

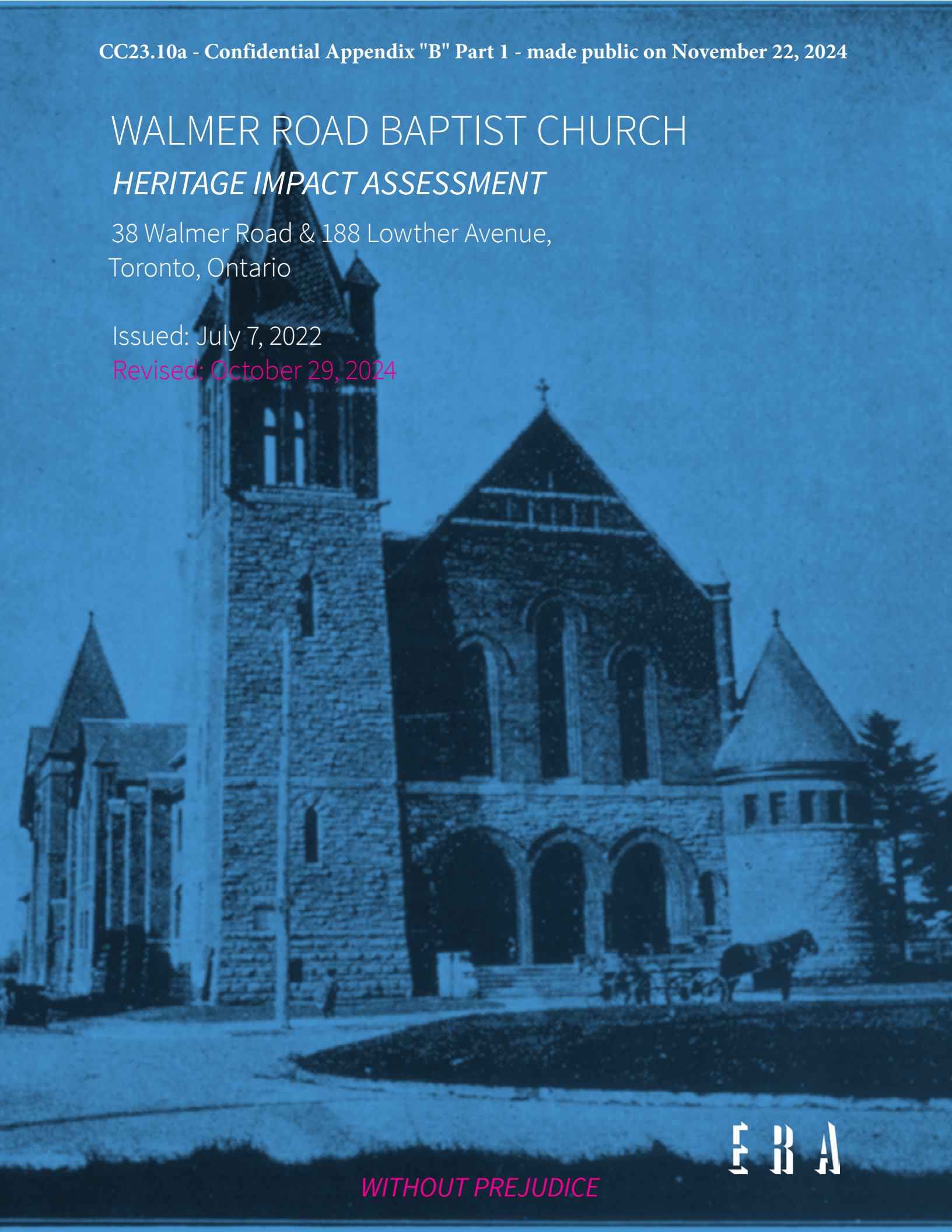
WALMER ROAD BAPTIST CHURCH

HERITAGE IMPACT ASSESSMENT

38 Walmer Road & 188 Lowther Avenue,
Toronto, Ontario

Issued: July 7, 2022

Revised: October 29, 2024



E R A

WITHOUT PREJUDICE

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COVER PAGE: Image of Walmer Road Baptist Church 1982
(Walmer: A Century for the City – Walmer Road Baptist Church,
by Donald Goertz).

Project #	17-001-01
Prepared by	MM/ JG / SH / HC / MO / ET

1 REQUIRED CONTENTS CHECKLIST

In accordance with the City of Toronto's Heritage Impact Assessment Terms of Reference (2021), a copy of the Terms of Reference and a completed Required Contents Checklist are attached to this report in Appendix A. Where any required field has been not been checked, or for further information, please consult the corresponding section of the report.

2 STATEMENT OF PROFESSIONAL QUALIFICATIONS

ERA Architects Inc. (ERA) specializes in heritage conservation, architecture, planning and landscape as they relate to historical places. This work is driven by our core interest in connecting heritage issues to wider considerations of urban design and city building, and to broader set of cultural values that provide perspective to our work at different scales.

In our 30 years of work, we've provided the highest level of professional services to our clients in both the public and private sector out of offices in Toronto, Montreal and Ottawa. We have a staff of more than 100, and our Principals and Associates are members of associations that include: the Ontario Association of Architects (OAA), the Canadian Association of Heritage Professionals (CAHP) and the Royal Architectural Institute of Canada (RAIC).

Michael McClelland OAA, FRAIC, CAHP is a founding principal of ERA. He is a registered architect and has specialized in heritage conservation, heritage planning, and urban design for over 30 years. Having begun his career in municipal government, most notably for the Toronto Historical Board, Michael continues to work with a wide range of public and private stakeholders to build culture through thoughtful, values-based heritage planning and design.

Jessie Grebenc, Senior Associate M. ARCH, CAHP is a Senior Associate with ERA, and is engaged in a number of ERA's significant conservation and restoration projects. Jessie has a special interest in the conservation of masonry structures, and has gained extensive experience in building analysis, field review, contract documents production, and project administration for a range of complex masonry projects.

Sharon Hong, Associate, MScPl, RPP, MCIP is an Associate with the heritage planning team at ERA. She holds a Master of Science in Planning from the University of Toronto and has over 10 years of experience working in both the public and private sectors in heritage, urban design, and community planning.

Hallie Church, BURPI, Dip. Heritage Conservation is a Project Manager with the heritage planning team at ERA. She holds a Bachelor of Urban and Regional Planning from Toronto Metropolitan University, as well as a diploma in Heritage Conservation from the Willowbank School of Restoration Arts.

Michael Otchie, PhD.Arch, is a registered architect in the U.K. and holds a PhD in Architecture. Before joining ERA, Michael developed a portfolio of construction and research projects for a broad range of clients in England and Ontario. Key projects include the restoration, conservation and renovation of several government heritage properties.

Erin Tito, MPI is a member of the urban planning team at ERA Architects and contributes to projects in the development realm across the City of Toronto. She holds a Masters in Urban and Regional Planning from Toronto Metropolitan University.

3 EXECUTIVE SUMMARY

Background

This Heritage Impact Assessment (“HIA”) was prepared by ERA Architects Inc. (“ERA”) for TAS to assess the impact of the proposed development on the cultural heritage value and attributes of 38 Walmer Road and 188 Lowther Avenue, Toronto (the “Site”) located in Toronto’s Annex neighbourhood. The Site comprises a church complex that reflects the development and programmatic evolution that has occurred over an almost 130-year period. Although the complex is contiguous, it is composed of an aggregate of distinct buildings of differing construction, architectural styles, and condition, including the Sanctuary building (1892), a Chapel/Sunday School (1889/1913), and a Memorial Building Link (1913) which connects the two structures. Following the issuance of the HIA dated July 2022, the Site was designated under Part IV of the Ontario Heritage Act. The updated proposal was developed based on the outcomes of an Ontario Land Tribunal (OLT) mediation process that began in April 2024 and comprised eight mediation sessions. Materials prepared in support of the OLT mediation can be found in Appendix F. This revised HIA is being issued as part of a without prejudice settlement offer. For ease of review, revised text is highlighted in pink.

Cultural Heritage Value

The Site was designated under Part IV, Section 29 of the Ontario Heritage Act (“OHA”) on September 6, 2023. Prior to this designation, ERA issued a Cultural Heritage Evaluation Report (“CHER”) on July 7, 2022 which evaluated the property against the Ontario Regulation 9/06 criteria for design/physical, historical/associative, and contextual value. Designation By-law 805-2023, containing a Statement of Significance describing the property’s cultural heritage value and heritage attributes, is included in Appendix C.

Proposed Development

The proposed development involves the rehabilitation and adaptive reuse of the Sanctuary building to accommodate two floors of community commercial space. The 1889 Chapel/1913 Sunday School and Memorial Building Link are proposed to be demolished to introduce a 25-storey residential building with a new church and sanctuary space for the Walmer Road Baptist Church (“WRBC”) on the ground floor. The new church space and residential units will be accessed from Lowther Avenue.

Historically the Sanctuary building was one of the largest in Canada holding a congregation of 1500 people. Today the new church and sanctuary required for the current congregation of fewer than 100 requires a much smaller space. Several requirements for the new church and sanctuary space were included as part of the Agreement of Purchase and Sale (“APS”) between TAS and the WRBC and have shaped the proposal.

High-level terms of the APS, provided on a without-prejudice basis, include:

- A minimum church GFA of 10,250 square feet, of which 7,175 square feet must be on the ground floor (70% of total required area);
- Minimum 25 feet of street frontage along Lowther Avenue; and
- Two assembly spaces for 300 people, with circulation requirements for 600 people on site (including required crush space to ensure safe circulation in and out of the building).

Impact on Heritage Resources and Mitigation

The proposal demolishes the 1889 Chapel/1913 Sunday School and the Memorial Building Link, which are identified heritage attributes in the designation by-law.

Removal of the 1889 Chapel/1913 Sunday School and Memorial Building Link is proposed to accommodate the new church and sanctuary space and residential tower. Their removal is mitigated, as it facilitates the ability for the Walmer Road Baptist Church congregation to remain on site; it increases the amount of public realm along Lowther Avenue, which is currently a constrained sidewalk; and the Sanctuary building will be rehabilitated to remain as a community cultural landmark at the northwest corner of Walmer Road and Lowther Avenue.

Conservation Strategy

The existing Sanctuary building at 38 Walmer Road will be rehabilitated as part of the proposed development to support the continuation of the WRBC on the Site, which will be intensified with compatible, contemporary residential and community commercial uses.

The rehabilitation of the Sanctuary building is proposed to incorporate a baseline scope of conservation work including masonry and wood cleaning, maintenance, and repairs (as needed), and restoration of fenestration elements (stained glass, leaded glass, and wood tracery) on windows throughout the building.

Statement of Opinion

The proposed development involves the rehabilitation of the Sanctuary building to accommodate a new community orientated commercial space. The Sanctuary building is currently vacant and not safe for occupancy. The proposed redevelopment of the 1889 Chapel/1913 Sunday School and Memorial Building Link incorporates a contemporary residential tower and a new church with sanctuary space for the Walmer Road Baptist Church.

While the proposal represents a major alteration to the existing buildings on the Site, the development integrates strategies to retain the value and conserve the attributes of the Sanctuary building, the primary heritage resource on the Site, while balancing the requirements of the new proposed program.

It is ERA's opinion that the proposal achieves meaningful conservation through:

- In-situ conservation of the Sanctuary building;
- Replacement of the 1889 Chapel/1913 Sunday School and Memorial Building Link with a new church and sanctuary space and a residential tower that introduces new housing within the Annex neighbourhood, adjacent to the Spadina Subway Station;
- Expansion of the public realm along Lowther Avenue, which also enhances the contextual value of Walmer Road as a neighbourhood landmark at a prominent location at the northwest corner of Walmer Road and Lowther Avenue.

ERA ultimately finds the proposed development to be generally compliant with applicable policies, and with professional standards and best practices for urban adaptive reuse projects in Canada.

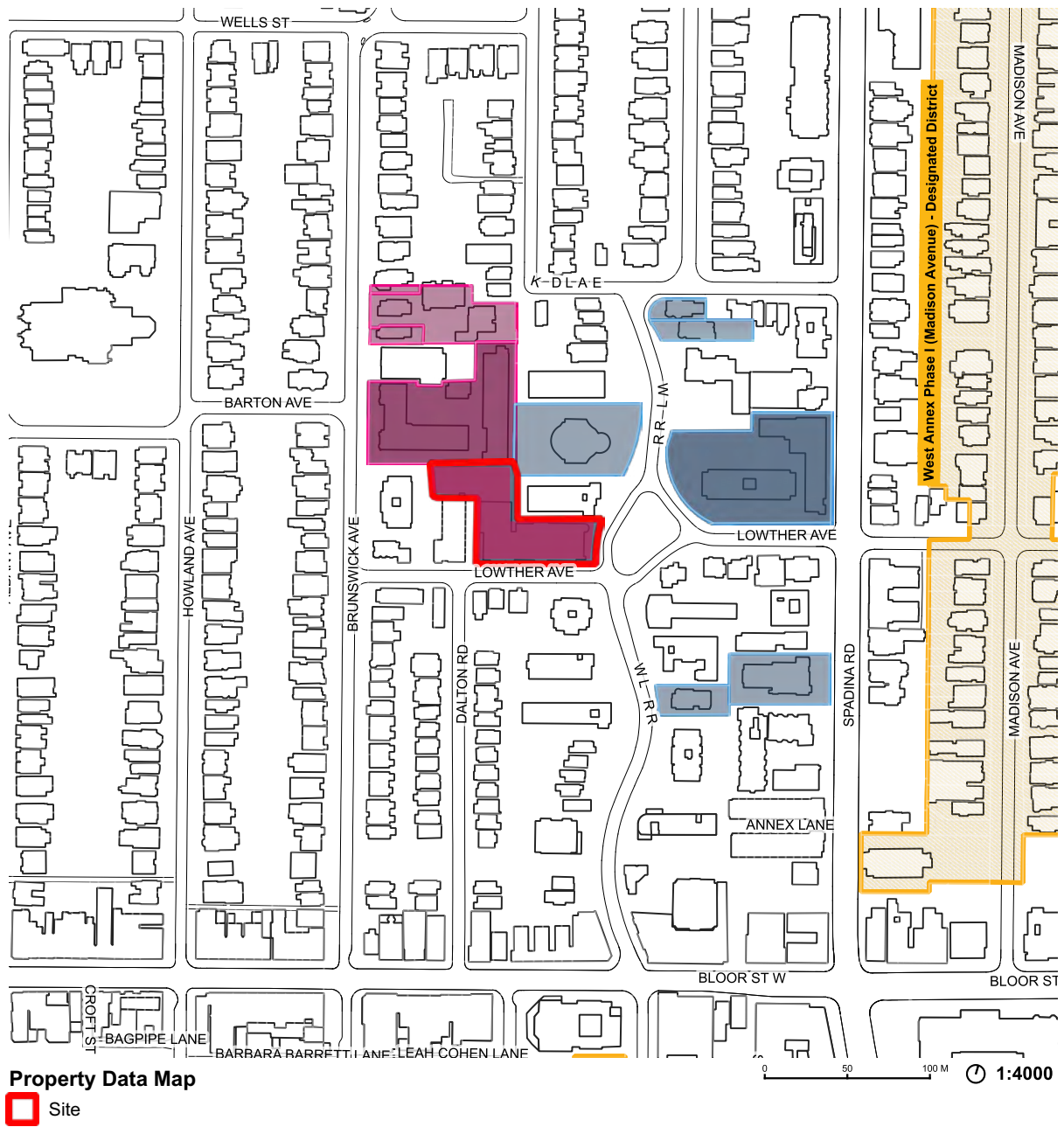
4 PROPERTY OWNER

Trustees of the Walmer Road Baptist Church
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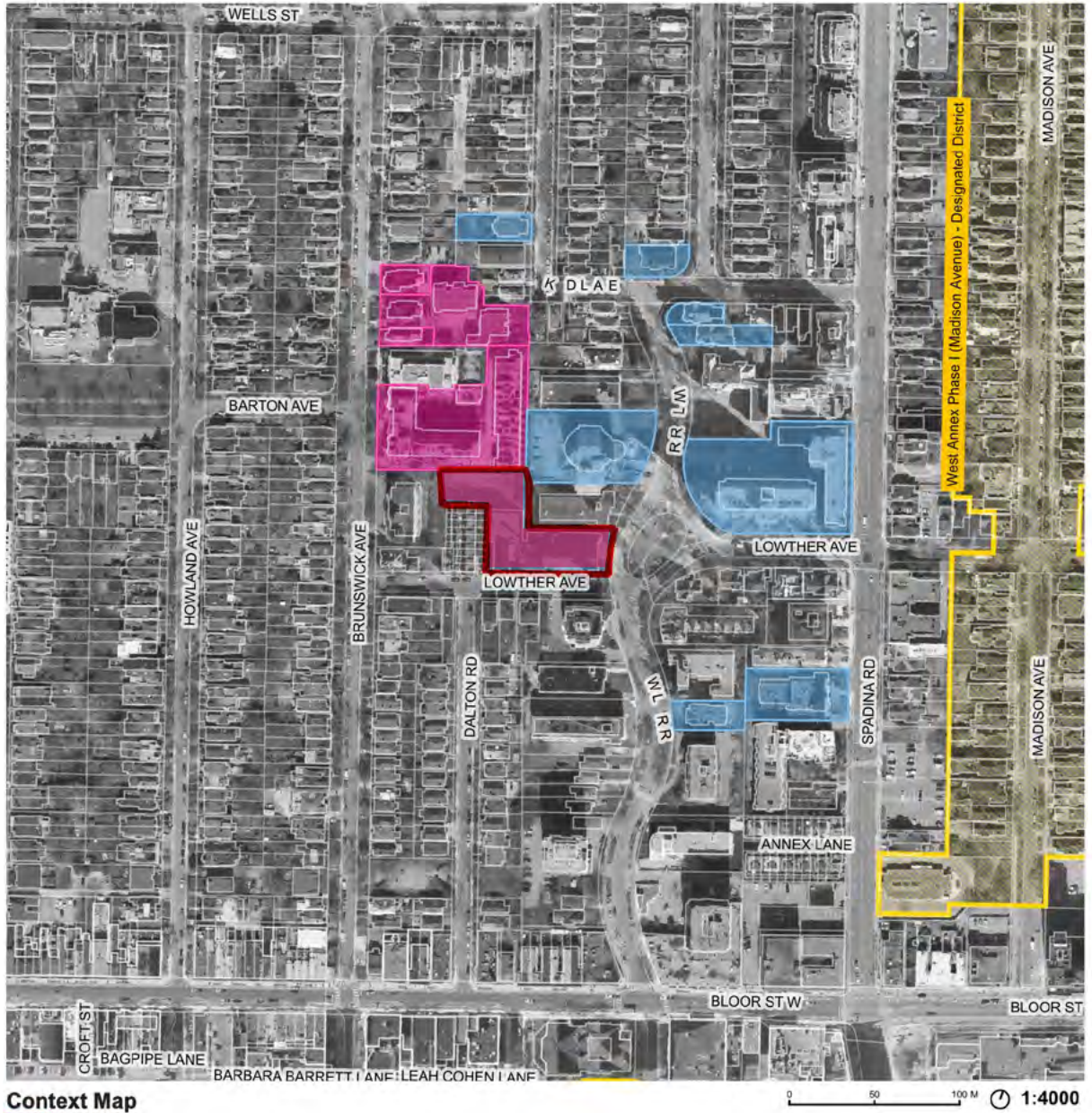
5 OWNER'S REPRESENTATIVE OR AGENT

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6 LOCATION PLAN



Property data map showing the Site and on-site heritage resources and adjacent context within a 300 metre radius (City of Toronto; annotated by ERA).



Aerial photograph showing the Site and on-site heritage resources and adjacent context within a 300 metre radius (City of Toronto; annotated by ERA).

7 CULTURAL HERITAGE EVALUATION REPORT

The Site was designated under Part IV, Section 29 of the Ontario Heritage Act (“OHA”) on September 6, 2023. Prior to this designation, ERA issued a Cultural Heritage Evaluation Report (“CHER”) on July 7, 2022 which evaluated the property against the Ontario Regulation 9/06 criteria for design/physical, historical/associative, and contextual value.

The Statement of Significance in the designation by-law (By-law 805-2023) states that the property has heritage value comprising:

- *Design/Physical Value*

The Sanctuary is a unique example of the Romanesque style adapted to an ecclesiastical purpose incorporating a variety of Gothic-style references. The 1889 Chapel/1913 Sunday School building is a unique example of Queen Anne-revival style design due to its adaptation for an institutional use rather than the typical residential uses. The Memorial Building has value as a representative example of Gothic revival-style design.

- *Historical/Associative Value*

The property possesses historical and associative value as the home of the Walmer Road Baptist Church, which at the time the Sanctuary was completed in 1892, became the largest Baptist church in Canada. The church is associated with some of Toronto’s most important and prolific architectural practices – Langley & Burke for the 1889 Chapel/1913 Sunday School and Sanctuary; and Burke, Horwood and White for the Memorial Building section.

- *Contextual Value*

The Walmer Road Baptist Church has contextual value in its role in maintaining and supporting the character of the area as it serves as a gateway to both Walmer Road and the surrounding Annex neighbourhood. It has a prominent location at a corner and is considered a neighbourhood landmark.

Designation By-law 805-2023 is included in Appendix C.

8 DESCRIPTION OF ON-SITE HERITAGE RESOURCES



Diagram of the Site, outlined in pink, includes a Sanctuary building, Memorial Building Link, 1889 Chapel/1913 Sunday School, and a paved surface parking area accessed from a laneway off Lowther Avenue (Google Maps, annotated by ERA Architects).

- 1889 Chapel, designed by Langley and Burke
- 1892 Sanctuary Building, designed by Langley and Burke
- 1913 Sunday School and Memorial Building Link, designed by Burke, Horwood & White
- Parking Area

The Site is located at the south-east corner of Walmer Road and Lowther Avenue. It contains a building known as Walmer Road Baptist Church, which comprises a 1889 Chapel/1913 Sunday School building constructed in 1889, a Sanctuary building constructed in 1892, and a Memorial Building Link constructed in 1913.

The Sanctuary building, which occupies the largest portion of the Site, was designed by Langley and Burke. It is an ecclesiastical building designed in the Romanesque style. The building's asymmetrical massing at the east (principal) elevation, its use of rusticated ashlar cut Credit Valley Brownstone, terra cotta shingles, tripartite arches and arcaded window arrangement, stained-glass windows, and deeply recessed openings are features reflective of this style.

The 1889 Chapel/1913 Sunday School is an evolved structure which has sustained extensive exterior and interior modifications since its construction. The 1889 Chapel/1913 Sunday School was also designed by Langley and Burke and references the "Annex" residential architectural style, described as a combination of Romanesque and Queen Anne architectural styles, and prominently featured in the residential built form of the Annex neighbourhood. The Annex style is reflected in the 1889 Chapel/1913 Sunday School's asymmetrical massing at the tower and gable.

The Link addition, the most recent layer of the building, was designed by Burke, Horwood and White and constructed in 1913. The addition was constructed to function as a subtle transition between the existing Sanctuary building and the 1889 Chapel/1913 Sunday School. Due to its location between the Sanctuary building and the 1889 Chapel/1913 Sunday School, the Memorial Building Link is limited to a south elevation, fronting Lowther Avenue, and a north elevation, fronting the rear parking lot.

Significant renovations in 2000 by Baird, Sampson and Neuert Architects further altered the interior of the 1889 Chapel/1913 Sunday School and Memorial Building Link. The exterior of the Memorial Building Link was altered with the addition of modern concrete steps and a ramp at the front entrance. Alterations to the south facade of the Memorial Building Link include the replacement of its original windows and doors, and removal of the transom above the front entrance door. The Sanctuary has largely remained unaltered.

9 HISTORIC PHOTOGRAPHS



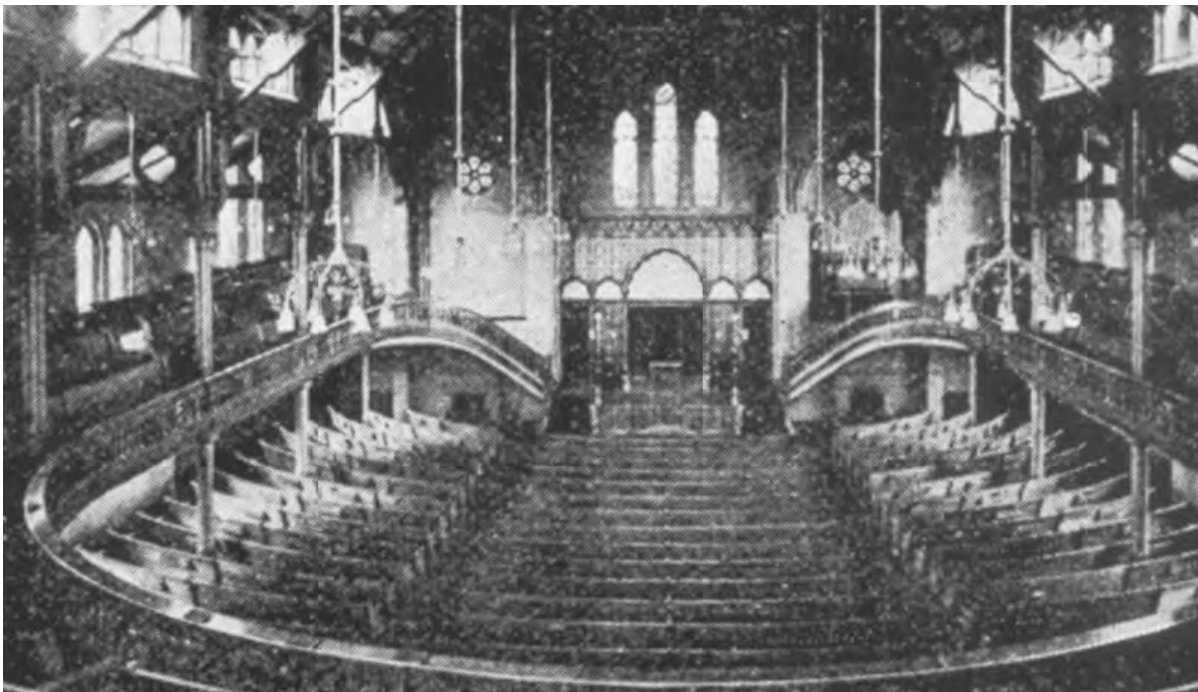
1. 1889 Sunday School sketch, shortly after construction (Source: Frederick Tracy).



2. Drawing of Walmer Road Baptist Church, 1900 (Source: Toronto Public Library).



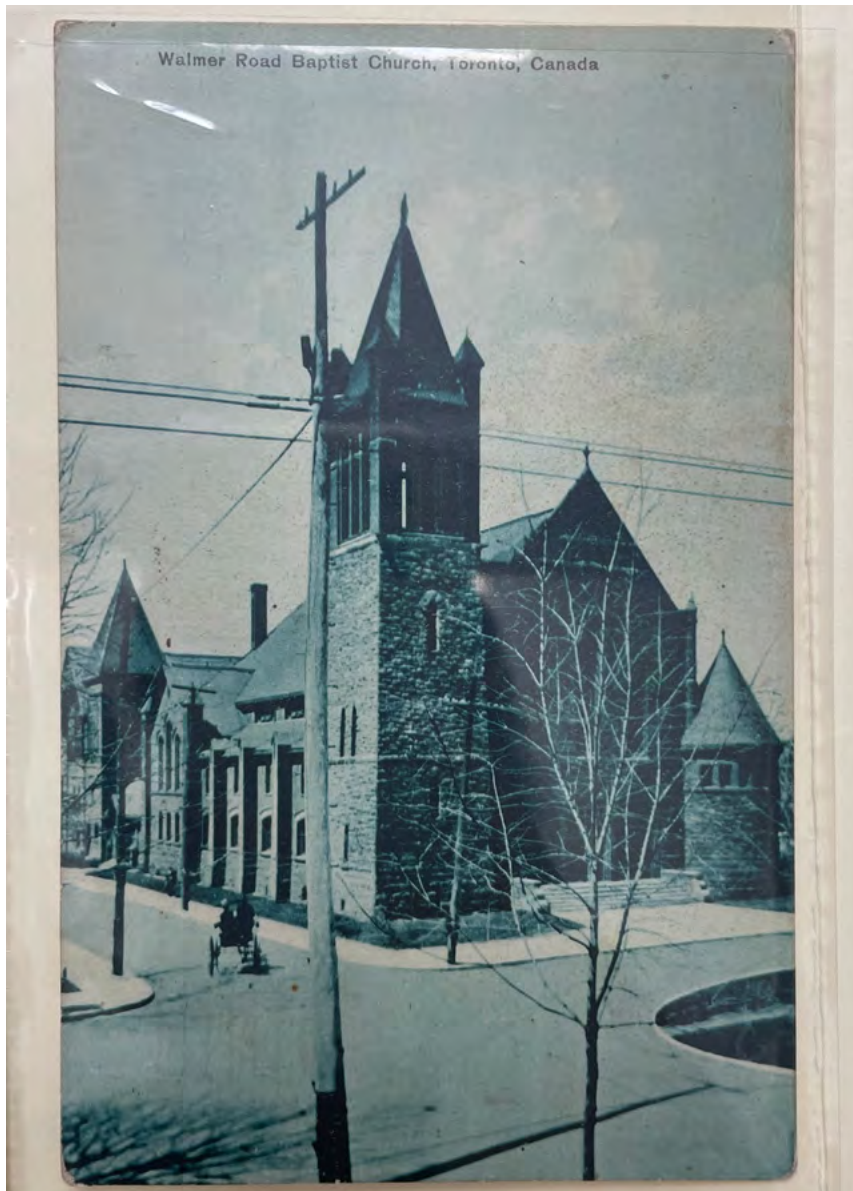
3. "A Church on the Common", photographed in 1892 looking north from Lowther Avenue, prior to construction of the 1913 link building (Source: Donald Goertz, *Walmer: A Century for the City*).



4. Interior of the Sanctuary building after installation of the Casavant organ, circa early 1900s (Source: Donald Goertz, *Walmer: A Century for the City*).



5. Walmer Road Baptist Church after construction of the Sanctuary building, with church choir, photographed on January 24, 1911 (Source: Toronto Public Library).



6. Postcard of Walmer Road Baptist Church, photographed between 1911 and 1913 (Source: City of Toronto Archives).



7. Walmer Road Baptist Church choir, with organ in the back, photographed in 1936 (Source: Mackintosh, E., Photographer, Wilfrid Laurier University Archives & Special Collections).



8. Walmer Road Baptist Church after construction of the 1913 Memorial Building Link, exact date unknown, looking northeast from Walmer Road and Lowther Avenue (Source: United Church of Canada Archives).



9. Primary elevation of the 1889 Chapel/1913 Sunday School and Memorial Building Link, showing the original windows, date unknown (Source: Angela Carr, "Toronto architect Edmund Burke : redefining Canadian architecture").



10. View of the Sanctuary building from Gwendolyn McEwan Park, 1951-1952 (Source: Toronto Public Library).



11. Walmer Road Baptist Church, photographed on October 20, 1949 (Source: City of Toronto Archives).



12. Walmer Road Baptist Church, photographed on October 20, 1949 (Source: City of Toronto Archives).



13. View of the primary elevation of the Sanctuary building, 1980 (Source: City of Toronto Archives).



14. View of the Sanctuary building from Gwendolyn MacEwen Park, 1980s (Source: City of Toronto Archives).



15. View of the Sanctuary building from Gwendolyn MacEwen Park, 1980s (Source: City of Toronto Archives).



16. View of the Sanctuary building from Walmer Road, looking north from south of Lowther Avenue, taken in the 1980s (Source: City of Toronto Archives).

10 CURRENT PHOTOGRAPHS / IMAGES



Photo of the Site taken from the intersection of Walmer Road and Lowther Avenue (Source: ERA Architects, 2022).



Photo of the east elevation of 38 Walmer (Source: ERA Architects, 2022).



Photo of the Site taken from the intersection of Walmer Road and Lowther Avenue (Source: TAS, 2022).



Photo of the east elevation of 38 Walmer (Source: TAS, 2022).



Photo of the south elevation of the Sanctuary building at 38 Walmer (Source: ERA Architects, 2022).



Photo of the south elevation of the Memorial Building Link and 1889 Chapel/1913 Sunday School at 38 Walmer (Source: ERA Architects, 2022).



Photo of the east and north elevations of the Sanctuary building at 38 Walmer (Source: ERA Architects, 2022).



Photo of the north elevation of the Sanctuary building and the east elevation of the 1889 Chapel/1913 Sunday School rear addition at 38 Walmer (Source: ERA Architects, 2022).



Photo of the west elevation of the 1889 Chapel/1913 Sunday School at 38 Walmer (Source: ERA Architects, 2022).



Photo of the north elevation of the 1889 Chapel/1913 Sunday School at 38 Walmer (Source: ERA Architects, 2022).



Photo of the west portion of parking lot located at the north-west portion of the Site (Source: ERA Architects, 2022).



Photo of the east portion of the parking lot located at the north-west portion of the Site (Source: ERA Architects, 2022).



Photo of the Sanctuary's interior from the Memorial Building Link entrance (Source: ERA Architects, 2022).



Photo of the Sanctuary's interior taken from the upper gallery (Source: ERA Architects, 2022).



Photo of the stained glass window on the south elevation of the Sanctuary (Source: ERA Architects, 2022).

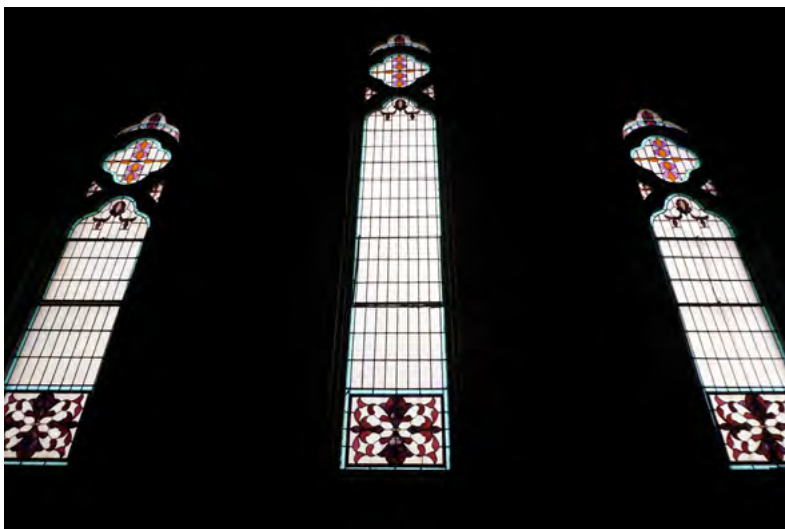
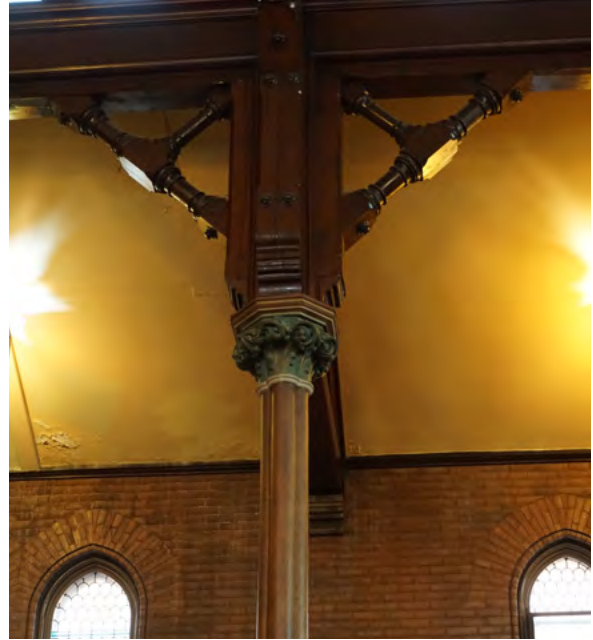


Photo of the stained glass window on the east elevation of the Sanctuary building (Source: ERA Architects, 2022).



Photo of the Sanctuary entrance at the east elevation (Source: ERA Architects, 2022).



Detail photo of the cast iron columns in the Sanctuary (Source: ERA Architects, 2022).



Photo of the Sanctuary ground floor (Source: ERA Architects, 2022).



Photo of the Sanctuary ground floor (Source: ERA Architects, 2022).



Photo of the stained glass window inside the Heritage Room on the third floor of the 1889 Chapel/1913 Sunday School (Source: ERA Architects, 2022).



Photo of the wall commemorating the Church's previous Ministers in the heritage room on the third floor of the 1889 Chapel/1913 Sunday School (Source: ERA Architects, 2022).



Photo of the gymnasium on the third floor of the 1889 Chapel/1913 Sunday School (Source: ERA Architects, 2022).



Photo of the gymnasium on the third floor of the 1889 Chapel/1913 Sunday School (Source: ERA Architects, 2022).

11 DESCRIPTION OF SURROUNDING NEIGHBOURHOOD

Surrounding Area

The Annex is a neighbourhood which is home to many examples of Torontonians styles of housing popular in the late 19th century. Examples of these styles survive in the former upper class areas along Jarvis and Sherbourne Street, as well as around the University of Toronto campus. As a majority of these buildings are found within the Annex, the style is known by some as the 'Annex style house'.¹ Besides residential homes, the surrounding area includes several mid- and high-rise developments built in the latter half of the 20th century.

Other institutional uses in the area include the Native Canadian Cultural Centre, located east of the Site at 16 Spadina Road, the Trinity St. Paul's United Church, located south of the Site at 427 Bloor Street West, and the Miles Nadal Jewish Community Centre, located south of the Subject Property at 750 Spadina Avenue.

Walmer Road

The section of Walmer Road between Kendal Avenue and Bloor Street West consists of primarily mid-20th century mid-to high-rise mixed-use and residential buildings ranging in height (from 4 to 35 storeys).

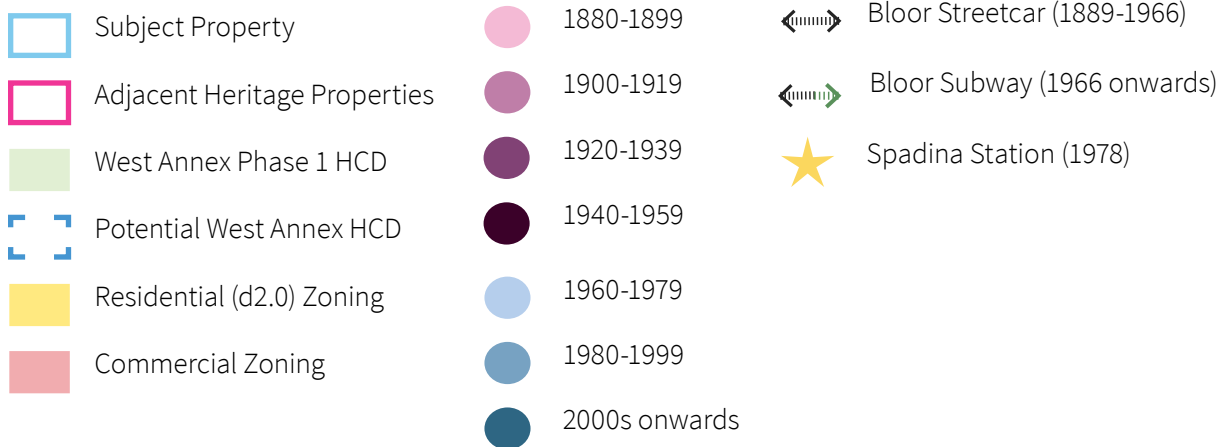
The high-rise buildings at 11, 35, and 44 Walmer Road are listed on the Heritage Register, all designed by architect Uno Prii. Four single-family residential homes at 6, 8, 10, and 21 Walmer Road were constructed in the late 19th and early 20th century. The house at 6 Walmer Road is designated under Part IV of the OHA, and the homes at 8, 10, and 21 Walmer Road are listed on the Heritage Register.

The mix of low-rise and high-rise urban form, with residential structures is unique to Walmer Road and its immediate surrounding streets within the Annex neighbourhood.

Lowther Avenue

Lowther Avenue from Brunswick Avenue to the west to Spadina Road to the east contains a mix of building typologies including large institutional (the Site), 1960s mid-rise residential buildings (7-15 storeys), low-rise commercial buildings, cooperative housing, and single family residential homes constructed throughout the 20th century. The building at 385-387 Brunswick Avenue, at the intersection of Brunswick and Lowther Avenues, is a Part IV Designated property that previously housed the Loretto College School from 1914 to 2001. The property has since been redeveloped into a condominium.

¹ Catherine Nasmith Architect, "West Annex Phase 1 Heritage Conservation District Madison Avenue", May 2015, <https://www.toronto.ca/legdocs/mmis/2015/te/bgrd/backgroundfile-82428.pdf>



12 DESCRIPTION OF ADJACENT HERITAGE PROPERTIES

The Site is considered adjacent, as defined in Chapter 3.1.6 of the Official Plan, to one Part IV designated property and two listed properties.

35 Walmer Road (Listed):

35 Walmer Road contains a 16-storey apartment building, known as the The Vincennes, designed by Uno Prii and constructed in 1966. The property was listed by City Council on March 1, 2, 3, 2004 as part of a batch listing of properties designed by Uno Prii.

44 Walmer Road (Listed):

44 Walmer Road contains a 13-storey apartment building designed by Uno Prii and constructed in 1965. The property was listed by City Council on March 1, 2, 3, 2004 as part of a batch listing of properties designed by Uno Prii.

385-387 Brunswick Avenue (Designated):

385-387 Brunswick Avenue contains a residential apartment complex that was previously the Loretto College School. The buildings were designed by Neil G. Beggs and constructed in 1914. The property was designated under by-law 751-2004 by City Council on September 30, 2004.

12.1 Current Photographs of 35 Walmer Road



Photo of the south (principal) elevation of 35 Walmer Road (Source: ERA Architects, 2022).



Photo of the west elevation of 35 Walmer Road (Source: ERA Architects, 2022).



Photo of the north (rear) elevation of 35 Walmer Road (Source: ERA Architects, 2022).



Photo of the east elevation of 35 Walmer Road (Source: ERA Architects, 2022).

12.2 Historic Photographs of 35 Walmer Road



City of Toronto Archives, Series 1465, File 6, Item 4

Looking east on Prince Arthur to Avenue Road circa the 1980s (Source: City of Toronto Archives).

12.3 Current Photographs of 44 Walmer Road



Photo of the east (principal) elevation of 44 Walmer Road (Source: ERA Architects, 2022).



Photo of the north elevation of 44 Walmer Road (Source: ERA Architects, 2022).



Photo of the west (rear) elevation of 44 Walmer Road (Source: ERA Architects, 2022).



Photo of the south elevation of 44 Walmer Road (Source: ERA Architects, 2022).

12.4 Historic Photographs of 44 Walmer Road



Photo of 44 Walmer Road, with architect Uno Prii, n.d. (Source: Toronto Star).

12.5 Current Photographs of 385-387 Brunswick Avenue



Photo of the west (principal) elevation of 385-387 Brunswick Avenue (Source: ERA Architects, 2022).



Photo of the south elevation of 385-387 Brunswick Avenue (Source: ERA Architects, 2022).



Photo of the south elevation of 385-387 Brunswick Avenue (Source: ERA Architects, 2022).



Photo of the east elevation of 385-387 Brunswick Avenue (Source: ERA Architects, 2022).

12.6 Historic Photographs of 385-387 Brunswick Avenue



Brunswick Day School, photographed in 1922 (Source: Toronto Public Library).

13 DESCRIPTION OF DEVELOPMENT

The revised proposal has evolved through an OLT mediation process that began in April 2024 and comprised eight mediation sessions. Materials prepared in support of the OLT mediation can be found in Appendix F. The proposed development involves the retention, alteration and adaptive reuse of the Sanctuary building to provide community commercial spaces. The 1889 Chapel/1913 Sunday School and the Memorial Building Link are proposed to be demolished and replaced with a 25-storey residential building which will facilitate the adaptive reuse and rehabilitation of the Sanctuary building. The demolition of the Memorial Building Link accommodates a courtyard, expanding the public realm along Lowther Avenue.

The Sanctuary has been unoccupied since 2016 due to deteriorated plaster falling from the ceiling. A decline in membership and the growing resources required to repair, restore and rehabilitate the Sanctuary have resulted in the congregation's need for a smaller contemporary space. The WRBC operates under an agreement that the lands must continue to be used for the Baptist Church. Therefore, in 2017, the WRBC partnered with TAS to propose redevelopment of the Site as a means to facilitate the ongoing use of the WRBC on-site by constructing a new church and sanctuary space to meet the Church's current needs and a new residential tower.

The primary use on the ground floor of the proposed tower will be a new church and sanctuary space for the WRBC designed to meet the congregation's contemporary space requirements, as set out in the APS. The church space and the residential units will be accessed from Lowther Avenue.

Demolition of the Memorial Building Link allows for a landscaped courtyard with seating providing an outdoor amenity and gathering space for the congregation and the surrounding neighbourhood.

The existing Sanctuary building is proposed to be rehabilitated with an adaptively redesigned interior divided into two floors of community commercial space. The proposal includes several accessibility upgrades including a lowered ground floor and entrances at grade to provide barrier-free access.

Vehicular access to the parking garage and loading area is proposed from Lowther Avenue through a drive aisle located to the west of the new tower.

See Appendix H for the architectural drawing set of the without prejudice settlement offer prepared by Hariri Pontarini Architects ("HPA") and dated October 25, 2024.



Proposed ground floor plan (HPA, 2024).



Perspective view showing east and south elevations of the Sanctuary and the proposed tower (HPA, 2024).

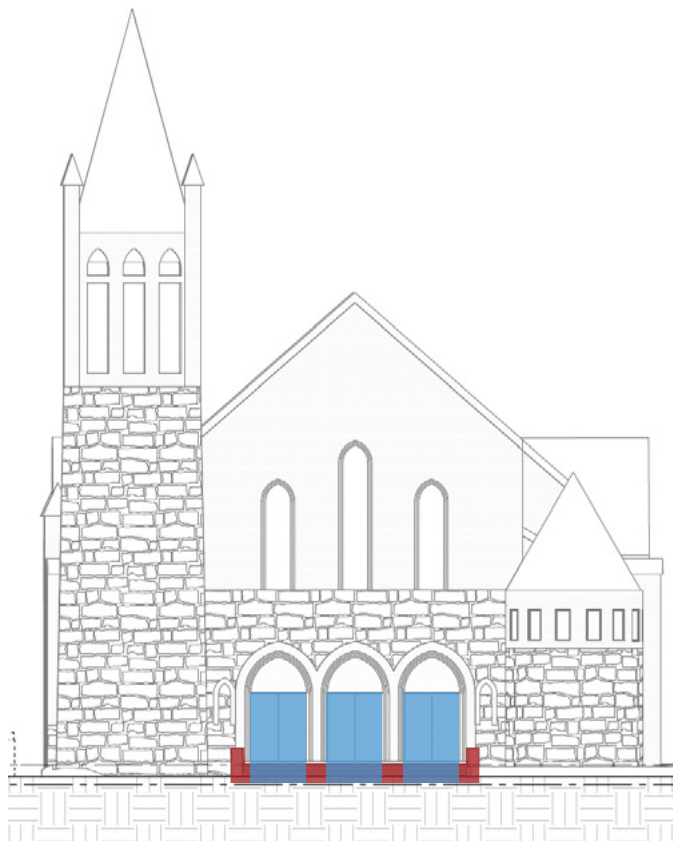


Rendering of the second floor community commercial space in the existing Sanctuary building (HPA, 2024).

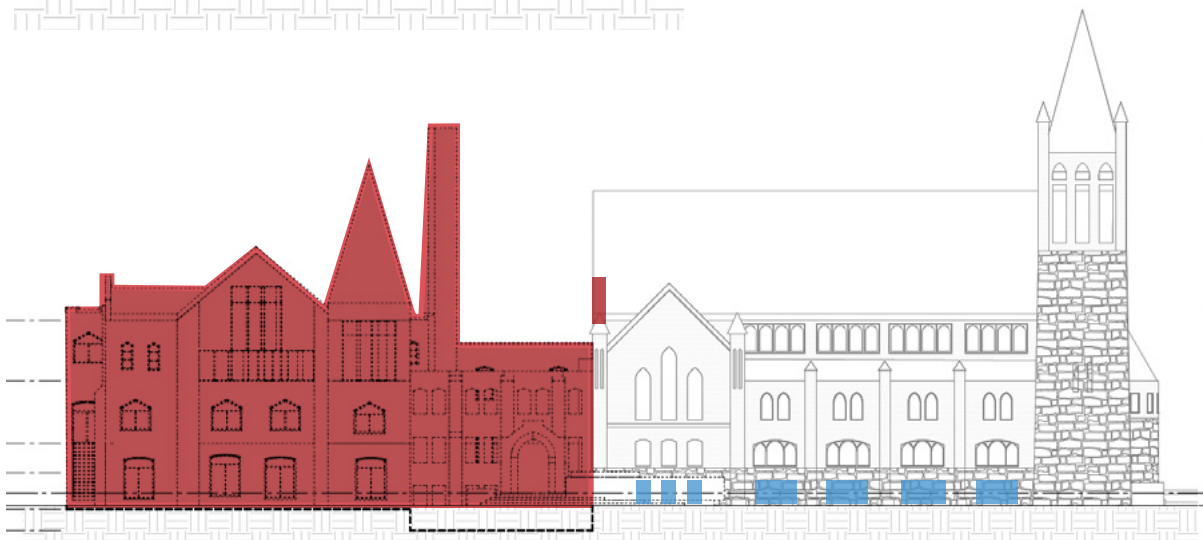


Rendering of the proposed landscaped court, providing crush space for the WRBC congregation and additional public realm along Lowther Avenue for neighbourhood residents (HPA, 2024).

13.1 Existing Building Elevations



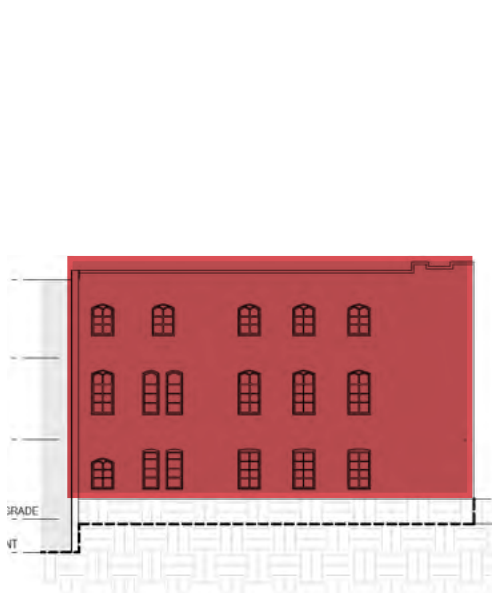
Drawing of the east (principal) elevation of the existing building, proposed alterations in blue (Source: Suulin, [annotated by ERA, 2024](#)).



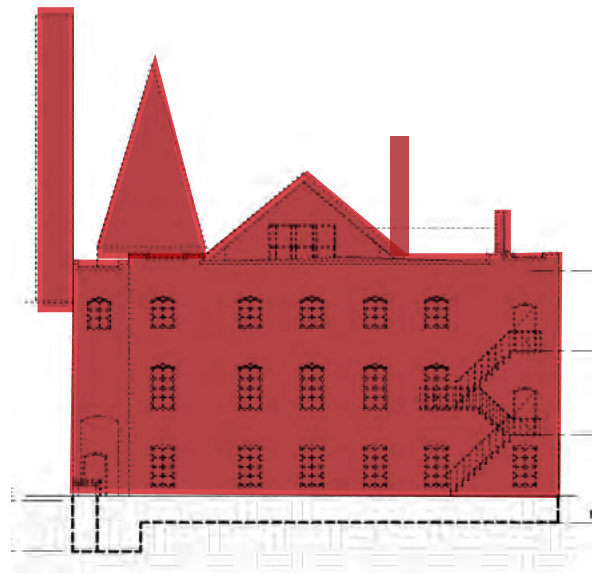
South elevation of existing building, with proposed demolition indicated in red, [proposed alterations indicated in blue showing new openings in the masonry wall. Existing windows and stone sills above to remain](#) (Source: Suulin, [annotated by ERA, 2024](#)).



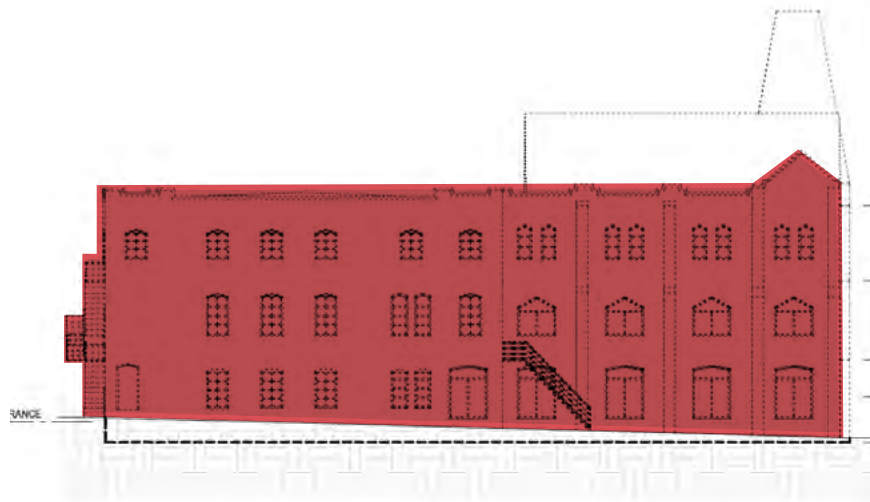
North elevation of existing building, with proposed demolition indicated in red, proposed alterations indicated in blue (Source: Suulin, annotated by ERA, 2024).



East elevation of existing building, with proposed demolition indicated in red (Source: Suulin, annotated by ERA, 2022).

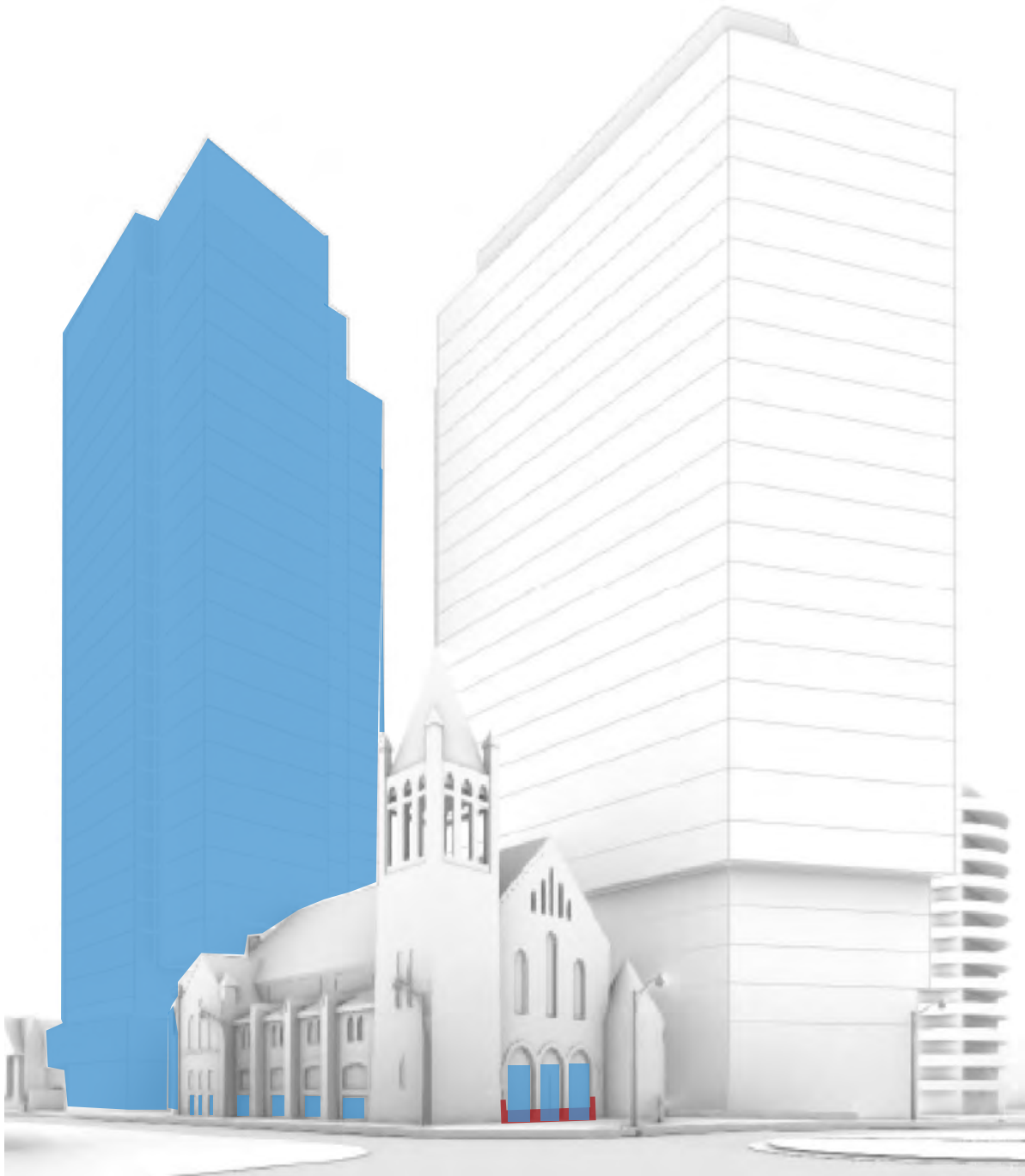


North elevation of existing building, with proposed demolition indicated in red (Source: Suulin, annotated by ERA, 2022).



West elevation of existing building, with proposed demolition indicated in red (Source: Suulin, annotated by ERA, 2022).

13.2 Proposed View (full set included in Appendix H)



Perspective view of the east (principal) and south elevations of the proposed development, with new construction and alterations in blue showing new openings in the masonry wall. Existing windows and stone sills above to remain. Proposed demolition indicated in red (Source: HPA, annotated by ERA, 2024).

14 DEMOLITION

Demolition of the 1889 Chapel/1913 Sunday School and Memorial Building Link is proposed to accommodate the new church and sanctuary space and residential tower.

15 CONSERVATION STRATEGY

15.1 Response to Standards and Guidelines

The proposed development anticipates the Rehabilitation of the existing Sanctuary building for new community commercial uses. The interventions and alterations proposed have been informed by The Standards & Guidelines for the Conservation of Historic Places in Canada (the Standards and Guidelines), specifically Standards 1, 4, 5, 9, 13, 14 and 15.

15.2 Preliminary Conservation Scope

The conservation strategy described in this report is preliminary and subject to change as more detailed studies are completed and the overall design is refined. A detailed Conservation Plan will be provided to outline the final scope of work.

The following summarizes the conservation strategy as developed at this early stage in the design process:

- Rehabilitation of Sanctuary building in-situ as a community landmark and neighbourhood amenity;
- Lowering the doors and ground floor to meet grade and provide equitable barrier-free access to the Sanctuary while retaining the existing masonry arches and brick detailing;
- Removal of inner doors at the front entrance. The front entrance doors have a double set of exterior doors and this configuration is not Ontario Building Code compliant for exiting;
- Removal of existing masonry on east elevation is limited to the steps and the back up wall behind;
- New masonry infills will respond to the historic details in a distinct, contemporary manner that will preserve the original masonry proportions;
- The wood and stained-glass transom windows will be maintained;
- Options for the treatment of the front entrance doors will be explored;

- Introduction of new ground floor window openings on the south elevation to allow light into lower ground floor level. This will impact the interior brick detailing and the strong line of the exterior stone base on the south elevation. Existing windows and stone sills above to remain;
- Retention, alteration and repair of all existing windows on ground floor, second floor and clerestory level of Sanctuary. Alterations consist of adding interior storm windows. The three-part stained glass memorial window is considered to be a liturgical element, with religious iconography. The Walmer Road Baptist Church may choose to relocate the stained glass memorial window to their proposed new sanctuary. In the event of removal, this window will be replaced to match the adjacent windows. This will be determined at the Conservation Plan stage.;
- Retention with no alteration to the existing attic and ceiling configuration;
- Retention and alteration of all existing cast iron columns. Columns at ground floor level will be extended to suit new floor level. A detail to note is that the columns do not bear on the existing raked ground floor. Refer to Appendix F for a historic diagram of the columns; and
- Removal of Baptismal tank (part of the interior of the remnant Memorial Building Link). Its function will be relocated into the new sanctuary.

This Conservation Strategy is further illustrated on Slides 17-30 of the June 10th mediation presentation, included as part of Appendix F.

16 ANALYSIS OF IMPACT OF DEVELOPMENT

The proposed redevelopment facilitates ongoing use of the Site by the WRBC by rehabilitating the existing Sanctuary building. The existing Sanctuary has been non-operational since 2016 for safety and functional reasons. In order for the WRBC congregation to remain on the Site and allow the existing Sanctuary building to remain a community landmark, a new church and sanctuary space is proposed. The 1889 Chapel/1913 Sunday School and the rear auditorium identified as an attribute of the Memorial Building Link will be demolished and replaced with new church space and a residential tower above. For more information, refer to the June 10, 2024 Proposed Conservation Strategy and supporting materials in Appendix F.

16.1 Analysis of Integrity

Sanctuary

The Sanctuary has the highest priority for conservation due to its design value and integrity. The following design measures are proposed to rehabilitate the space as a publicly accessible neighbourhood amenity.

1. The introduction of a second floor to make the space more functional for adaptive re-use as a community commercial space - the open truss-roof, and legibility of the expansive volume of the sanctuary will be conserved. The horseshoe-shaped gallery will be demolished, however, all eight cast-iron columns will be retained and altered to commemorate the gallery's horseshoe configuration as a mitigation measure. The connection to the new lobby will be through the existing central pipe organ recessed arch opening.
2. To make the ground floor useable and accessible, the existing raked floor is proposed to be removed and the entire ground floor lowered. The newly exposed section of base wall will be infilled with new cladding that is complementary in materials and texture to historic brick. The cast-iron columns will be lengthened to accommodate the lower floor level with infill brackets at the top to reach the second floor.
3. Alterations to the south elevation of the Sanctuary include proposed new openings to engage with Lowther Avenue public realm at the new floor level and ensure natural daylighting into the new floor. New ground floor window openings have been located to avoid impacts on the dado course detail below window.
4. Alterations to the front entrance of the Sanctuary are proposed to provide barrier-free access from Walmer Road. The entrance doors and ground floor will be lowered to grade. The wood and leaded glass transoms will be retained and restored. Existing panelled wood double doors and doorframes will be replaced with contemporary compatible doors. Three pointed-arch doorways will be retained and altered, brick mouldings will be retained and altered, and openings will be altered through being dropped one metre to new grade. Infills will be required to lower jambs of new door opening to where steps have been removed.

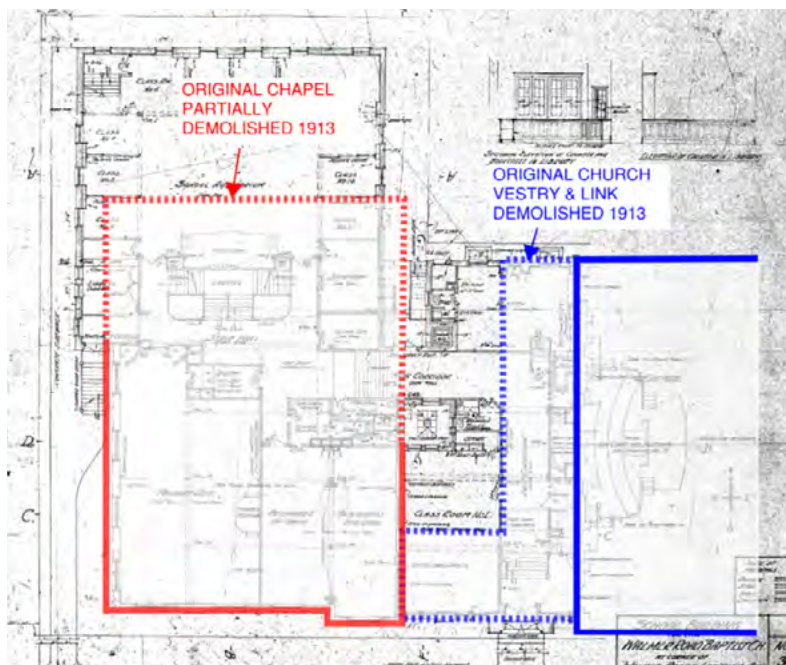
1889 Chapel/1913 Sunday School

Demolition of the 1889 Chapel/1913 Sunday School and Memorial Building Link is proposed to accommodate the new church and sanctuary space and residential tower. The addition of a new church and sanctuary for the WRBC congregation mitigates this removal.

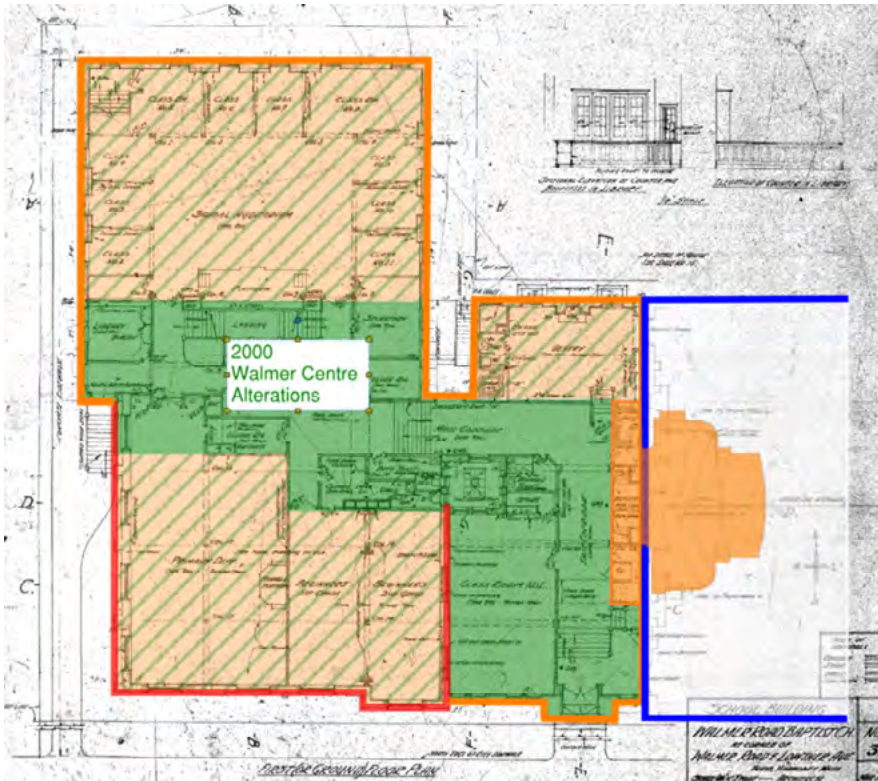
Memorial Building Link

As an addition to the 1889 Chapel/1913 Sunday School and auxiliary to the Sanctuary, the Memorial Building Link has the lowest conservation priority. The Memorial Building Link is the most altered building on the Site and currently comprises a corridor and a location for the baptismal tank, the function of which will be relocated to the new church and sanctuary space.

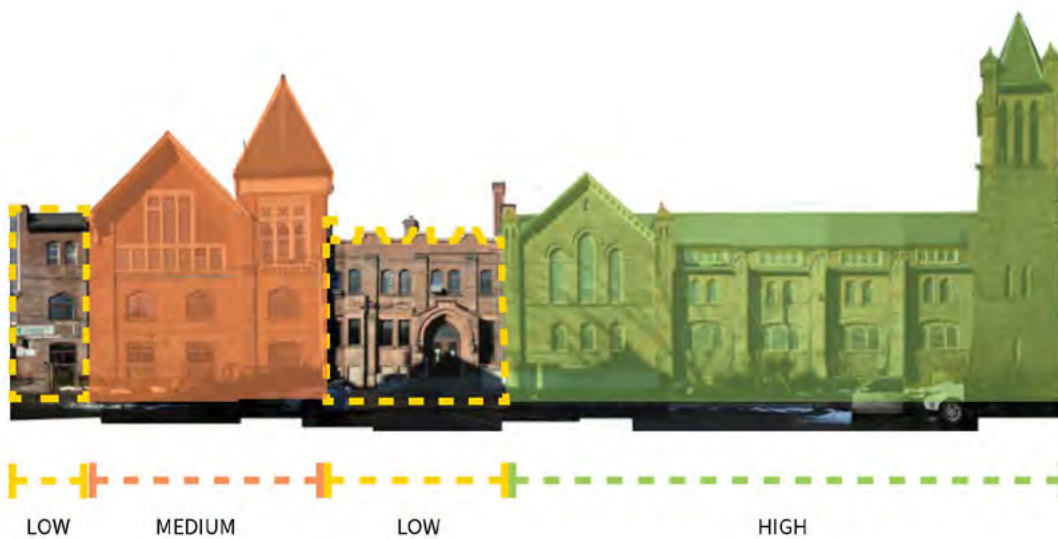
With the removal of the 1889 Chapel/1913 Sunday School building and construction of a new church space within the proposed tower, what remains of the Memorial Building Link is a remnant façade from an addition to the 1889 Chapel/1913 Sunday School.



1913 plans of the Site with overlay of demolition (Source: Burke, Horwood & White; annotated by ERA).



1913 plans of the Site with overlay of the alterations that took place in 2000 (Source: Burke, Horwood & White; annotated by ERA).



South elevation of the Site showing the conservation priority of each building (Source: ERA).

16.2 Impact to Heritage Attributes

The following impacts to the Sanctuary building will result from the proposal to rehabilitate the space for community commercial uses and provide barrier-free access.

Heritage Attribute	Impact
The form, scale and massing of the cruciform-shaped building with lofty nave and lower sides, and with an asymmetrical main façade arrangement comprising a tall bell tower and lower stair tower	Not proposed to be altered.
The materials of brown, rough-faced, Credit Valley sandstone base, walls, courses and sills and contrasting reddish-brown cladding and brickwork forming label mouldings, buttresses, and the terracotta shingled clerestory	Proposed to be altered to accommodate new openings.
The steeply-sloped front gable roof over the nave with lower cross gables over the transepts and lower slopes roofs over the sides (aisles) and the pyramidal bell tower roof and the conical copper-clad stair tower roof	Not proposed to be altered.
The fenestration, with a variety of pointed- and segmental-arched windows containing wooden sash, leaded glazing, and front windows with wood tracery; ribbons of leaded-glass clerestory windows atop the nave; the arcaded, deeply set windows and the narrow rounded-arch and lancet openings within the towers and gables; the 1948, stained glass Warren Family memorial window of the south elevation	All windows are proposed to be retained, repaired and altered to include interior storm windows, where possible. The details of the storm windows will be determined at the Conservation Plan stage. They will be designed to have the least impact on the original windows and will be compatible with the original windows.
The main entrance with its three pointed-arch doorways each with formed brick mouldings and reveals, panelled wood double doors, transom lights with wooden tracery of foils and leaded and stained glass	Proposed to be altered. The design of the new doors will be determined at the Conservation Plan stage. They will be compatible in size, scale, material, style and colour with the original entrance and the retained transom lights and tracery above.

The configuration with lofty single volume nave with its raked floor and separate entrance foyer containing two tower staircases	A complete second floor will be added while maintaining a lofty volume. The raked ground floor will be demolished and replaced with a flat ground floor at a lower level for barrier free access. The existing ground floor level located within the two staircases will be maintained. Therefore, the staircases do not need to be altered due to a lowering of the floor. They may require alteration for code reasons due to the combustibility of the existing staircases. This will be confirmed at the Conservation Plan stage.
The elaborate open-truss roof with strapwork plaster ceiling	No alterations are proposed to the open-truss roof. Alterations are proposed to the strapwork plaster ceiling to allow for the extensive repairs required. They will be repaired in-kind.
The horseshoe-shaped gallery with tiered seating, and with wood balustrades of ash and turned balusters of birch	To be demolished.
The elaborate cast-iron columns supporting the balconies and the ceiling	All eight cast-iron columns will be retained in-situ and altered. The alterations to the columns may include the extension of their base to reach the new floor level. A detail to note is that the columns do not bear on the existing raked ground floor. Refer to Appendix F for a historic diagram of the columns. The details of the new base will be compatible in size, scale, material, style and colour with the original columns and will be detailed within the Conservation Plan. Additional columns will be required to support the new second floor. New columns will be distinct but will have an arrangement that's complementary to the original.
The exposed, pressed-red-brick walls of the sanctuary incorporating ornamental brickwork detailing such as a dado, courses, and label mouldings	To be altered. The newly exposed section of base wall will be infilled with new cladding that is complementary in materials and texture and is compatible with the adjacent historic brick. Details to be determined at the Conservation Plan stage. Dado, courses, and label mouldings are not proposed to be altered.
The raised chancel with carved and panelled oak rood screen and pulpit	To be demolished.

The pipe organ recesses, oak casing and façade pipes metal lined baptismal tank	To be demolished.
The three-part stained glass memorial window	<p>Not proposed to be altered.</p> <p>As a liturgical element, with religious iconography, the Walmer Road Baptist Church may choose to relocate the stained glass memorial window to their proposed new sanctuary. In the event of removal, this window will be replaced to match the adjacent windows. This will be determined at the Conservation Plan stage.</p>
The two fireplaces with tiled hearth and ornamental brickwork chimneypieces	To be altered due to the need for an extension and new complementary base to reach the lowered floor. The base will be compatible with the existing fireplace and the adjacent historic brick. The details are to be determined at Conservation Plan stage.
The bronze hanging light fixtures and sconces with Gothic stylistic motifs	The wallsconceswillberemovedduringconstruction, restored and details of their proposed new locations will be determined as part of the Conservation Plan. The pendant lights will be removed and to mitigate this loss will be salvaged. Options for reusing the pendant lights will be explored as part of the Conservation Plan.
The oak finishes comprising the staircase balustrades, the foyer wall assembly with wainscot panelling, and the solid panelled and glazed doors	<p>The oak finishes comprising the staircase balustrades are not proposed to be altered.</p> <p>The foyer wall assembly with wainscot paneling is proposed to be demolished. To mitigate this loss it will be salvaged and, options for reusing it will be explored as part of the Conservation Plan.</p> <p>The solid paneled and glazed doors are proposed to be altered.</p>

Summary

The proposal achieves meaningful conservation of the Sanctuary building. Retention of the 1889 Chapel/1913 Sunday School and Memorial Building Link are proposed to be demolished and replaced with a new sanctuary space at the base of a proposed residential tower.

17 ENGINEERING CONSIDERATIONS

An engineering study has been conducted by Jablonsky, Ast and Partners to confirm the feasibility of the alterations to the Sanctuary's interior (see Appendix I). The study concludes that the proposed plan for the interior is feasible.

18 MITIGATION

18.1 Mitigation Measures

The proposed development incorporates several considerations intended to mitigate the potential impacts on the on-site and adjacent heritage buildings and the character of the surrounding Annex neighbourhood, which are detailed in the following paragraphs. **This revised proposal has been prepared as part of an OLT mediation process that began in April 2024 and comprised eight mediation sessions. Materials prepared in support of the OLT mediation can be found in Appendix F.**

Continuity of Evolved Site:

The Site in its current form reflects the development and programmatic evolution that has occurred over an almost 130-year period, resulting in an aggregate of distinct buildings. The proposed development represents the next phase in the evolution of this Site, required to meet the changing needs of the Walmer Road Baptist Church and the Annex community. **The proposal provides a contemporary and accessible entrance along Lowther Avenue that meets the safe circulation requirements outlined in the APS.**

Retention of Sanctuary Building In-Situ and Continuity In Use

The proposed development enables the conservation and adaptive reuse of the Sanctuary building as a high integrity resource and maintains its prominence as a landmark at Walmer Road and Lowther Avenue. The retention of the Sanctuary building and its continued use as a community space will conserve the property's cultural heritage value and provide continuity in the use of the lands to support the Church's mission. **This is achieved through the creation of a new church with sanctuary space in the proposed tower to meet the contemporary needs of the congregation and the creation of new community commercial space in the existing Sanctuary building to serve the Annex community.**

Contemporary Design Measures

The proposal incorporates contemporary design measures in the new building that respond to the built form character of the Annex neighbourhood and reflect the architectural evolution of the Sanctuary building. The architectural evolution is expressed through the re-exposed west elevation of the Sanctuary building and new entranceway through the former location of the organ which was a focal point of the Sanctuary space.

Improved Public Realm

The proposed development includes a privately owned, publicly accessible courtyard which can be accessed from the south end of the Site. The constrained sidewalk condition at Lowther is unable to safely accommodate upwards of 600 people. Exterior crush space along Lowther is required for safe exiting of up to 300-600 people. Removal of the Memorial Building Link facade allows the accommodation of crush space to accommodate the church's Sunday School program, and safety of users, including children, and strollers. The proposed courtyard creates additional public realm space, enhancing the urban condition of the Site.

Community Programming and Partnerships

The proposed development provides community commercial space within the rehabilitated Sanctuary building. This space is meant to reactivate and reinvigorate the property, inviting more of the neighbourhood's residents to engage with the Site. The new community commercial space provides continuity with the community programming which has occupied the Site over time. The occupants of this space will be determined through further community engagement.

18.2 Considered Alternatives

As part of the mediation process, the design team considered the feasibility of the retention of the Memorial Building Link facade, but this was found to not be functionally feasible. Refer to detailed analysis provided in the Link Facade Memo by HPA Architects and ERA Architects, revised July 11, 2024 and included in Appendix F.

19 STATEMENT OF PROFESSIONAL OPINION

The proposed development involves the rehabilitation of the Sanctuary building to accommodate a new community orientated commercial space. The Sanctuary building is currently vacant and not safe for occupancy. The proposed redevelopment of the 1889 Chapel/1913 Sunday School and Memorial Building Link incorporates a contemporary residential tower and a new church and sanctuary space for the WRBC.

While the proposal represents a major alteration to the existing buildings on the Site, the development integrates strategies to retain the value and conserve the attributes of the Sanctuary building, the primary heritage resource on the Site, while balancing the requirements of the new proposed program.

It is ERA's opinion that the proposal achieves meaningful conservation through:

- In-situ conservation of the Sanctuary building;
- Replacement of the 1889 Chapel/1913 Sunday School and Memorial Building Link with new church and sanctuary space and a residential tower that introduces new housing within the Annex neighbourhood, adjacent to the Spadina Subway Station;
- Expansion of the public realm along Lowther Avenue, which also enhances the contextual value of Walmer Road as a neighbourhood landmark at a prominent location at the northwest corner of Walmer Road and Lowther Avenue.

Based on this assessment, the proposal is consistent with the relevant provincial and municipal heritage policy framework. The proposal is also generally consistent with the Standards and Guidelines for the Conservation of Historic Places in Canada, including the standards for Rehabilitation projects.

ERA ultimately finds the proposed development to be generally compliant with applicable policies, and with professional standards and best practices for urban adaptive reuse projects in Canada.

APPENDIX A: REQUIRED CONTENTS CHECKLIST



Heritage Impact Assessment Terms of Reference and Checklist

City Planning, Heritage Planning, Urban Design

Revised July 7, 2021

A. PURPOSE

The conservation of the City of Toronto's cultural heritage resources is a matter of public, municipal and provincial interest.

A Heritage Impact Assessment ("HIA") is an independent professional and objective study undertaken at the earliest stage of project planning, design, construction and development activity necessary to inform a project's design with the goal of conservation.

The purpose of the HIA is to assist in the understanding of the cultural heritage value of each existing or potential heritage resource on a site, adjacent to a site or within a Heritage Conservation District ("HCD"), and apply relevant heritage conservation policies and standards in the analysis of the impact of development on its cultural heritage value, and develop mitigation measures to protect it. Within the City of Toronto's application process and complete application requirements, the purpose of the HIA is also to inform decisions of City staff and City Council and to guide the creation of a Conservation Plan or any other Council approved condition.

B. POLICY CONTEXT

- The Provincial Policy Statement; Section 2.6 Cultural Heritage and Archaeology
- A Place to Grow: Growth Plan for the Greater Golden Horseshoe; Section 4.2.7 Cultural Heritage Resources
- City of Toronto Official Plan

C. DESCRIPTION

The HIA will demonstrate an understanding of the cultural heritage values and attributes of existing and potential onsite heritage resources, adjacent heritage properties and within or adjacent to Heritage Conservation Districts. It is strongly recommended that a **Cultural Heritage Evaluation Report ("CHER")** be prepared by the applicant at a project's inception to ensure a rigorous inventory and understanding of the site's values and attributes early in the design process. The City of Toronto has developed a Terms of Reference to assist with the purpose and content of a CHER. It is also strongly recommended that the results of the CHER be shared with the City for discussion at the earliest opportunity to avoid unnecessary delays.

Where City Council has previously adopted a Statement of Significance through municipal designation, using criteria set out in Ontario Regulation 9/06, the HIA must be based on the Council approved statement of cultural heritage values and attributes. Properties designated prior to 2005 will be subject to review and by-law amendment as necessary.

The HIA will also demonstrate, in its analysis and conservation strategy, an understanding of all applicable provincial and municipal policies, HCD plans and recognized professional heritage conservation standards in Canada including, but not limited to, the *Standards and Guidelines for Conservation of Historic Places in Canada*. **In keeping with the *Standards and Guidelines*, minimal intervention will be the guiding principle for all work.**

The study will, using both written and graphic formats, provide a description of the proposed development or site alteration, a detailed review of the impact of the proposed work on the cultural heritage values and attributes of the existing, potential and adjacent heritage properties (cultural heritage values and attributes that have already been determined by the City or, when unavailable, identified within a Cultural Heritage Evaluation Report) from a conservation perspective. The HIA will also recommend alternative development options and mitigation measures to ensure the best possible conservation outcomes.

The HIA, which must be prepared by a qualified heritage conservation professional as demonstrated through membership in the Canadian Association of Heritage Professionals, will address "existing and potential heritage properties" which are those properties that are:

- designated under Parts IV and V of the Ontario Heritage Act ("OHA")
- added to the Register by City Council, known as "listed" properties
- identified as having cultural heritage value or interest through a preliminary site assessment or planning study
- identified by the community, City staff or local Councillor

In addition, it is recommended that applicants pre-screen any building 40 years of age or older on the development site as a routine part of pre-application due diligence, especially if demolition will be proposed.

The required conservation strategy will be presented in detail to inform the decisions of City staff and City Council and to guide the creation of a Conservation Plan and/or any other Council approved conditions. Conservation strategies will take into account the existing condition of cultural heritage resource(s) and the constructability of the proposal. It is expected the project team will have undertaken sufficient investigation to confirm the capacity of the heritage resource to withstand the proposed intervention.

Where there is the potential to affect known or potential archaeological resources an Archaeological Assessment will be undertaken as an additional study prepared by a licensed archaeologist.

D. STANDARDS AND PRACTICES

The HIA must be impartial and objective, thorough, complete and sound in its methodology and application of Ontario Heritage Act evaluation criteria, the City of Toronto Official Plan Heritage Policies and the *Parks Canada Standards and Guidelines for the Conservation of Historic Places in Canada* and be consistent with recognized professional standards and best practices in the field of heritage conservation in Canada and the CAHP Code of Conduct.

The HIA must be prepared by qualified professional members in good standing with the Canadian Association of Heritage Professionals (CAHP) who possess applied and demonstrated knowledge of

accepted standards of heritage conservation, historical research, identification and evaluation of cultural heritage value or interest, analysis and mitigation.

The HIA must include all required information and be completed to the satisfaction of the City as determined by the Senior Manager, Heritage Planning or it will be considered incomplete for application or other purposes.

The HIA may be subject to a peer review if deemed appropriate by the Senior Manager.

E. WHEN REQUIRED

An HIA is required as a part of a Complete Application for the following application types, if the development site contains one or more properties that are listed and/or designated on the City of Toronto's Heritage Register:

- Official Plan Amendment
- Zoning By-law Amendment
- Plans of Subdivision
- Site Plan Control

Note: Site Plan Control applications that have been subject to a recent and/or concurrent OPA/ZBA application will not require an HIA.

An HIA may be required for the following additional application types:

- Consent and/or Minor Variance applications for any property on the Heritage Register
- Official Plan Amendment, Zoning By-law Amendment, Plans of Subdivision, Site Plan Control and/or Consent and/or Minor Variance applications adjacent to a property on the Heritage Register. Adjacency is defined in the Official plan and may go beyond contiguous properties
- Heritage Permit applications for any property designated under Part IV (individual) or Part V (Heritage Conservation District) of the OHA.

F. CULTURAL HERITAGE EVALUATION REPORT (CHER)

A Cultural Heritage Evaluation **is required** within the HIA for the following properties, where applicable:

- Designated under Part IV, Section 29 of the OHA prior to 2006
- Listed on the City's Heritage Register under Section 27 of the OHA

A CHER is strongly encouraged to be prepared for properties of potential heritage value:

- Not on the City's Heritage Register but identified as having cultural heritage value through professional site assessments or planning studies
- Believed to have cultural heritage value as identified by the community, City staff or local Councillor
- Buildings and/or structures that are 40 years or older

A Cultural Heritage Evaluation within an HIA, or as part of a CHER is **not required** for properties that are:

- Subject to a Notice of Intention to Designate under Section 29 of the OHA
- Designated under Part IV, Section 29 of the OHA after 2006
- Designated under Part V, Section 42 of the OHA

The City's Terms of Reference for a CHER is available as a separate document. It is recommended that applicants contact Heritage Planning to discuss heritage potential on the subject property prior to application submission. **Evaluation of cultural heritage resources prior to project planning is strongly encouraged.**

With regard to Part IV, Section 29 properties, the HIA should append the Notice of Intention to Designate or the designation by-law, where applicable. With regard to Part V, Section 42 Districts, identification of the Heritage Conservation District and its associated Heritage Conservation District Plan (if applicable) should be identified, but is not required to be appended to the HIA.

An HIA that does not use the Council adopted statement of significance as the basis to assess impact will be deemed incomplete.

Evaluations may be subject to Peer Review where deemed appropriate by the Senior Manager, Heritage Planning

G. REQUIRED CONTENTS AND CHECKLIST

To confirm application requirements it is advisable to discuss your project in advance with Heritage Planning staff during preliminary consultation meetings and consult the City of Toronto's Municipal Code.

Where conditional approval has already been granted under the OHA, document requirements should be discussed with heritage planning staff.

The HIA will be submitted in hard copy and PDF format along with any other required application material and will include (at minimum):

1. Required Contents Checklist



A copy of this HIA Terms of Reference with a completed Required Contents Checklist

2. Statement of Professional Qualifications

A Heritage Professional is a person who has specialized knowledge in the conservation and stewardship of cultural heritage and is supported by formal training and/or work experience. The professional must be a registered member of the Canadian Association of Heritage Professionals and in good standing. The background and qualifications of the professional(s) completing the HIA must be included in the report.



By checking this field, the Professional conforms to accepted technical and ethical standards and works in accordance with the regulations and guidelines of their specialty heritage fields and

jurisdictions of practice and confirms the information included in the HIA or CHER is accurate and reflects their professional opinion.

3. Executive Summary

- ☒ This section includes a summary of the project as a whole; a summary of the property's determined heritage values and attributes, including conclusions related to the evaluation of properties undertaken through the CHER; a summary of the proposed conservation strategy and a summary assessment of the impact of the proposed development or site alteration on the cultural heritage values and attributes of all on-site and adjacent heritage properties, including properties on the site that are not on the heritage register but which have been subject to evaluation either within the HIA or as the subject of a CHER.

The Executive Summary will also outline proposed mitigation measures and will include a clear statement of opinion about the appropriateness of the work as proposed, with specific reference to all applicable policies and guidelines.

4. Property Owner

- ☒ Owner name and full contact information, including e-mail address(es)

5. Owner's Representative or Agent

- ☒ Name and full contact information, including e-mail address(es), for any representative or agent acting on behalf of the owner accompanied by proof of owner consent

6. Location Plan

Location of the development site and the subject heritage property/properties shown on:

- ☒ City's property data map
- ☒ Aerial photograph

Maps and photographs must depict the site boundary within a 300 metre radius, or as appropriate, in order to demonstrate the existing area context and identify adjacent heritage resources. Maps to be to a metric scale (i.e. 1:100, 1:200, 1:500).

7. Cultural Heritage Evaluation Report (CHER)

Following the City of Toronto's Cultural Heritage Evaluation Report (CHER) Terms of Reference, this section will include the identification and evaluation of existing and potential properties on the development site, as required.

Where a property is subject to a notice of intention to designate under Section 29 of the OHA, designated under Part IV of the OHA after 2006 or designated under Part V of the OHA, the HIA must rely on the heritage values and attributes of the property which have already been determined by City Council.

It is expected the CHER will be prepared in the early stages of the design and development process, prior to determining what changes may be appropriate. It is recommended that the CHER be submitted as a separate document prior to its incorporation into the HIA and prior to the submission of a development application so that the heritage values can be confirmed.

Check all that apply:

- ☐ Evaluation of a property designated under Part IV, Section 29, of the Ontario Heritage Act prior to 2006 and date evaluation was completed.
- ☒ Evaluation of a property listed on the City's Heritage Register under Section 27 of the Ontario Heritage Act and date evaluation was completed.
- ☐ Evaluation of a property previously identified as having cultural heritage value through professional site assessments or planning studies and date evaluation was completed.
- ☐ Evaluation of a property believed to have cultural heritage value as identified by the community, City staff or local Councillor and date evaluation was completed.
- ☐ Evaluation of a property over 40 years old and date evaluation was completed.

8. Description of On-site Heritage Resources

This section will include a description of existing and potential cultural heritage resources within the development site, and shall include:

- ☒ Description of each property in its location on the site and any associated buildings, structures and/or landscapes. The description needs to include reference to all structures; buildings; age, location, type of construction, heritage attributes, building elements, features and / or remains; building materials; architectural style, type or expression and finishes; floor plan; natural heritage features; landscaping and archaeological resources as applicable.
- ☒ For each listed property, the existing Statement of Significance, Reasons for Listing and/or Reasons for Identification as adopted by City Council describing each property's cultural heritage value. Include the City Council inclusion dates and relevant details. This information can be obtained from the Heritage Planning office or online.
- ☐ For each Part IV or Part V designated property on the site, the existing Statement of Significance, Reasons for Designation describing each property's cultural heritage value and heritage attributes and/or the established cultural heritage value or contribution as described in the relevant HCD Plan. Include the associated designation by-laws and City Council inclusion dates and details. This information can be obtained from the Heritage Planning office or online.

9. Historic Photographs

- ☒ Historic photographs should be provided where available. If historic photographs cannot be located, it must be confirmed that the noted sources below have been checked and historic photographs were not present.

At minimum, the resources that must be consulted include:

- ☒ Toronto Archives
- ☒ Toronto Public Library
- ☒ Historical society archives

10. Current Photographs/Images

- ☒ Current photographs/images taken within 3 months of the application submission date showing the existing condition, context, attributes and other features of existing and potential heritage resources on the property that are unobstructed by landscaping, vegetation, vehicles, etc. The context includes other buildings and existing landscaping (mature trees, fences, walls, driveways) on the subject property. Photographs will include the following:

- Each building elevation
- Each heritage attribute or draft (CHER) heritage attribute affected by the proposed works
- Existing context including other buildings on and adjacent to the site and existing landscaping
- Interior heritage attributes described in the Part IV designation by-law or the CHE, where applicable
- Photographs of the property as seen from the public realm around the property including each public right of way, lane, or shared driveway, park and publicly accessible open space, as appropriate to the site
- Photographs showing the relationship of the site to the adjacent properties

11. Description of Surrounding Neighbourhood Keyed to a Context Map

- ☒ Provide a detailed narrative of the surroundings of the site with particular attention to subject street frontages or block faces, subject property and opposite side of the street frontage(s). Be sure to reference architectural styles, profiles and ages of buildings and describe the existing "sense of place" where discernible and key to a context map.

12. Description of Adjacent Heritage Properties (if applicable)

Using the definition of "adjacency" in the City's Official Plan, this section must provide a description of each heritage property/resource adjacent to the development site, including:

- ☒ Description of the property in its location adjacent to the site, including any buildings, structures and/or landscapes or landscape features.
- ☒ Part IV or V designation dates and details.

☒ Existing Statement of Significance or Reasons for Designation describing the property's cultural heritage value. This information can be obtained from the Heritage Planning office.

☒ Photographs to include:

- Photographs taken within 3 months of the application submission date of each elevation of the resource on the adjacent heritage property.
- Aerial photographs showing the relationship of the adjacent properties to the development site.
- Available historic photographs that show the adjacent buildings in relation to the application site, or confirmation that none were available from the noted sources.

13. Condition Assessment

The condition assessment should not rely solely on a visual inspection. Recommended methods for determining the condition of the resource(s) include a structural engineering analysis, a geotechnical study, non-destructive and destructive testing where underlying conditions might be obscured by architectural elements, signage or other physical barriers.

Destructive testing may be subject to approval. Please consult the heritage planner assigned to your application to confirm testing requirements needing a preliminary review.

☒ Written description and high quality colour photographic documentation of each existing and potential heritage resources on the development site in its current condition and a detailed visual and written description of the physical condition of the resources including, but not limited to:

- The roof (including chimneys, roofing materials, etc.)
- Each building elevation including windows, doors, porches and decorative elements
- Foundations
- Each heritage attribute identified in an existing Statement of Significance or a CHE including landscape features where applicable
- Structural stability of the building
- Other aspects of the site as appropriate

14. Description of Proposed Development or Site Alteration

In this section, the plans, drawings, specifications and a description of the site alteration must include all new development on and alterations and interventions to each designated and/or listed and/or potential heritage property on the development site.

The drawings and specifications should also show any internal heritage attributes described in the designation by-law and show any proposed changes to them.

If no changes are being proposed to a specific building, structure or heritage attribute on the subject property a written confirmation of this and confirmation of its proposed conservation

- can be provided instead of including proposed plans, sections and elevations of that specific building, structure or heritage attribute.
- ☒ A written itemized and detailed description of all alterations and interventions affecting the cultural heritage value and attributes of each onsite existing and potential heritage property and adjacent heritage property with a clear narrative of what is proposed to be conserved, altered, visually or physically impacted or demolished and/or removed.
 - ☐ Existing plans, sections and elevations showing the current condition of each property with any buildings, structures and attributes proposed to be demolished or removed identified in RED and/or altered in BLUE.
 - ☒ Proposed plans, sections and elevations showing any attributes proposed to be demolished, removed or reconstructed in RED and new construction and alterations in BLUE.

15. Demolition

Separate approval under the Ontario Heritage Act is required for any property designated under Part IV or V where the demolition or removal of a building, structure and/or attribute is proposed.

60 days' written notice of intention to demolish a building or structure on a listed property must be submitted to the Chief Planner, consistent with the Toronto Municipal Code, Chapter 103.

- ☐ Check if NO demolition or removal is proposed.
- ☐ Where the demolition and/or removal of a building, structure and/or heritage attribute is proposed on an existing Part IV heritage property, a written description will explain the reason for the proposed demolition and/or removal and how it conserves the cultural heritage value and attributes of the property as described in the designation by-law or the CHER and how it conserves the integrity of the property.
- ☐ Where the demolition and/or removal of a building, structure and/or heritage attribute is proposed on a Part V designated property within a Part V designated district, a written description will explain the reason for the proposed demolition and/or removal and how such demolition and/or removal conserves the cultural heritage values and heritage attributes of the relevant Heritage Conservation District and describe how the proposal is not contrary to the objectives of that HCD Plan and how the proposal does not conflict with that HCD Plan.
- ☒ Where the demolition and/or removal of a building or structure on a listed heritage property is proposed, a written description will explain the reason for the proposed demolition and/or removal and how it conserves the cultural heritage value of the property as described in the reasons for listing or the CHER and conserves the integrity of the property.
- ☐ Where the demolition and/or removal of a building or structure on a potential heritage property is proposed, a written description will explain the reason for the proposed demolition and/or removal.

16. Analysis of the Impact of Development or Site Alteration

In this section, a clear and objective analysis of the impact of all alterations and interventions, (direct and indirect), that affect the cultural heritage value and attributes as described in the designation by-law or approved CHER of each existing, potential and adjacent heritage property or HCD is required.

- ✓ An itemized and detailed analysis of the impact of and rationale for all alterations and interventions proposed affecting the cultural heritage value and attributes of each existing, potential and adjacent heritage property applying all relevant policies including the City of Toronto Official Plan, the Provincial Policy Statement and A Place to Grow: Growth Plan for the Greater Golden Horseshoe.
- ✓ A description of and rationale for the primary conservation treatment(s) based on the *Parks Canada Standards and Guidelines for the Conservation of Historic Places in Canada*.
- ✓ An itemized and detailed analysis of and rationale for all alterations and interventions proposed affecting the cultural heritage value and attributes of each existing, potential and adjacent heritage property using all applicable guidelines in the *Parks Canada Standards and Guidelines for the Conservation of Historic Places in Canada*.
- ✓ Using the definition of "integrity" in the City of Toronto Official Plan, provide a description and analysis of the impact of the development/site alteration on the integrity of each existing, potential and adjacent heritage property.
- ✓ An analysis of the visual impact of the design of the new development on, and a description of the efforts to ensure mitigate the impact and ensure its compatibility with, the heritage value, attributes and character of each existing, potential and adjacent heritage property or HCD.

17. Engineering Considerations

In the case of partial *in situ* or façade-only retention, temporary removal or relocation of a building or structure of an onsite existing or potential heritage resource, or when a compromised structure is part of the reason for the proposed works, an engineering study must be undertaken by a Professional Engineer that confirms the feasibility of the proposed strategy in the context of the development/site alteration. An engineering study may also be requested in other circumstances.

A vibration or other site management related study may be requested to assess any potential impacts to adjacent heritage resources.

The study should consider (at minimum) overall site alterations, construction access, buried utilities, right-of-way management and construction/conservation methodologies. Recommendations must be based on a detailed understanding of the current condition of the resource(s) being conserved as described in Section 12.

Limited invasive testing of existing heritage fabric and other forms of ground investigation are strongly recommended at the earliest stages of the project. Purely visual inspection will not be an acceptable basis for decision-making.

- ☒ A statement from a professional engineer confirming feasibility of a strategy that involves façade retention, temporary removal or relocation. Conservation strategies with engineering considerations must include this statement or the HIA will be deemed incomplete.

18. Mitigation

Mitigation measures and/or alternative options are important components of the HIA as they describe ways to avoid or reduce negative impacts on the cultural heritage resources. Mitigation might also be achieved through modifications to the design of project as a whole, for example exploring alternative parking arrangement the modification of supporting caisson walls and other shoring and bracing strategies that supports greater retention of built fabric, exterior walls, interior attributes and *in situ* preservation etc.

- ☒ A detailed and itemized description of recommended mitigation measures that will best conserve the cultural heritage values and attributes of each existing, potential and adjacent heritage resource. Note: Potential heritage resources are defined in Section F above. Adjacent properties are defined in Section 3.1.5 of the City of Toronto Official Plan.
- ☐ If mitigation measures and/or alternative development options are not warranted because the cultural heritage values and attributes are being conserved, describe and provide a rationale for no recommendation.
- ☒ Where significant interventions occur, describe and provide a rationale for the alternative development approaches and mitigation measures that were explored but not recommended in this HIA.

19. Conservation Strategy/Summary

- ☒ Itemized summary of the conservation strategy detailed in the previous relevant sections.

20. Statement of Professional Opinion

- ☒ A conclusive and objective statement of professional opinion about the compliance of the project with all relevant municipal and provincial policies and respect for recognized professional standards and best practices in the field of heritage conservation in Canada.
- ☐ If, in the opinion of the heritage consultant, a development proposal does not comply with all applicable policies or respect recognized professional standards and best practices in the field of heritage conservation as reflected in all applicable guiding documents, a full analysis will be provided explaining the reasons for why this conclusion has been drawn.

APPENDIX B: LIST OF SOURCES

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DRAFT

Authority: Planning and Housing Committee Item PH5.12,
as adopted by City of Toronto Council on July 19 and 20,
2023

City Council voted in favour of this by-law on
September 6, 2023

Written approval of this by-law was given by Mayoral
Decision 12-2023 dated September 6, 2023

CITY OF TORONTO

BY-LAW 805-2023

To designate the property at 38 Walmer Road (including entrance address of 188 Lowther Avenue) as being of cultural heritage value or interest.

Whereas the Ontario Heritage Act authorizes the Council of a municipality to enact By-laws to designate real property, including all buildings and structures thereon, to be of cultural heritage value or interest; and

Whereas authority was granted by Council to designate the property at 38 Walmer Road (including entrance address of 188 Lowther Avenue) as being of cultural heritage value or interest; and

Whereas the Council of the City of Toronto has caused to be served upon the owners of the lands and premises known as 38 Walmer Road (including entrance address of 188 Lowther Avenue) and upon the Ontario Heritage Trust, Notice of Intention to designate the property, and has caused the Notice of Intention to be posted on the City's website for a period of 30 days in accordance with Municipal Code Chapter 162, Notice, Public, Article II, § 162-4.1. Notice requirements under the Ontario Heritage Act; and

Whereas no notice of objection was served upon the Clerk of the municipality within the prescribed time under the Ontario Heritage Act; and

Whereas the reasons for designation are set out in Schedule A to this By-law;

The Council of the City of Toronto enacts:

- 1.** The property at 38 Walmer Road (including entrance address of 188 Lowther Avenue), more particularly described in Schedule B attached to this By-law, is designated as being of cultural heritage value or interest.
- 2.** The City Solicitor is authorized to cause a copy of this By-law to be registered against the property described in Schedule B to this By-law in the proper Land Registry Office.
- 3.** The City Clerk is authorized to cause a copy of this By-law to be served upon the owners of the property 38 Walmer Road (including entrance address of 188 Lowther Avenue) at and upon the Ontario Heritage Trust and to cause notice of this By-law to be posted on the City's website for a period of 30 days in accordance with Municipal Code Chapter 162, Notice, Public, Article II, § 162-4.1. Notice requirements under the Ontario Heritage Act.

Enacted and passed on September 6, 2023.

Frances Nunziata,
Speaker

John D. Elvidge,
City Clerk

(Seal of the City)

SCHEDULE A

STATEMENT OF SIGNIFICANCE REASONS FOR DESIGNATION

38 WALMER ROAD (INCLUDING ENTRANCE ADDRESS OF 188 LOWTHER AVENUE)

Reasons for Designation

The property at 38 Walmer Road, is worthy of designation under Part IV, Section 29 of the Ontario Heritage Act for its cultural value and meets Regulation 9/06, the provincial criteria prescribed for municipal designation under the categories of design/physical, historical/associative and contextual value.

Description

The property at 38 Walmer Road, known as the Walmer Road Baptist Church, is located in a residential section of Toronto's Annex neighbourhood, on the northwest corner of Walmer Road and Lowther Avenue, fronting Gwendolyn Macewen Park.

Rev. Elmore Harris, with the financial backing of his father, Alanson Harris, of Brantford, who made his fortune in the manufacturing of farm machinery (Massey-Harris), led the development of the Walmer Road Baptist Church to which he would take charge upon its completion in 1889. Rev. Harris commissioned the illustrious Toronto architectural firm of Langley and Burke to design a church with a Sunday school facilities on the property purchased on Walmer Road and extended along Lowther Avenue. The church complex consists of three building sections - the 1889 Queen Anne revival- style Sunday School building, an 1892 Romanesque revival-style Sanctuary with seating for more than 1500, and a Gothic-style 1913 Memorial Building linking the other two sections into a building complex along Lowther Avenue.

Several properties in close proximity to the church have been designated under Part IV of the Ontario Heritage Act or listed on the City's Heritage Register. Designated properties nearby include 6 Walmer Road, the former Loretto College Building (1914) at 385-87 Brunswick Avenue. Properties which are listed on the Register include 21 Walmer Road, 1894 house, as well as 11, 35, and 44 Walmer Road – all mid-twentieth century apartment buildings designed by architect Uno Prii.

City Council listed the property on the City of Toronto's Heritage Register in 1986.

Statement of Cultural Heritage Value

Historical or Associative Value

The property possesses historical and associative value as the home of the Walmer Road Baptist Church, an institution with a congregation established in 1889. Since that time, it has been a place of worship, social and educational activity for its members as well as a place of community outreach. Originally, the Sunday school building served as the place of worship - with a seating capacity of 600 - until 1892, when the sanctuary was completed. With the completion of the

1892 sanctuary, and its seating for 1540 people, the church became the largest Baptist church in Canada. The use of the church and its functional role in the community was significant, aligning with the times and the needs of the community. The church was said to have the most diversified programming of a church in Canada, aligning with the community-minded values of the founder, Rev. Harris.

The church is associated with some of Toronto's most important and prolific architectural practices – Langley and Burke for the Sunday School and Sanctuary; and Burke, Horwood and White for the Memorial Building section. Edmund Burke was a leading Toronto architect for a half century designing a wide array of residential, commercial and institutional works, while Henry Langley was the leading architect of ecclesiastical works in Ontario in the late 1800s. Together, they designed numerous landmark churches such as Jarvis Street Baptist Church, Shelbourne Street Methodist Church, and Trinity Methodist Church (1887-89). Subsequently, Burke and Horwood were responsible for some of Toronto's most significant architectural works such as the Robert Simpson Department Store. Later, Burke, Howood and White were associated with important commissions across Canada such as the iconic Hudson's Bay Department stores in Calgary, Vancouver and Victoria.

Design or Physical Value

The Sunday School building, dating from 1889, is a unique example of Queen Anne-revival style design due to its adaptation for an institutional use rather than the typical residential uses associated with such design in the area. The building's asymmetrical façade with tower, tiled gable and picturesque appearance distinguishes the exterior of the building, while the interior is notable for its open truss ceiling. The design of the building reinforces and compliments the predominant architectural character of the area which is a blend of Queen Anne- and Romanesque-style influences to create what is known as the local "Annex" style of design.

The 1892 Sanctuary is a unique example of the Romanesque style adapted to an ecclesiastical purpose incorporating a variety of Gothic-style references. Characterizing the building are the contrasting materials of brick, rough-faced stone and terra-cotta tiles. Its asymmetrical front façade with towers features a distinctive window treatment, being deeply set, and comprising various rounded arch windows and rows of openings. Lancet and pointed arch windows, window tracery, buttressed walls and an elaborate and impressive open-truss ceiling contribute to the Gothic quality. A sweeping, horseshoe-shaped gallery further distinguishes the interior.

The 1913 Memorial Building linking the Sanctuary and Sunday School also has value as a representative example of Gothic revival-style design physically and visually connecting the two buildings with understated stylistic influences. Elements of the Gothic style can be seen in both the Sunday School and Sanctuary buildings and the employment of the Memorial Building's Gothic style detailing to link the two structures skillfully brings the composition together.

Contextual Value

The Walmer Road Baptist Church is functionally and visually linked to its surroundings. In architectural character, the Walmer Road Baptist Church is visually linked to the community which is distinguished by residential architecture in the "Annex style" – a combination of Romanesque- and Queen Anne revival styles - both of which are displayed in the subject

property, visually tying the property to its surroundings. Functionally, the property has served the spiritual and social needs of its geographical community since 1889. Since then, it has been a place of community outreach offering an extensive variety of programming for the area's residents.

The property is also historically linked to its surroundings. The development, growth, and evolution of the church reflects the same of the community with each evolving, to a degree, in tandem. The initial establishment of the church in 1889 reflects the early development phase of the community. Further development of the community in terms of physical and population growth aligns with the continued development and growth of the church. In the twentieth century, the changing social demographics of the community, which became more diverse, was similarly reflected in the role of the church in the community and its evolution in programming and outreach.

The Walmer Road Baptist Church is also a landmark in the Annex community. The substantial and distinctive character of its architecture in combination with its prominent presence on Walmer Road and its situation dominating Gwendolyn Macewan Park makes the property a physically pronounced structure in the area. The building also terminates the view from the East alignment of Lowther Avenue, prior to the street continuing around the building. Its long and important functional role has made it a community focal point, contributing to this landmark status.

Heritage Attributes

Design or Physical Value

The following heritage attributes contribute to the design and physical value of the property at 38 Walmer Road and specifically the Sunday school's Queen Anne and Romanesque revival style; the Memorial Building's Gothic-revival style; and the Sanctuary's Romanesque-revival style:

Sunday School Building (1889) Exterior:

- The form, scale and massing of the building being three storeys and rectangular with corner tower
- The front gable roof with lower parapeted cross gables and flat sections; roof elements comprising an eave bracket, open eaves with exposed rafters and wooden tongue and groove soffits; and the tower's cornice, pyramidal roof and finial
- The reddish-brown brick cladding and brickwork of the facades forming buttresses and corbel tables; terra-cotta gable shingles; and stone sills
- The fenestration, with pointed arch and segmental arched windows as well as a large multi-part gable window (with leaded glazing) and multi-part tower windows with foil-shaped sashes to mimic tracery and leaded and stained-glazing; wood-sash windows with leaded glazing

Interior:

- The extended height ceiling of the gymnasium space (original sanctuary) with timber, open-truss ceiling
- The ornamented cast-iron structural columns within the basement

Sanctuary Building (1892) Exterior:

- The form, scale and massing of the cruciform-shaped building with lofty nave and lower sides, and with an asymmetrical main façade arrangement comprising a tall bell tower and lower stair tower
- The materials of brown, rough-faced, Credit Valley sandstone base, walls, courses and sills and contrasting reddish-brown cladding and brickwork forming label mouldings, buttresses, and the terra-cotta shingled clerestory
- The steeply-sloped front gable roof over the nave with lower cross gables over the transepts and lower slopes roofs over the sides (aisles) and the pyramidal bell tower roof and the conical copper-clad stair tower roof
- The fenestration, with a variety of pointed- and segmental-arched windows containing wooden sash, leaded glazing, and front windows with wood tracery; ribbons of leaded-glass clerestory windows atop the nave; the arcaded, deeply set windows and the narrow rounded-arch and lancet openings within the towers and gables; the 1948, stained glass Warren Family memorial window of the south elevation
- The main entrance with its three pointed-arch doorways each with formed brick mouldings and reveals, panelled wood double doors, transom lights with wooden tracery of foils and leaded and stained glass

Interior:

The following heritage attributes have been identified as "liturgical elements":

- The configuration with lofty single volume nave with its raked floor and separate entrance foyer containing two tower staircases
- The elaborate open-truss roof with strapwork plaster ceiling
- The horseshoe-shaped gallery with tiered seating, and with wood balustrades of ash and turned balusters of birch
- The elaborately cast-iron columns supporting the balconies and the ceiling
- The exposed, pressed-red-brick walls of the sanctuary incorporating ornamental brickwork detailing such as a dado, courses, and label mouldings

- The raised chancel with carved and panelled oak rood screen and pulpit
- The pipe organ recesses, oak casing and façade pipes metal lined baptismal tank
- The three-part stained glass memorial window
- The two fireplaces with tiled hearth and ornamental brickwork chimneypieces
- The bronze hanging light fixtures and sconces with Gothic stylistic motifs
- The oak finishes comprising the staircase balustrades, the foyer wall assembly with wainscot panelling, and the solid panelled and glazed doors

Memorial Building (1913) Exterior:

- The form, scale and massing of the building being two-storeys with flat roof and comprising two connected volumes wrapping around the Sunday School building
- The reddish-brown brick cladding and brickwork of the facades forming buttresses, a crenelated parapet and arched doorway reveals; smoothly-dressed sandstone finishes comprising label mouldings, coping, lintels and sills
- The fenestration with pointed-arch and flat-headed windows; the leaded-glass wood-sash windows

Interior:

- the auditorium space and its features including its stage, pointed proscenium arch with Gothic columns, and balconies with their wood balustrades, large support brackets

Historical or Associative Value

The following heritage attributes contribute to the cultural heritage value of the property as a place of worship, social, educational and recreational activity for its members as well as a place of community outreach:

- the Sunday School, the Sanctuary and the Memorial Building associated with the Baptist church

The following heritage attributes contribute to the cultural heritage value of the property associated with the prominent architects associated with the property:

- the building materials and Queen Anne, Romanesque and Gothic revival-style design of the property reflecting an association with Langley and Burke architects and Burke, Horwood and White architects

Contextual Value

The following heritage attributes contribute to the cultural heritage value of the property as defining, supporting and maintaining the historic character of the area and being historically, visually linked to its setting and as a landmark in the Annex:

- the setback, placement and orientation of the buildings on a corner lot viewed from Walmer Road and Lowther Avenue, with a focal-point presence fronting Gwendolyn Macewen Park
- the Romanesque and Queen Anne-Revival design of the property which is visually linked the architectural style of the Annex.

SCHEDULE B
LEGAL DESCRIPTION

PIN 21230-0231 (LT)

LOTS 13 & 14

REGISTERED PLAN 762 NORTH WEST ANNEX,

PART OF LOTS 16 & 17

REGISTERED PLAN 597 NORTH WEST ANNEX

PART OF LOT 25, CONCESSION 2 FTB

GEOGRAPHIC TOWNSHIP OF YORK

AS IN OE23396, OG10082, WA71514 AND OF6463

City of Toronto and Province of Ontario

Land Titles Division of the Toronto Registry Office (No. 66)

Heritage Property Detail[Print Page](#)

Address: **35 WALMER RD**

Ward: 11

Status: Listed

List Date: Mar 01, 2004

Intention Date:

By-Law: N/A

Part IV Date:

Part V Date:

Heritage District: N/A

District Status: N/A

Heritage Easement Ag:

Registration Date:

Building Type: Residential

Architect/Builder:

Construction Yr.:

Details: The Vincennes, 1966; Uno Prii, architect; adopted by City Council on March 1, 2, 3, 2004

Demolition Date:

Primary Address: 35 WALMER RD

[BACK TO SEARCH RESULT](#)

Heritage Property Detail[Print Page](#)

Address: **44 WALMER RD**

Ward: 11

Status: Listed

List Date: Mar 01, 2004

Intention Date:

By-Law: N/A

Part IV Date:

Part V Date:

Heritage District: N/A

District Status: N/A

Heritage Easement Ag:

Registration Date:

Building Type: Residential

Architect/Builder:

Construction Yr.:

Details: Apartments, 1965; Uno Prii, architect; adopted by City Council on March 1, 2, 3, 2004

Demolition Date:

Primary Address: 44 WALMER RD

[BACK TO SEARCH RESULT](#)

 City of Toronto 1998- 2022

Authority: Toronto South Community Council Report No. 5, Clause No. 29,
as adopted by City of Toronto Council on June 22, 23 and 24, 2004
Enacted by Council: September 30, 2004

CITY OF TORONTO

BY-LAW No. 751-2004

To designate the property at 385 Brunswick Avenue (Loretto Abbey School) as being of cultural heritage value or interest.

WHEREAS authority was granted by Council to designate the property at 385 Brunswick Avenue (Loretto Abbey School) as being of cultural heritage value or interest; and

WHEREAS the *Ontario Heritage Act* authorizes the Council of a municipality to enact by-laws to designate real property, including all the buildings and structures thereon, to be of cultural heritage value or interest; and

WHEREAS the Council of the City of Toronto has caused to be served upon the owners of the land and premises known as 385 Brunswick Avenue and upon the Ontario Heritage Foundation, Notice of Intention to designate the property and has caused the Notice of Intention to be published in a newspaper having a general circulation in the municipality as required by the *Ontario Heritage Act*; and

WHEREAS the reasons for designation are set out in Schedule "A" to this by-law; and

WHEREAS no notice of objection to the proposed designation was served upon the Clerk of the municipality.

The Council of the City of Toronto HEREBY ENACTS as follows:

1. The property at 385 Brunswick Avenue, more particularly described in Schedule "B" and shown on Schedule "C" attached to this by-law, is designated as being of cultural heritage value or interest.
2. The City Solicitor is authorized to cause a copy of this by-law to be registered against the property described in Schedule "B" to this by-law in the proper Land Registry Office.
3. The City Clerk is authorized to cause a copy of this by-law to be served upon the owners of the property at 385 Brunswick Avenue and upon the Ontario Heritage Foundation and to cause notice of this by-law to be published in a newspaper having general circulation in the City of Toronto as required by the *Ontario Heritage Act*.

ENACTED AND PASSED this 30th day of September, A.D. 2004.

DAVID R. MILLER,
Mayor

ULLI S. WATKISS
City Clerk

(Corporate Seal)

SCHEDULE "A"
REASONS FOR DESIGNATION

The property at 385 Brunswick Avenue is recommended for designation under Part IV of the *Ontario Heritage Act* for its cultural resource value or interest. Opening as the Loretto Abbey Day School, the building was completed in 1914 for the Sisters of the Institute of the Blessed Virgin (or Loretto Sisters) as an elementary and secondary school for female students with accommodation for the students and the sisters. The institution was renamed Loretto Abbey College School in 1918 and remained in this location throughout the 20th century. Toronto architect Neil Begg designed the structure with features of Edwardian Classicism, applying Beaux-Arts design principles in the scale, the tripartite organization of the west façade, and the application of Classical elements. Loretto Abbey School is located on the east side of Brunswick Avenue, north of Lowther Avenue, where it terminates the vista looking east from Barton Avenue. A prominent feature of the Annex neighbourhood, Loretto Abbey School is architecturally significant as an important example of early 20th-century scholastic design.

The heritage attributes of the Loretto Abbey School consist of the ell-shaped plan (created with the addition of the southeast wing), the exterior walls with openings, and the flat roof. The structure is clad with red brick and trimmed with brick, wood and pre-cast stone. A raised base has artificial stone channeled to resemble fine stone. Above the base, the walls extend three stories, except at the west end where an additional floor is set back above a cornice and topped by a parapet that runs across the west and portions of the north and south ends. The organization of the principal (west) façade into three parts is emphasized with the recession of the five-bay centre block that contains the main entrance. A curved staircase rises to an open porch with Tuscan columns and a triangular pediment that protects a pair of wood doors with a leaded-glass transom. A two-storey bay window is placed above the entrance, while flat-headed window openings with lintels and sills are found in each level. On either side of the centre block, the walls extend three bays. In the second floor, single curved oriel windows are faced with pre-cast stone and flanked by three-storey brick-faced bay windows. The pattern of oriel, flat-headed and bay windows is repeated on the south elevation and wing where a secondary entrance is found. The remaining walls display flat-headed openings. The boiler house and chimney at the east end of the complex and the interior elements are not included in the Reasons for Designation.

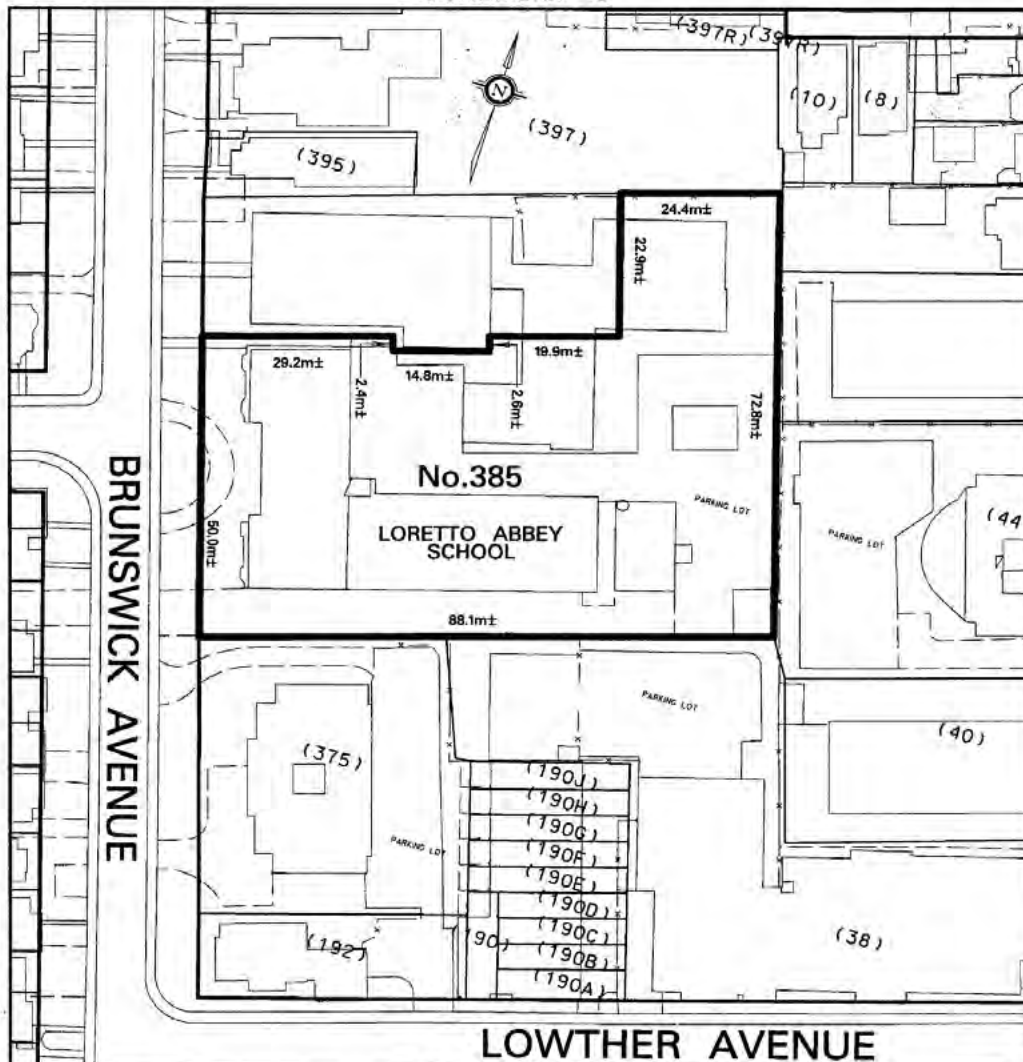
SCHEDULE "B"

PIN 21230-0235 (LT).

Part of Lot 25 in Concession 2 Fronting the Bay designated as PART 1 on Plan 66R-19698 in the Land Titles Division of the Toronto Registry Office (No. 66) in the City of Toronto and Province of Ontario.

The hereinbefore described land being delineated by heavy outline on Sketch No. PS-2004-084 dated June 1, 2004, as set out in Schedule "C".

SCHEDULE "C"


Toronto

 WORKS & EMERGENCY SERVICES
 TECHNICAL SERVICES DIVISION
 SURVEY & MAPPING

NOTE:
 THIS SKETCH IS NOT
 A PLAN OF SURVEY
 AND HAS BEEN COMPILED
 FROM SURVEY NOTES AND
 OFFICE RECORDS, IT SHALL
 NOT BE USED EXCEPT FOR
 THE PURPOSE INDICATED
 IN THE TITLE BLOCK

PROPERTY INFORMATION SHEET

No. 385 BRUNSWICK AVENUE
 (LORETTO ABBEY SCHOOL)
 LAND DESIGNATED AS BEING OF
 CULTURAL HERITAGE VALUE OR INTEREST

(NOT TO SCALE)

WARD 20 - TRINITY-SPADINA
 DATE: JUNE 1, 2004

SKETCH No. PS-2004-084

20 CONDITION ASSESSMENT

The following building condition assessment is based on a visual inspection, from grade and the rooftop level (May 15, 2022) of the exterior of the Site and a visual inspection of accessible interior spaces. The following reports were provided to ERA Architects and our findings were consistent with the reviewed documents:

- Structural Visual Condition Review, Engineering Link (2019)
- Baseline Property Condition Assessment, Pinchin (2018)
- Site Report, K.H. Davis Engineering Consultants Ltd (2013)
- Structural Review of Ceiling, Egberts Engineering Ltd (2008)

In general, the Site reflects the development and programmatic changes that have occurred over an almost 130-year period. Although the property is contiguous, it is composed of an aggregate of distinct buildings of differing construction consequently the condition of the building varies from poor to fair.

At the time of preparing this report the client had given direction to contractors, following the advice of the structural engineer, to conduct the following destructive testing:

- Test pits at three locations to determine the depth of the underside of footings, footing thickness, and the projection of the footings.
- Two openings at the existing ground floor framing to view connections between the floor and the existing perimeter wall.
- Two openings at balcony framing to view connections with the cast-iron columns.
- Openings in the drywall within the Link addition, to reveal original Sanctuary west elevation window locations.

The building components were graded using the following assessment terms:

***Excellent:** Superior aging performance. Functioning as intended; no deterioration observed.*

***Good:** Normal Result. Functioning as intended; normal deterioration observed; no maintenance anticipated within the next five years.*

***Fair:** Functioning as intended; Normal deterioration and minor distress observed; maintenance will be required within the next three to five years to maintain functionality.*

***Poor:** Not functioning as intended; significant deterioration and distress observed; maintenance and some repair required within the next year to restore functionality.*

***Defective:** Not functioning as intended; significant deterioration and major distress observed, possible damage to support structure; may present a risk; must be dealt with immediately.*

EXTERIOR

20.1 Exterior Masonry and Foundation

20.1.1 General

The property was assessed as three separate buildings: the Sanctuary building, 1889 Chapel/1913 Sunday School and Link addition.

20.1.2 Sanctuary

The Sanctuary's envelope is in fair condition and is constructed primarily of multi-wythe masonry with chamfered bricks and brick hood moulds at the windows which are generally in good condition. Natural stone is also used extensively at the base.

There are areas of localized cracking, mortar loss, and spalling across each of the elevations. Efflorescence and organic growth are also prevalent, particularly on the north elevation, and are indicative of water penetration and moisture retention on exterior surfaces. Brick is typically laid with grooved-pointed mortar joints.

The east elevation hosts the principal entrance to the Sanctuary building. The extensive use of stone which characterizes the Romanesque façade remains in good condition. Deterioration on the elevation is generally localized at the entrance stair and the adjacent shaped brickwork.

On the north elevation, there is a buildup of organic staining that is particularly evident at the basement level. Similarly, there is evidence that this elevation is an attraction point for bird habitations which has resulted in moderate levels of soiling on the facade, particularly at the window openings.



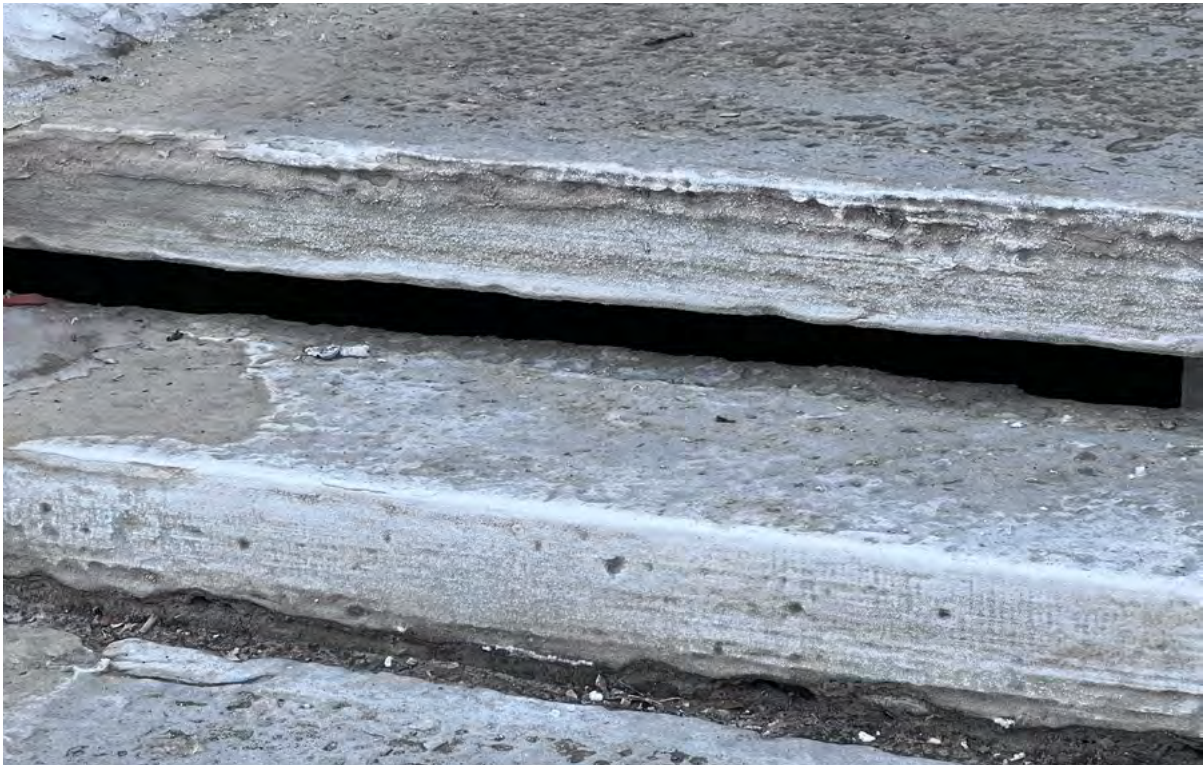
Sanctuary building north elevation, organic staining at basement level window well (ERA, 2022)



Sanctuary building north elevation, example of soiling at window openings and sills (ERA, 2022)



Sanctuary building east elevation, decorative brickwork in an advanced state of disrepair (ERA, 2022)



Sanctuary building east elevation, heavily weathered stone stair treads (ERA, 2022)

20.1.3 1889 Chapel/1913 Sunday School

The 1889 Chapel/1913 Sunday School building's exterior envelope is almost entirely constructed of brick with a stone base course and accent elements constructed from wood, formed metal and terracotta shingles.

Similar to the Sanctuary, the building includes the use of brick arches at the window openings, however different arch profiles are used, denoting the stylistic differences between the structures.

Masonry detailing shows signs of mortar erosion and brick delamination. On the south facade, eleven of the original stone sills have also been replaced with what appears to be mismatched cast concrete substitutions, at least one of which is cracked. There is evidence that approximately six courses of brickwork immediately below the sills have been repointed with inappropriate hard mortar.

On the north elevation, there is an exterior steel stair mounted onto the face of the brickwork that is in a state of disrepair, and there is severe step cracking within the adjacent brickwork.



1889 Chapel/1913 Sunday School south elevation, terracotta tile with missing and wood replacement unit (ERA, 2022)



1889 Chapel/1913 Sunday School north elevation, stepped cracking and staining at exterior stair (ERA, 2022)

20.1.4 Link Addition

Due to its location between the Sanctuary building and the 1889 Chapel/1913 Sunday School, the Link addition is expressed externally as a north and south elevation only.

The south façade is set out as a series of bays, each delineated by a brick pilaster with sloped capstones; and on the north, the façade is largely a single plane of simple brickwork. Constructed largely from brick with red sandstone accents such as sills, lintels and coping, the Link addition façades display accelerated levels of deterioration in comparison to the other two buildings, particularly at the entrance porch where a concrete entrance ramp was added in the early 2000s.

The elevations include a combination of arched and square window openings arranged in a simple and mainly uniform manner.

There is extensive spalling of the stonework and examples of masonry repairs with unsympathetic mortar repointing and brick replacements.

Brickwork at the interior of the basement level has typically been left exposed providing evidence of several below-grade conditions such as calcium deposits and spalling that are consistent with exterior observations.



Link addition south elevation, entrance porch in general state of disrepair (ERA, 2022)



Link addition south elevation, stone and brickwork in an advanced state of deterioration (ERA, 2022)

20.2 Openings

20.2.1 General

Each of the buildings demonstrates a different strategy for conservation and replacement of windows. Generally, windows are in fair condition and show attempts at protection and modification for thermal performance. Similarly, the Site includes a combination of historic wood and replacement metal doors that reflect both the original design of the buildings and the modifications that have been made with renovations.

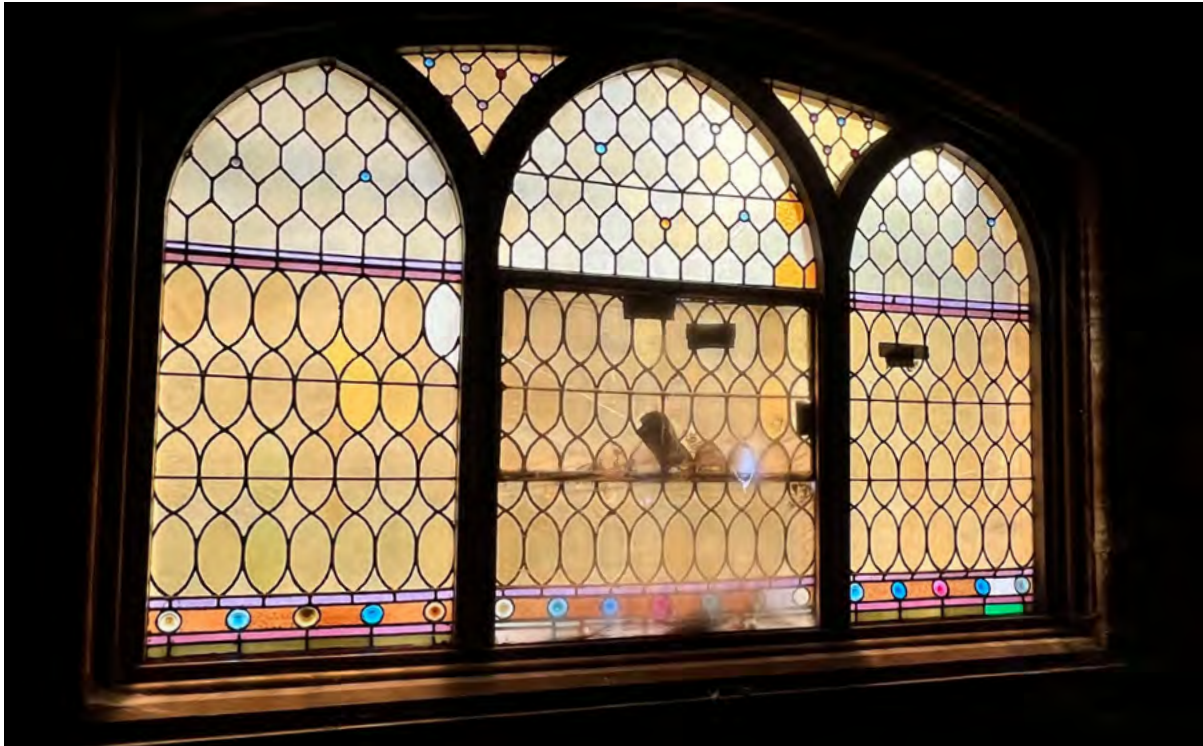
20.2.2 Sanctuary

Windows at the Sanctuary have historically typically been wood framed leaded light assemblies with a paint finish installed into brick openings. Although the paint finish on the existing wood windows exhibits signs of deterioration and glazing is generally displaying signs of planar deflection, the frames and leaded assemblies within are both mostly repairable.

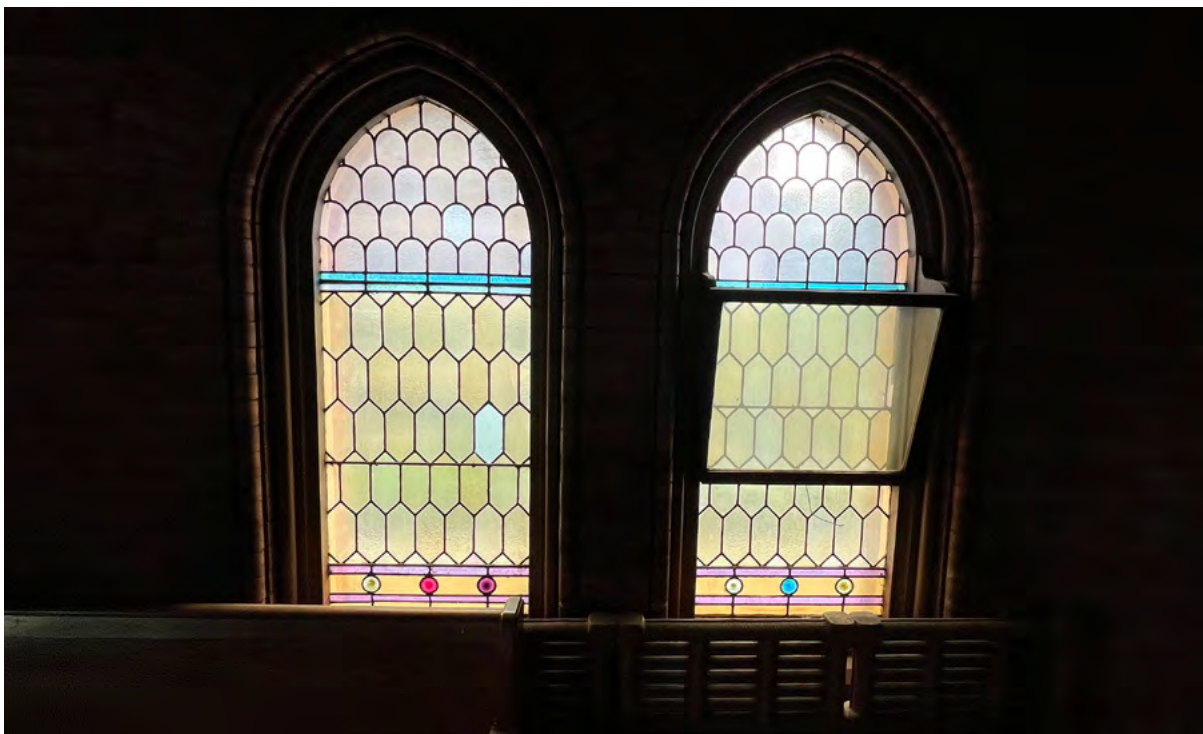
On the east elevation, three solid wood stile and rail doors define the entrance of the Sanctuary building. There is one large opening between the door and the frame at the door on the south side of the arrangement in need of repair.

The Sanctuary building's windows appear entirely original and generally maintained. Along the north and south elevations, openings are set between each of the buttresses aligning with the ground floor, balcony and clerestory levels. A grouping of six windows is included within the transept gable walls and this arrangement includes three lancet windows at the upper level. Windows at the basement level facing into window wells have partially been filled in. Remaining windows are generally covered at the exterior with protective sheeting, with openings to allow for the operability of hopper windows and the natural ventilation of the interior space on the south elevation.

Archive drawings indicate that the west elevation included an arrangement of the lancet and rose windows, however, these windows were demolished when the openings for the organ loft were made.



Sanctuary building south elevation (interior view), damaged ground floor window showing planar deflection and missing glass (ERA, 2022)



Sanctuary building south elevation, typical second floor window (ERA, 2022)



Sanctuary building east elevation, ground floor transom window (ERA, 2022)



Sanctuary building east elevation, lancet window (ERA, 2022)



Sanctuary building east elevation, the balanced window arrangement sits within the asymmetrical massing of the principal elevation (ERA, 2022)

20.2.3 1889 Chapel/1913 Sunday School

The windows have largely been replaced with vinyl units on the ground-floor and second-floor levels of the south elevation. The original window units that remain display signs of deterioration.

Similar to the Sanctuary, leaded lights on the west and north elevations are generally showing signs of planar deflection, missing glass elements, and there are several instances where windows have been adapted to accommodate the operability of hopper panes or external features such as a surveillance camera.

The south elevation hosts two large ribbon window assemblies that include decorative glazing on the interior side and a protective layer of glazing on the exterior side.

20.2.4 Link Addition

The Link addition includes a combination of arched and square-headed windows with clear glazing.

Renovations of the Link addition have resulted in the removal of all original windows. Replacements are all contemporary unsympathetic vinyl windows and several openings on each of the buildings have been infilled.



1889 Chapel/1913 Sunday School south elevation, showing replacement windows at ground and second floor and feature windows at the third floor (ERA, 2022)



1889 Chapel/1913 Sunday School south elevation, Recreation Room feature windows (interior) (ERA, 2022)



1889 Chapel/1913 Sunday School west elevation, unprotected leaded-glass windows (ERA, 2022)



1889 Chapel/1913 Sunday School east elevation, unprotected leaded glass windows (ERA, 2022)



Link addition south elevation, featuring an entire replacement and infill of original windows , and replacement stone sills and headers that have spalled as shown (ERA, 2022)



Link addition north elevation (foreground), replacement and infill of original windows in largely single plane simple brick facade (ERA, 2022)

20.3 Roof and Flashings

20.3.1 General

The Site's roofs consist of a combination of gable roofs, low sloped-roofs and spires constructed from slate tile, painted metal, copper, built-up asphalt roof (BUR) systems, modified bitumen roof systems and asphalt shingles. There are noticeable signs of damage congruent with the age of the building, but missing building elements appear limited.

The 2018 Pinchin report provides a breakdown of the roof systems, their age, condition and approximate area. The analysis was consistent with observations made on-site and highlights that most slate tiles and copper roofing elements are in a fair to poor condition, however, are original. The replacement roofing systems such as modified bitumen and asphalt shingles are typical of a 'Satisfactory' condition indicating that they have been replaced in recent years as part of the maintenance for the Site.



View from the 1889 Chapel/1913 Sunday School roof showing the variety of materials used on the Sanctuary building and structures at roof level, including the redundant brick chimneys (ERA, 2022)



View from the 1889 Chapel/1913 Sunday School roof showing the condition of the sheet roofing used on the 1889 Chapel/1913 Sunday School and Link addition (ERA, 2022)

20.4 Trim and Fascia

20.4.1 General

Decorative wood and decorative metal trim details are associated with the all three buildings at the south elevation and the Sanctuary building on the north and the south elevations.

20.4.2 Sanctuary

Trim and fascias on the Sanctuary building are generally weathered, however, largely extant. Missing elements include missing sections of the soffit at the north elevation's transept and cornice moulding at the rotunda on the east elevation of the tower roof.

20.4.3 1889 Chapel/1913 Sunday School

Wood detail features on the 1889 Chapel/1913 Sunday School's south elevation include soffits, brackets, dentils, and mouldings. Deterioration is generally limited to the weathering of surface treatments.

Archive drawings, however, indicate that a character-defining decorative gable trim was removed from the south facade.

20.4.4 Link Addition

The Link addition's parapet on the south elevation is protected with a metal capping which appears original. The surface of this element displays signs of rust and is slightly malformed.

INTERIOR

20.5 General Interior

The basement, ground, second and third floor including attic spaces were examined during the review of the Site. Interior spaces throughout the three buildings are in good condition and are indicative continual use, maintenance and renovation a period of an almost 130 year period. The Sanctuary building, with its brick walls and leaded light windows, appears largely unaltered from original construction and is distinct from the two other buildings which, due to significant changes, share a common palette of finishes.

20.5.1 Sanctuary Ceiling damage

There is significant debonding of the ceiling plaster from the lath including sections that have dropped to the Sanctuary floor. In response to this issue an inspection of the ceiling was carried out by Egberts Engineering in 2008, which advised the removal and replacement of the ceiling, however, no remedial work appears to have been carried out since.

20.5.2 Staircase Deterioration

In 2013 a representative from KH Davis carried out a site visit of the Sanctuary building and observed that the southwest staircase between the balcony and the ground floor level was in a deteriorated condition and this was indicated by the separation between the interior handrail and the bottom rail post. KH Davis highlighted that the deterioration does not appear to a result of any major structural concerns and no remedial work appears to have been carried out since the investigation.

20.5.3 Efflorescence

Efflorescence was observed at several locations along the perimeter brick walls at the ground floor level in the sanctuary space. These conditions were consistent with the staining observed at the exterior of the building and highlighted in Engineering Link's 2018 visual condition review.

20.6 Basement

The basement level consists of crawl space beneath the entirety of the Sanctuary building and a full-height basement within the footprint of the Link building. The Sanctuary's crawl space does not appear to be associated with a function but does provide access to ductwork and the structural brick piers. The basement at the link building provides service, storage and other ancillary spaces. Although the 1889 Chapel/1913 Sunday School is partially below grade, it is accessed from the ground floor level of the Link addition, and a ramp provides a continuous route. Several conditions were observed within the sanctuary basement that requires remedial work, including cracking in the joints of the brick in perimeter walls and moisture penetration.

Moisture entering the basement level was observed on the interior wall beneath the landing at the entrance of Sanctuary on the east elevation.

20.7 Attic Spaces and Sanctuary Bell Tower

The sanctuary bell tower and attic are generally in a fair condition. Brick delamination and mortar loss is the primary issue of concern



Sanctuary basement crawl space, showing unfinished floor, mechanical ducts and brick piers (ERA, 2022)



Sanctuary northeast interior corner, ceiling deterioration and efflorescence staining on the wall (ERA, 2022)



Sanctuary nave, taken from the east elevation (ERA, 2022)



Sanctuary platform from the balcony level (ERA, 2022)



Entrance to Sanctuary bell tower stair (ERA, 2022)



Sanctuary fireplace at the west entrance (ERA, 2022)



ERA Architects Inc.
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Toronto ON, M4Y 2G1

HERITAGE MEMORANDUM - WITHOUT PREJUDICE

Subject: PROPOSED CONSERVATION STRATEGY

Issued To: Anne Fisher, Clint Robertson
Heritage Planning Services
City of Toronto

Memo #: 1

Project: 38 Walmer Road

Project #: 17-001-01

Prepared By: Sharon Hong, Erin Tito

Date Issued: June 10, 2024

Introduction

As part of ongoing mediation regarding redevelopment at 38 Walmer Road, ERA has prepared a memorandum regarding the proposed conservation strategy and how meaningful conservation is achieved on the site of 38 Walmer Road, the Walmer Road Baptist Church. Please see the attached Heritage Rationale presentation deck for supporting visuals and the supporting Response Matrix.

Brief Site Evolution

The site comprises an assembly of three structures that were developed between 1889 and 1913: an 1889 Chapel (converted to Sunday School in 1913) designed by Langley & Burke, an 1892 Sanctuary also designed by Langley & Burke, and the 1913 Memorial Building Link, designed by Burke, Horwood & White. The primary historic association of the church assembly's design is with the architectural firm Langley & Burke.

The first building on the site was planned to be sited at the corner lot, but due to expropriation for a public park (later called Gwendolyn MacEwan Park) and other issues, it was constructed in 1889 on a lot to the west as a temporary place of worship (the Chapel). In 1892, the Sanctuary was built at the corner of Lowther Avenue and Walmer Road. The design intent of the Sanctuary was to promote egalitarianism and community and at the time of construction, was the largest Baptist Church in Canada, with the capacity to seat 1540 people.

Construction of the Memorial Building Link in 1913 included substantial alterations to the original 1889 Chapel. It altered the character of the primary (south) elevation on Lowther Avenue. It also included major interior renovations and a rear addition to convert the Chapel to a Sunday School, accommodating classrooms, auditoriums, and other church functions. The Memorial Building Link was added between the Sunday School and Sanctuary, providing a new corridor, classrooms, and a location for the baptismal tank.

Significant renovations in 2000 by Baird, Sampson and Neuert Architects further altered the interior of the Sunday School and Memorial Building Link. The exterior of the Memorial Building Link was altered with the addition of modern concrete steps and a ramp at the front entrance. Alterations to the south facade of the Memorial Building Link include the replacement of its original windows and doors, and removal of the transom above the front entrance door. The Sanctuary has largely remained unaltered.

Rationale for Redevelopment

The Sanctuary has been unoccupied since 2016, when original plaster fell from the ceiling, creating unsafe conditions for users of the venue. Due to a decline in membership, the congregation's space requirements have decreased. Further, the church does not have the resources to repair, restore, and rehabilitate the Sanctuary. In addition, the Walmer Road Baptist Church operates under an agreement that the lands must continue to be used for the Baptist Church. Therefore, in 2017, the church partnered with TAS to propose redevelopment of the site as a means to facilitate the ongoing use of the church on-site by constructing a new sanctuary space to meet the church's current needs and a new residential tower. The former Sanctuary would be adaptively reused as a publicly accessible neighbourhood amenity. The development would provide public realm enhancements along Lowther Avenue and new housing adjacent to a subway station.



Rendering of the proposed second floor community commercial space in the former Sanctuary (Source: HPA).

Heritage Value

The property at 38 Walmer Road is designated under Part IV of the Ontario Heritage Act. The Statement of Significance in the designation by-law (By-law 805-2023) states that the property has heritage value comprising:

- *Design/Physical Value*
The Sanctuary is a unique example of the Romanesque style adapted to an ecclesiastical purpose incorporating a variety of Gothic-style references. The Sunday School building is a unique example of Queen Anne-revival style design due to its adaptation for an institutional use rather than the typical residential uses. The Memorial Building has value as a representative example of Gothic revival-style design.
- *Historical/Associative value*
The property possesses historical and associative value as the home of the Walmer Road Baptist Church, which at the time the Sanctuary was completed in 1892, became the largest Baptist church in Canada. The church is associated with some of Toronto's most important and prolific architectural practices – Langley & Burke for the



Sunday School and Sanctuary; and Burke, Horwood and White for the Memorial Building section.

- *Contextual value*

The Walmer Road Baptist Church has contextual value in its role in maintaining and supporting the character of the area as it serves as a gateway to both Walmer Road and the surrounding Annex neighbourhood. It has a prominent location at a corner and is considered a neighbourhood landmark.

Impacts to Heritage Attributes

The following provides a summary of impacts to the heritage attributes of 38 Walmer Road. A detailed response to how the heritage attributes listed in the designation by-law are conserved or impacted by the proposed redevelopment can be found in the attached Response Matrix.

1892 Sanctuary

The Sanctuary has the highest priority for conservation due to its design value and integrity. The following impacts are proposed to rehabilitate the space as a publicly accessible neighbourhood amenity.

1. The introduction of a second floor to make the space more functional for adaptive re-use as a community commercial space - the open truss-roof, and legibility of the expansive volume of the sanctuary will be conserved. The horseshoe-shaped gallery will be removed, however, the all eight cast-iron columns will be retained to commemorate this attribute as a mitigation measure. The connection to the new lobby will be through the existing central pipe organ recessed arch opening.
2. To make the ground floor useable and accessible, the existing raked floor is proposed to be removed and the entire ground floor lowered. The newly exposed section of base wall will be infilled with new cladding that is complementary in materials and texture to historic brick. The cast-iron columns will be lengthened to accommodate the lower floor level with infill brackets at the top to reach the second floor.
3. Alterations to the south elevation of the Sanctuary include proposed openings to engage with Lowther Avenue public realm at the new floor level and ensure natural daylighting into the new floor. New ground floor window openings have been located to avoid impacts on the dado course detail below window.
4. Alterations to the front entrance of the Sanctuary are proposed to provide barrier-free access from Walmer Road. The entrance doors and ground floor will be lowered to grade. The wood and leaded glass transoms will be retained and restored. Existing panelled wood double doors and doorframes will be replaced with new wood doors. Three pointed-arch doorways will be retained, brick mouldings will be retained, and openings will be dropped one metre to new grade. Infills will be required to lower jambs of new door opening to where steps have been removed. Refer to attached slide deck for different options for door replacement.

1889 Chapel/1913 Sunday School

Removal of the Sunday School and Memorial Building Link is proposed to accommodate the new sanctuary space and residential tower. While the 1889 Chapel was the original structure on the Site, its architectural integrity has diminished by significant alterations over time through its conversion to a Sunday School in 1913 and additional alterations in 2000. The addition of a new sanctuary for the Walmer Road Baptist Church congregation mitigates this removal.



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1913 Memorial Building Link

The Memorial Building Link has the lowest conservation priority, as an addition to the Sunday School and auxiliary to the Sanctuary. The Memorial Building Link is the most altered building on the site and currently comprises a corridor and a location for the baptismal tank, the function of which will be relocated to the new Sanctuary space. With removal of the 1889 Chapel/1913 Sunday School and construction of a new Sanctuary within the proposed tower, what remains of the Memorial Building Link is a remnant façade from an addition to the 1889 Chapel/1913 Sunday School. Its architectural integrity has diminished by alterations over time, and the modifications required to retain the south facade with the lowered floor levels within the proposed new development would further reduce its architectural integrity.

The redevelopment provides an opportunity to improve the public realm condition along Lowther Avenue, which is currently constrained. A relief along Lowther Avenue in the form of a landscaped court would expand the public realm of an evolving context, experiencing residential intensification, while enhancing views of the Sanctuary building - its removal would re-expose views of the original rear (west) elevation of the Sanctuary. Due to the limited additional heritage value that the Memorial Building Link facade contributes to the overall integrity of the Site, it is ERA's opinion that its removal is warranted in favour of overarching urban design objectives and public realm benefits.

In summary, it is ERA Architects' opinion that the proposal achieves meaningful conservation through: In-situ conservation of the 1892 Sanctuary involving rehabilitation of front (east) elevation and south elevation, restoration of rear (west) elevation; replacement of Sunday School and Memorial Building Link with new sanctuary space and residential tower while accommodating required separation distances and tower floor plate; and expansion of public realm along Lowther Avenue, which also enhances the contextual value of Walmer Road as a neighbourhood landmark at a prominent location at the corner.

Michael McClelland
Principal, ERA Architects



38 WALMER ROAD

WITHOUT PREJUDICE

JUNE 10 2024

ERA

Heritage Rationale

- Site Evolution Overview
- Conservation Priority
- Conservation Strategy