

YORKGATE MALL, 1 YORK GATE BLVD., CITY OF TORONTO, ONTARIO		
ZONING COMPLIANCE ANALYSIS		
CITY OF TORONTO BY-LAW 569-2013		
PERMITTED USE:		
ZONING REGULATIONS:	REQUIRED:	PROVIDED:
Overall Development Lot Area:	-	5,718m2
Overall Lot Frontage: York Gate Blvd.	-	133.2m
Phase 1 Lot Area:	-	2,710m2
Phase 1 Lot Frontage: York Gate Blvd.	-	53.7m
Max. Lot Coverage Phase 1	-	44.0%
Max. GFA (gross floor area)	-	21,209m2
Max. FSI	-	7.8
Max. Number of Dwelling Units:	-	305
Min. Setbacks - Apartment Building		
Min. Front Yard Setback (York Gate Blvd.):	6.0m	3.0m
Min. Exterior Side Yard Setback (South):	36.4m	10.72m
Min. Side Yard Setback (North):	36.4m	5.4m
Min. Rear Yard Setback:	36.4m	7.5m
Max. Building Height:	-	27-storeys (93.0m)
Resident Parking - Apartment Building	-	6 spaces
6 Accessible spaces shown on Site Plan. Remainder TBD at Site Plan Approval		
Visitor Parking - Apartment Building	-	1 space
2 spaces + 0.01/ unit = 5 total spaces. *1 Accessible space shown on Site Plan .		
Remainder TBD at Site Plan Approval		
Car Share Parking - Apartment Building	-	2 spaces
TBD at Site Plan Approval-will be provided onowners property		
	-	
The minimum dimensions for Parking Spaces	-	2.6m x 5.6m
for Apartment Buildings and within a Garage		
The minimum width for Drive Aisles	-	6.0m
Accessible Parking - Apartment Building	-	7 spaces
Common Amenity Area:		
Minimum 4 square metres of Common Amenity Area	1,220m2	Requirements for Indoor & Outdoor Amenity proposed as per City-Wide Zoning By-Law 569-2013
shall be provided per Dwelling Unit.		
2.0m2 (indoor)	610m2	
2.0m2 (outdoor)	610m2	
Min. Landscape Open Space: (Hard+Soft)		1,630m2 (28.5%)
Min. Soft Landscape Area:		750m2 (13.0%)
Sightline triangle at a vehicular access from a street	4m x 5m	4m x 5m

BUILDING STATISTICS			
TOTAL NUMBER OF RESIDENTIAL UNITS		305 units	
PARKING PROPOSED		7 spaces+ 4 spaces + 2 spaces	
4 additional visitors parking spaces will be provided on the owner's property. 2 additional car share spaces will be provided on the owner's property			
GROUND FLOOR AREA calculated area includes: canopies and overhangs		1,185m2	12,755 sqft
TOWER FLOOR PLATE AREAS		5th to 25th 26th to 27th	814m2 750m2 8,762 sqft 8,073 sqft
RESIDENTIAL GCA (Gross Construction Area)			
area to outside walls for all floors, above and below grade. area excludes: elevator hoistway, stairs, mech. duct shafts, and garbage chute		21,709m2	233,673 sqft
RESIDENTIAL GFA (Gross Floor Area)			
area to outside walls for all floors, above and below grade. area excludes: elevator hoistway, stairs, mech. duct shafts, garbage chute, waste collection room, bike rack storage, all mechanical/ electrical rooms		21,209m2	228,292 sqft
RESIDENTIAL GLA (Gross Leasable Area)			
calculated area of residential units only,		17,798m2	191,576 sqft
ONTARIO BUILDING CODE CLASSIFICATION		OBC PART 3, GROUP C	

RESIDENTIAL - AREA SUMMARY							EFFICIENCY		
	GCA			GFA		GLA		GLA/ GCA	GLA/ GFA
PODIUM	GR FL	996m2	10,720 sqft	991m2	10,667 sqft	0m2	0 sqft	0%	0%
	2 FL	1,030m2	11,087 sqft	1,025m2	11,033 sqft	725m2	7,804 sqft	70%	70%
	3 FL	1,030m2	11,087 sqft	1,025m2	11,033 sqft	725m2	7,804 sqft	70%	70%
	4 FL	1,030m2	11,087 sqft	1,025m2	11,033 sqft	725m2	7,804 sqft	70%	70%
	5 FL	756m2	8,138 sqft	751m2	8,084 sqft	605m2	6,512 sqft	80%	81%
	6 FL	756m2	8,138 sqft	751m2	8,084 sqft	688m2	7,406 sqft	91%	92%
	7 FL	756m2	8,138 sqft	751m2	8,084 sqft	688m2	7,406 sqft	91%	92%
	8 FL	756m2	8,138 sqft	751m2	8,084 sqft	688m2	7,406 sqft	91%	92%
	9 FL	756m2	8,138 sqft	751m2	8,084 sqft	688m2	7,406 sqft	91%	92%
	10 FL	756m2	8,138 sqft	751m2	8,084 sqft	688m2	7,406 sqft	91%	92%
TOWER	11 FL	756m2	8,138 sqft	751m2	8,084 sqft	688m2	7,406 sqft	91%	92%
	12 FL	756m2	8,138 sqft	751m2	8,084 sqft	688m2	7,406 sqft	91%	92%
	13 FL	756m2	8,138 sqft	751m2	8,084 sqft	688m2	7,406 sqft	91%	92%
	14 FL	756m2	8,138 sqft	751m2	8,084 sqft	688m2	7,406 sqft	91%	92%
	15 FL	756m2	8,138 sqft	751m2	8,084 sqft	688m2	7,406 sqft	91%	92%
	16 FL	756m2	8,138 sqft	751m2	8,084 sqft	688m2	7,406 sqft	91%	92%
	17 FL	756m2	8,138 sqft	751m2	8,084 sqft	688m2	7,406 sqft	91%	92%
	18 FL	756m2	8,138 sqft	751m2	8,084 sqft	688m2	7,406 sqft	91%	92%
	19 FL	756m2	8,138 sqft	751m2	8,084 sqft	688m2	7,406 sqft	91%	92%
	20 FL	756m2	8,138 sqft	751m2	8,084 sqft	688m2	7,406 sqft	91%	92%
	21 FL	756m2	8,138 sqft	751m2	8,084 sqft	688m2	7,406 sqft	91%	92%
	22 FL	756m2	8,138 sqft	751m2	8,084 sqft	688m2	7,406 sqft	91%	92%
	23 FL	756m2	8,138 sqft	751m2	8,084 sqft	688m2	7,406 sqft	91%	92%
	24 FL	756m2	8,138 sqft	751m2	8,084 sqft	688m2	7,406 sqft	91%	92%
	25 FL	756m2	8,138 sqft	751m2	8,084 sqft	688m2	7,406 sqft	91%	92%
	26 FL	691m2	7,438 sqft	686m2	7,384 sqft	629m2	6,770 sqft	91%	92%
	27 FL	691m2	7,438 sqft	686m2	7,384 sqft	629m2	6,770 sqft	91%	92%
M.P.H.	365m2	3,930 sqft	0m2	0 sqft	0m2	0 sqft	0%	0%	
TOTALS		21,709m2	233,673 sqft	21,209m2	228,292 sqft	17,798m2	191,576 sqft	82%	84%

RESIDENTIAL - UNIT SUMMARY						
floor	STUDIO	1-BED	1-B+DEN	2-BED	3-BED	TOTALS
GR FL	0	0	0	0	0	0
2 FL	4	2	0	0	3	9
3 FL	4	2	1	0	3	10
4 FL	4	2	1	1	3	11
5 FL	3	3	3	3	1	13
6 FL	3	3	3	3	1	13
7 FL	3	3	3	3	1	13
8 FL	3	3	3	3	1	13
9 FL	3	3	3	3	1	13
10 FL	3	3	3	3	1	13
11 FL	3	3	3	3	1	13
12 FL	3	3	3	3	1	13
13 FL	3	3	3	3	1	13
14 FL	3	3	3	3	1	13
15 FL	3	3	3	3	1	13
16 FL	3	3	3	3	1	13
17 FL	1	3	2	4	1	11
18 FL	1	3	2	4	1	11
19 FL	1	3	2	4	1	11
20 FL	1	3	2	4	1	11
21 FL	1	3	2	4	1	11
22 FL	1	3	2	4	1	11
23 FL	1	3	2	4	1	11
24 FL	1	3	2	4	1	11
25 FL	1	3	2	4	1	11
26 FL	0	3	2	4	1	10
27 FL	0	3	2	4	1	10
TOTALS	57	75	60	81	32	305
%	18.70	25.60	19.70	26.60	10.50	100%

7	ISSUED FOR SETTLEMENT	JULY.10.2024	OH
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1	ISSUED FOR ZONING BY-LAW AMMENDMENT	FEB.15.2022	AH
NO.	REVISIONS	W-W: WSD -LL: LOPES PREVIOUS: PH-L: D-TE	D-TE BY
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PROJECT STATISTICS

PROPOSED MULTI-UNIT
RESIDENTIAL DEVELOPMENT
1 YORK GATE BLVD.
TORONTO, ONTARIO
FOR: SMARTCENTRES REIT

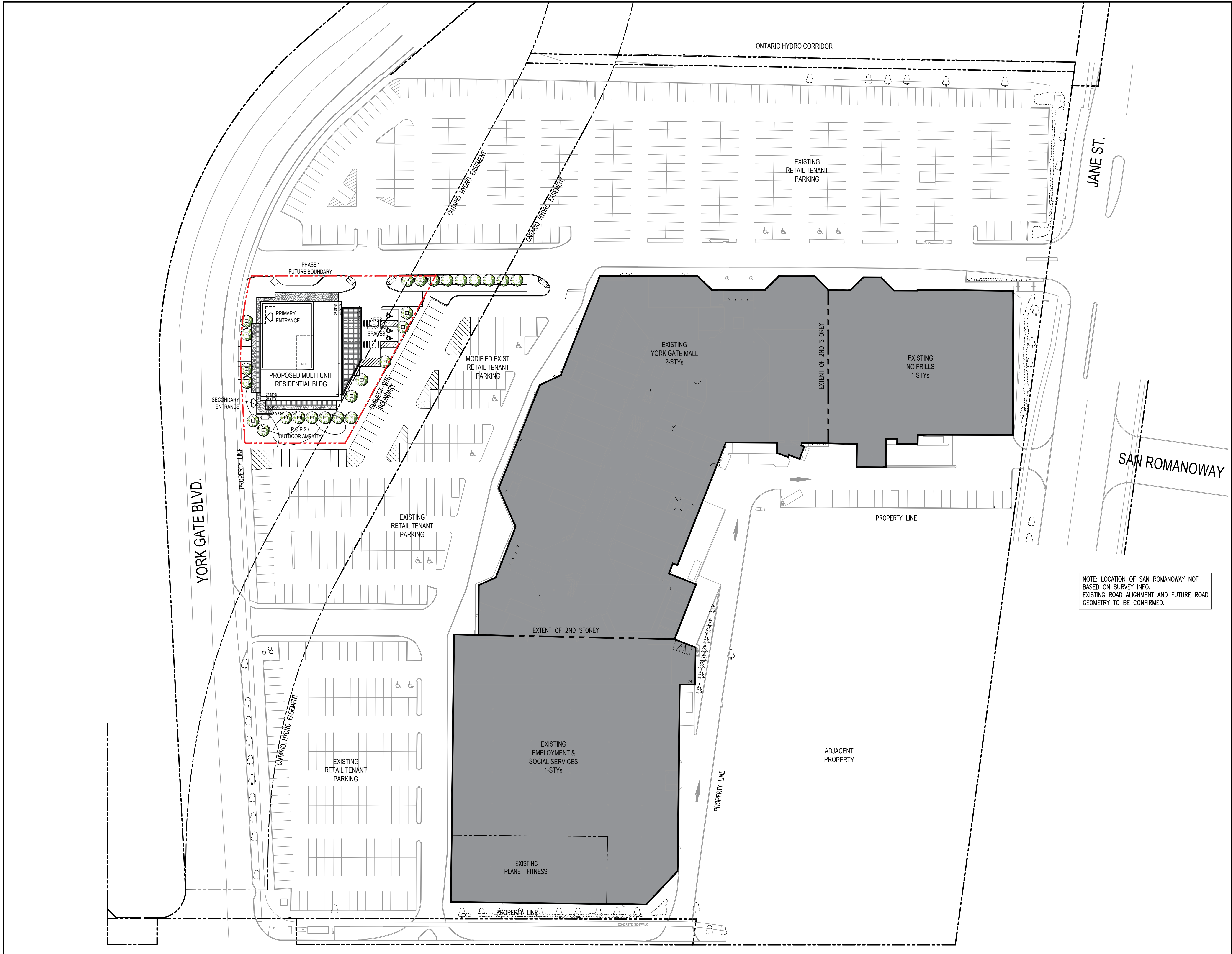
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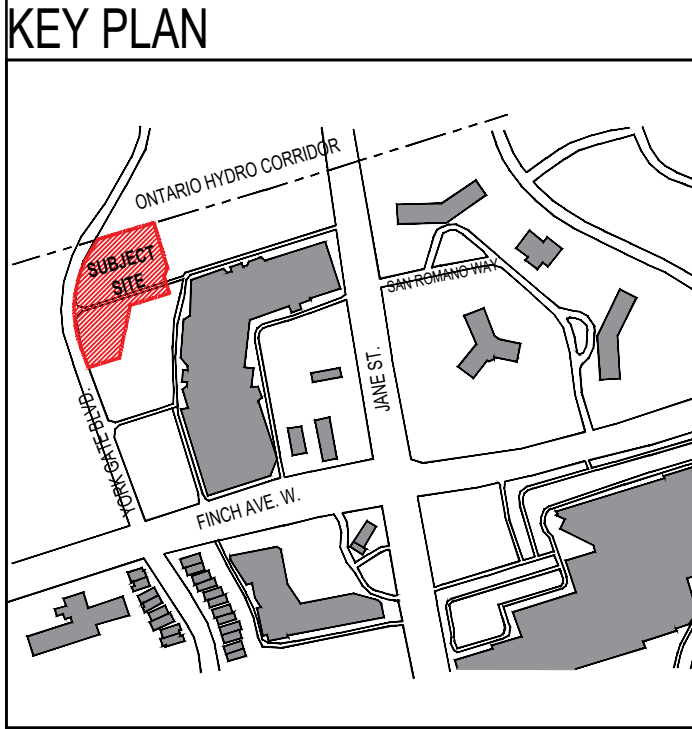
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MARKHAM, ON L3R 8H8
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DR-WN BY	PETROFF	PROJECT NO.	21058
CHECKED BY	PETROFF	DWG. NO.	A001
D-TE			
ISSUED			



1 CONTEXT SITE PLAN
A101 SCALE 1:500

LEGAL DESCRIPTION
PART OF BLOCKS 2 AND 5
REGISTERED PLAN M-1994
AND
PART OF YORK GATE BOULEVARD
(CLOSED BY BY-LAW No. 30101, INST. T8480735)
REGISTERED PLAN 6530
CITY OF TORONTO



SITE PLAN LEGEND	
[FF 100.00]	PROPOSED FIN. GRADE
± 179.00 OR ± 179.00	EXISTING GRADE
TO 179.00	TOP OF CATCH BASIN
ENTRANCE EXIT	DOOR LOCATIONS
▲	DRIVE AISLE/ VEHICULAR TRAFFIC
▲	LOADING/ GARAGE DOOR LOCATION
■ C.B.	CATCH BASIN
● M.H.	SANITARY MANHOLE
● M.H.	STORM SEWER MANHOLE
◆ F.H.	FIRE HYDRANT
○ R.D.	ROOF DRAIN
□ L.S.	NEW LIGHT STANDARDS
▨	HEAVY DUTY ASPHALT PAVING
B.F. D.G.	BARRIER-FREE DEPRESSED CURB

THIS SITE PLAN IS BASED ON SURVEY AND TOPOGRAPHICAL INFORMATION PREPARED BY HOLDING JONES VANDERVEEN INC. DATED OCT. 19/ 2018

REFER TO SITE SERVICING & GRADING DRAWINGS PREPARED BY CROZIER & ASSOCIATES

REFER TO LANDSCAPE DRAWINGS PREPARED BY STUDIO TLA

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CONTEXT SITE PLAN

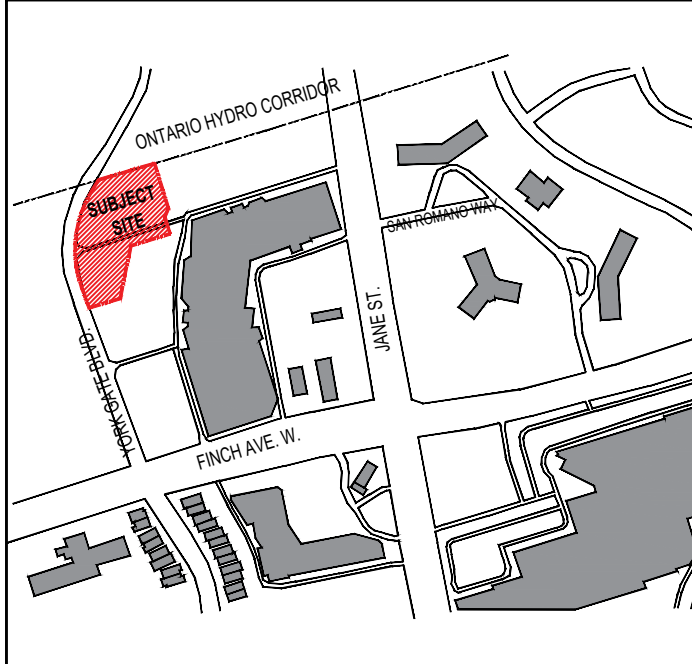
PROPOSED MULTI-UNIT
RESIDENTIAL DEVELOPMENT
1 YORK GATE BLVD.
TORONTO, ONTARIO
FOR: SMARTCENTRES REIT

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KEY PLAN



SITE PLAN LEGEND

FF 100.00	PROPOSED FIN. GRADE
OR	EXISTING GRADE
TO 179.00	TOP OF CATCH BASIN
ENTRANCE	DOOR LOCATIONS
EXIT	DRIVE AISLE/ VEHICULAR TRAFFIC
	LOADING/ GARAGE DOOR LOCATION
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NO.	REVISIONS	DATE	BY
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COMPOSITE SITE PLAN

SCALE AS NOTED

PROPOSED MULTI-UNIT
RESIDENTIAL DEVELOPMENT

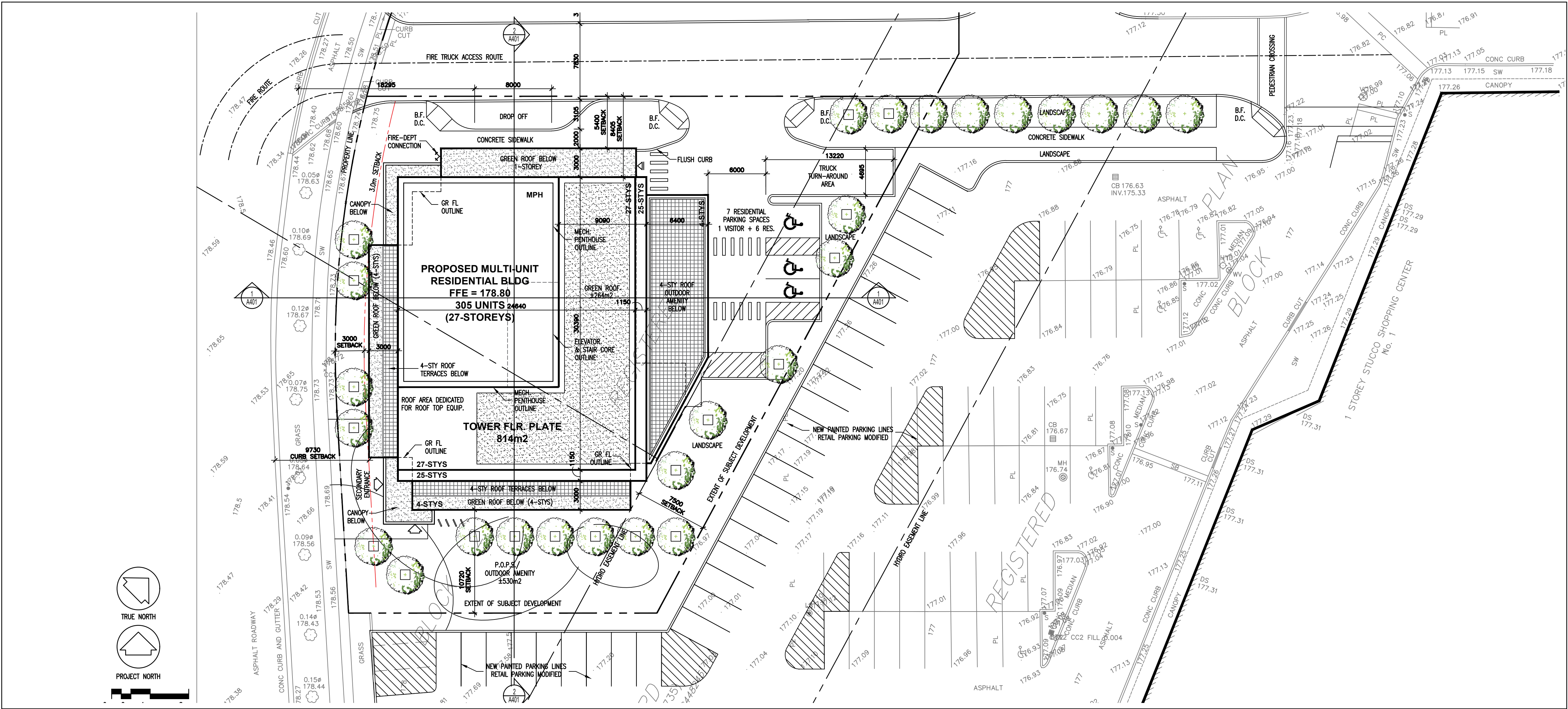
1 YORK GATE BLVD.
TORONTO, ONTARIO
FOR: SMARTCENTRES REIT

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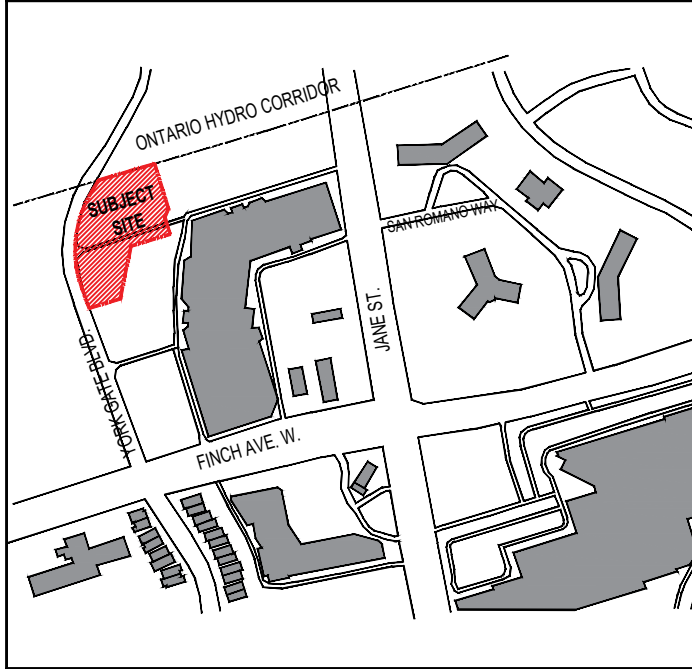
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LEGAL DESCRIPTION
PART OF BLOCKS 2 AND 5
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CITY OF TORONTO

KEY PLAN



SITE PLAN LEGEND

FF 100.00	PROPOSED FIN. GRADE
OR	EXISTING GRADE
TO 179.00	TOP OF CATCH BASIN
ENTRANCE	DOOR LOCATIONS
EXIT	DRIVE ASLE/ VEHICULAR TRAFFIC
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HEAVY DUTY ASPHALT PAVING	
B.F. D.C.	BARRIER-FREE DEPRESSED CURB

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REFER TO SITE SERVICING & GRADING DRAWINGS PREPARED BY CROZIER & ASSOCIATES

REFER TO LANDSCAPE DRAWINGS PREPARED BY STUDIO TLA

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NO.	REVISIONS	DATE	BY
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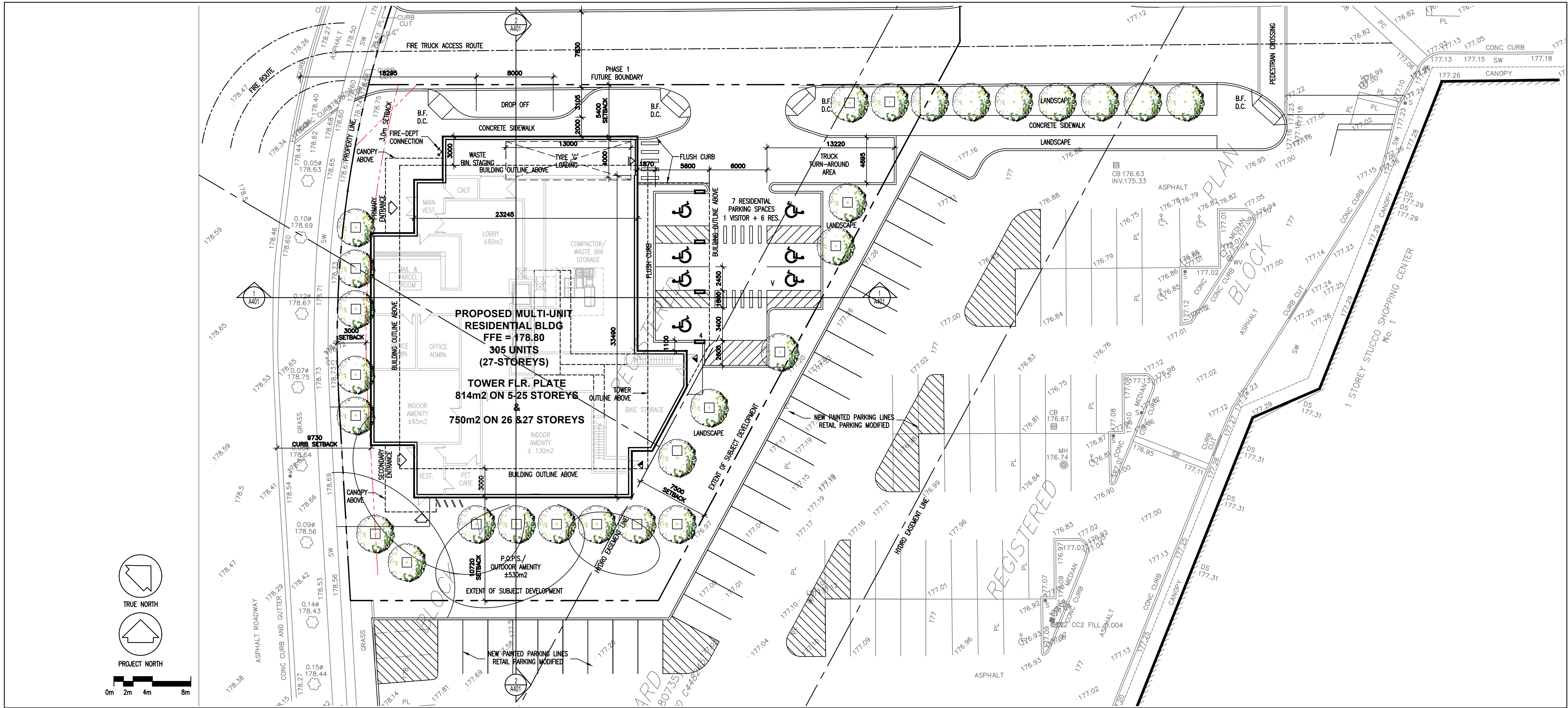
GROUND FLOOR SITE PLAN

SCALE: AS NOTED
**PROPOSED MULTI-UNIT
RESIDENTIAL DEVELOPMENT**
1 YORK GATE BLVD.
TORONTO, ONTARIO
FOR: SMARTCENTRES REIT

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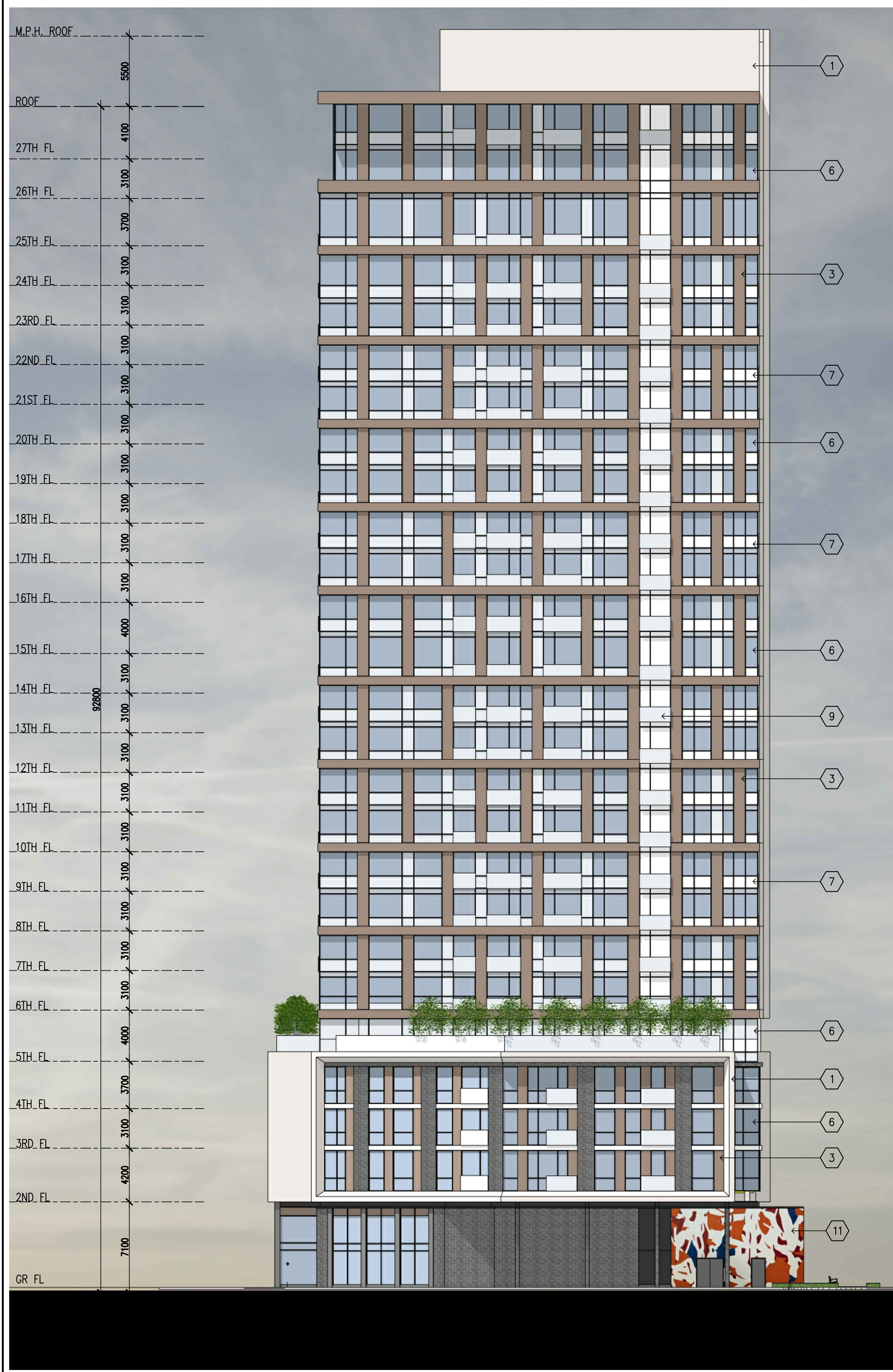
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1 NORTH ELEVATION
A301 SCALE 1:200



2 EAST ELEVATION
A301 SCALE 1:200

MATERIAL LEGEND

ARCHITECTURAL PRECAST CONCRETE

- 1 ARCHITECTURAL PRECAST CONCRETE WALL PANELS W/ REVEAL LINES AND LIGHT SANDBLAST FINISH COLOUR: WHITE
- 2 ARCHITECTURAL PRECAST CONCRETE WALL PANELS W/ REBRICK PATTERN FORM-LINER COLOUR: CHARCOAL GREY

COMPOSITE METAL PANEL

- 3 PRE-FINISHED ALUMINUM COMPOSITE PANEL w/ RAINSCREEN SYSTEM COLOUR: MATTE BROWN
- 4 PRE-FINISHED ALUMINUM COMPOSITE PANEL w/ RAINSCREEN SYSTEM COLOUR: MATTE WHITE
- 5 PRE-FINISHED ALUMINUM COMPOSITE PANEL w/ RAINSCREEN SYSTEM COLOUR: MATTE GREY (COLOUR TO MATCH ADJACENT WINDOW MULLIONS)

GLAZING

- 6 CLEAR LOW-E GLAZING IN THERMALLY BROKEN PRE-FINISHED ALUMINUM WINDOW WALL SYSTEM (c/w OPERABLE PANELS AT RESIDENTIAL UNITS)
- 7 INSULATED BACK PAINTED SPANDREL GLAZING IN THERMALLY BROKEN PRE-FINISHED ALUMINUM WINDOW WALL SYSTEM COLOUR: LIGHT GREY
- 8 INSULATED BACK PAINTED SPANDREL GLAZING IN THERMALLY BROKEN PRE-FINISHED ALUMINUM WINDOW WALL SYSTEM COLOUR: WHITE
- 9 WHITE FROSTED LAMINATED GLASS JULIET GUARDRAIL IN PRE-FINISHED ALUMINUM RAILING SYSTEM

MISCELLANEOUS

- 10 METAL SOLAR SHADING LOUVER BY WINDOW MANUFACTURER
- 11 CUSTOM GRAPHIC DESIGN ON ALUMINUM COMPOSITE METAL PANELS - ART TO BE COMMISSIONED BY LOCAL ARTIST. PRECEDENT IMAGE OF ARTWORK SHOWN IN PROJECT RENDERING IS THE NSU ART MUSEUM FORT LAUDERDALE MURAL, 'BAND' BY ARTURO HERRERA, 2011 & IS USED FOR REPRESENTATION ONLY
- 12 PERFORATED METAL PANEL SCREEN COLOUR: MATTE WHITE

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ELEVATIONS - NORTH & EAST

SCALE AS NOTED

PROPOSED MULTI-UNIT RESIDENTIAL DEVELOPMENT

1 YORK GATE BLVD.
TORONTO, ONTARIO
FOR: SMARTCENTRES REIT

PETROFF

PETROFF PARTNERSHIP ARCHITECTS

260 TOWN CENTRE BLVD, SUITE 300
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DATE			
ISSUED			



1 SOUTH ELEVATION
A302 SCALE 1:200



2 WEST ELEVATION
A302 SCALE 1:200

MATERIAL LEGEND

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- 9 WHITE FROSTED LAMINATED GLASS JULIET GUARDRAIL IN PRE-FINISHED ALUMINUM RAILING SYSTEM

MISCELLANEOUS

- 10 METAL SOLAR SHADING LOUVER BY WINDOW MANUFACTURER
- 11 CUSTOM GRAPHIC DESIGN ON ALUMINUM COMPOSITE METAL PANELS - ART TO BE COMMISSIONED BY LOCAL ARTIST. PRECEDENT IMAGE OF ARTWORK SHOWN IN PROJECT RENDERING IS THE NSU ART MUSEUM FORT LAUDERDALE MURAL, 'BAND' BY ARTURO HERRERA, 2011 & IS USED FOR REPRESENTATION ONLY
- 12 PERFORATED METAL PANEL SCREEN COLOUR: MATTE WHITE

NO.	REVISIONS	DATE	BY
7	ISSUED FOR SETTLEMENT	JULY.10.2024	OH
6	RE-DESIGN ISSUED FOR REVIEW/ COMMENTS	JUNE.21.2023	OH
5	INTERIM RE-SUBMISSION FOR MUNICIPAL REVIEW	MAY.05.2023	OH
4	ISSUED TO CLIENT (PROGRESS SET)	APR.05.2023	OH
3	ISSUED FOR REVIEW/COORDINATION	MAR.15.2023	OH
2	ISSUED FOR SITE PLAN APPROVAL	MAR.15.2022	AH
1	ISSUED FOR ZONING BY-LAW AMENDMENT	FEB.15.2022	AH

Contractor must check and verify all dimensions on the job and report any discrepancies to the Architect before proceeding with the work.

Do not scale the drawing.

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ELEVATIONS - SOUTH & WEST

SCALE AS NOTED

PROPOSED MULTI-UNIT RESIDENTIAL DEVELOPMENT

1 YORK GATE BLVD.
TORONTO, ONTARIO
FOR: SMARTCENTRES REIT

PETROFF

PETROFF PARTNERSHIP ARCHITECTS

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