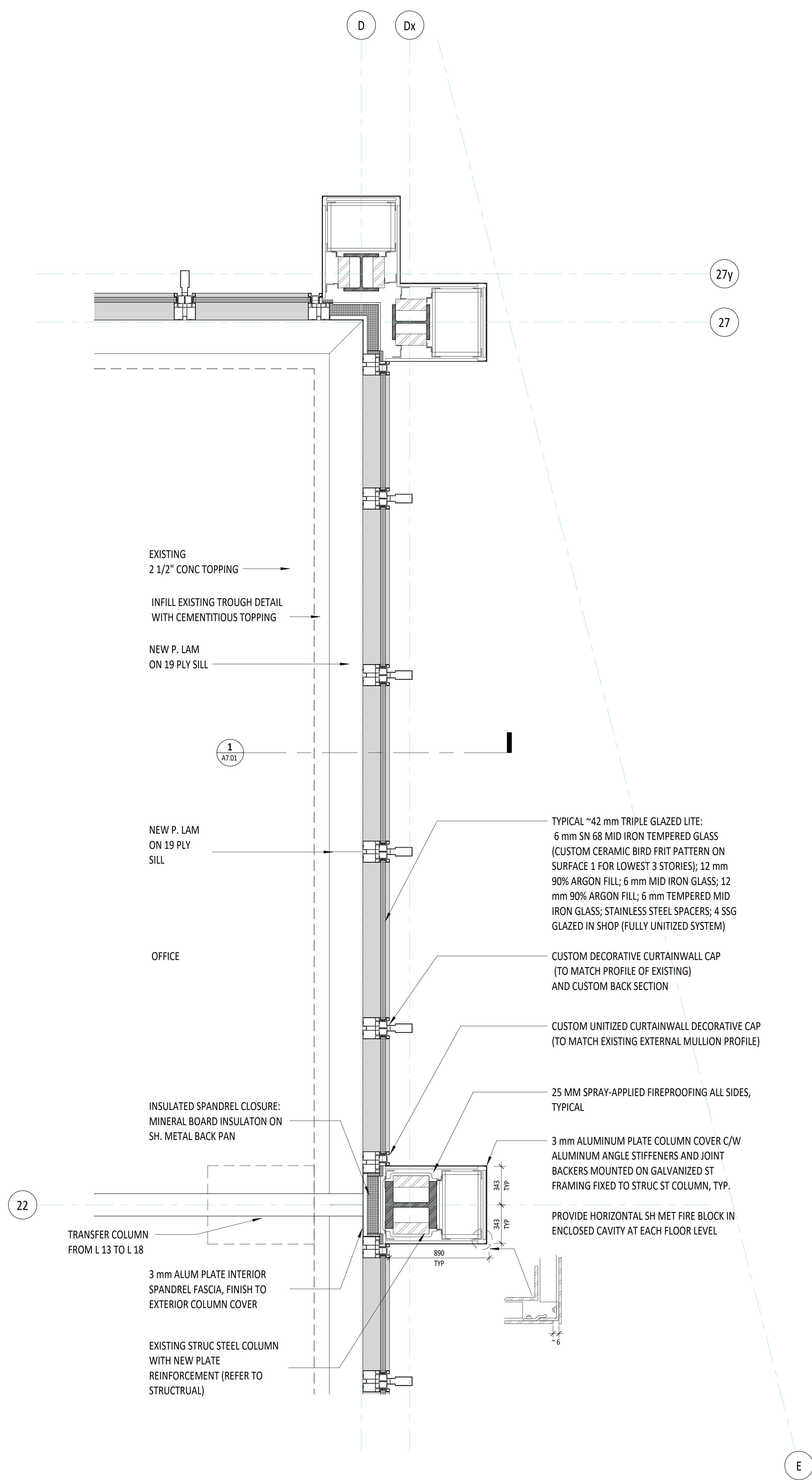
TYPICAL WALL SECTIONS

NEW CONSTRUCTION

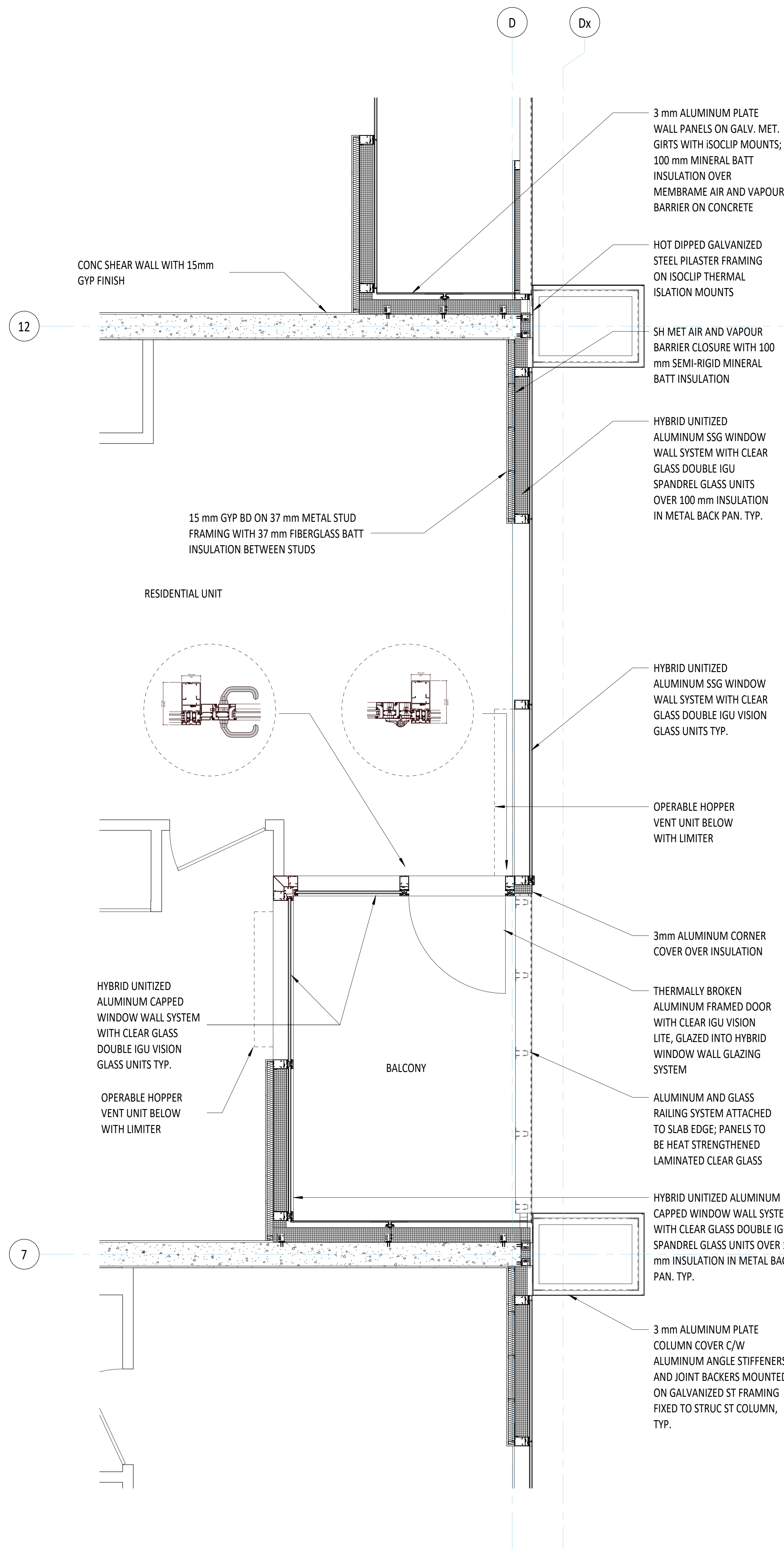
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2. The Architect's Drawings are to be read in conjunction with all other drawings and specifications. In the event of a conflict, the Architect's Drawings shall prevail.
3. The Architect's Drawings are to be read in conjunction with the Architect's General Conditions of Contract and the Architect's General Conditions of Contract.
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6. The Architect's Drawings are to be read in conjunction with the Architect's General Conditions of Contract and the Architect's General Conditions of Contract.



1 Typical Existing Facade Plan Detail
A8.01 1:20



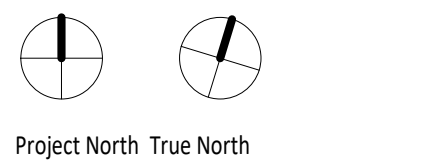
2 Typical New Tower Exterior Facade Plan Details
A8.01 1:20

1	06/11/2024	ISSUED FOR BIDDING
2	06/11/2024	ISSUED FOR BIDDING
3	06/11/2024	ISSUED FOR BIDDING

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TYPICAL PLAN DETAILS

A8.01